

V3-  
PSP-23-  
03

# RESERVE @ MITCHELL MILL

## PRELIMINARY SUBDIVISION PLAT V3-PSP-23-03

TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

NO.	REVISIONS	DATE
01		
02		
03		



**STRONGROCK**  
ENGINEERING GROUP  
STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166  
305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

PROJECT	NOT FOR CONSTRUCTION	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
STRONG ROCK PROJECT PSP-23-03		AS SHOWN	JWL	SRG	JWL

RESERVE @ MITCHELL MILL  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
PRELIMINARY SUBDIVISION PLAT  
COVER SHEET

PROGRESS PLOT DATE: 1/2024

Ensure acreage is consistent between sheets. C-1.2 states acreage is 53.89.

SREG: This has been updated to show the correct acreage.

**SITE INFORMATION:**

LOCATION: 5109 MITCHELL MILL ROAD  
COUNTY: WAKE COUNTY  
PARENT PIN: 1757571035  
DB/PG: DB 8659, PG 954  
ZONING: RM-CZ & NC-CZ  
TOTAL ACREAGE: 60,837.42 SF (138.50 AC)

NC-CZ ZONE ACREAGE: 53.88 AC  
COMMERCIAL TRACT (15%): 8.05 AC  
RESIDENTIAL ZONE RM-CZ: 84.82 AC  
MAXIMUM UNITS PERMITTED: 395 UNITS (134 TOWNHOMES)  
ZONING AND ANNEXATION: MA 22-06 & ANX22-03

**BUILDING SETBACKS (MIN) RM-CZ CLUSTER OPTION**  
FRONT: 20'  
SIDE: 5'  
REAR: 20'  
CORNER: 10'  
SITE PERIMETER BUFFER TYPE 2: 15'  
THOROUGHFARE BUFFER (JONESVILLE & MITCHELL MILL): 30'

**BUILDING SETBACKS (MIN) NC-CZ**  
FRONT: 15'  
SIDE: 10'  
REAR: 10'  
SITE PERIMETER BUFFER TYPE 2: 15'  
THOROUGHFARE BUFFER (JONESVILLE & MITCHELL MILL): 30'

**TOWNHOME SETBACKS NC-CZ (EMPLOYMENT OF TA 23-06)**  
FRONT 20: 20'  
SIDE (STREET FRONTAGE): 10'  
REAR: 20'  
BUILDING SEPARATION: 30'  
PARKING REQUIREMENT: 2.25 CARS PER UNIT  
SHOWN UNITS: 110  
REQUIRED PARKING: 248  
OFF-STREET PARKING: 265

**RIGHT OF WAY & OTHER AREAS:**  
NATURAL WETLANDS: 1,215,431 SF (27.90 AC)

**LOT ACREAGE:**  
NC-CZ ZONING DISTRICT (COLOR CODED GOLD IN FOLLOWING PAGES)

	SFH:	TOWNHOME:
TOTAL NUMBER PROPOSED LOTS:	82 LOTS	110 LOTS
MINIMUM PROPOSED LOT SIZE:	5,000 SF	2,000 SF
MAXIMUM PROPOSED LOT SIZE:	8,355 SF	2,125 SF

**RM-CZ ZONE (COLOR CODED BURGUNDY IN FOLLOWING PAGES)**

	SFH:
TOTAL NUMBER PROPOSED LOTS:	186 LOTS
MINIMUM PROPOSED LOT SIZE:	5,000 SF
MAXIMUM PROPOSED LOT SIZE:	10,379 SF

**OPEN SPACE BREAKDOWN:**  
SEE OPEN SPACE CHART PAGE C-1.2  
GREENWAY: 5,566 LF

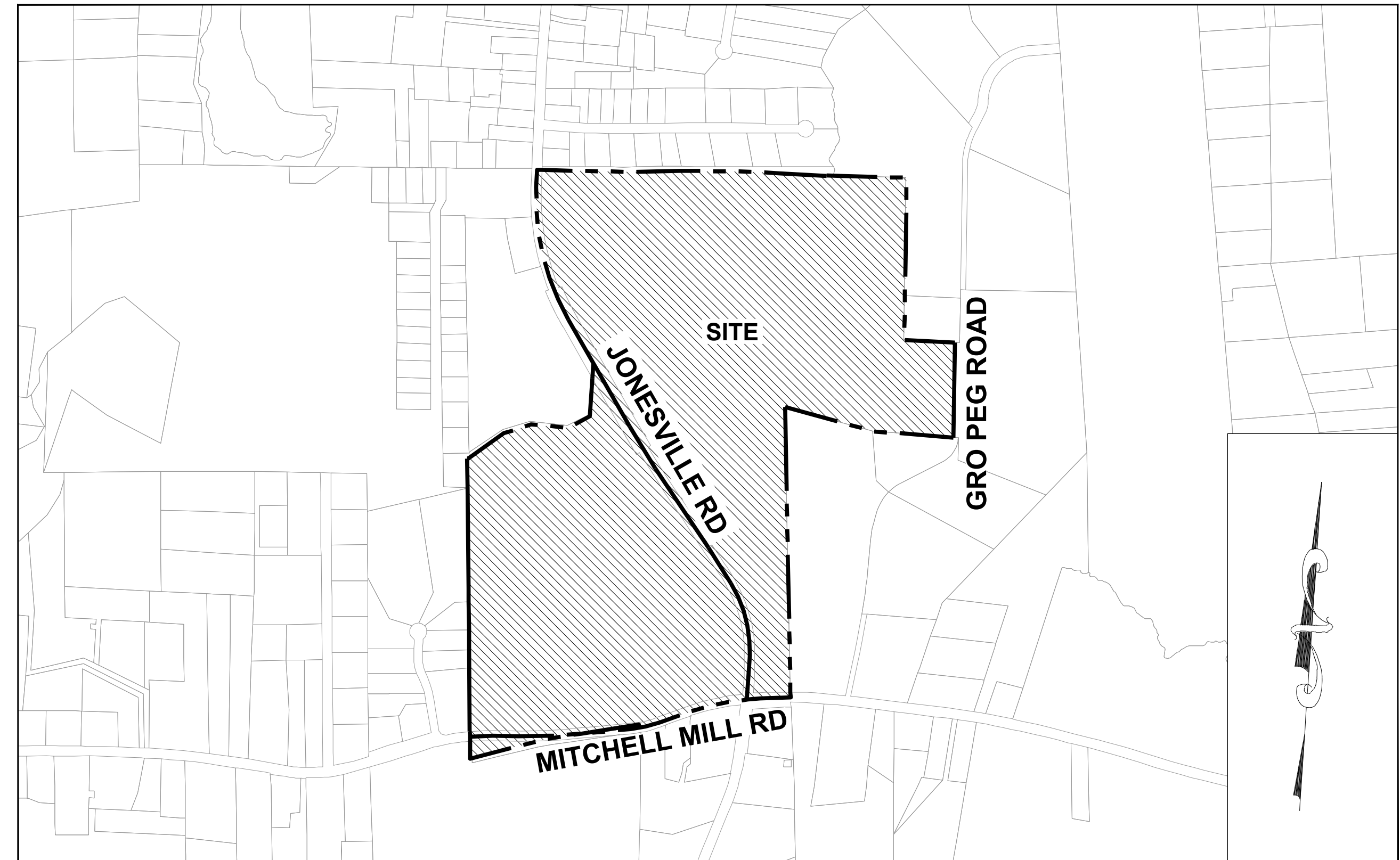
**IMPERVIOUS AREAS:**  
NC-CZ ZONING DISTRICT:  
ROADWAYS / PARKING: 281,668 SF (6.47 AC)  
SIDEWALKS: 87,180 SF (2.00 AC)  
TOTAL ON-SITE IMPERVIOUS AREA: 368,848 SF (8.47 AC)  
TOTAL ON-SITE IMPERVIOUS PERCENT: 6.01%

**RM-CZ ZONE**  
ROADWAYS / PARKING: 295,026 SF (6.77 AC)  
SIDEWALKS: 111,721 SF (2.56 AC)  
TOTAL ON-SITE IMPERVIOUS AREA: 406,747 SF (9.34 AC)  
TOTAL ON-SITE IMPERVIOUS PERCENT: 6.62%

This shows the minimum 15% for non-residential areas, but Section 3.4.3.D.2 indicates that this allocation shall be clear of storm water facilities and currently there is an SCM shown on this lot. The plans do not have the sizes of the SCMs labeled. The applicant shall demonstrate compliance with the 15% exclusive of the SCM area.

Further, the applicant shall demonstrate compliance with the max 75% residential as per 3.4.3.C. Please add to this chart or indicate where this information is provided.

The SCM in the commercial area as been included and labeled as a future improvement to show feasibility. This was discussed and accepted in the 4/16 meeting



VICINITY MAP  
1" = 600'

**OWNER:**  
HOPPER COMMUNITIES  
CONTACT: BILL HARRELL  
BHARRELL@HOPPERCOMMUNITIES.COM

**SURVEYOR:**  
THE TIMMONS GROUP  
5410 TRINITY ROAD, Suite 102 | RALEIGH, NC 27607  
TEL 919.866.4951

**ENVIRONMENTAL CONSULTANT:**  
SOIL & ENVIRONMENTAL CONSULTANTS  
8412 FALLS OF NEUSE RD, SUITE 104  
RALEIGH, NC 27615

**CIVIL ENGINEERING:**  
STRONGROCK ENGINEERING GROUP  
PO BOX 99552  
RALEIGH, NC 27624  
INFORMATION@STRONGROCKGROUP.COM

FRIS MAP # 3720175700K  
PANEL # 1757  
EFFECTIVE DATE: 07/19/2022

It appears these calculations are incorrect. The RM-CZ has 186 units and 84.62 acres = 2.19

the NC Zone has 192 units and 53.88 acres = 3.56

SREG: The RM-CZ and NC Zone Calculations have been revised and can be found on Sheets C6.0 - C6.3

**SITE DATA AMENDMENT TABLE**

Please indicate that this is the NC data table

SREG: The NC Data Table has been updated, please see sheets C6.0 - C6.3

SREG: The Commercial Calculations have been updated, please see sheets C6.0 - C6.3

um):	35ft Max
(NC District):	Commercial 25,000 SF
d:	Commercial TBA Commercial TBA Residential Townhouse 20' Single Family 50'
v. Minimum Lot Length (NC District):	Commercial (TBA) Residential 100'
vi. Lot Length Proposed	Residential 100'
vii. Density within each Zoning District	(NC Zone) 186 Units/53 Acres 3.51 U/A (RM-CZ Zone) 182 Units/84 AC 2.16 U/A
viii. Minimum building square footage as specified in MA22-06 Conditions of Approval	Townhomes 1200 SF Single Family Homes 2000 SF
ix. Parking Provided (Per Use)	Commercial (TBA) Townhomes 2.25 Spaces per Unit 110: 247.5
Required	On site in driveway 2 Cars: 220 Cars Off Street Parking Spaces: 35 Spaces Off Street Handicap Parking: 4 spaces Total Parking: 259 Spaces

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THIS PLANSET AND ANY ASSOCIATED DOCUMENTS ARE PRELIMINARY AND NOT AUTHORIZED FOR CONSTRUCTION UNTIL SIGNED, DATED, AND OFFICIALLY RELEASED FOR CONSTRUCTION BY THE ENGINEER OF RECORD.



MA-22-06  
Approved January 17, 2023

Mixed-Use Neighborhood Center Conditional Zoning District (NC-CZ)  
and Residential Medium Density Conditional Zoning District (RM-CZ)  
Zoning Conditions

Conditions Applicable to the entire property:

1. The subject property shall be developed generally in accordance with the sketch plan attached hereto as Exhibit 1 and incorporated herein as if fully set out. The approximately 55± acre portion of the subject property located west of Jonesville Road and further described as Parcel 1 on the attached Exhibit 2 attached hereto shall be zoned NC-CZ and the approximately 86± acre portion of the property located east of Jonesville Road and further described as Parcel 2 on Exhibit 2 attached hereto shall be zoned RM-CZ. The improvements described herein may be developed in phases in accordance with a phasing plan approved by the Town of Rolesville.
2. The total number of dwellings on the subject property shall not exceed 395 dwelling units and no more than 134 of these dwelling units shall be permitted to be Dwellings, Single Family, Attached (Townhouse.)
3. **Mixture of Uses:** At least 50,000 square feet of non-residential building area shall be permitted (issuance of a building permit) prior to permitting (issuance of a building permit) more than 197 dwelling units.
4. **Affordable Housing:**
  - a. Prior to the issuance of the first building permit for a dwelling unit, the property owner shall donate Thirty Thousand Dollars and No Cents (\$30,000.00) to Homes for Heroes.
  - b. Prior to the issuance of the 200<sup>th</sup> building permit, the property owner shall donate one (1) Dwelling, Single Family, Attached (townhome) to Passage Homes, CASA, Habitat for Humanity of Wake County or other similar organization providing homes to low-income people.
5. **Pollinator Plantings:** At least twenty percent (20%) of the landscaping planted in common areas on the subject property shall utilize plant materials that are listed as Native Pollinator Plants on North Carolina Wildlife Federation ("NCWF") or other resources for native plants recommended by the NCWF on their website, currently found at <https://ncwf.org/habitat/native-pollinator-plants/>

- v. Construct a southbound (Jonesville Road) left-turn lane with at least 100 feet of storage and appropriate decel and taper; and
- vi. Construct a southbound (Jonesville Road) right-turn lane with at least 100 feet of storage and appropriate decel and taper.

g. Jonesville Road and Site Access 4:

- i. Construct the eastbound approach (Site Access 4) with one ingress lane and one egress lane;
- ii. Provide stop-control for eastbound approach (Site Access 4);
- iii. Provide a northbound (Jonesville Road) left-turn lane with at least 100 feet of storage and appropriate decel and taper; and
- iv. Provide a southbound (Jonesville Road) right-turn lane with at least 100 feet of storage and appropriate decel and taper.

h. Mitchell Mill and Site Access 5:

- i. Construct the southbound approach (Site Access 5) with one ingress lane and one egress lane;
- ii. Provide stop-control for southbound approach (Site Access 5) restricted to right in, right-out operations unless left-turn access is approved by NCDOT; and
- iii. Construct an exclusive westbound (Mitchell Mill Road) right-turn lane with at least 100 feet of storage and appropriate decel and taper.

i. Mitchell Mill and Site Access 6:

- i. Construct the southbound approach (Site Access 6) with one ingress lane and one egress lane striped as an exclusive right-turn lane; and
- ii. Provide stop-control for southbound approach (Site Access 6) restricted to right-in, right-out operations.

j. Mitchell Mill and Site Access 7:

- i. Construct the southbound approach (Site Access 7) with one ingress lane and one egress lane;
- ii. Provide stop-control for southbound approach (Site Access 7); and
- iii. Construct an exclusive eastbound (Mitchell Mill Road) left-turn lane with at least 100 feet of storage and appropriate decel and taper.

k. Mitchell Mill Road and Site Access 8:

- i. Construct the southbound approach (Site Access 8) with one ingress lane and one egress lane striped as an exclusive right-turn lane;
- ii. Provide stop-control for southbound approach (Site Access 8). This proposed intersection will be restricted to right-in/right-out operations; and
- iii. Construct an exclusive westbound (Mitchell Mill Road) right-turn lane with at least 100 feet of storage and appropriate decel and taper.

l. Signal Analysis and Funding:

- i. **US 401 Bypass and Jonesville Road:** Conduct a full signal warrant analysis prior to full build-out of the proposed development and install a traffic signal if warranted and approved by the Town and NCDOT. Nothing herein shall

Where evergreen plantings or street trees are required by the Rolesville Land Development Ordinance as the same may be amended from time to time, pollinator plantings shall not be required. Nothing herein shall be construed to limit the plant materials permitted on individual residential lots. Compliance with this condition shall be demonstrated at construction infrastructure drawings for each phase.

6. **Recreational Amenities:** The following recreational amenities shall be provided generally as shown on the attached Exhibit 1 as a part of the development of the subject property and dedicated to the Homeowner's Association except for those areas offered to and accepted by the Town of Rolesville:

- a. A swimming pool and cabana, including changing rooms and restrooms shall be constructed prior to the issuance of the 150<sup>th</sup> building permit for a dwelling unit;
- b. At least one fenced playground shall be constructed prior to the issuance of the 150<sup>th</sup> building permit for a dwelling unit;
- c. At least one fenced dog park shall be constructed prior to the issuance of the 150<sup>th</sup> building permit for a dwelling unit;
- d. Public greenway on a greenway easement dedicated to the Town of Rolesville with paved trails at least ten feet wide (10') shall be constructed generally as shown on the attached Exhibit 1;
- e. A greenway trail head with at least four (4) parking spaces shall be constructed generally as shown on Exhibit 1 and offered to the Town of Rolesville for use as a greenway trail head prior to the issuance of the 200<sup>th</sup> building permit for a dwelling unit. The Town of Rolesville may accept or reject the offer of dedication in its sole discretion prior to the issuance of the 250<sup>th</sup> building permit. If the Town of Rolesville accepts dedication of this trailhead, the area dedicated to the Town of Rolesville shall be credited to this project as active open space. If the Town of Rolesville does not accept or reject the dedication of this area in writing prior to issuance of the 250<sup>th</sup> building permit, it shall be dedicated to the homeowner's association.
- f. At least one (1) community garden shall be provided prior to issuance of the 336<sup>th</sup> building permit for a dwelling unit; and
- g. At least one (1) acre of undeveloped land in the area located at the northeast quadrant of the intersection of Jonesville Road and Mitchell Mill Road shall be offered to the Town of Rolesville generally as shown on the attached Exhibit 1 for recreational uses prior to the issuance of the 150<sup>th</sup> building permit for a dwelling unit. The Town of Rolesville may accept or reject the offer of dedication in its sole discretion prior to the issuance of the 200<sup>th</sup> building permit. If the Town of Rolesville accepts dedication of this property, the area dedicated to the Town of Rolesville shall be credited to this project as active open space. If the Town of Rolesville does not accept or reject the dedication of this area in writing prior to the issuance of the 200<sup>th</sup> building permit, it shall be dedicated to the homeowner's association.

prohibit the property owner or developer from entering into cost-sharing agreements with others who may also benefit from a signal at this location.

ii. **US 401 Bypass and Eastern U-turn Location:** Conduct a full signal warrant analysis prior to full build-out of the proposed development and install a traffic signal if warranted and approved by the Town and NCDOT. Nothing herein shall prohibit the property owner or developer from entering into cost-sharing agreements with others who may also benefit from a signal at this location.

iii. **Jonesville and Mitchell Mill Road:** Conduct a full signal warrant analysis prior to full build-out of the proposed development and install a traffic signal if warranted and approved by the Town and NCDOT. Nothing herein shall prohibit the property owner or developer from entering into cost-sharing agreements with others who may also benefit from a signal at this location.

iv. If no traffic signal has been warranted and approved by the Town and NCDOT at any of the locations identified in Condition 8(i)-(iii) at full build-out of the proposed development (issuance of certificate of occupancy for the 380<sup>th</sup> dwelling unit and 50,000 square feet of non-residential uses), the property owner shall contribute Fifty Thousand Dollars (\$50,000.00) to the Town of Rolesville to be used by the Town of Rolesville to install a traffic light at any one of the locations identified in Condition 8(i)-(iii) above when warranted and approved by NCDOT.

Conditions Applicable to Dwelling, Single Family, Detached only:

9. All homes shall include either crawl space foundations or stem wall foundations. Any stem wall foundations shall be at least eighteen inches (18") in height across the front façade of the home and shall have brick or stone veneer on all sides facing a public street.
10. The minimum building square footage shall be 2,000 square feet.

Conditions Applicable to Dwellings, Single Family, Attached (Townhouse) only:

11. No Dwelling, Single Family, Attached (Townhouse) building shall exceed six (6) dwellings.
12. The minimum building square footage for townhomes shall be 1,200 square feet.

Conditions Applicable to the NC-CZ District only:

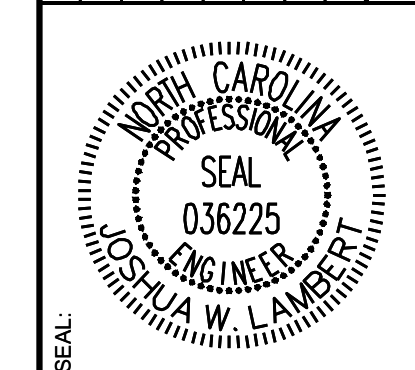
13. All uses permitted in the Neighborhood Center Mixed-Use district shall be permitted within the NC-CZ except Dwellings, Multiple Family (apartments) shall only be permitted in buildings with commercial uses located on the ground floor.

7. **Additional Driveway Access and Crosswalk to Commercial Area:** Prior to the issuance of the first building permit, the property owner shall apply to NCDOT to allow the installation of an additional driveway access and cross-walk across Jonesville Road from the property zoned RM-CZ to the commercial area located in the northwest quadrant of the intersection of Mitchell Mill and Jonesville Road, both as generally shown as "Potential Additional Driveway and Cross Walk Connection Per Condition #7 of Zoning Conditions" on Exhibit 1. The application to NCDOT shall include a plan for the driveway connection and crosswalk drawn by an engineer and an update to the existing traffic impact analysis prepared by a traffic engineer. If NCDOT approves such a crosswalk and/or driveway access, the property owner shall install them in accordance with the requirements of NCDOT.

8. **Transportation Improvements:** To address transportation impacts reasonably expected to be generated by the development, the following road improvements shall be installed in accordance with future phasing plans approved by the Town:

- a. Jonesville Road:
  - i. Widen Jonesville Road along the site frontage between Site Access 1 and Mitchell Mill to the roadways ultimate cross section per Rolesville Community Transportation Plan, 2 lanes with two-way left turn lanes.
- b. Mitchell Mill Road:
  - i. Widen one-half section along the site frontage to this roadway's ultimate crosssection per the Rolesville Community Transportation Plan, 4-lane median divided.
- c. Mitchell Mill Road and Jonesville Road/Peebles Road:
  - i. Provide a southbound (Jonesville Road) left turn lane with at least 100 feet of storage and appropriate decel and taper; and
  - ii. Construct an eastbound (Mitchell Mill Road) left-turn lane with at least 100 feet of storage and appropriate decel and taper.
- d. Jonesville Road and Site Access 1:
  - i. Construct the westbound approach (Site Access 1) with one ingress lane and one egress lane;
  - ii. Provide stop-control for westbound approach (Site Access 1); and
  - iii. Construct a southbound (Jonesville Road) left-turn lane with at least 100 feet of storage and appropriate decel and taper.
- e. Jonesville Road and Site Access 2:
  - i. Construct the westbound approach (Site Access 2) with one ingress lane and one egress lane;
  - ii. Provide stop-control for westbound approach (Site Access 2); and
  - iii. Construct a southbound (Jonesville Road) left-turn lane with at least 100 feet of storage and appropriate decel and taper.
- f. Jonesville Road and Site Access 3:
  - i. Construct the eastbound and westbound approaches (Site Access 3) with one ingress lane and one egress lane;
  - ii. Provide stop-control for eastbound and westbound approach (Site Access 3);
  - iii. Construct northbound (Jonesville Road) left-turn lane with at least 100 feet of storage and appropriate decel and taper;
  - iv. Construct northbound (Jonesville Road) right-turn lane with at least 100 feet of storage and appropriate decel and taper;

01	PRELIMINARY SUBDIVISION PLAT P-22-03	08/01/2023	BY
02	TOWN OF ROLESVILLE COMMENTS P-22-03	12/05/2023	DATE
03	TOWN OF ROLESVILLE COMMENTS P-22-03	03/01/2024	REVISIONS
No.			



**STRONGROCK**  
ENGINEERING GROUP  
305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT P-22-03	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL
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RESERVE @ MITCHELL MILL  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
PRELIMINARY SUBDIVISION PLAT  
ZONING CONDITION

DRAWING SHEET  
**C-1.1**



The chart below shall be updated as marked below. It would be helpful if coordinated with space exhibit with only open spaces shown on the map.  
The overall plans, with contours, are difficult to read and decipher which spaces are which.

Please indicate overall open space required for mixed use districts. Section 6.2.1.D.2 requires 15% of the total development. 53.89 acres would require 8.08 acres for the NC-CZ portion of the site.

SREG: Open Space requirements and calculations have been updated, please see sheets C6.0 - C6.3

NC-CZ District	AC	SF	Requirement
Overall Site	53.89	2347443.33	
Commercial Space open space	8.08	352116.50	15%
Total Buffer	2.71	118236.27	
50% Buffer	1.36	59118.14	
Open Space	12.11	527339.62	
Wetlands	6.07	264262.09	
<b>Total Open Space</b>	<b>19.53</b>	<b>850719.85</b>	
Passive minus wetland	13.46	586457.76	
Active Open Space REQUIRED	6.73	293228.88	
<b>ACTIVE OPEN SPACE</b>	<b>6.73</b>	<b>293228.88</b>	
<b>NC-CZ District Section 6.2.1.D.2.C</b>			
1. Medium Open Space 1 (TH)	2.463	107271.76	1 to 2.5 Acres Measured Mile Cross County Circuit
2. Medium Open Space 2 (SFH)	1.714	74660.86	1 to 2.5 Acres Frisbee golf course
3. Small Open Space 1	0.797	34728.09	.011 to 1.0 Acre Town Home Exercise stations
4. Small Open Space 2	0.344	15000.00	.011 to 1.0 Acre Town Home Chess Walk
5. Small Open Space 3	1.492	65000.00	.011 to 1.0 Acre Future Commercial Plaza
<b>TOTAL</b>	<b>6.810</b>	<b>296660.71</b>	

Ensure acreage is consistent between sheets. C-1.0 states acreage is 53.88.

SREG: Open Space requirements and calculations have been updated, please see sheets C6.0 - C6.3

SREG: Open Space requirements and calculations have been updated, please see sheets C6.0 - C6.3

Required Contiguous Open Space

SREG: Open Space requirements and calculations have been updated, please see sheets C6.0 - C6.3

RM-CZ with cluster option

RH District	AC	SF	
Overall Site	84.62	3685979.95	
Required Conservation Space	33.85	1474391.98	40%
Total Buffer	3.77	164193.75	
50% Buffer	1.88	82096.875	
Open Space	15.66	682210.08	
Wetlands	25.59	1114590.87	
Programmed Space	4.79	208757.21	
<b>Total Area</b>	<b>47.93</b>	<b>2087655.035</b>	
Bonus Space exceeding 40%	14.08	613263.055	
<b>Net Passive Area</b>	<b>22.34</b>	<b>973064.165</b>	
<b>Active Open Space</b>	<b>11.17</b>	<b>486532.0825</b>	
<b>RM-CZ</b>			
<b>RH-CZ District Section 6.2.1.D.1.b.</b>			
1. Medium Open Space	1.55	67518	1 to 2.5 Acres Clubhouse
2. Medium Open Space	1.05	45738	1 to 2.5 Acres Park 4 Infield
3. Small Open Space	0.18	7840.8	.011 to 1.0 Acre Playground A
<b>TOTAL</b>	<b>2.78</b>	<b>121096.8</b>	
Active Recreation Space	3.24	141035.79	RM-OS-04
Parkour Circuit	4.23	184490.71	RM-OS-11
Outdoor recreation area	1.17	51073.52	RM-OS-05
	8.64		
<b>Total Recreation Space RM-CZ</b>	<b>11.42</b>		

It would be helpful to see a breakdown of what is going into this calculation. Is this the NC OS #?

SREG: Open Space requirements and calculations have been updated, please see sheets C6.0 - C6.3

What open space is considered "programmed"?

SREG: Open Space requirements and calculations have been updated, please see sheets C6.0 - C6.3

Active Open space is 50% of the required open space. Open space required by Chapter 6 is 10.15 acres for the RM-CZ, therefore the active open space required is 5.08 acres.

SREG: Open Space requirements and calculations have been updated, please see sheets C6.0 - C6.3

SREG: Open Space requirements and calculations have been updated, please see sheets C6.0 - C6.3

It would be helpful to see a breakdown of what is going into this calculation. Is this the NC OS #?

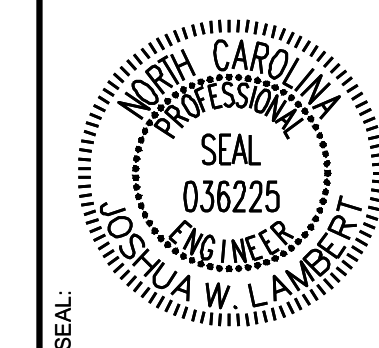
Active open space is 50% of the required open space. Required open space is 8.08 acres. Therefore, active open space is 4.04 acres.

SREG: Open Space requirements and calculations have been updated, please see sheets C6.0 - C6.3

Should these match?

SREG: Open Space requirements and calculations have been updated, please see sheets C6.0 - C6.3

NO.	REVISIONS	DATE	BY
01			
02			
03			



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STRONG ROCK PROJECT	STRONG ROCK PROJECT PSP-24-03
NOT FOR CONSTRUCTION	
SCALE	AS SHOWN
DESIGNED BY	JWL
DRAWN BY	SRG
CHECKED BY	JWL

RESERVE @ MITCHELL MILL  
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
 PRELIMINARY SUBDIVISION PLAT  
 OPEN SPACE DIAGRAM

DRAWING SHEET  
**C-1.2**



**GENERAL CONSTRUCTION NOTES:**

1. SEE GENERAL NOTES ON SHEET C-5.0.
2. WITHIN ALL NOTES, THE TERM CONTRACTOR WILL MEAN THE GENERAL CONTRACTOR AND ANY SUBCONTRACTORS OR VENDORS PERFORMING WORK ON THE PROJECT.
3. ANY CONTRACTOR SUBMITTING A BID FOR THIS PROJECT SHALL MAKE A SITE VISIT PRIOR TO SUBMITTING BID.
4. BOUNDARY DATA PERFORMED BY TIMMONS GROUP. SEE SURVEY FOR BENCHMARK & TBM INFORMATION. SURVEY IS REFERENCED TO NC GRID NAD 83. REFER TO EXISTING CONDITIONS PLAN
5. ANY RELOCATION OF BENCHMARKS SHALL BE PERFORMED BY A NC LICENSED SURVEYOR.
6. ALL WORK, CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE TOWN OF ROLESVILLE, WAKE COUNTY, NCDOT OR & CITY OF RALEIGH STANDARDS AND SPECIFICATIONS, LATEST EDITION.
7. ALL WORK, CONSTRUCTION AND MATERIALS WITHIN NCDOT RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE 2018 NCDOT STANDARDS SPECIFICATIONS FOR ROADS AND STRUCTURES.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK ZONE TRAFFIC CONTROL IN OR ADJACENT TO NCDOT RIGHT-OF-WAY. TRAFFIC CONTROL SHALL BE MAINTAINED AT ALL TIMES WITH PROPER SIGNAGE, SIGNALS, LIGHTING, FLAGMEN. ALL SIGNS, PAVEMENT MARKINGS AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.
9. COPIES OF ALL PERMITS AND APPROVED PLANS MUST BE KEPT ON SITE IN A PERMIT BOX THAT IS CONSPICUOUSLY LOCATED AND EASILY ACCESSIBLE DURING CONSTRUCTION. THIS INCLUDES APPROVED CONSTRUCTION PLANS, APPROVED EROSION CONTROL PLANS, ENCROACHMENT AGREEMENTS, DRIVEWAY PERMITS, WATER/SEWER PERMITS, ETC.
10. LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE AND MUST BE FIELD VERIFIED. CONTACT THE NC ONE CALL CENTER AT LEAST 72 HOURS PRIOR TO DIGGING @ 1.800.632.4949. UNDERGROUND LINES SHOWN HEREON ARE APPROXIMATE OR AS REPORTED BY VARIOUS RESPONSIBLE PARTIES. THE SURVEYOR DOES NOT GUARANTEE THAT ANY UNDERGROUND STRUCTURES SUCH AS UTILITIES, TANKS AND PIPES ARE LOCATED HEREON.
11. THE CONTRACTOR SHALL NOTIFY AND COOPERATE WITH ALL UTILITY COMPANIES OR FIRMS HAVING FACILITIES ON OR ADJACENT TO THE SITE BEFORE DISTURBING, ALTERING, REMOVING, RELOCATING, ADJUSTING OR CONNECTING TO SAID FACILITIES.
12. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ANY TOWN, CITY OF RALEIGH OR NCDOT DAMAGED PROPERTY. THE CONTRACTOR SHALL REPAIR THE DAMAGED PROPERTY TO THE LATEST STANDARDS AND SPECIFICATIONS OF THE AGENCY HOLDING JURISDICTION AT NO COST TO THE OWNER.
13. ANY DAMAGE DONE TO PRIVATE PROPERTY OWNERS SIGNS, MAILBOX, DRIVEWAY CULVERTS, LANDSCAPING OR OTHER PROPERTY SHALL BE RESTORED TO ORIGINAL CONDITION. AT NO COST TO OWNER.
14. CONTRACTOR IS RESPONSIBLE FOR FENCING AND SECURITY OF HIS LAYDOWN AND STORAGE AREA.
15. THE CONTRACTOR IS REQUIRED TO MEET ALL APPLICABLE FEDERAL, OSHA, STATE AND LOCAL REGULATIONS CONCERNING PROJECT SAFETY AND ASSUMES FULL RESPONSIBILITY FOR SAFETY ON THE PROJECT.
16. CONTRACTOR SHALL KEEP ALL ROADS FREE OF DIRT AND DEBRIS AT ALL TIMES.
17. CONTRACTOR SHALL PROTECT EXISTING PAVEMENTS AND UTILITIES FROM HEAVY EARTH MOVING EQUIPMENT. PROVIDE TRAFFIC CONTROL AND ADEQUATE PROTECTION METHODS AT ALL EQUIPMENT CROSSINGS.
18. ALL STRUCTURAL FILL MATERIAL SHALL BE FREE OF ALL STICKS, ROCKS, AND CLUMPS OF MUD. ALL ROCKS GREATER THAN 3" DURING EXCAVATION SHALL BE REMOVED.
19. CONCRETE SIDEWALKS THAT ARE TO BE REMOVED SHALL BE CUT BACK TO NEAREST EXPANSION OR CONTROL JOINT AND REPLACED WITH 4-INCH CONCRETE SIDEWALK FINISHED TO MATCH EXISTING SIDEWALKS.
20. CONTRACTOR TO COORDINATE WITH CITY OF RALEIGH FOR TEMPORARY WATER NEEDED DURING CONSTRUCTION. IF PERMITTED TO CONNECT TO EXISTING FIRE HYDRANT A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTER WILL BE REQUIRED.
21. THE TRANSITION OF PROPOSED ROADWAY TO EXISTING ROADWAY SHALL BE DONE WITH A MINIMUM 8-FT TRANSITION WHERE THE EXISTING PAVEMENT IS MILLED TO A MINIMUM DEPTH OF 1-1/2" AND OVERLAID.
22. ALL PAVEMENT SAW CUTS SHALL BE NEAT, STRAIGHT AND FULL DEPTH.
23. ALL RIP-RAP IS TO BE INSTALLED WITH NON-WOVEN FILTER FABRIC BENEATH (MIRAFI 140N OR APPROVED EQUAL).
24. HDPE PIPE SHALL BE ADS N-12 WT (ASTM D3212) OR APPROVED EQUAL INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS REQUIREMENTS AND RECOMMENDATIONS.
25. ALL SITE CONSTRUCTION MUST BE INSPECTED BY THE GEOTECHNICAL ENGINEER AT THE FOLLOWING STAGES:
  - A. COMPLETION OF GRADING SUBGRADE PRIOR TO PLACING STONE BASE.
  - B. COMPLETION OF STONE PLACEMENT PRIOR TO PAVING.
  - C. FINAL INSPECTION WHEN ALL WORK IS COMPLETE.

26. PRIOR TO PLACING CABO STONE BASE, THE CONTRACTOR SHOULD NOTIFY THE GEOTECHNICAL ENGINEER TO INSPECT THE PROOF ROLL OF THE SUBGRADE. ANY STONE PLACED WITHOUT PRIOR APPROVAL WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SUBJECT TO RE-CONSTRUCTION IF SUBGRADE DOES NOT MEET TOWN AND NCDOT STANDARDS & SPECIFICATIONS.
27. ALL UTILITY SERVICES, (POWER, TELEPHONE, CABLE, ETC.) ARE PROPOSED TO BE UNDERGROUND. THE CONTRACTOR SHALL COORDINATE WITH THE PRIVATE UTILITY SERVICE COMPANIES FOR ANY REQUIRED CONDUITS OR POINT OF CONTACT CONDITIONS.
28. ALL PUBLIC UTILITIES THAT REQUIRE AN ENGINEERING CERTIFICATION MUST BE INSPECTED BY A PROFESSIONAL ENGINEER ON A PERIODIC BASIS. THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER WHEN INSTALLING UTILITIES FOR PERIODIC INSPECTIONS. THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER AT THE TIME OF PRESSURE TESTING AND WATER LINE DISINFECTION. THE CONTRACTOR SHALL SUPPLY THE PROJECT ENGINEER PRESSURE TEST RESULTS.
29. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS AND FIELD CONDITIONS WHEN POSSIBLE, BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS WELL IN ADVANCE OF TRENCHING. IF THE CLEARANCES ARE LESS THAN SPECIFIED ON THE PLANS OR 12 INCHES, WHICH EVER IS LESS, CONTACT THE PROJECT ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
30. THE CONTRACTOR SHALL INCLUDE IN HIS CONTRACT PRICE THE REMOVAL AND DISPOSAL, TO AN APPROVED NCDENR LOCATION, OF ANY EXCESS TOPSOIL OR UNCLASSIFIED EXCAVATION HE DETERMINES IS NOT REQUIRED TO PERFORM THE FINAL GRADING AND LANDSCAPING OPERATION.
31. THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE DAILY RECORD KEEPING OF THE AS-BUILT CONDITION OF ALL OF THE UNDERGROUND UTILITIES, CONSTRUCTION STAKEOUT ASSOCIATED WITH THE PROJECT. PREPARATION OF THE NECESSARY/REQUIRED AS-BUILT PLANS TO BE SUBMITTED TO TOWN OF ROLESVILLE AND/OR CITY RALEIGH PUBLIC UTILITIES AND/OR ALL OTHER INFORMATION REQUIRED IN CONNECTION WITH RELEASE OF BONDS.
32. THE CONTRACTOR SHALL INCLUDE IN THE PRICE, ANY AND ALL COSTS ASSOCIATED WITH PROVIDING A PROFESSIONAL ENGINEER ON SITE IF REQUIRED, DURING THE CONSTRUCTION OF THE STORMWATER MANAGEMENT FACILITIES, UNDERGROUND UTILITIES, ETC. AS REQUIRED FOR AS-BUILT CERTIFICATION.
33. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL REQUIRED/NECESSARY SHEETING, SHORING, AND SPECIAL EXCAVATION MEASURES REQUIRED ON THE PROJECT TO MEET OSHA, FEDERAL, STATE AND LOCAL REGULATIONS PURSUANT TO THE INSTALLATION OF THE WORK INDICATED ON THE DRAWINGS. NCDOT, TOWN OF ROLESVILLE, CITY OF RALEIGH, & ENGINEER OF RECORD ACCEPT NO RESPONSIBILITY FOR THE DESIGN TO INSTALL SAID ITEMS.
34. TESTING BY CONTRACTOR: CONTRACTOR SHALL EMPLOY AT HIS EXPENSE AN OUTSIDE INDEPENDENT SOIL TESTING SERVICE (APPROVED BY THE OWNER) TO PERFORM SOIL TESTING AND INSPECTION SERVICE FOR QUALITY CONTROL TESTING DURING EARTHWORK OPERATIONS. COPIES OF RESULTS OF TESTS SHALL BE SUBMITTED BY THE TESTING SERVICE DIRECTLY TO THE CONTRACTOR, THE OWNER, AND THE APPLICABLE APPROVING AGENCY. --THE TESTING SERVICE WILL CLASSIFY PROPOSED ON-SITE AND BORROW SOILS TO VERIFY THAT SOILS COMPLY WITH SPECIFIED REQUIREMENTS AND TO PERFORM REQUIRED FIELD AND LABORATORY TESTING. (MINIMUM REQUIRED SOIL BEARING CAPACITY IS NOTED ON THE STRUCTURAL DRAWINGS). --IN PAVED AND BUILDING SLAB AREAS, THE TESTING SERVICE SHALL MAKE AT LEAST ONE FIELD DENSITY TEST FOR EACH 2000 SQUARE FEET OF FILL IN EACH COMPACTED FILL LAYER. IF A TEST SHOULD FAIL TO MEET REQUIRED DENSITY, THE CONTRACTOR SHALL RE-COMPACT THAT LAYER. THE SOIL TESTING SERVICE SHALL PERFORM ADDITIONAL TESTS AT THE CONTRACTOR'S EXPENSE TO SHOW THAT THE FAILED LAYER HAS REACHED THE REQUIRED COMPACTION. --IN FOUNDATION WALL AREAS, THE TESTING SERVICE SHALL MAKE AT LEAST ONE FIELD DENSITY TEST FOR EACH 100 FEET OR LESS OF WALL LENGTH OF FILL IN EACH COMPACTED FILL LAYER, WITH NO LESS THAN TWO TESTS ALONG A WALL FACE. IF A TEST SHOULD FAIL TO MEET REQUIRED DENSITY, THE CONTRACTOR SHALL RE-COMPACT THAT LAYER. THE SOIL TESTING SERVICE SHALL PERFORM ADDITIONAL TESTS AT THE CONTRACTOR'S EXPENSE TO SHOW THAT THE FAILED LAYER HAS REACHED THE REQUIRED COMPACTION.
35. COMPACTION: COMPACT EACH LAYER OF BACKFILL AND FILL SOIL MATERIALS AND THE TOP 12" OF SUBGRADE IN CUT AREAS TO 98% OF MAXIMUM DENSITY IN ACCORDANCE WITH AASHTO T99 FOR STRUCTURES, SLABS, AND PAVEMENTS AND 95% OF MAXIMUM DENSITY FOR EMBANKMENTS OR UNPAVED AREAS. MAX LIFT THICKNESS FOR FILL AREAS IS 8 INCHES.
36. DESIGN/FIELD CONDITIONS QUITE EASILY MAY VARY FROM THAT REPRESENTED IN THE INITIAL SOILS REPORT AND/OR TOPOGRAPHICAL REPORT. ISOLATED AREAS MAY SHOW UP WEAK AND ADVERSE SOILS OR GROUNDWATER CONDITIONS MAY BE DISCOVERED THAT WERE NOT REVEALED DURING THE INITIAL SOILS INVESTIGATION. THEREFORE, THE OWNER/CLIENT IS TO BE AWARE THAT ENGINEER OF RECORD WILL NOT AND CANNOT BE HELD RESPONSIBLE FOR ANY FAILURES TO EITHER A STREET OR PARKING LOT PAVEMENT DESIGN UNLESS WE CAN BE FULLY AND TOTALLY INVOLVED IN THE CONSTRUCTION PROCESS WHICH MAY INCLUDE, BUT MAY NOT NECESSARILY BE LIMITED TO, TESTING SUBGRADE AND BASE DENSITY, ENGAGING THE GEOTECHNICAL ENGINEER FOR THE EVALUATION OF THE SUBGRADE AND FOR THE OBSERVATION OF PROOF ROLLING SUBGRADE AND BASE AT VARIOUS STEPS OF CONSTRUCTION, OPPORTUNITY FOR THE DESIGN ENGINEER TO CALL IN A GEOTECHNICAL ENGINEER FOR CONSULTATION AND ADVICE, ETC. - STEPS WHICH TAKEN ALTOGETHER WITH THE INITIAL DESIGN SHOWN ON THE PLANS, CONSTITUTE THE COMPLETE DESIGN OF THE ROAD, STREET OF PARKING AREA (PRIVATE OR PUBLIC). THE DESIGN ENGINEER MUST BE GIVEN THE FULL LATITUDE AND OPPORTUNITY TO COMPLETE THE DESIGN BY FULLY PARTICIPATING IN THE CONSTRUCTION PROCESS. PLAN DESIGN IS A SMALL PORTION OF THE DESIGN AND CANNOT BE SEPARATED FROM THE CONSTRUCTION PROCESS IF THE OWNER'S/CLIENT'S DESIRE IS TO HAVE THE DESIGN ENGINEER STAND BEHIND THE COMPLETED DESIGNED PROJECT.
37. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDING PADS.
38. THE SITE PREVIOUSLY CONTAINED RESIDENTIAL / FARM STRUCTURES CONTRACTOR RESPONSIBLE FOR REMOVAL OF ANY FOUNDATIONS AND SEPTIC SYSTEMS PER NCDNR REQUIREMENTS.

**GENERAL ABBREVIATIONS:**

IDENTIFIER	DESCRIPTION
&	AND
CL	CENTERLINE
Ø	DIAMETER OR ROUND
PL	PROPERTY LINE
ABC	AGGREGATE BASE ASPH ASPHALT
AHJ	AUTHORITY HAVING JURISDICTION
AVE	AVENUE
BLVD	BOULEVARD
BLDG	BUILDING
BOC	BACK OF CURB
BW	BOTTOM OF WALL
CB	CATCH BASIN
CI	CURB INLET
CIP	CAST IRON PIPE
CLS	CLASS
CJ	CONTROL JOINT
CO	CLEANOUT
CONC	CONCRETE
DI	DROP INLET
DIA	DIAMETER
DIP	DUCTILE IRON PIPE
DOM	DOMESTIC
DR	DRIVE
(XX)	EXISTING ELEVATION
E	EAST, EASTING
EL	ELEVATION
EJ	EXPANSION JOINT
EOP	EDGE OF PAVEMENT
E.O.R	ENGINEER OF RECORD
EX	EXISTING
EVAP	EVAPORATIVE
FDC	FIRE DEPARTMENT CONNECTION
FES	FLARED END SECTION
FFE	FINISHED FLOOR ELEVATION
FG	FINISHED GRADE
FHA	FIRE HYDRANT ASSEMBLY
FL	FLOW LINE
FT	FOOT OR FEET
G	GAS
GALV	GALVANIZED
GB	GRADE BREAK
GE	GENERAL ELECTRIC
GR	GRADE
HDPE	HIGH DENSITY POLYETHYLENE
HORIZ	HORIZONTAL
HOV	HIGH OCCUPANCY VEHICLE
HP	HIGH POINT
IAW	IN ACCORDANCE WITH
I.H.	INTERSTATE HIGHWAY
INV	INVERT

**GENERAL ABBREVIATIONS:**

IDENTIFIER	DESCRIPTION
LEN	LENGTH
LEV	LOW EMISSION VEHICLE
LF	LINEAR FEET
LP	LOW POINT
MAX	MAXIMUM
MH	MANHOLE
MIN	MINIMUM
N	NORTH, NORTHING
NCDENR	NORTH CAROLINA DEPARTMENT OF ENVIRONMENT & NATURAL RESOURCES
NCDOT	NORTH CAROLINA DEPARTMENT OF TRANSPORTATION
NTS	NOT TO SCALE
OH	OVERHEAD
OCB	OFF-SET CATCH BASIN
PCC	PORTLAND CEMENT CONCRETE
PE	POLYETHYLENE
PKWY	PARKWAY
POC	POINT OF CONNECTION
PVC	POLYVINYL CHLORIDE
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
R.O.W	RIGHT OF WAY
RPDA	REDUCED PRESSURE DETECTOR ASSEMBLY
RPZ	REDUCED PRESSURE ZONE
S	SOUTH
SD	STORM DRAIN
SDMH	STORM DRAIN MANHOLE
SDE	SIGHT DISTANCE EASEMENT
SSMH	SANITARY SEWER MANHOLE
SS	SANITARY SEWER
STA	STATION
STD	STANDARD
ST.STL	STAINLESS STEEL
SWPPP	STORMWATER POLLUTION PREVENTION PLAN
TB	THRUST BLOCKING
TC/TOC	TOP OF CURB
TD	TEMPORARY DIVERSION
TH	TEST HEADER
TOP	TOP OF PIPE
TP	TOP OF PAD
TYP	TYPICAL
TW	TOP OF WALL
UG	UNDERGROUND
VEG	VEGETATED
VERT	VERTICAL
W	WEST
W/	WITH
W/O	WITHOUT
YI	YARD INLET

\*\* ALL SYMBOLS & ABBREVIATIONS SHOWN ON THIS SHEET MAY OR MAY NOT BE USED IN THIS DRAWING PACKAGE \*\*

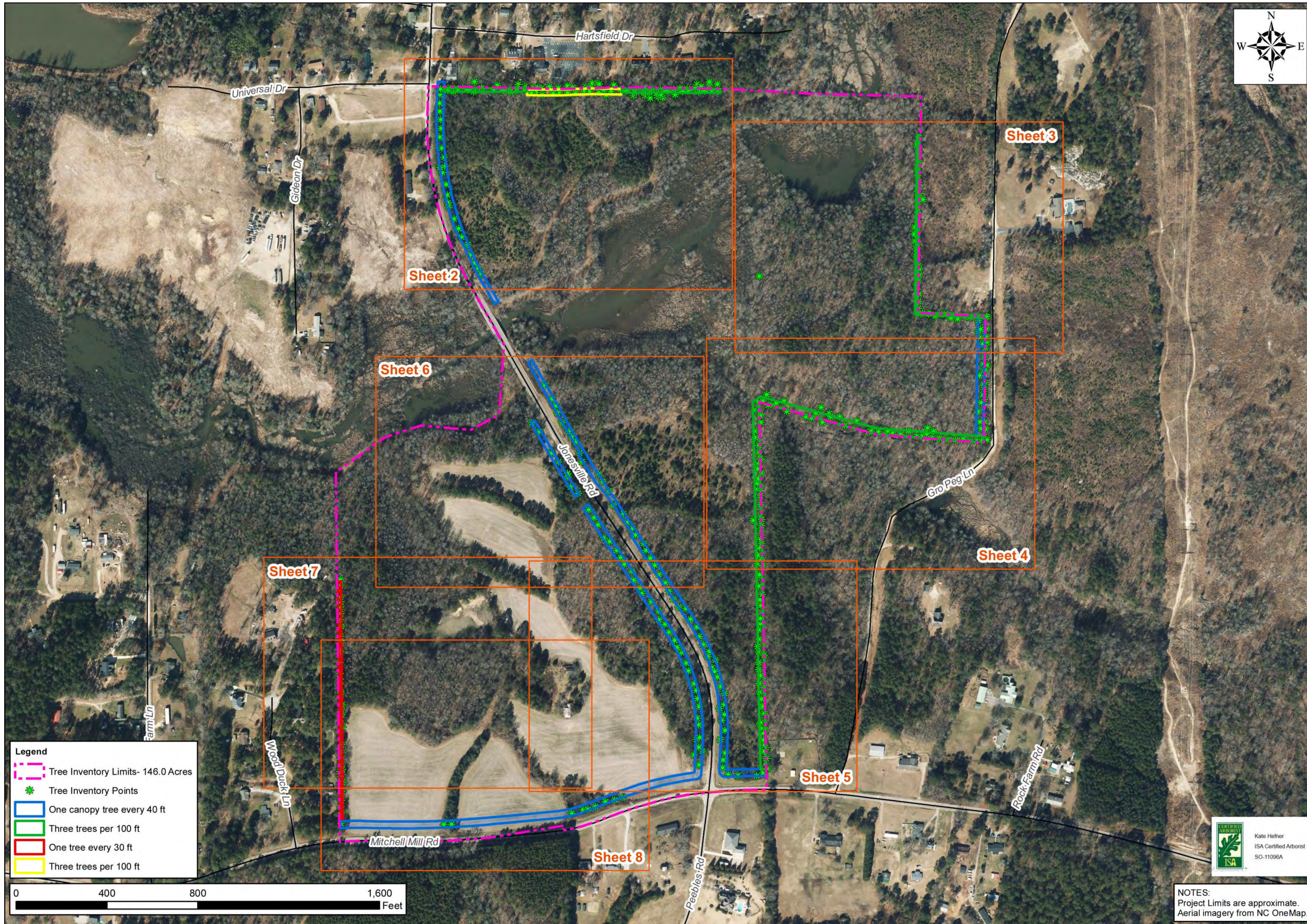
STRONG ROCK PROJECT PSP-24-03 NOT FOR CONSTRUCTION SCALE AS SHOWN DESIGNED BY JWL DRAWN BY SRG CHECKED BY JWL	STRONG ROCK ENGINEERING GROUP, PLLC   COMPANY LICENSE # P-2166 305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609   INFORMATION@STRONGROCKGROUP.COM	RESERVE @ MITCHELL MILL TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA PRELIMINARY SUBDIVISION PLAT CIVIL NOTES	DRAWING SHEET <b>C-2.0</b> <b>04 OF 76</b>	DATED: 08/01/2023 12/05/2023 03/01/2024 NO. REVISIONS DATE BY
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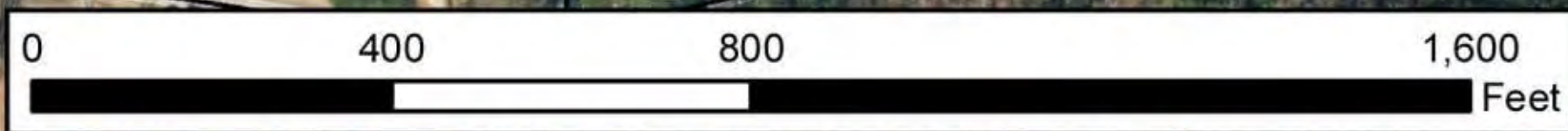




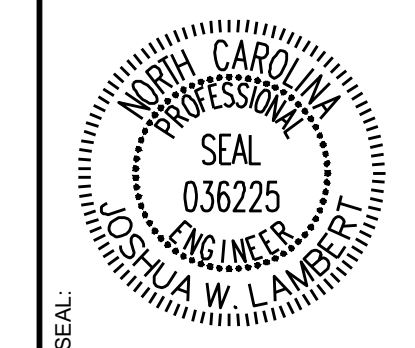


**Legend**

- Tree Inventory Limits- 146.0 Acres
- \* Tree Inventory Points
- One canopy tree every 40 ft
- Three trees per 100 ft
- One tree every 30 ft
- Three trees per 100 ft



01	PRELIMINARY SUBDIVISION PLAT P-24-03	08/01/2023	SRG	BY
02	TOWN OF ROLESVILLE COMMENTS P-24-03	12/05/2023	SRG	DATE
03	TOWN OF ROLESVILLE COMMENTS P-24-03	03/01/2024	SRG	
REVISIONS				
No.				



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STRONG ROCK PROJECT	PSP-24-03
NOT FOR CONSTRUCTION	
SCALE	AS SHOWN
DESIGNED BY	JWL
DRAWN BY	SRG
CHECKED BY	JWL

RESERVE @ MITCHELL MILL  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
PRELIMINARY SUBDIVISION PLAT  
OVERALL TREE INVENTORY MAP

NOTES:  
Project Limits are approximate.  
Aerial imagery from NC OneMap.

DRAWING SHEET  
**C-3.1**



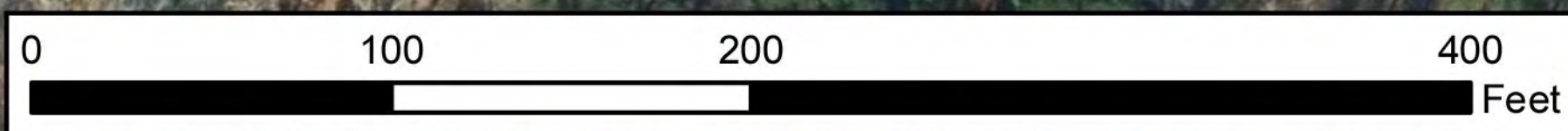






**Legend**

- Tree Inventory Limits- 146.0 Acres
- \* Tree Inventory Points
- One canopy tree every 40 ft
- Three trees per 100 ft
- One tree every 30 ft
- Three trees per 100 ft



NO.	REVISIONS	DATE	BY
01	PRELIMINARY SUBDIVISION PLAT P-24-03	08/01/2023	SREG
02	TOWN OF ROLESVILLE COMMENTS P-24-03	12/05/2023	SREG
03	TOWN OF ROLESVILLE COMMENTS P-24-03	03/01/2024	SREG



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STRONG ROCK PROJECT	STRONG ROCK PROJECT
PSP-24-03	PSP-24-03
NOT FOR CONSTRUCTION	NOT FOR CONSTRUCTION
SCALE AS SHOWN	SCALE AS SHOWN
DESIGNED BY JWL	DESIGNED BY JWL
DRAWN BY SRG	DRAWN BY SRG
CHECKED BY JWL	CHECKED BY JWL

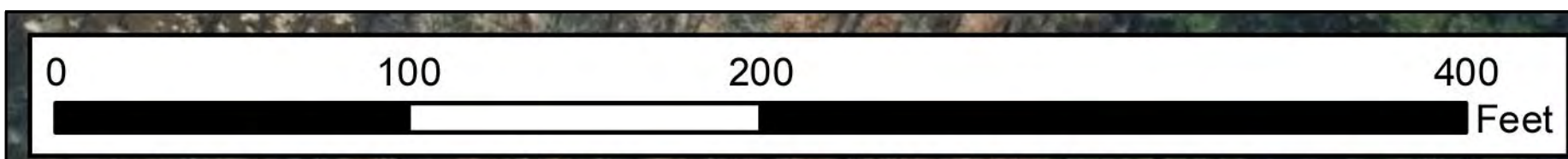
RESERVE @ MITCHELL MILL  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
PRELIMINARY SUBDIVISION PLAT  
PARTIAL TREE INVENTORY MAP II



NOTES:  
Project Limits are approximate.  
Aerial imagery from NC OneMap.

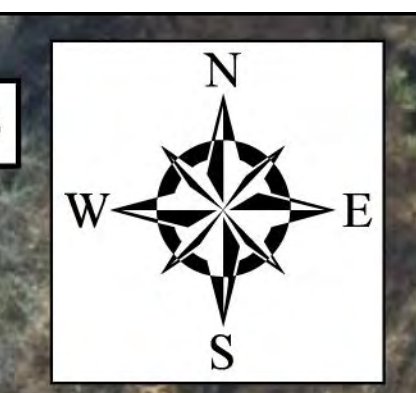
DRAWING SHEET  
**C-3.3**



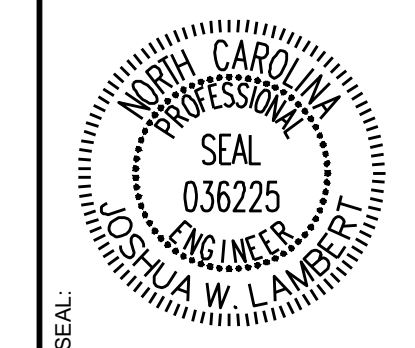


**Legend**

- Tree Inventory Limits- 146.0 Acres
- Tree Inventory Points
- One canopy tree every 40 ft
- Three trees per 100 ft
- One tree every 30 ft
- Three trees per 100 ft



NO.	REVISIONS	DATE	BY
01			
02			
03			



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STRONG ROCK PROJECT	STRONG ROCK PROJECT
PSP-24-00	PSP-24-00
NOT FOR CONSTRUCTION	NOT FOR CONSTRUCTION
SCALE AS SHOWN	SCALE AS SHOWN
DESIGNED BY JWL	DESIGNED BY JWL
DRAWN BY SRG	DRAWN BY SRG
CHECKED BY JWL	CHECKED BY JWL

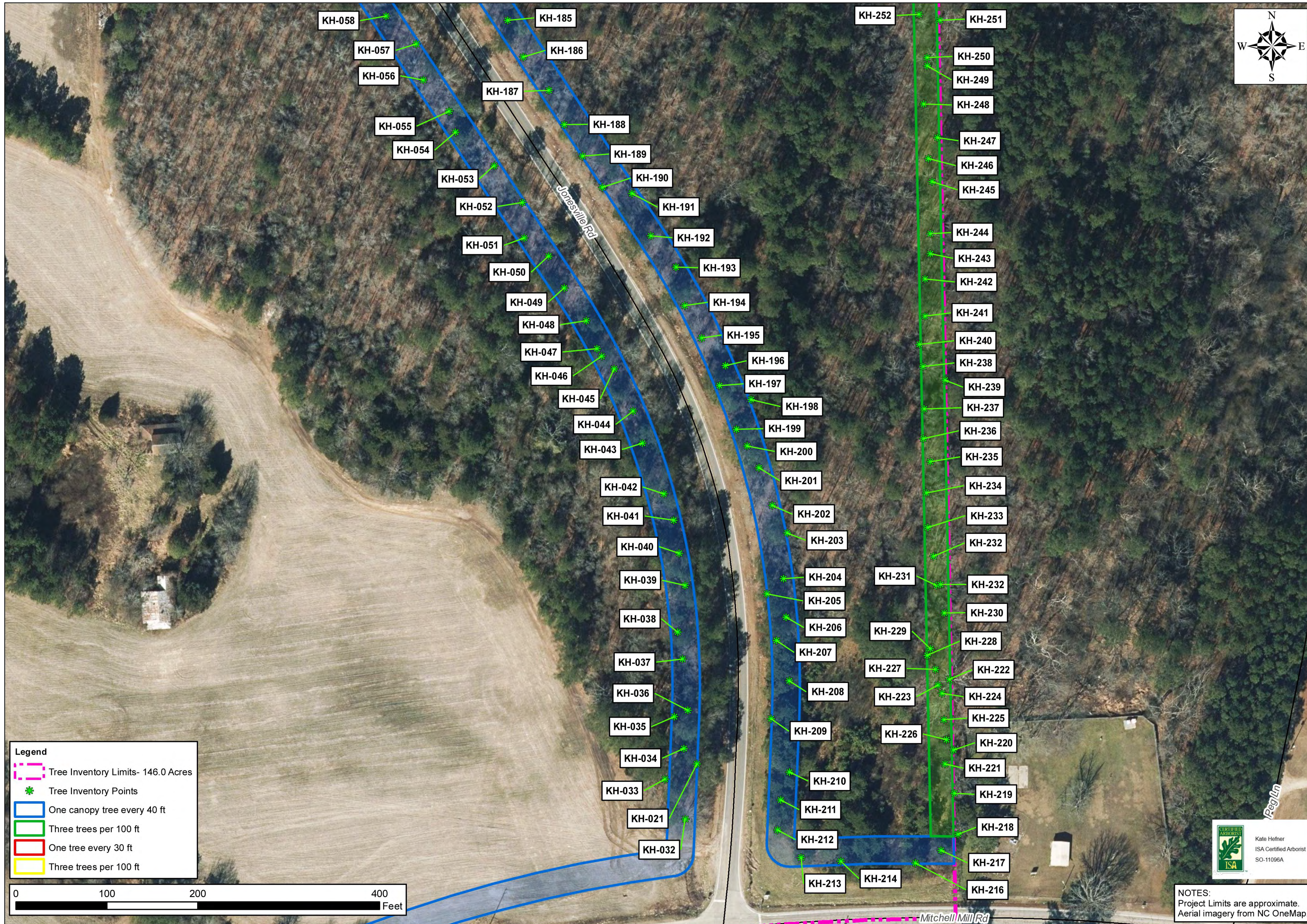
RESERVE @ MITCHELL MILL  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
PRELIMINARY SUBDIVISION PLAT  
PARTIAL TREE INVENTORY MAP III



**NOTES:**  
Project Limits are approximate.  
Aerial imagery from NC OneMap.

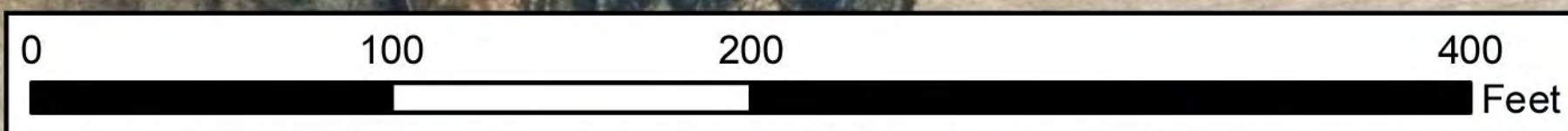
DRAWING SHEET  
**C-3.4**





**Legend**

- Tree Inventory Limits- 146.0 Acres
- \* Tree Inventory Points
- One canopy tree every 40 ft
- Three trees per 100 ft
- One tree every 30 ft
- Three trees per 100 ft



NO.	REVISIONS	DATE	BY
01			
02			
03			



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STRONG ROCK PROJECT	PSP-24-00
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SCALE	AS SHOWN
DESIGNED BY	JWL
DRAWN BY	SRG
CHECKED BY	JWL

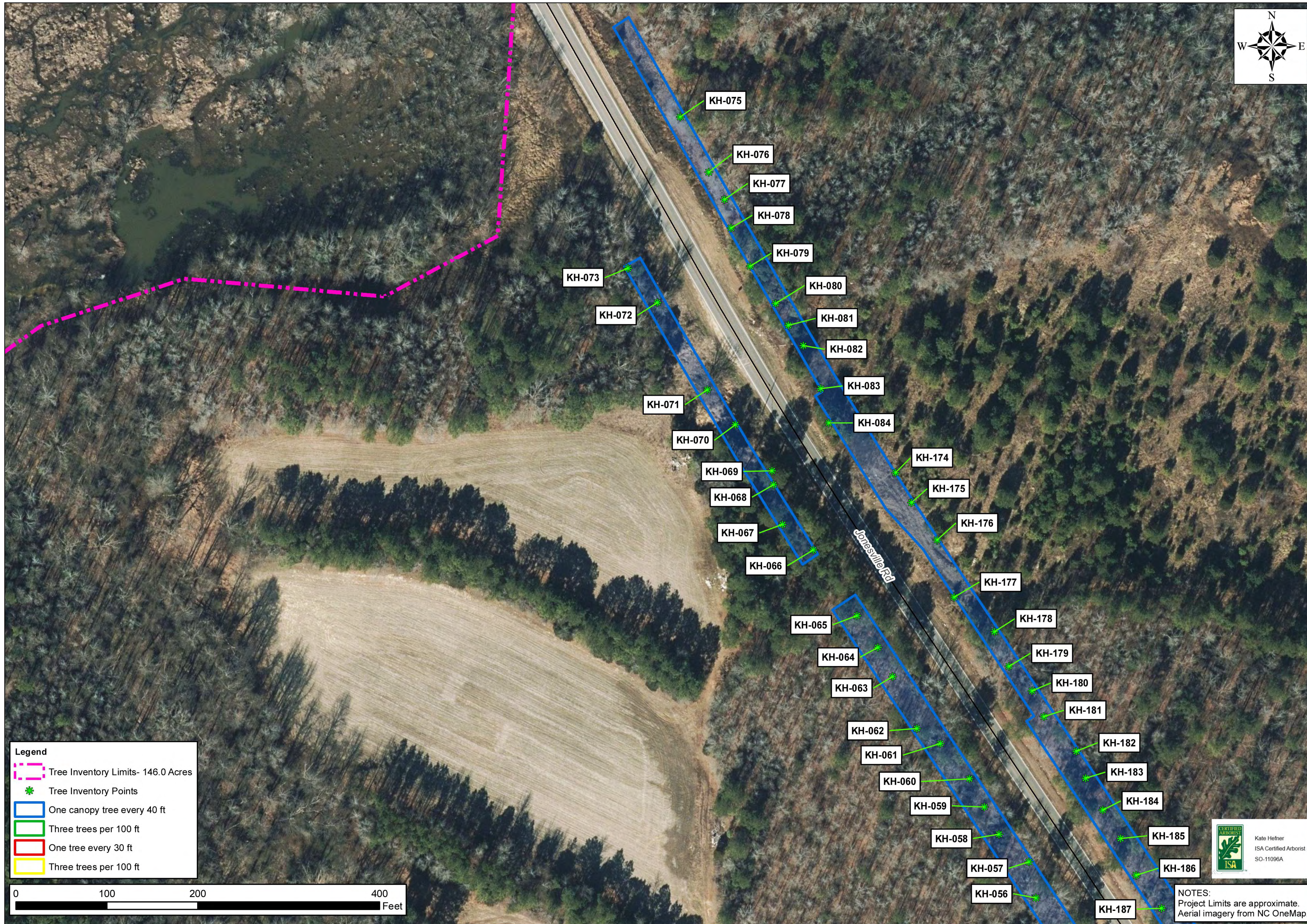
RESERVE @ MITCHELL MILL  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
PRELIMINARY SUBDIVISION PLAT  
PARTIAL TREE INVENTORY MAP IV



NOTES:  
Project Limits are approximate.  
Aerial imagery from NC OneMap.

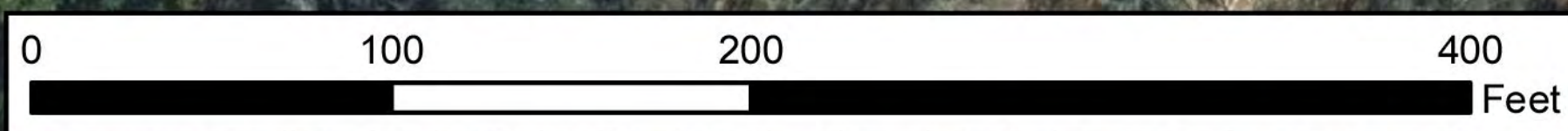
DRAWING SHEET  
**C-3.5**



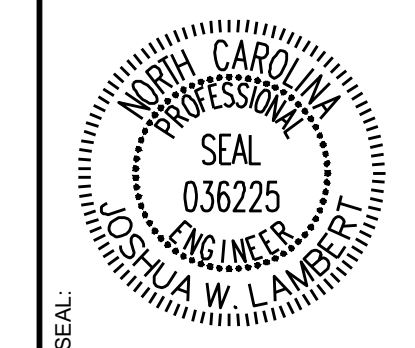


**Legend**

- Tree Inventory Limits- 146.0 Acres
- \* Tree Inventory Points
- One canopy tree every 40 ft
- Three trees per 100 ft
- One tree every 30 ft
- Three trees per 100 ft



NO.	REVISIONS	DATE	BY
01	PRELIMINARY SUBDIVISION PLAT P-24-03	08/01/2023	SRG
02	TOWN OF ROLESVILLE COMMENTS P-24-03	12/05/2023	SRG
03	TOWN OF ROLESVILLE COMMENTS P-24-03	03/01/2024	SRG



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STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166  
305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	DESIGNED BY	CHECKED BY
PSP-24-03	JWL	JWL
NOT FOR CONSTRUCTION	SCALE	SRG
AS SHOWN		

RESERVE @ MITCHELL MILL  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
PRELIMINARY SUBDIVISION PLAT  
PARTIAL TREE INVENTORY MAP V



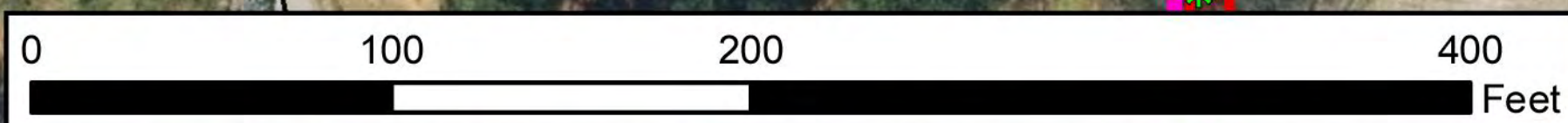
NOTES:  
Project Limits are approximate.  
Aerial imagery from NC OneMap.

DRAWING SHEET  
**C-3.6**

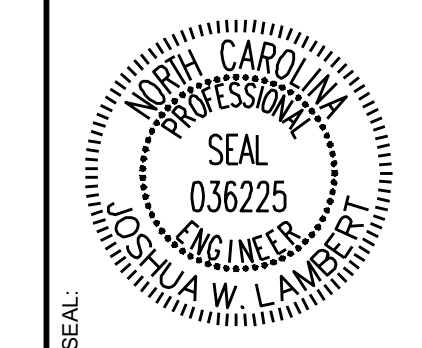




- Legend**
- Tree Inventory Limits- 146.0 Acres
  - \* Tree Inventory Points
  - One canopy tree every 40 ft
  - Three trees per 100 ft
  - One tree every 30 ft
  - Three trees per 100 ft



No.	REVISIONS	DATE	BY
01	PRELIMINARY SUBDIVISION PLAT P-24-03	08/01/2023	SREG
02	TOWN OF ROLESVILLE COMMENTS P-24-03	12/05/2023	SREG
03	TOWN OF ROLESVILLE COMMENTS P-24-03	03/01/2024	SREG



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STRONG ROCK PROJECT	STRONG ROCK PROJECT
PSP-24-03	PSP-24-03
NOT FOR CONSTRUCTION	NOT FOR CONSTRUCTION
SCALE AS SHOWN	SCALE AS SHOWN
DESIGNED BY JWL	DESIGNED BY JWL
DRAWN BY SRG	DRAWN BY SRG
CHECKED BY JWL	CHECKED BY JWL

RESERVE @ MITCHELL MILL  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
PRELIMINARY SUBDIVISION PLAT  
PARTIAL TREE INVENTORY MAP VI



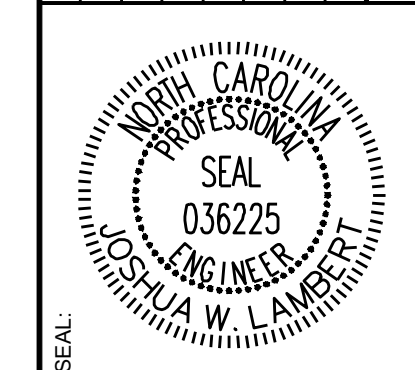
**NOTES:**  
Project Limits are approximate.  
Aerial imagery from NC OneMap.

DRAWING SHEET  
**C-3.7**





NO.	REVISIONS	DATE	BY
01			
02			
03			



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STRONG ROCK PROJECT	STRONG ROCK PROJECT
PSP-24-00	PSP-24-00
NOT FOR CONSTRUCTION	NOT FOR CONSTRUCTION
SCALE AS SHOWN	SCALE AS SHOWN
DESIGNED BY JWL	DESIGNED BY JWL
DRAWN BY SRG	DRAWN BY SRG
CHECKED BY JWL	CHECKED BY JWL

RESERVE @ MITCHELL MILL  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
PRELIMINARY SUBDIVISION PLAT  
PARTIAL TREE INVENTORY MAP VII

DRAWING SHEET  
**C-3.8**

**NOTES:**  
Project Limits are approximate.  
Aerial imagery from NC OneMap.



Tree Code	Botanical Name	DBH	Condition Overall
AJ-001	LITU	19"	Good
AJ-002	CATO	10"	Good
AJ-003	QUAL	10"	Good
AJ-004	JUVI	8"	Good
AJ-005	CATO	13"	Good
AJ-006	QURU	10"	Good
AJ-007	QURU	8"	Good
AJ-008	LIST	16"	Good
AJ-009	QUAL	8"	Good
AJ-010	QURU	14"	Good
AJ-011	QUAL	14"	Good
AJ-012	QUAL	12"	Good
AJ-013	CATO	8"	Good
AJ-014	ACRU	14"	Good
AJ-015	QUNI	5"	Good
AJ-016	LIST	4"	Good
AJ-017	LIST	4"	Good
AJ-018	PITA	16/18"	Good
AJ-019	ACRU	4"	Good
AJ-020	QUNI	10"	Good
AJ-021	LIST	16"	Good
AJ-022a	PITA	20"	Good
AJ-022b	PITA	20"	Good
AJ-023	ACRU	13"	Good
AJ-024	QUST	22"	Fair
AJ-025	LIST	7"	Good
AJ-026	PITA	17"	Good
AJ-027	QUNI	4"	Good
AJ-028	PITA	28"	Good
AJ-029	CATO	9"	Fair
AJ-030	QURU	20"	Good
AJ-031	LIST	19"	Good
AJ-032	CATO	12"	Good
AJ-033	LITU	27"	Good
AJ-034	LIST	18"	Good
AJ-035	LITU	23"	Good
AJ-036	PITA	20"	Good
AJ-037	ULAL	14"	Good
AJ-038	LURU	19"	Good
AJ-039	LIST	36"	Good
AJ-040	ACRU	22"	Good
AJ-041a	ACRU	15"	Good
AJ-041b	ACRU	18"	Good
AJ-042	LITU	22"	Good
AJ-043	LITU	18"	Good
AJ-044	PRSE	19"	Fair
AJ-045	LITU	19"	Good
AJ-046	LITU	17"	Good
AJ-047	QUVE	3"	Fair
AJ-048	LIST	8"	Fair
AJ-049	QUNI	17"	Good
AJ-050	QUAL	12"	Good
AJ-051	QUAL	12"	Good
AJ-052	QURU	12"	Good
AJ-053	QUAL	4"	Good
AJ-054	QUAL	32"	Good
AJ-055	OXAR	6"	Good
AJ-056	QURU	19"	Good
AJ-057	QUAL	13"	Good
AJ-058	LITU	7"	Good
AJ-059	LITU	24"	Good
AJ-060	QURU	32"	Good
AJ-061	ILOP	6"	Good
AJ-062	QURU	20"	Good

Tree Code	Botanical Name	DBH	Condition Overall
KH-132	PITA	5"	Good
KH-133	PITA	8"	Good
KH-134	PITA	14"	Good
KH-135	QUNI	7"	Good
KH-136	PITA	29"	Good
KH-137	PITA	11"	Fair
KH-138	QUNI	5"	Good
KH-139	QUNI	4"	Fair
KH-140	PITA	8"	Good
KH-141	LIST	5"	Good
KH-142	PITA	14"	Good
KH-143	ULRU	10"	Good
KH-144	QUNI	8"	Good
KH-145	PITA	24"	Good
KH-146	QUNI	7"	Good
KH-147	QUNI	12"	Good
KH-148	QUNI	14"	Good
KH-149	ULRU	7"	Good
KH-150	LISI	3"	Fair
KH-151	LURU	9"	Good
KH-154	MORU	10"	Fair
KH-155	ULRU	13"	Good
KH-156	PITA	31"	Good
KH-157	PRSE	9"	Good
KH-158	QURU	37"	Excellent
KH-159	LIST	8"	Good
KH-160	LITU	34"	Good
KH-163	QUAL	24"	Good
KH-164	QURU	23"	Good
KH-165	ILOP	9"	Good
KH-167	QUAL	21"	Good
KH-168	QUFA	21"	Good
KH-169	QUAL	22"	Good
KH-170	QURU	23"	Good
KH-171	PITA	21"	Good
KH-172	PITA	24"	Good
KH-173	LIST	9/8"	Fair
KH-174	PITA	5"	Good
KH-175	PITA	4"	Good
KH-176	PITA	6"	Good
KH-177	JUVI	8"	Good
KH-178	PITA	15"	Good
KH-179	QUNI	3"	Good
KH-180	QUNI	9"	Good
KH-181	QURU	8"	Good
KH-182	QUAL	8"	Good
KH-183	QUNI	6"	Good
KH-184	QUAL	8"	Good
KH-185	QUAL	8"	Good
KH-186	QUAL	13"	Good
KH-187	QUNI	10"	Good
KH-188	QUNI	5"	Good
KH-189	QUAL	13"	Good
KH-190	QUAL	10"	Good
KH-191	QUAL	14/13/12"	Good
KH-192	QUNI	8"	Good
KH-193	QUAL	4"	Good
KH-194	PRSE	6/5"	Good
KH-195	QUNI	7"	Good
KH-196	PRSE	7"	Good
KH-197	PITA	20"	Good
KH-198	PITA	14"	Good
KH-199	PITA	14"	Good
KH-200	PITA	20"	Good

Tree Code	Botanical Name	DBH	Condition Overall
AJ-063	LITU	12"	Good
AJ-064	QURU	19"	Good
AJ-065	LITU	16"	Good
AJ-066	OXAF	14"	Good
AJ-067	ACRU	4"	Good
AJ-068	ACRU	5"	Good
AJ-069	ACRU	10"	Good
AJ-070	ACRU	6"	Good
AJ-071	ACRU	9"	Good
AJ-072	PRSE	9"	Good
AJ-073	DVI	3"	Good
AJ-074	LITU	8"	Fair
AJ-075	ACRU	21"	Good
AJ-076	LITU	13"	Good
AJ-077	LIST	13"	Good
AJ-078	LIST	4"	Good
AJ-079	LITU	18"	Poor
AJ-080	LITU	25"	Good
AJ-081	PRSE	9"	Good
AJ-082	LITU	22"	Good
AJ-083	LITU	21"	Good
AJ-084	PLOC	41"	Good
AJ-086	ACRU	9"	Good
AJ-087	LITU	30"	Good
AJ-088	LIST	4"	Good
AJ-089	ACRU	18"	Good
AJ-090	ACRU	30"	Good
AJ-091	ACRU	30"	Good
AJ-092	PRSE	4"	Good
AJ-093	LIST	9"	Good
AJ-094	FRPE	22"	Good
AJ-095	LIST	21"	Good
AJ-096	LIST	18"	Good
AJ-097	LITU	19"	Good
AJ-098	PRSE	8"	Good
AJ-099	QUNI	4"	Good
AJ-100	ILOP	4"	Good
AJ-101	QUST	29"	Poor
AJ-102	QURU	18"	Good
AJ-103	LIST	6"	Good
AJ-104	QURU	19"	Good
AJ-105	QUNI	17"	Good
AJ-106	LIST	7"	Good
AJ-107	QURU	28"	Good
AJ-108	LIST	6"	Good
AJ-109	QUST	18"	Good
AJ-110	PRSE	6"	Good
AJ-111	LIST	14"	Good
AJ-112	PITA	21"	Good
AJ-113	QUPH	18"	Good
AJ-114	PITA	28"	Good
AJ-115	CACA	5"	Good
AJ-116	QUST	20"	Good
AJ-117	CACA	8"	Good
AJ-117	CACA	3"	Good
AJ-118	QUNI	16"	Good
AJ-123	PITA	23"	Good
AJ-124	PITA	25"	Good
AJ-125	PRSE	6"	Good
AJ-126	QUNI	7"	Good
AJ-127	QUNI	7"	Good
AJ-128	PITA	20"	Good
AJ-129	PITA	20"	Good
AJ-130	LITU	21"	Good
AJ-131	ULRU	8"	Good

Tree Code	Botanical Name	DBH	Condition Overall
KH-201	PITA	4/4"	Fair
KH-202	QUNI	7"	Good
KH-203	QUAL	9"	Good
KH-204	QUNI	8"	Good
KH-205	PITA	20"	Poor
KH-206	PRSE	11"	Fair
KH-207	PITA	20"	Good
KH-208	PITA	12"	Good
KH-209	PITA	15"	Good
KH-210	PITA	13"	Good
KH-211	PITA	12"	Good
KH-212	PITA	12"	Good
KH-213	PITA	16"	Good
KH-214	PITA	10"	Good
KH-216	PITA	14"	Good
KH-217	PITA	14"	Good
KH-218	ULRU	11"	Good
KH-219	QUNI	4"	Good
KH-220	ULRU	15"	Good
KH-221	JUVI	5"	Good
KH-222	QURU	66"	Good
KH-223	QURU	22"	Good
KH-224	QURU	25"	Good
KH-225	ULRU	10"	Good
KH-226	CATO	8"	Good
KH-227	QURU	11"	Good
KH-228	PITA	22"	Good
KH-229	QURU	13"	Good
KH-230	QUAL	16"	Good
KH-231	QURU	17"	Fair
KH-232	QURU	18"	Good
KH-232	QURU	20/11"	Good
KH-233	QURU	10"	Good
KH-234	QURU	10/7/7/7"	Fair
KH-235	QURU	8"	Good
KH-236	QUAL	9/7/7"	Good
KH-237	QURU	15"	Good
KH-238	QUAL	14/11"	Good
KH-239	PITA	26"	Good
KH-240	QUAL	11/11"	Good
KH-241	QURU	13/10/9"	Good
KH-242	QURU	6/4"	Good
KH-243	QUAL	3"	Good
KH-244	QUAL	12/10/9/7"	Good
KH-245	QUAL	18/10"	Good
KH-246	QUAL	7"	Good
KH-247	PITA	25"	Good
KH-248	QUAL	8"	Good
KH-249	QUAL	10"	Good
KH-250	QURU	24"	Good
KH-251	LITU	31/12"	Good
KH-252	QURU	7"	Good
KH-253	QURU	23"	Good
KH-254	QUNI	11"	Poor
KH-260	LIST	16"	Good
KH-261	LITU	22"	Good
KH-262	LIST	9"	Good
KH-263	QURU	17"	Good
KH-264	QUAL	8"	Good
KH-265	PITA	16"	Good
KH-266	QURU	14"	Good
KH-267	QUAL	11"	Good
KH-268	QUAL	12"	Good
KH-269	PITA	15"	Good

Tree Code	Botanical Name	DBH	Condition Overall
KH-002	PITA	30"	Good
KH-003	ACRU	31"	Good
KH-004	LITU	45"	Fair
KH-005	QUAL	7"	Good
KH-006	LIST	10"	Good
KH-007	LIST	6"	Good
KH-008	CATO	5"	Good
KH-009	JUVI	5"	Good
KH-010	QURU	4"	Good
KH-011	QURU	6"	Good
KH-012	QUAL	21"	Good
KH-013	QUAL	9"	Good
KH-014	QUAL	20"	Good
KH-015	QUFA	15"	Good
KH-016	CATO	10"	Good
KH-017	QUFA	10"	Good
KH-019	LIST	11"	Good
KH-020	QUNI	12"	Good
KH-021	PITA	40"	Excellent
KH-023	LIST	5"	Good
KH-024	LIST	8"	Good
KH-025	JUVI	30"	Good
KH-026	PRSE	6"	Good
KH-027	PITA	13"	Good
KH-028	PITA	13"	Good
KH-029	JUVI	8"	Good
KH-030	PRSE	4"	Good
KH-031	PLOR	3"	Fair
KH-032	DVI	18"	Good
KH-033	PITA	25"	Excellent
KH-034	PITA	18"	Excellent
KH-035	QUNI	29"	Good
KH-036	LIST	8"	Good
KH-037	ULRU	14"	Good
KH-038	PITA	17"	Good
KH-039	PITA	13"	Good
KH-040	PITA	16"	Good
KH-041	QUAL	6"	Good
KH-042	PITA	18"	Good
KH-043	ULRU	6"	Good
KH-044	QUNI	5"	Fair
KH-045	QUNI	6"	Good
KH-046	QUNI	6"	Good
KH-047	PITA	21"	Good
KH-048	PITA	21"	Good
KH-049	QUNI	5"	Good
KH-050	QUNI	5"	Good
KH-051	QURU	6"	Good
KH-052	LIST	8"	Good
KH-053	QUAL	8"	Good
KH-054	PITA	20"	Good
KH-055	JUVI	8"	Good
KH-056	KOFL	3"	Good
KH-057	QUNI	5"	Good
KH-058	QUAL	10"	Good
KH-059	QUAL	5"	Good
KH-060	LIST	6"	Good
KH-061	QUNI	5"	Good
KH-062	QUAL	8"	Good
KH-063	QUNI	8"	Good
KH-064	QUAL	8"	Good
KH-065	PITA	10"	Good
KH-066	PITA	16"	Good

Tree Code	Botanical Name	DBH	Condition Overall
KH-270	PITA	15"	Good
KH-271	QURU	8"	Good
KH-272	PRSE	6"	Poor
KH-273	PRSE	7"	Fair
KH-274	ULRU	20"	Fair
KH-275	LISI	6"	Fair
KH-276	LISI	3"	Fair
KH-277	PITA	28"	Good
KH-278	ILOP	11"	Good
KH-279	PRSE	8"	Good
KH-280	QURU	13"	Good
KH-281	QUNI	12"	Poor
KH-282	PITA	25"	Good
KH-283	QUAL	16"	Good
KH-284	QUNI	20"	Good
KH-285	QUNI	8"	Poor
KH-286	LIST	8"	Good
KH-287	PRSE	5"	Good
KH-288	ILOP	5"	Good
KH-289	QUNI	5"	Good
KH-290	PRSE	4"	Good
KH-291	QUST	11"	Fair
KH-292	QUNI	4"	

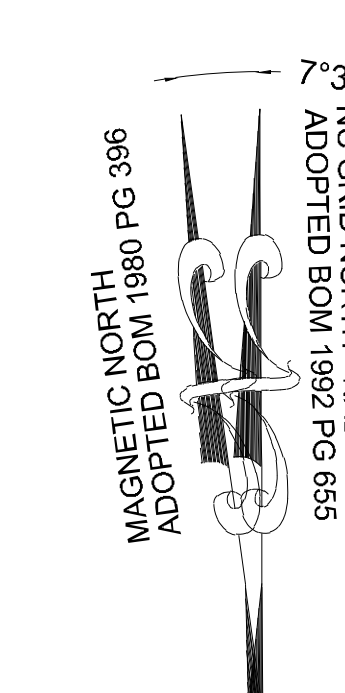






NAME	ROADWAY	LENGTH	DIRECTION	BEGIN STATION	END STATION
L1	STREET 'A'	1264.52'	N0°23'28"W	10+00.00	22+64.52
L2	STREET 'B'	282.58'	N89°36'34"E	10+00.00	12+82.58
L3	STREET 'B'	274.71'	N85°56'51"E	13+46.50	16+21.20
L4	STREET 'B'	25.00'	N2°52'16"W	16+21.21	16+46.20
L5	STREET 'C'	398.73'	N90°00'00"E	10+00.00	13+98.73
L6	STREET 'C'	167.06'	N66°21'40"E	16+05.02	17+72.08
L7	STREET 'D'	270.12'	N89°36'34"E	10+00.00	12+70.12
L8	STREET 'E'	115.42'	N14°39'30"W	10+00.00	11+15.42
L9	STREET 'E'	17.18'	N2°10'11"W	11+91.71	12+08.88
L10	STREET 'E'	288.95'	N23°37'43"W	13+24.99	16+13.93
L11	STREET 'E'	76.14'	N8°29'13"W	17+46.08	18+22.21
L12	STREET 'E'	274.64'	N33°36'56"W	19+58.17	22+32.81
L13	STREET 'E'	56.04'	N10°59'05"W	23+55.26	24+11.30
L14	STREET 'E'	12.51'	N31°53'05"W	25+17.73	25+30.24
L15	STREET 'F'	116.47'	S56°12'22"W	10+00.00	11+16.47
L16	STREET 'F'	351.71'	S79°05'59"W	12+40.34	15+92.05
L17	STREET 'G'	7.60'	N12°48'44"W	10+00.00	10+07.60
L18	STREET 'G'	169.36'	N33°39'46"W	10+91.30	12+60.65
L19	STREET 'H'	205.88'	S56°21'23"W	10+00.00	12+05.88
L20	STREET 'H'	298.92'	S81°30'47"W	13+59.56	16+58.48
L21	STREET 'I'	1222.94'	N56°12'22"E	10+00.00	22+22.94
L22	STREET 'I'	451.93'	S87°11'53"E	25+42.30	29+94.22
L23	STREET 'J'	726.67'	S33°46'39"E	10+00.00	17+26.67
L24	STREET 'J'	52.63'	S1°05'25"E	18+57.89	19+10.52
L25	STREET 'K'	103.46'	S33°47'38"E	10+00.00	11+03.46
L26	STREET 'K'	530.88'	S1°05'25"E	12+34.74	17+65.61

NAME	ROADWAY	LENGTH	DIRECTION	BEGIN STATION	END STATION
L27	STREET 'L'	176.90'	N33°46'39"W	10+00.00	11+76.90
L28	STREET 'L'	351.89'	N56°12'22"E	11+76.90	15+28.79
L29	STREET 'L'	25.00'	N33°47'38"W	15+28.79	15+53.79
L30	STREET 'M'	11.85'	N28°40'26"W	10+00.00	10+11.85
L31	STREET 'M'	264.97'	N0°41'10"E	11+29.71	13+94.68
L32	STREET 'M'	258.23'	S89°18'50"E	13+94.68	16+52.91
L33	STREET 'N'	434.34'	N0°41'10"E	10+00.00	14+34.34
L34	STREET 'O'	61.73'	S28°40'26"E	10+00.00	10+61.73
L35	STREET 'O'	2.61'	N59°15'52"E	14+31.29	14+33.90
L36	STREET 'O'	4.68'	N2°48'07"E	16+60.56	16+65.24
L37	STREET 'P'	491.62'	S56°12'22"W	10+00.00	14+91.62
L38	STREET 'P'	27.48'	N0°10'05"W	19+50.07	19+77.54
L39	STREET 'R'	802.07'	N89°58'55"E	10+00.00	18+02.07
L40	STREET 'S'	85.37'	S88°54'35"W	10+00.00	10+85.37
L41	STREET 'S'	2.12'	S56°13'21"W	12+16.59	12+18.71
L42	PUBLIC ALLEY '1'	22.33'	S12°40'01"E	10+00.00	10+22.33
L43	PUBLIC ALLEY '1'	341.67'	S33°36'56"E	10+77.18	14+18.84
L44	PUBLIC ALLEY '1'	125.34'	S23°26'24"E	14+45.48	15+70.82
L45	PUBLIC ALLEY '2'	16.09'	N56°23'04"E	10+00.00	10+16.09
L46	PUBLIC ALLEY '2'	303.00'	N79°05'59"E	10+75.57	13+78.57
L47	PUBLIC ALLEY '2'	111.56'	N56°23'04"E	14+38.04	15+49.60
L48	PUBLIC ALLEY '3'	20.01'	N56°23'04"E	10+00.00	10+20.01
L49	PUBLIC ALLEY '3'	225.68'	N81°30'47"E	10+85.80	13+11.48
L50	PUBLIC ALLEY '3'	171.20'	N56°21'23"E	13+77.34	15+48.54
L51	PUBLIC ALLEY '4'	523.87'	N58°06'55"E	10+00.00	15+23.87
L52	PRIVATE DRIVEWAY	335.89'	S33°36'56"E	10+00.00	13+35.89



NAME	ROADWAY	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD DIRECTION	BEGIN STATION	END STATION
C1	STREET 'B'	1000.00'	63.91'	63.90'	N87°46'43"E	12+82.58	13+46.49
C2	STREET 'C'	500.00'	206.29'	204.83'	N78°10'50"E	13+98.73	16+05.02
C3	STREET 'E'	350.00'	76.29'	76.14'	N8°24'51"W	11+15.42	11+91.71
C4	STREET 'E'	310.00'	116.10'	115.43'	N12°53'57"W	12+08.88	13+24.99
C5	STREET 'E'	500.00'	132.14'	131.75'	N16°03'28"W	16+13.93	17+46.07
C6	STREET 'E'	310.00'	135.96'	134.87'	N21°03'04"W	18+22.21	19+58.17
C7	STREET 'E'	310.00'	122.44'	121.65'	N22°18'00"W	22+32.81	23+55.26
C8	STREET 'E'	310.00'	106.42'	105.90'	N22°05'22"W	24+11.30	25+17.72
C9	STREET 'F'	310.00'	123.87'	123.04'	S67°39'11"W	11+16.47	12+40.33
C10	STREET 'G'	230.00'	83.70'	83.24'	N23°14'15"W	10+07.60	10+91.30
C11	STREET 'H'	350.00'	153.67'	152.44'	S88°56'05"W	12+05.88	13+59.56
C12	STREET 'I'	500.00'	319.36'	313.96'	N74°30'15"E	22+22.94	25+42.30
C13	STREET 'J'	230.00'	131.21'	129.44'	S17°26'02"E	17+26.67	18+57.89
C14	STREET 'K'	230.00'	131.28'	129.51'	S17°26'31"E	11+03.46	12+34.74
C15	STREET 'M'	230.00'	117.86'	116.57'	N13°59'38"W	10+11.85	11+29.71
C16	STREET 'O'	230.00'	369.56'	331.07'	S74°42'17"E	10+61.73	14+31.29
C17	STREET 'O'	230.00'	226.66'	217.60'	N31°02'00"E	14+33.90	16+60.56
C18	STREET 'P'	400.00'	458.45'	433.76'	N32°48'56"E	14+91.62	19+50.06
C19	STREET 'Q'	1250.00'	518.68'	514.96'	S11°25'57"E	10+00.00	15+18.68
C20	STREET 'S'	230.00'	131.21'	129.44'	S72°33'58"W	10+85.37	12+16.59
C21	PUBLIC ALLEY '1'	150.00'	54.84'	54.54'	S23°08'29"E	10+22.33	10+77.17
C22	PUBLIC ALLEY '1'	150.00'	26.64'	26.60'	S28°31'40"E	14+18.84	14+45.48
C23	PUBLIC ALLEY '2'	150.00'	59.47'	59.08'	N67°44'32"E	10+16.09	10+75.56
C24	PUBLIC ALLEY '2'	150.00'	59.47'	59.08'	N67°44'32"E	13+78.57	14+38.03
C25	PUBLIC ALLEY '3'	150.00'	65.79'	65.26'	N68°56'56"E	10+20.01	10+85.79
C26	PUBLIC ALLEY '3'	150.00'	65.86'	65.33'	N68°56'05"E	13+11.48	13+77.34

**LEGEND:**

- EXISTING PROPERTY LINE
- 500 YEAR FLOOD LINE
- 100 YEAR FLOOD LINE
- SIGN
- STOP BAR
- ROADWAY CENTER LINE
- PROPOSED PROPERTY LINE
- STANDARD CURB & GUTTER
- CONCRETE SIDEWALK
- ASPHALT PAVEMENT
- OPEN SPACE
- EXISTING WETLAND
- FLOOD HAZARD
- FLOODZONE AE
- FLOODWAY
- SWAMP/MARSH HARRIS CREEK

Add Zoning District Colors to the legend, as well as fluorescent green color.

SREG: The legend has been updated, see sheet C5.0

**TOWNHOME NOTES:**  
STATES INTERNAL TOWNHOME DRIVEWAYS ARE PRIVATE EASEMENTS AS PER CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT

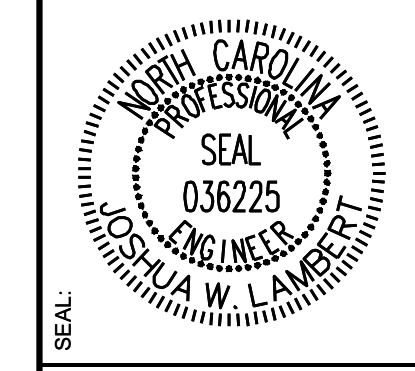
- GENERAL NOTES:**
- ALL CONSTRUCTION SHALL CONFORM TO TOWN OF ROLESVILLE AND CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
  - ROADS AND DRIVEWAYS SHALL COMPLY WITH NCDOT AND TOWN OF ROLESVILLE STANDARDS.
  - SIGN PERMITS SHALL BE REQUIRED FOR ANY ENTRANCE SIGNAGE. PERMITS SHALL BE REQUIRED PRIOR TO FABRICATION OR INSTALLATION OF SIGNS. SIGNAGE SHALL BE RESTRICTED TO AN ON-SITE LOCATION.
  - THE WATER AND SEWER SYSTEMS SHALL COMPLY WITH CITY OF RALEIGH STANDARDS.
  - ALL DESIGN AND CONSTRUCTION METHODS SHALL COMPLY WITH WAKE COUNTY'S SEDIMENTATION AND EROSION CONTROL REGULATIONS. AN EROSION CONTROL PLAN SHALL BE APPROVED BY TOWN OF ROLESVILLE PRIOR TO ANY GRADING.
  - CONSTRUCTION DRAWINGS SHALL BE SUBMITTED AND APPROVED BY TOWN OF ROLESVILLE AND CITY OF RALEIGH PRIOR TO CONSTRUCTION.
  - ALL STREETS WITHIN THE SUBDIVISION WILL HAVE A POSTED SPEED LIMIT OF 25 MPH.
  - RESTRICTIVE COVENANTS SHALL BE APPROVED AND RECORDED PRIOR TO RECORDING OF FINAL PLAT.
  - STORMWATER CONTROL MEASURES SHALL BE CONTAINED IN AND ACCESSED VIA OPEN SPACE MAINTAINED AND OWNED BY THE HOMEOWNER'S ASSOCIATION. A MAINTENANCE PLAN MUST BE DEVELOPED TO ADDRESS THE STORMWATER CONTROL MEASURES AND APPROVED BY TOWN OF ROLESVILLE.
  - PRIVATE STORM DRAINAGE EASEMENTS SHALL BE MAINTAINED BY THE HOA.
  - SUBDIVISION LOTS MUST BE LOTS OF RECORD PRIOR TO RECEIVING A BUILDING PERMIT.



Hatching not provided on sheet Legend.

SREG: Legend has been updated, see Sheet C5.0

NO.	REVISIONS	DATE	BY
01			
02			
03			



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STRONG ROCK PROJECT P-24-03	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL
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RESERVE @ MITCHELL MILL  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
PRELIMINARY SUBDIVISION PLAT  
OVERALL SITE PLAN

DRAWING SHEET  
**C-5.0**

THIS PLANSET AND ANY ASSOCIATED DOCUMENTS ARE PRELIMINARY AND NOT AUTHORIZED FOR CONSTRUCTION UNTIL SIGNED, DATED, AND OFFICIALLY RELEASED FOR CONSTRUCTION BY THE ENGINEER OF RECORD.



Note for Partial Site Plan Sheets: Holding street label requirement comment until Wake County 911 approval of street names.

SREG: Approved street names have been obtained and are now shown on the plans

Please add this fence line symbol to the legend

SREG: The legend has been updated, see Sheet C5.0

CHARLES ALFONSA JONES AND WIFE ALLIE V. JONES PIN: 1757484609 DB 2305 PG 673

FERRELL DB 1697 PG 465

ALESHIA FERRELL & ARRON WALKER DB 6374 PG 89

CHRIST HOLINESS CHURCH #1 DB 2928 PG 328

CHRIST HOLINESS CHURCH #1 DB 4321 PG 788

CHRIST HOLINESS CHURCH #1 DB 9467 PG 430

GENERIC WOODEN PRIVACY FENCE 8' TALL

CARL T. JONES DB 16128 PG 183

RS RENTAL II LLC DB 18703 PG 2414

KAREN E. BASS DB 12560 PG 1626

Label required 15', Type 2 buffer.

SREG: The type II perimeter buffer has been labeled

RM OS 13 COMMUNITY GARDEN AMENITY 1.59 AC PRIVATE COMMUNITY PATH INCLUDED IN COMMUNITY GARDEN SITE PLAN SEPARATE SUBMITTAL

RM OS 12 3.37 AC

RM OS 15 1.05 AC

RM OS 14 0.18 AC

Site Plan hatching indicates that these areas are still Open Space rather than Street Yard Buffer. Please update hatching throughout as only 50% of these buffer spaces may be counted as open space

SREG: The hatching has been updated throughout the plans

ALSTON AND WIFE MARIE J. ALSTON PIN: 1757481376 DB 3198 PG 631 BM 1982 PG 721

PING CHEN PIN: 1757471559 DB 18953 PG 592 NEW LOT 1 - BM 2007 PG 1224

Please label ramps per LDO Section 9.2.1.B.10.

SREG: All ramps have been labeled per LDO Section 9.2.1.B.10.

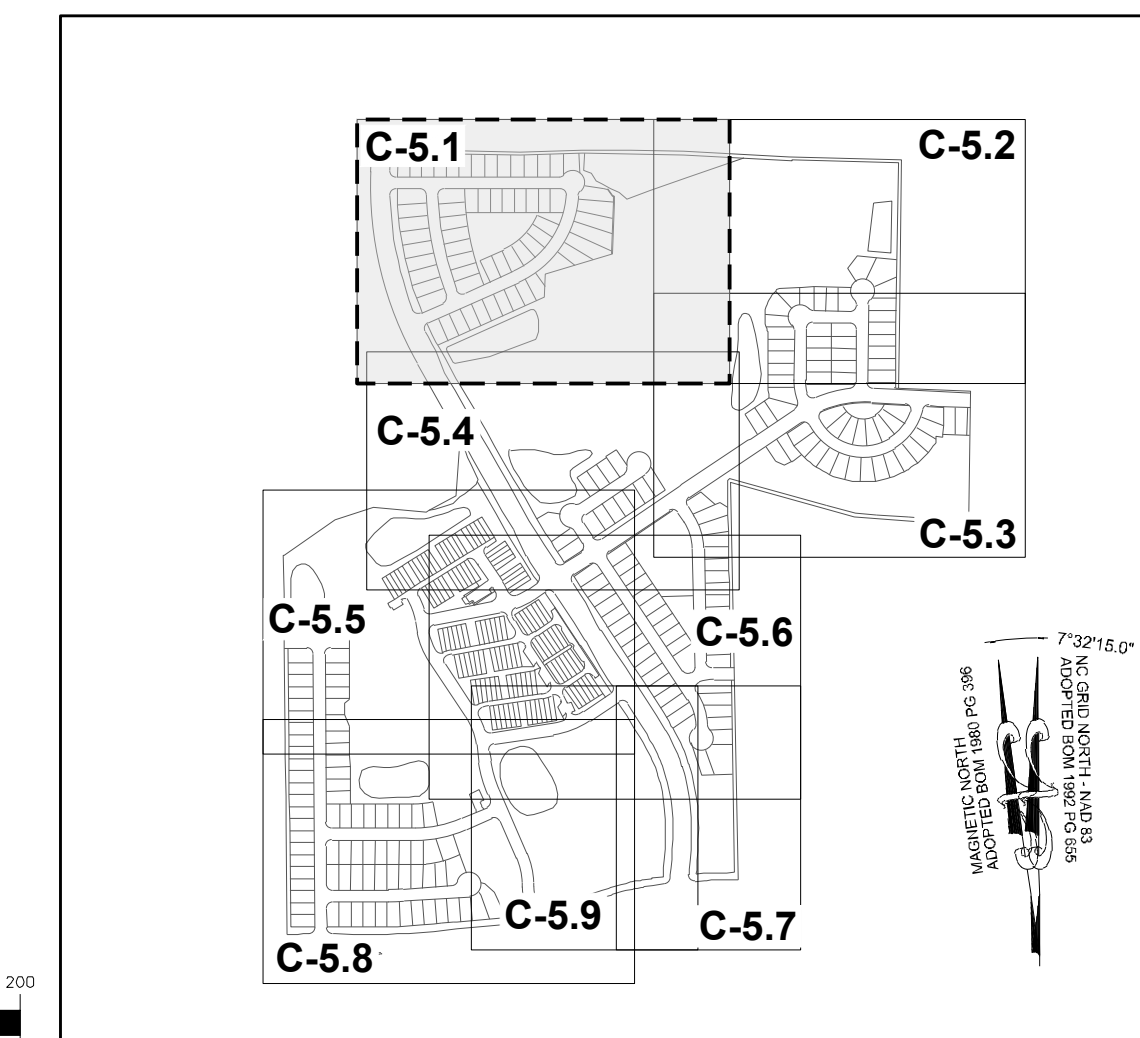
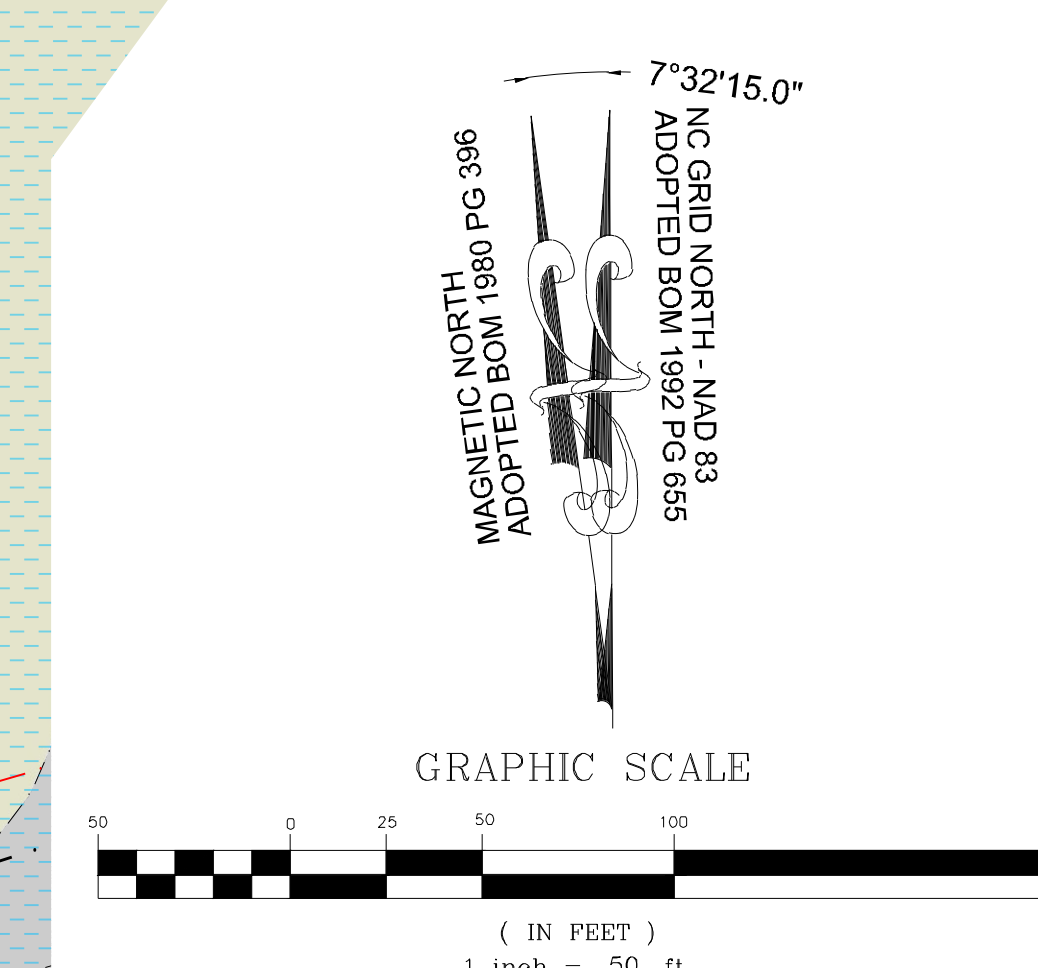
SREG: All SCM labels now have the sizes included

Label SCM sizes.

The street buffer yard here is reduced to less than 18'. This width should be 30'

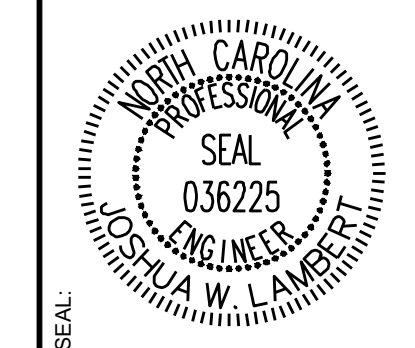
SREG: The street buffer yard of 30' is now maintained in this area and all other similar areas

SCM #6 WET POND



SITE KEY PLAN LEGEND: SEE SHEET C-5.0 FOR LEGEND, LINE & CURVE TABLE.

Table with columns: No., REVISIONS, DATE, BY. Includes revision history for sheets C-5.1 through C-5.9.



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Table with columns: PROJECT, DRAWN BY, CHECKED BY, DESIGNED BY, SCALE, AS SHOWN, CONSTRUCTION, NOT FOR PROJECT. Lists project details for P-24-03.

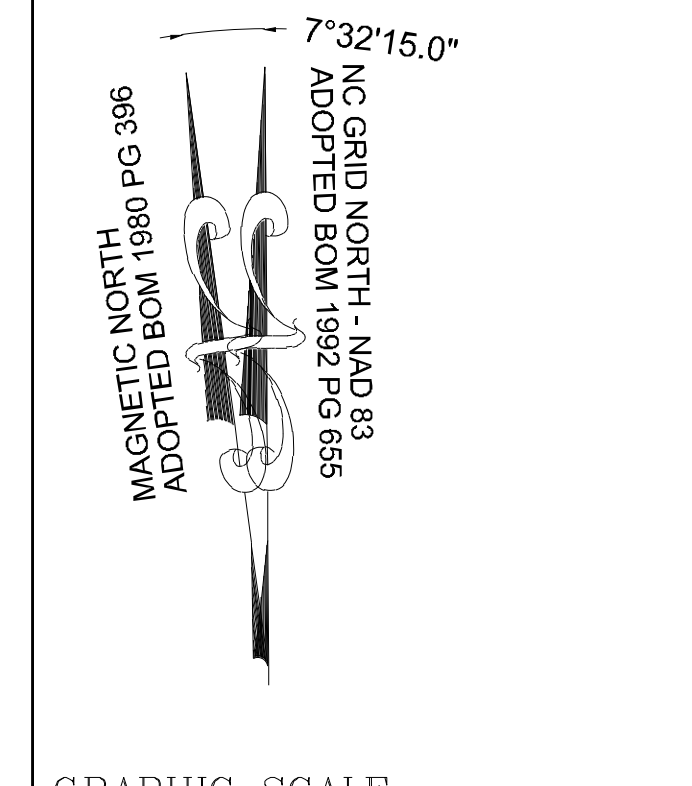
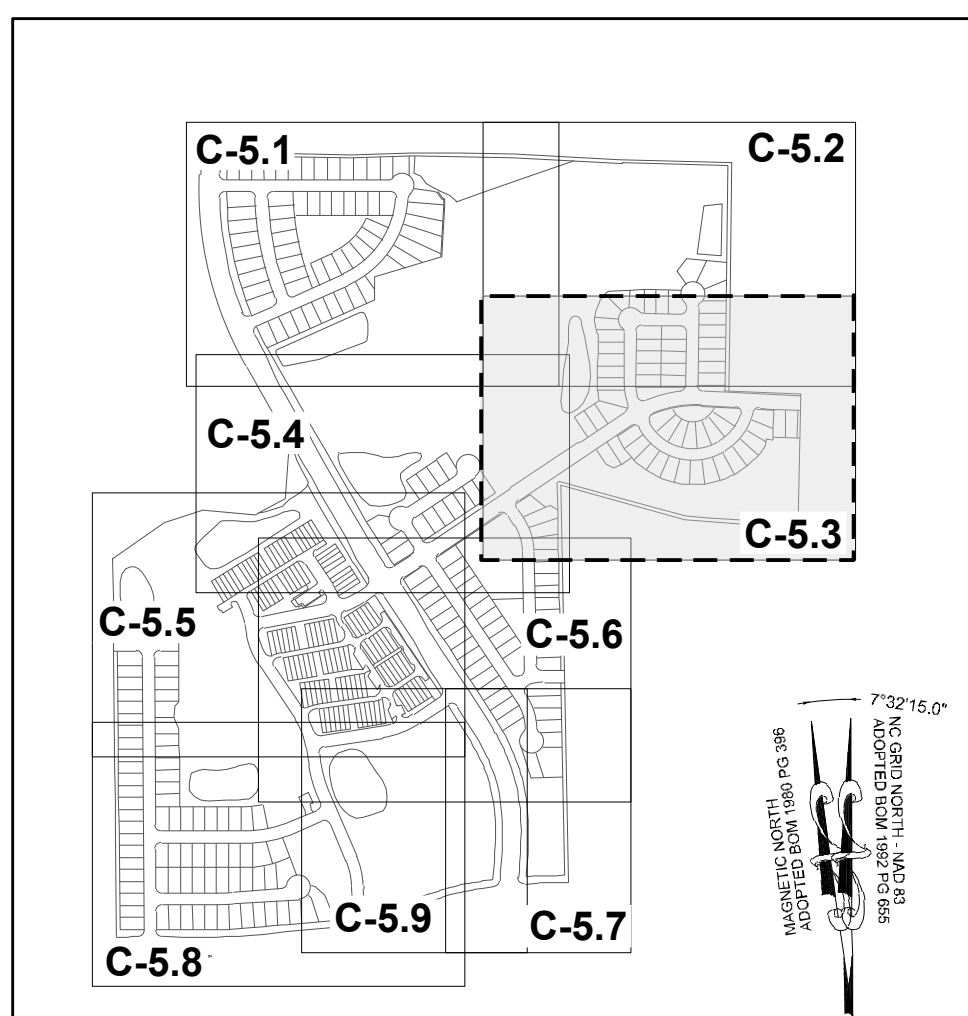
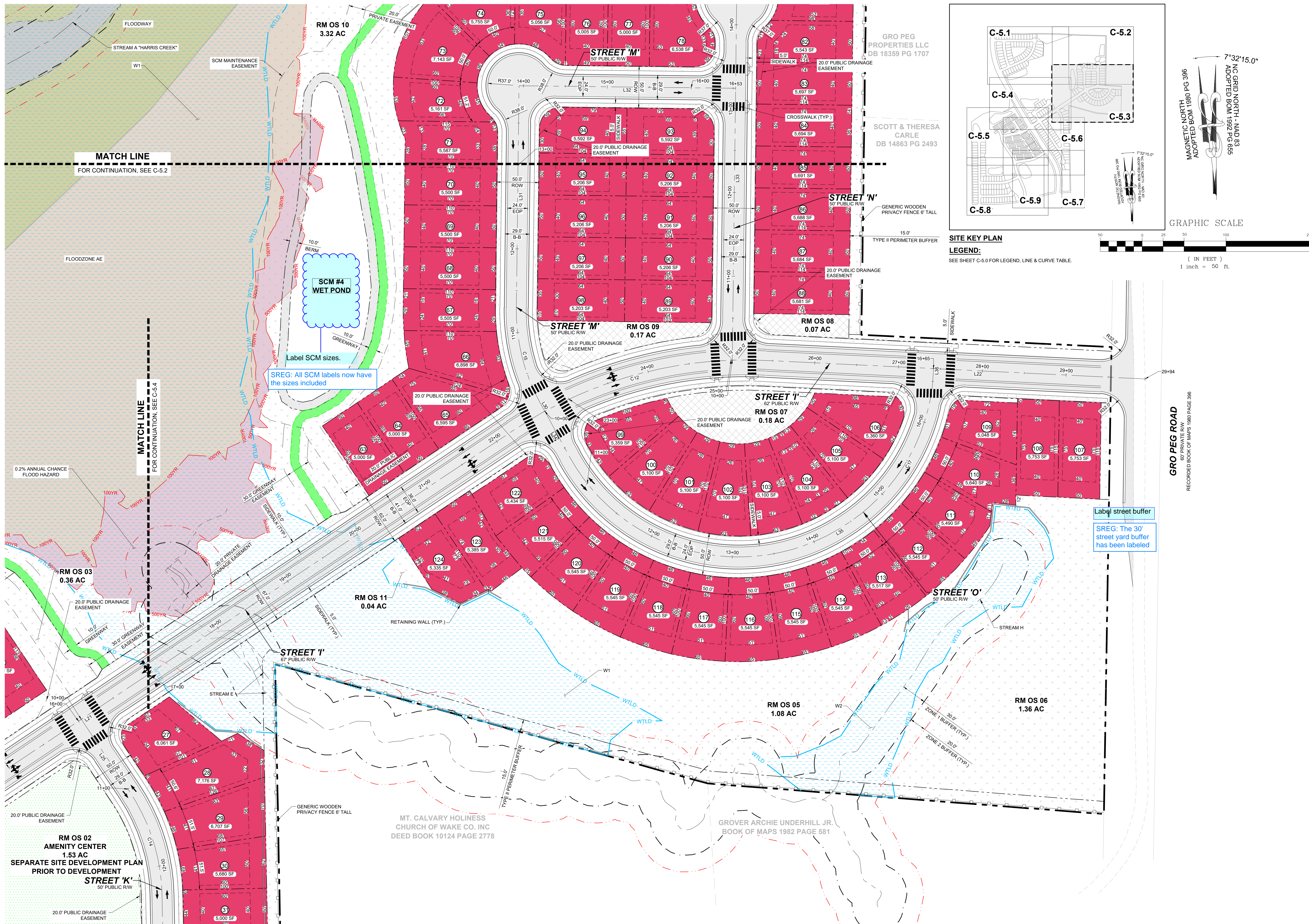
RESERVE @ MITCHELL MILL TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA PRELIMINARY SUBDIVISION PLAN PARTIAL SITE PLAN I DRAWING SHEET C-5.1

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**SITE KEY PLAN**  
**LEGEND:**  
 SEE SHEET C-5.0 FOR LEGEND, LINE & CURVE TABLE.

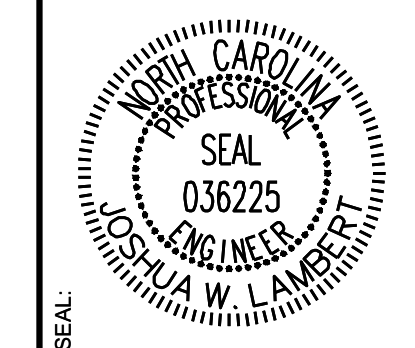
**MATCH LINE**  
 FOR CONTINUATION, SEE C-5.2

**MATCH LINE**  
 FOR CONTINUATION, SEE C-5.4

SREG: All SCM labels now have the sizes included

Label street buffer  
 SREG: The 30' street yard buffer has been labeled

NO.	REVISIONS	DATE	BY
01			
02			
03			



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STRONG ROCK PROJECT	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
STRONG ROCK PROJECT PSP-24-03	AS SHOWN	JWL	JWL	JWL

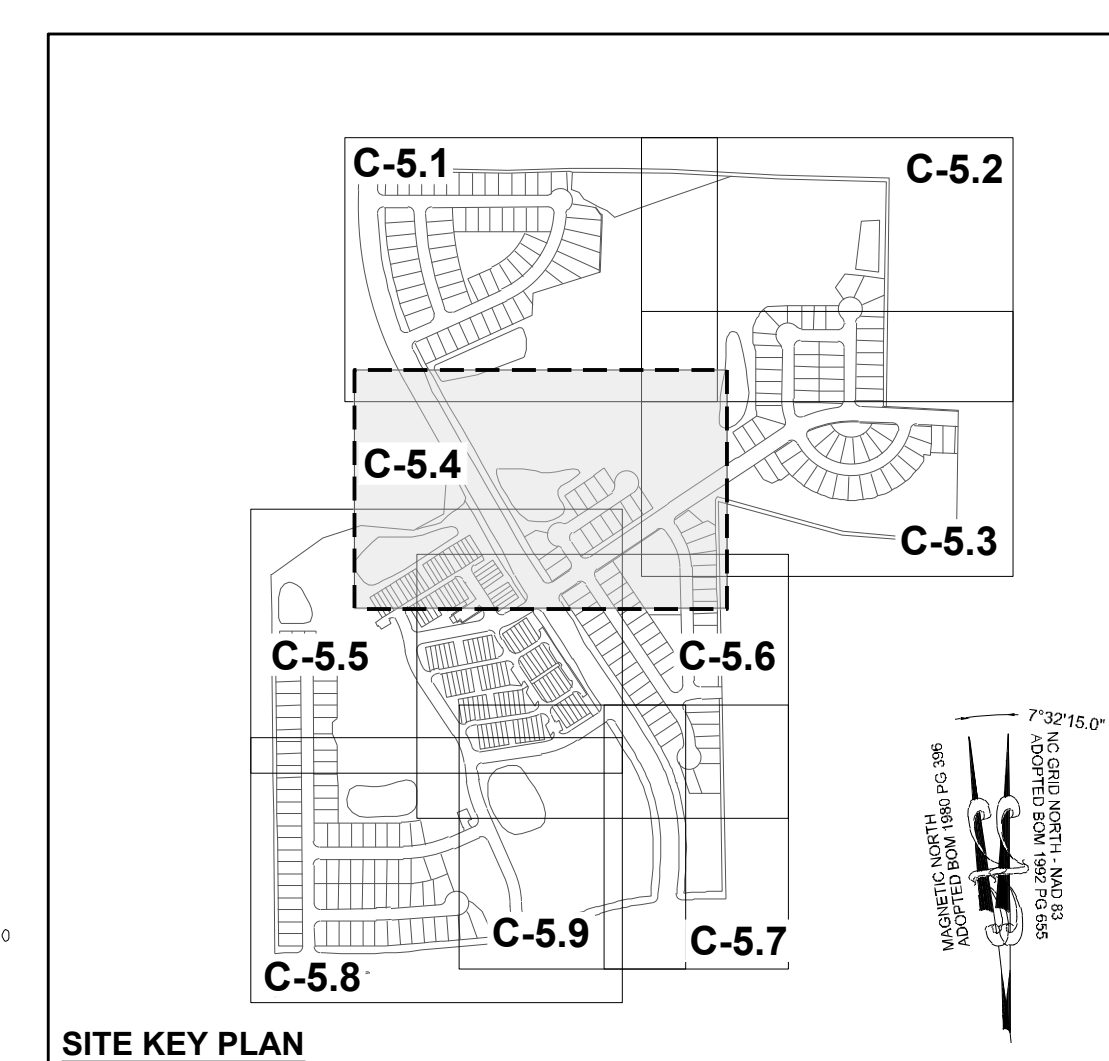
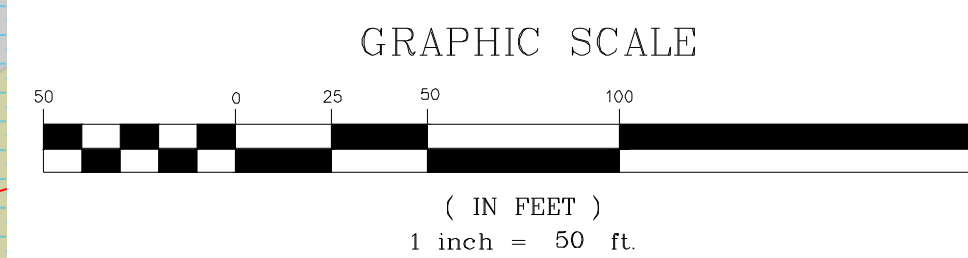
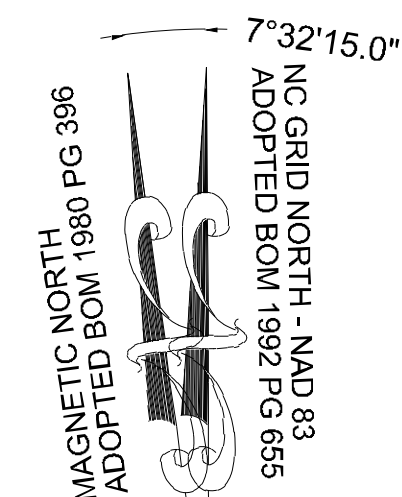
**RESERVE @ MITCHELL MILL**  
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
 PRELIMINARY SUBDIVISION PLAT  
**PARTIAL SITE PLAN III**

**DRAWING SHEET**  
**C-5.3**

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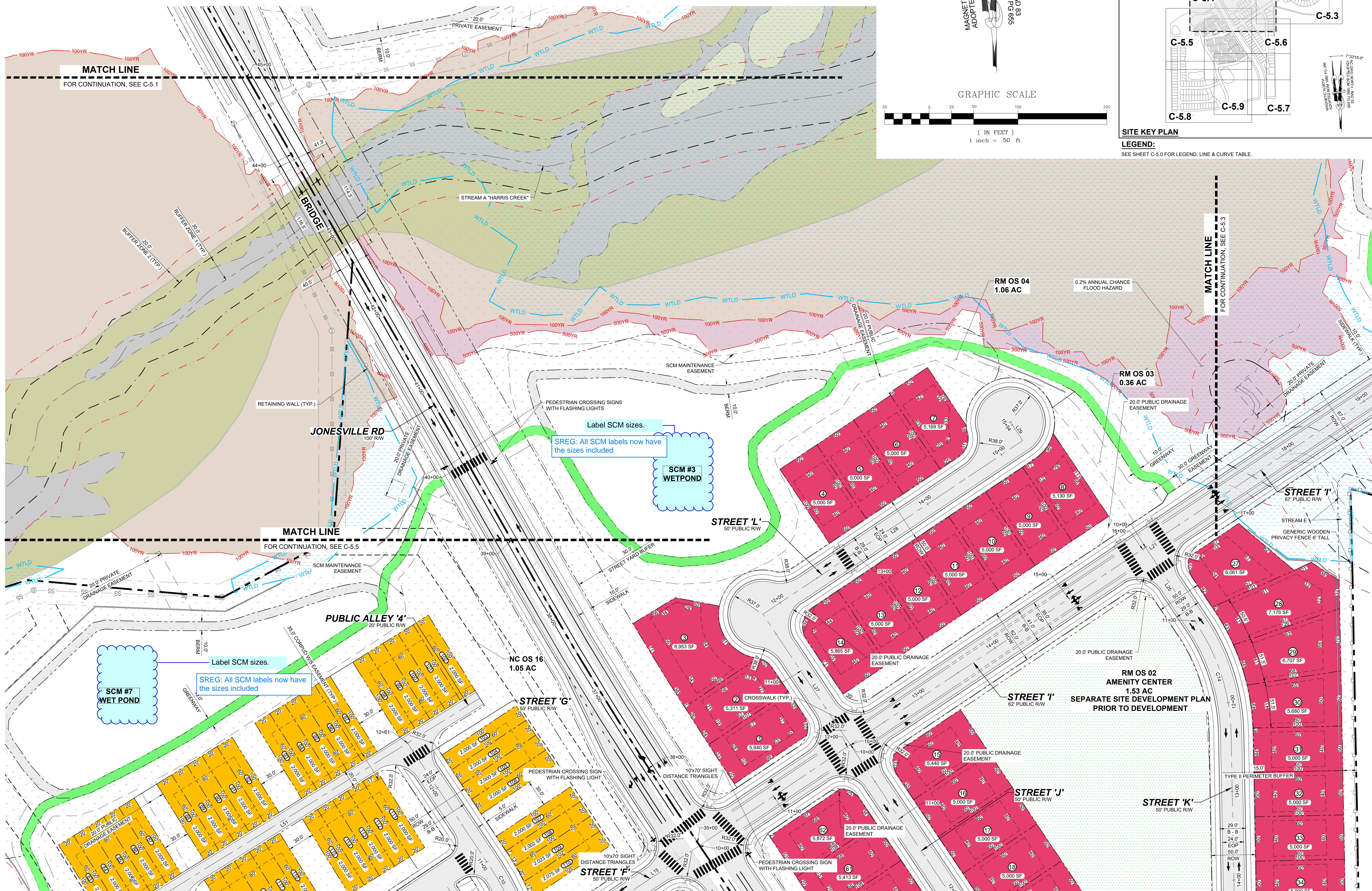
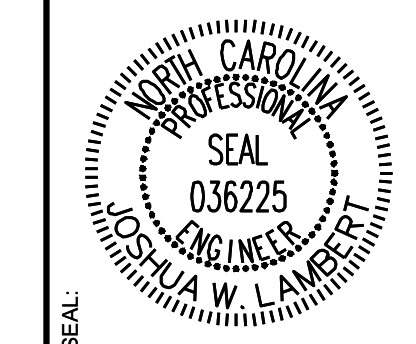


**TOWNHOME NOTES:**  
STATES INTERNAL TOWNHOME DRIVEWAYS ARE PRIVATE EASEMENTS AS PER CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT



**SITE KEY PLAN**  
**LEGEND:**  
SEE SHEET C-5.0 FOR LEGEND, LINE & CURVE TABLE.

01	PRELIMINARY SUBDIVISION PLAN P-24-03	08/01/2023	ISREG	BY
02	TOWN OF ROLESVILLE COMMENTS P-24-03	12/05/2023	ISREG	DATE
03	TOWN OF ROLESVILLE COMMENTS P-24-03	03/01/2024	ISREG	REVISIONS
No.				



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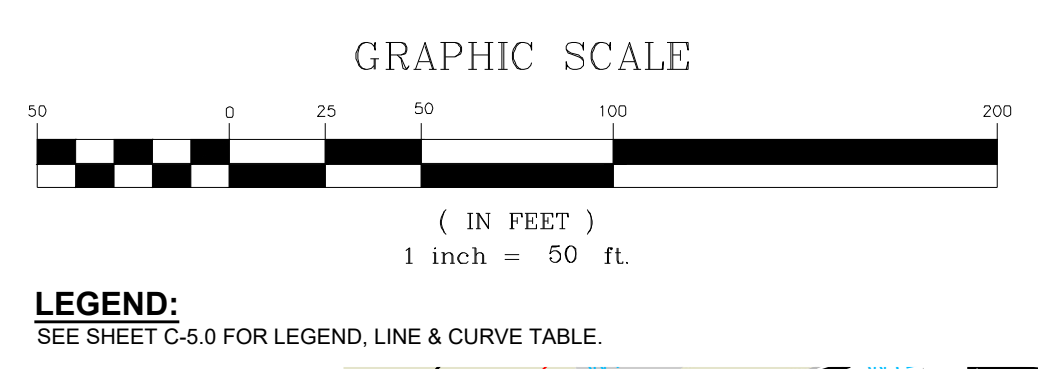
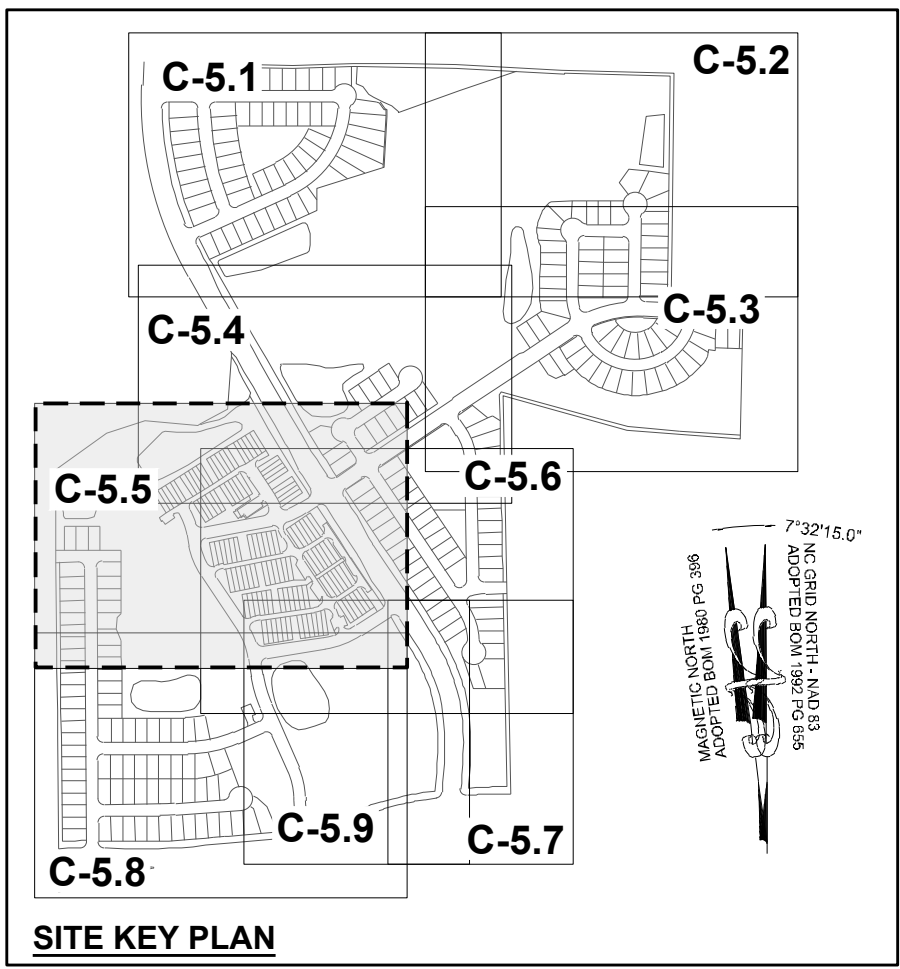
STRONG ROCK PROJECT	P-24-03	NOT FOR CONSTRUCTION	SCALE	AS SHOWN	DESIGNED BY	JWL	SRG	CHECKED BY	JWL
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RESERVE @ MITCHELL MILL  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
PRELIMINARY SUBDIVISION PLAN  
PARTIAL SITE PLAN IV

DRAWING SHEET  
**C-5.4**

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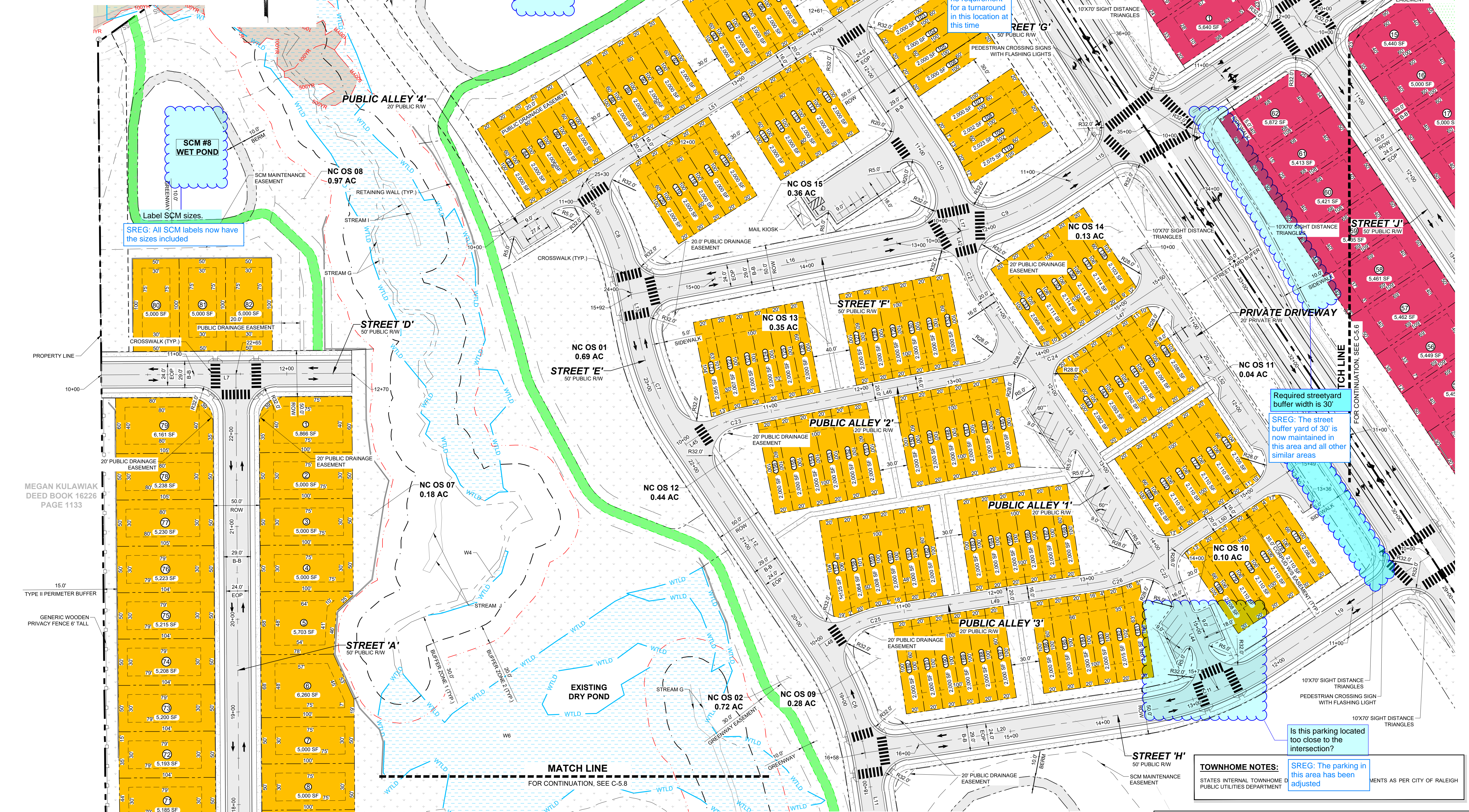




LEGEND:  
SEE SHEET C-5.0 FOR LEGEND, LINE & CURVE TABLE.

MAGNETIC NORTH  
ADOPTED BOM 1980 PG 396  
NC GRID NORTH - NAD 83  
ADOPTED BOM 1992 PG 655

SITE KEY PLAN



Label SCM sizes.  
SREG: All SCM labels now have the sizes included

Label SCM sizes.  
SREG: All SCM labels now have the sizes included

Turnaround?  
SREG: There is no requirement for a turnaround in this location at this time

Required streetyard buffer width is 30'  
SREG: The street buffer yard of 30' is now maintained in this area and all other similar areas

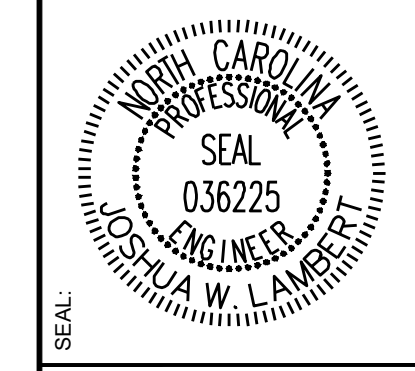
Is this parking located too close to the intersection?  
SREG: The parking in this area has been adjusted

TOWNHOME NOTES:  
STATES: INTERNAL TOWNHOME PUBLIC UTILITIES DEPARTMENT COMMENTS AS PER CITY OF RALEIGH

MEGAN KULAWIAK  
DEED BOOK 16226  
PAGE 1133

15.0'  
TYPE II PERIMETER BUFFER  
GENERIC WOODEN-  
PRIVACY FENCE 6' TALL

NO.	REVISIONS	DATE	BY
01			
02			
03			



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STRONG ROCK PROJECT P-2166	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL
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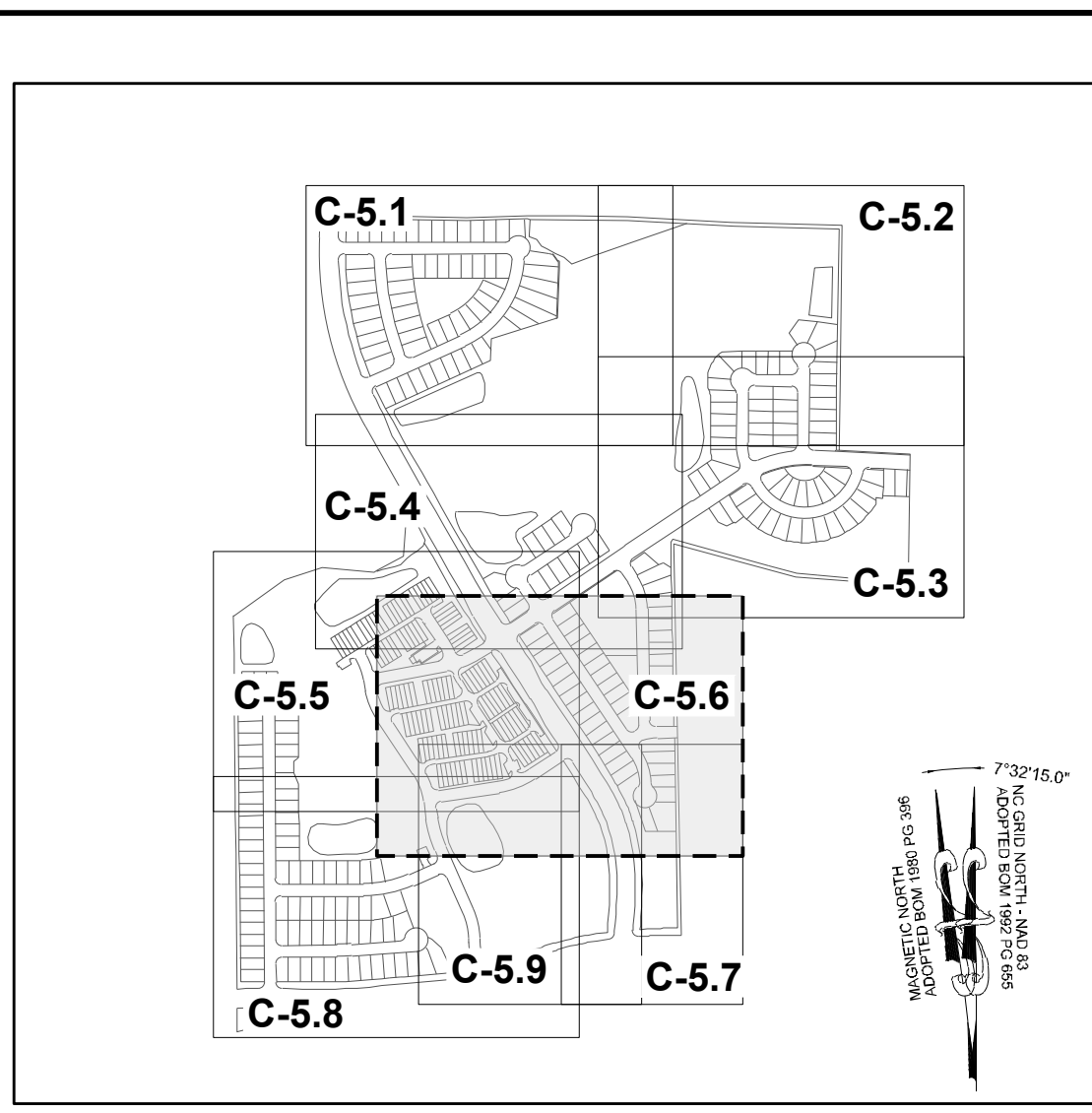
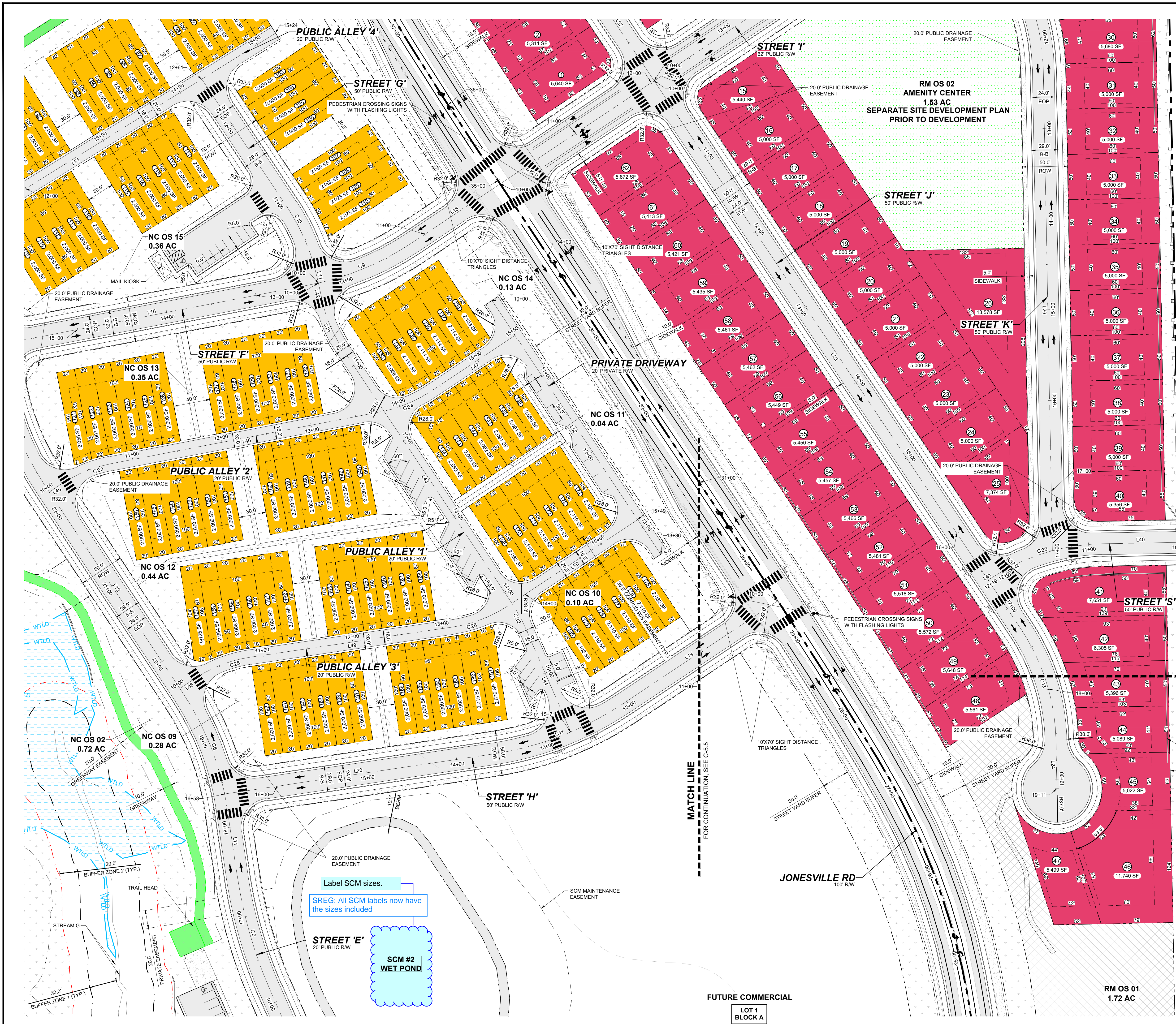
RESERVE @ MITCHELL MILL  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
PRELIMINARY SUBDIVISION PLAN  
PARTIAL SITE PLAN V

DRAWING SHEET  
**C-5.5**

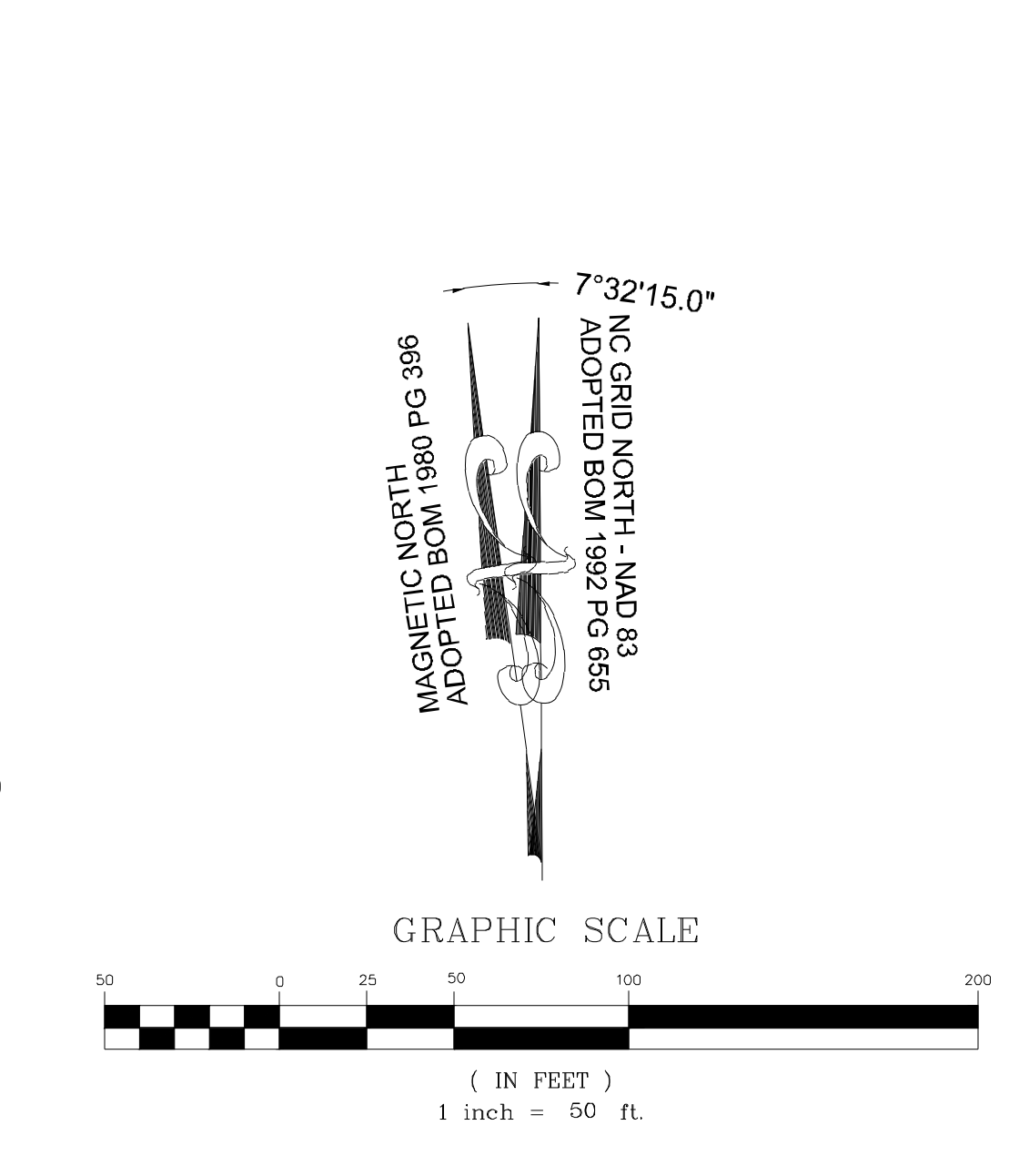
21 OF 76

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**SITE KEY PLAN**  
**LEGEND:**  
 SEE SHEET C-5.0 FOR LEGEND, LINE & CURVE TABLE.  
**TOWNHOME NOTES:**  
 STATES INTERNAL TOWNHOME DRIVEWAYS ARE PRIVATE EASEMENTS AS PER CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT



**MATCH LINE**  
 FOR CONTINUATION, SEE C-5.7

NO.	REVISIONS	DATE	BY
01			
02			
03			

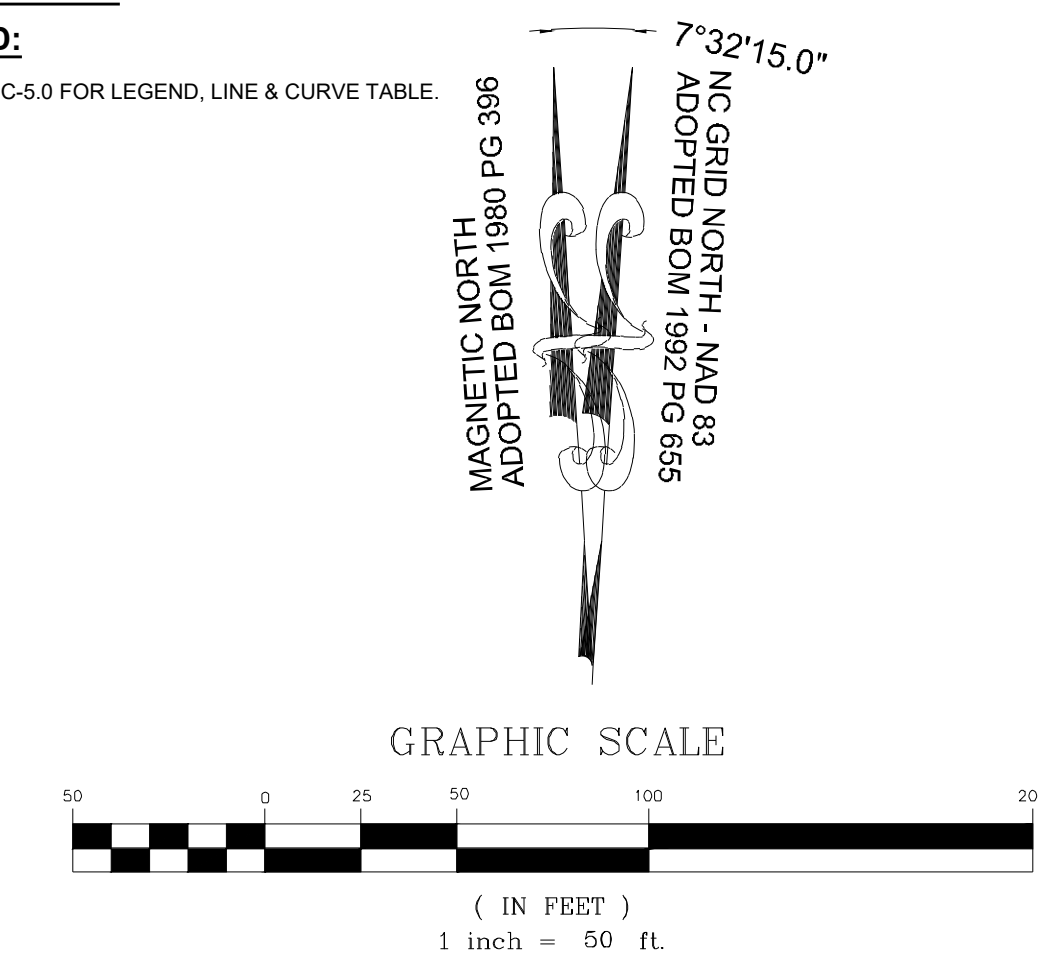
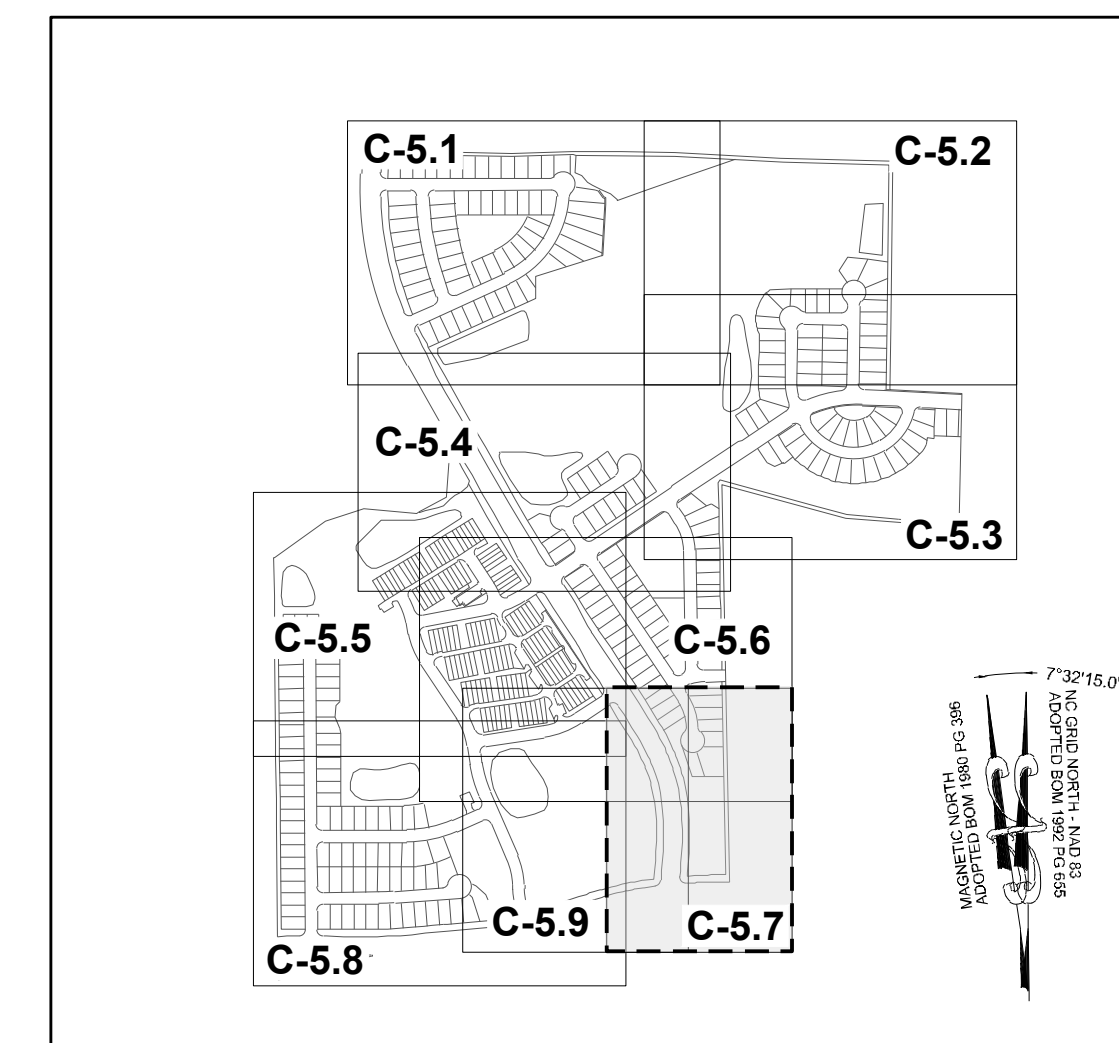
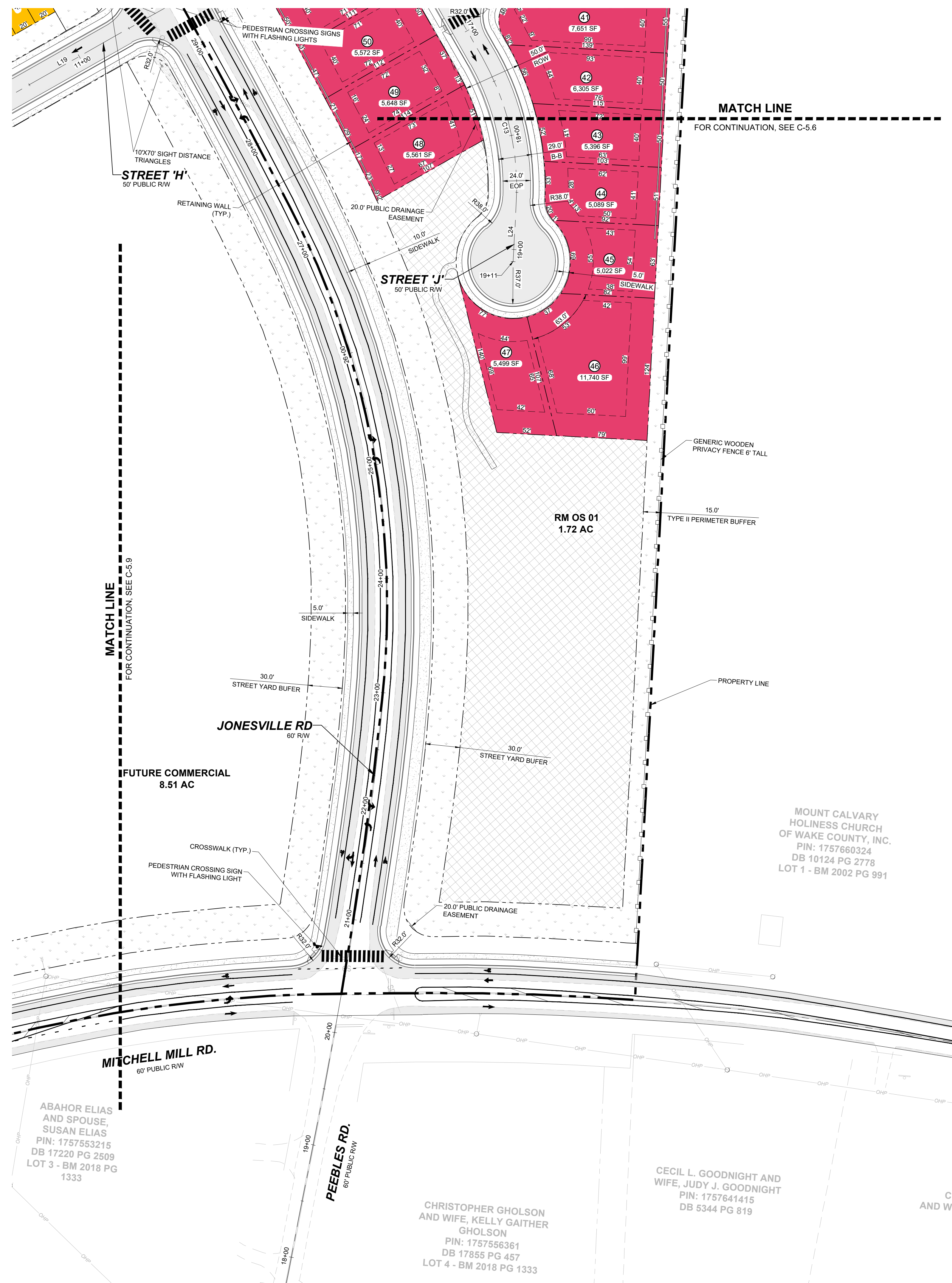
**STRONGROCK ENGINEERING GROUP**  
 RESERVE @ MITCHELL MILL  
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
 PRELIMINARY SUBDIVISION PLAN  
 PARTIAL SITE PLAN V  
 C-5.6

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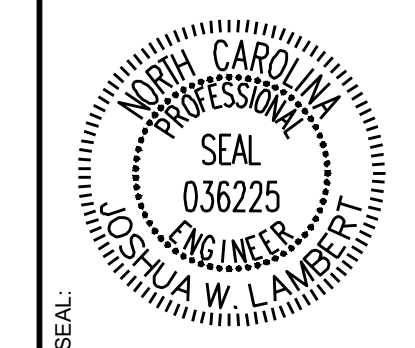
PROJECT	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
STRONG ROCK PROJECT PSP-24-03	AS SHOWN	JWL	SRG	JWL

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NO.	REVISIONS	DATE	BY
01			
02			
03			



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STRONG ROCK PROJECT	STRONG ROCK PROJECT PSP-24-03
NOT FOR CONSTRUCTION	NOT FOR CONSTRUCTION
SCALE	AS SHOWN
DESIGNED BY	JWL
DRAWN BY	SRG
CHECKED BY	JWL

**RESERVE @ MITCHELL MILL**  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
**PRELIMINARY SUBDIVISION PLAT**  
**PARTIAL SITE PLAN VII**

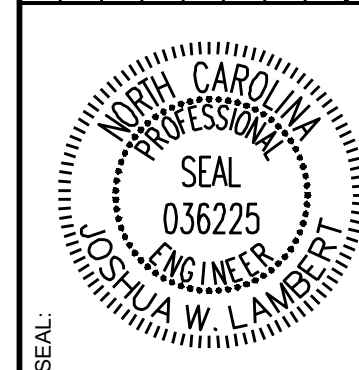
**DRAWING SHEET**  
**C-5.7**

**23 OF 76**

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NO.	REVISIONS	DATE	BY
01			
02			
03			



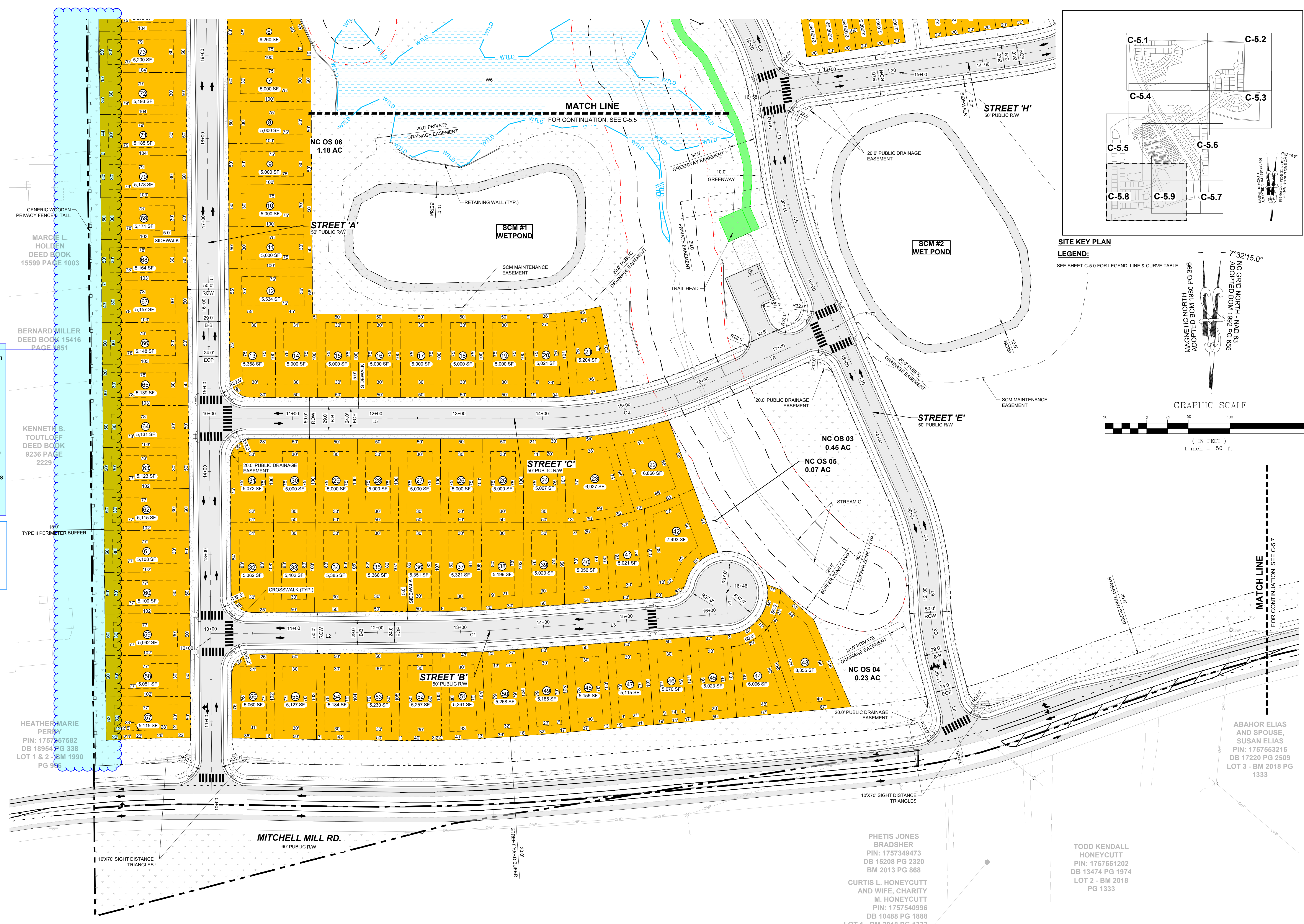
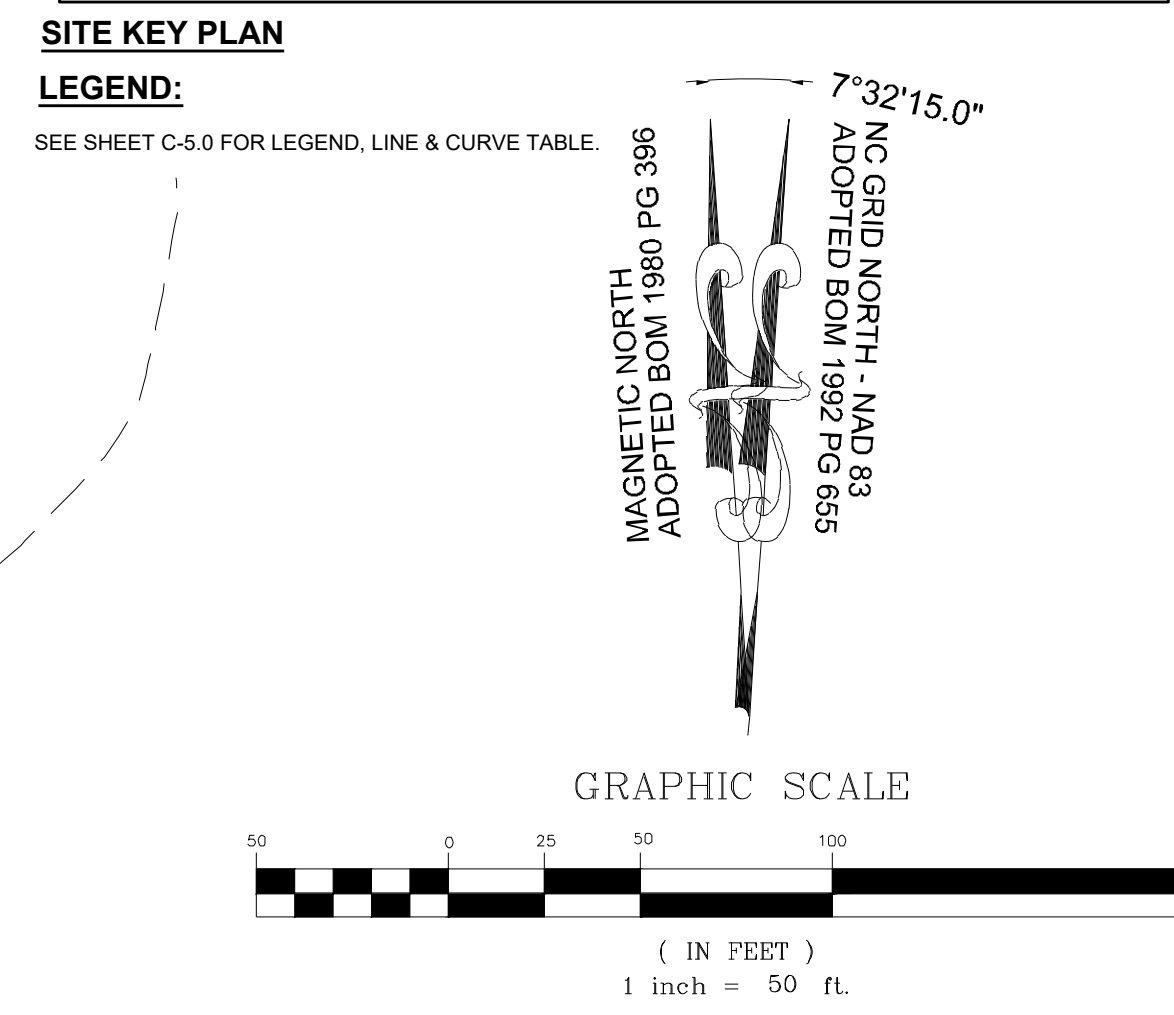
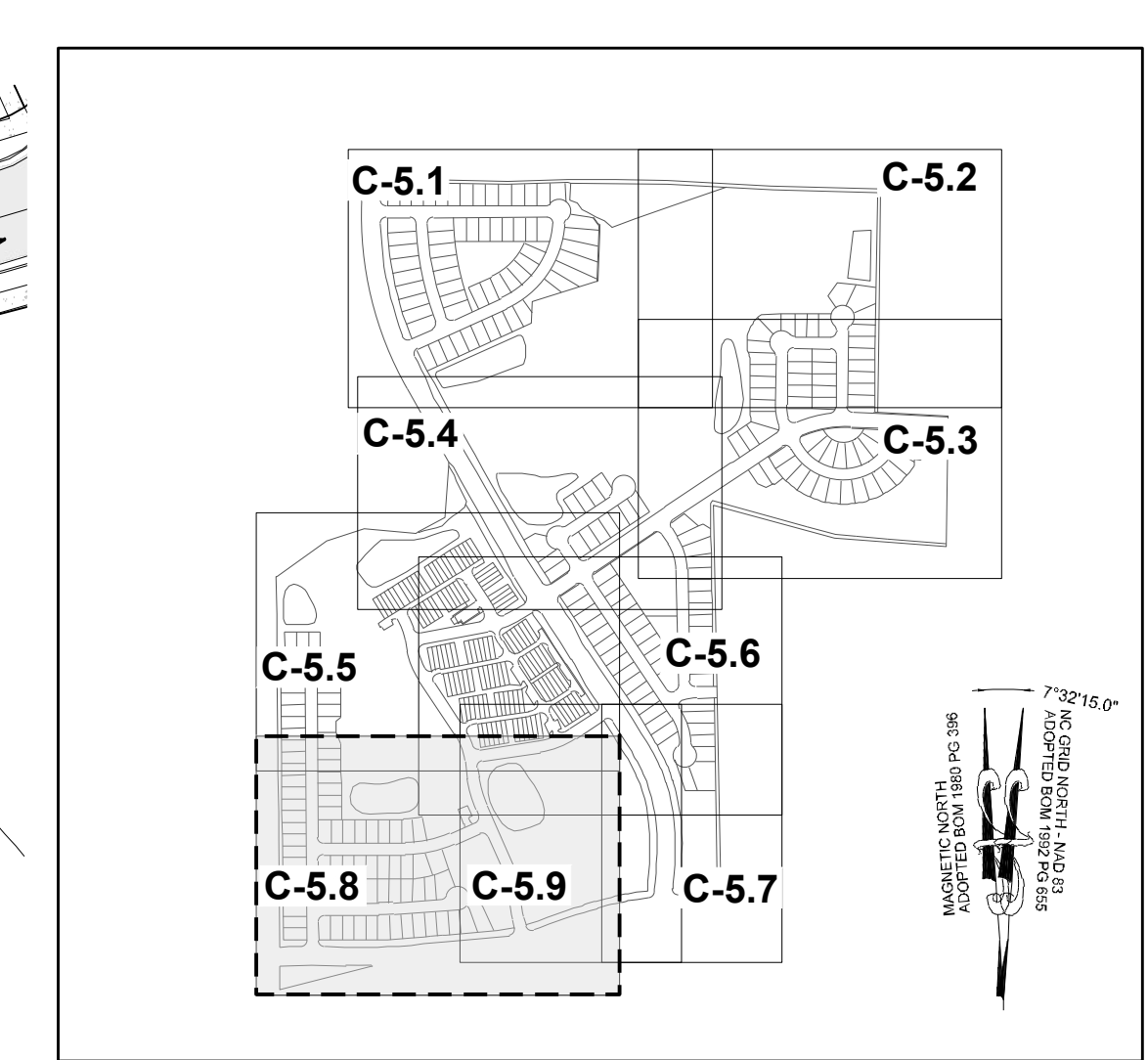
**STRONGROCK**  
ENGINEERING GROUP

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STRONG ROCK PROJECT	STRONG ROCK PROJECT PSP-24-03
NOT FOR CONSTRUCTION SCALE	NOT FOR CONSTRUCTION SCALE
DESIGNED BY	JWL
DRAWN BY	SRG
CHECKED BY	JWL

RESERVE @ MITCHELL MILL  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
PRELIMINARY SUBDIVISION PLAT  
PARTIAL SITE PLAN VIII

DRAWING SHEET  
**C-5.8**



This area actually requires the provision of a mixed-use perimeter buffer as outlined in Section 6.2.3. The first 10 feet of this Compatibility Transition Area 'A' and requires a minimum 10' landscaped buffer consisting of 1 canopy tree every 30 feet. Transition Area 'B' shall be a minimum of 10'. Plans should be revised to show the correct buffers along this property line.

SREG: The adjacent property is classified as Wake County R-30. The correct Type 2 buffer is shown as approved by the Rolesville Town Council

MARCE L. HOLLEN  
DEED BOOK 15416  
PAGE 1003

BERNARD MILLER  
DEED BOOK 15416  
PAGE 1651

KENNETH S. TOUJLOFF  
DEED BOOK 9236  
PAGE 2229

HEATHER MARIE PERCY  
PIN: 1757567582  
DB 18954 PG 338  
LOT 1 & 2 - SIM 1990  
PG 956

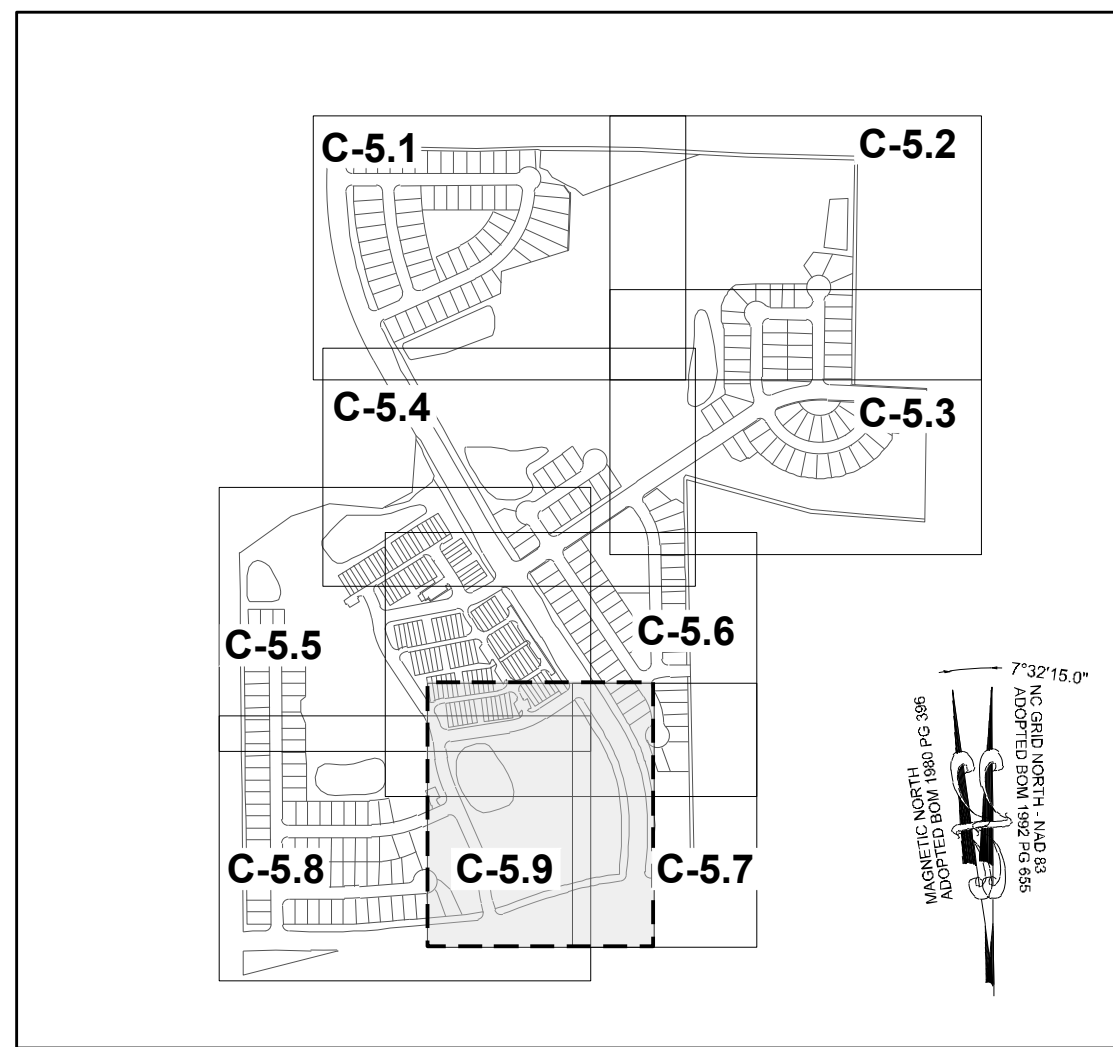
PHETIS JONES  
BRADSHER  
PIN: 1757349473  
DB 15208 PG 2320  
BM 2013 PG 868

CURTIS L. HONEYCUTT  
AND WIFE, CHARITY  
M. HONEYCUTT  
PIN: 1757540996  
DB 10488 PG 1888  
LOT 1 - BM 2018 PG 1333

TODD KENDALL  
HONEYCUTT  
PIN: 1757551202  
DB 13474 PG 1974  
LOT 2 - BM 2018  
PG 1333

ABAHOR ELIAS  
AND SPOUSE,  
SUSAN ELIAS  
PIN: 1757553215  
DB 17220 PG 2509  
LOT 3 - BM 2018 PG  
1333





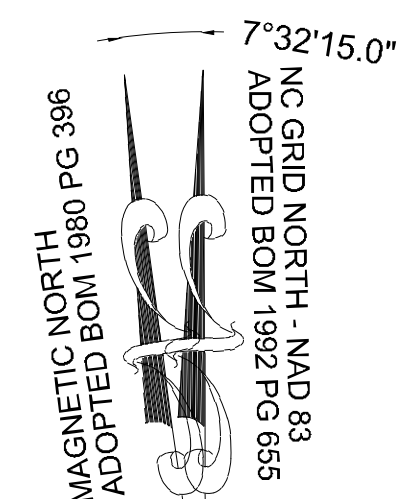
**SITE KEY PLAN**

**LEGEND:**

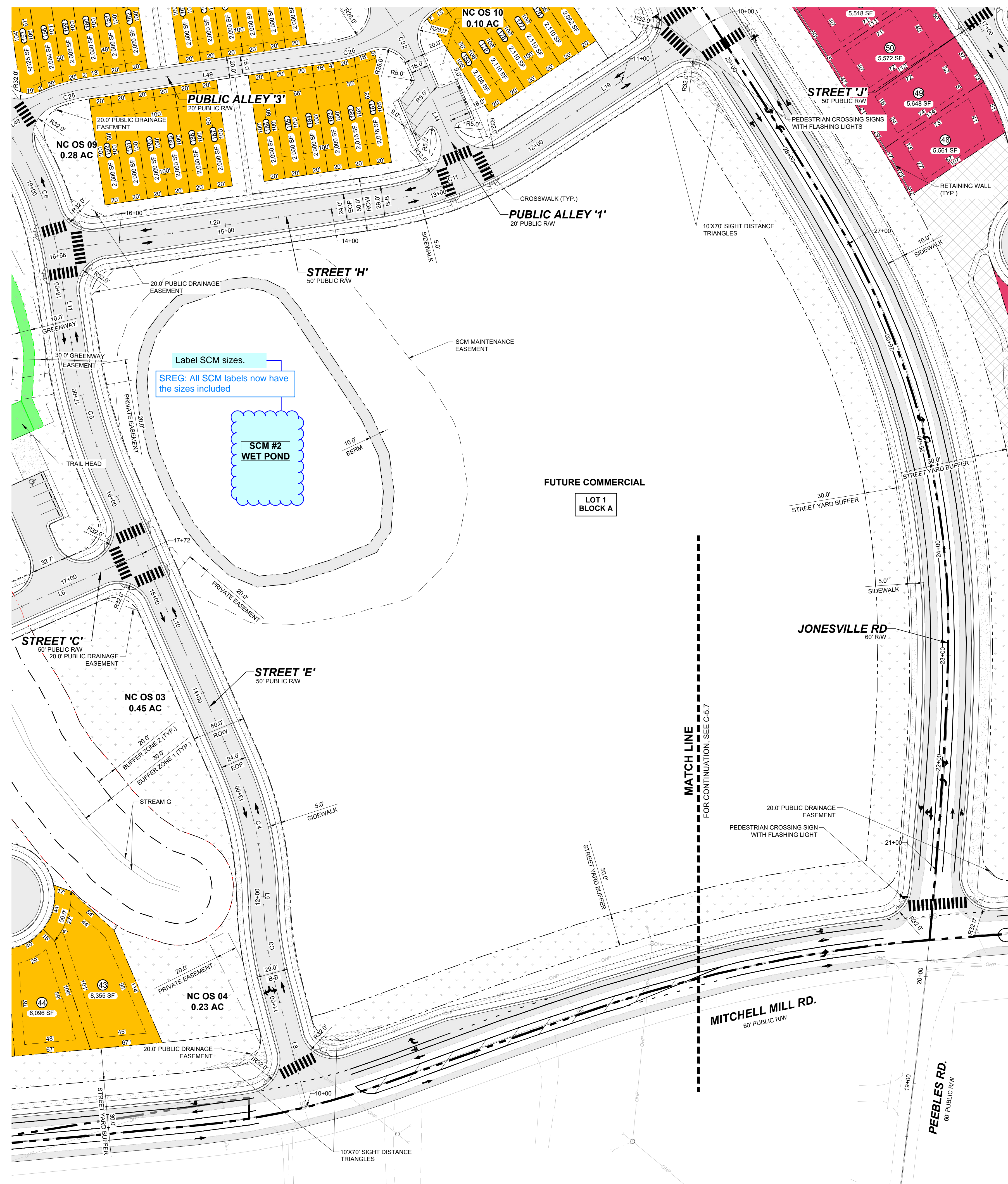
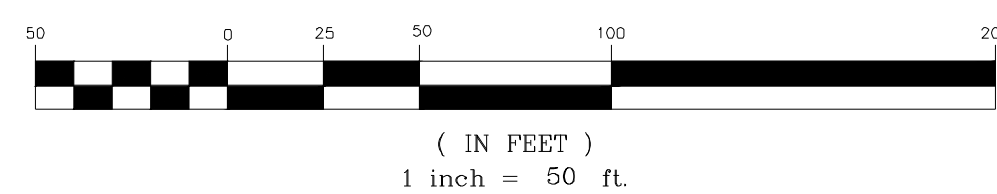
SEE SHEET C-5.0 FOR LEGEND, LINE & CURVE TABLE.

**TOWNHOME NOTES:**

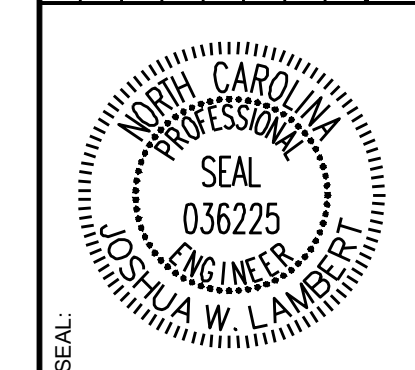
STATES INTERNAL TOWNHOME DRIVEWAYS ARE PRIVATE EASEMENTS AS PER CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT



**GRAPHIC SCALE**



NO.	REVISIONS	DATE	BY
01			
02			
03			



**STRONGROCK**  
ENGINEERING GROUP

STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166  
305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT P-24-03	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL
NOT FOR CONSTRUCTION				

RESERVE @ MITCHELL MILL  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
PRELIMINARY SUBDIVISION PLAT  
PARTIAL SITE PLAN IX

DRAWING SHEET  
**C-5.9**

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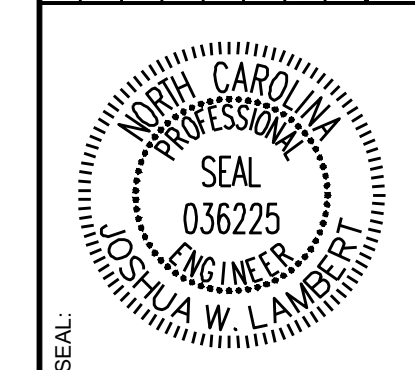




NUMBER LOTS	LOT TYPE	PLAN 2268 "A" SLAB	PLAN 2396 "A" SLAB	PLAN 2525 "B" SLAB	PLAN 1948 "A" SLAB	PLAN 2097 "A" SLAB
1	SINGLE FAMILY 50' WIDE	X	X	X	X	X
2	SINGLE FAMILY 50' WIDE					
3	SINGLE FAMILY 50' WIDE					
4	SINGLE FAMILY 50' WIDE					
5	SINGLE FAMILY 50' WIDE	X	X	X	X	X
6	SINGLE FAMILY 50' WIDE	X	X	X	X	X
7	SINGLE FAMILY 50' WIDE					
8	SINGLE FAMILY 50' WIDE					
9	SINGLE FAMILY 50' WIDE					
10	SINGLE FAMILY 50' WIDE					
11	SINGLE FAMILY 50' WIDE					
12	SINGLE FAMILY 50' WIDE					
13	SINGLE FAMILY 50' WIDE					
14	SINGLE FAMILY 50' WIDE					
15	SINGLE FAMILY 50' WIDE					
16	SINGLE FAMILY 50' WIDE					
17	SINGLE FAMILY 50' WIDE					
18	SINGLE FAMILY 50' WIDE					
19	SINGLE FAMILY 50' WIDE					
20	SINGLE FAMILY 50' WIDE					
21	SINGLE FAMILY 50' WIDE					
22	SINGLE FAMILY 50' WIDE	X	X	X	X	X
23	SINGLE FAMILY 50' WIDE	X	X	X	X	X
24	SINGLE FAMILY 50' WIDE					
25	SINGLE FAMILY 50' WIDE					
26	SINGLE FAMILY 50' WIDE					
27	SINGLE FAMILY 50' WIDE					
28	SINGLE FAMILY 50' WIDE					
29	SINGLE FAMILY 50' WIDE					
30	SINGLE FAMILY 50' WIDE					
31	SINGLE FAMILY 50' WIDE					
32	SINGLE FAMILY 50' WIDE					
33	SINGLE FAMILY 50' WIDE					
34	SINGLE FAMILY 50' WIDE					
35	SINGLE FAMILY 50' WIDE					
36	SINGLE FAMILY 50' WIDE					
37	SINGLE FAMILY 50' WIDE					
38	SINGLE FAMILY 50' WIDE					
39	SINGLE FAMILY 50' WIDE					
40	SINGLE FAMILY 50' WIDE					
41	SINGLE FAMILY 50' WIDE					

NUMBER LOTS	LOT TYPE	PLAN 2268 "A" SLAB	PLAN 2396 "A" SLAB	PLAN 2525 "B" SLAB	PLAN 1948 "A" SLAB	PLAN 2097 "A" SLAB
42	SINGLE FAMILY 50' WIDE	X	X	X	X	X
43	SINGLE FAMILY 50' WIDE	X	X	X	X	X
44	SINGLE FAMILY 50' WIDE					
45	SINGLE FAMILY 50' WIDE					
46	SINGLE FAMILY 50' WIDE					
47	SINGLE FAMILY 50' WIDE					
48	SINGLE FAMILY 50' WIDE					
49	SINGLE FAMILY 50' WIDE					
50	SINGLE FAMILY 50' WIDE					
51	SINGLE FAMILY 50' WIDE					
52	SINGLE FAMILY 50' WIDE					
43	SINGLE FAMILY 50' WIDE					
54	SINGLE FAMILY 50' WIDE					
55	SINGLE FAMILY 50' WIDE					
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68	SINGLE FAMILY 50' WIDE					
69	SINGLE FAMILY 50' WIDE					
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72	SINGLE FAMILY 50' WIDE					
73	SINGLE FAMILY 50' WIDE					
74	SINGLE FAMILY 50' WIDE					
75	SINGLE FAMILY 50' WIDE					
76	SINGLE FAMILY 50' WIDE					
77	SINGLE FAMILY 50' WIDE					
78	SINGLE FAMILY 50' WIDE					
79	SINGLE FAMILY 50' WIDE	X	X	X	X	X
80	SINGLE FAMILY 50' WIDE					
81	SINGLE FAMILY 50' WIDE					
82	SINGLE FAMILY 50' WIDE					

NO.	REVISIONS	DATE	BY
01	PRELIMINARY SUBDIVISION PLAT P-24-03	08/01/2023	SREG
02	TOWN OF ROLESVILLE COMMENTS P-24-03	12/05/2023	SREG
03	TOWN OF ROLESVILLE COMMENTS P-24-03	03/01/2024	SREG



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STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166  
305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT P-24-03	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL
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RESERVE @ MITCHELL MILL  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
PRELIMINARY SUBDIVISION PLAT  
SITE TABLES

DRAWING SHEET  
**C-5.11**

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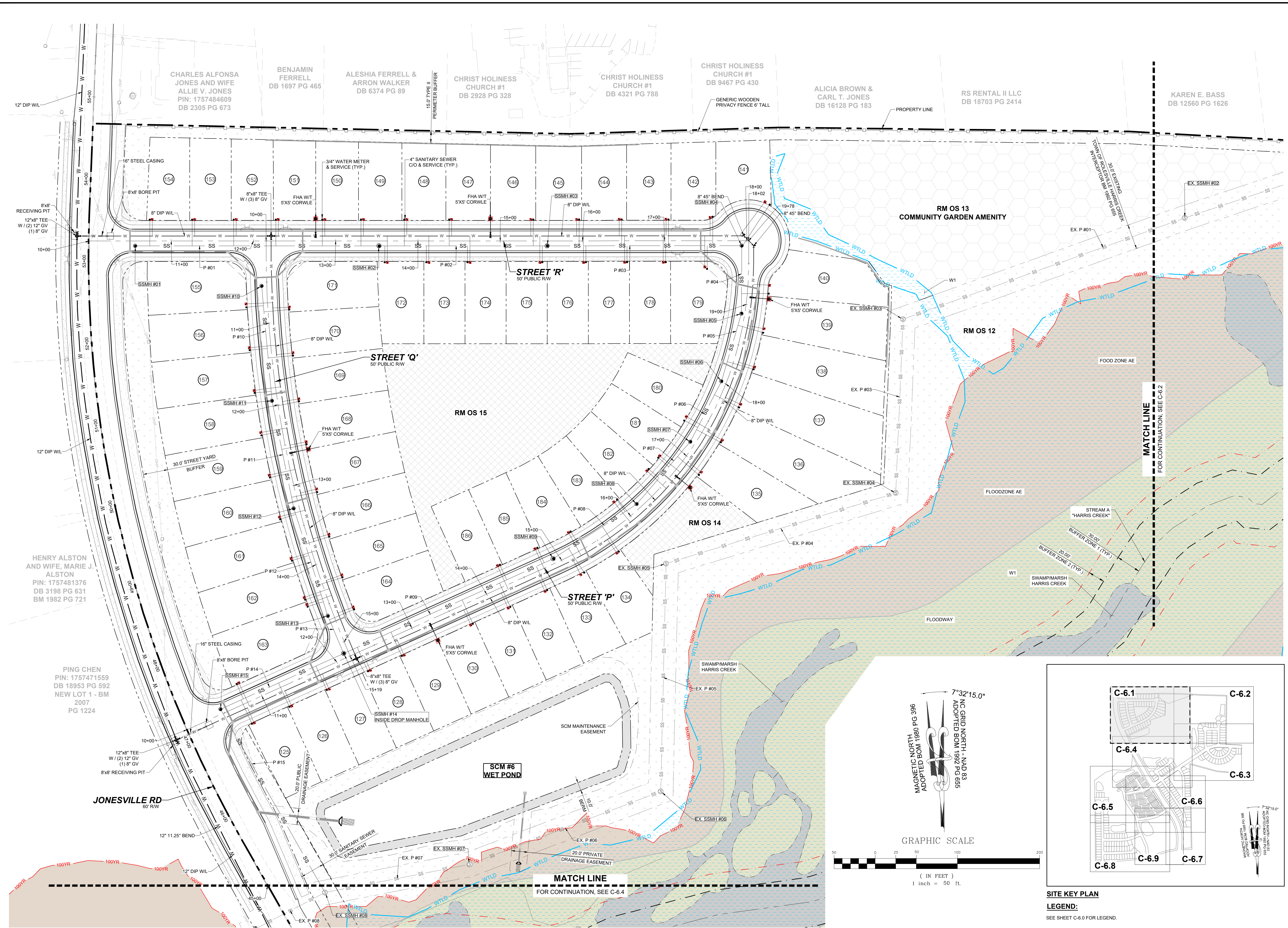












CHARLES ALFONSA JONES AND WIFE ALLIE V. JONES  
PIN: 1757484609  
DB 2305 PG 673

BENJAMIN FERRELL  
DB 1697 PG 465

ALESHIA FERRELL & ARRON WALKER  
DB 6374 PG 89

CHRIST HOLINESS CHURCH #1  
DB 2928 PG 328

CHRIST HOLINESS CHURCH #1  
DB 4321 PG 788

CHRIST HOLINESS CHURCH #1  
DB 9467 PG 430

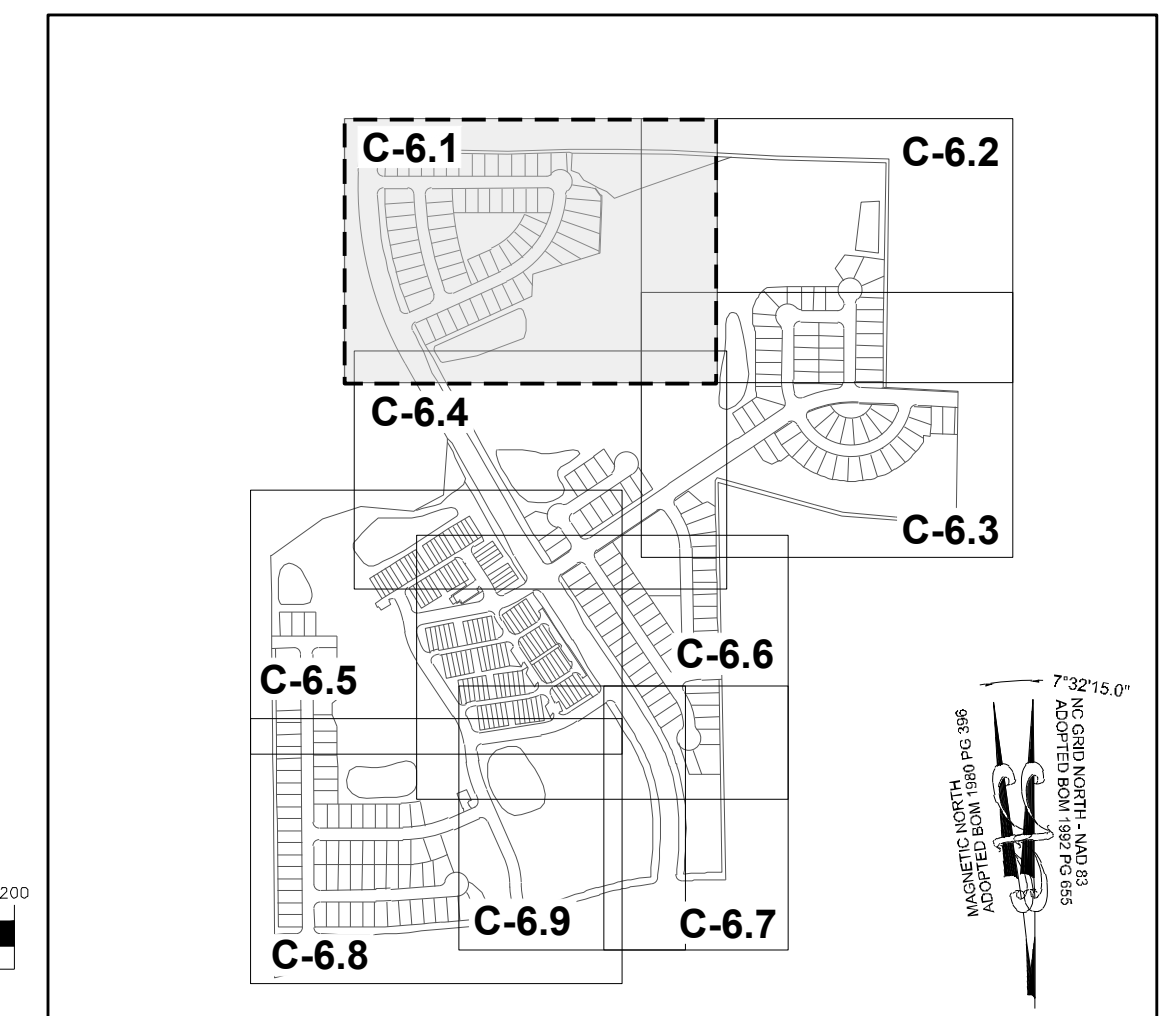
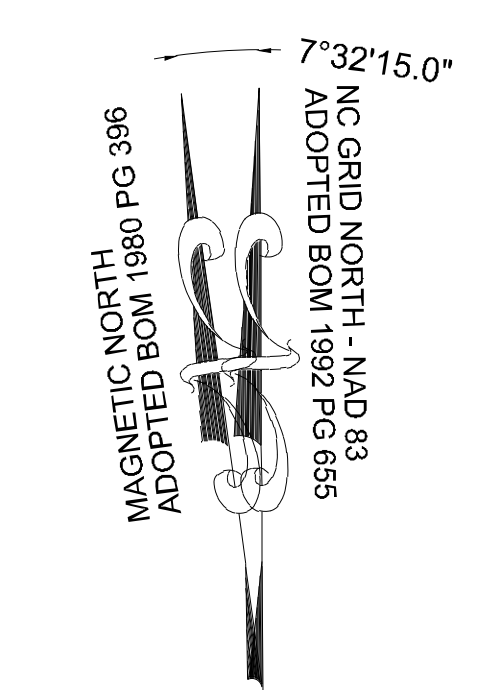
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DB 16128 PG 183

RS RENTAL II LLC  
DB 18703 PG 2414

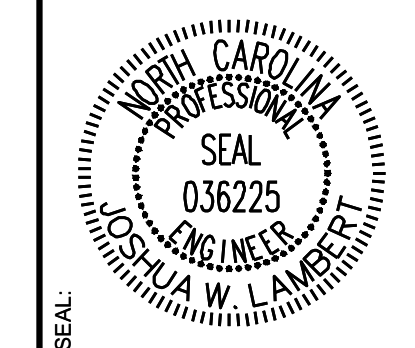
KAREN E. BASS  
DB 12560 PG 1626

HENRY ALSTON AND WIFE, MARIE J. ALSTON  
PIN: 1757481376  
DB 3198 PG 631  
BM 1982 PG 721

PING CHEN  
PIN: 1757471559  
DB 18953 PG 592  
NEW LOT 1 - BM  
2007  
PG 1224



NO.	REVISIONS	DATE	BY
01			
02			
03			



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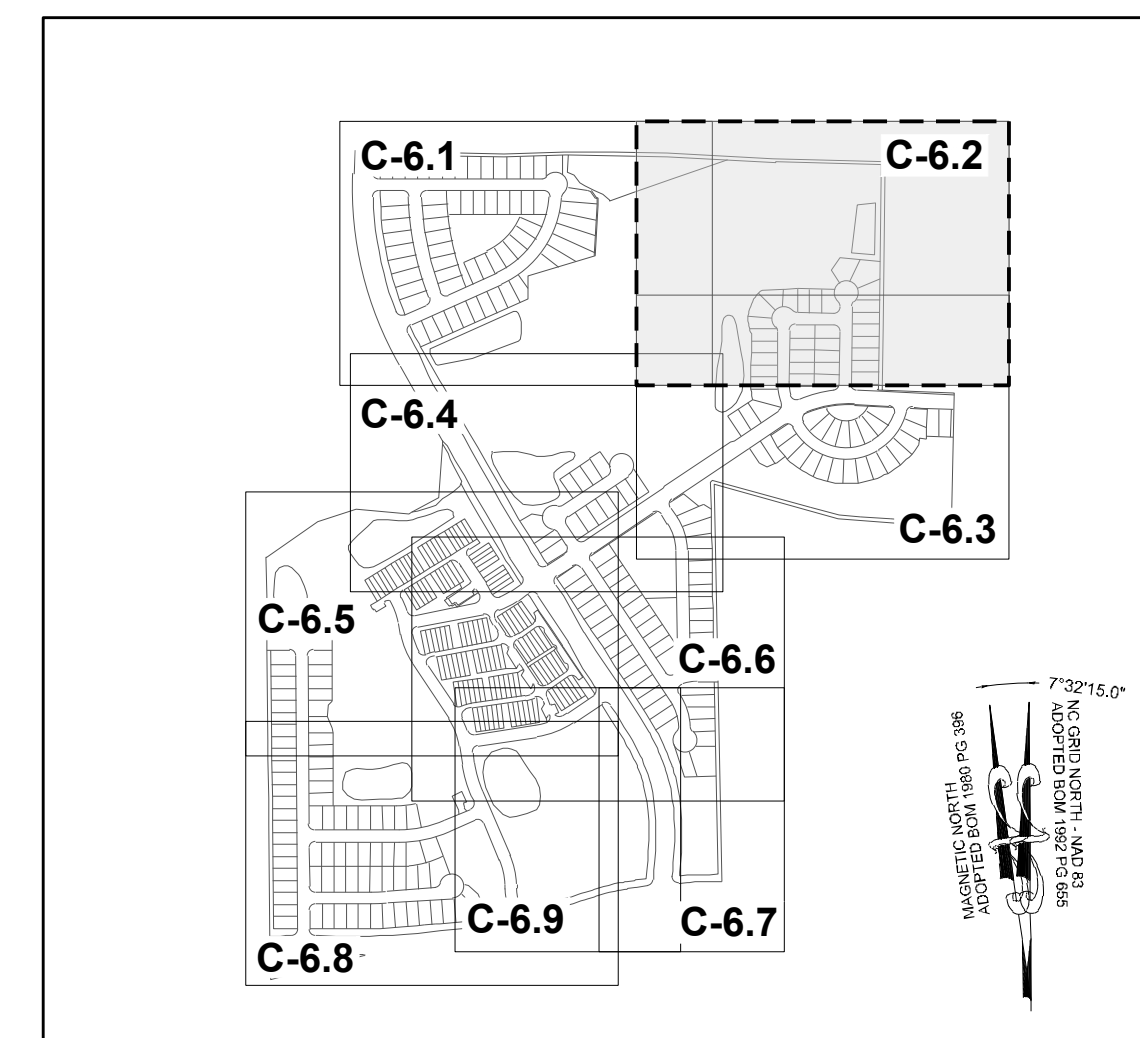
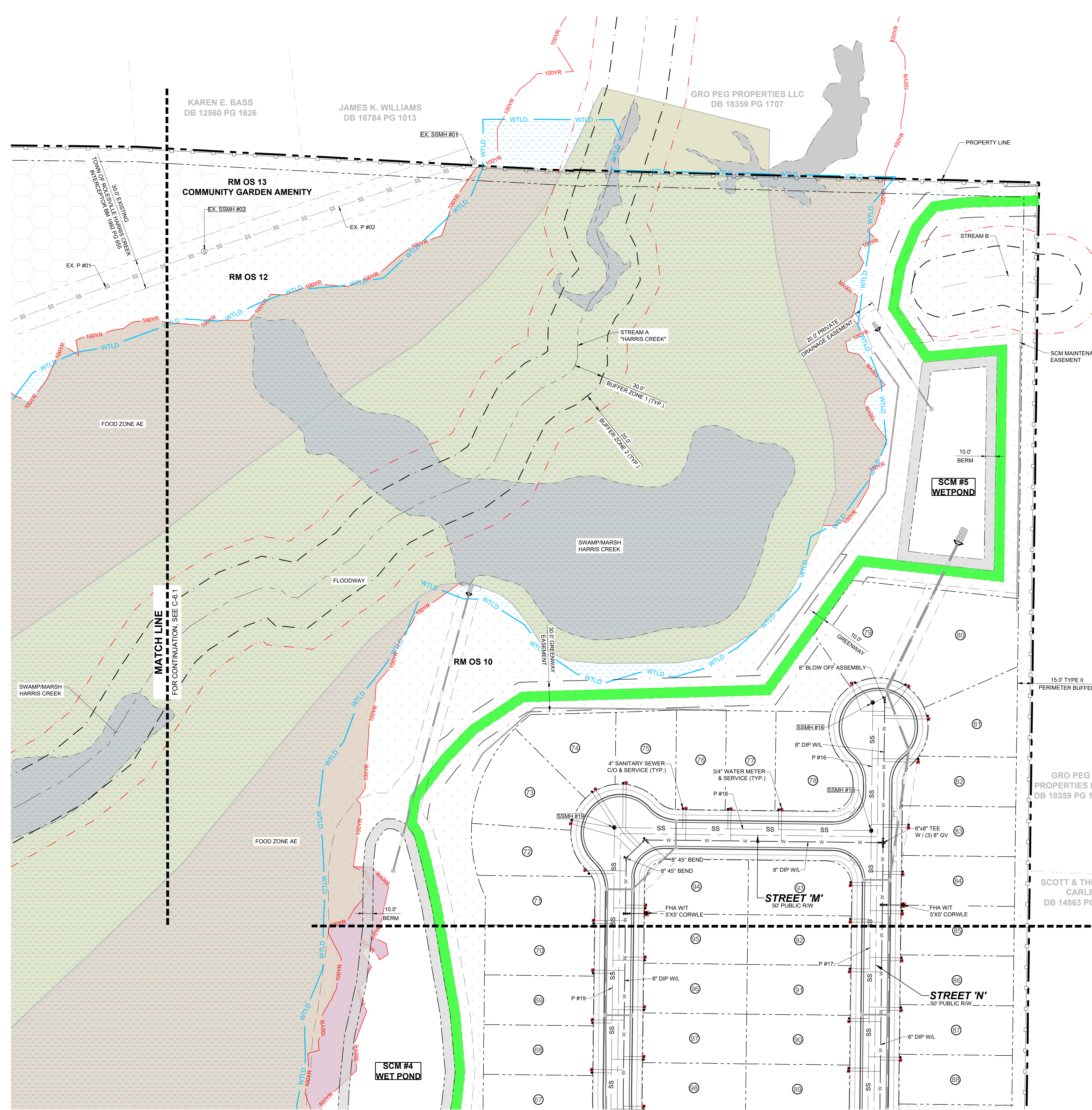
STRONG ROCK PROJECT PSP-25-03	DESIGNED BY JWL	SRG
NOT FOR CONSTRUCTION	DRAWN BY JWL	SRG
SCALE AS SHOWN	CHECKED BY JWL	SRG

RESERVE @ MITCHELL MILL  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
PRELIMINARY SUBDIVISION PLAT  
PARTIAL UTILITY PLAN I

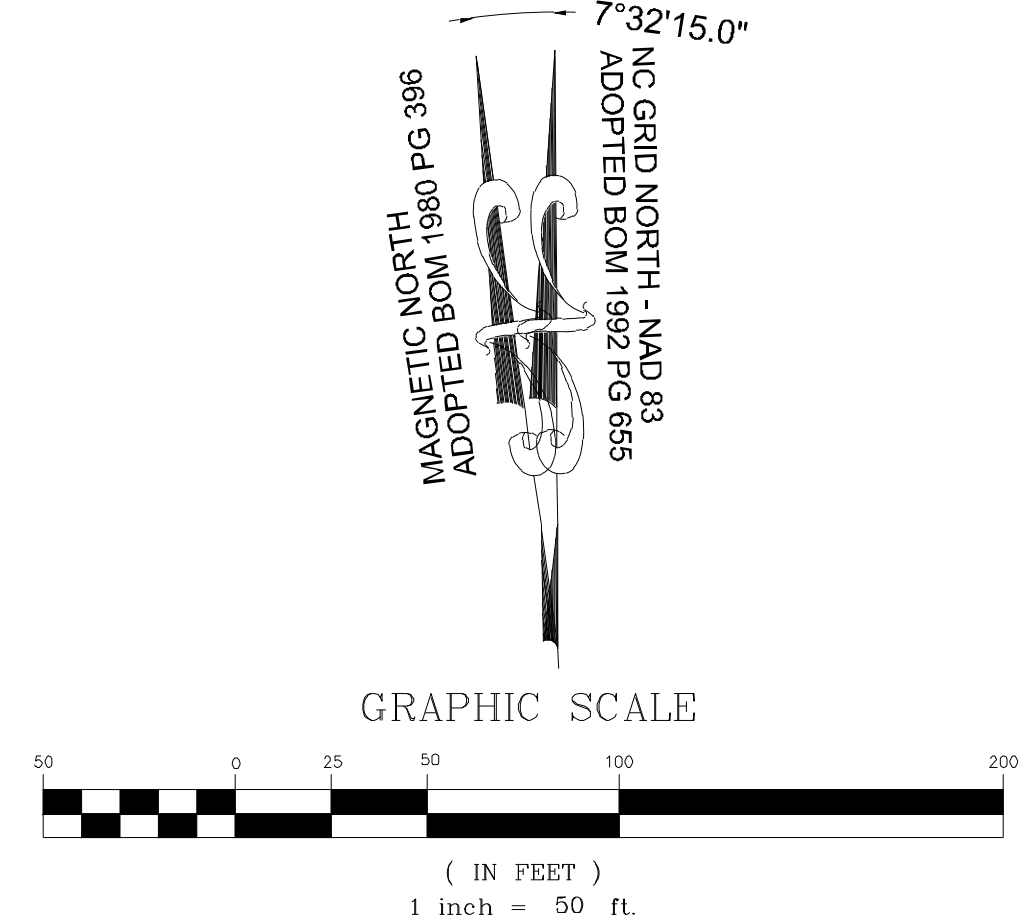
DRAWING SHEET  
C-6.1

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**SITE KEY PLAN**  
**LEGEND:**  
 SEE SHEET C-6.0 FOR LEGEND.



NO.	REVISIONS	DATE	BY
01			
02			
03			

**STRONGROCK**  
 ENGINEERING GROUP  
 STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166  
 305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

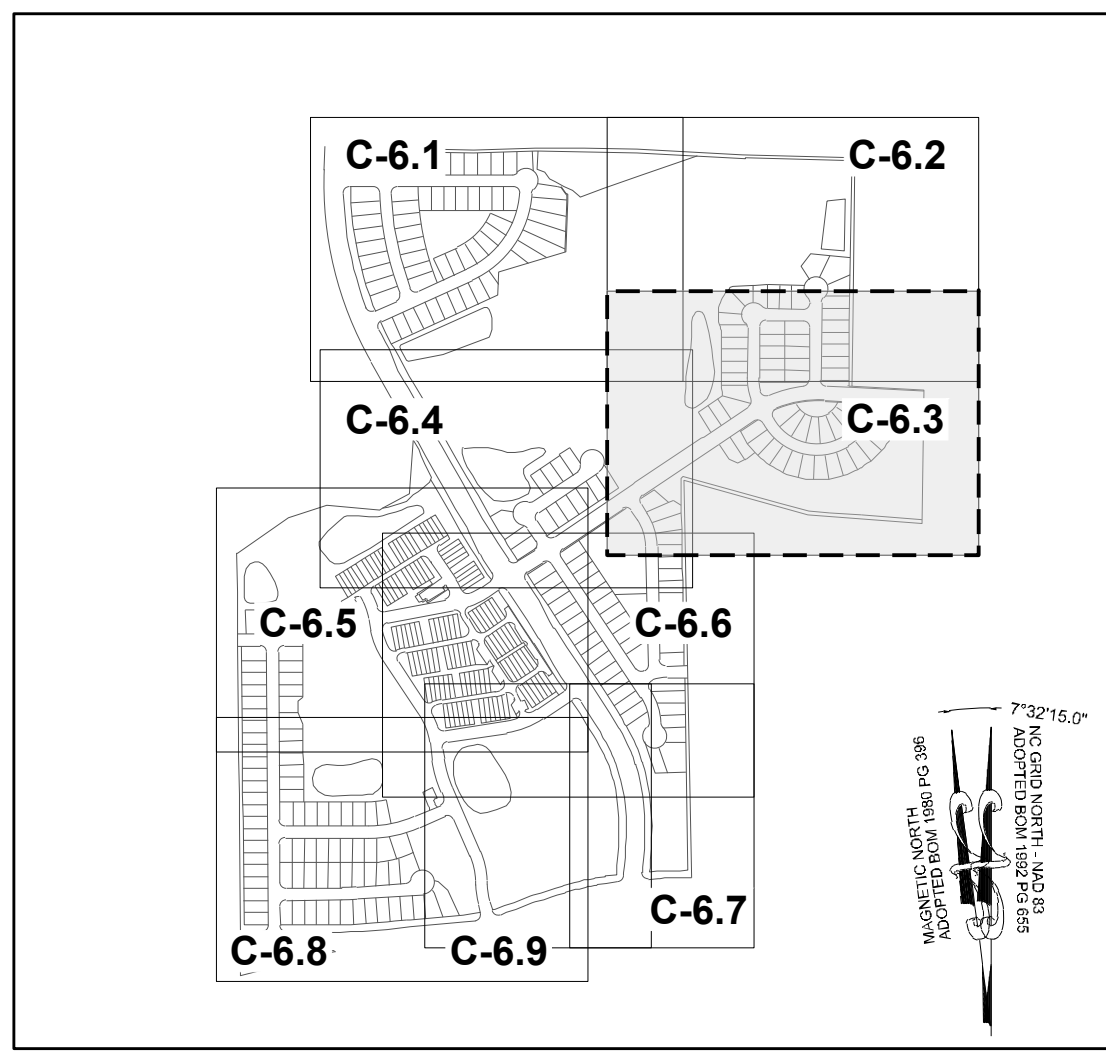
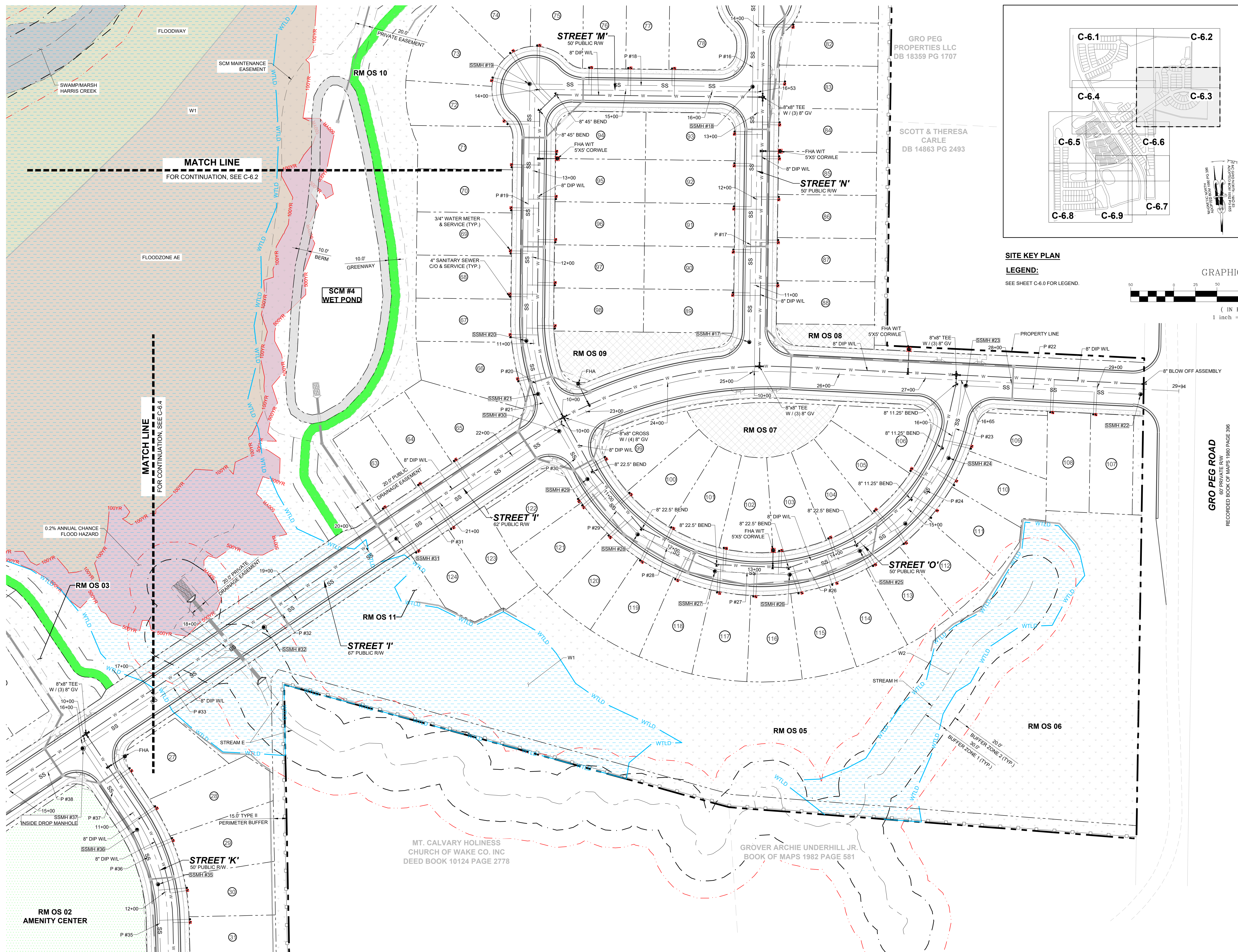
STRONG ROCK PROJECT	PSP-24-03
NOT FOR CONSTRUCTION	
SCALE	AS SHOWN
DESIGNED BY	JWL
DRAWN BY	SRG
CHECKED BY	JWL

RESERVE @ MITCHELL MILL  
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
 PRELIMINARY SUBDIVISION PLAT  
 PARTIAL UTILITY PLAN II

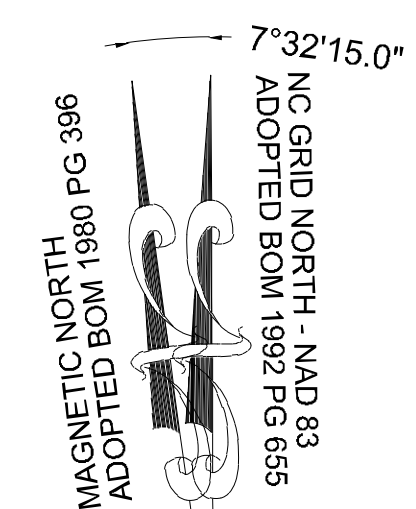
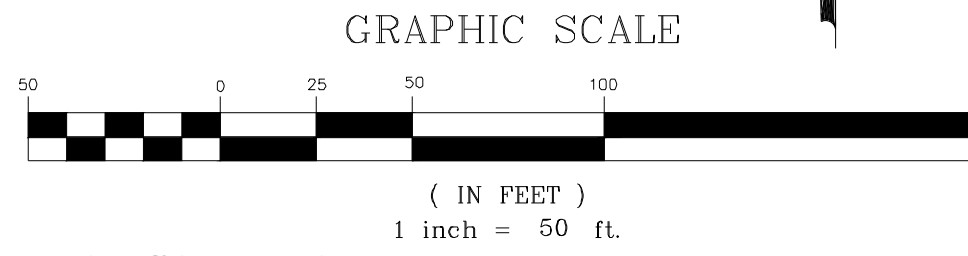
DRAWING SHEET  
**C-6.2**

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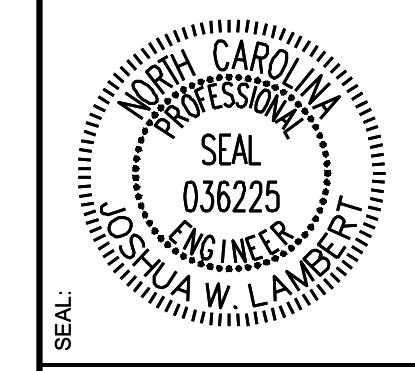




**SITE KEY PLAN**  
**LEGEND:**  
 SEE SHEET C-6.0 FOR LEGEND.



NO.	REVISIONS	DATE	BY
01			
02			
03			



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STRONG ROCK PROJECT PSP-24-03	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	SRG	CHECKED BY JWL
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RESERVE @ MITCHELL MILL  
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
 PRELIMINARY SUBDIVISION PLAT  
 PARTIAL UTILITY PLAN III

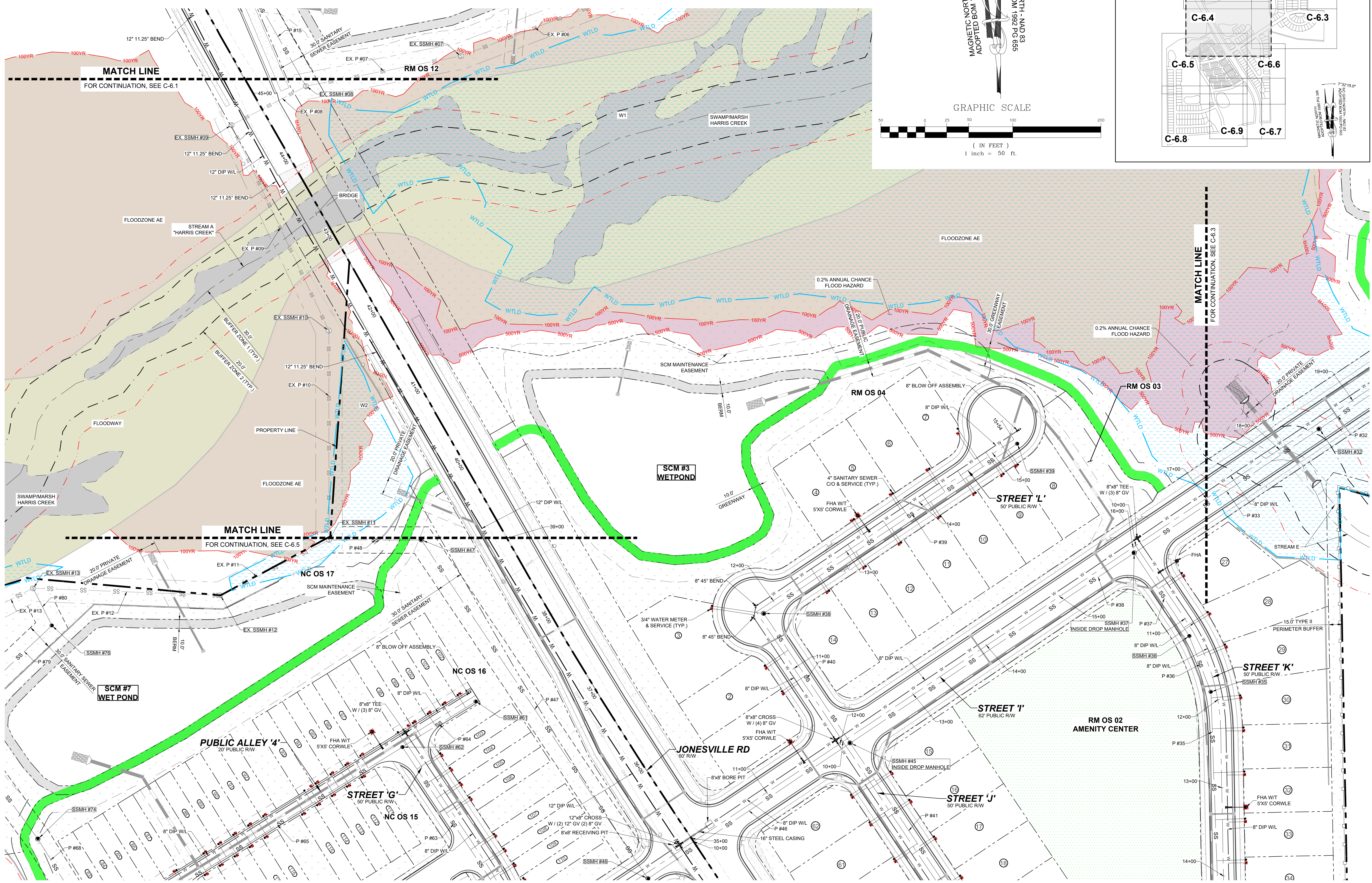
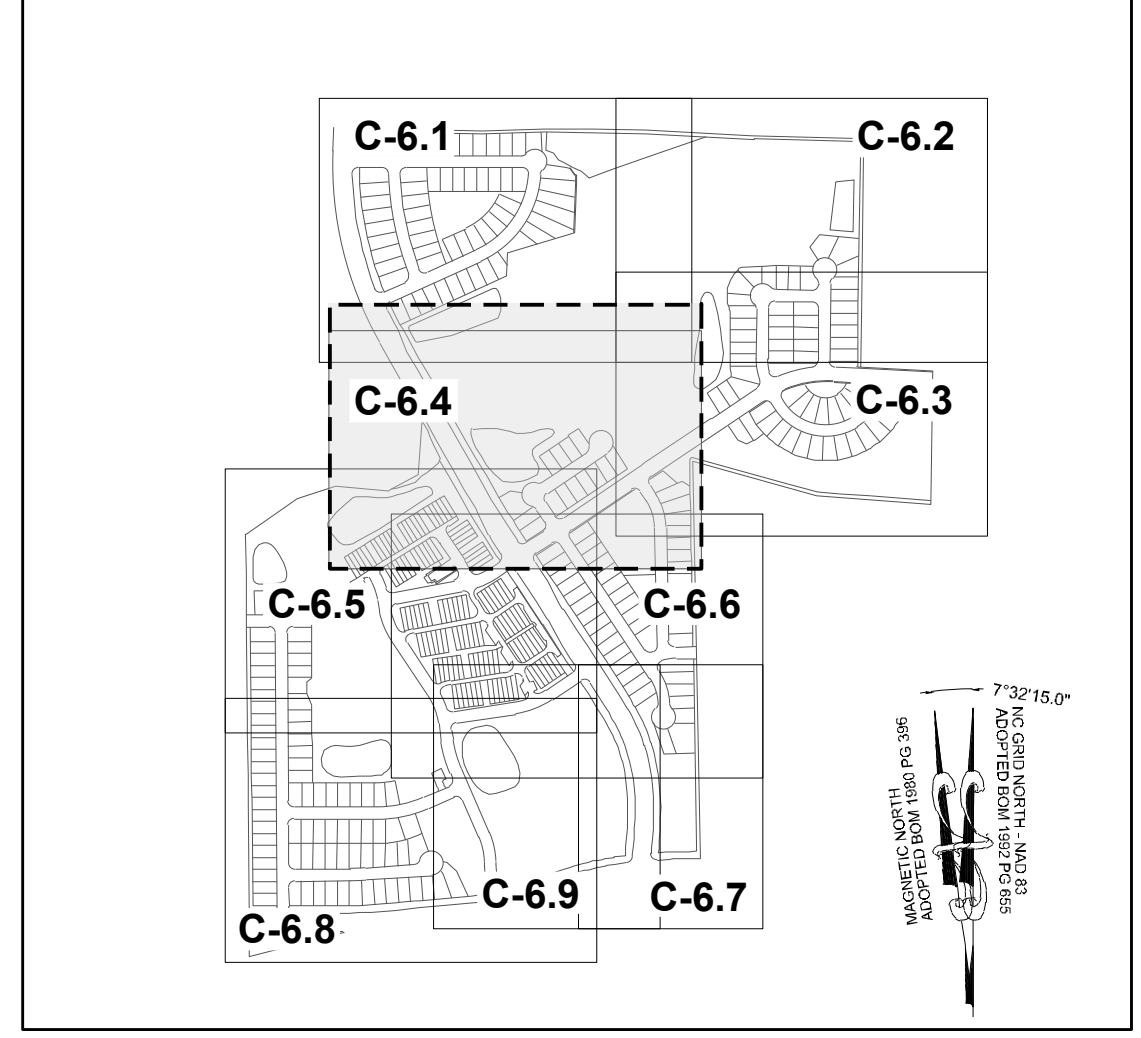
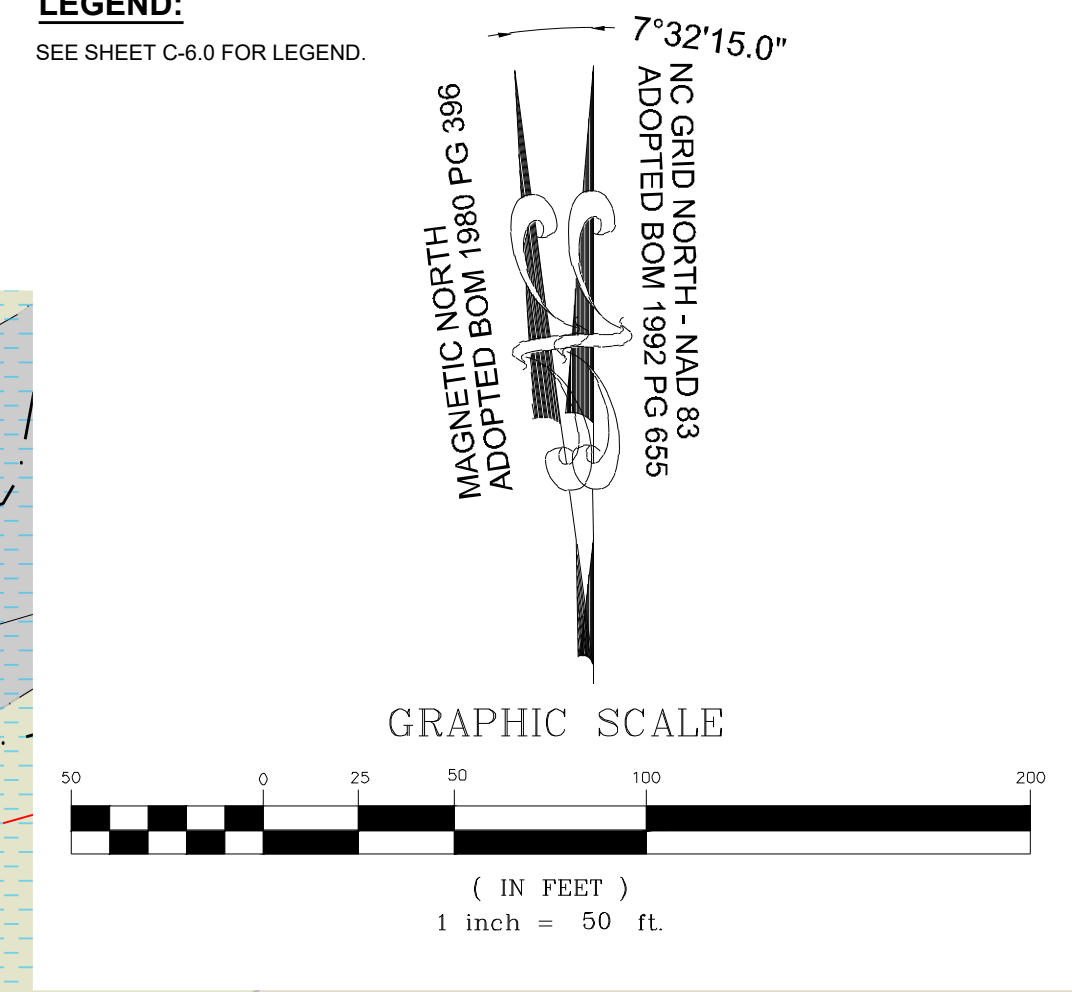
DRAWING SHEET  
**C-6.3**

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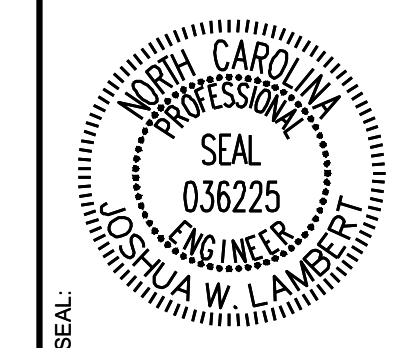


**TOWNHOME NOTES:**  
STATES INTERNAL TOWNHOME DRIVEWAYS ARE PRIVATE EASEMENTS AS PER CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT

**SITE KEY PLAN**  
**LEGEND:**  
SEE SHEET C-6.0 FOR LEGEND.



NO.	DATE	REVISIONS	BY
01	08/01/2023	PRELIMINARY SUBDIVISION PLAT P-24-03	
02	12/05/2023	TOWN OF ROLESVILLE COMMENTS P-24-03	
03	03/01/2024	TOWN OF ROLESVILLE COMMENTS P-24-03	



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PROJECT	CONSTRUCTION	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
STRONG ROCK PROJECT P-24-03	NOT FOR CONSTRUCTION	AS SHOWN	JWL	SRG	JWL

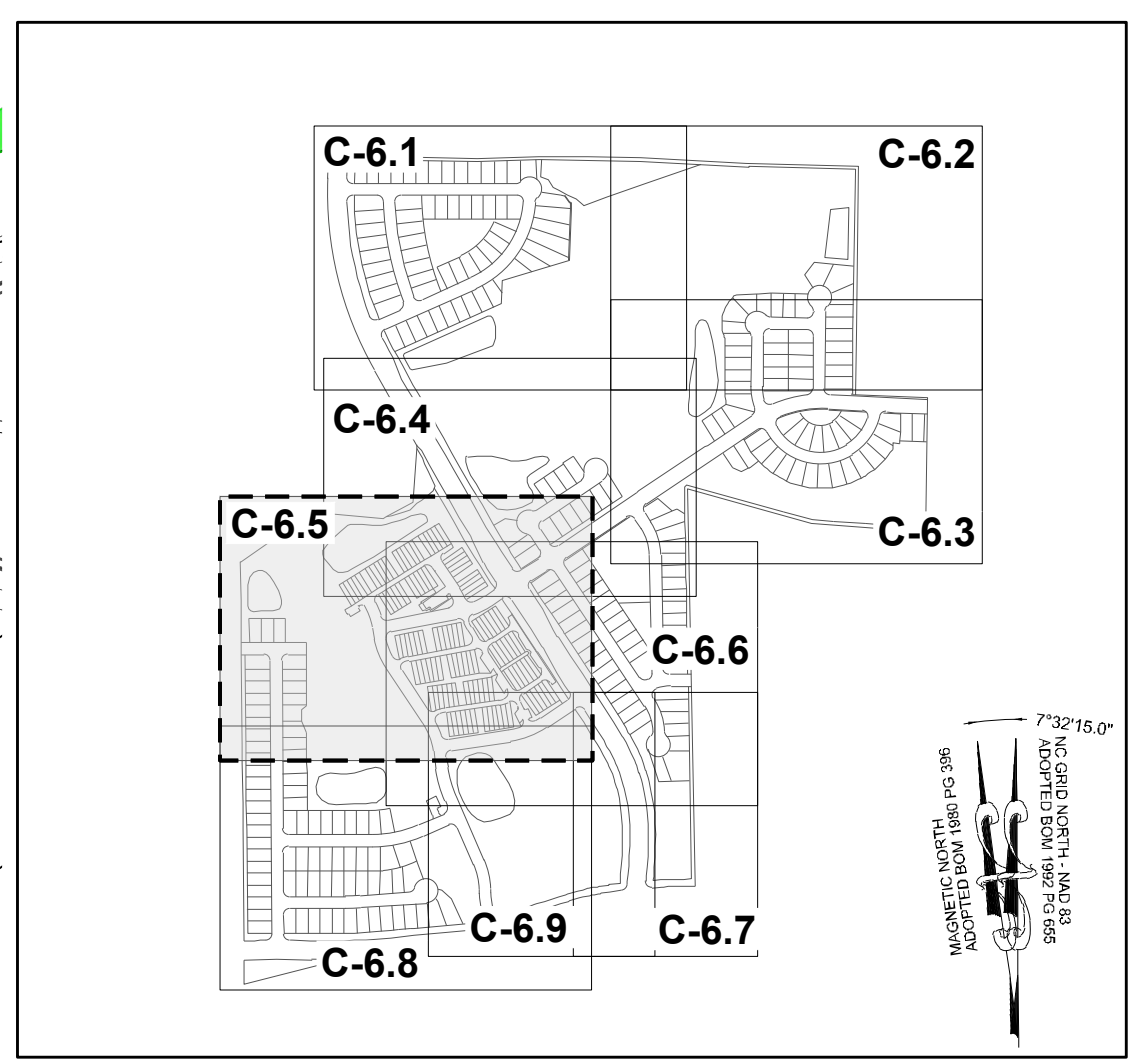
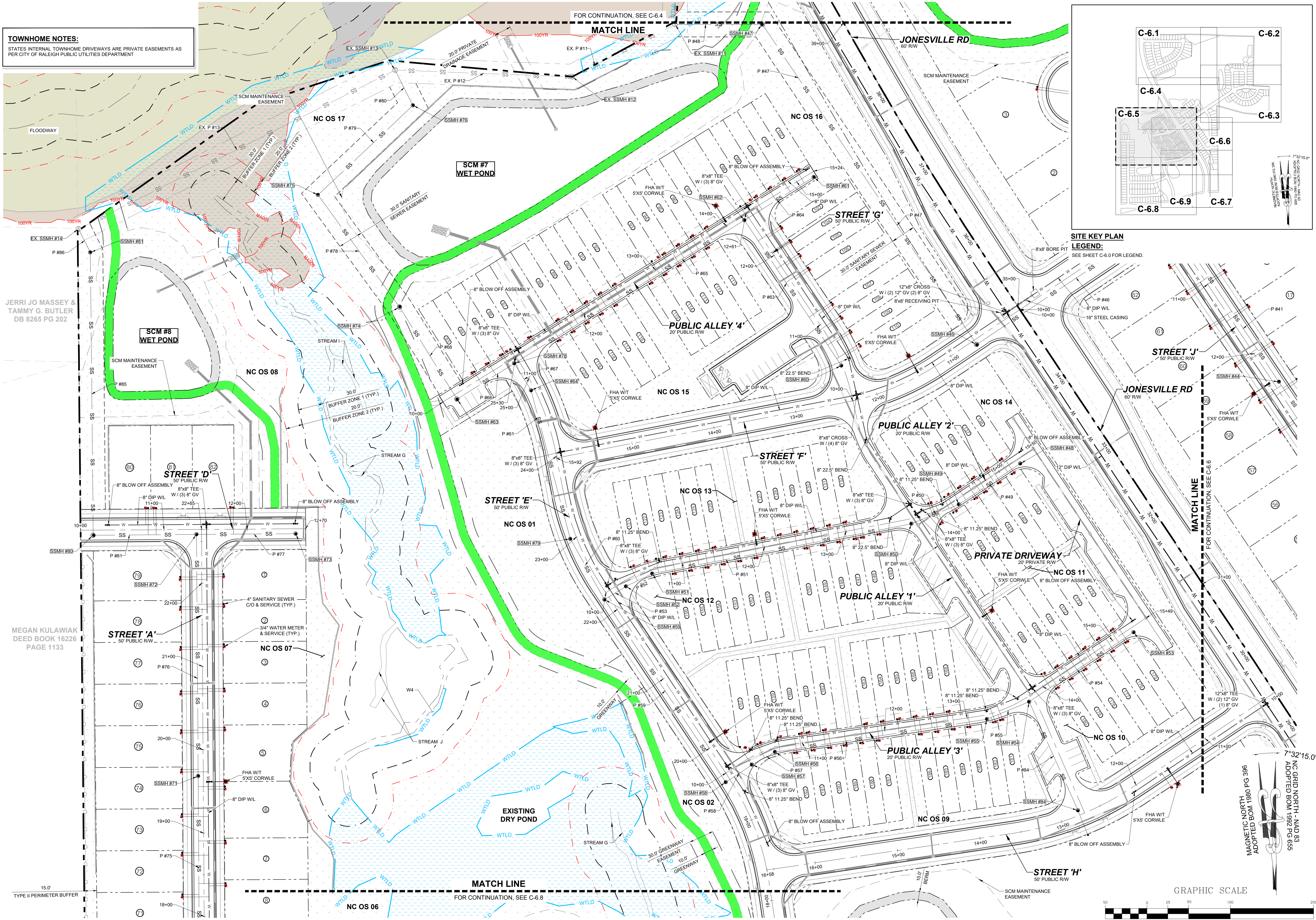
RESERVE @ MITCHELL MILL  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
PRELIMINARY SUBDIVISION PLAT  
PARTIAL UTILITY PLAN VI

DRAWING SHEET  
**C-6.4**

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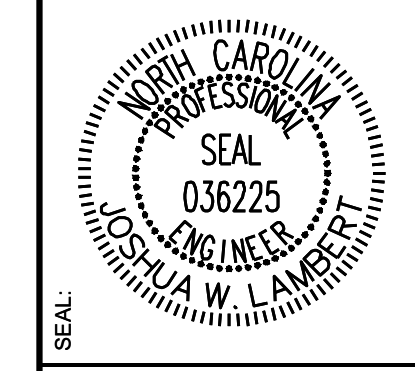


**TOWNHOME NOTES:**  
STATES INTERNAL TOWNHOME DRIVEWAYS ARE PRIVATE EASEMENTS AS PER CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT



**SITE KEY PLAN**  
**LEGEND:**  
SEE SHEET C-6.0 FOR LEGEND.

NO.	REVISIONS	DATE	BY
01			
02			
03			



JERRI JO MASSEY & TAMMY G. BUTLER  
DB 8265 PG 202

MEGAN KULAWIAK  
DEED BOOK 16226  
PAGE 1133

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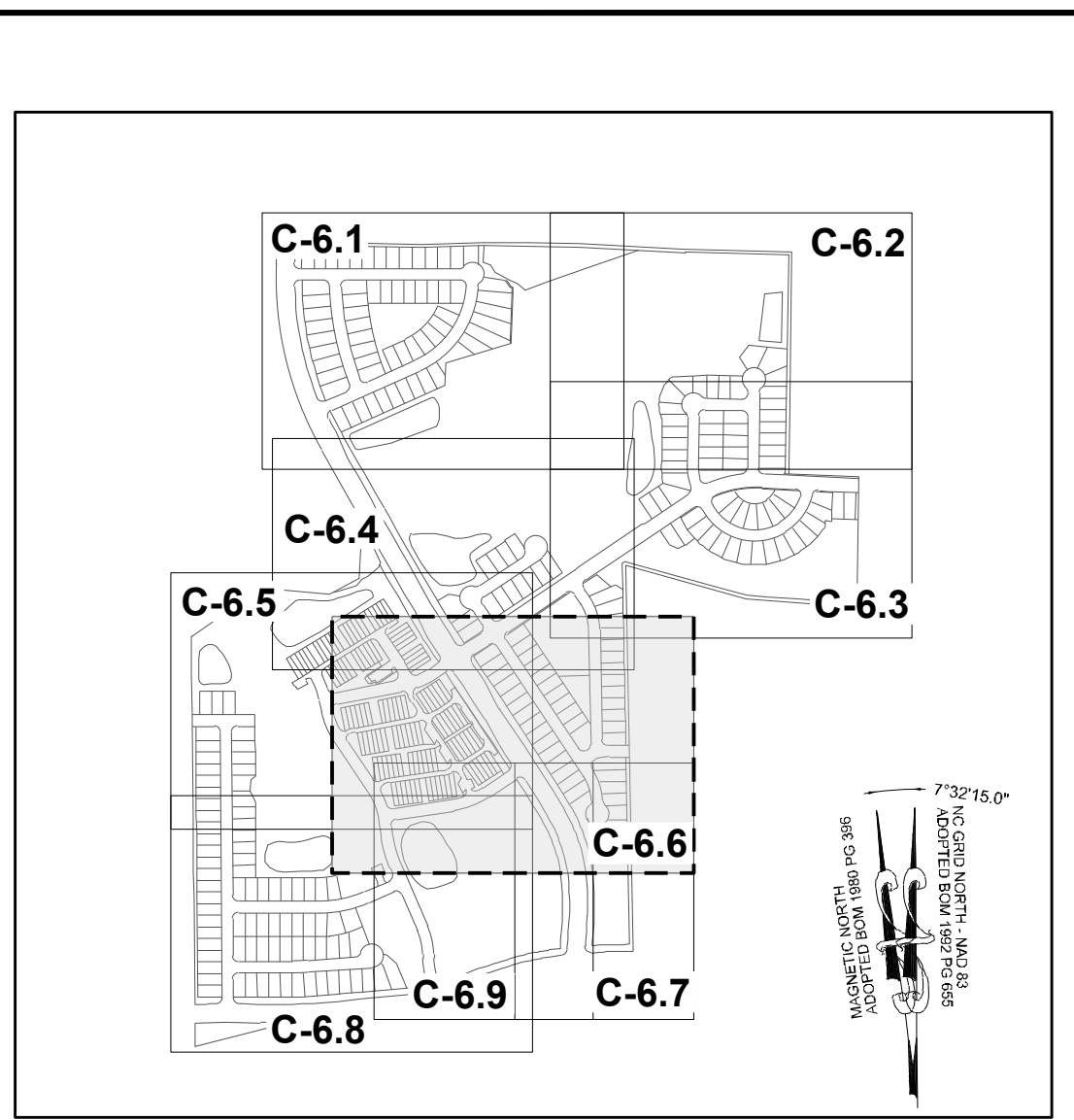
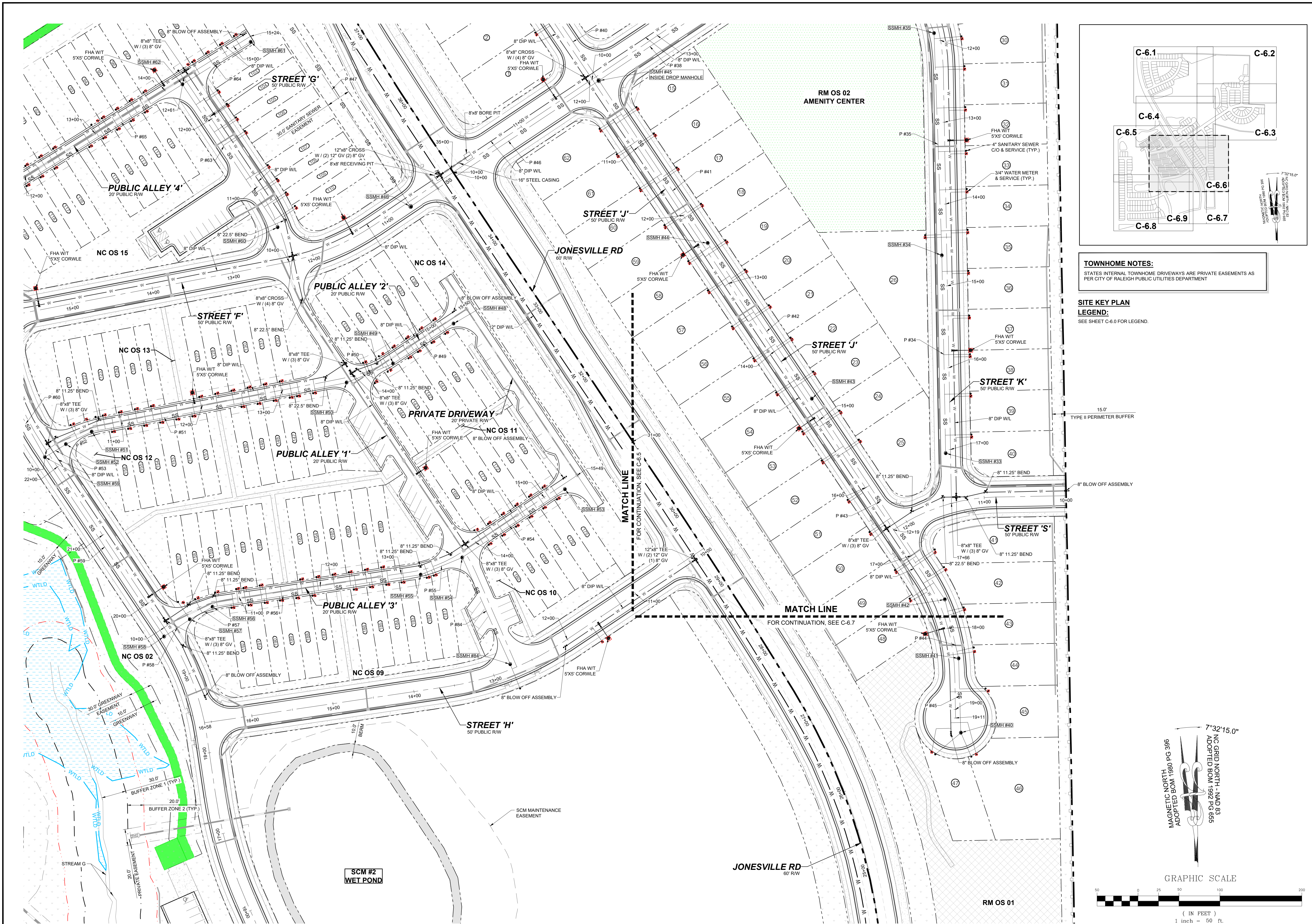
STRONG ROCK PROJECT	STRONG ROCK PROJECT P-24-03
NOT FOR CONSTRUCTION	
SCALE	AS SHOWN
DESIGNED BY	JWL
DRAWN BY	SRG
CHECKED BY	JWL

RESERVE @ MITCHELL MILL  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
PRELIMINARY SUBDIVISION PLAN  
PARTIAL UTILITY PLAN V

DRAWING SHEET  
**C-6.5**

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**TOWNHOME NOTES:**  
 STATES INTERNAL TOWNHOME DRIVEWAYS ARE PRIVATE EASEMENTS AS PER CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT

**SITE KEY PLAN**  
**LEGEND:**  
 SEE SHEET C-6.0 FOR LEGEND.

01	PRELIMINARY SUBDIVISION PLAT PSP-23-03	08/01/2023	BY
02	TOWN OF ROLESVILLE COMMENTS PSP-23-03	12/05/2023	DATE
03	TOWN OF ROLESVILLE COMMENTS PSP-03-23-03	03/01/2024	REVISIONS
			No.

**STRONGROCK ENGINEERING GROUP**  
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**PROFESSIONAL SEAL**  
 036225  
 J. W. L. LAMBERT

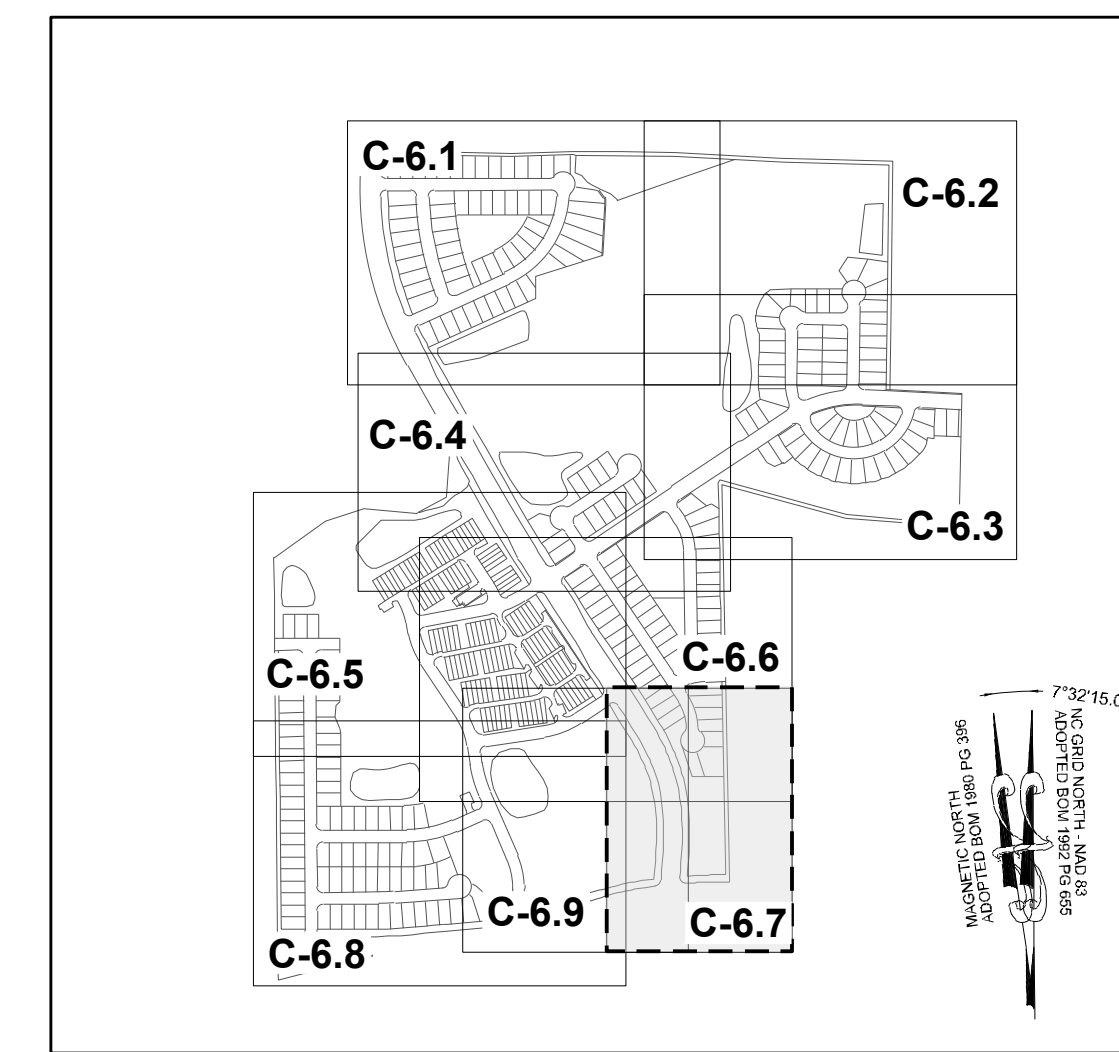
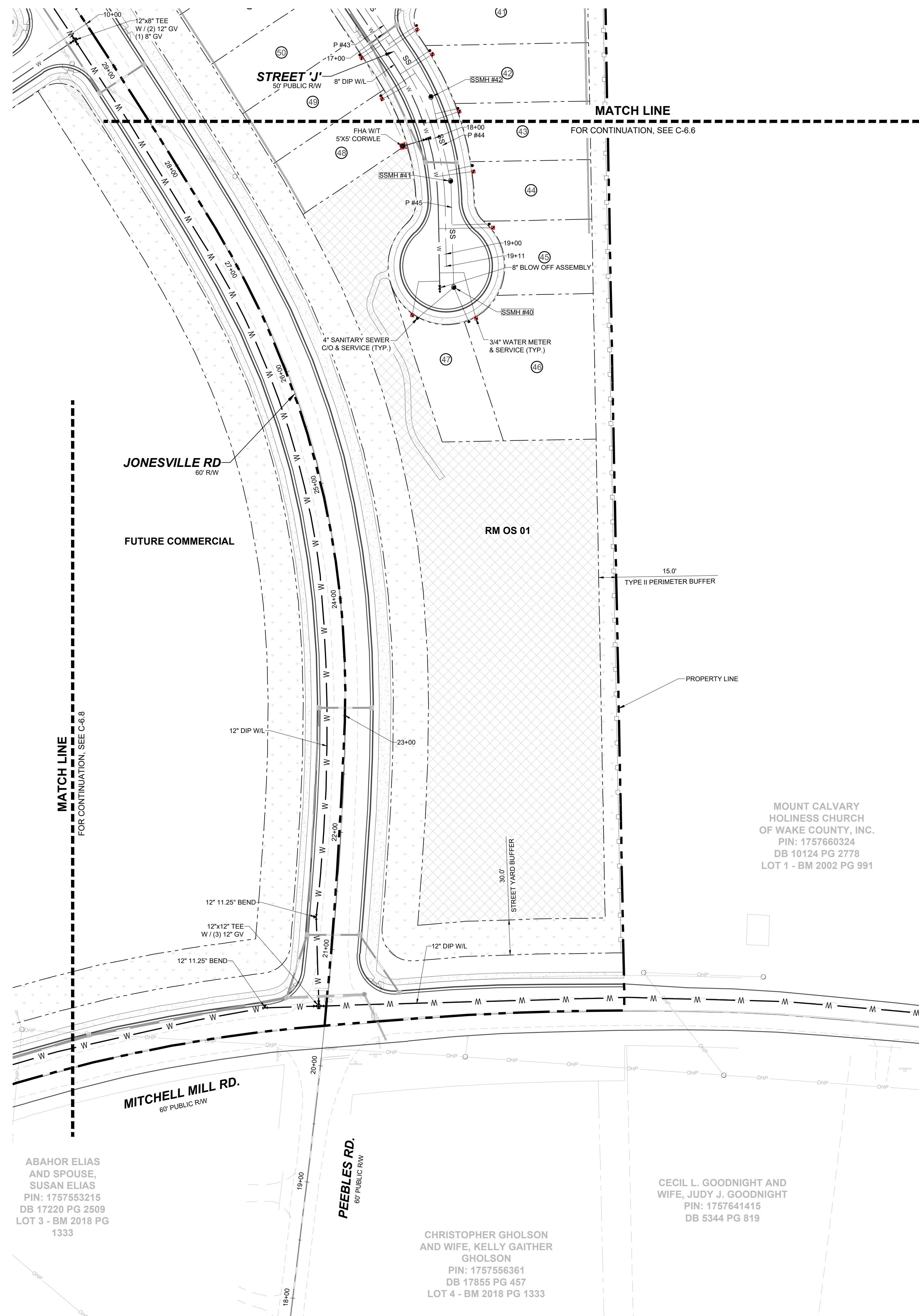
STRONG ROCK PROJECT	STRONG ROCK PROJECT PSP-23-03	SCALE	AS SHOWN
DESIGNED BY	JWL	DRAWN BY	JWL
CHECKED BY	JWL	SRG	

**RESERVE @ MITCHELL MILL**  
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
**PRELIMINARY SUBDIVISION PLAT**  
**PARTIAL UTILITY PLAN VI**

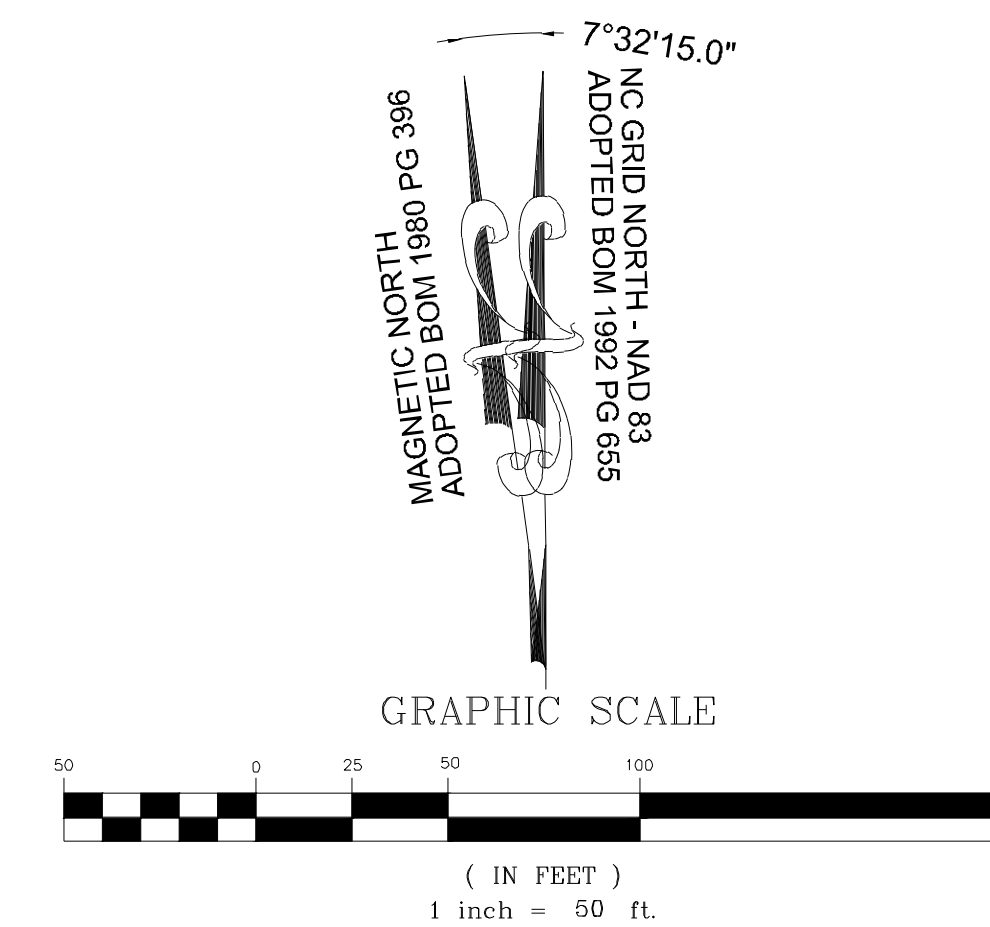
**DRAWING SHEET**  
**C-6.6**  
**35 OF 76**

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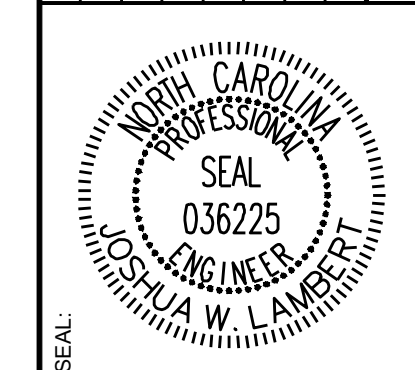




**LEGEND:**  
SEE SHEET C-6.0 FOR LEGEND.



NO.	REVISIONS	DATE	BY
01			
02			
03			



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ENGINEERING GROUP

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305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	STRONG ROCK PROJECT
PSP-24-03	PSP-24-03
NOT FOR CONSTRUCTION	NOT FOR CONSTRUCTION
SCALE AS SHOWN	SCALE AS SHOWN
DESIGNED BY JWL	DESIGNED BY JWL
DRAWN BY SRG	DRAWN BY SRG
CHECKED BY JWL	CHECKED BY JWL

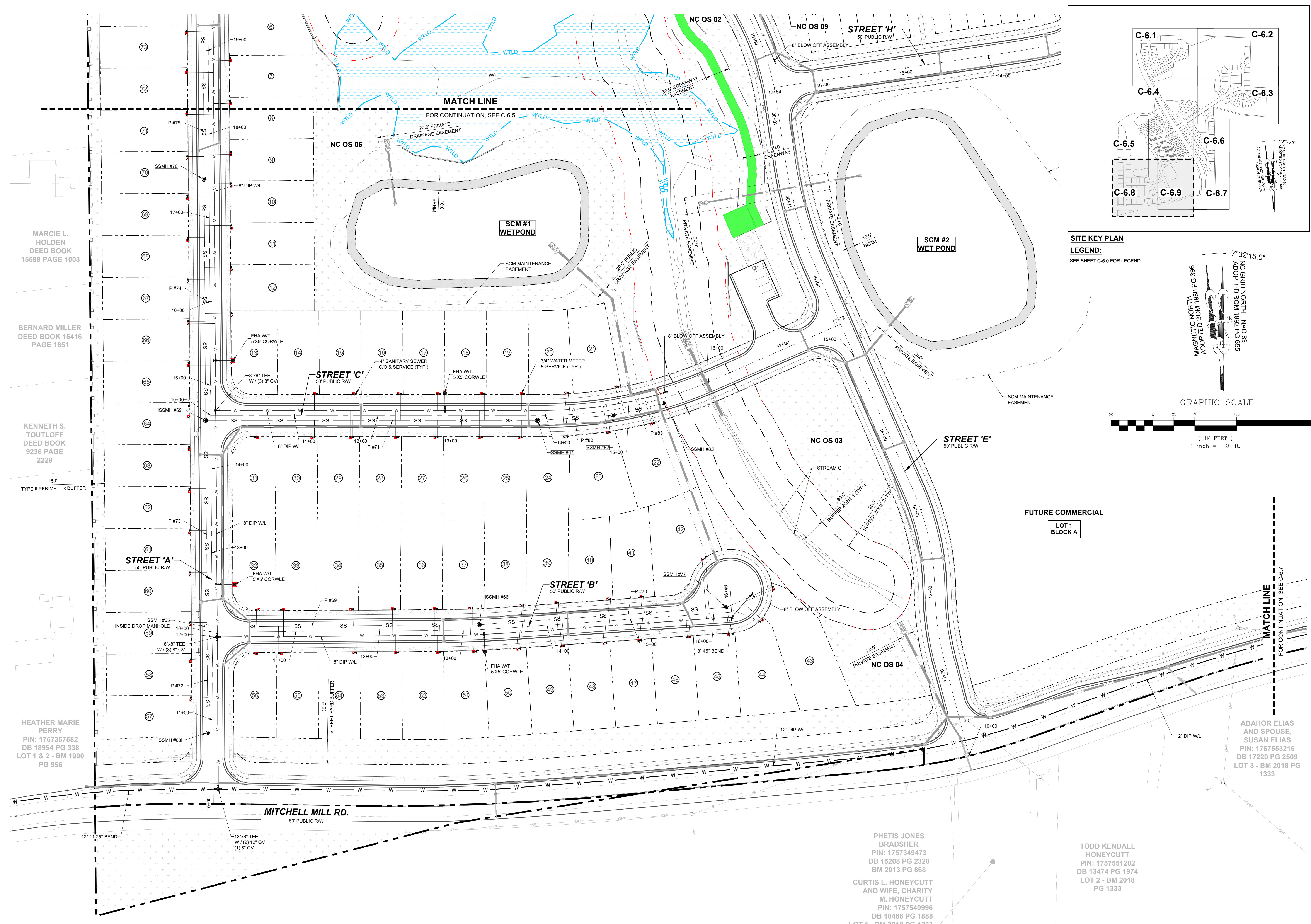
RESERVE @ MITCHELL MILL  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
PRELIMINARY SUBDIVISION PLAT  
PARTIAL UTILITY PLAN VII

DRAWING SHEET  
**C-6.7**

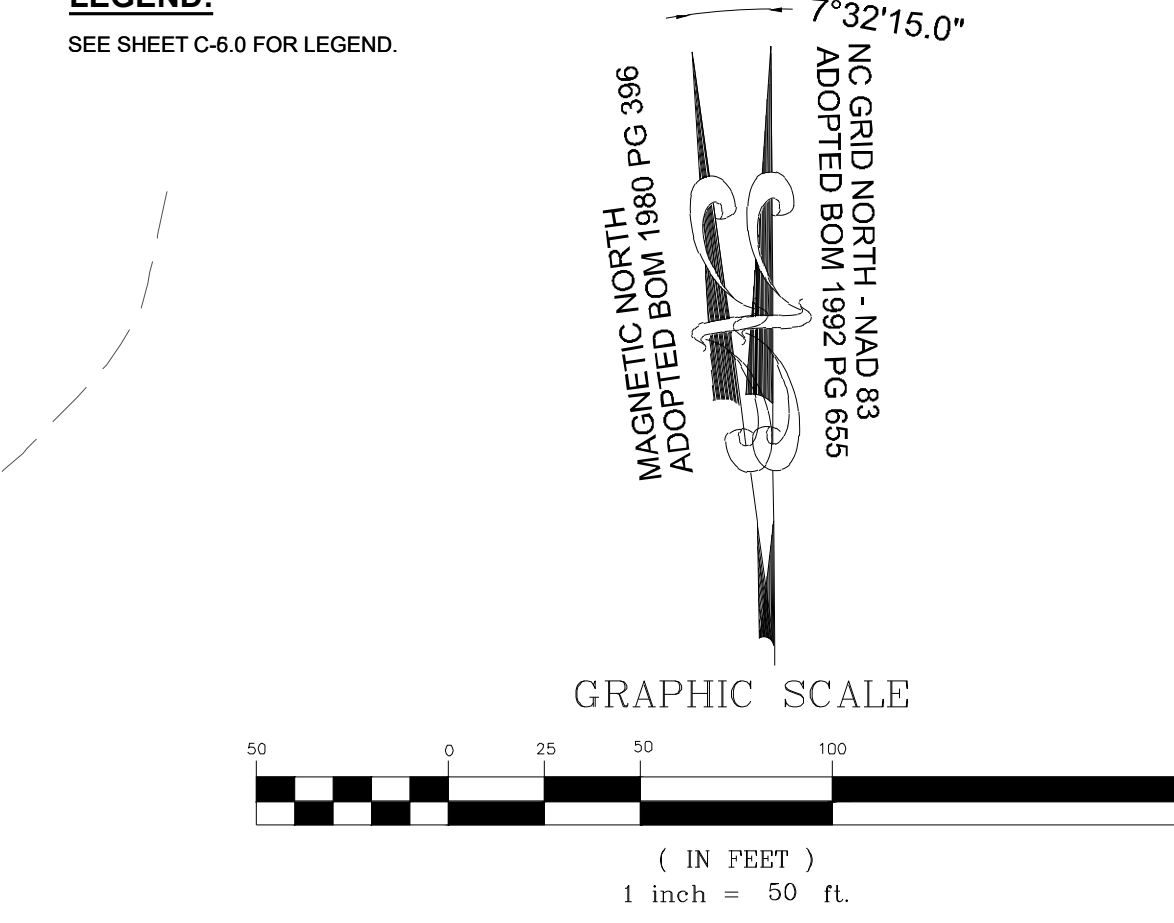
36 OF 76

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**SITE KEY PLAN**  
LEGEND:  
SEE SHEET C-6.0 FOR LEGEND.



NO.	REVISIONS	DATE	BY
01			
02			
03			

**STRONGROCK**  
ENGINEERING GROUP

STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166  
305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	STRONG ROCK PROJECT PSP-24-03
NOT FOR CONSTRUCTION	
SCALE	AS SHOWN
DESIGNED BY	JWL
DRAWN BY	SRG
CHECKED BY	JWL

RESERVE @ MITCHELL MILL  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
PRELIMINARY SUBDIVISION PLAT  
PARTIAL UTILITY PLAN VIII

DRAWING SHEET  
**C-6.8**

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MARCI L. HOLDEN  
DEED BOOK 15599 PAGE 1003

BERNARD MILLER  
DEED BOOK 15416 PAGE 1651

KENNETH S. TOUTLOFF  
DEED BOOK 9236 PAGE 2229

HEATHER MARIE PERRY  
PIN: 1757357582  
DB 18954 PG 338  
LOT 1 & 2 - BM 1990 PG 956

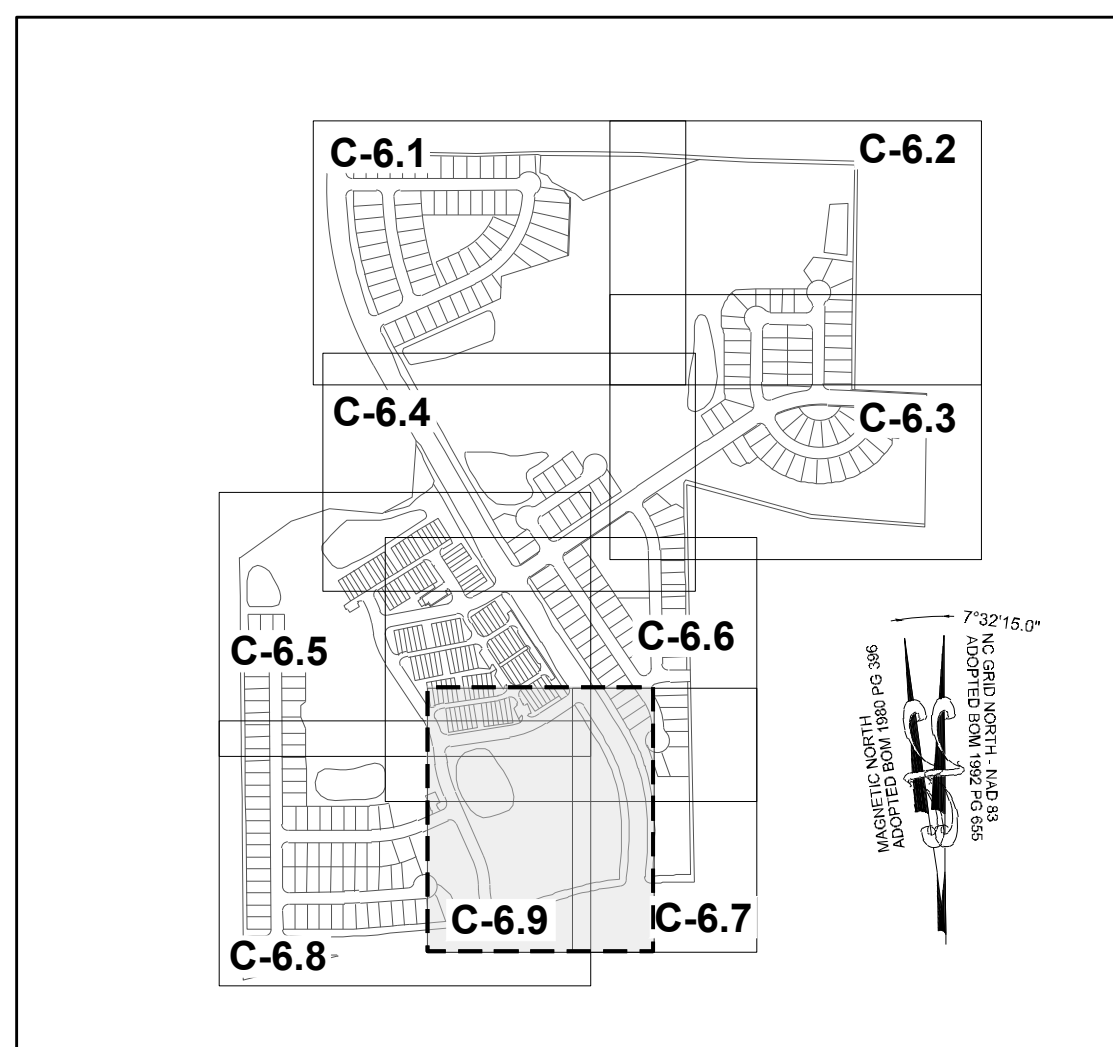
PHETIS JONES  
BRADSHER  
PIN: 1757349473  
DB 15208 PG 2320  
BM 2013 PG 868

CURTIS L. HONEYCUTT  
AND WIFE, CHARITY M. HONEYCUTT  
PIN: 1757540996  
DB 10488 PG 1888  
LOT 1 - BM 2018 PG 1333

TODD KENDALL  
HONEYCUTT  
PIN: 1757551202  
DB 13474 PG 1974  
LOT 2 - BM 2018 PG 1333

ABAHOR ELIAS AND SPOUSE,  
SUSAN ELIAS  
PIN: 1757553215  
DB 17220 PG 2509  
LOT 3 - BM 2018 PG 1333





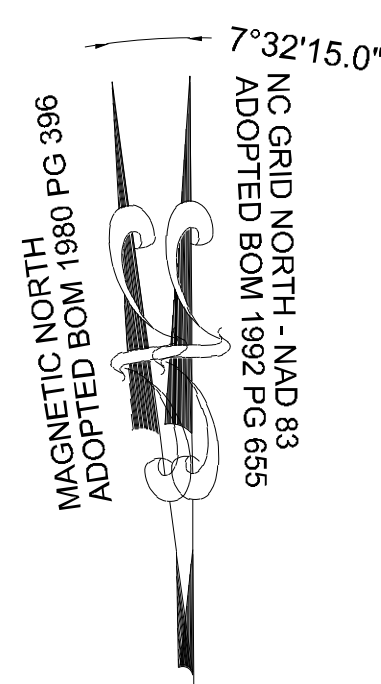
**SITE KEY PLAN**

**LEGEND:**

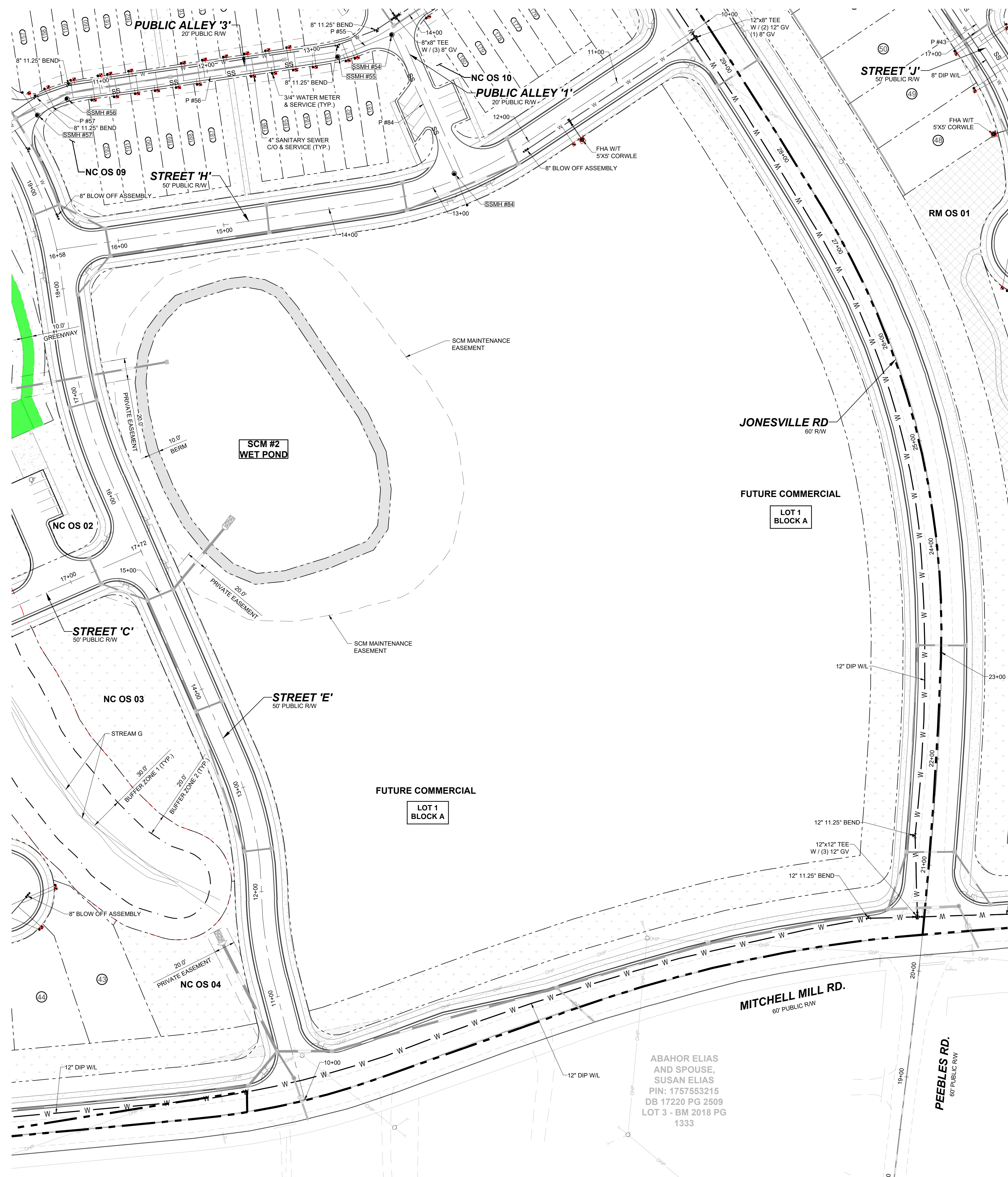
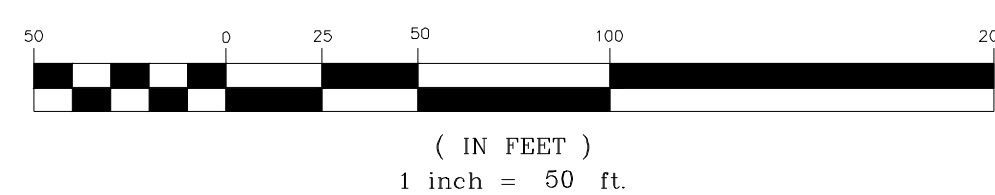
SEE SHEET C-6.0 FOR LEGEND.

**TOWNHOME NOTES:**

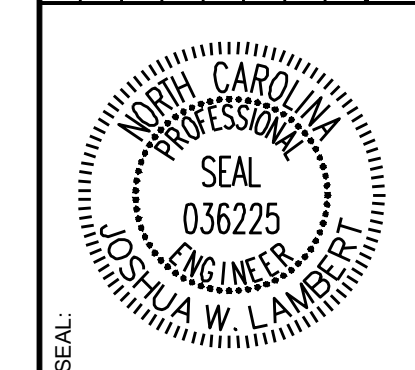
STATES INTERNAL TOWNHOME DRIVEWAYS ARE PRIVATE EASEMENTS AS PER CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT



**GRAPHIC SCALE**



NO.	REVISIONS	DATE	BY
01			
02			
03			



**STRONGROCK**  
ENGINEERING GROUP

STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166  
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STRONG ROCK PROJECT	STRONG ROCK PROJECT PSP-24-03
NOT FOR CONSTRUCTION	NOT FOR CONSTRUCTION
SCALE	AS SHOWN
DESIGNED BY	JWL
DRAWN BY	SRG
CHECKED BY	JWL

RESERVE @ MITCHELL MILL  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
PRELIMINARY SUBDIVISION PLAT  
PARTIAL UTILITY PLAN IX

DRAWING SHEET  
**C-6.9**

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PIPE TABLE						
PIPE NO	TYPE	SIZE	LF	INV. IN	INV. OUT	GRADE
P #01	PVC - SDR 26	8"	296	255.14	253.35	0.60%
P #02	PVC - SDR 26	8"	205	253.15	252.13	0.50%
P #03	PVC - SDR 26	8"	237	251.93	250.75	0.50%
P #04	PVC - SDR 26	8"	83	250.55	245.51	6.10%
P #05	PVC - SDR 26	8"	86	245.31	242.56	3.20%
P #06	PVC - SDR 26	8"	83	242.36	239.63	3.30%
P #07	PVC - SDR 26	8"	100	239.43	237.33	2.10%
P #08	PVC - SDR 26	8"	121	237.13	236.53	0.50%
P #09	PVC - SDR 26	8"	280	236.33	234.93	0.50%
P #10	PVC - SDR 26	8"	140	256.31	250.03	4.47%
P #11	PVC - SDR 26	8"	134	249.83	246.61	2.42%
P #12	PVC - SDR 26	8"	137	246.41	242.62	2.76%
P #13	PVC - SDR 26	8"	50	242.34	242.10	0.50%
P #14	PVC - SDR 26	8"	164	234.73	233.13	0.97%
P #15	PVC - SDR 26	8"	257	232.93	229.70	1.26%
P #16	PVC - SDR 26	8"	129	255.20	253.82	1.07%
P #17	PVC - SDR 26	8"	296	260.79	253.82	2.35%
P #18	PVC - SDR 26	8"	258	253.62	252.33	0.50%
P #19	PVC - SDR 26	8"	298	252.13	249.01	1.05%
P #20	PVC - SDR 26	8"	63	248.81	246.68	3.37%
P #21	PVC - SDR 26	8"	50	246.48	246.20	0.55%
P #22	PVC - SDR 26	8"	202	282.12	273.15	4.43%

PIPE TABLE						
PIPE NO	TYPE	SIZE	LF	INV. IN	INV. OUT	GRADE
P #23	PVC - SDR 26	8"	86	272.95	269.31	4.22%
P #24	PVC - SDR 26	8"	91	269.11	262.09	7.70%
P #25	PVC - SDR 26	8"	61	261.89	259.91	3.22%
P #26	PVC - SDR 26	8"	86	259.71	258.70	1.19%
P #27	PVC - SDR 26	8"	86	258.50	253.81	5.43%
P #28	PVC - SDR 26	8"	100	253.61	253.11	0.50%
P #29	PVC - SDR 26	8"	87	252.91	248.85	4.70%
P #30	PVC - SDR 26	8"	64	248.65	246.20	3.81%
P #31	PVC - SDR 26	8"	226	246.00	242.15	1.70%
P #32	PVC - SDR 26	8"	184	241.95	236.03	3.21%
P #33	PVC - SDR 26	8"	253	235.83	233.39	0.97%
P #34	PVC - SDR 26	8"	242	281.17	262.22	7.84%
P #35	PVC - SDR 26	8"	272	262.02	248.43	5.00%
P #36	PVC - SDR 26	8"	68	248.23	246.26	2.91%
P #37	PVC - SDR 26	8"	113	246.06	244.82	1.09%
P #38	DIP	8"	388	233.19	231.25	0.50%
P #39	PVC - SDR 26	8"	346	241.35	239.62	0.50%
P #40	DIP	8"	177	239.42	238.53	0.50%
P #41	PVC - SDR 26	8"	239	271.57	257.23	6.00%
P #42	PVC - SDR 26	8"	228	280.18	271.77	3.68%
P #43	PVC - SDR 26	8"	294	294.97	280.38	4.96%
P #44	PVC - SDR 26	8"	74	298.60	296.14	3.33%

PIPE TABLE						
PIPE NO	TYPE	SIZE	LF	INV. IN	INV. OUT	GRADE
P #45	PVC - SDR 26	8"	91	303.37	298.80	5.03%
P #46	DIP	8"	276	231.05	229.67	0.50%
P #47	DIP	8"	462	229.47	227.16	0.50%
P #48	DIP	8"	105	226.96	225.46	1.43%
P #49	PVC - SDR 26	8"	88	268.38	263.96	5.00%
P #50	PVC - SDR 26	8"	61	263.76	260.20	5.80%
P #51	PVC - SDR 26	8"	317	260.00	247.78	3.86%
P #52	PVC - SDR 26	8"	35	247.58	246.39	3.41%
P #53	PVC - SDR 26	8"	30	246.19	246.04	0.50%
P #54	PVC - SDR 26	8"	151	283.97	278.51	3.62%
P #55	PVC - SDR 26	8"	55	278.31	276.44	3.42%
P #56	PVC - SDR 26	8"	257	276.24	264.06	4.73%
P #57	PVC - SDR 26	8"	32	263.86	261.02	9.00%
P #58	PVC - SDR 26	8"	38	260.82	260.17	1.71%
P #59	PVC - SDR 26	8"	263	259.97	246.04	5.30%
P #60	PVC - SDR 26	8"	84	245.84	245.42	0.50%
P #61	PVC - SDR 26	8"	184	245.22	238.77	3.50%
P #63	PVC - SDR 26	8"	210	250.96	245.37	2.66%
P #64	PVC - SDR 26	8"	98	248.22	245.37	2.90%
P #65	PVC - SDR 26	8"	325	245.17	236.34	2.71%
P #66	PVC - SDR 26	8"	81	236.14	235.74	0.50%
P #67	PVC - SDR 26	8"	38	238.57	236.34	5.85%

PIPE TABLE						
PIPE NO	TYPE	SIZE	LF	INV. IN	INV. OUT	GRADE
P #68	PVC - SDR 26	8"	130	235.54	234.89	0.50%
P #69	PVC - SDR 26	8"	325	267.48	265.85	0.50%
P #70	PVC - SDR 26	8"	296	269.15	267.68	0.50%
P #71	DIP	8"	396	263.78	261.80	0.50%
P #72	PVC - SDR 26	8"	126	283.39	279.59	3.00%
P #73	DIP	8"	247	265.65	261.80	1.56%
P #74	DIP	8"	288	261.60	260.16	0.50%
P #75	PVC - SDR 26	8"	223	259.96	258.84	0.50%
P #76	PVC - SDR 26	8"	290	258.64	257.19	0.50%
P #77	PVC - SDR 26	8"	119	256.86	248.02	7.43%
P #78	PVC - SDR 26	8"	167	234.69	230.11	2.75%
P #79	PVC - SDR 26	8"	157	229.91	229.13	0.50%
P #80	PVC - SDR 26	8"	47	228.93	228.30	1.33%
P #81	PVC - SDR 26	8"	124	256.37	256.99	0.50%
P #82	PVC - SDR 26	8"	91	263.98	264.43	0.50%
P #83	PVC - SDR 26	8"	62	264.63	264.94	0.50%
P #84	PVC - SDR 26	8"	143	278.75	286.66	5.53%
P #85	PVC - SDR 26	8"	339	256.17	229.01	8.00%
P #86	PVC - SDR 26	8"	31	228.81	225.98	9.00%

SSMH TABLE					
SSMH NO	SIZE	TOP	INV. IN	INV. OUT	DEPTH
SSMH #01	4'	260.82		255.14 E	5.68
SSMH #02	5'	266.23	253.35 W	253.15 E	13.08
SSMH #03	5'	267.72	252.13 W	251.93 E	15.79
SSMH #04	4'	258.00	250.75 W	250.55 S	7.45
SSMH #05	4'	253.91	245.51 N	245.31 S	8.60
SSMH #06	4'	250.01	242.56 N	242.36 SW	7.65
SSMH #07	4'	247.68	239.63 NE	239.43 SW	8.25
SSMH #08	4'	247.65	237.33 NE	237.13 SW	10.52
SSMH #09	5'	249.39	236.53 NE	236.33 SW	13.06
SSMH #10	4'	262.27		256.31 S	5.99
SSMH #11	4'	258.14	250.03 N	249.83 S	8.33
SSMH #12	4'	254.25	246.61 N	246.41 S	7.84
SSMH #13	4'	250.25	242.62 N	242.34 SE	7.91
SSMH #14 INSIDE DROP MANHOLE	6'	248.63	234.93 NE 242.10 NW	234.73 SW	13.90
SSMH #15	4'	241.83	233.13 NE	232.93 SE	8.91
SSMH #16	4'	260.89		255.20 S	5.71
SSMH #17	4'	267.77		260.79 N	7.01
SSMH #18	4'	262.90	253.82 N 253.82 S	253.62 W	9.31
SSMH #19	4'	260.08	252.33 E	252.13 S	7.95
SSMH #20	4'	256.58	249.01 N	248.81 S	7.78
SSMH #21	4'	255.85	246.68 N	246.48 SE	9.37
SSMH #22	4'	288.45		282.12 W	6.33

SSMH TABLE					
SSMH NO	SIZE	TOP	INV. IN	INV. OUT	DEPTH
SSMH #23	4'	280.24	273.15 E	272.95 S	7.29
SSMH #24	4'	275.00	269.31 N	269.11 SW	5.89
SSMH #25	4'	267.01	259.91 NE	259.71 W	7.30
SSMH #26	4'	264.43	258.70 E	258.50 W	5.94
SSMH #27	4'	262.11	253.81 E	253.61 NW	8.50
SSMH #28	4'	259.42	253.11 SE	252.91 NW	6.51
SSMH #29	4'	257.07	248.85 SE	248.65 NW	8.43
SSMH #30	4'	255.80	246.20 SE 246.20 NW	246.00 SW	9.80
SSMH #31	4'	250.26	242.15 NE	241.95 SW	8.31
SSMH #32	5'	251.19	236.03 NE	235.83 SW	15.36
SSMH #33	4'	292.16		281.17 N	11.01
SSMH #34	4'	273.05	262.22 S	262.02 N	11.03
SSMH #35	4'	258.59	248.43 S	248.23 N	10.38
SSMH #36	4'	256.00	246.26 S	246.06 NW	9.94
SSMH #37 INSIDE DROP MANHOLE	6'	252.65	233.39 NE 244.82 SE	233.19 SW	19.46
SSMH #38	5'	256.75	239.62 NE	239.42 SE	17.33
SSMH #39	4'	250.34		241.35 SW	8.99
SSMH #40	4'	309.76		303.37 N	6.40
SSMH #41	4'	305.57	298.80 S	298.60 N	6.98
SSMH #42	4'	302.23	296.14 S	294.97 NW	7.29
SSMH #43	4'	288.87	280.38 SE	280.18 NW	8.68
SSMH #44	4'	278.41	271.77 SE	271.57 NW	6.87


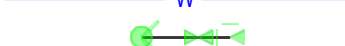



SSMH TABLE					
SSMH NO	SIZE	TOP	INV. IN	INV. OUT	DEPTH
SSMH #45 INSIDE DROP MANHOLE	6'	268.13	231.25 NE 257.23 SE 238.53 NW	231.05 SW	37.10
SSMH #46	6'	271.27	229.67 NE	229.47 NW	41.82
SSMH #47	6'	248.36	227.16 SE	226.96 W	21.39
SSMH #48	4'	276.89		268.38 SW	8.51
SSMH #49	4'	273.26	263.96 NE	263.76 W	9.50
SSMH #50	4'	271.09	260.20 E	260.00 W	11.09
SSMH #51	4'	258.40	247.78 E	247.58 SW	10.82
SSMH #52	4'	257.58	246.39 NE	246.19 SW	11.40
SSMH #53	4'	290.34		283.97 SW	6.37
SSMH #54	4'	284.52	278.51 NE 278.75 SE	278.31 W	6.21
SSMH #55	4'	282.15	276.44 E	276.24 W	5.91
SSMH #56	4'	272.25	264.06 E	263.86 SW	8.39
SSMH #57	4'	271.26	261.02 NE	260.82 SW	10.44
SSMH #58	4'	270.40	260.17 NE	259.97 NW	10.43
SSMH #59	4'	256.80	246.04 NE 246.04 SE	245.84 NW	10.97
SSMH #60	4'	260.77		250.96 NW	9.81
SSMH #61	4'	254.44		248.22 SW	6.22
SSMH #62	4'	253.89	245.37 SE 245.37 NE	245.17 SW	8.72
SSMH #63	5'	248.17	235.74 NE	235.54 NW	12.63
SSMH #64	4'	248.47	238.77 S	238.57 NW	9.89
SSMH #65 INSIDE DROP MANHOLE	6'	285.50	265.85 E 279.59 S	265.65 N	19.87
SSMH #66	5'	280.86	267.68 E	267.48 W	13.37

SSMH TABLE					
SSMH NO	SIZE	TOP	INV. IN	INV. OUT	DEPTH
SSMH #67	5'	276.14	263.98 E	263.78 W	12.36
SSMH #68	4'	289.28		283.39 N	5.91
SSMH #69	6'	282.73	261.80 S 261.80 E	261.60 N	21.16
SSMH #70	5'	275.96	260.16 S	259.96 N	16.00
SSMH #71	4'	270.07	258.84 S	258.64 N	11.43
SSMH #72	4'	265.99	257.19 S	256.86 E 256.99 W	9.13
SSMH #73	4'	256.32	248.02 W		8.30
SSMH #74	5'	246.82	234.89 SE	234.69 NW	12.13
SSMH #75	4'	236.48	230.11 SE	229.91 NE	6.56
SSMH #76	4'	240.05	229.13 SW	228.93 NW	11.12
SSMH #77	4'	276.26		269.15 W	7.12
SSMH #78	4'	247.79	236.34 SE 236.34 NE	236.14 SW	11.65
SSMH #79	4'	253.16	245.42 SE	245.22 N	8.64
SSMH #80	5'	275.76	256.37 E	256.17 N	19.59
SSMH #81	4'	239.00	229.01 S	228.81 NW	10.19
SSMH #82	5'	277.42	264.63 E	264.43 W	12.99
SSMH #83	4'	273.			

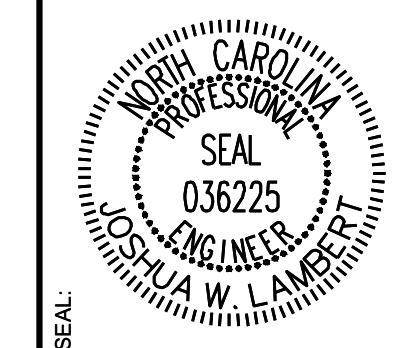


**TOWNHOME NOTES:**  
STATES INTERNAL TOWNHOME DRIVEWAYS ARE PRIVATE EASEMENTS AS PER CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT

**LEGEND:**

-  WATER LINE
-  FIRE HYDRANT ASSEMBLY
-  GATE VALVE
-  TEE
-  BLOW OFF VALVE

NO.	REVISIONS	DATE	BY
01			
02			
03			



**STRONGROCK**  
ENGINEERING GROUP

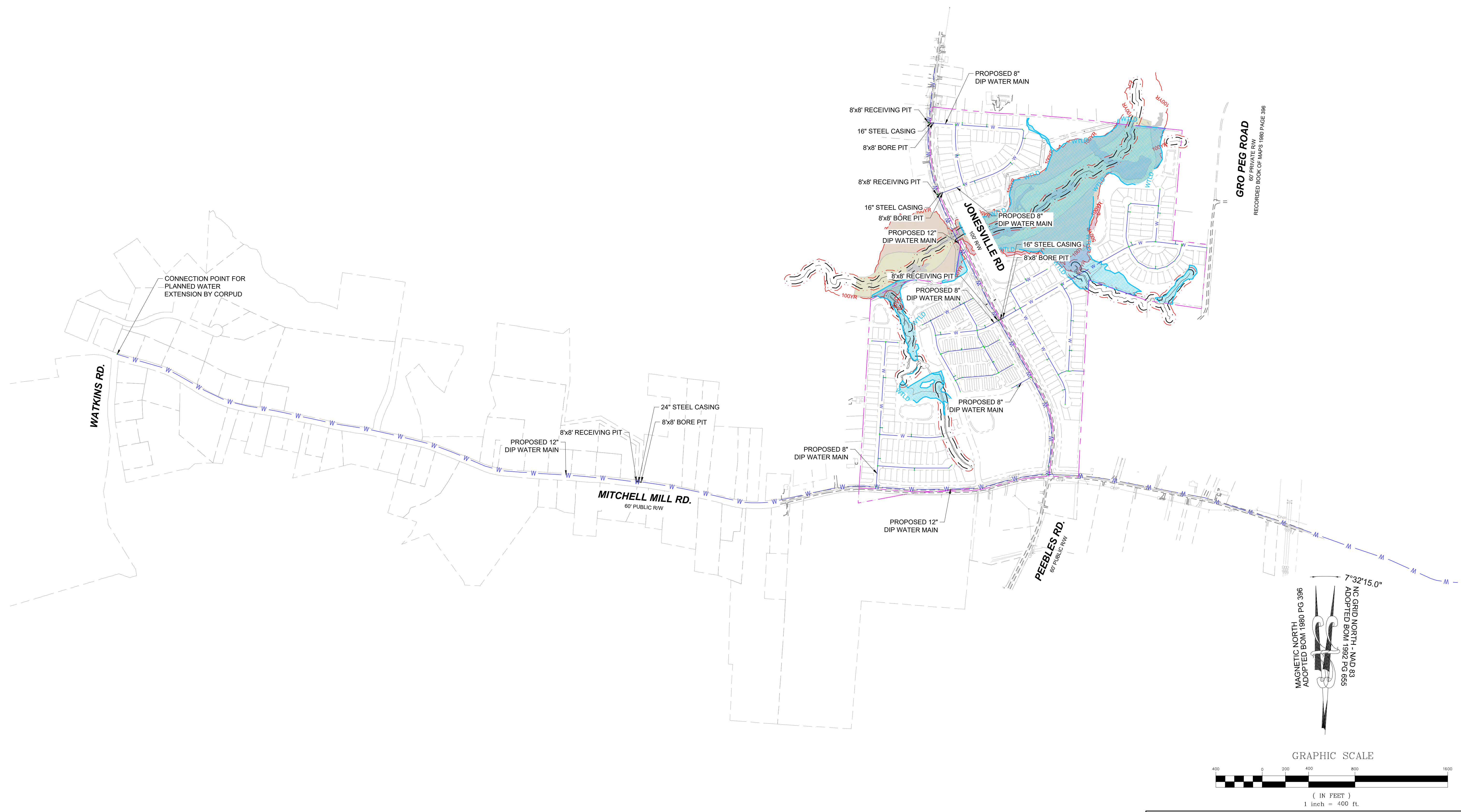
STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166  
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PSP-24-03	PSP-24-03
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SCALE AS SHOWN	SCALE AS SHOWN
DESIGNED BY JWL	DESIGNED BY JWL
DRAWN BY SRG	DRAWN BY SRG
CHECKED BY JWL	CHECKED BY JWL

**RESERVE @ MITCHELL MILL**  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
**PRELIMINARY SUBDIVISION PLAT**  
**OFF-SITE UTILITY PLAN**

**DRAWING SHEET**  
**C-6.11**

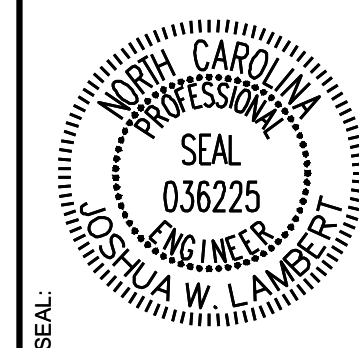
**40 OF 76**



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NO.	DATE	REVISIONS	BY
01	08/01/2023	PRELIMINARY SUBDIVISION PLAT P-24-03	
02	12/05/2023	TOWN OF ROLESVILLE COMMENTS P-24-03	
03	03/01/2024	TOWN OF ROLESVILLE COMMENTS P-24-03	



# STRONGROCK

ENGINEERING GROUP

STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166  
305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT P-24-03	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL
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RESERVE @ MITCHELL MILL  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
PRELIMINARY SUBDIVISION PLAT  
OVERALL GRADING AND DRAINAGE PLAN

DRAWING SHEET  
**C-7.0**

Existing vegetation, TPF, and CRZ are not depicted or labeled. Staff are unable to evaluate consistency between Grading Plan and Tree Preservation Plan.

SREG: Please see the existing conditions plan and tree protection plan, sheets C3.0 and C3.10

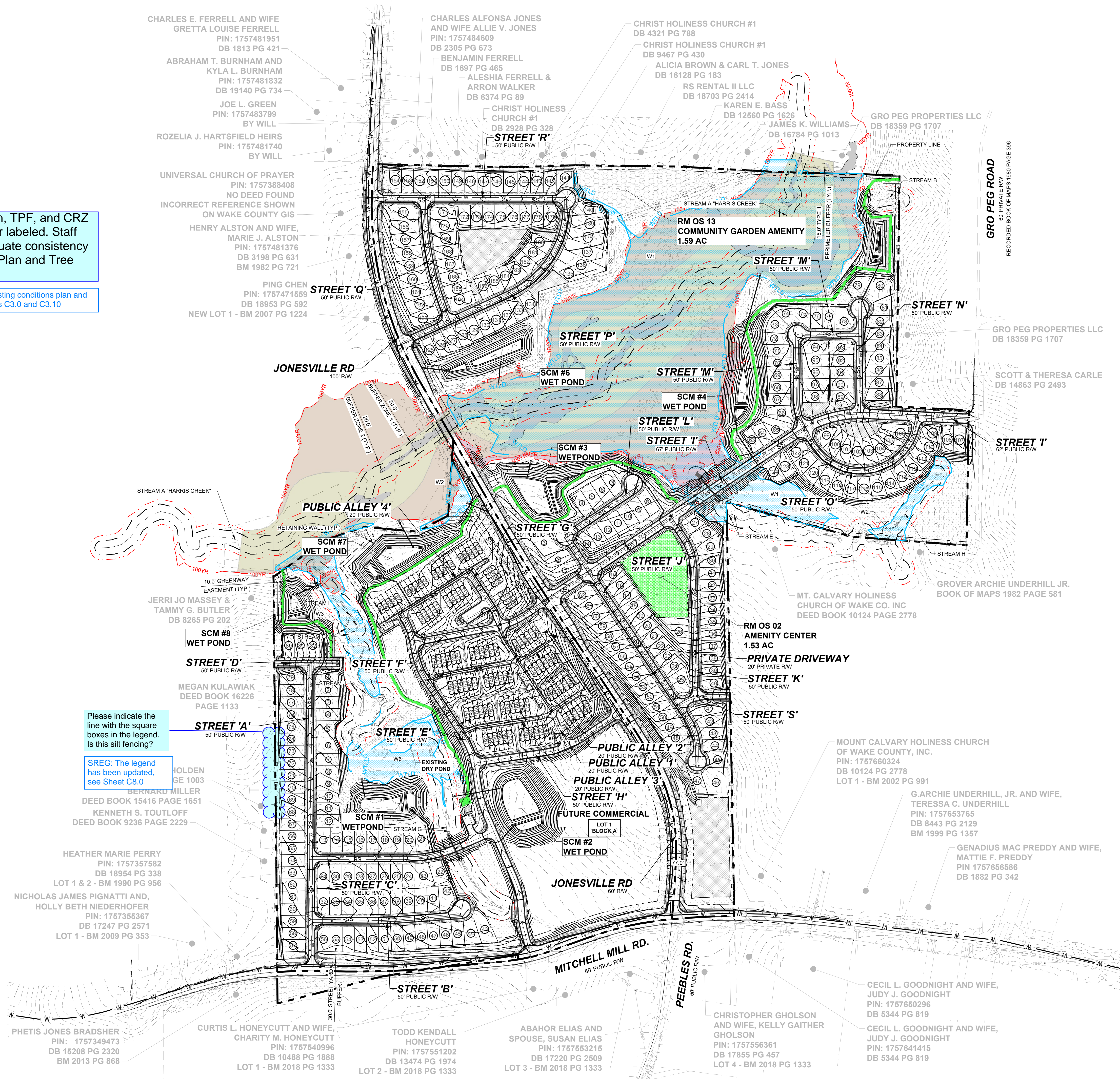
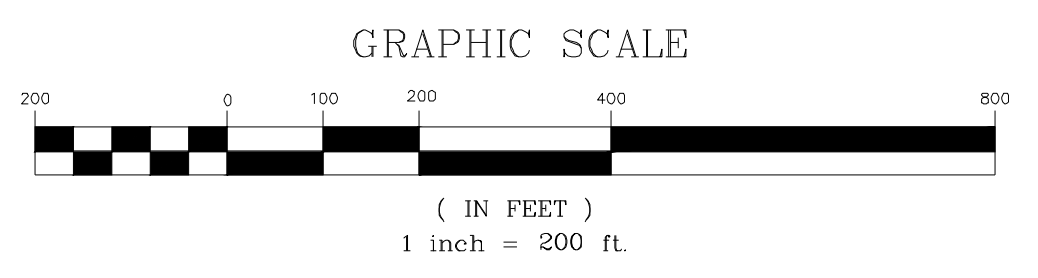
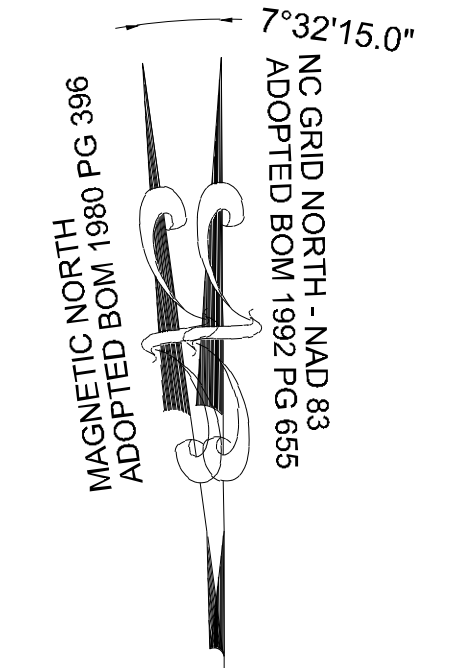
**TOWNHOME NOTES:**  
STATES INTERNAL TOWNHOME DRIVEWAYS ARE PRIVATE EASEMENTS AS PER CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT

**LEGEND:**

	STORM DRAIN LINE
	FLARED END SECTION
	CATCH BASIN
	STORM DRAIN MANHOLE
	EX. MAJOR CONTOURS
	EX. MINOR CONTOURS
	PROP. MAJOR CONTOURS
	PROP. MINOR CONTOURS

Please indicate the line with the square boxes in the legend. Is this silt fencing?

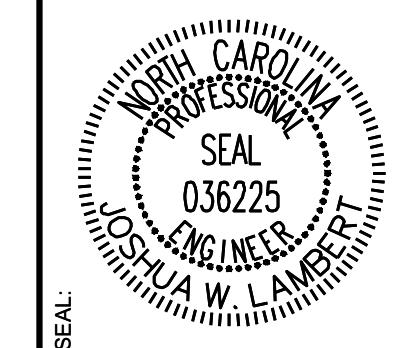
SREG: The legend has been updated, see Sheet C8.0



THIS PLANSET AND ANY ASSOCIATED DOCUMENTS ARE PRELIMINARY AND NOT AUTHORIZED FOR CONSTRUCTION UNTIL SIGNED, DATED, AND OFFICIALLY RELEASED FOR CONSTRUCTION BY THE ENGINEER OF RECORD.



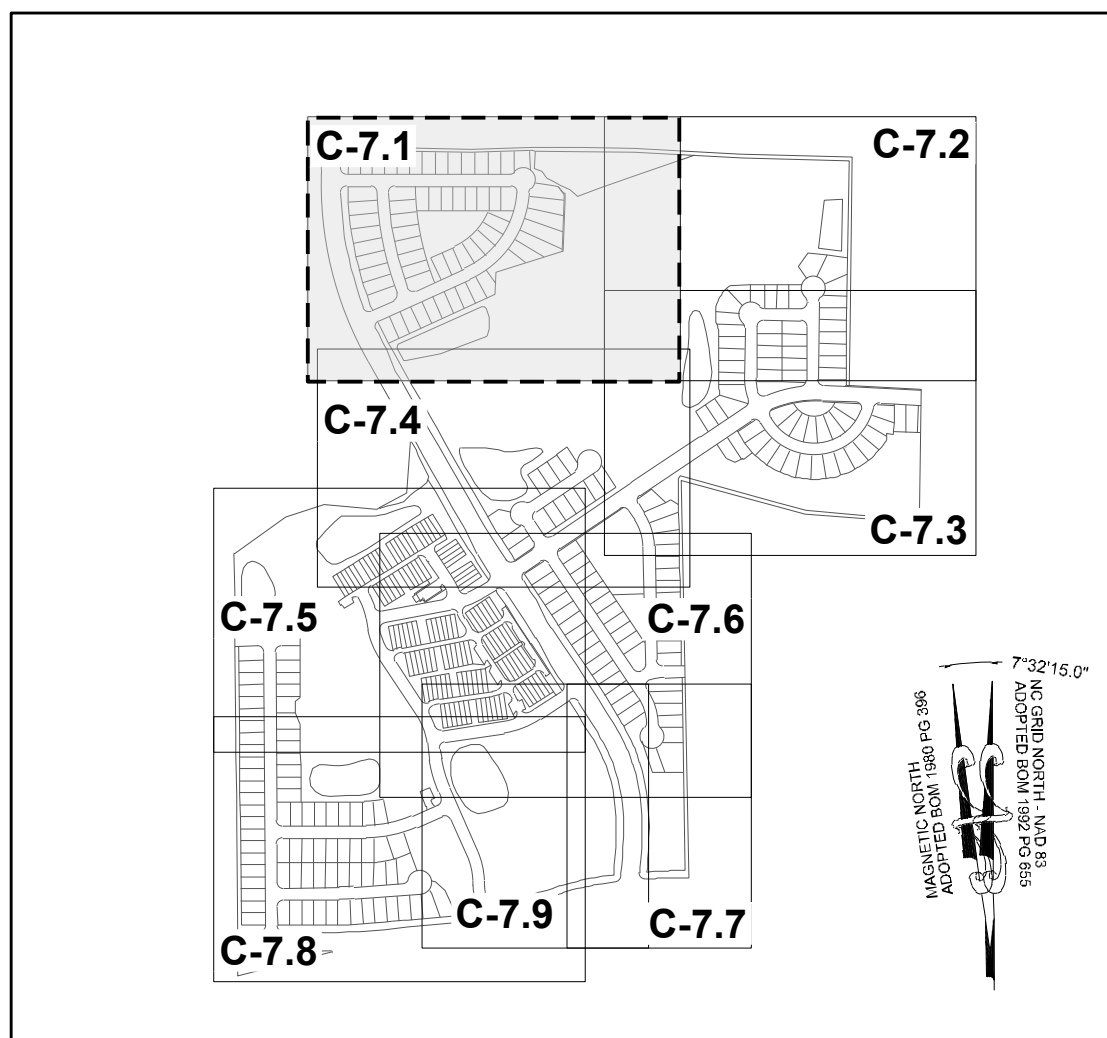
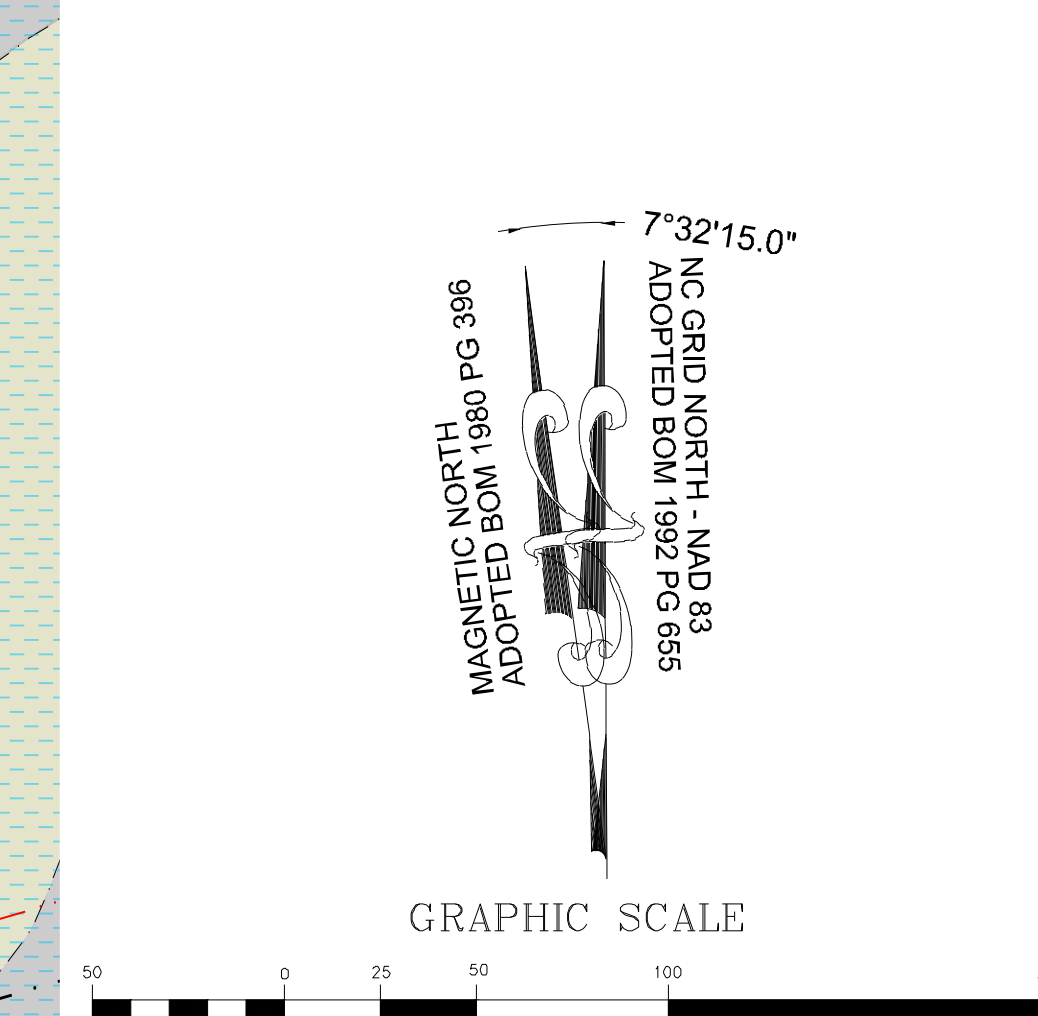
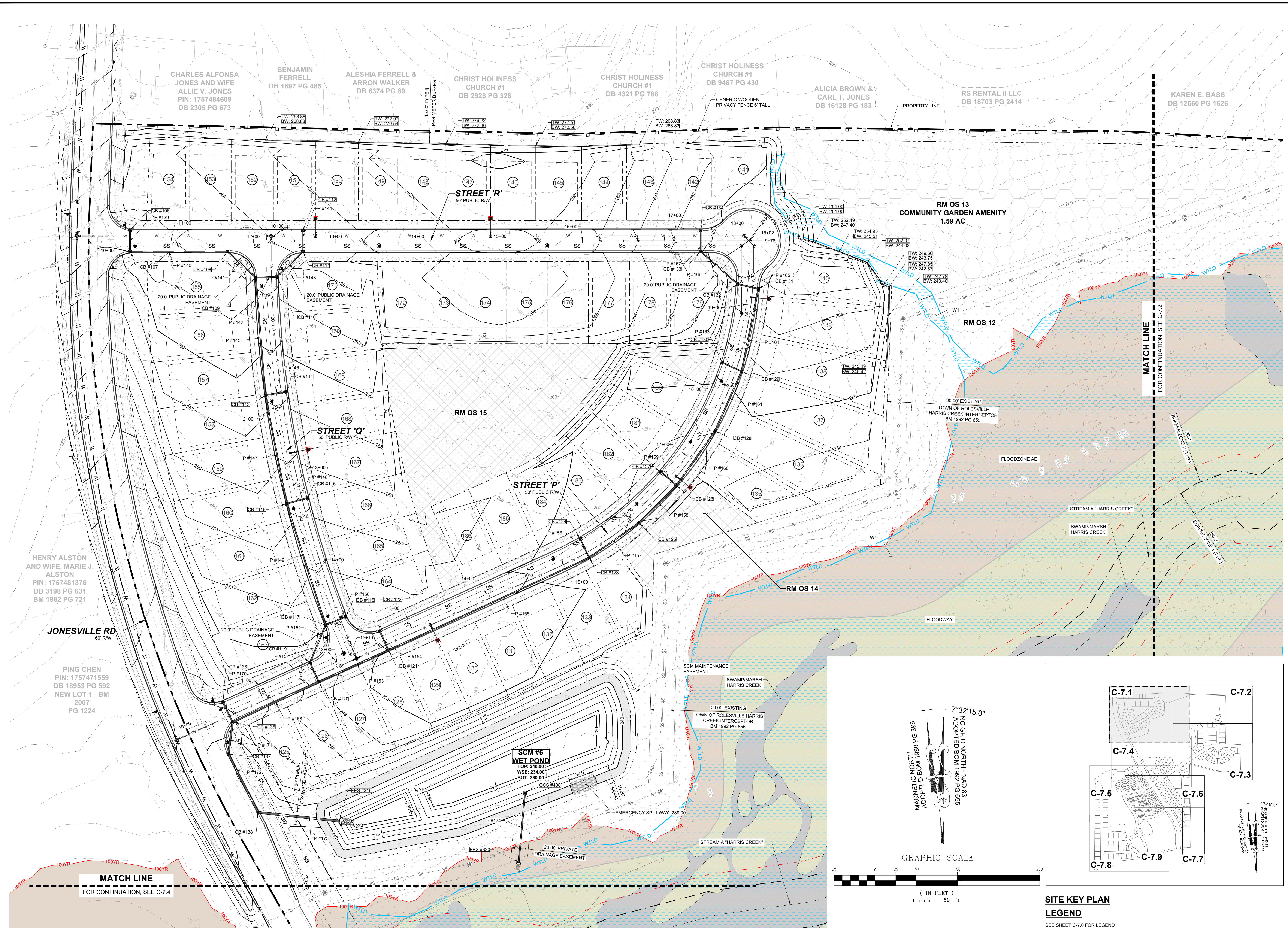
NO.	REVISIONS	DATE	BY
01	PRELIMINARY SUBDIVISION PLAT PSP-24-03	08/01/2023	SREG
02	TOWN OF ROLESVILLE COMMENTS PSP-24-03	12/05/2023	SREG
03	TOWN OF ROLESVILLE COMMENTS PSP-24-03	03/01/2024	SREG



**STRONGROCK**  
ENGINEERING GROUP

STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166  
305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	JWL	JWL
PSP-24-03	DESIGNED BY	SRG
NOT FOR CONSTRUCTION	DRAWN BY	JWL
SCALE AS SHOWN	CHECKED BY	JWL



**MATCH LINE**  
FOR CONTINUATION, SEE C-7.4

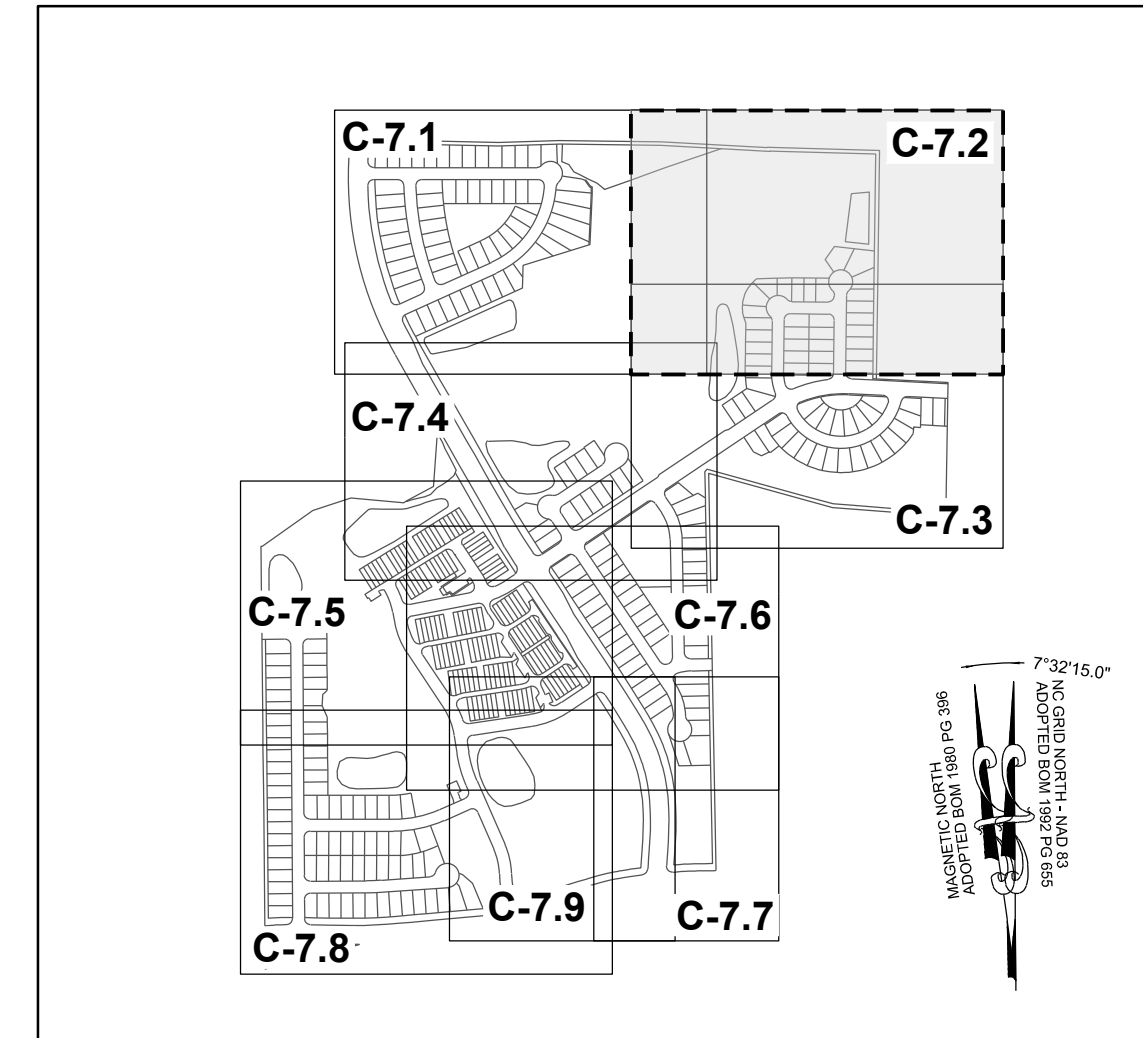
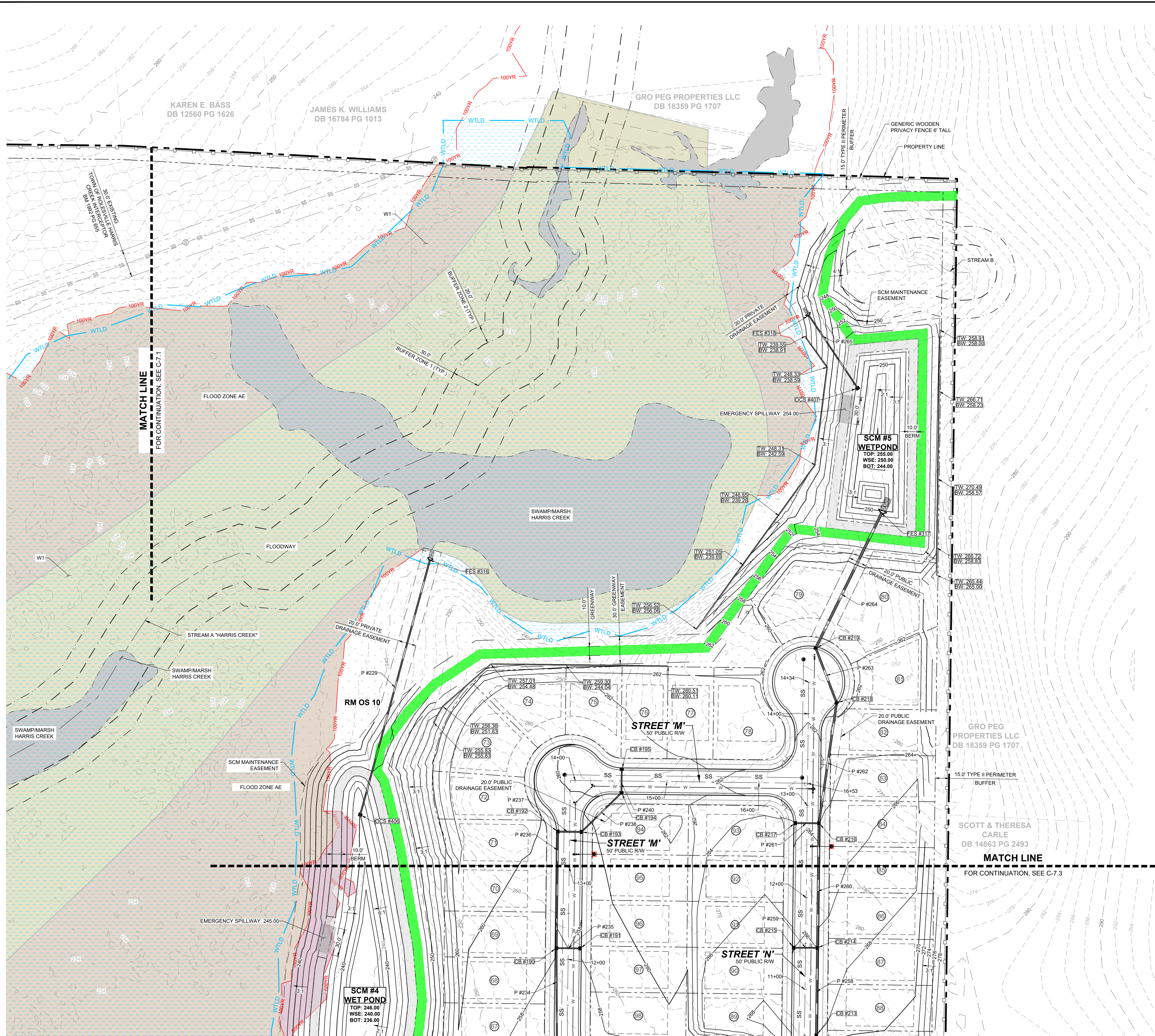
**MATCH LINE**  
FOR CONTINUATION, SEE C-7.2

RESERVE @ MITCHELL MILL  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
PRELIMINARY SUBDIVISION PLAT  
PARTIAL GRADING AND DRAINAGE PLAN I

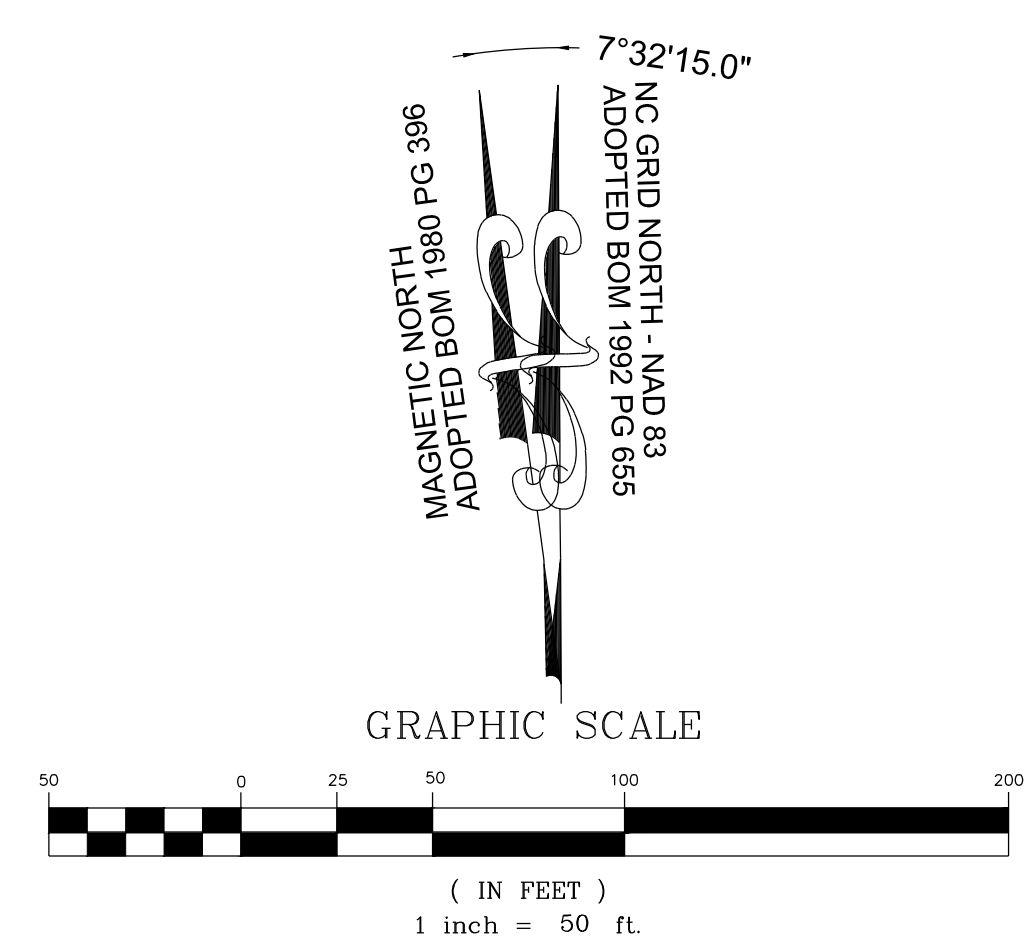
DRAWING SHEET  
**C-7.1**

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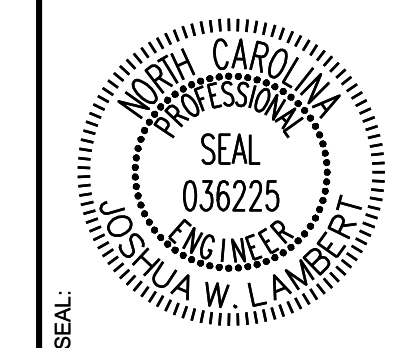




**SITE KEY PLAN**  
**LEGEND**  
 SEE SHEET C-7.0 FOR LEGEND



NO.	REVISIONS	DATE	BY
01			
02			
03			



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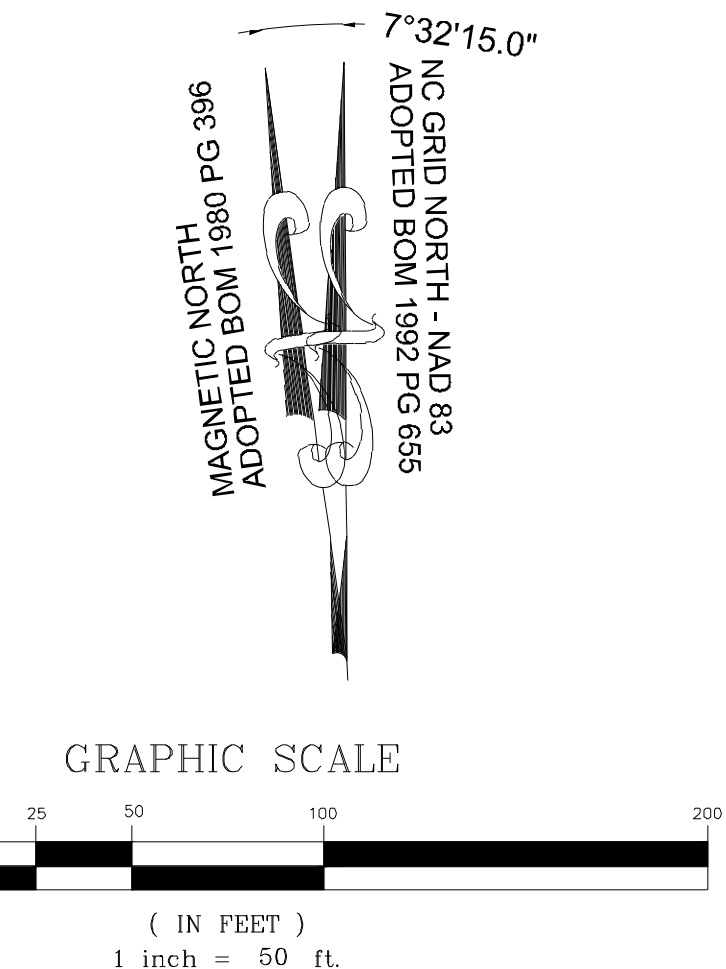
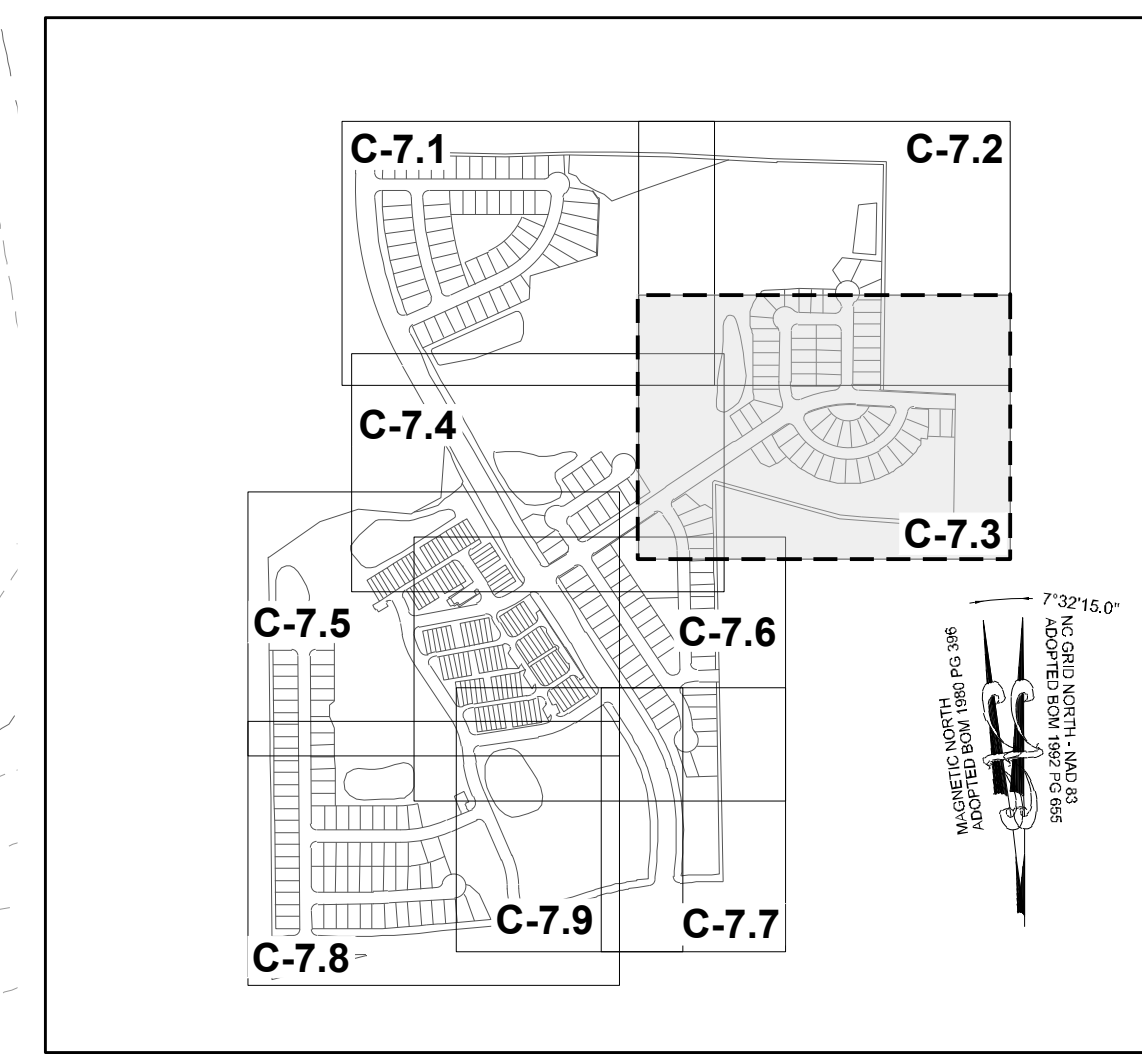
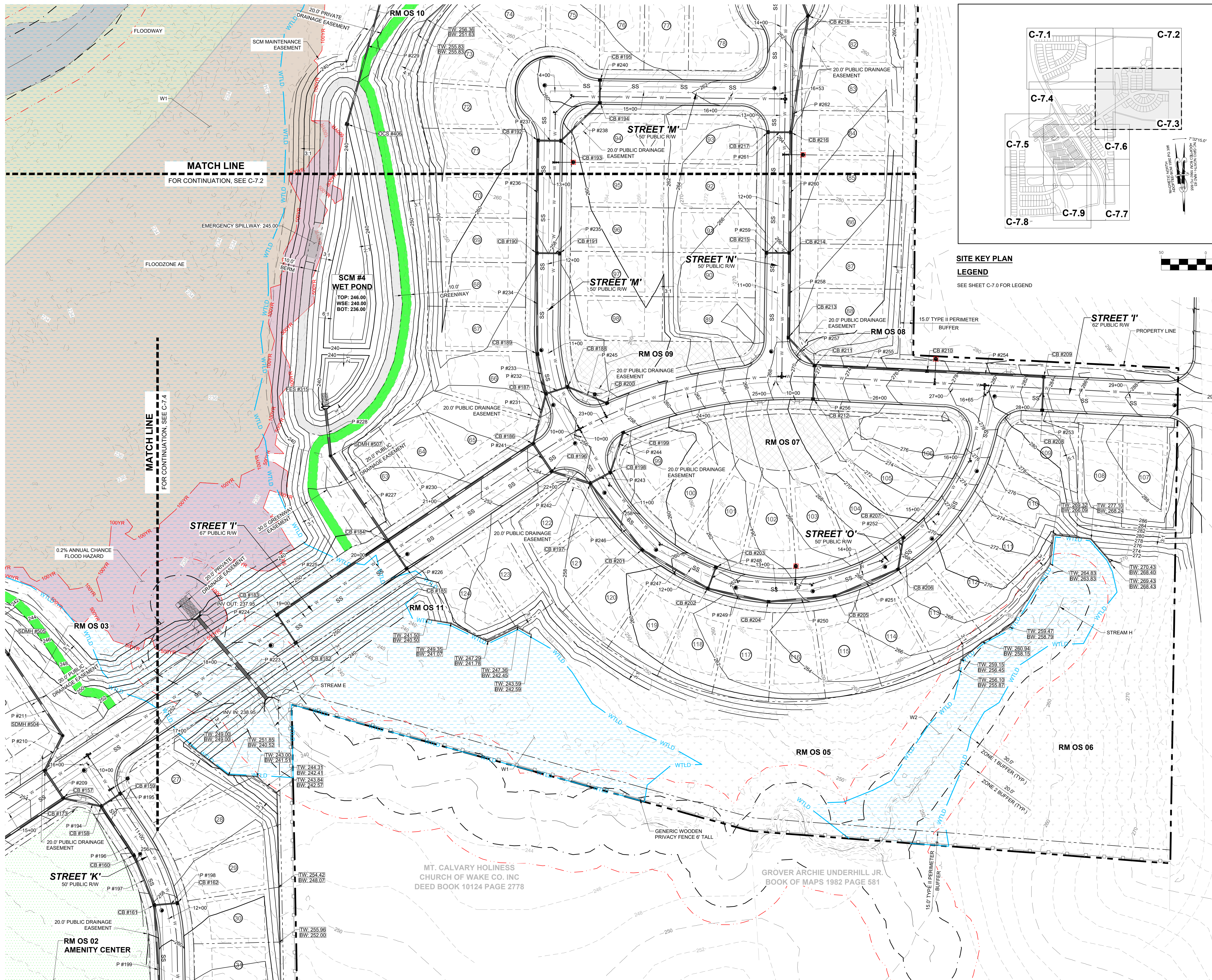
STRONG ROCK PROJECT	DESIGNED BY	DRAWN BY	CHECKED BY
PSP-24-03	JWL	SRG	JWL

RESERVE @ MITCHELL MILL  
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
 PRELIMINARY SUBDIVISION PLAT  
 PARTIAL GRADING AND DRAINAGE PLAN II

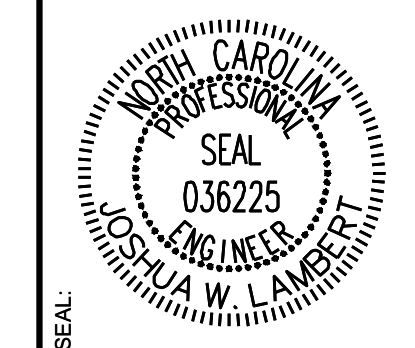
DRAWING SHEET  
**C-7.2**

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NO.	REVISIONS	DATE	BY
01	PRELIMINARY SUBDIVISION PLAT PSP-24-03	08/01/2023	SREG
02	TOWN OF ROLESVILLE COMMENTS PSP-24-03	12/05/2023	SREG
03	TOWN OF ROLESVILLE COMMENTS PSP-24-03	03/01/2024	SREG



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STRONG ROCK PROJECT	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
STRONG ROCK PROJECT PSP-24-03	AS SHOWN	JWL	SREG	JWL

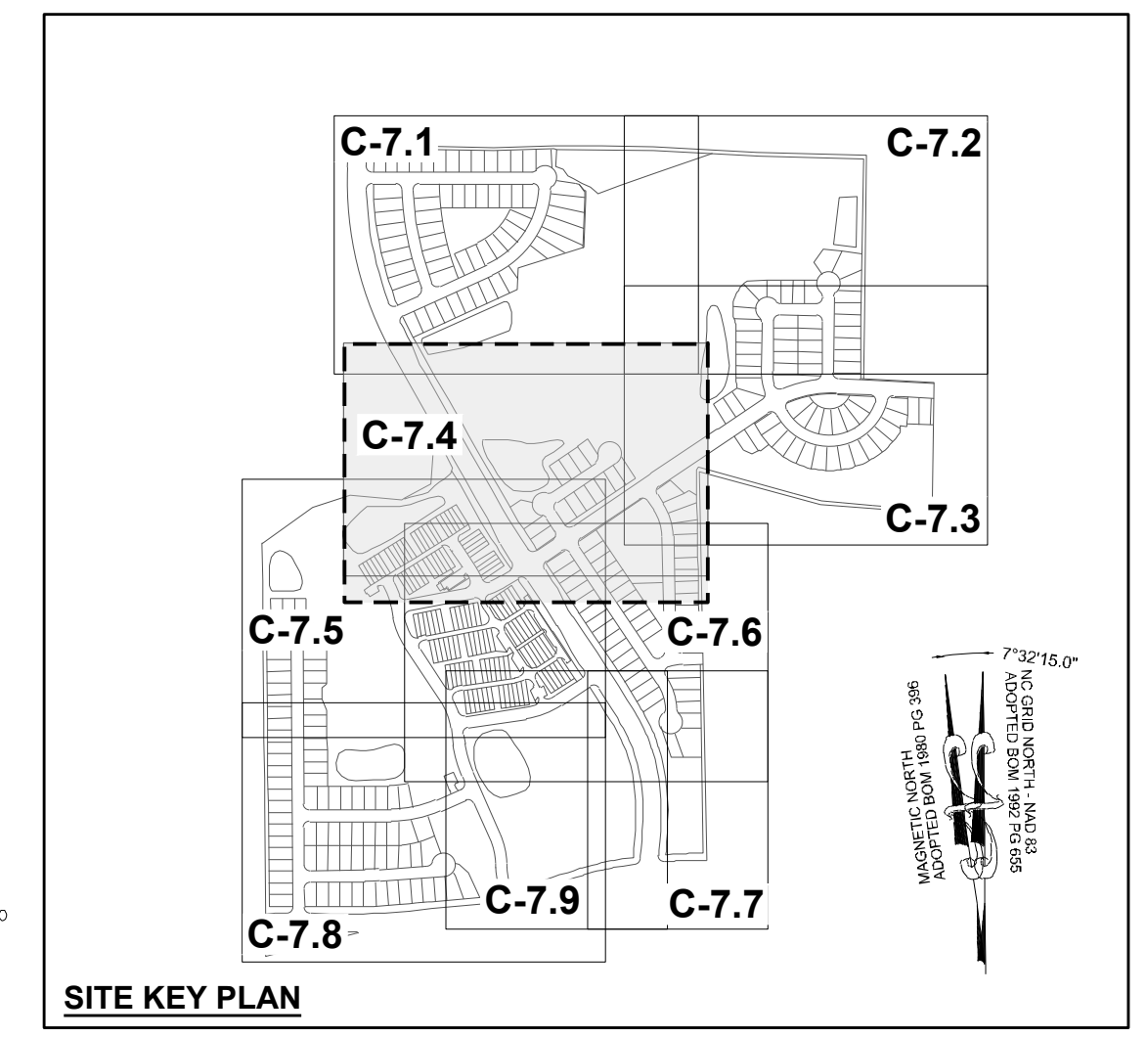
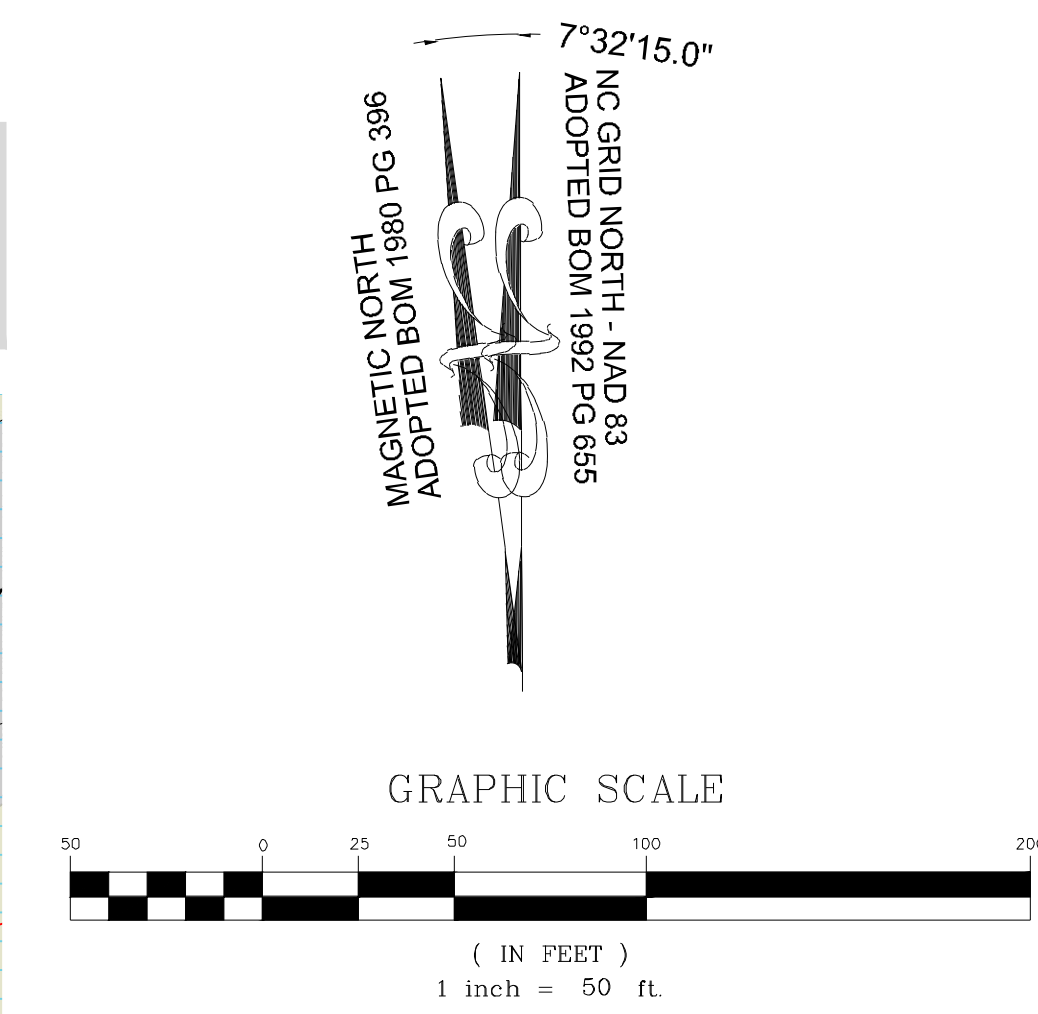
**RESERVE @ MITCHELL MILL**  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
**PRELIMINARY SUBDIVISION PLAT**  
**PARTIAL GRADING AND DRAINAGE PLAN III**

**DRAWING SHEET**  
**C-7.3**

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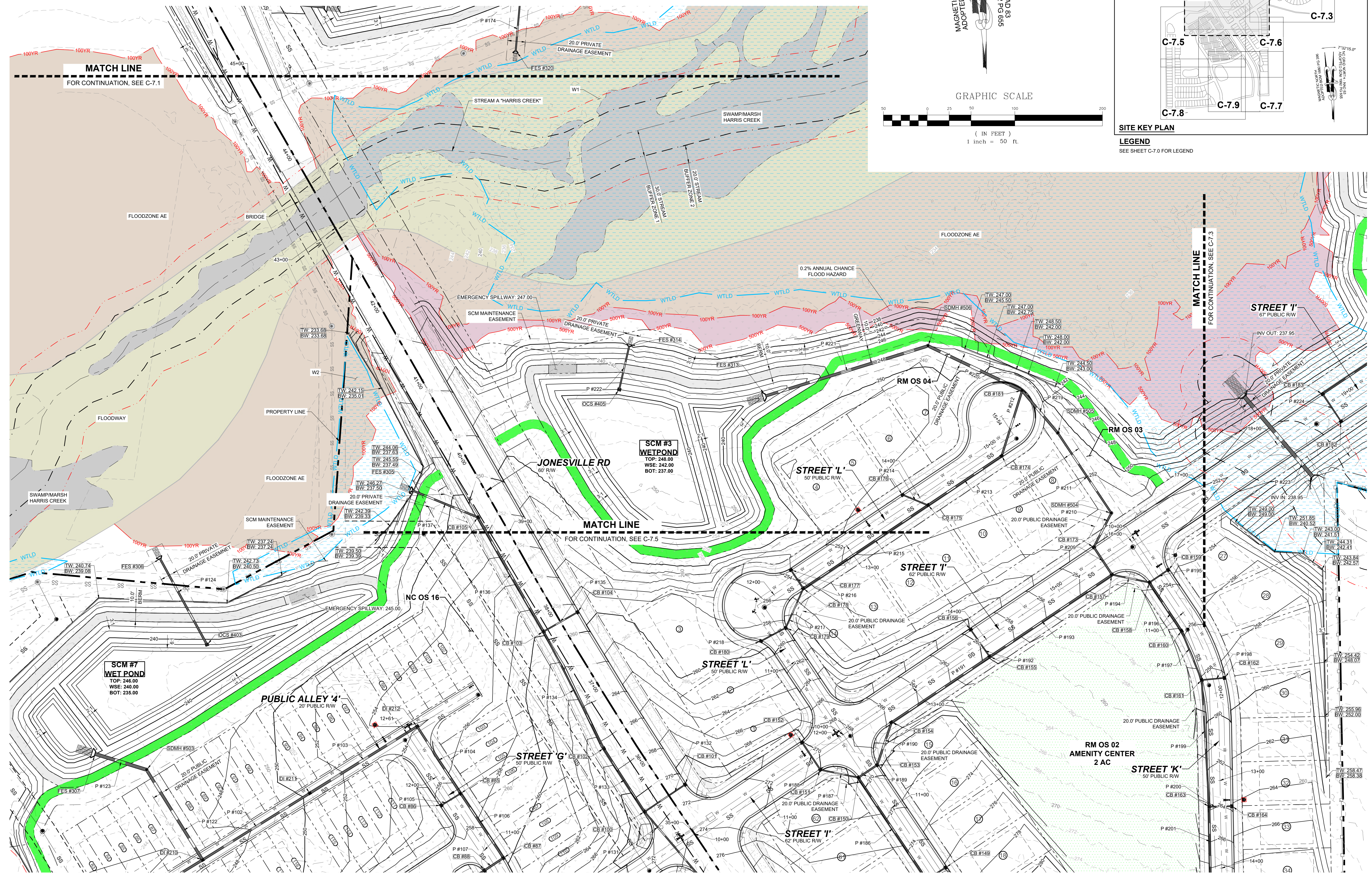


**TOWNHOME NOTES:**  
STATES INTERNAL TOWNHOME DRIVEWAYS ARE PRIVATE EASEMENTS AS PER CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT



NO.	DATE	REVISIONS	BY
01	08/01/2023	PRELIMINARY SUBDIVISION PLAT P-24-03	
02	12/05/2023	TOWN OF ROLESVILLE COMMENTS P-24-03	
03	03/01/2024	TOWN OF ROLESVILLE COMMENTS P-24-03	

SEAL: NORTH CAROLINA PROFESSIONAL ENGINEER 036225 JULIA W. LAMBERT



**SITE KEY PLAN**  
LEGEND  
SEE SHEET C-7.0 FOR LEGEND

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STRONG ROCK PROJECT	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
PSP-24-03	AS SHOWN	JWL	SRG	JWL

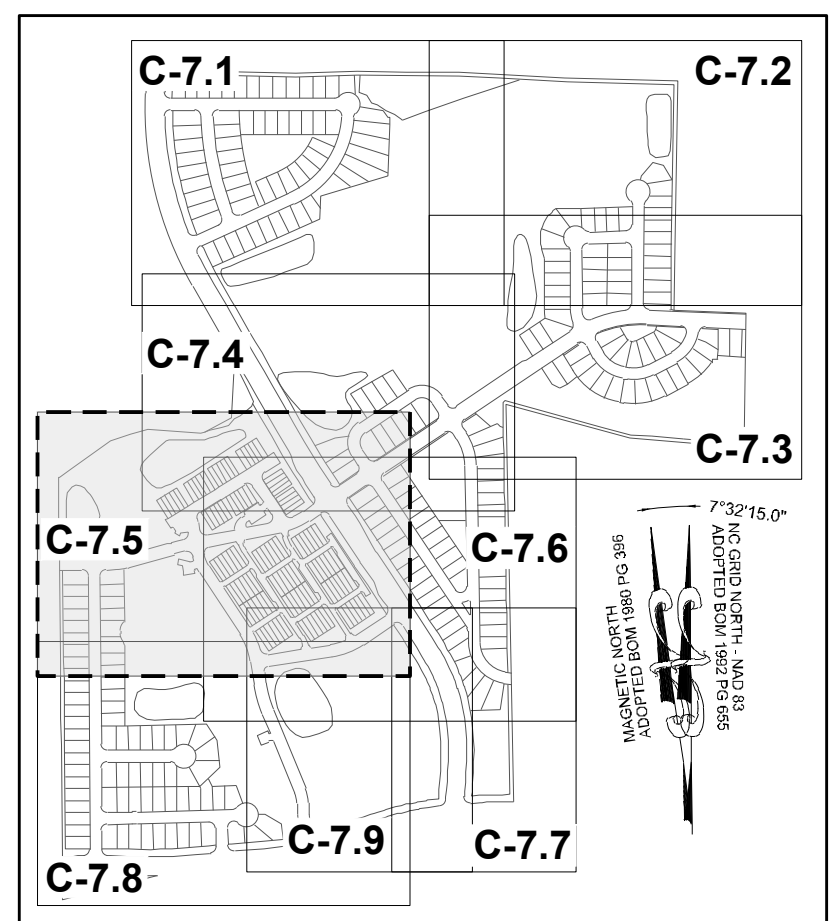
RESERVE @ MITCHELL MILL  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
PRELIMINARY SUBDIVISION PLAT  
PARTIAL GRADING AND DRAINAGE PLAN IV

DRAWING SHEET  
**C-7.4**

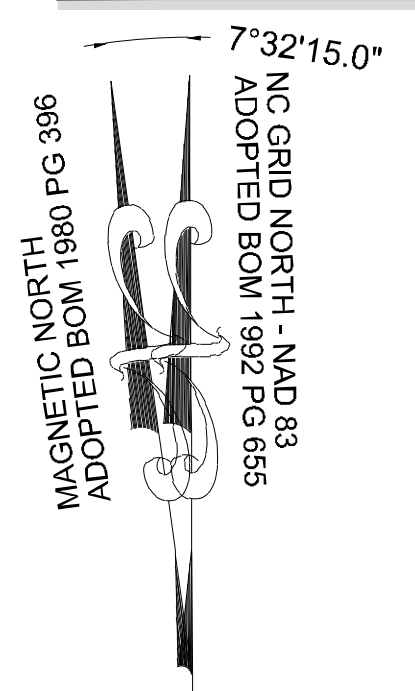
45 OF 76

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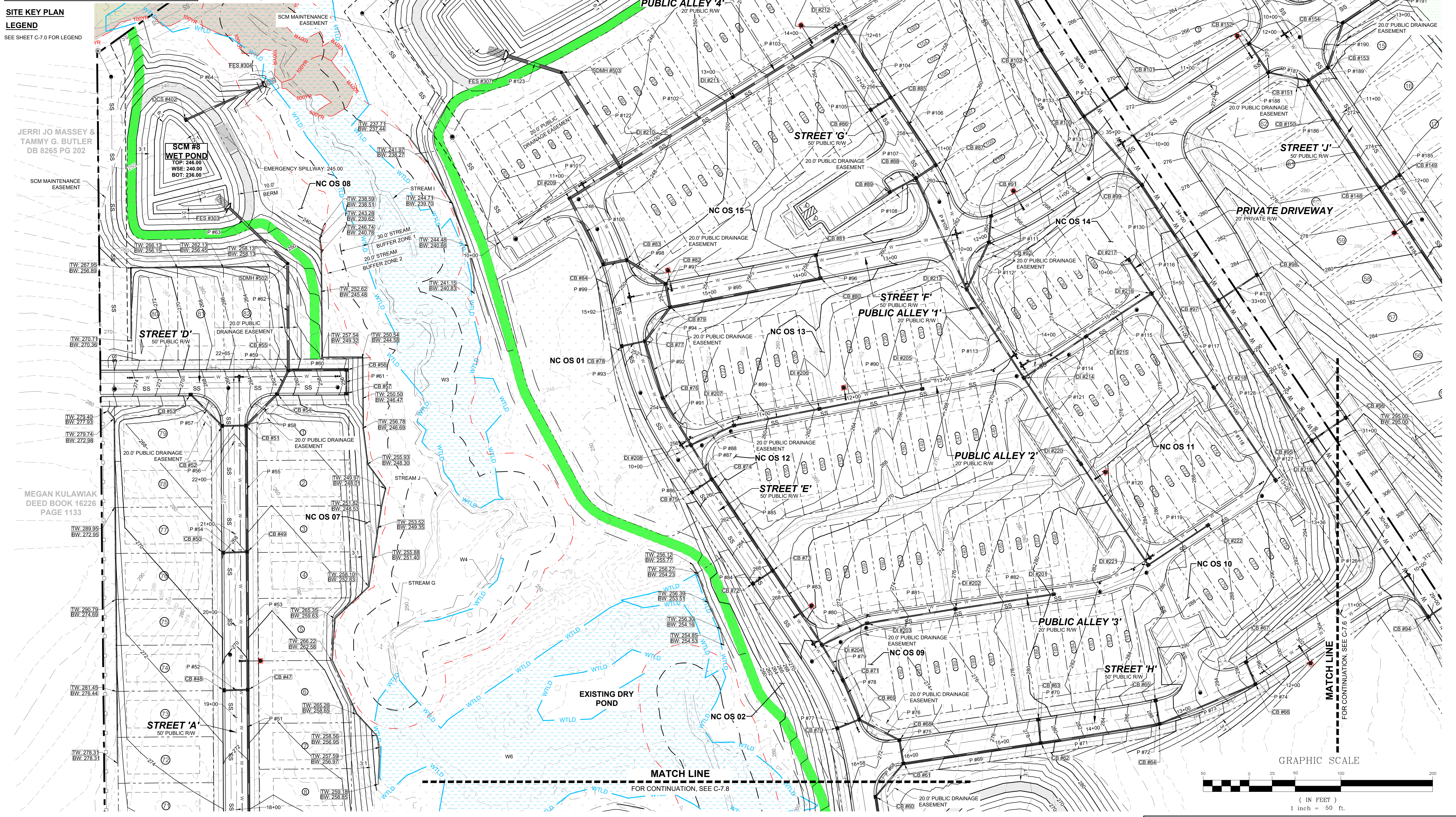




**TOWNHOMES NOTES:**  
STATES INTERNAL TOWNHOMES DRIVEWAYS ARE PRIVATE EASEMENTS AS PER CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT



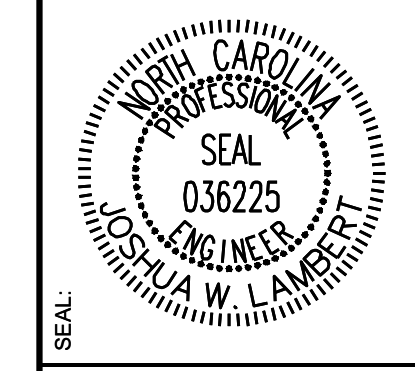
**SITE KEY PLAN**  
**LEGEND**  
SEE SHEET C-7.0 FOR LEGEND



JERRI JO MASSEY & TAMMY G. BUTLER  
DB 8265 PG 202

MEGAN KULAWIAK  
DEED BOOK 16226  
PAGE 1133

NO.	REVISIONS	DATE	BY
01	PRELIMINARY SUBDIVISION PLAT P-24-03	08/01/2023	
02	TOWN OF ROLESVILLE COMMENTS P-24-03	12/05/2023	
03	TOWN OF ROLESVILLE COMMENTS P-24-03	03/01/2024	



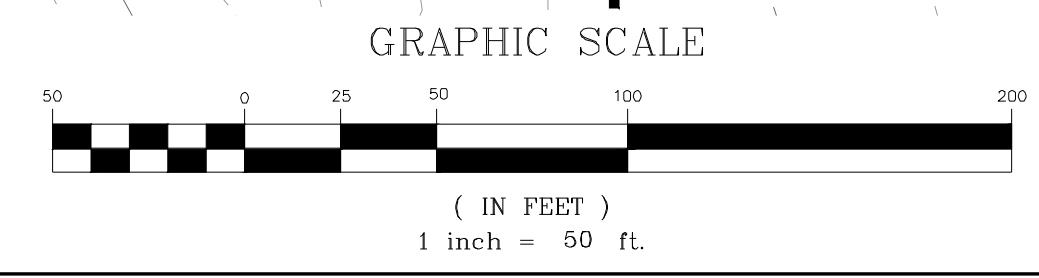
**STRONGROCK**  
ENGINEERING GROUP

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305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT P-24-03	FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL
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RESERVE @ MITCHELL MILL  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
PRELIMINARY SUBDIVISION PLAT  
PARTIAL GRADING AND DRAINAGE PLAN V

DRAWING SHEET  
**C-7.5**  
46 OF 76

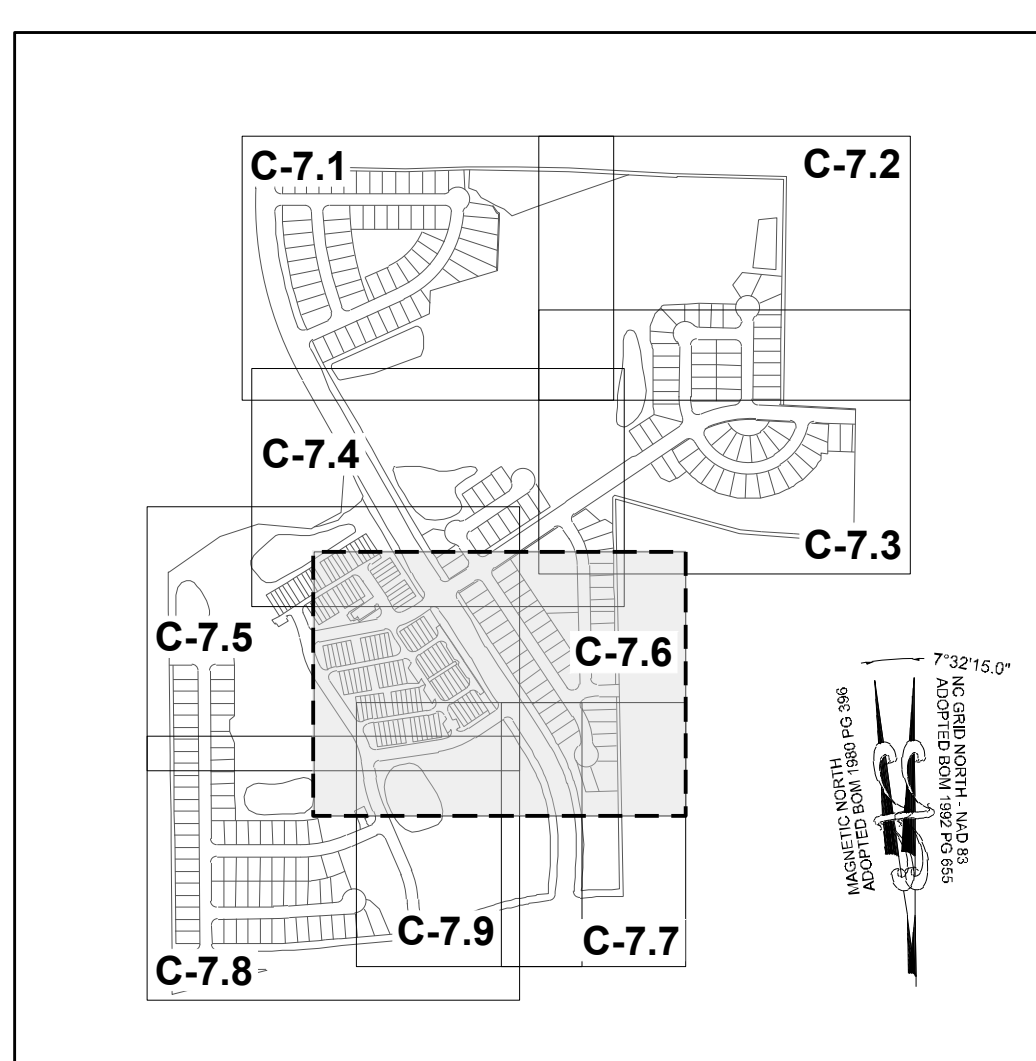


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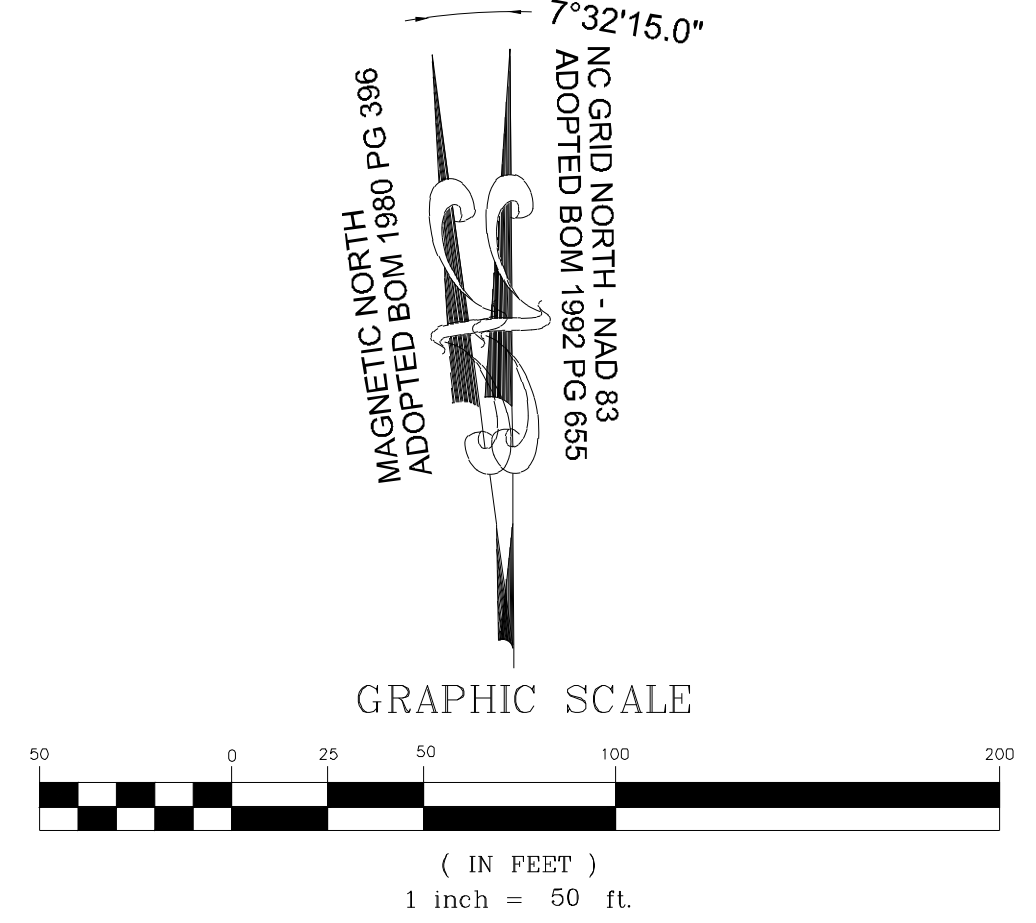




**TOWNHOME NOTES:**  
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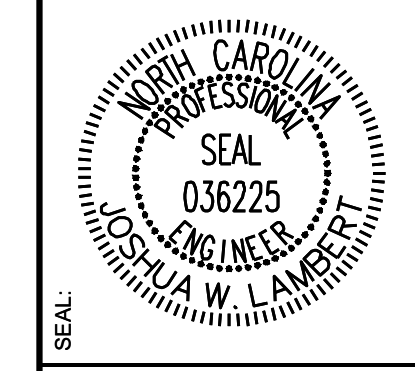


**SITE KEY PLAN**  
**LEGEND**  
 SEE SHEET C-7.0 FOR LEGEND



**MATCH LINE**  
 FOR CONTINUATION, SEE C-7.7

NO.	REVISIONS	DATE	BY
01	PRELIMINARY SUBDIVISION PLAT P-24-03	08/01/2023	SREG
02	TOWN OF ROLESVILLE COMMENTS P-24-03	12/05/2023	SREG
03	TOWN OF ROLESVILLE COMMENTS P-24-03	03/01/2024	SREG



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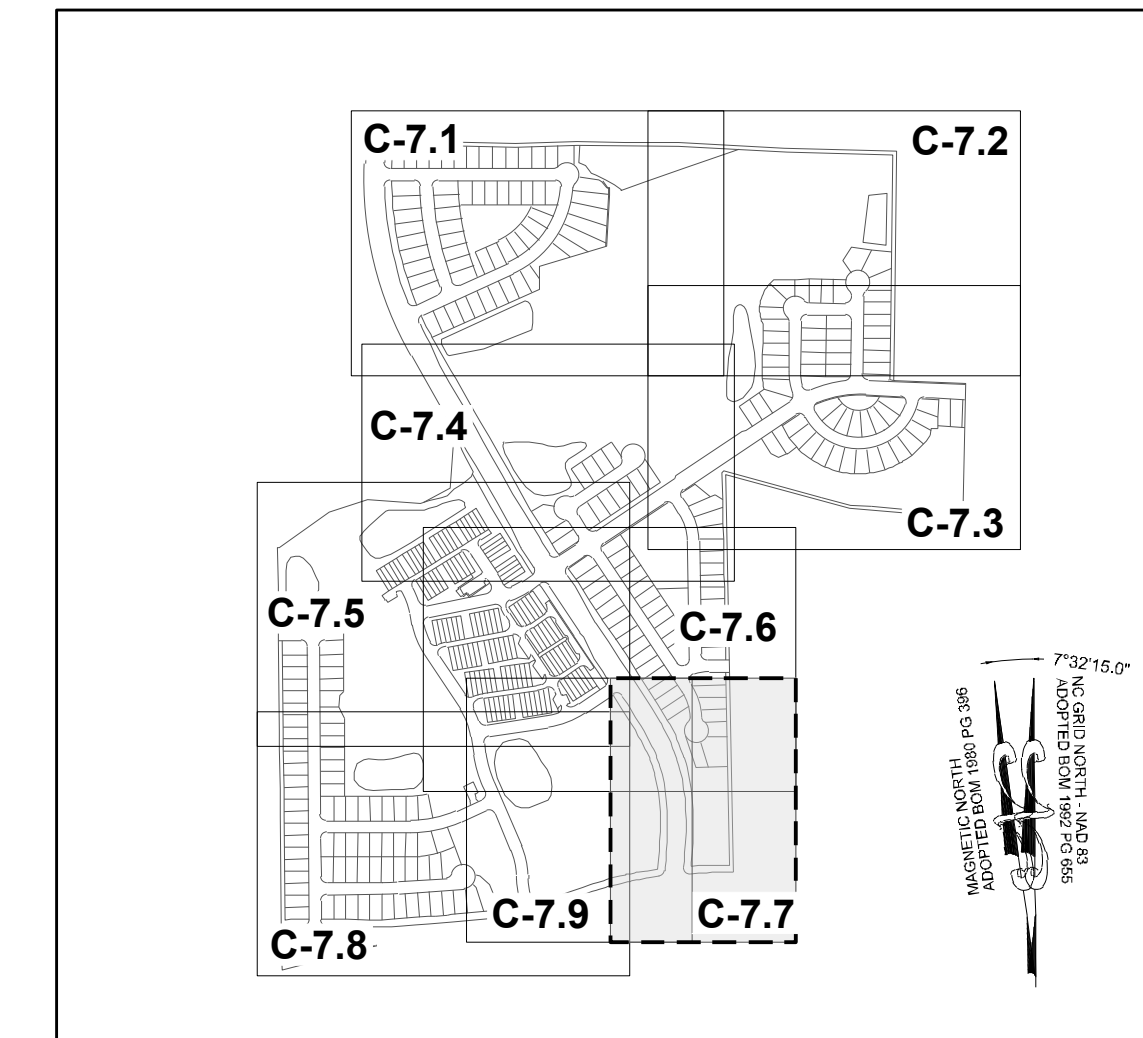
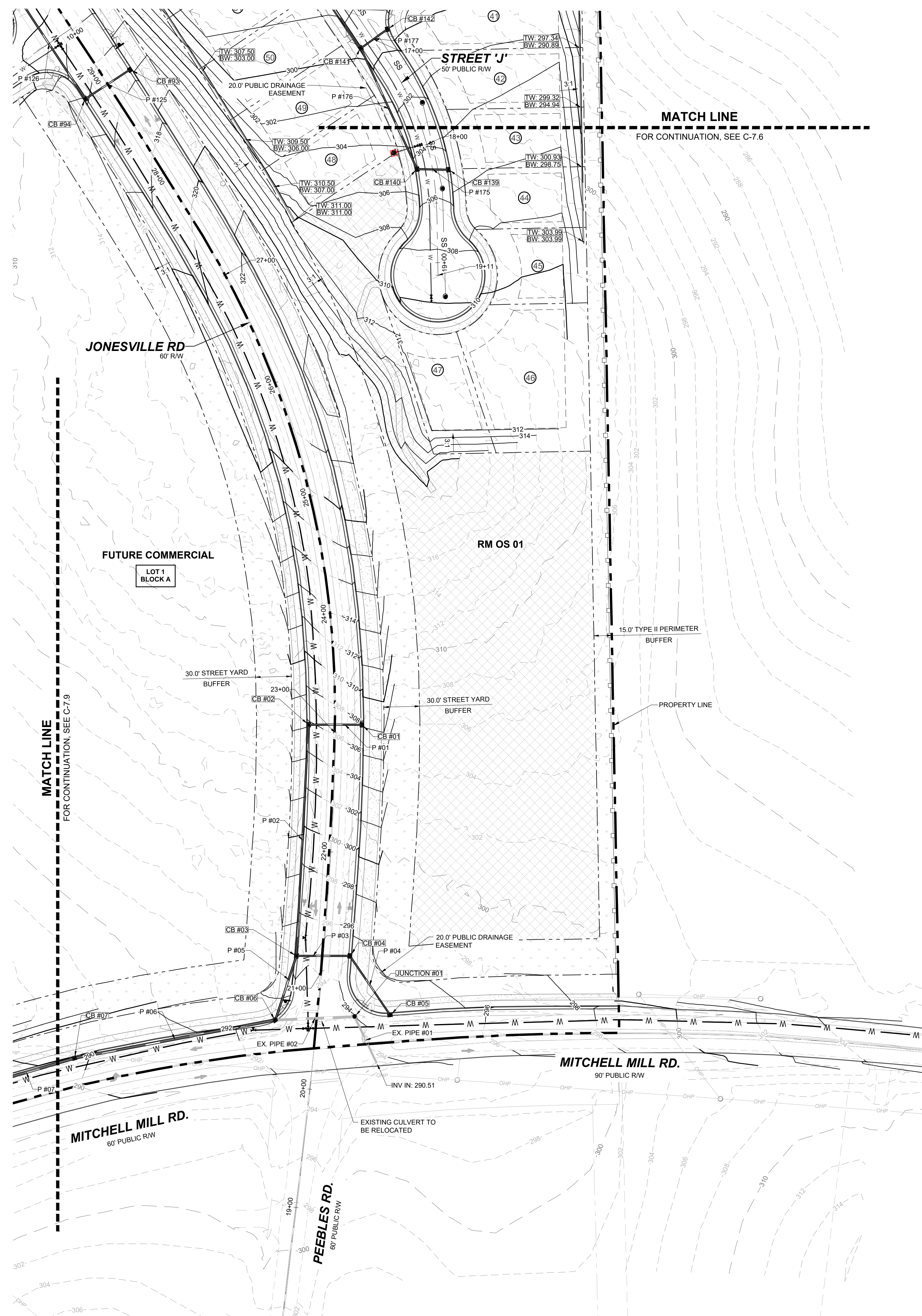
STRONG ROCK PROJECT P-24-03	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL
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**RESERVE @ MITCHELL MILL**  
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
 PRELIMINARY SUBDIVISION PLAT  
 PARTIAL GRADING AND DRAINAGE PLAN VI

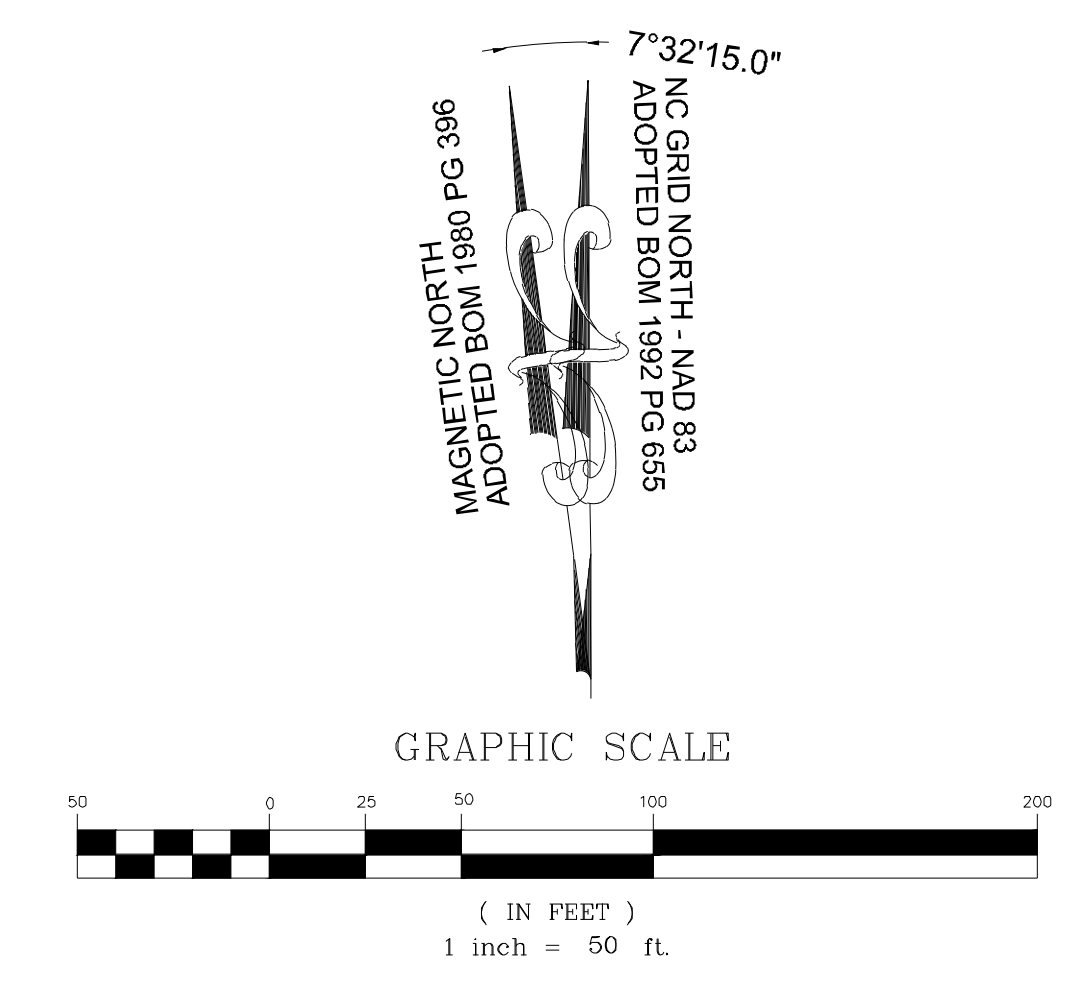
**DRAWING SHEET**  
**C-7.6**

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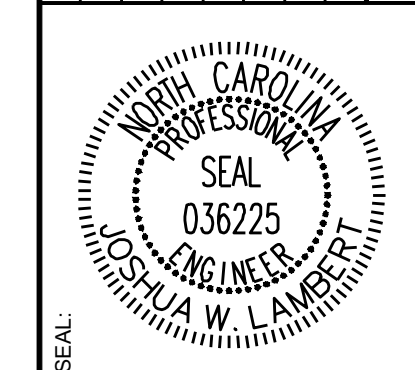




**SITE KEY PLAN**  
**LEGEND**  
 SEE SHEET C-7.9 FOR LEGEND



NO.	DATE	REVISIONS	BY
01	08/01/2023	PRELIMINARY SUBDIVISION PLAT P-24-03	JWL
02	12/05/2023	TOWN OF ROLESVILLE COMMENTS P-24-03	JWL
03	03/01/2024	TOWN OF ROLESVILLE COMMENTS P-24-03	JWL



**STRONGROCK**  
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 305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	STRONG ROCK PROJECT
PSP-24-03	PSP-24-03
NOT FOR CONSTRUCTION	NOT FOR CONSTRUCTION
SCALE AS SHOWN	SCALE AS SHOWN
DESIGNED BY JWL	DESIGNED BY JWL
DRAWN BY SRG	DRAWN BY SRG
CHECKED BY JWL	CHECKED BY JWL

**RESERVE @ MITCHELL MILL**  
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
**PRELIMINARY SUBDIVISION PLAT**  
**PARTIAL GRADING AND DRAINAGE PLAN VII**

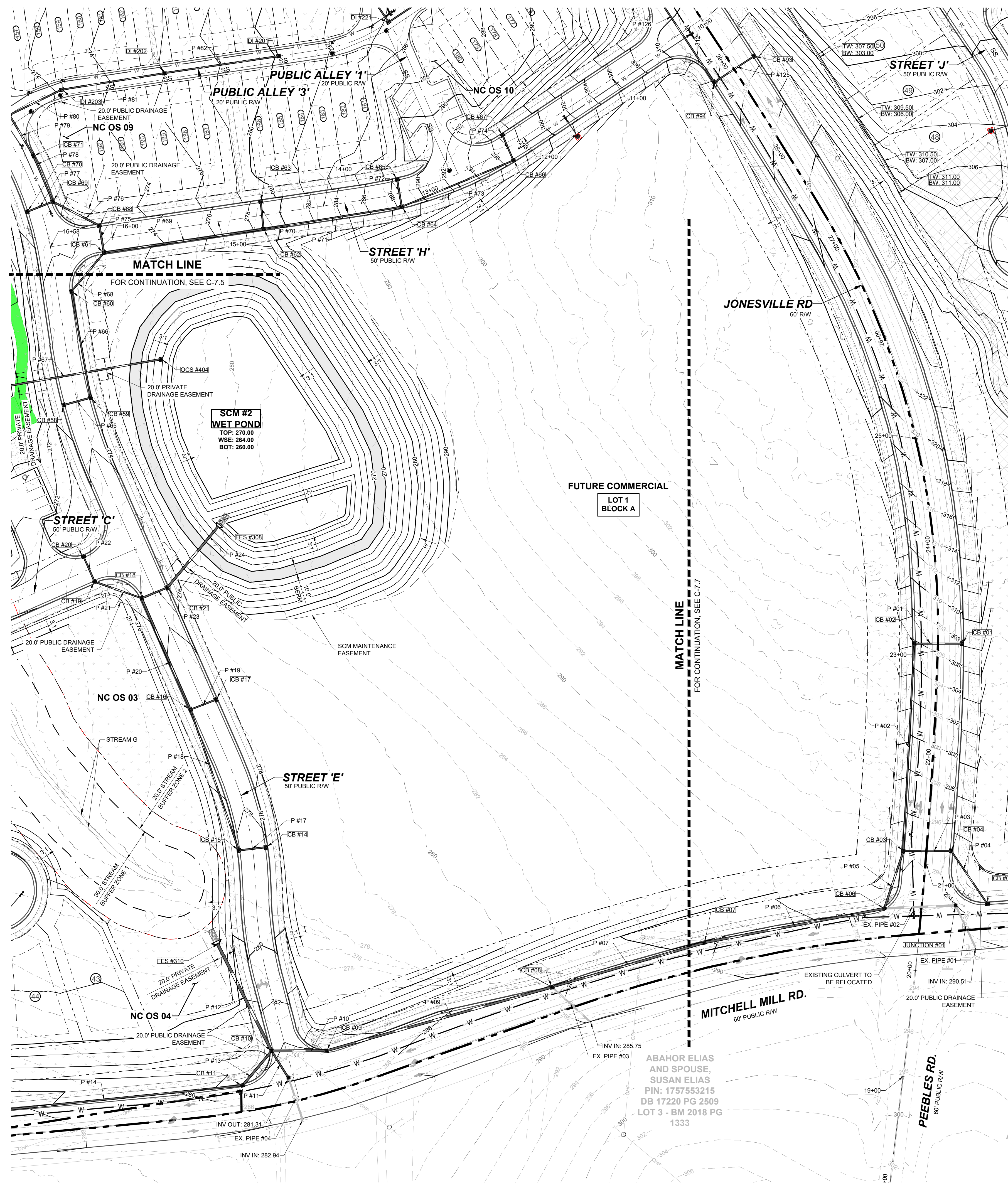
DRAWING SHEET  
**C-7.7**

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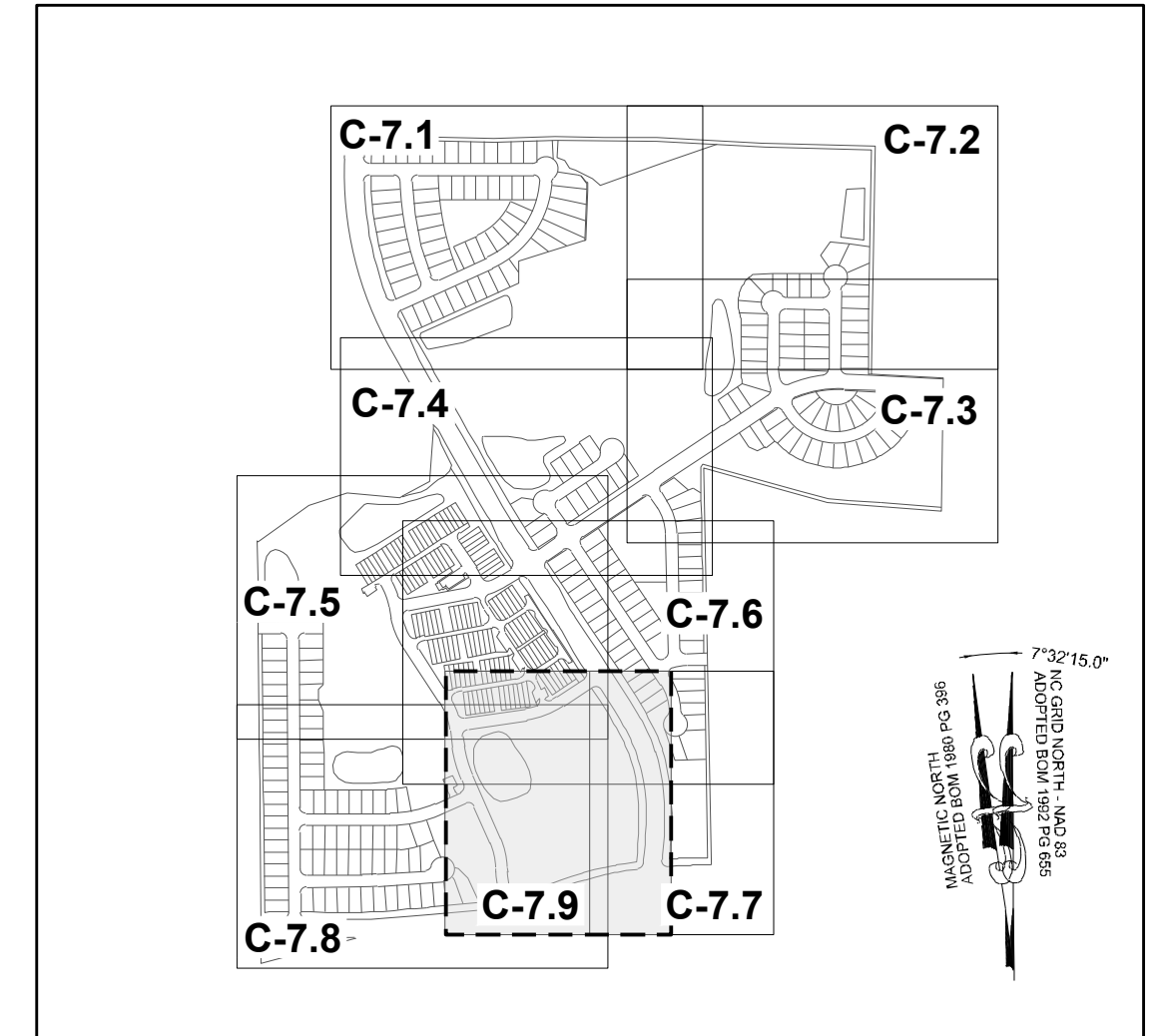




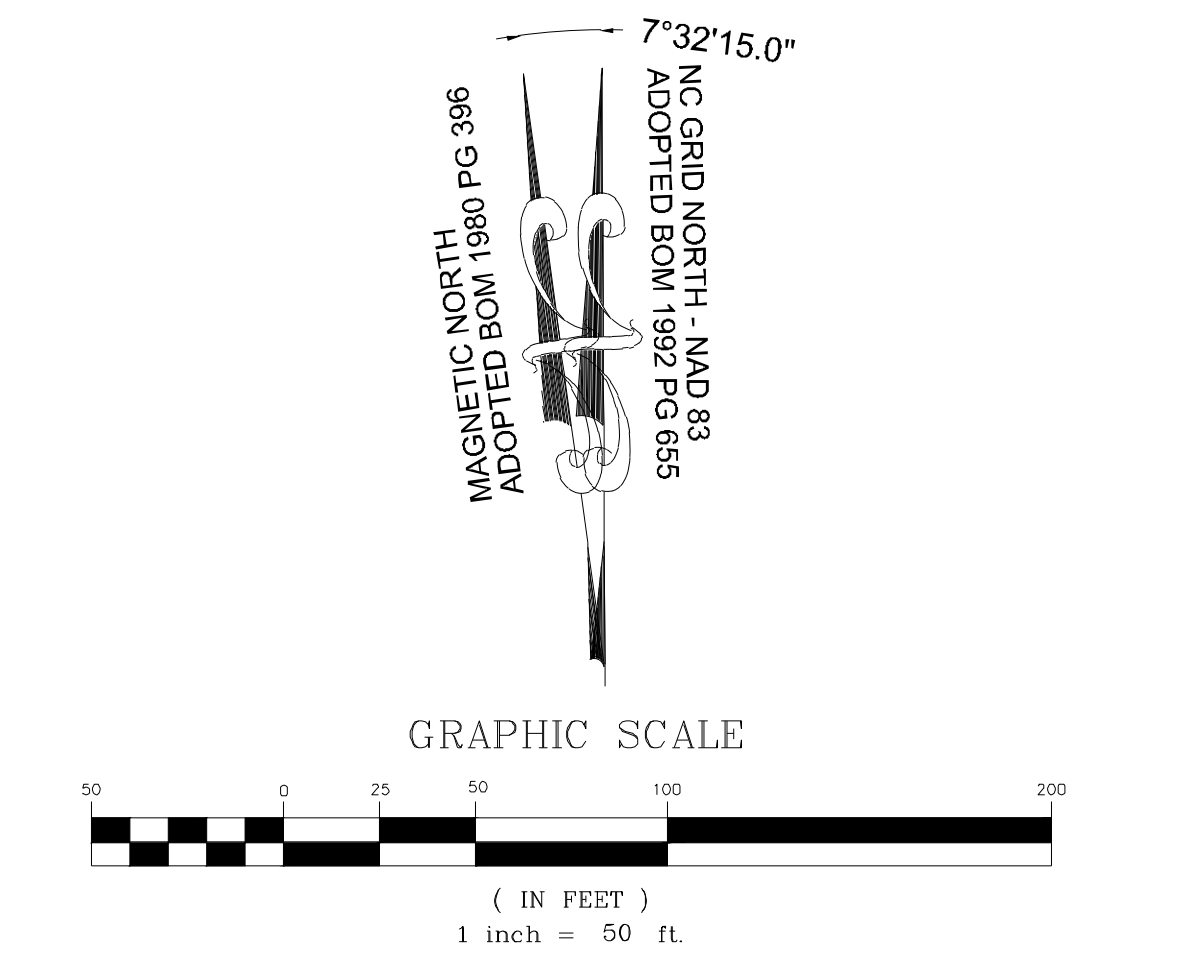




**TOWNHOME NOTES:**  
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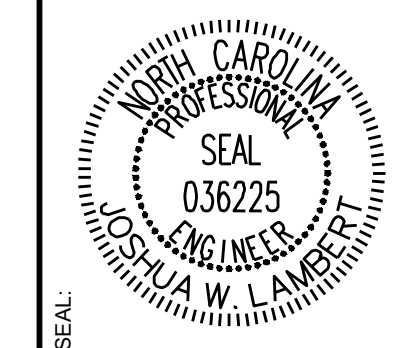


**SITE KEY PLAN**  
**LEGEND**  
 SEE SHEET C-7.0 FOR LEGEND



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NO.	REVISIONS	DATE	BY
01			
02			
03			



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STRONG ROCK PROJECT	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
PSP-25-03	AS SHOWN	JWL	SRG	JWL

RESERVE @ MITCHELL MILL  
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
 PRELIMINARY SUBDIVISION PLAT  
 PARTIAL GRADING AND  
 DRAINAGE PLAN IX

DRAWING SHEET  
**C-7.9**



PIPE TABLE						
PIPE NO	TYPE	SIZE	LF	INV. IN	INV. OUT	GRADE
EX. PIPE #01	RCP	18"	44	290.51	289.86	1.49%
EX. PIPE #02	RCP	24"	67	289.66	288.37	1.93%
EX. PIPE #03	RCP	18"	48	285.75	283.40	4.86%
EX. PIPE #04	RCP	18"	42	282.94	281.31	3.89%
EX. PIPE #05	RCP	18"	28	288.17	287.16	3.64%
P #03	RCP	15"	45	289.14	288.92	0.50%
P #05	RCP	18"	57	288.72	287.37	2.38%
P #06	RCP	24"	172	287.17	284.16	1.75%
P #07	RCP	24"	148	283.96	281.95	1.36%
P #09	RCP	24"	219	281.75	278.86	1.32%
P #10	RCP	24"	51	278.66	277.75	1.77%
P #11	RCP	18"	30	280.11	278.55	5.25%
P #12	RCP	30"	112	277.55	274.69	2.56%
P #14	RCP	18"	261	283.30	280.05	1.25%
P #15	RCP	18"	254	284.76	283.50	0.49%
P #16	RCP	18"	13	286.96	285.76	9.58%
P #17	RCP	15"	25	273.72	273.59	0.50%
P #18	RCP	15"	139	273.39	271.49	1.37%
P #19	RCP	15"	26	272.14	271.49	2.51%
P #20	RCP	18"	114	271.29	270.08	1.06%

PIPE TABLE						
PIPE NO	TYPE	SIZE	LF	INV. IN	INV. OUT	GRADE
P #23	RCP	18"	26	269.08	268.95	0.50%
P #24	RCP	24"	74	268.75	264.00	6.41%
P #25	RCP	15"	40	282.17	280.91	3.10%
P #26	RCP	15"	26	280.71	280.59	0.50%
P #27	RCP	15"	41	280.39	280.17	0.53%
P #28	RCP	15"	26	280.33	280.17	0.62%
P #29	RCP	18"	172	279.97	278.22	1.02%
P #30	RCP	15"	26	278.55	278.22	1.28%
P #31	RCP	18"	40	278.02	277.38	1.59%
P #32	RCP	24"	144	276.88	275.71	0.81%
P #33	RCP	15"	26	276.76	276.51	0.97%
P #34	RCP	24"	201	275.51	269.27	3.11%
P #35	RCP	15"	26	268.80	268.47	1.30%
P #36	RCP	24"	87	269.07	268.65	0.48%
P #38	RCP	24"	194	270.55	268.09	1.27%
P #39	RCP	18"	64	271.50	270.75	1.17%
P #41	RCP	18"	138	273.94	272.07	1.35%
P #42	RCP	15"	26	275.52	274.94	2.24%
P #43	RCP	15"	149	277.67	274.14	2.38%
P #44	RCP	15"	26	278.26	277.87	1.50%

PIPE TABLE						
PIPE NO	TYPE	SIZE	LF	INV. IN	INV. OUT	GRADE
P #45	RCP	24"	26	267.89	267.76	0.50%
P #46	RCP	24"	30	267.56	267.41	0.51%
P #48	RCP	30"	85	266.42	266.00	0.50%
P #49	RCP	24"	64	262.00	261.00	1.57%
P #50	RCP	15"	28	269.92	269.52	1.44%
P #51	RCP	15"	141	269.02	265.48	2.51%
P #52	RCP	15"	26	266.14	265.78	1.38%
P #53	RCP	18"	150	265.28	263.21	1.38%
P #54	RCP	15"	26	263.77	263.51	1.01%
P #55	RCP	18"	137	263.01	260.85	1.57%
P #56	RCP	15"	26	261.10	260.85	0.99%
P #57	RCP	15"	48	264.30	261.30	6.21%
P #58	RCP	24"	48	259.35	256.05	6.84%
P #59	RCP	24"	29	254.05	252.62	4.99%
P #62	RCP	30"	116	250.12	246.09	3.47%
P #63	RCP	30"	88	244.09	240.00	4.66%
P #64	RCP	24"	92	238.00	234.00	4.35%
P #65	RCP	15"	26	268.75	268.62	0.50%
P #67	RCP	18"	185	263.23	262.30	0.50%
P #69	RCP	15"	151	273.78	266.56	4.79%

PIPE TABLE						
PIPE NO	TYPE	SIZE	LF	INV. IN	INV. OUT	GRADE
P #147	RCP	18"	134	252.82	249.64	2.37%
P #148	RCP	15"	26	249.98	249.64	1.33%
P #149	RCP	18"	155	248.64	245.10	2.28%
P #151	RCP	18"	49	244.90	241.83	6.22%
P #152	RCP	18"	26	241.63	239.90	6.71%
P #153	RCP	18"	93	238.06	237.60	0.50%
P #154	RCP	15"	26	242.36	240.56	7.00%
P #155	RCP	18"	269	239.61	238.26	0.50%
P #156	RCP	15"	26	243.45	242.11	5.18%
P #157	RCP	18"	74	240.18	239.81	0.50%
P #158	RCP	18"	65	240.70	240.38	0.50%
P #159	RCP	15"	26	241.29	240.90	1.53%
P #160	RCP	18"	81	242.46	240.90	1.93%
P #161	RCP	18"	80	245.76	242.66	3.90%
P #163	RCP	15"	26	246.36	245.96	1.55%
P #164	RCP	18"	103	250.23	245.96	4.16%
P #165	RCP	18"	26	250.58	250.43	0.59%
P #168	RCP	24"	116	237.40	236.53	0.75%
P #170	RCP	18"	27	237.59	237.33	0.94%
P #171	RCP	24"	39	236.33	235.31	2.61%

PIPE TABLE						
PIPE NO	TYPE	SIZE	LF	INV. IN	INV. OUT	GRADE
P #172	RCP	24"	79	235.11	234.76	0.44%
P #173	RCP	30"	99	234.56	234.00	0.57%
P #174	RCP	18"	84	233.00	231.64	1.62%
P #177	RCP	15"	28	294.81	294.67	0.50%
P #179	RCP	15"	99	289.36	285.44	3.95%
P #181	RCP	18"	150	285.24	277.40	5.22%
P #183	RCP	15"	26	278.53	278.40	0.50%
P #184	RCP	18"	150	277.20	271.22	4.00%
P #185	RCP	15"	26	271.53	271.22	1.20%
P #186	RCP	18"	140	271.02	264.50	4.65%
P #187	RCP	15"	44	264.89	264.50	0.89%
P #188	RCP	18"	38	265.28	265.09	0.50%
P #189	RCP	24"	26	264.08	263.96	0.50%
P #190	RCP	24"	51	263.75	260.29	6.75%
P #191	RCP	24"	135	260.09	253.59	4.82%
P #192	RCP	15"	38	255.05	254.39	1.75%
P #193	RCP	24"	168	253.39	247.45	3.53%
P #194	RCP	18"	44	247.67	247.45	0.50%
P #195	RCP	15"	26	248.54	248.17	1.46%
P #196	RCP	18"	66	249.87	247.87	3.02%

PIPE TABLE						
PIPE NO	TYPE	SIZE	LF	INV. IN	INV. OUT	GRADE
P #197	RCP	18"	61	251.99	250.07	3.16%
P #198	RCP	15"	26	254.16	252.99	4.48%
P #199	RCP	18"	145	257.98	252.99	3.44%
P #200	RCP	15"	26	259.41	258.18	4.77%
P #201	RCP	18"	200	272.64	258.18	7.23%
P #202	RCP	15"	26	273.90	273.44	1.81%
P #208	RCP	18"	42	284.49	281.52	7.00%
P #209	RCP	24"	38	247.25	247.04	0.57%
P #210	RCP	24"	44	245.84	245.62	0.50%
P #211	RCP	24"	110	245.42	244.48	0.86%
P #212	RCP	24"	78	244.35	243.96	0.50%
P #213	RCP	24"	101	246.03	244.55	1.46%
P #214	RCP	15"	31	247.18	246.23	3.04%
P #215	RCP	18"	171	252.78	246.23	3.83%
P #216	RCP	15"	26	253.10	252.98	0.50%
P #217	RCP	15"	49	255.59	252.98	5.30%
P #218	RCP	15"	32	257.51	255.79	5.38%
P #219	RCP	30"	63	244.28	243.96	0.50%
P #220	RCP	36"	119	243.76	243.17	0.50%
P #221	RCP	36"	193	242.97	242.00	0.50%

PIPE TABLE						
PIPE NO	TYPE	SIZE	LF	INV. IN	INV. OUT	GRADE
P #70	RCP	15"	26	274.14	273.98	0.60%
P #75	RCP	18"	26	266.06	265.93	0.50%
P #76	RCP	18"	49	265.73	265.49	0.50%
P #77	RCP	15"	26	266.29	265.49	3.10%
P #78	RCP	18"	46	265.29	265.06	0.50%
P #83	RCP	18"	97	263.06	261.66	1.44%
P #84	RCP	15"	25	261.91	261.66	1.00%
P #85	RCP	18"	119	261.46	252.57	7.45%
P #86	RCP	15"	27	254.46	254.07	1.41%
P #87	RCP	18"	44	251.57	250.49	2.48%
P #88	RCP	15"	52	254.00	251.49	4.86%
P #89	RCP	15"	95	257.58	254.20	3.57%
P #92	RCP	24"	65	248.25	246.23	3.13%
P #93	RCP	15"	26	247.43	247.13	1.17%
P #94	RCP	24"	46	246.03	245.80	0.50%
P #95	RCP	18"	167	253.31	246.10	4.33%
P #96	RCP	15"	26	253.64	253.51	0.50%
P #97	RCP	30"	26	245.60	245.47	0.50%
P #98	RCP	30"	50	245.27	243.57	3.43%
P #100	RCP	30"	81	243.04	241.88	1.43%

PIPE TABLE						
PIPE NO	TYPE	SIZE	LF	INV. IN	INV. OUT	GRADE
P #101	RCP	30"	65	241.68	241.31	0.59%
P #102	RCP	30"	144	242.85	241.65	0.83%
P #103	RCP	30"	144	248.68	243.05	3.91%
P #104	RCP	24"	91	250.40	248.88	1.66%
P #105	RCP	15"	26	251.98	251.80	0.69%
P #106	RCP	24"	88	251.33	250.89	0.50%
P #107	RCP	24"	26	252.47	251.53	3.58%
P #109	RCP	18"	133	257.09	254.67	1.83%
P #111	RCP	18"	29	259.57	258.98	2.07%
P #112	RCP	18"	56	258.78	258.50	0.50%
P #113	RCP	18"	115	266.55	259.86	5.83%
P #114	RCP	15"	81	269.50	266.75	3.38%
P #115	RCP	15"	85	270.95	269.70	1.47%
P #117	RCP	15"	123	276.93	271.95	4.06%
P #119	RCP	15"	78	282.83	279.81	3.87%
P #120	RCP	15"	132	279.61	272.88	5.09%
P #121	RCP	15"	112	272.68	266.75	5.28%
P #122	RCP	36"	121	241.11	240.51	0.50%
P #123	RCP	42"	61	240.31	240.00	0.50%
P #124	RCP	24"	111	236.00	235.42	0.52%

PIPE TABLE						
PIPE NO	TYPE	SIZE	LF	INV. IN	INV. OUT	GRADE
P #125	RCP	15"	45	310.94	309.30	3.67%
P #126	RCP	15"	230	309.10	293.96	6.59%
P #127	RCP	15"	45	294.21	293.96	0.56%
P #128	RCP	15"	183	293.76	280.50	7.23%
P #129	RCP	15"	50	280.71	280.46	0.50%
P #130	RCP	15"	150	280.26	270.99	6.16%
P #131	RCP	18"	98	270.79	265.64	5.27%
P #132	RCP	15"	56	266.37	266.10	0.50%
P #133	RCP	18"	86	265.44	261.70	4.36%
P #134	RCP	18"	150	261.50	253.90	5.06%
P #135	RCP	15"	45	254.13	253.90	0.50%
P #136	RCP	24"	150			



CATCH BASIN TABLE				
CB NO	SIZE	TOP	INV. IN	INV. OUT
CB #03	2' X 3'	294.48	288.92 E 289.22 N	288.72 S
CB #04	2' X 3'	294.82	289.34 SE	289.14 W
CB #06	2' X 3'	292.88	287.37 N 286.37 E	287.17 W
CB #07	2' X 3'	289.81	284.16 E	283.96 W
CB #08	2' X 3'	287.62	281.95 E 283.40 SE	281.75 W
CB #09	2' X 3'	284.52	278.86 E	278.66 W
CB #10	2' X 3'	283.39	277.75 E 278.55 SW 278.55 SE	277.55 NW
CB #12	2' X 3'	288.98	283.50 S	283.30 E
CB #13	2' X 3'	290.24	285.76 S	284.76 E
CB #14	2' X 3'	278.16		273.72 W
CB #15	2' X 3'	278.13	273.59 E	273.39 N
CB #16	2' X 3'	276.56	271.49 S 271.49 E	271.29 NW
CB #17	2' X 3'	276.57		272.14 W
CB #18	2' X 3'	275.31	270.08 SE 269.28 W	269.08 E
CB #21	2' X 3'	275.32	268.95 W	268.75 NE
CB #22	2' X 3'	286.52		282.17 NE
CB #23	2' X 3'	285.44	280.91 SW	280.71 N
CB #24	2' X 3'	285.44	280.59 S	280.39 NW
CB #25	2' X 3'	284.81	280.17 W 280.17 SE	279.97 N
CB #26	2' X 3'	284.84		280.33 E

CATCH BASIN TABLE				
CB NO	SIZE	TOP	INV. IN	INV. OUT
CB #27	2' X 3'	282.99	278.22 S 278.22 W	278.02 NE
CB #28	2' X 3'	282.99		278.55 E
CB #29	2' X 3'	282.50	277.38 SW	276.88 E
CB #30	2' X 3'	281.40	275.71 W 276.51 N	275.51 E
CB #31	2' X 3'	281.40		276.76 S
CB #32	2' X 3'	276.28	269.27 W 268.47 N	269.07 E
CB #33	2' X 3'	276.32		268.80 S
CB #36	2' X 3'	275.68	270.75 SW	270.55 N
CB #37	2' X 3'	276.46	272.07 W	271.87 SE 271.50 NE
CB #39	2' X 3'	278.21	274.94 S 274.14 W	273.94 E
CB #40	2' X 3'	278.22		275.52 N
CB #41	2' X 3'	282.27	277.87 S	277.67 E
CB #42	2' X 3'	282.23		278.26 N
CB #43	2' X 3'	277.04	267.76 S	267.56 W
CB #45	2' X 3'	274.36		269.92 E
CB #46	2' X 3'	273.96	269.52 W	269.02 N
CB #47	2' X 3'	270.55	265.48 S 265.78 W	265.28 N
CB #48	2' X 3'	270.57		266.14 E
CB #49	2' X 3'	267.92	263.21 S 263.51 W	263.01 N
CB #50	2' X 3'	267.95		263.77 E

CATCH BASIN TABLE				
CB NO	SIZE	TOP	INV. IN	INV. OUT
CB #51	2' X 3'	265.55	260.85 S 260.85 W	259.35 NE
CB #52	2' X 3'	265.55	261.30 NW	261.10 E
CB #53	2' X 3'	268.95		264.30 SE
CB #54	2' X 3'	261.44	256.05 SW	254.05 NE
CB #55	2' X 3'	260.42	252.62 SW 250.32 E	250.12 N
CB #58	2' X 3'	273.19	269.27 W 268.47 N	268.75 E
CB #59	2' X 3'	273.19	268.62 W	268.42 N
CB #61	2' X 3'	272.36	266.26 SW 266.56 E	266.06 N
CB #62	2' X 3'	278.54	273.98 N 273.98 E	273.78 W
CB #63	2' X 3'	278.63		274.14 S
CB #68	2' X 3'	272.34	265.93 S	265.73 NW
CB #69	2' X 3'	271.30	265.49 SE 265.49 W	265.29 NW
CB #70	2' X 3'	271.18		266.29 E
CB #72	2' X 3'	266.35		261.91 NE
CB #73	2' X 3'	266.35	261.66 SE 261.66 SW	261.46 NW
CB #74	2' X 3'	259.20	254.07 SW 252.57 SE	251.57 NW
CB #75	2' X 3'	258.89		254.46 NE
CB #76	2' X 3'	253.51	248.45 SE	248.25 N
CB #77	2' X 3'	251.42	246.23 S 247.13 W	246.03 NE
CB #78	2' X 3'	251.28		247.43 E

CATCH BASIN TABLE				
CB NO	SIZE	TOP	INV. IN	INV. OUT
CB #79	2' X 3'	252.03	245.80 SW 246.10 E	245.60 N
CB #81	2' X 3'	258.08		253.64 S
CB #82	2' X 3'	252.03	245.47 S	245.27 NW
CB #83	2' X 3'	249.16	243.57 SE	243.37 W
CB #85	2' X 3'	256.44	250.89 SE 251.80 SW	250.40 NW
CB #86	2' X 3'	256.42		251.98 NE
CB #87	2' X 3'	259.30	251.53 SW	251.33 NW
CB #88	2' X 3'	259.34	253.35 SW 254.67 SE	252.47 NE
CB #91	2' X 3'	264.28		259.57 S
CB #92	2' X 3'	263.69	258.98 N	258.78 SW
CB #93	2' X 3'	315.37		310.94 SW
CB #94	2' X 3'	313.71	309.30 NE	309.10 NW
CB #95	2' X 3'	298.43	293.96 NE 293.96 SE	293.76 NW
CB #96	2' X 3'	298.69		294.21 SW
CB #97	2' X 3'	285.15	280.50 SE 280.46 NE	280.26 NW
CB #98	2' X 3'	285.15		280.71 SW
CB #99	2' X 3'	275.93	270.99 SE	270.79 NW
CB #100	2' X 3'	270.88	265.64 SE 266.10 NE	265.44 NW
CB #101	2' X 3'	270.81		266.37 SW
CB #102	2' X 3'	266.42	261.70 SE	261.50 NW

CATCH BASIN TABLE				
CB NO	SIZE	TOP	INV. IN	INV. OUT
CB #103	2' X 3'	259.31	253.90 SE 253.90 NE	253.70 NW
CB #104	2' X 3'	258.56		254.13 SW
CB #105	2' X 3'	250.84	244.60 SE	244.40 W
CB #106	2' X 3'	260.77		256.33 S
CB #107	2' X 3'	260.09	255.65 N	255.45 E
CB #108	2' X 3'	262.84	254.86 W	254.66 SE
CB #109	2' X 3'	262.72	256.73 E 254.43 NW	254.23 S
CB #110	2' X 3'	262.41	258.13 NE	257.93 W
CB #113	2' X 3'	258.16	253.32 E 253.02 N	252.82 S
CB #114	2' X 3'	258.26		253.86 W
CB #115	2' X 3'	254.27	249.64 E 249.64 N	248.64 S
CB #116	2' X 3'	254.35		249.98 W
CB #117	2' X 3'	249.80	245.10 E 245.10 N	244.90 SW
CB #119	2' X 3'	246.46	241.83 NE	241.63 SE
CB #120	2' X 3'	246.47	239.90 NW 237.60 NE	237.40 SW
CB #121	2' X 3'	249.97	238.26 NE 240.56 NW	238.06 SW
CB #122	2' X 3'	249.97		242.36 SE
CB #123	2' X 3'	248.67	239.81 NE 242.11 NW	239.61 SW
CB #124	2' X 3'	248.63		243.45 SE
CB #125	2' X 3'	247.65	240.38 NE	240.18 SW

CATCH BASIN TABLE				
CB NO	SIZE	TOP	INV. IN	INV. OUT
CB #126	2' X 3'	247.11	240.90 NE 240.90 NW	240.70 SW
CB #127	2' X 3'	247.11		241.29 SE
CB #128	2' X 3'	248.01	242.66 NE	242.46 SW
CB #129	2' X 3'	250.67	245.96 N 245.96 NW	245.76 SW
CB #130	2' X 3'	250.80		246.36 SE
CB #131	2' X 3'	255.14	250.43 W	250.23 S
CB #132	2' X 3'	255.34	250.78 NW	250.58 E
CB #135	2' X 3'	241.39	236.53 NE 237.33 NW	236.33 S
CB #136	2' X 3'	242.25		237.59 SE
CB #137	2' X 3'	238.70	235.31 N	235.11 SE
CB #138	2' X 3'	238.12	234.76 NW	234.56 E
CB #141	2' X 3'	299.10	294.67 NE 295.26 SE	294.47 NW
CB #142	2' X 3'	298.90		294.81 SW
CB #144	2' X 3'	289.46	285.44 SE 285.44 NE	285.24 NW
CB #146	2' X 3'	282.59	278.40 NE 277.40 SE	277.20 NW
CB #147	2' X 3'	282.61		278.53 SW
CB #148	2' X 3'	275.74	271.22 NE 271.22 SE	271.02 NW
CB #149	2' X 3'	275.77		271.53 SW
CB #150	2' X 3'	269.33	264.50 SE 264.50 W	264.08 NE
CB #151	2' X 3'	270.00	265.09 NW	264.89 E

CATCH BASIN TABLE				
CB NO	SIZE	TOP	INV. IN	INV. OUT
CB #152	2' X 3'	269.99		265.28 SE
CB #153	2' X 3'	269.33	263.96 SW	263.75 N
CB #154	2' X 3'	265.67	260.29 S	260.09 NE
CB #155	2' X 3'	259.52	253.59 SW 254.39 NW	253.39 NE
CB #156	2' X 3'	259.55		255.05 SE
CB #157	2' X 3'	252.79	247.45 E 247.45 W	247.25 NW
CB #158	2' X 3'	253.26	248.17 NE 247.87 SE	247.67 W
CB #159	2' X 3'	253.25		248.54 SW
CB #160	2' X 3'	255.73	250.07 S	249.87 NW
CB #161	2' X 3'	258.11	252.99 S 252.99 E	251.99 N
CB #162	2' X 3'	258.25		254.16 W
CB #163	2' X 3'	263.75	258.18 E 258.18 S	257.98 N
CB #164	2' X 3'	263.75		259.41 W
CB #165	2' X 3'	278.15	273.44 E 273.44 S	272.64 N
CB #166	2' X 3'	278.19		273.90 W
CB #172	2' X 3'	295.96		284.49 N
CB #173	2' X 3'	252.77	247.04 SE	245.84 NE
CB #174	2' X 3'	250.35	244.55 SW	244.35 N
CB #175	2' X 3'	250.85	246.23 SW 246.23 W	246.03 NE
CB #176	2' X 3'	250.94		247.18 E

CATCH BASIN TABLE				
CB NO	SIZE	TOP	INV. IN	INV. OUT
CB #177	2' X 3'	254.54		253.10 SE
CB #178	2' X 3'	254.42	252.98 SW 252.98 NW	252.78 NE
CB #179	2' X 3'	258.67	255.79 SW	255.59 NE
CB #180	2' X 3'	259.45		257.51 NE
CB #181	2' X 3'	250.01	243.96 SE 243.96 S	243.76 NW
CB #182	2' X 3'	250.75		246.18 NW
CB #183	2' X 3'	250.75	245.89 SE	245.69 NE
CB #184	2' X 3'	249.95	243.62 NE 244.62 SE 244.62 SW	243.42 NW
CB #185	2' X 3'	249.95		244.87 NW
CB #186	2' X 3'	254.21	248.41 SE 248.61 N	247.61 SW
CB #187	2' X 3'	255.90	250.61 N 249.81 E	249.61 S
CB #189	2' X 3'	256.40	251.82 N	251.62 S
CB #190	2' X 3'	257.71	253.00 E 253.00 N	252.80 S
CB #191	2' X 3'	257.71		253.27 W
CB #192	2' X 3'	259.17	254.31 E	254.11 S
CB #193	2' X 3'	259.21	254.70 NE	254.50 W
CB #196	2' X 3'	254.25	248.80 E	248.60 NW
CB #197	2' X 3'	256.39	251.52 NE 251.52 SE	251.32 W
CB #198	2' X 3'	256.40	251.85 N	251.65 SW
CB #199	2' X 3'	257.28		252.51 S

CATCH BASIN TABLE				
CB NO	SIZE	TOP	INV. IN	INV. OUT
CB #200	2' X 3'	257.14		252.81 NW
CB #201	2' X 3'	258.87	254.08 SE	253.88 NW
CB #202	2' X 3'	261.08	256.24 N 256.38 E	255.24 NW
CB #203	2' X 3'	261.08		256.65 S
CB #204	2' X 3'	262.88	258.17 E	257.97 W
CB #205	2' X 3'	264.80	260.04 NE	259.84 W
CB #206	2' X 3'	267.20	262.77 N	262.44 SW
CB #207	2' X 3'	268.30		263.86 S
CB #208	2' X 3'	283.23		278.79 N
CB #209	2' X 3'	283.22	278.61 S	278.21 W
CB #210	2' X 3'	276.73	270.92 E	270.72 W
CB #211	2' X 3'	271.59	266.50 S 265.20 E	265.00 NW
CB #212	2' X 3'	271.58		267.15 N
CB #213	2' X 3'	267.66	262.86 SE	261.86 N
CB #215	2' X 3'	265.96		261.52 E
CB #216	2' X 3'	263.60	255.72 S 257.52 W	255.52 N
CB #217	2' X 3'	263.61		259.17 E
CB #219	2' X 3'	260.67	253.46 S	253.26 NE
DI #209	2' X 3'	247.68	241.88 SE	241.68 NE
DI #210	2' X 3'	247.40	241.65 NE 241.31 SW	241.11 NW

CATCH BASIN TABLE				
CB NO	SIZE	TOP	INV. IN	INV. OUT
DI #211	2' X 3'	250.33	243.05 NE	242.85 SW
DI #212	2' X 3'	253.92	248.88 SE	248.68 SW
DI #213	2' X 3'	264.57	258.50 NE 259.86 SE	257.09 NW
SDMH #501	2' X 3'	275.75	266.62 S	266.42 NW
SDMH #504	2'			



PLANT SCHEDULE								
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	CONTAINER	CALIPER	MIN. SPACING
<b>STREET TREES</b>								
	ACE FLD	56	ACER FLORIDANUM	SOUTHERN SUGAR MAPLE	12' HT.	B&B	3.0"	40' OC
	ACE SCR	36	ACER X FREEMANII 'SCARSEN'	SCARLET SENTINEL® RED MAPLE	12' HT.	B&B	3.0"	40' OC
	CAR FST	19	CARPINUS BETULUS 'FASTIGIATA'	UPRIGHT EUROPEAN HORNBEAM	12' HT.	B&B	3.0"	40' OC
	CLA LUT	49	CLADRASTIS LUTEA	AMERICAN YELLOWWOOD	12' HT.	B&B	3.0"	40' OC
	GIN AUT	28	GINKGO BILOBA 'AUTUMN GOLD'	AUTUMN GOLD MAIDENHAIR TREE	12' HT.	B&B	3.0"	40' OC
	GLE TTI	39	GLEDTISIA TRIACANTHOS F. INERMIS	THORNLESS HONEY LOCUST	12' HT.	B&B	3.0"	40' OC
	NYS SYL	42	NYSSA SYLVATICA	TUPELO	12' HT.	B&B	3.0"	40' OC
	PIS SAR	49	PISTACIA CHINENSIS 'SARAH'S RADIANCE'	SARAH'S RADIANCE CHINESE PISTACHE	12' HT.	B&B	3.0"	40' OC
	PLA OCC	25	PLATANUS OCCIDENTALIS	AMERICAN SYCAMORE	12' HT.	B&B	3.0"	40' OC
	QUE CEN	47	QUERCUS BICOLOR 'BONNIE AND MIKE'	BEACON® OAK	12' HT.	B&B	3.0"	40' OC
	QUE UIY	31	QUERCUS HEMISPHAERICA 'QHMTF'	AVALYN™ LAUREL OAK	12' HT.	B&B	3.0"	40' OC
	QUE SHU	49	QUERCUS SHUMARDII	SHUMARD OAK	12' HT.	B&B	3.0"	40' OC
	TIL AME	58	TILIA AMERICANA	AMERICAN LINDEN	12' HT.	B&B	3.0"	40' OC
<b>SUBTOTAL:</b>		<b>528</b>						
<b>UNDERSTORY BUFFER</b>								
	AME LKG	49	AMELANCHIER LAEVIS	ALLEGHENY SERVICEBERRY MULTI-TRUNK	8' HT.	B&B	3.0"	MULTI STEM
	CAR OCR	62	CARPINUS CAROLINIANA 'ORANGE CRUSH'	ORANGE CRUSH AMERICAN HORNBEAM	7' HT.	B&B	3.0"	MULTI STEM
	CHI VIR	50	CHIONANTHUS VIRGINICUS	WHITE FRINGETREE	6' HT.	B&B	3.0"	MULTI STEM
	LAG PXC	15	LAGERSTROEMIA INDICA X FAURIEI 'APALACHEE'	APALACHEE CRAPE MYRTLE	6' HT.	B&B	3.0"	MULTI STEM
	LAG OTN	60	LAGERSTROEMIA INDICA X FAURIEI 'COMANCHE'	COMANCHE CRAPE MYRTLE	6' HT.	B&B	3.0"	MULTI STEM
	LAG TON	16	LAGERSTROEMIA INDICA X FAURIEI 'TONTO'	TONTO CRAPE MYRTLE MULTI-TRUNK	6' HT.	B&B	3.0"	MULTI STEM
<b>SUBTOTAL:</b>		<b>252</b>						

Preserved vegetation does not appear to be depicted or labeled. If the applicant intends to use preserved vegetation to meet the requirements of the ordinance, all preserved vegetation from the preservation plan shall be shown on the landscape plans.

SREG: All intended preserved vegetation will be made visible on landscape plan when applicable.

Please incorporate Lighting Plan (once completed) to ensure consistency between planting and lighting plans.

SREG: light plan symbols will be made visible on landscape plan.

**TOWNHOME NOTES:**  
STATES INTERNAL TOWNHOME DRIVEWAYS ARE PRIVATE EASEMENTS AS PER CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT

Please include a note that indicates buffers shall be plated as separate tracts to be owned and maintained by the HOA or similar entity.

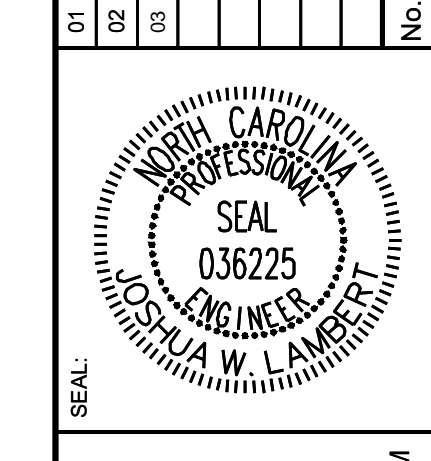
Applicant has indicated Conservation Easement Dedication is in progress. Please include a note or indication of those areas being put into the conservation easement once this task progresses.

Open space recorded as a conservation easement shall be indicated on ALL development approvals.

DATE	BY
08/01/2023	SREG
12/05/2023	SREG
03/01/2024	SREG

SREG: This note has been added, s Sheet C10.0

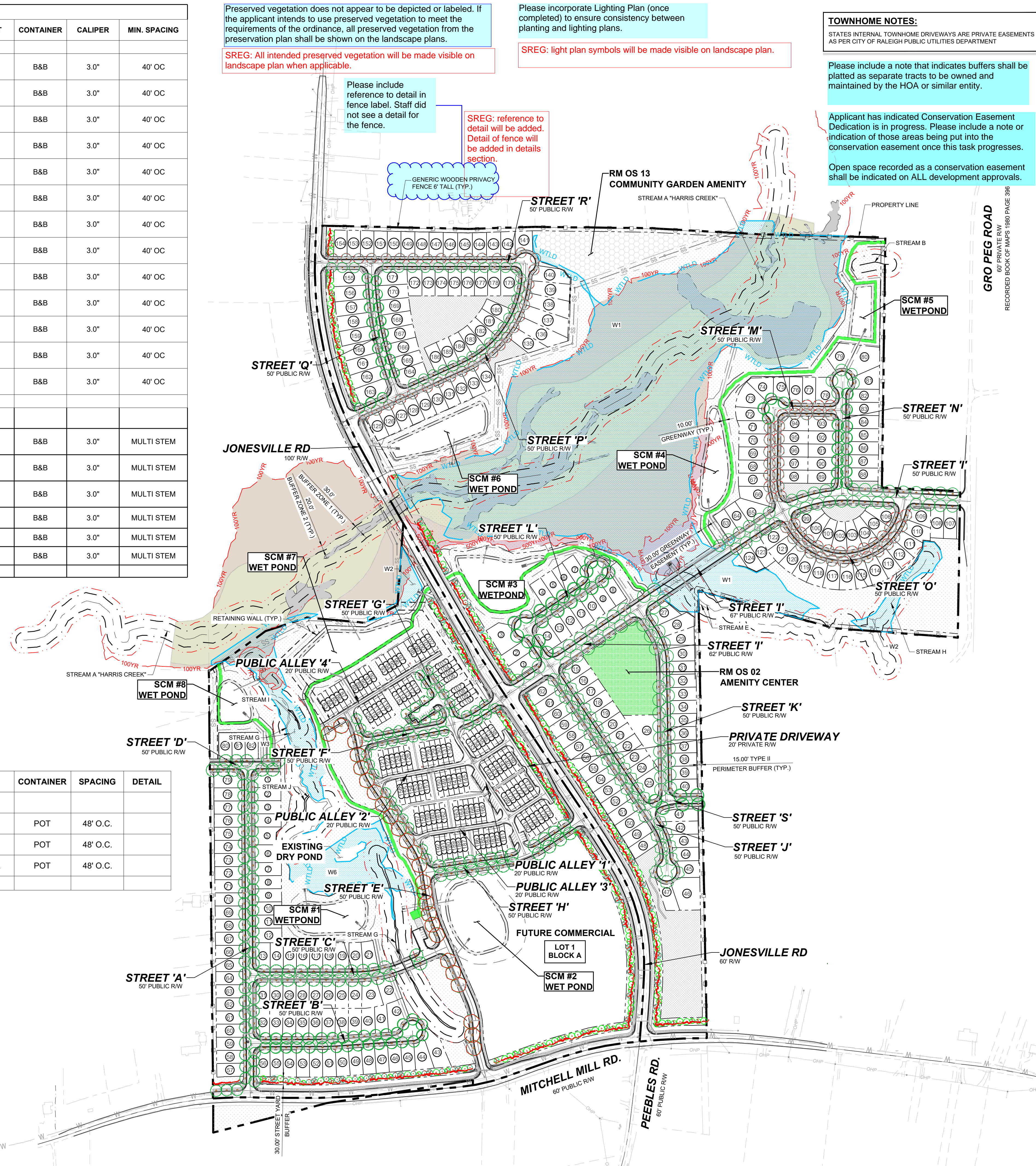
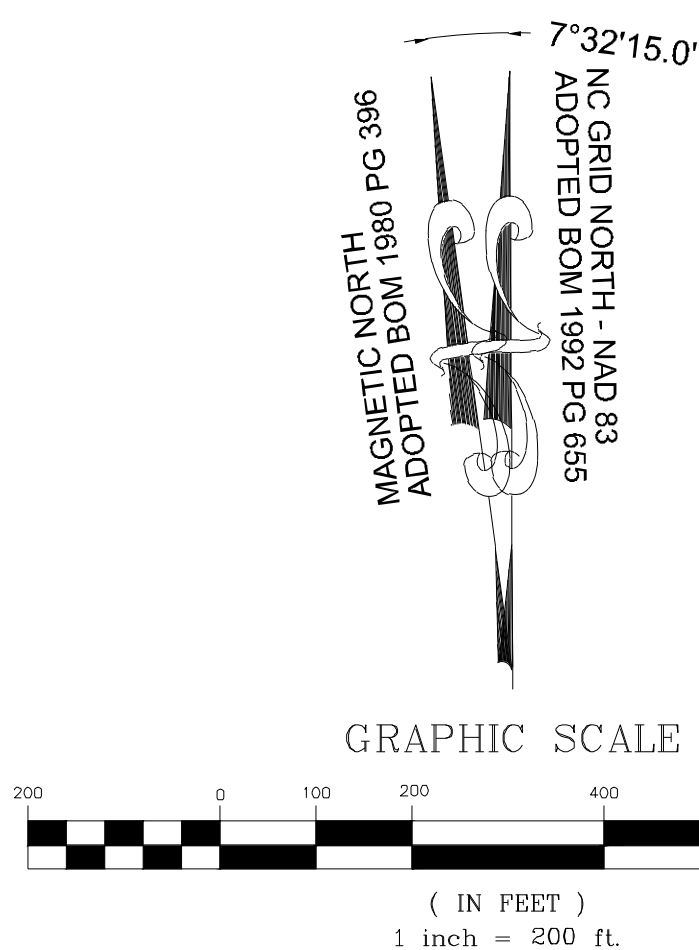
SREG: This note has been added, s Sheet C10.0



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ENGINEERING GROUP

STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166  
305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING	DETAIL
<b>BUFFER SHRUBS</b>								
	ILE CON	466	ACER FLORIDANUM	CONVEX-LEAVED JAPANESE HOLLY	2' HT.	POT	48" O.C.	
	LOR 'C	516	LOROPETALUM CHINENSE RUBRUM 'CAROLINA MIDNIGHT'	CAROLINA MIDNIGHT FRINGE FLOWER	2' HT.	POT	48" O.C.	
	PRU CSL	503	PRUNUS LUSITANICA 'ANGUSTIFLOLIA'	PORTUGAL LAUREL	3 GAL.	POT	48" O.C.	
<b>SUBTOTAL:</b>		<b>1485</b>						

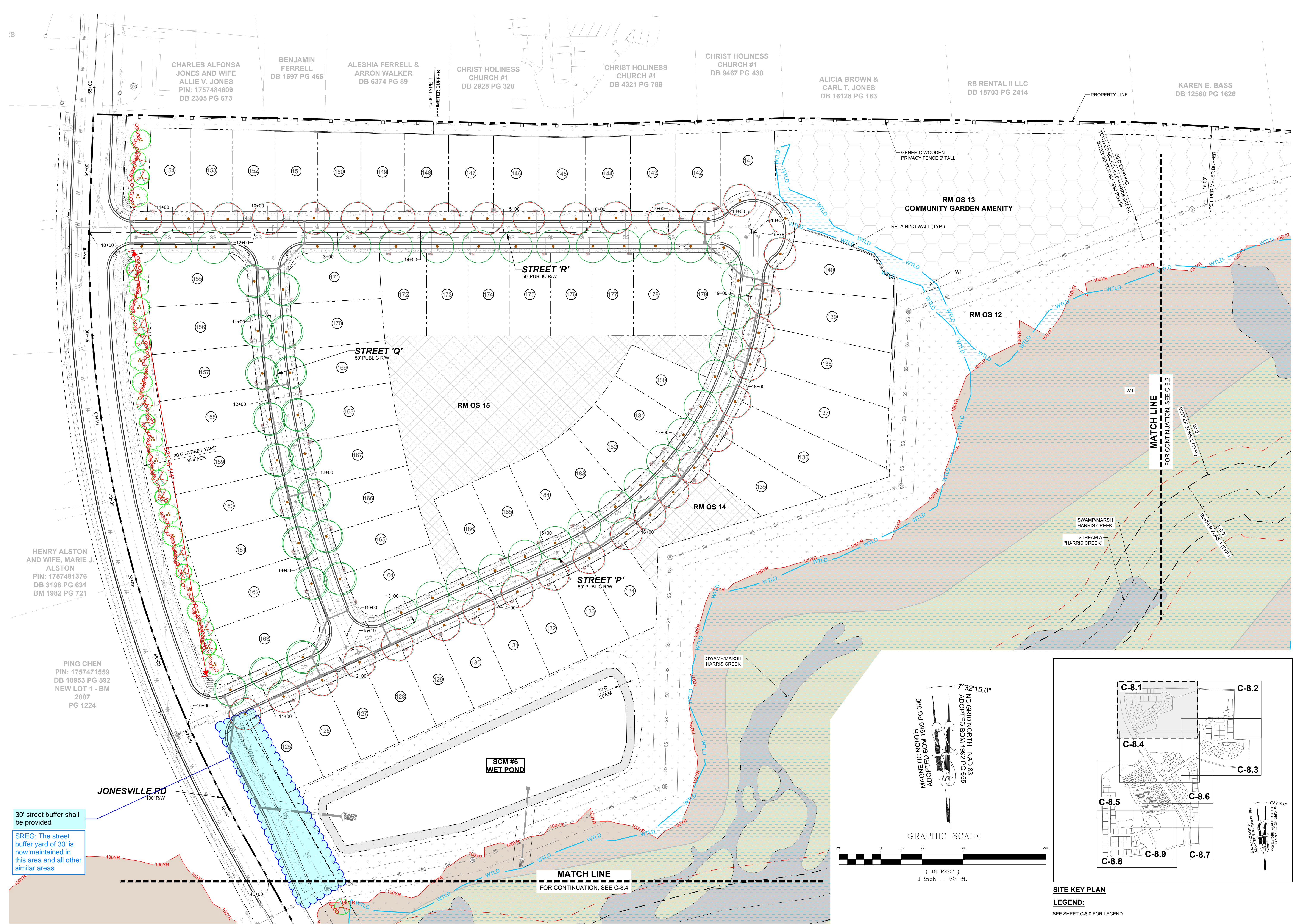


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STRONG ROCK PROJECT	STRONG ROCK PROJECT	JWL	JWL
PSP-24-03	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY
			DRAWN BY
			CHECKED BY

RESERVE @ MITCHELL MILL  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
PRELIMINARY SUBDIVISION PLAN  
OVERALL LANDSCAPE PLAN





CHARLES ALFONSA JONES AND WIFE ALLIE V. JONES PIN: 1757484609 DB 2305 PG 673

BENJAMIN FERRELL DB 1697 PG 465

ALESHIA FERRELL & ARRON WALKER DB 6374 PG 89

CHRIST HOLINESS CHURCH #1 DB 2928 PG 328

CHRIST HOLINESS CHURCH #1 DB 4321 PG 788

CHRIST HOLINESS CHURCH #1 DB 9467 PG 430

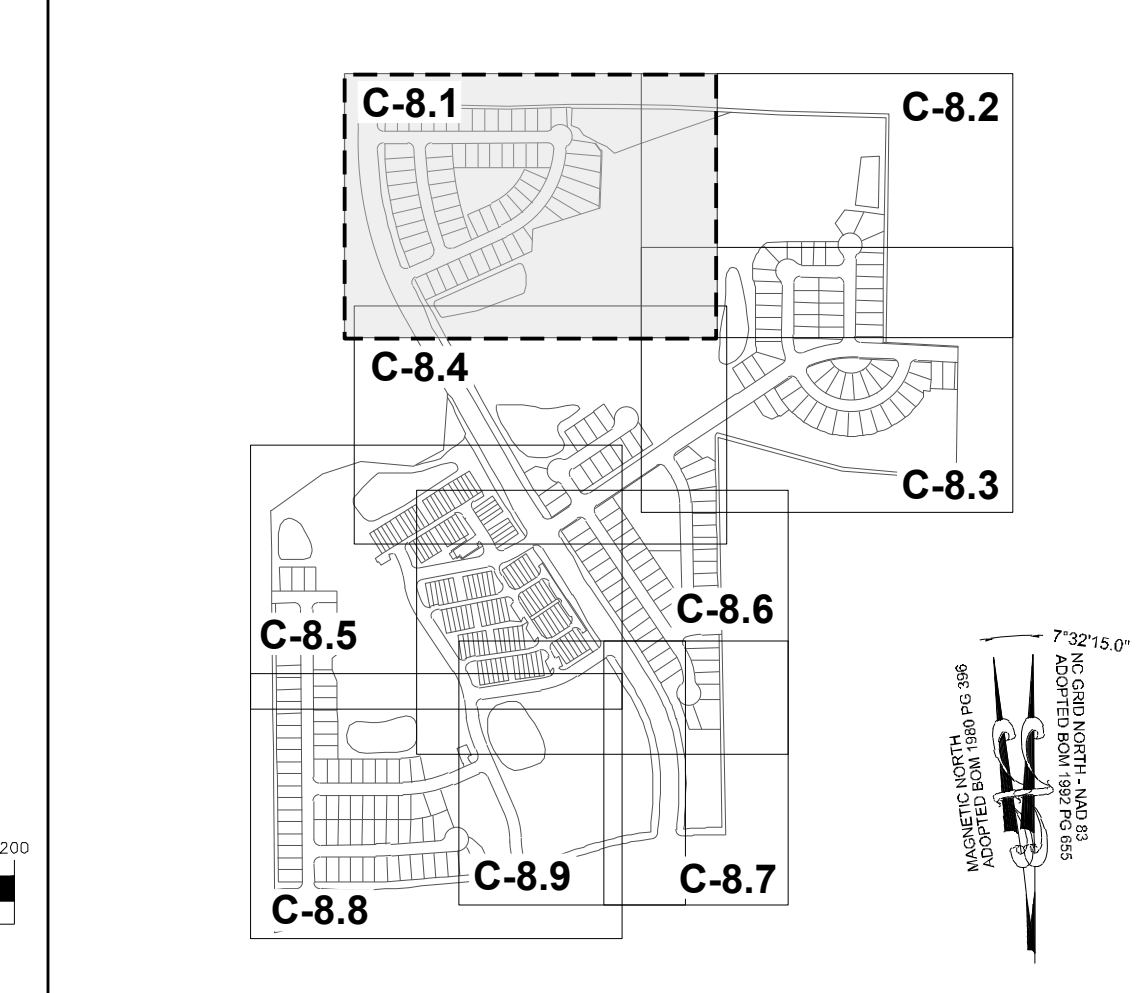
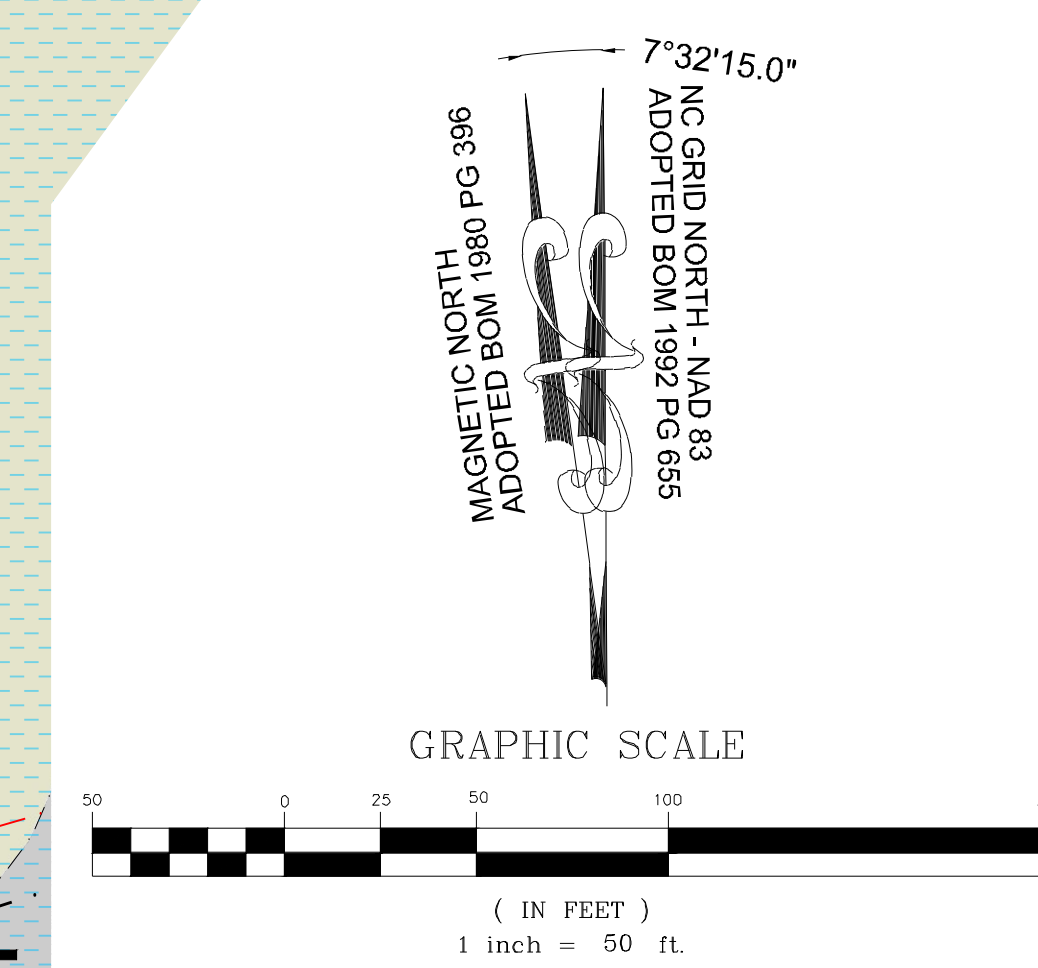
ALICIA BROWN & CARL T. JONES DB 16128 PG 183

RS RENTAL II LLC DB 18703 PG 2414

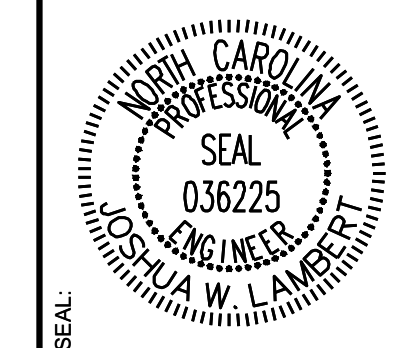
KAREN E. BASS DB 12560 PG 1626

HENRY ALSTON AND WIFE, MARIE J. ALSTON PIN: 1757481376 DB 3198 PG 631 BM 1982 PG 721

PING CHEN PIN: 1757471559 DB 18953 PG 592 NEW LOT 1 - BM 2007 PG 1224



NO.	REVISIONS	DATE	BY
01	PRELIMINARY SUBDIVISION PLAT P-24-03	08/01/2023	SREG
02	TOWN OF ROLESVILLE COMMENTS P-24-03	12/05/2023	SREG
03	TOWN OF ROLESVILLE COMMENTS P-24-03	03/01/2024	SREG



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STRONG ROCK PROJECT	DESIGNED BY	DRAWN BY	CHECKED BY
PSP-24-03	JWL	JWL	JWL

RESERVE @ MITCHELL MILL  
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
 PRELIMINARY SUBDIVISION PLAT  
 PARTIAL LANDSCAPE PLAN I

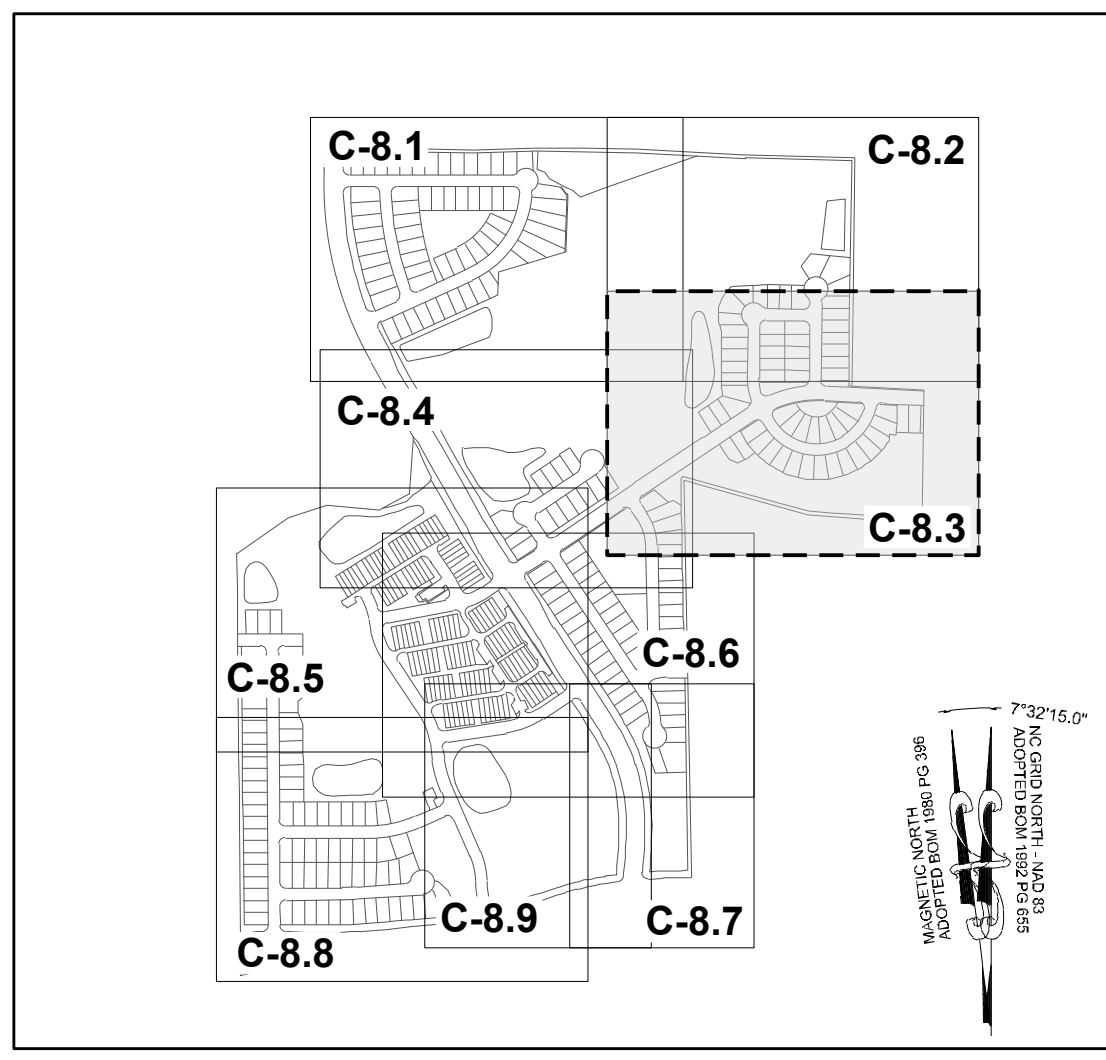
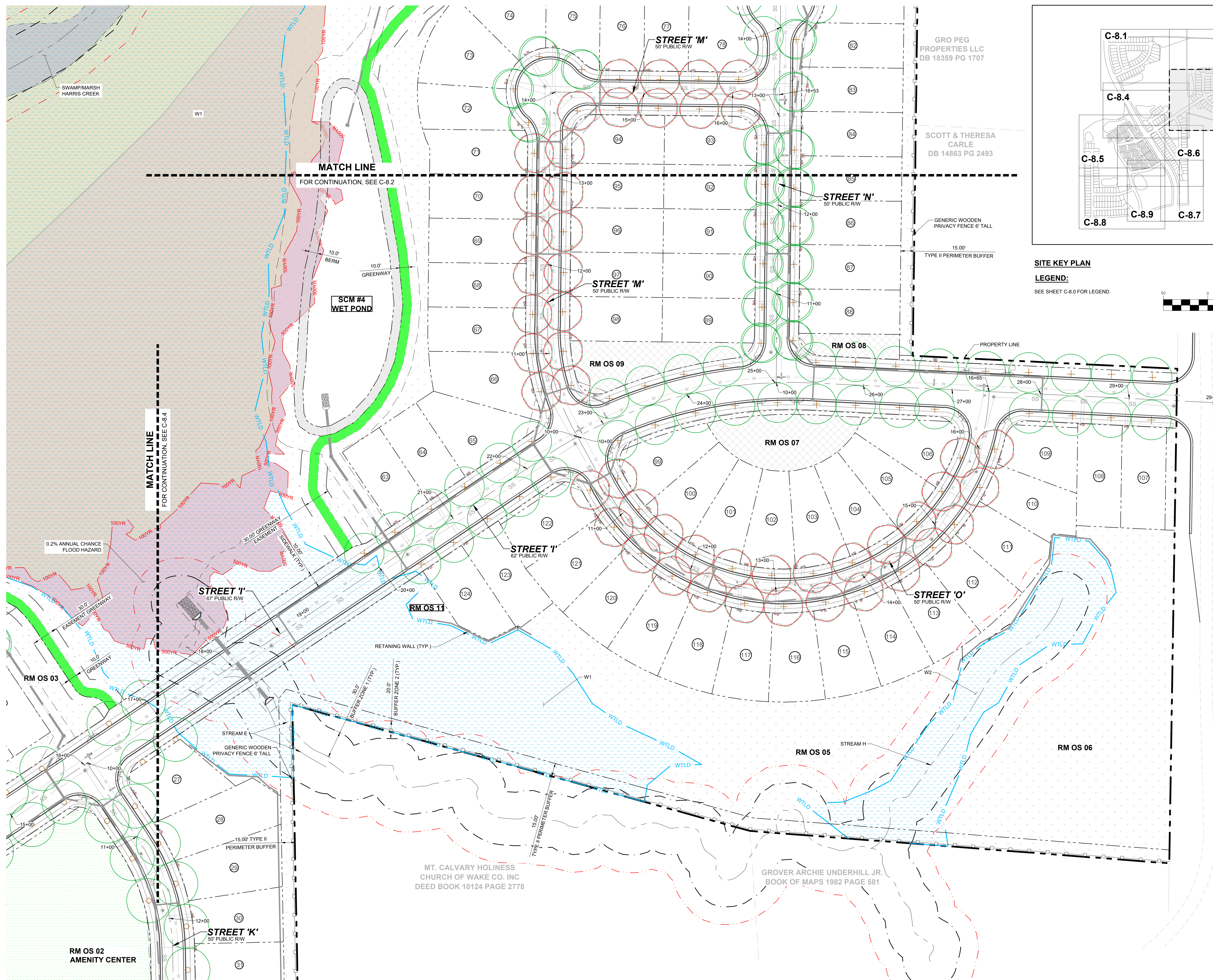
DRAWING SHEET  
**C-8.1**

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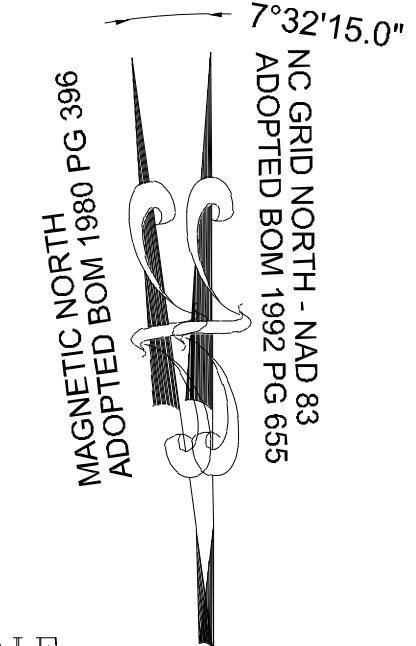
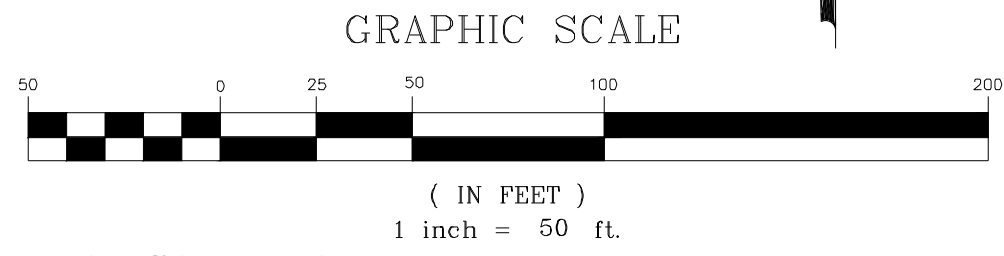








**SITE KEY PLAN**  
**LEGEND:**  
 SEE SHEET C-8.0 FOR LEGEND.



NO.	REVISIONS	DATE	BY
01	PRELIMINARY SUBDIVISION PLAT P-24-03	08/01/2023	SREG
02	TOWN OF ROLESVILLE COMMENTS P-24-03	12/05/2023	SREG
03	TOWN OF ROLESVILLE COMMENTS P-24-03	03/01/2024	SREG

**STRONGROCK**  
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STRONG ROCK PROJECT P-24-03	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL
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RESERVE @ MITCHELL MILL  
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
 PRELIMINARY SUBDIVISION PLAT  
 PARTIAL LANDSCAPE PLAN III

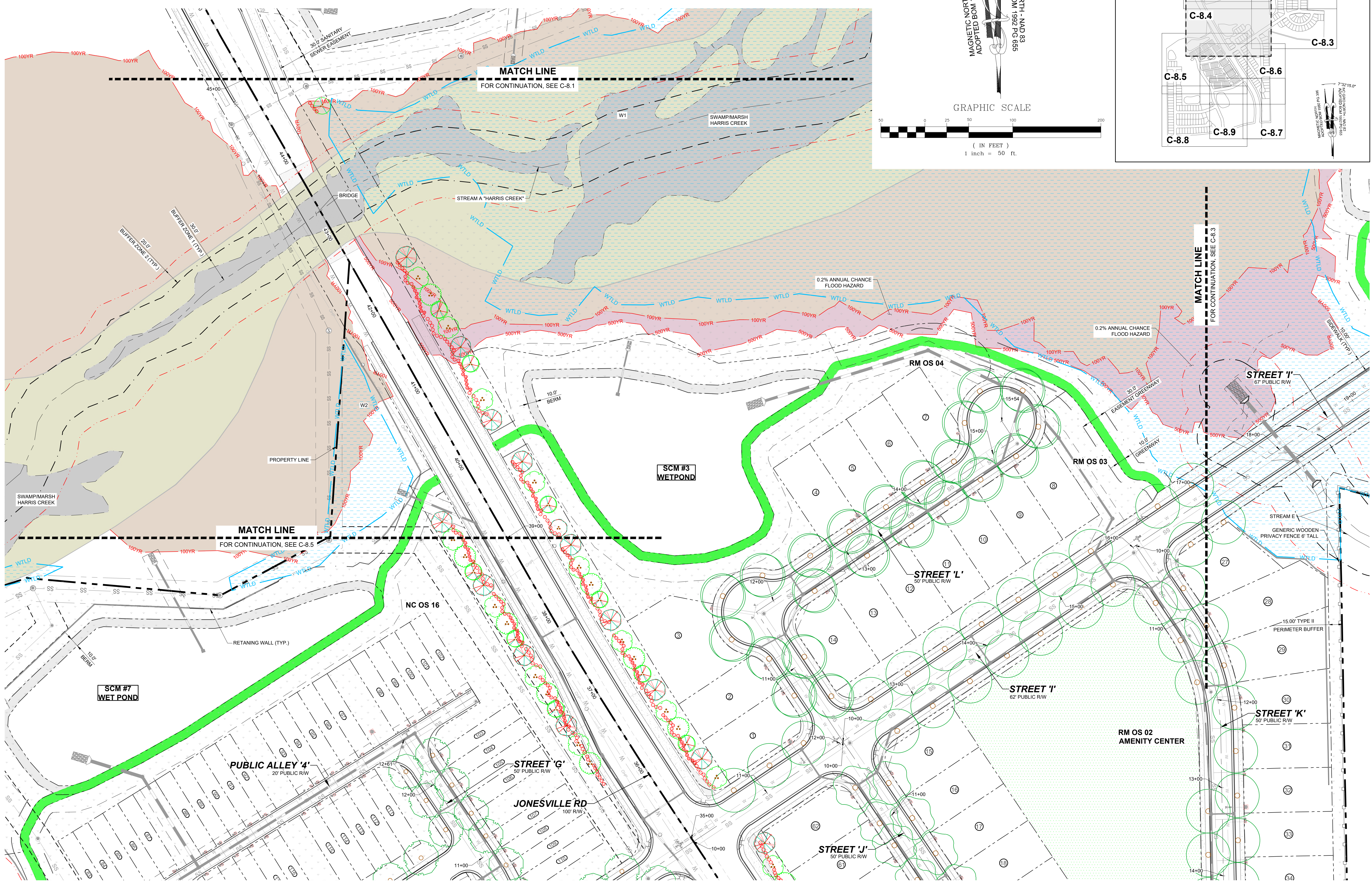
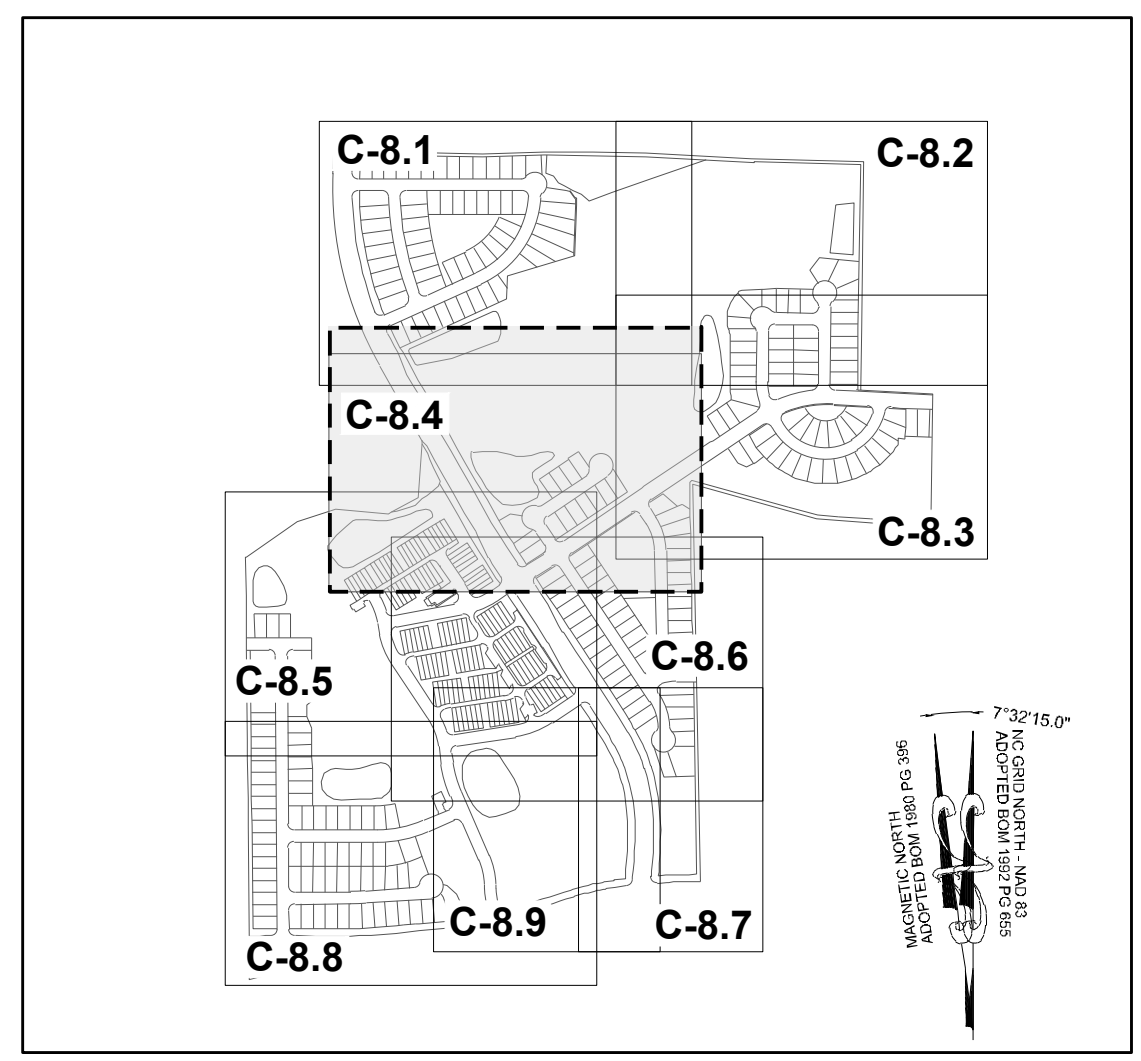
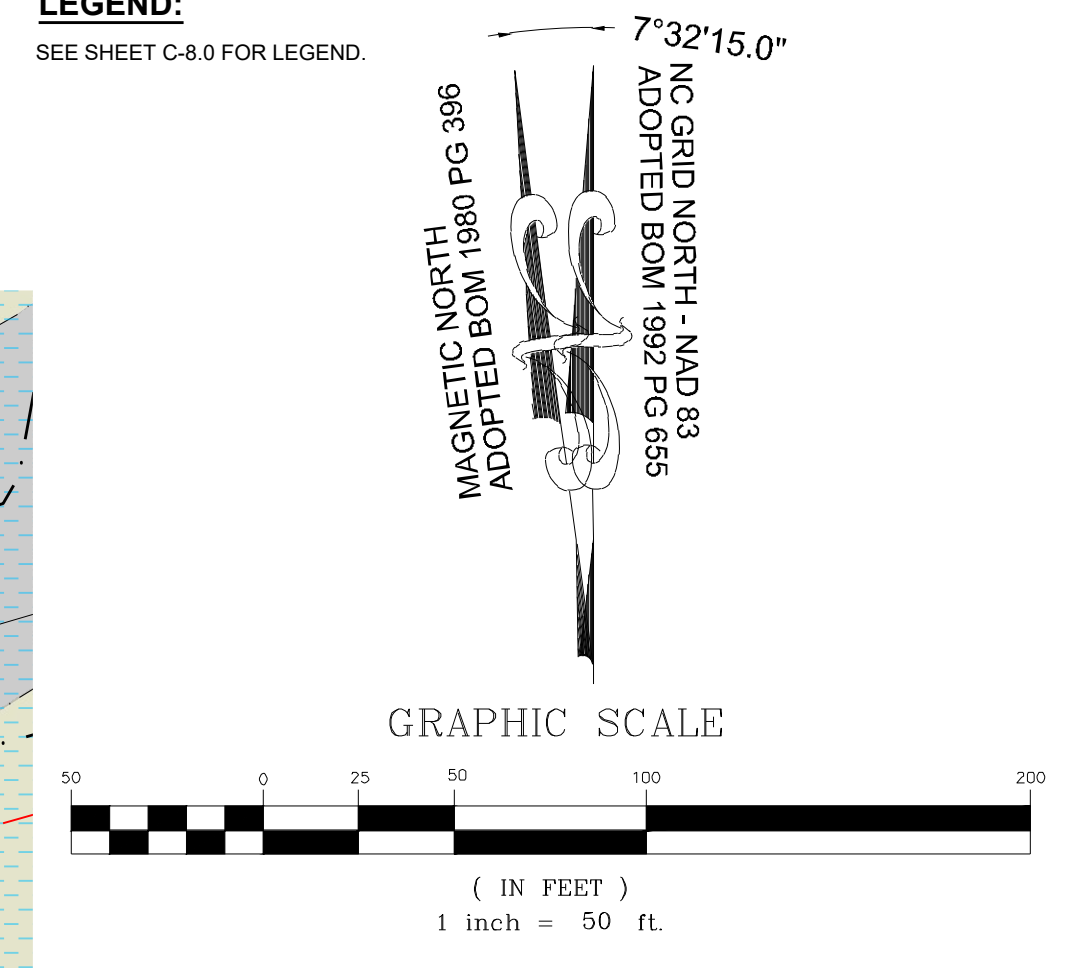
DRAWING SHEET  
**C-8.3**

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**TOWNHOME NOTES:**  
STATES INTERNAL TOWNHOME DRIVEWAYS ARE PRIVATE EASEMENTS AS PER CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT

**SITE KEY PLAN**  
**LEGEND:**  
SEE SHEET C-8.0 FOR LEGEND.



01	PRELIMINARY SUBDIVISION PLAT P-24-03	08/01/2023	BY
02	TOWN OF ROLESVILLE COMMENTS P-24-03	12/05/2023	DATE
03	TOWN OF ROLESVILLE COMMENTS P-24-03	03/01/2024	REVISIONS
No.			

SEAL:

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ENGINEERING GROUP

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STRONG ROCK PROJECT	STRONG ROCK PROJECT P-24-03	JWL	JWL
NOT FOR CONSTRUCTION	NOT FOR CONSTRUCTION	JWL	JWL
SCALE	AS SHOWN	JWL	JWL
DESIGNED BY	JWL	JWL	JWL
DRAWN BY	JWL	JWL	JWL
CHECKED BY	JWL	JWL	JWL

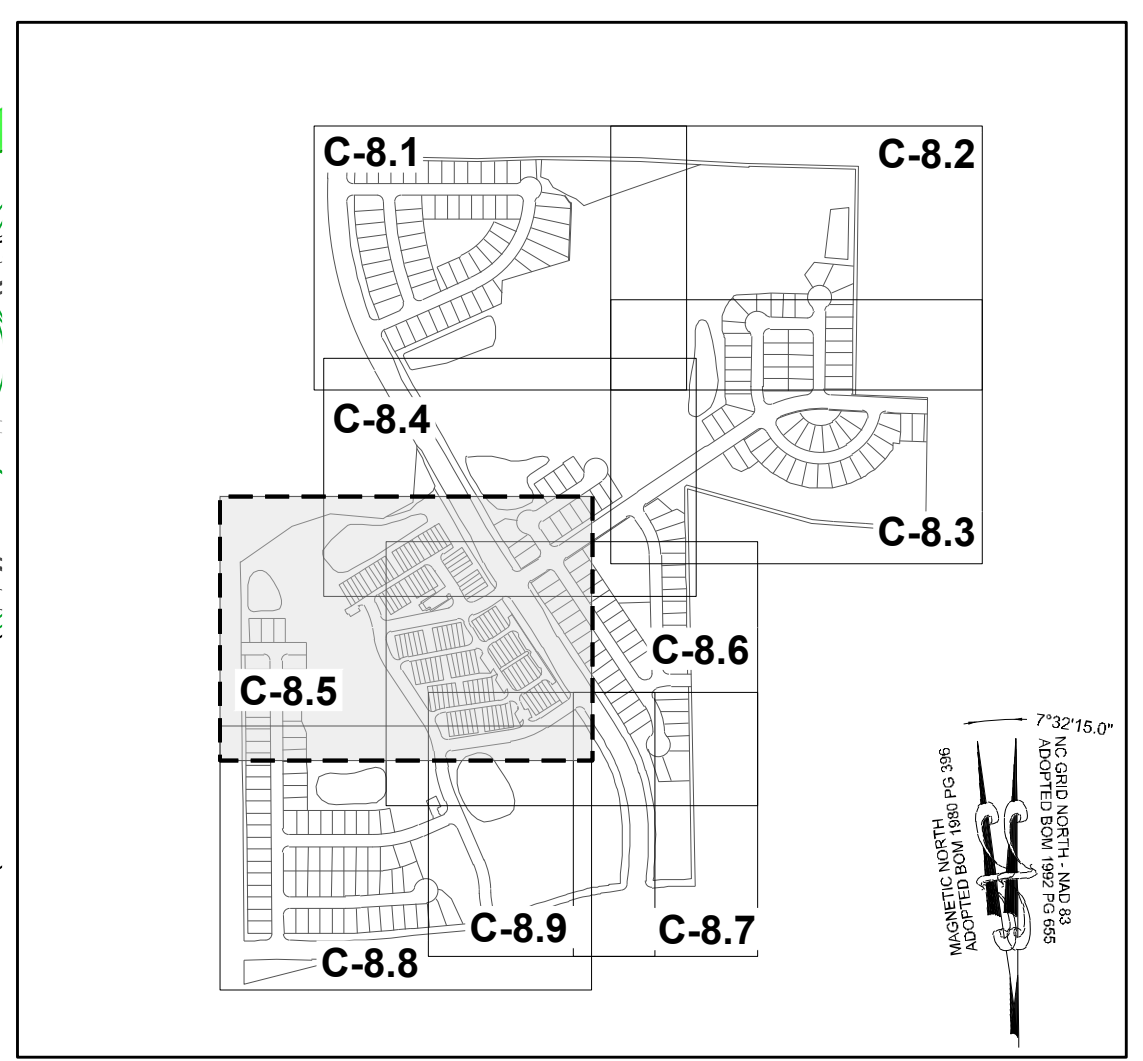
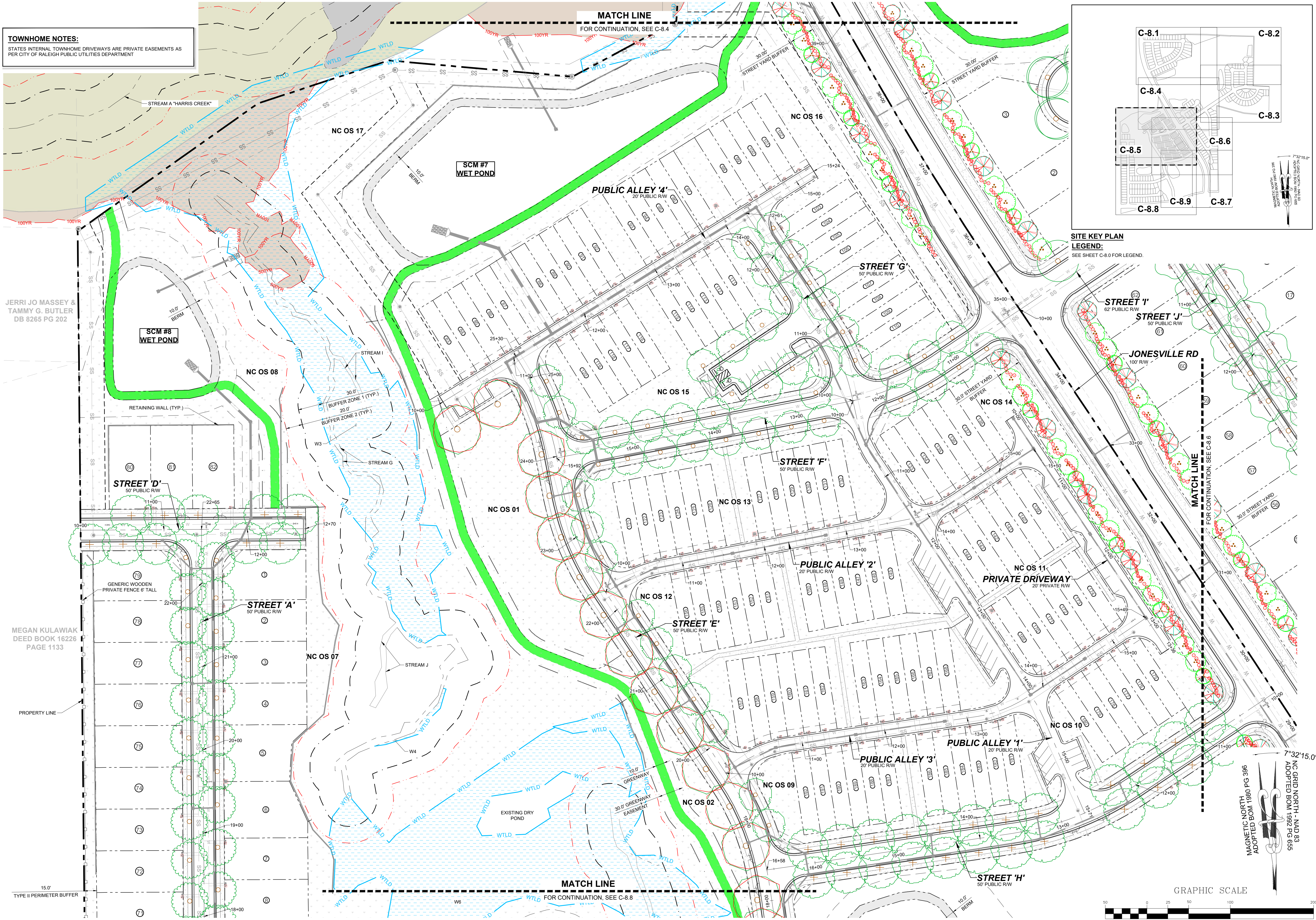
RESERVE @ MITCHELL MILL  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
PRELIMINARY SUBDIVISION PLAT  
PARTIAL UTILITY PLAN VI

DRAWING SHEET  
**C-8.4**

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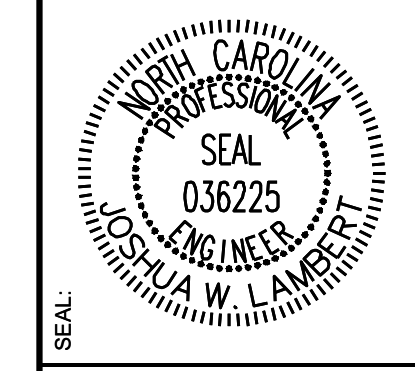


**TOWNHOME NOTES:**  
STATES INTERNAL TOWNHOME DRIVEWAYS ARE PRIVATE EASEMENTS AS PER CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT



**SITE KEY PLAN**  
**LEGEND:**  
SEE SHEET C-8.0 FOR LEGEND.

NO.	REVISIONS	DATE	BY
01			
02			
03			



JERRI JO MASSEY & TAMMY G. BUTLER  
DB 8265 PG 202

MEGAN KULAWIAK  
DEED BOOK 16226  
PAGE 1133

**STRONGROCK ENGINEERING GROUP**  
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305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT PSP-24-03	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	SRG	DRAWN BY	CHECKED BY
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RESERVE @ MITCHELL MILL  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
PRELIMINARY SUBDIVISION PLAN  
PARTIAL LANDSCAPE PLAN V

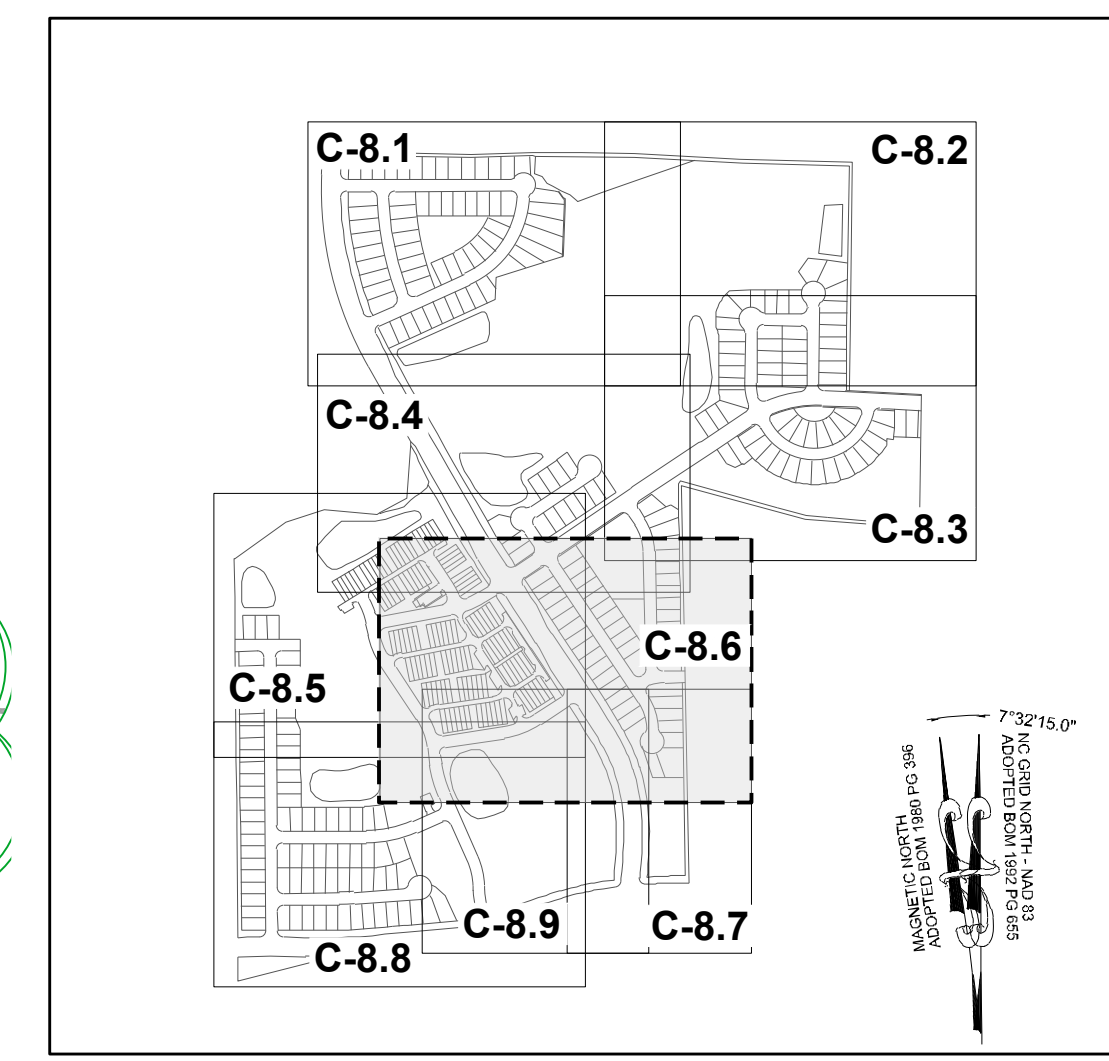
DRAWING SHEET  
**C-8.5**

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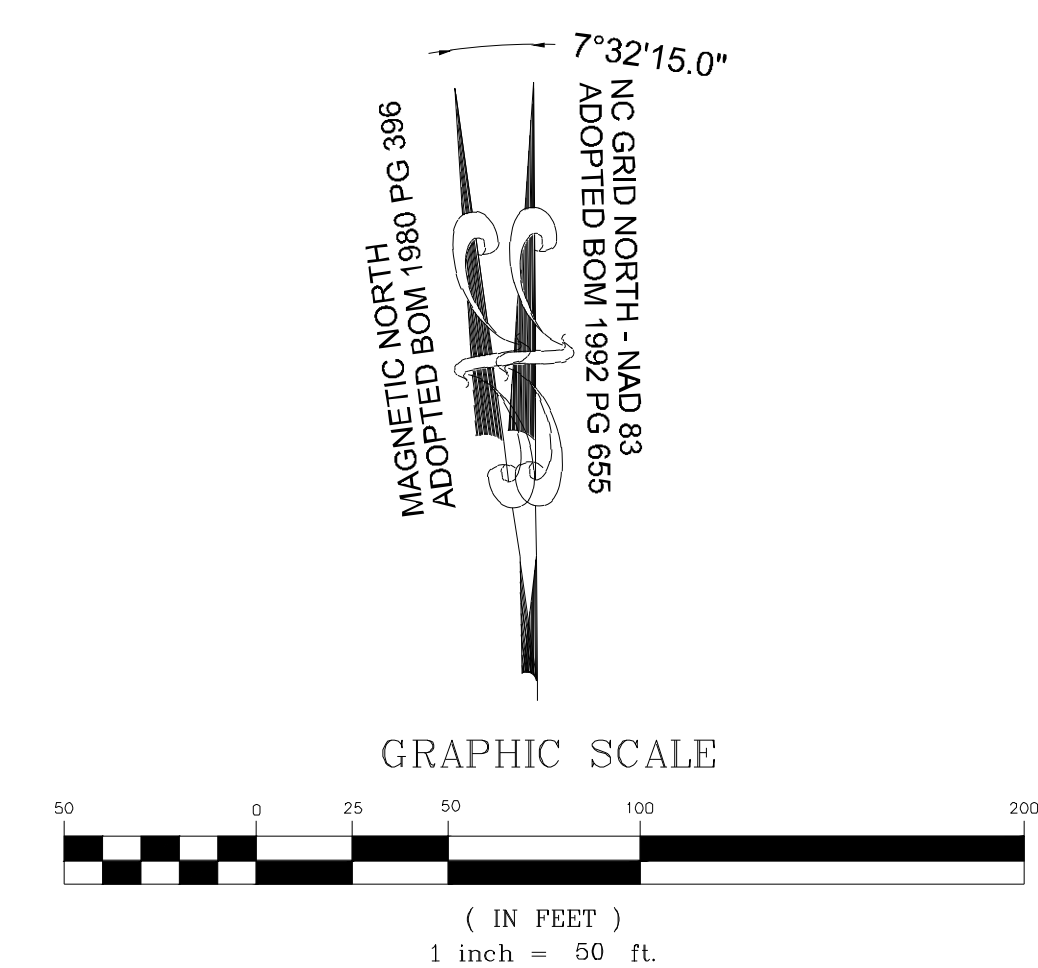


GENERIC WOODEN PRIVATE FENCE 6' TALL  
 15.0'  
 TYPE II PERIMETER BUFFER

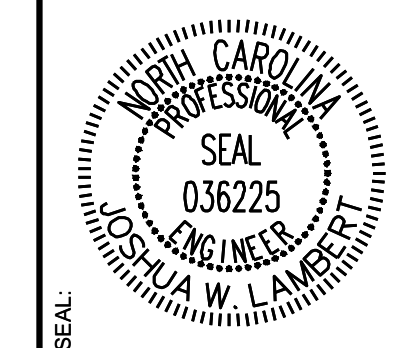


**SITE KEY PLAN**  
**LEGEND:**  
 SEE SHEET C-8.0 FOR LEGEND.

**TOWNHOME NOTES:**  
 STATES INTERNAL TOWNHOME DRIVEWAYS ARE PRIVATE EASEMENTS AS PER CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT



NO.	REVISIONS	DATE	BY
01			
02			
03			



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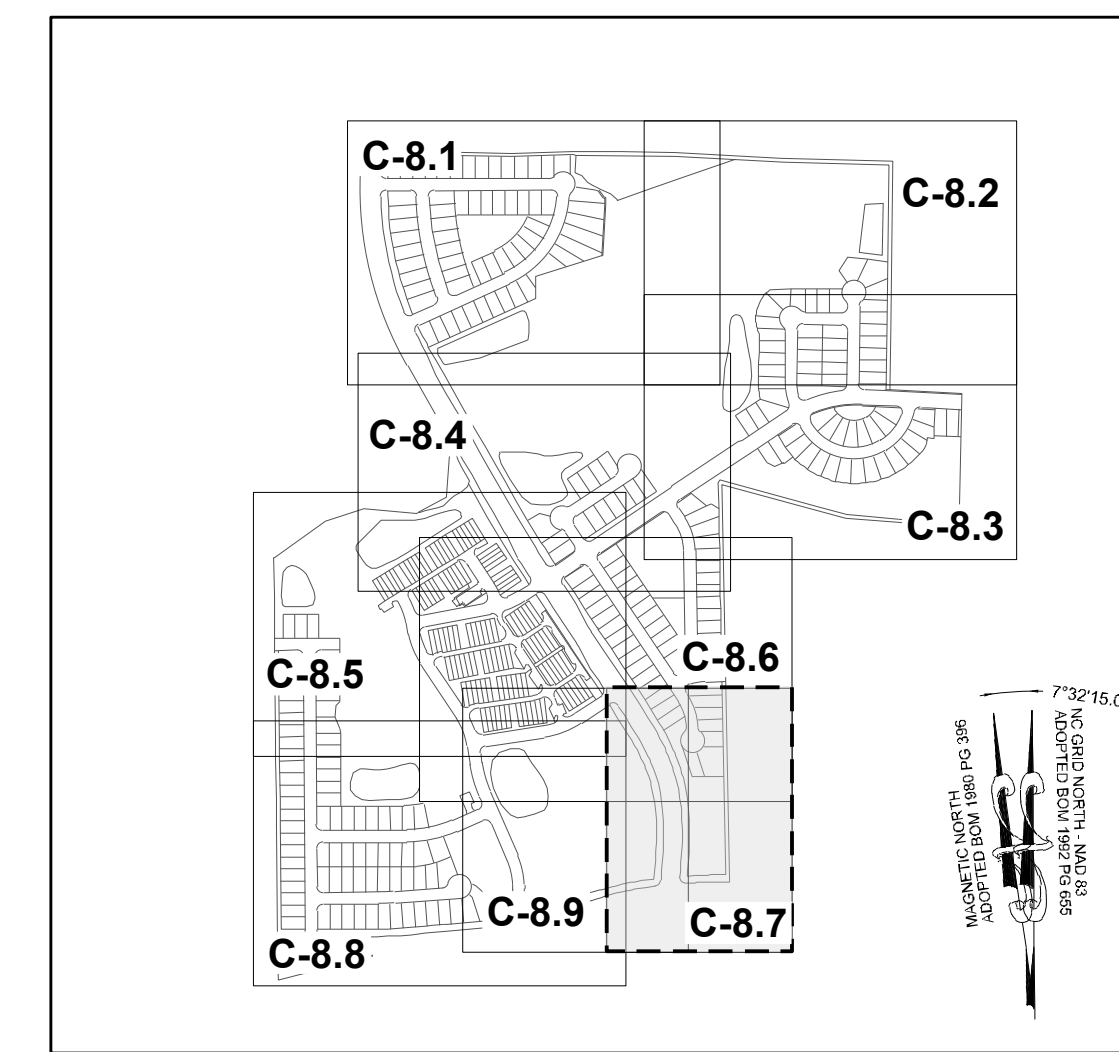
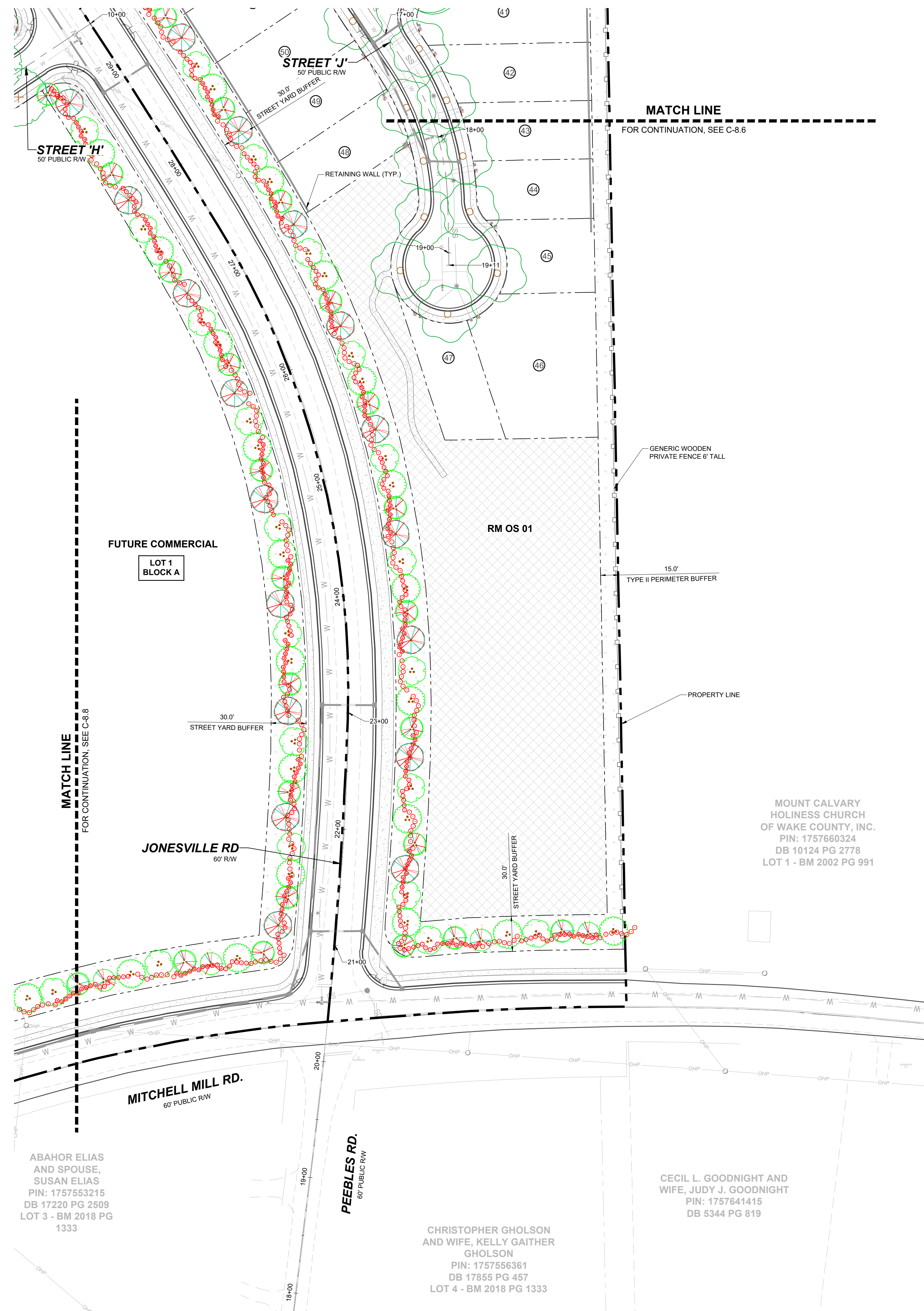
STRONG ROCK PROJECT	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
PSP-24-03	AS SHOWN	JWL	SRG	JWL

RESERVE @ MITCHELL MILL  
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
 PRELIMINARY SUBDIVISION PLAT  
 PARTIAL UTILITY PLAN VI

DRAWING SHEET  
**C-8.6**  
 59 OF 76

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**SITE KEY PLAN**

**LEGEND:**

SEE SHEET C-8.0 FOR LEGEND.

NO.	REVISIONS	DATE	BY
01			
02			
03			

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ENGINEERING GROUP

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STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166

STRONG ROCK PROJECT	PSP-24-03
NOT FOR CONSTRUCTION	
SCALE	AS SHOWN
DESIGNED BY	JWL
DRAWN BY	SRG
CHECKED BY	JWL

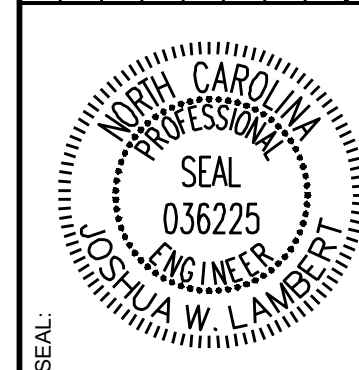
**RESERVE @ MITCHELL MILL**  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
**PRELIMINARY SUBDIVISION PLAT**  
**PARTIAL LANDSCAPE PLAN VII**

**DRAWING SHEET**  
**C-8.7**

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NO.	REVISIONS	DATE	BY
01			
02			
03			



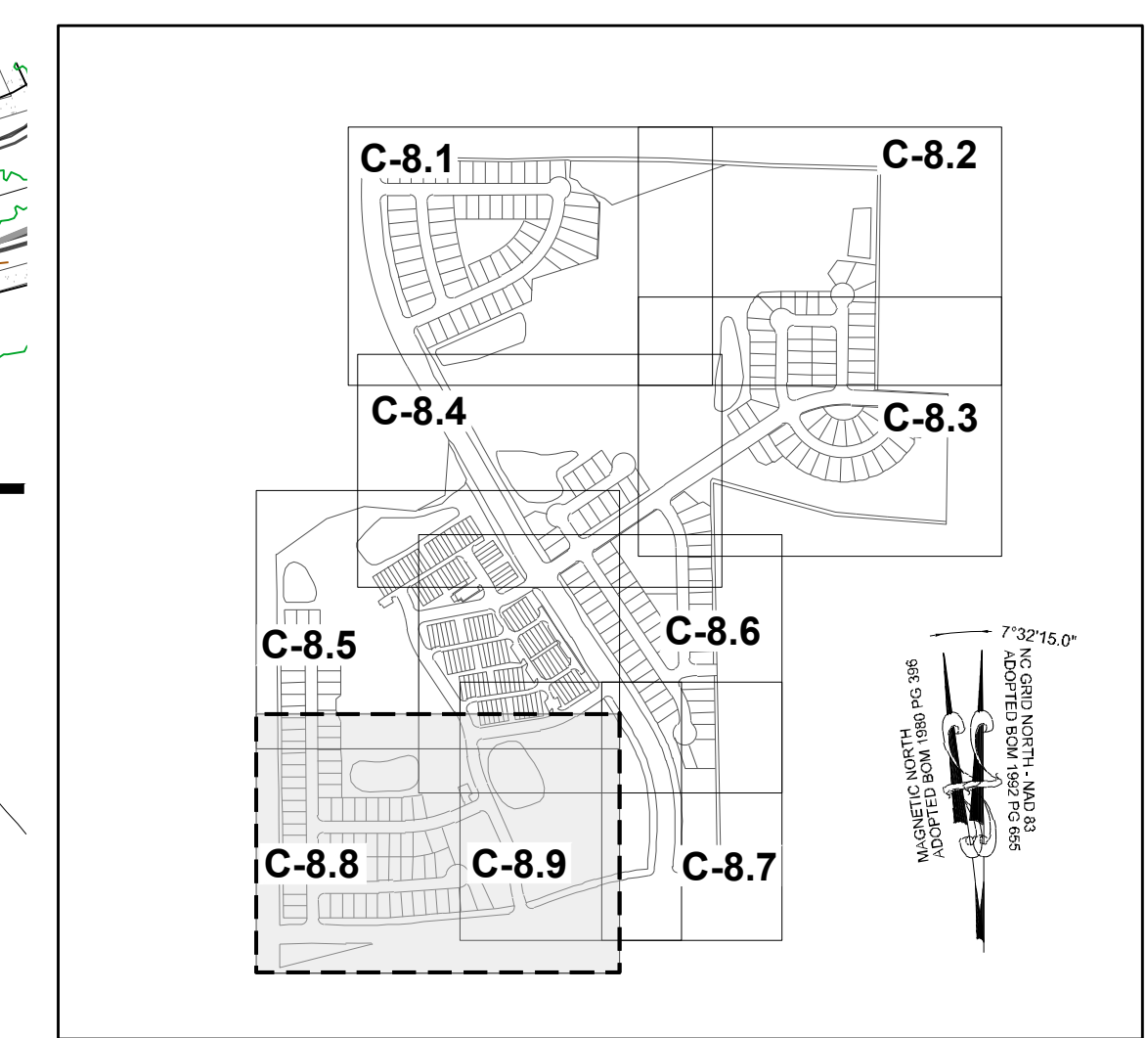
**STRONGROCK**  
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305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

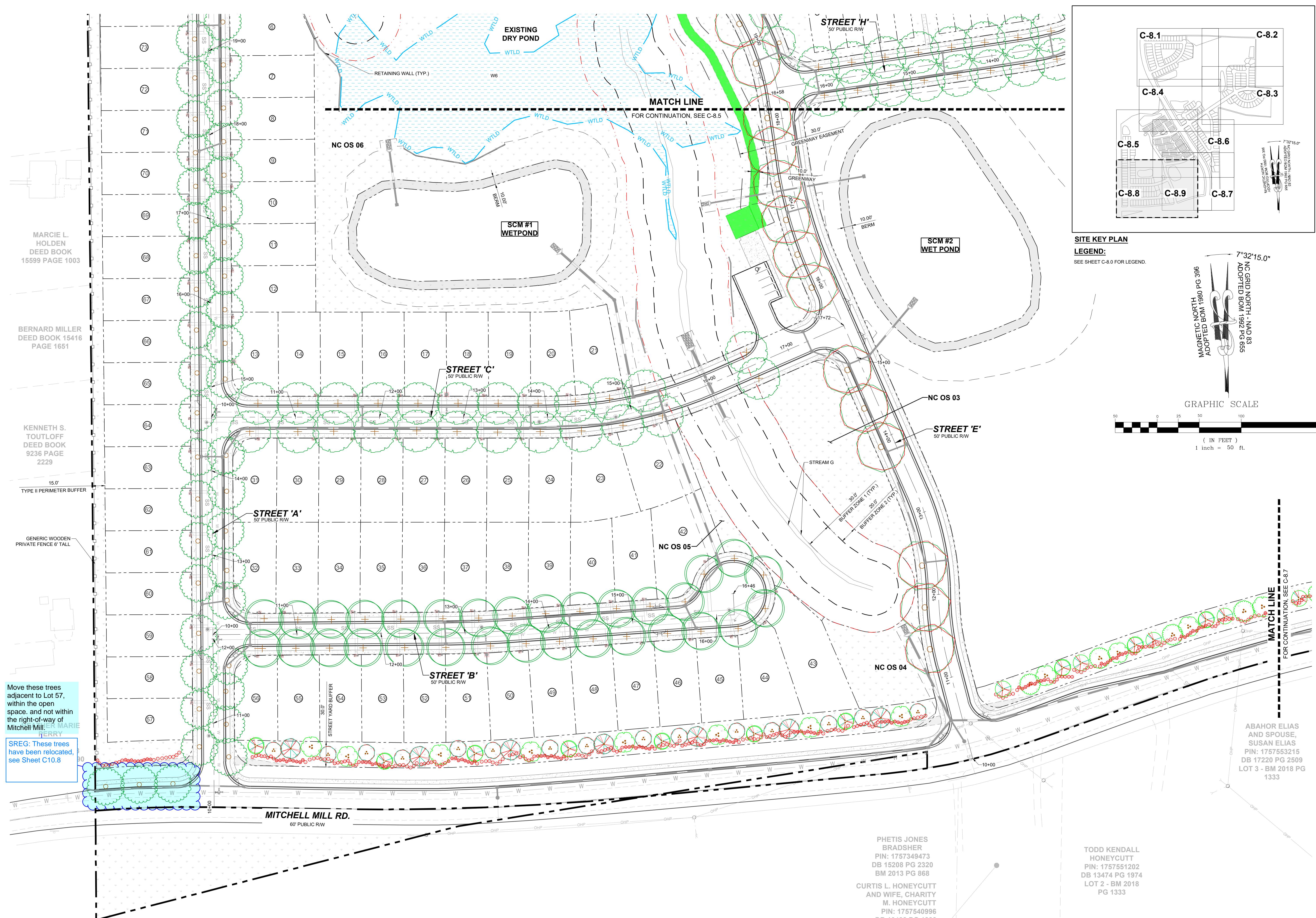
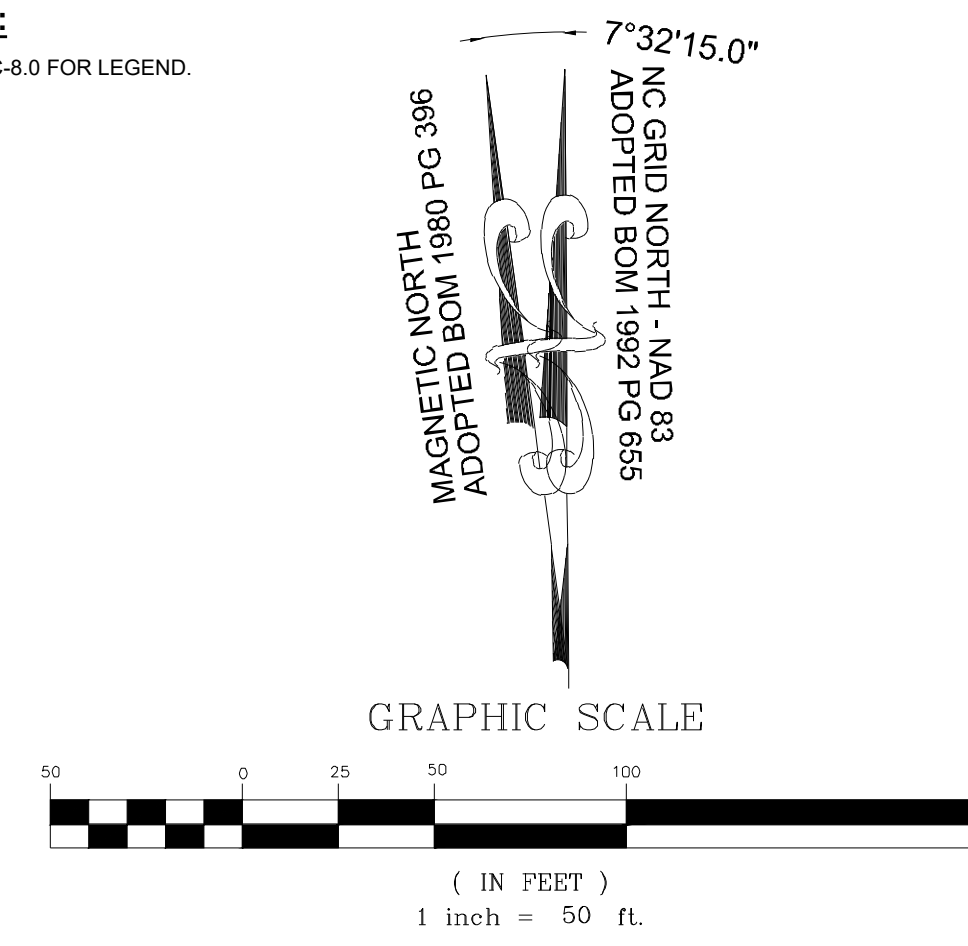
STRONG ROCK PROJECT PSP-23-03	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL
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RESERVE @ MITCHELL MILL  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
PRELIMINARY SUBDIVISION PLAT  
PARTIAL LANDSCAPE PLAN VIII

DRAWING SHEET  
**C-8.8**



**SITE KEY PLAN**  
LEGEND:  
SEE SHEET C-8.0 FOR LEGEND.



MARCI L. HOLDEN DEED BOOK 15599 PAGE 1003

BERNARD MILLER DEED BOOK 15416 PAGE 1651

KENNETH S. TOUTLOFF DEED BOOK 9236 PAGE 2229

Move these trees adjacent to Lot 57, within the open space, and not within the right-of-way of Mitchell Mill.

SREG: These trees have been relocated, see Sheet C10.8

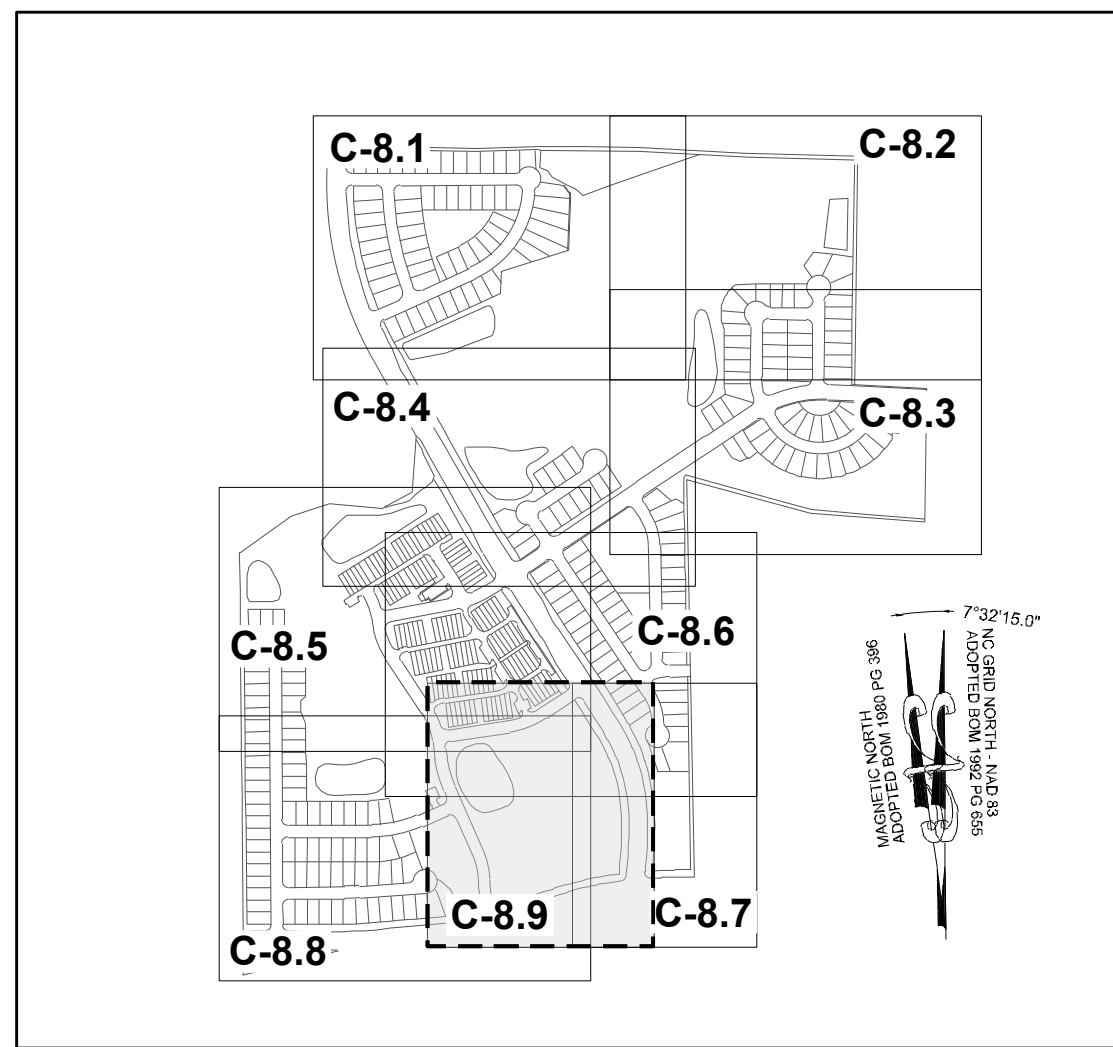
PHETIS JONES BRADSHER  
PIN: 1757349473  
DB 15208 PG 2320  
BM 2013 PG 868

TODD KENDALL HONEYCUTT  
PIN: 1757551202  
DB 13474 PG 1974  
LOT 2 - BM 2018 PG 1333

CURTIS L. HONEYCUTT AND WIFE, CHARITY M. HONEYCUTT  
PIN: 1757540996  
DB 10488 PG 1888  
LOT 1 - BM 2018 PG 1333

ABAHOR ELIAS AND SPOUSE, SUSAN ELIAS  
PIN: 1757553215  
DB 17220 PG 2509  
LOT 3 - BM 2018 PG 1333





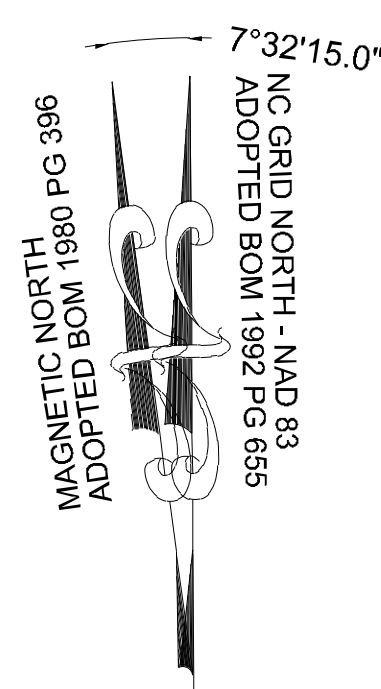
**SITE KEY PLAN**

**LEGEND:**

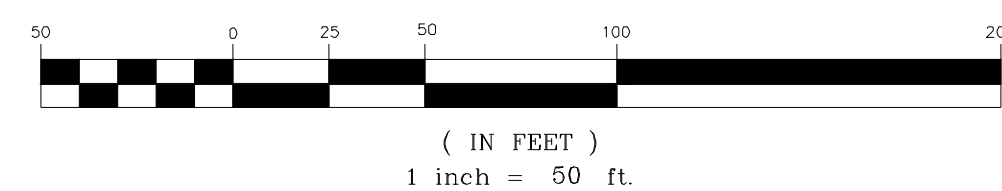
SEE SHEET C-8.0 FOR LEGEND.

**TOWNHOME NOTES:**

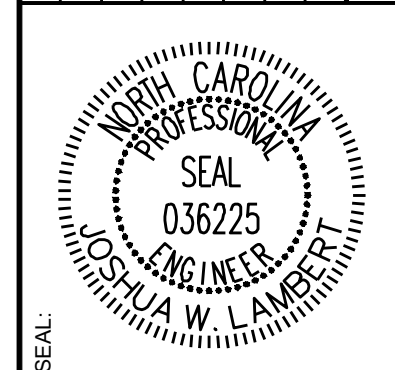
STATES INTERNAL TOWNHOME DRIVEWAYS ARE PRIVATE EASEMENTS AS PER CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT



**GRAPHIC SCALE**



NO.	REVISIONS	DATE	BY
01			
02			
03			



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STRONG ROCK PROJECT	STRONG ROCK PROJECT
PSP-24-03	PSP-24-03
NOT FOR CONSTRUCTION	NOT FOR CONSTRUCTION
SCALE AS SHOWN	SCALE AS SHOWN
DESIGNED BY JWL	DESIGNED BY JWL
DRAWN BY SRG	DRAWN BY SRG
CHECKED BY JWL	CHECKED BY JWL

RESERVE @ MITCHELL MILL  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
PRELIMINARY SUBDIVISION PLAT  
PARTIAL LANDSCAPE PLAN IX

DRAWING SHEET  
**C-8.9**

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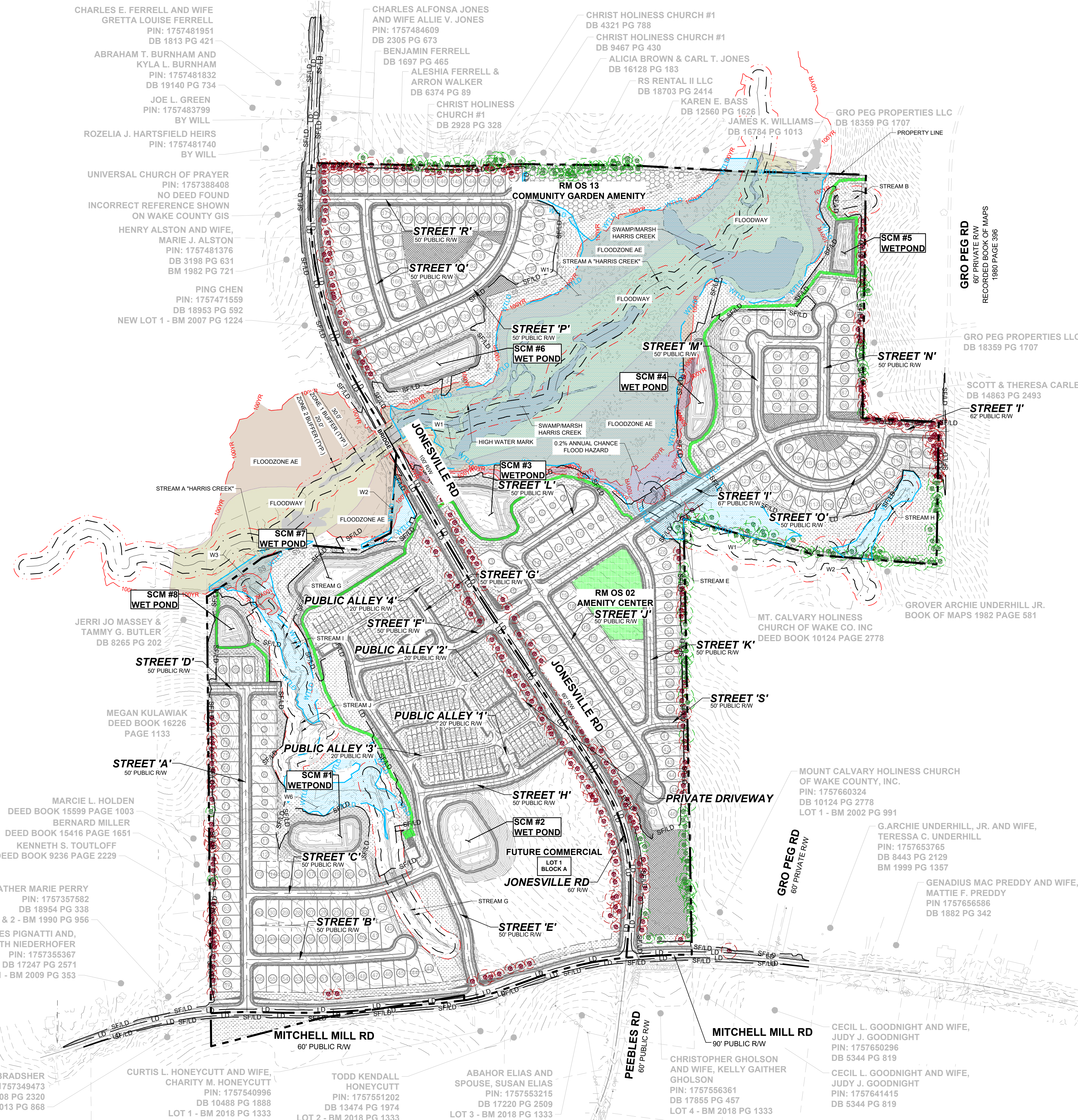
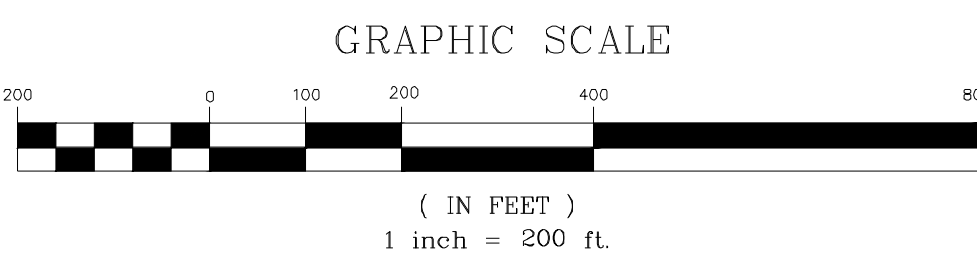
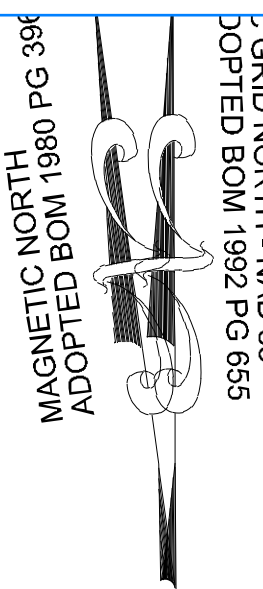


**NOTE:**  
THE CRITICAL ROOT ZONES (CRZ) SHALL REMAIN FREE OF ALL BUILDING MATERIALS, REFUSE, AND DEBRIS.

**LEGEND:**  
● TREES WILL BE PRESERVED  
○ TREES WILL BE REMOVED  
○ CRZ FOR TREES WILL BE PRESERVED  
○ CRZ FOR TREES WILL BE REMOVED  
— LD — LIMIT OF DISTURBANCE  
— SF/LD — SILT FENCE/LIMIT OF DISTURBANCE

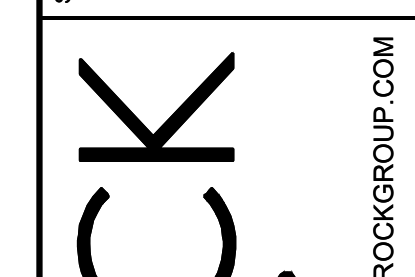
Please Label TPF. Current fencing is unclear. Silt fencing encroaches into CRZ of several trees identified as preserved.

SREG: Tree protection fence has been labeled. The silt fence encroaches into the CRZ by no more than 25% which is allowable as per LDO 6.2.4.5.B.11.



ISREG	DATE	BY
08/01/2023		
12/05/2023		
03/07/2024		

PRELIMINARY SUBDIVISION PLAT P-24-03  
TOWN OF ROLESVILLE COMMENTS P-24-03  
TOWN OF ROLESVILLE COMMENTS P-24-03



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305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

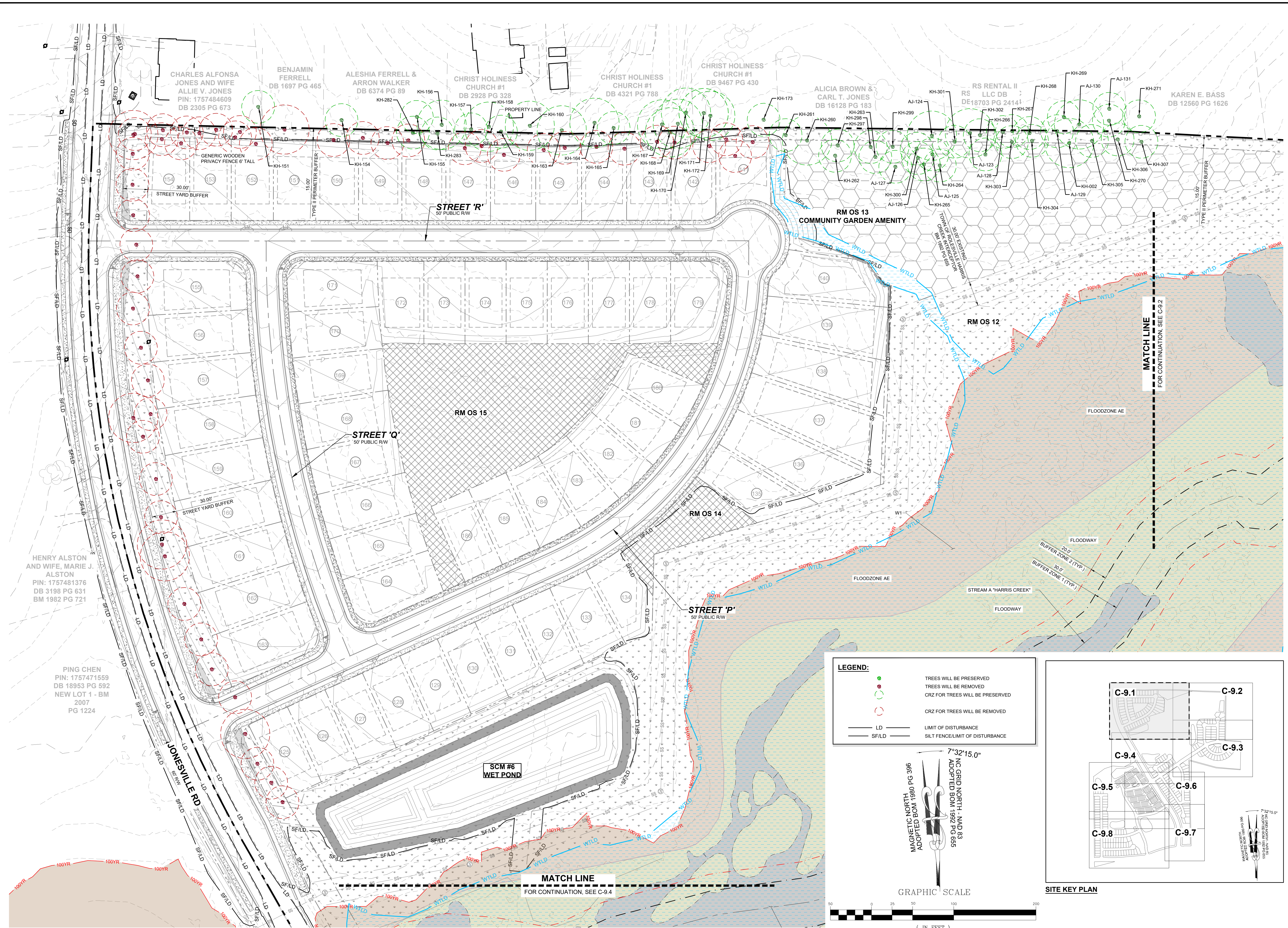
STRONG ROCK PROJECT	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
NOT FOR CONSTRUCTION	AS SHOWN	JWL	JWL	JWL

RESERVE @ MITCHELL MILL  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
PRELIMINARY SUBDIVISION PLAT  
OVERALL PRESERVATION PLAN

DRAWING SHEET  
**C-9.0**

THIS PLANSET AND ANY ASSOCIATED DOCUMENTS ARE PRELIMINARY AND NOT AUTHORIZED FOR CONSTRUCTION UNTIL SIGNED, DATED, AND OFFICIALLY RELEASED FOR CONSTRUCTION BY THE ENGINEER OF RECORD.





**LEGEND:**

- GREEN ● TREES WILL BE PRESERVED
- GREEN ○ TREES WILL BE REMOVED
- RED ○ CRZ FOR TREES WILL BE PRESERVED
- RED ○ CRZ FOR TREES WILL BE REMOVED
- LD — LIMIT OF DISTURBANCE
- SF/LD — SILT FENCE LIMIT OF DISTURBANCE

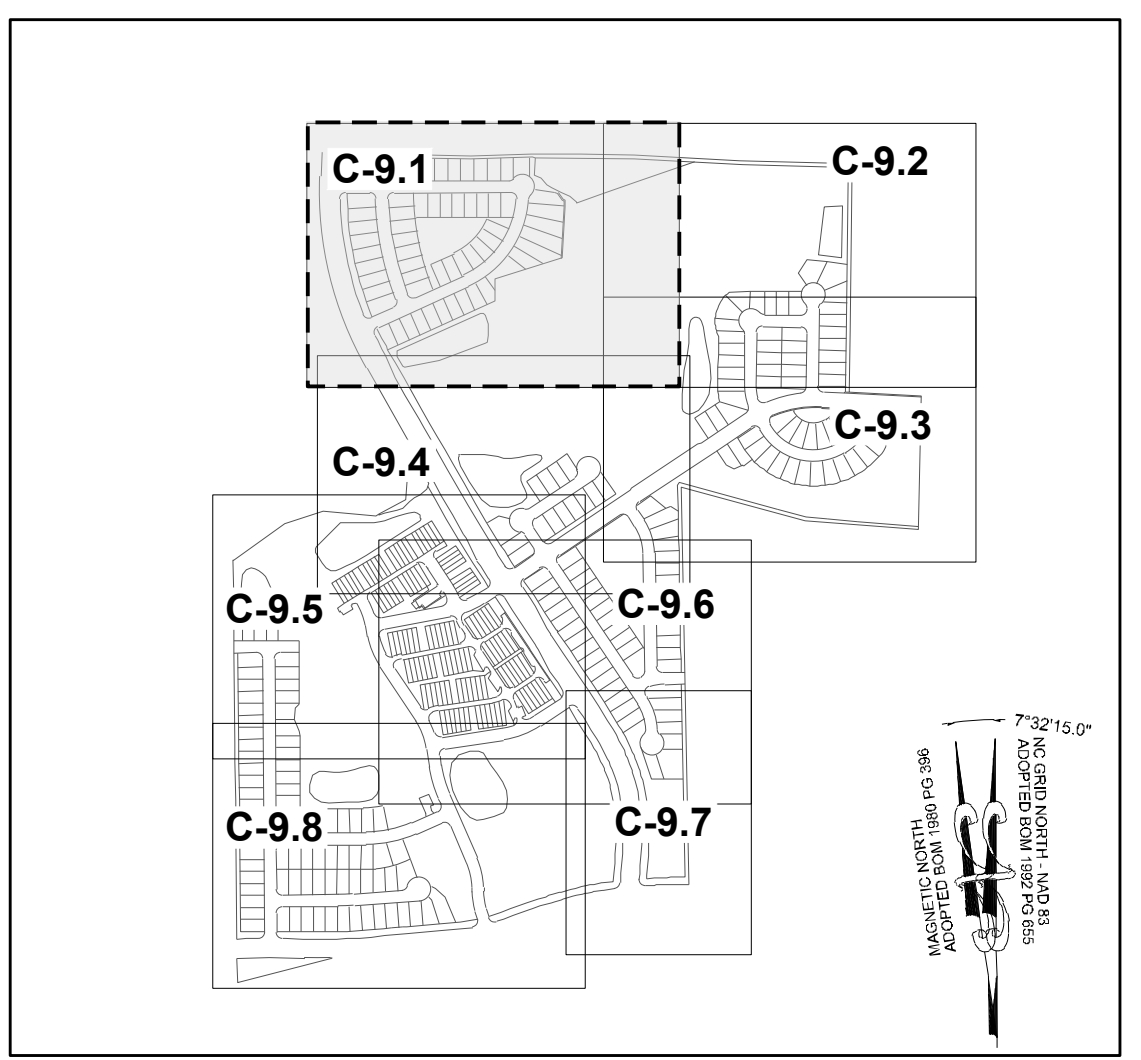
**GRAPHIC SCALE**

MAGNETIC NORTH  
ADOPTED BOM 1980 PG 396

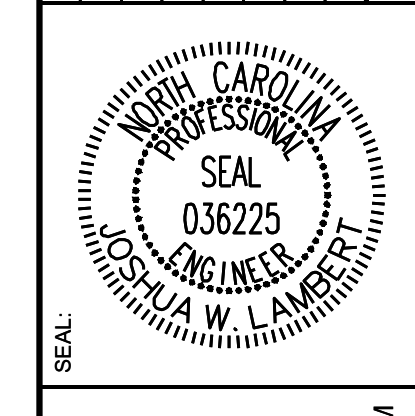
GRID NORTH - NAD 83  
ADOPTED BOM 1992 PG 695

7°32'15.0"

( IN FEET )  
1 inch = 50 ft.



NO.	REVISIONS	DATE	BY
01			
02			
03			



**STRONGROCK ENGINEERING GROUP**

STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166  
305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT P-24-03	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL
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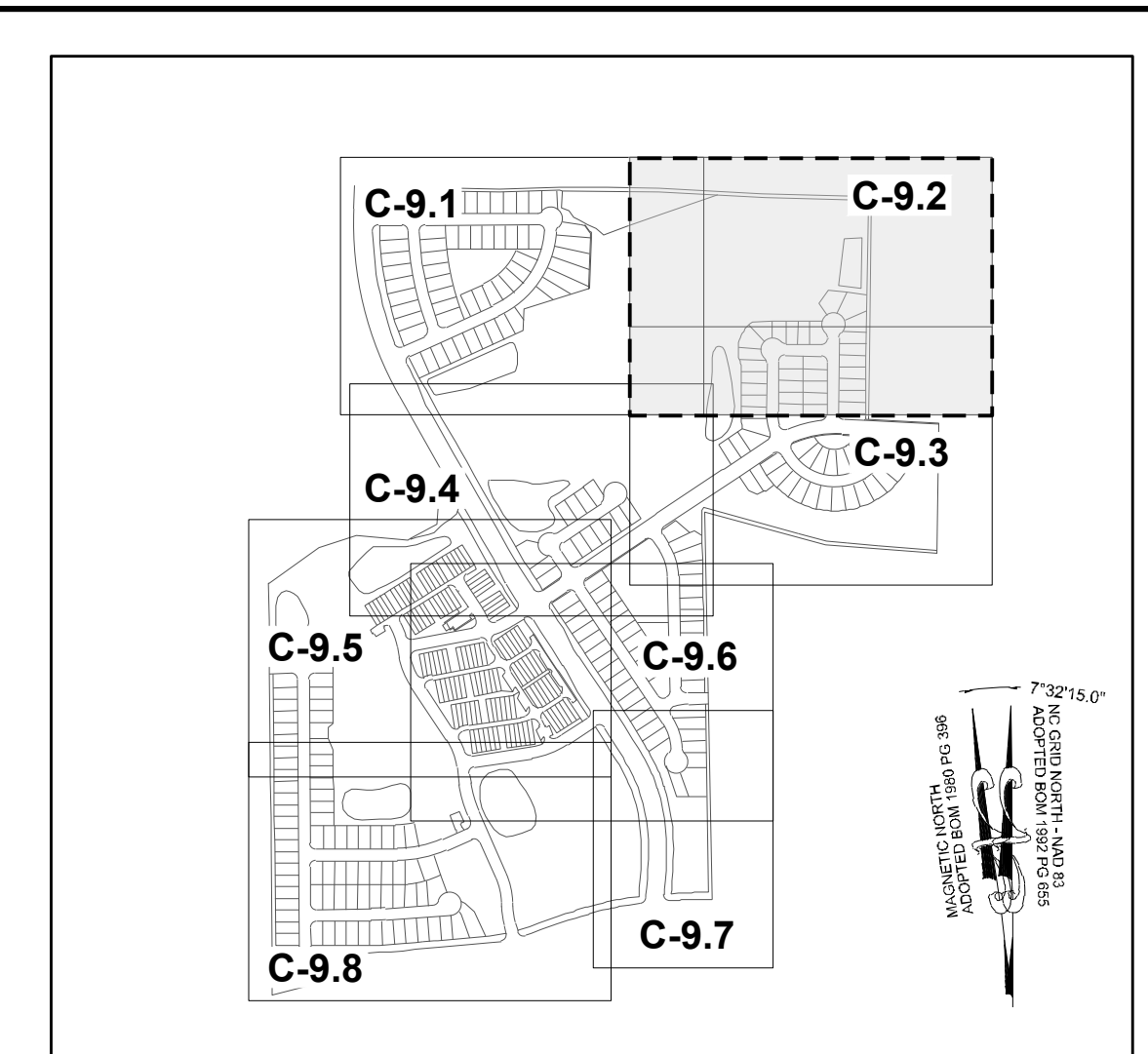
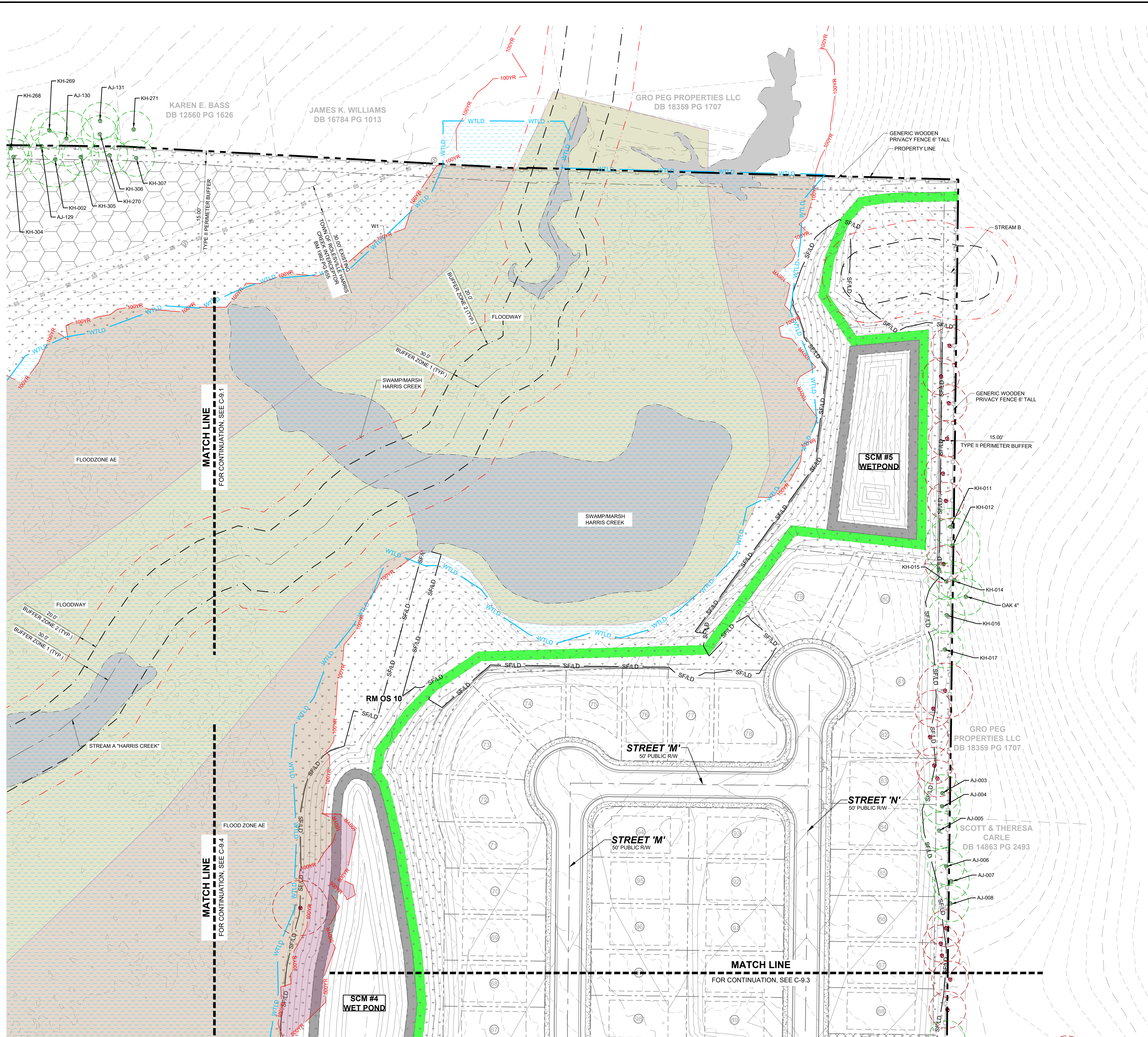
**RESERVE @ MITCHELL MILL**  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
PRELIMINARY SUBDIVISION PLAT  
PRESERVATION PLAN I

**DRAWING SHEET**  
C-9.1

**64 OF 76**

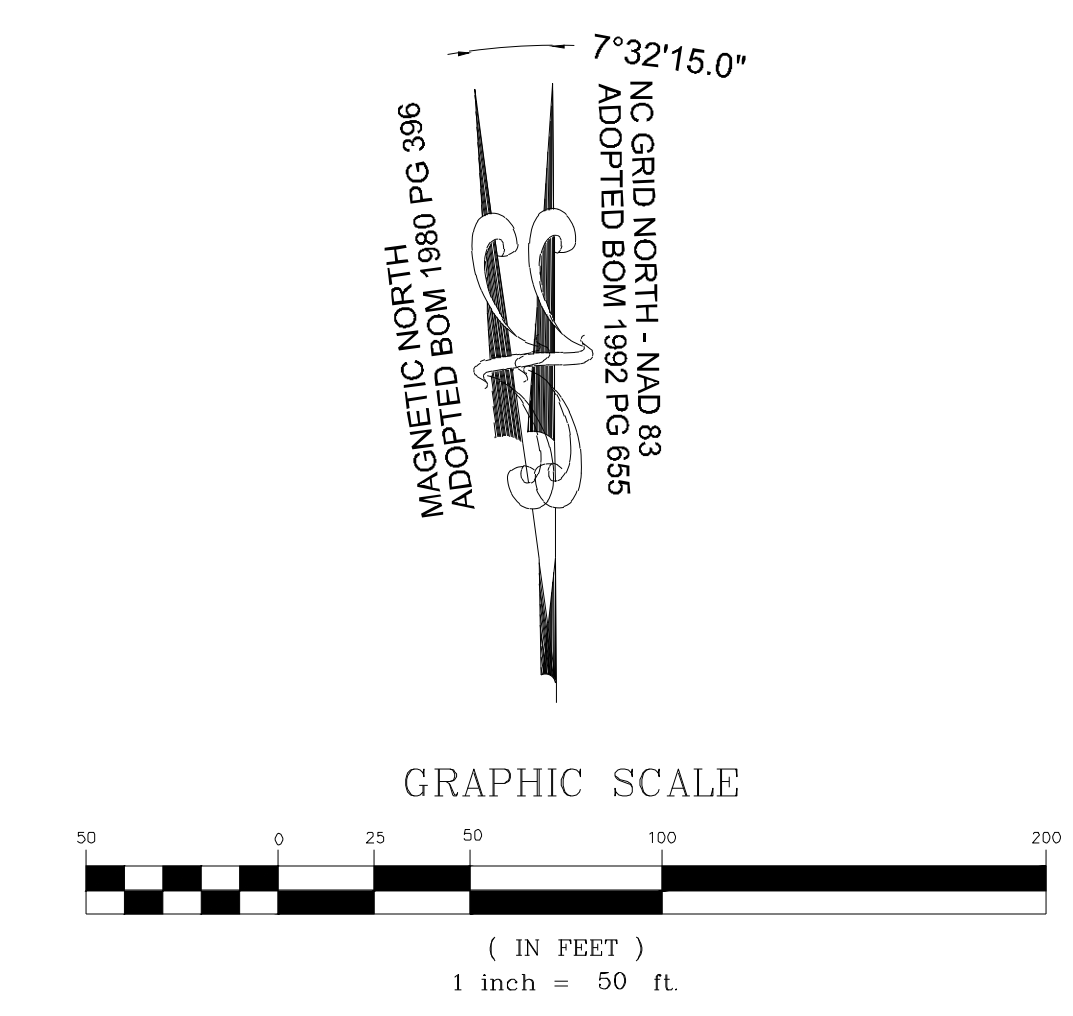
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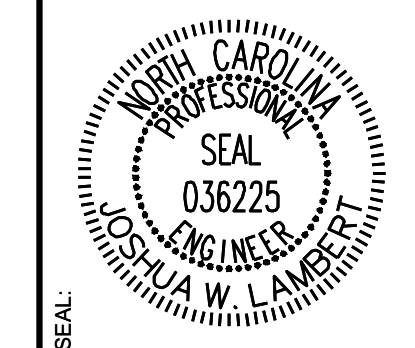


**LEGEND:**

- TREES WILL BE PRESERVED
- TREES WILL BE REMOVED
- CRZ FOR TREES WILL BE PRESERVED
- CRZ FOR TREES WILL BE REMOVED
- LD — LIMIT OF DISTURBANCE
- SF/LD — SILT FENCE/LIMIT OF DISTURBANCE



NO.	REVISIONS	DATE	BY
01	PRELIMINARY SUBDIVISION PLAT P-24-03	08/01/2023	SRG
02	TOWN OF ROLESVILLE COMMENTS P-24-03	12/05/2023	SRG
03	TOWN OF ROLESVILLE COMMENTS P-24-03	03/01/2024	SRG



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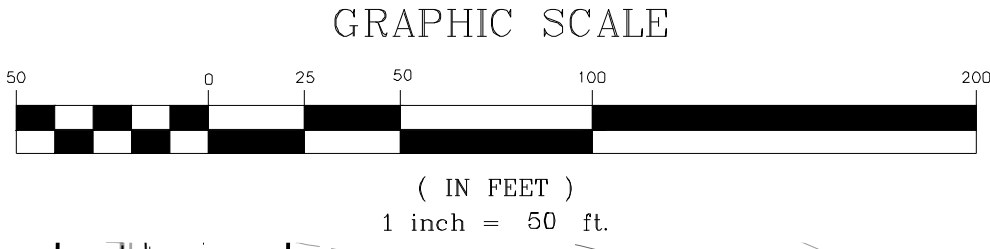
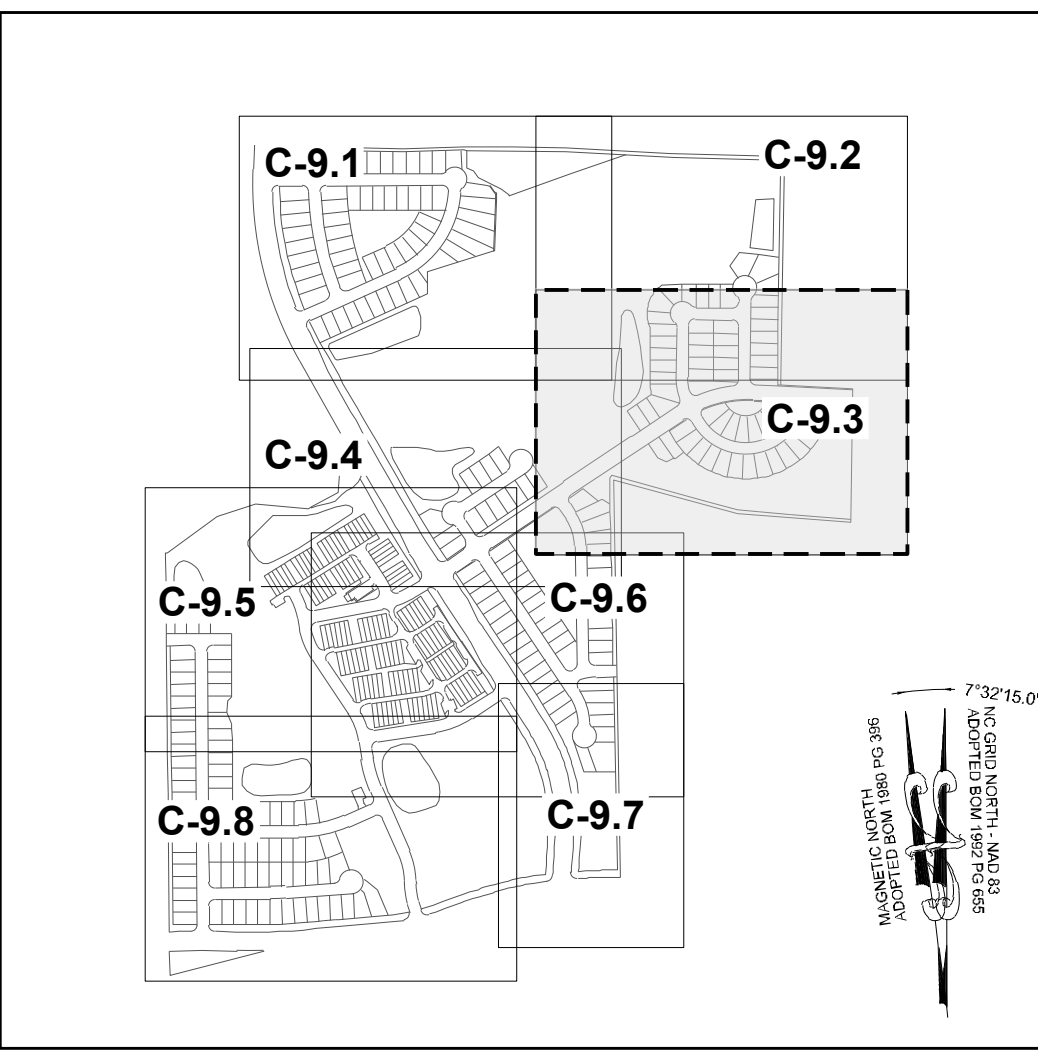
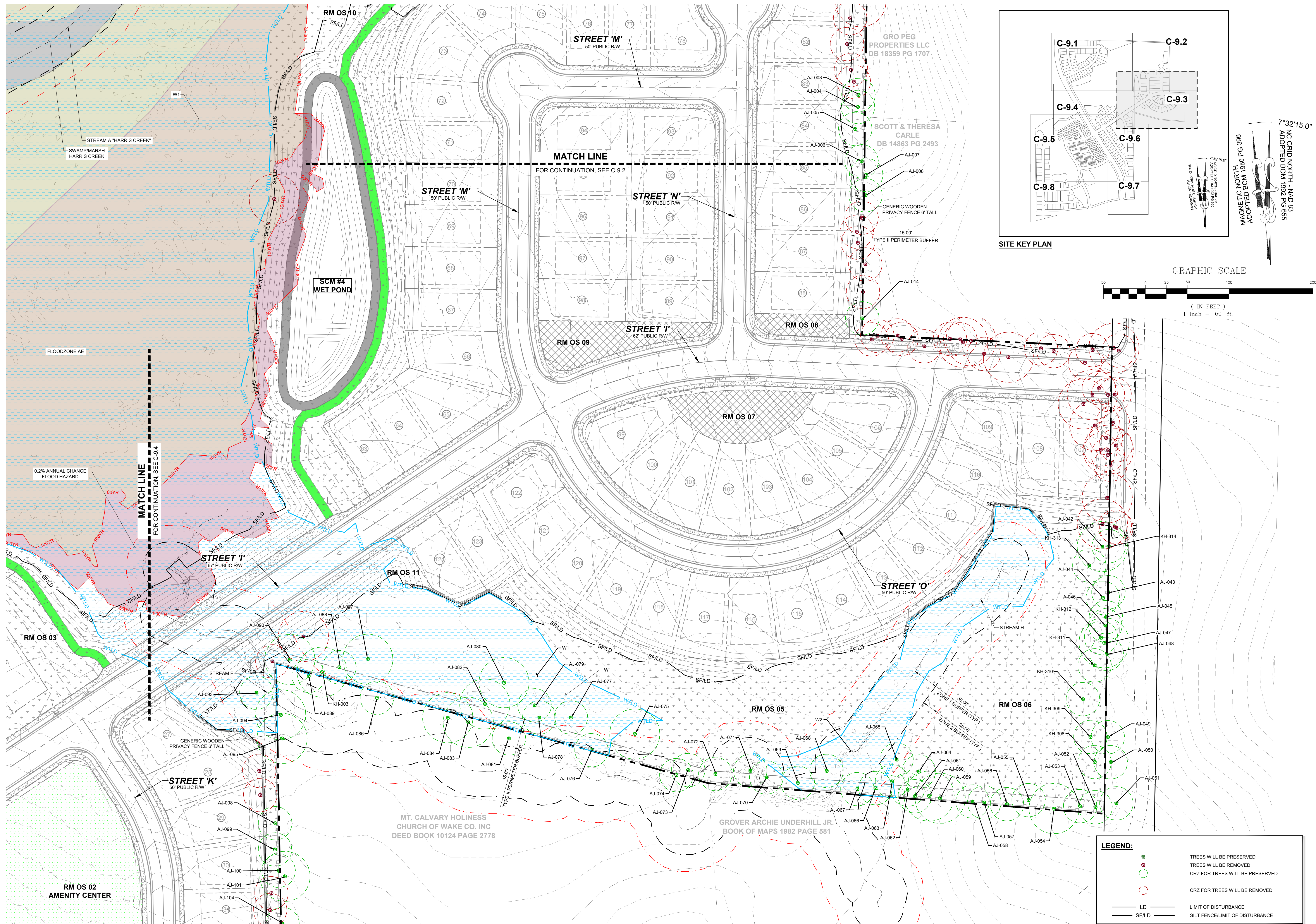
STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL
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RESERVE @ MITCHELL MILL  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
PRELIMINARY SUBDIVISION PLAT  
PRESERVATION PLAN II

DRAWING SHEET  
**C-9.2**

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NO.	REVISIONS	DATE	BY
01			
02			
03			

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STRONG ROCK PROJECT	JWL
PSP-24-03	SRG
NOT FOR CONSTRUCTION	JWL
SCALE AS SHOWN	JWL
DESIGNED BY	JWL
DRAWN BY	JWL
CHECKED BY	JWL

RESERVE @ MITCHELL MILL  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
PRELIMINARY SUBDIVISION PLAT  
PRESERVATION PLAN III

DRAWING SHEET  
**C-9.3**

**LEGEND:**

	TREES WILL BE PRESERVED
	TREES WILL BE REMOVED
	CRZ FOR TREES WILL BE PRESERVED
	CRZ FOR TREES WILL BE REMOVED
	LD - LIMIT OF DISTURBANCE
	SF/LD - SILT FENCE/LIMIT OF DISTURBANCE

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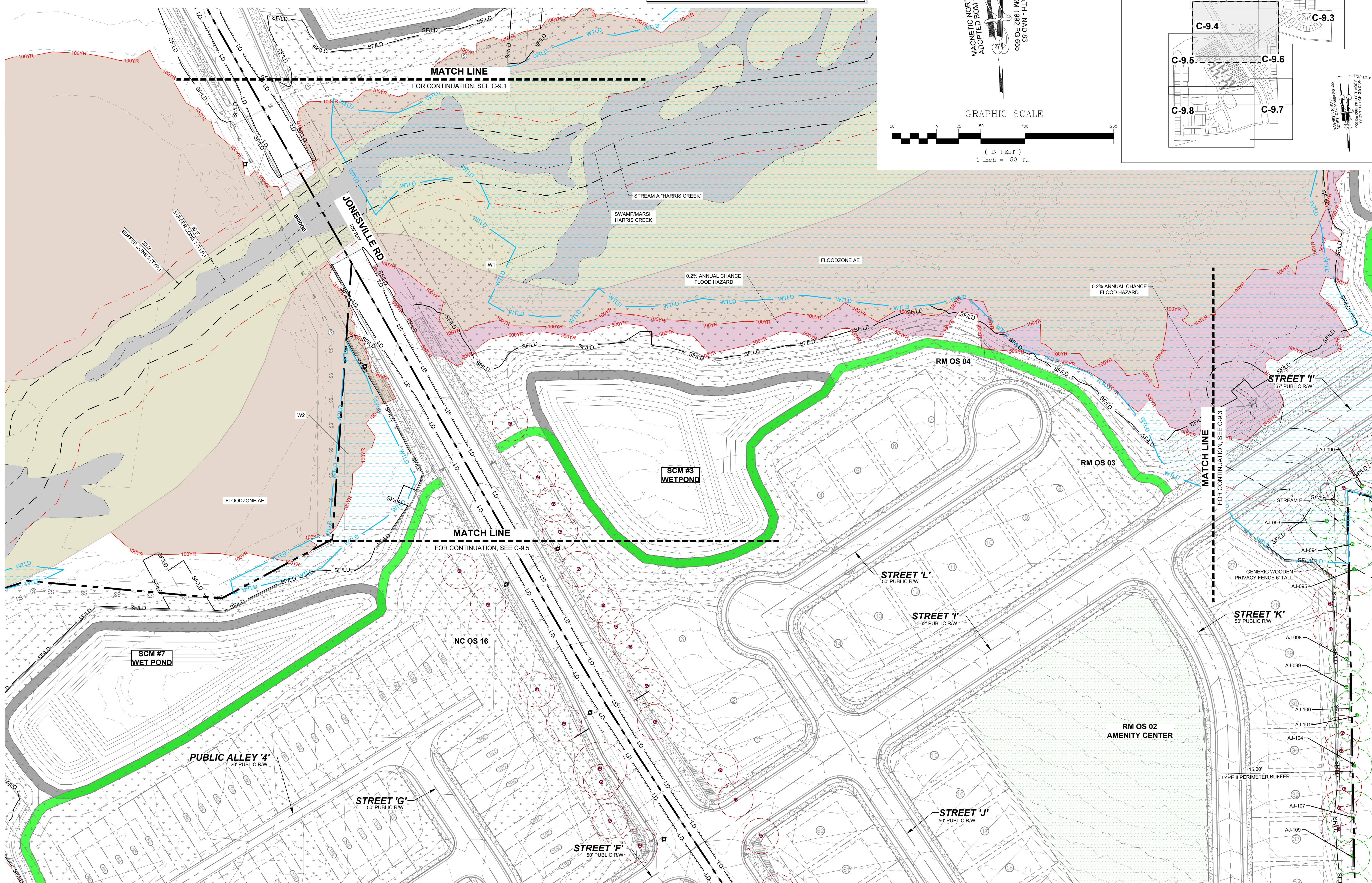
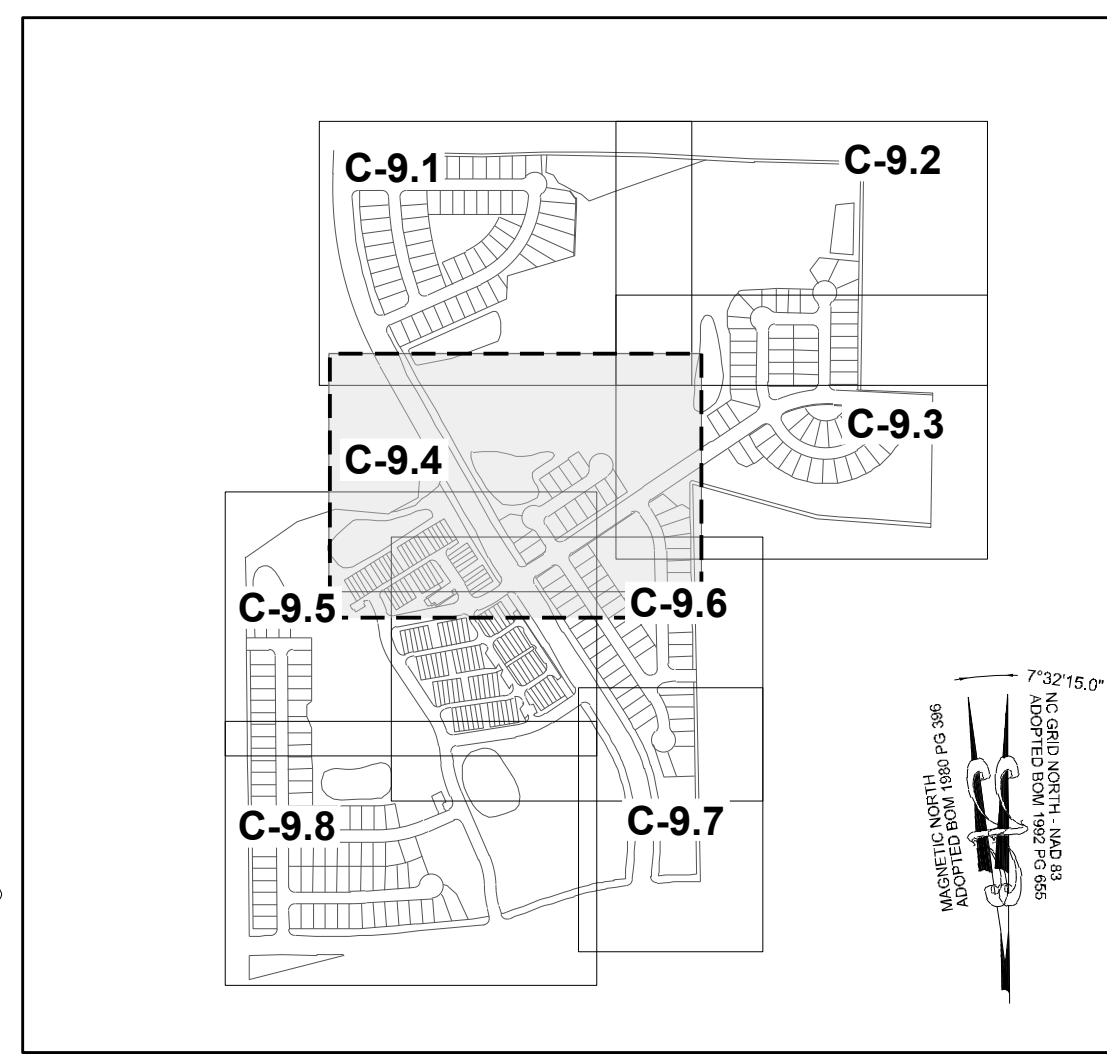
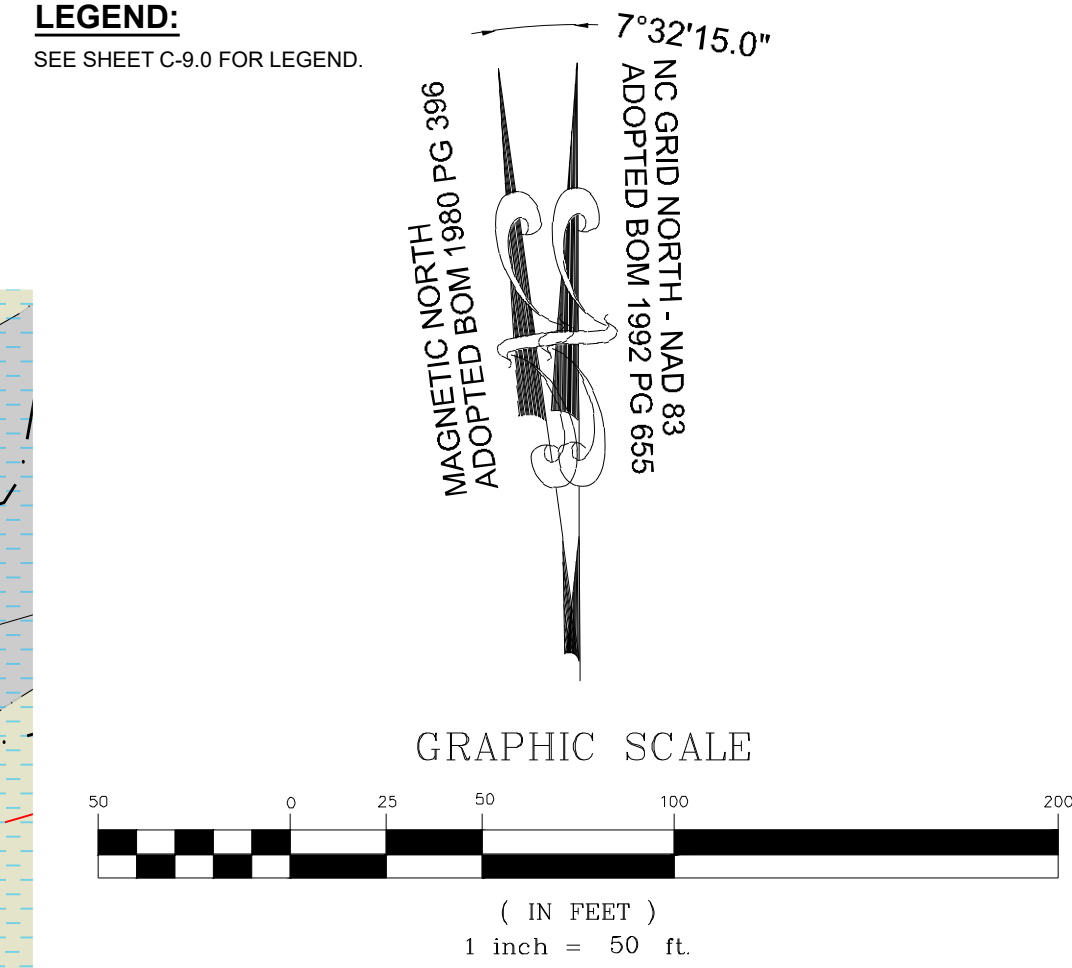


**LEGEND:**

- TREES WILL BE PRESERVED
- TREES WILL BE REMOVED
- CRZ FOR TREES WILL BE PRESERVED
- CRZ FOR TREES WILL BE REMOVED
- LD — LIMIT OF DISTURBANCE
- SF/LD — SILT FENCE/LIMIT OF DISTURBANCE

**SITE KEY PLAN**

LEGEND:  
SEE SHEET C-9.0 FOR LEGEND.



NO.	REVISIONS	DATE	BY
01			
02			
03			

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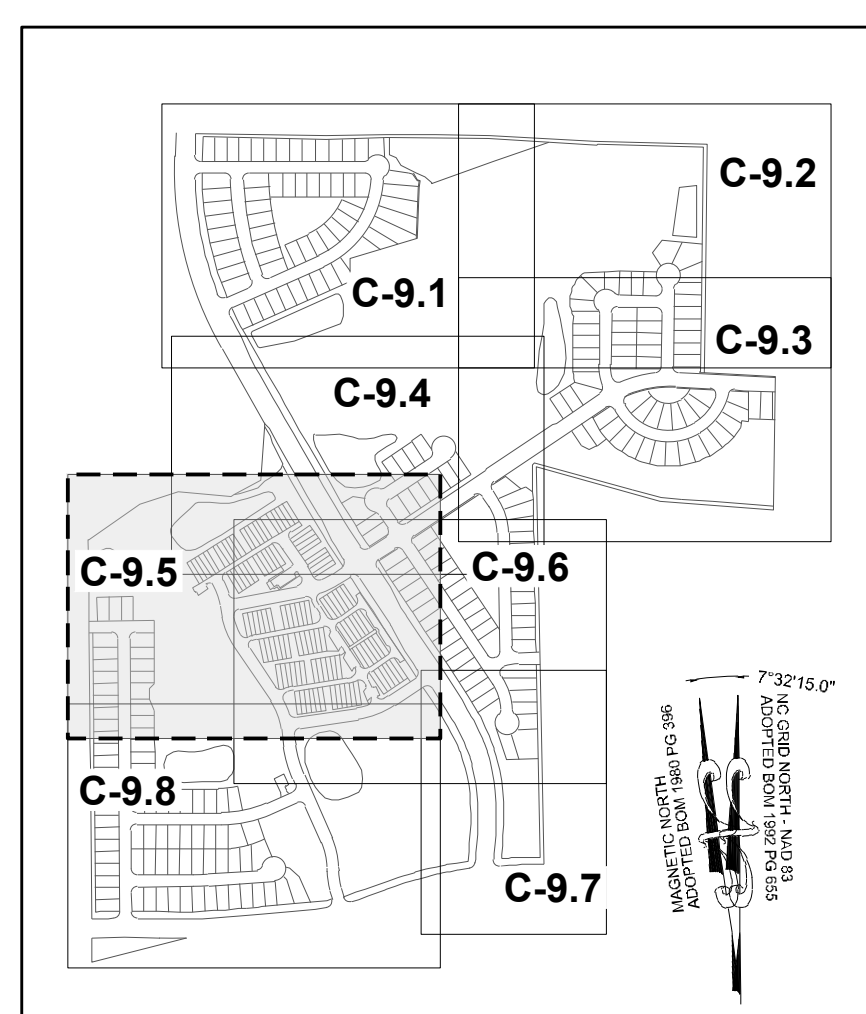
STRONG ROCK PROJECT P-24-03	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL
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RESERVE @ MITCHELL MILL  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
PRELIMINARY SUBDIVISION PLAT  
PRESERVATION PLAN IV

DRAWING SHEET  
**C-9.4**

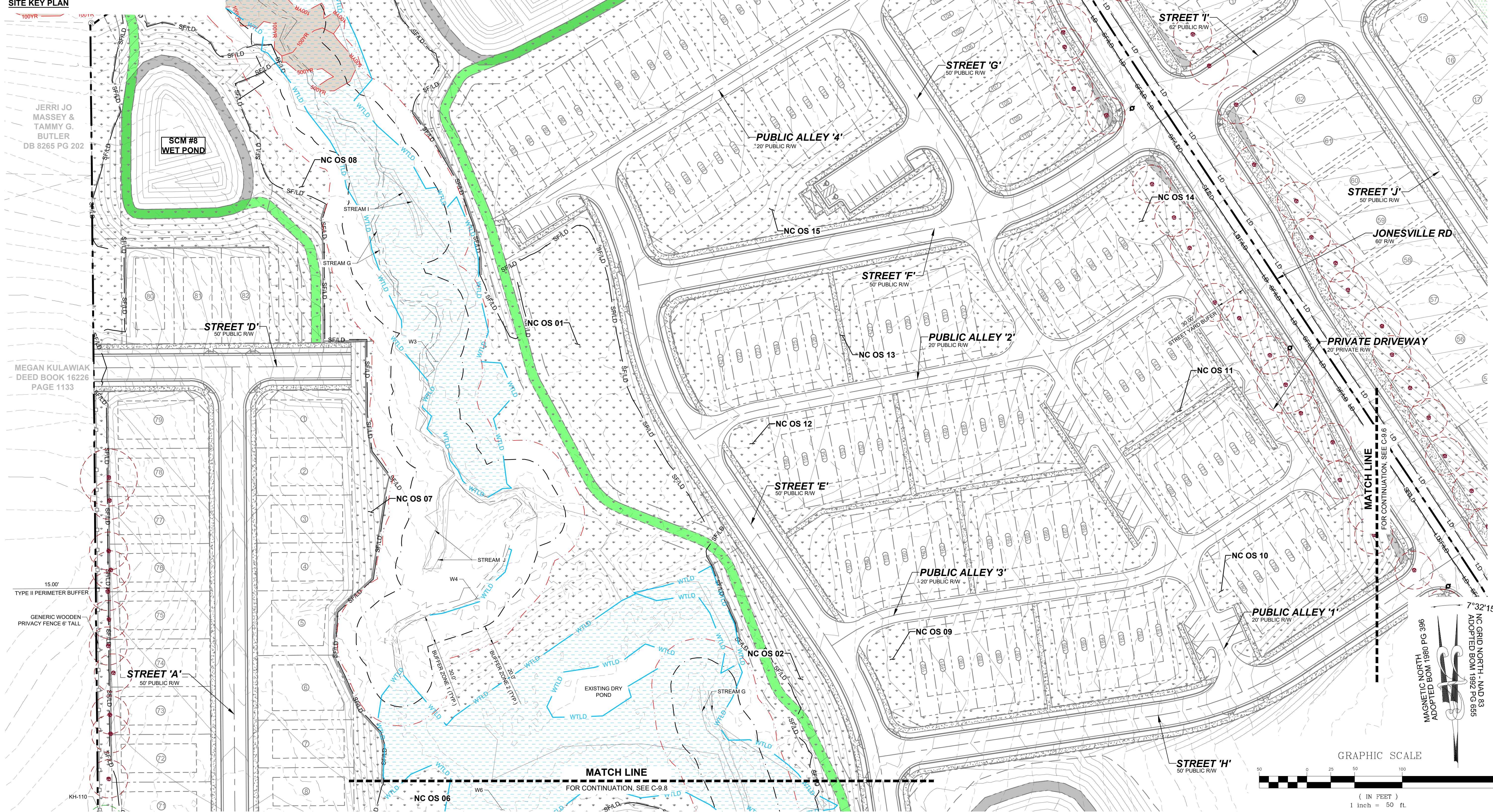
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**LEGEND:**

- TREES WILL BE PRESERVED
- TREES WILL BE REMOVED
- CRZ FOR TREES WILL BE PRESERVED
- CRZ FOR TREES WILL BE REMOVED
- LD — LIMIT OF DISTURBANCE
- SF/LD — SILT FENCE LIMIT OF DISTURBANCE



SITE KEY PLAN

JERRI JO MASSEY & TAMMY G. BUTLER  
DB 8265 PG 202

MEGAN KULAWIAK  
DEED BOOK 16226  
PAGE 1133

15.00'  
TYPE II PERIMETER BUFFER

GENERIC WOODEN PRIVACY FENCE 6' TALL

STREET 'A'  
50' PUBLIC RW

STREET 'D'  
50' PUBLIC RW

SCM #8  
WET POND

SCM #7  
WET POND

PUBLIC ALLEY '4'  
20' PUBLIC RW

STREET 'G'  
50' PUBLIC RW

STREET 'I'  
62' PUBLIC RW

STREET 'J'  
50' PUBLIC RW

JONESVILLE RD  
60' RW

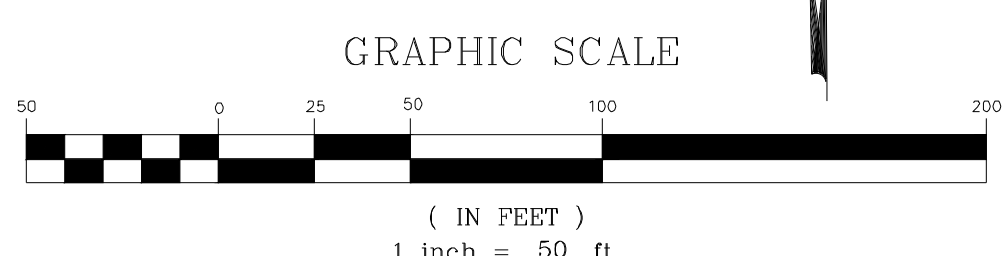
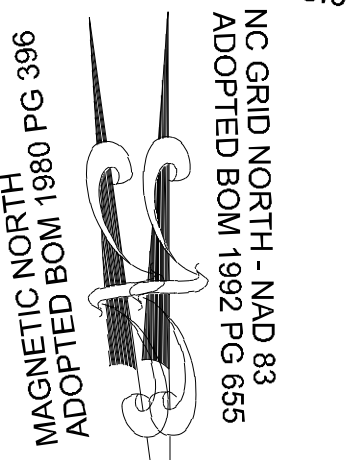
PRIVATE DRIVEWAY  
20' PRIVATE RW

STREET 'H'  
50' PUBLIC RW

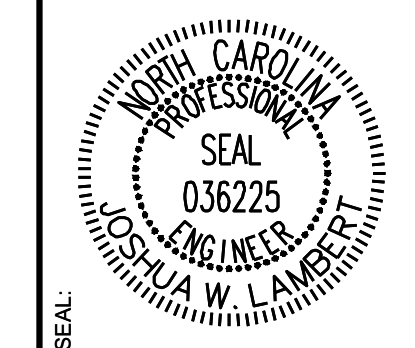
MATCH LINE  
FOR CONTINUATION, SEE C-9.8

MATCH LINE  
FOR CONTINUATION, SEE C-9.4

MATCH LINE  
FOR CONTINUATION, SEE C-9.6



NO.	REVISIONS	DATE	BY
01			
02			
03			



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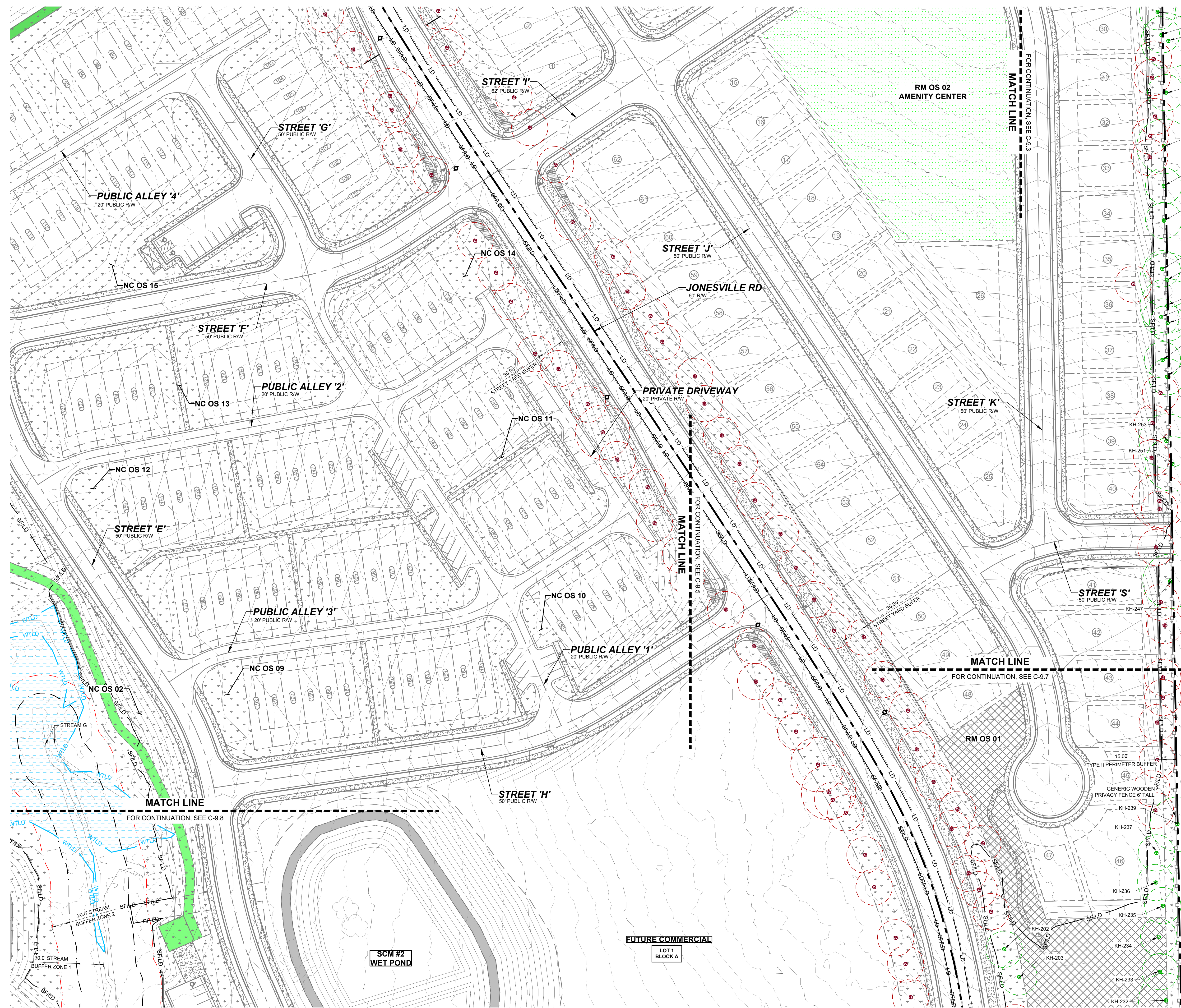
STRONG ROCK PROJECT	STRONG ROCK PROJECT
PSP-24-03	PSP-24-03
NOT FOR CONSTRUCTION	NOT FOR CONSTRUCTION
SCALE AS SHOWN	SCALE AS SHOWN
DESIGNED BY JWL	DESIGNED BY JWL
DRAWN BY SRG	DRAWN BY SRG
CHECKED BY JWL	CHECKED BY JWL

RESERVE @ MITCHELL MILL  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
PRELIMINARY SUBDIVISION PLAT  
PRESERVATION PLAN V

DRAWING SHEET  
**C-9.5**

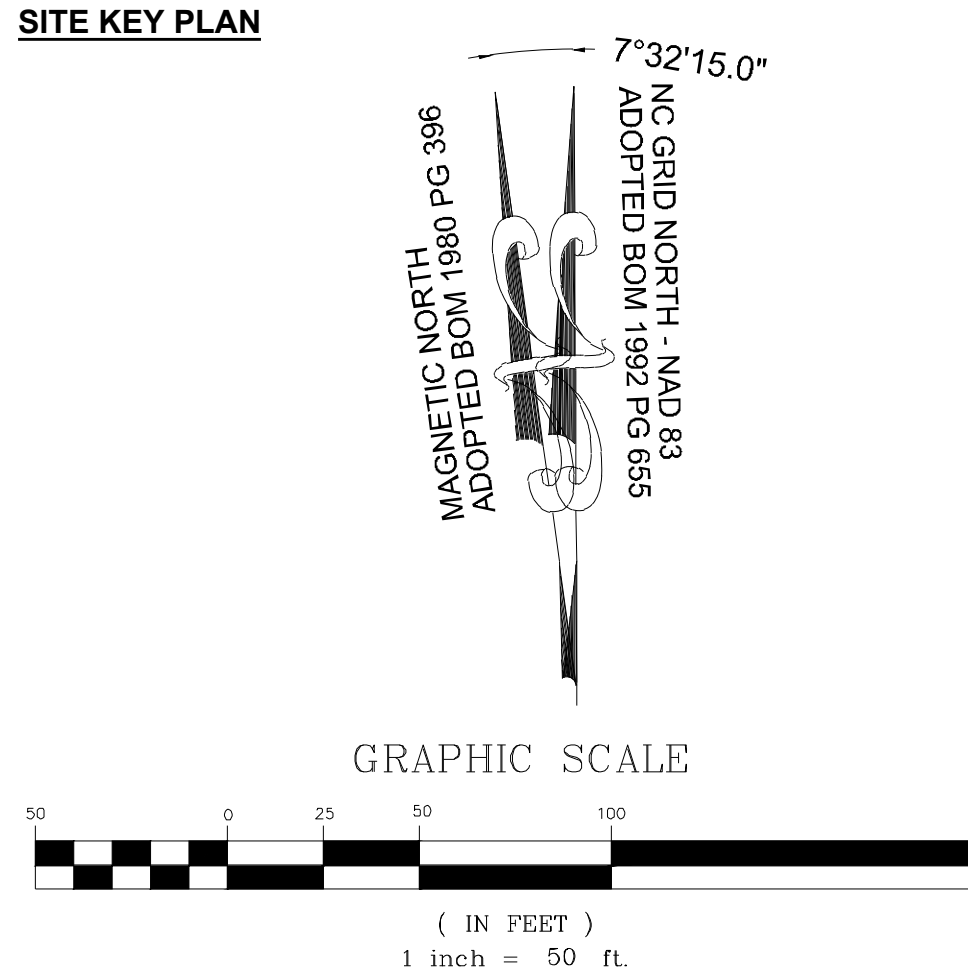
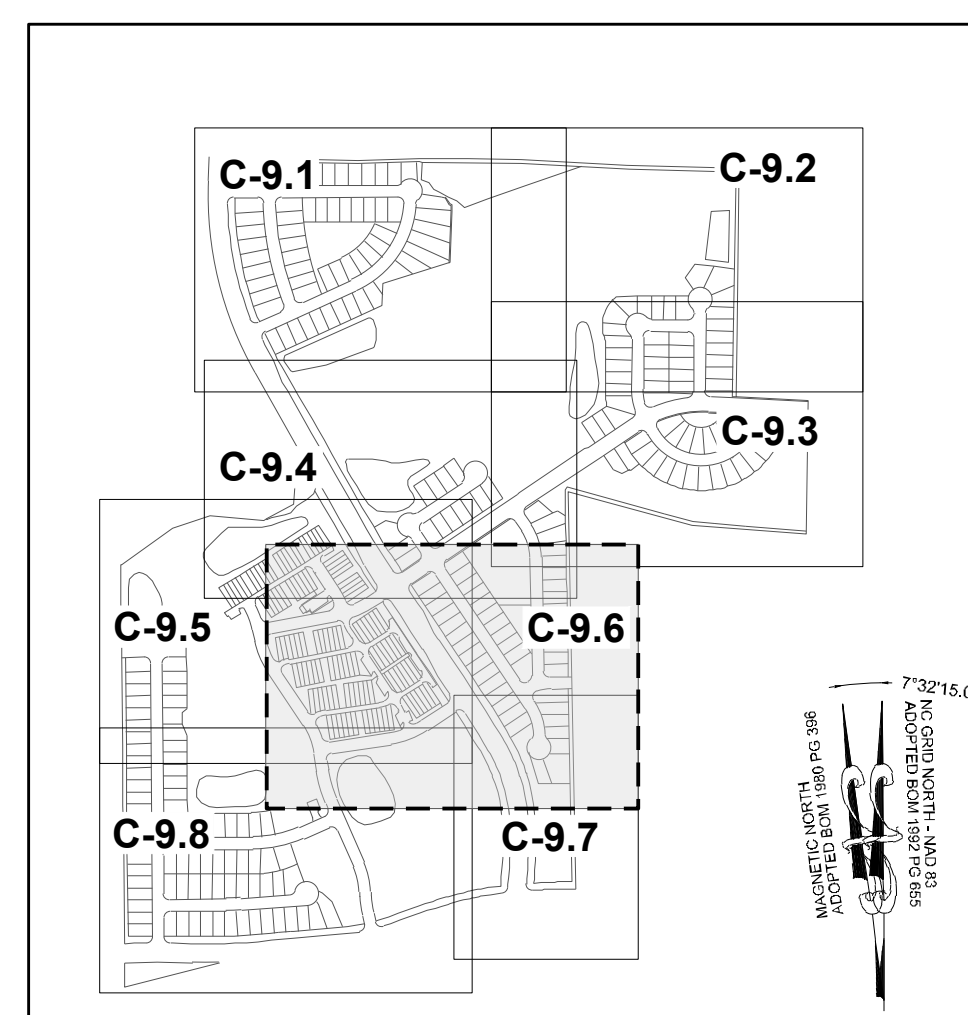
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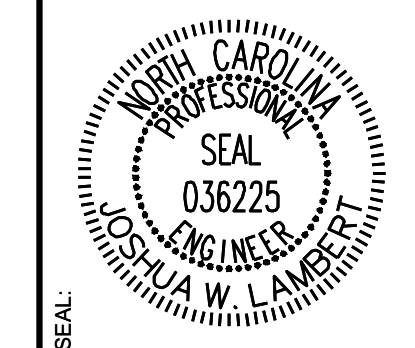


**LEGEND:**

	TREES WILL BE PRESERVED
	TREES WILL BE REMOVED
	CRZ FOR TREES WILL BE PRESERVED
	CRZ FOR TREES WILL BE REMOVED
	LD LIMIT OF DISTURBANCE
	SF/LD SILT FENCE/LIMIT OF DISTURBANCE



NO.	REVISIONS	DATE	BY
01	PRELIMINARY SUBDIVISION PLAT P-24-03	08/01/2023	SREG
02	TOWN OF ROLESVILLE COMMENTS P-24-03	12/05/2023	SREG
03	TOWN OF ROLESVILLE COMMENTS P-24-03	03/07/2024	SREG



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STRONG ROCK PROJECT P-24-03	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL
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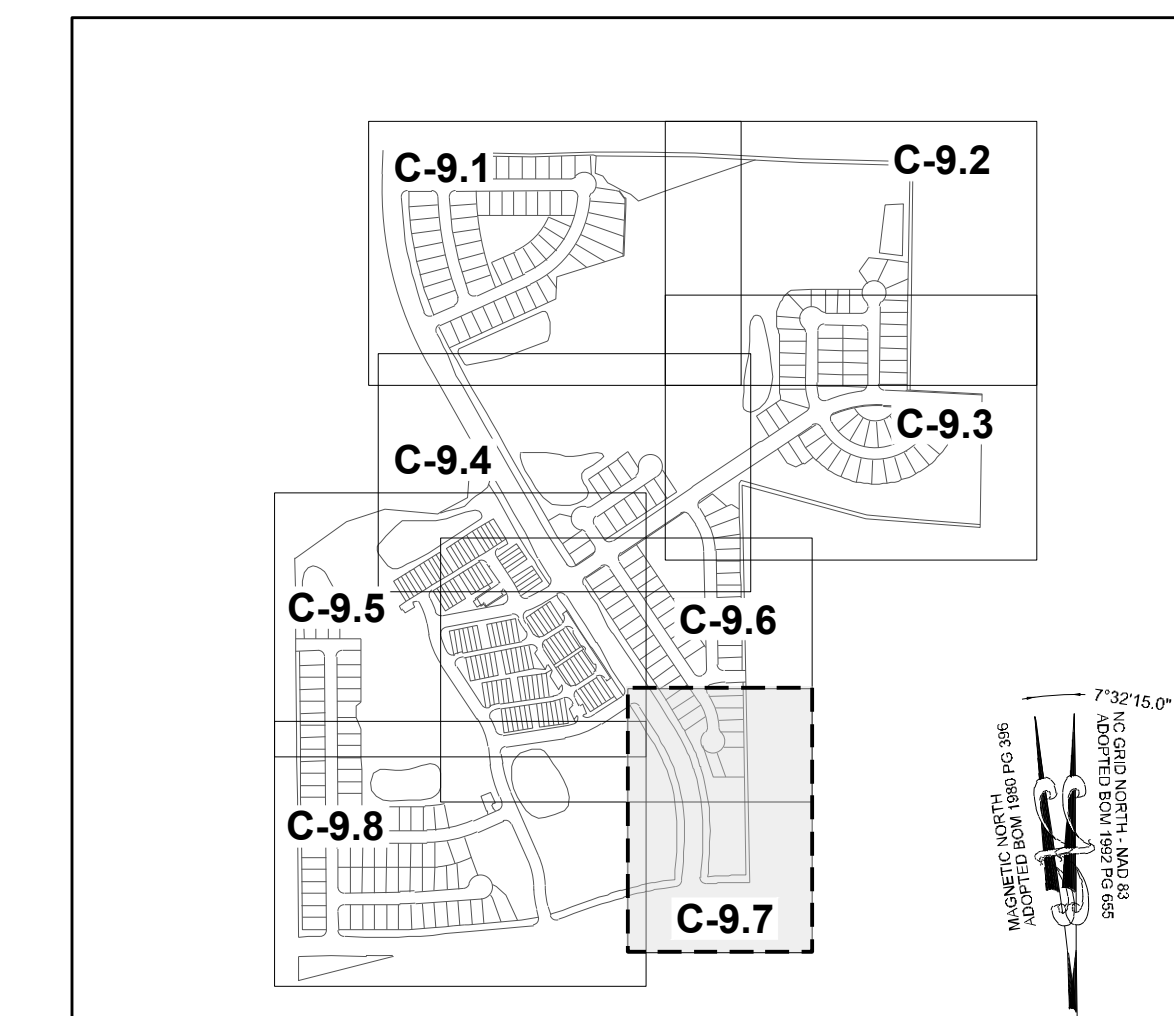
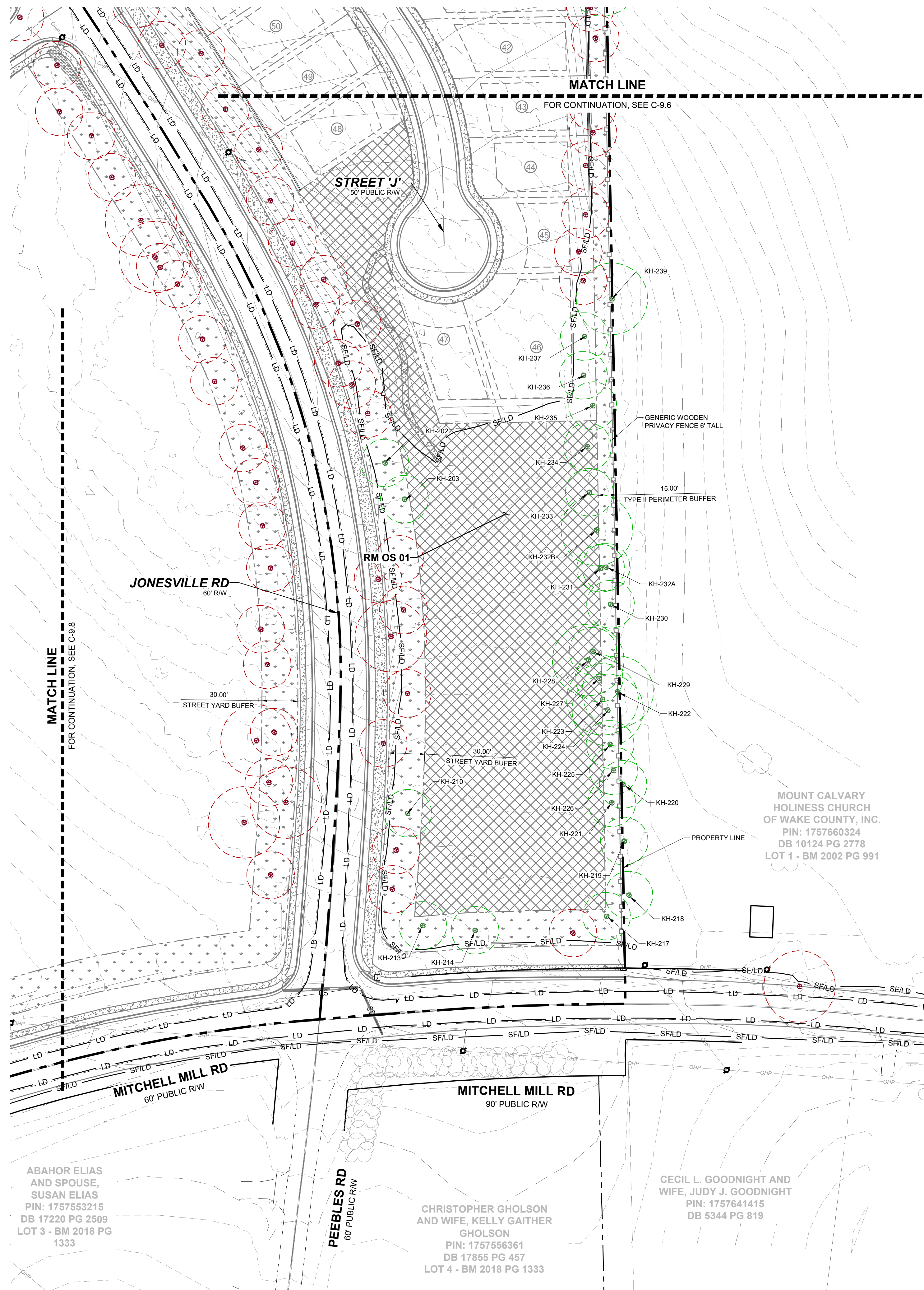
**RESERVE @ MITCHELL MILL**  
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
**PRELIMINARY SUBDIVISION PLAT PRESERVATION PLAN VI**

**DRAWING SHEET C-9.6**

69 OF 76

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**LEGEND:**

	TREES WILL BE PRESERVED
	TREES WILL BE REMOVED
	CRZ FOR TREES WILL BE PRESERVED
	CRZ FOR TREES WILL BE REMOVED
	LIMIT OF DISTURBANCE
	SILT FENCE/LIMIT OF DISTURBANCE

NO.	REVISIONS	DATE	BY
01			
02			
03			

PRELIMINARY SUBDIVISION PLAT P-24-03  
 TOWN OF ROLESVILLE COMMENTS P-24-03  
 TOWN OF ROLESVILLE COMMENTS P-24-03

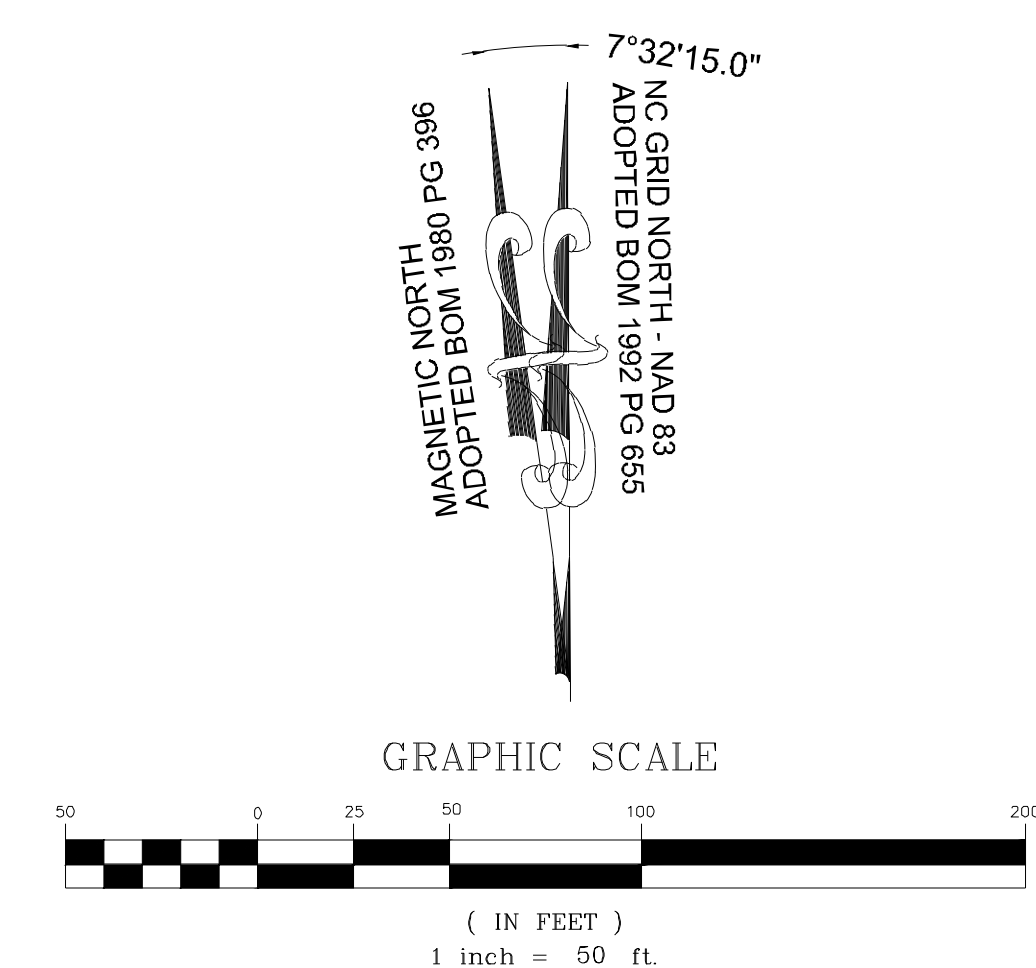
**STRONGROCK**  
 ENGINEERING GROUP

305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166  
 PIN: 1757660324  
 DB 10124 PG 2778  
 LOT 1 - BM 2002 PG 991

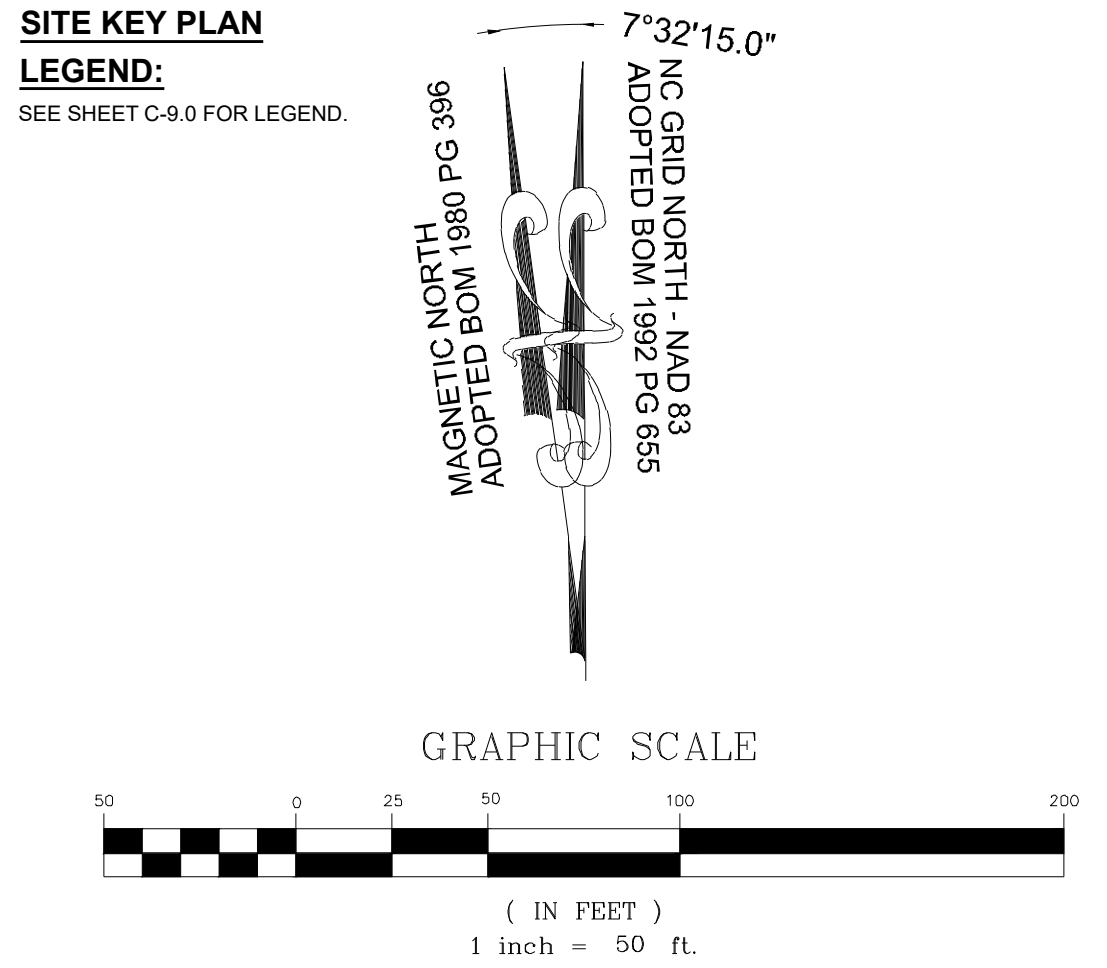
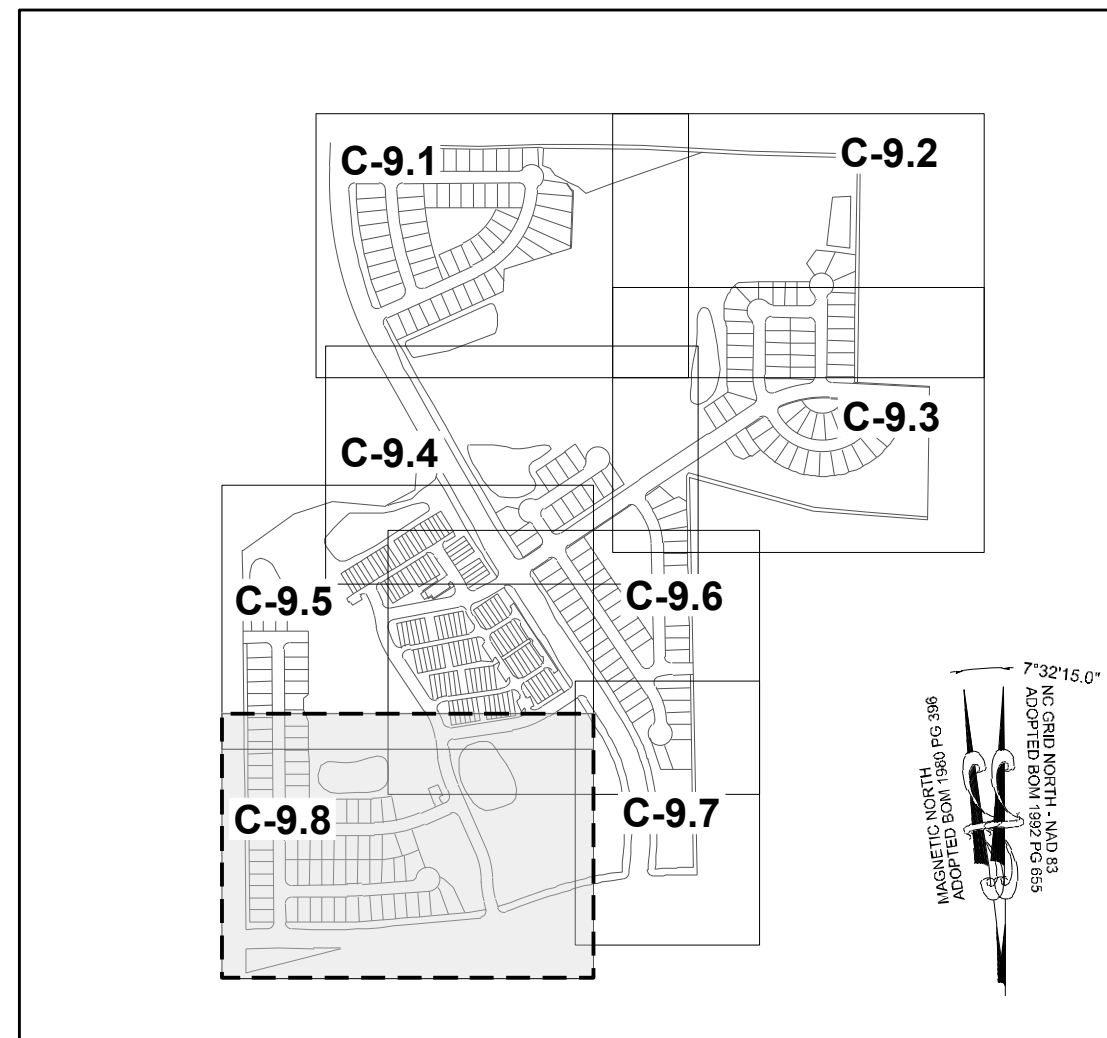
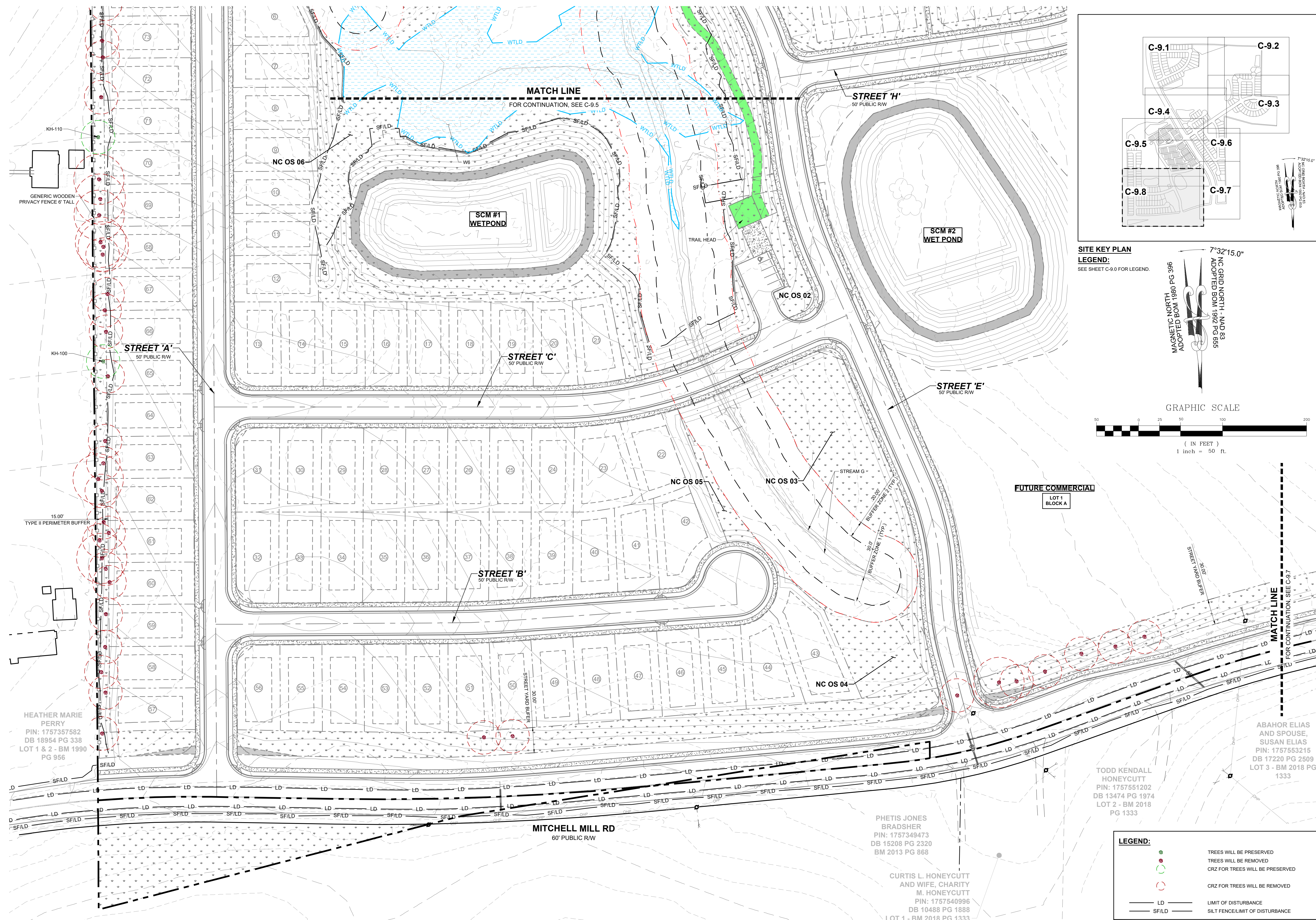
STRONG ROCK PROJECT	PSP-24-03
NOT FOR CONSTRUCTION	
SCALE	AS SHOWN
DESIGNED BY	JWL
DRAWN BY	SRG
CHECKED BY	JWL

RESERVE @ MITCHELL MILL  
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
 PRELIMINARY SUBDIVISION PLAT  
 PRESERVATION PLAN VII



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01	PRELIMINARY SUBDIVISION PLAT P-24-03	08/01/2023	ISREG
02	TOWN OF ROLESVILLE COMMENTS P-24-03	12/05/2023	ISREG
03	TOWN OF ROLESVILLE COMMENTS P-24-03	03/07/2024	ISREG
NO.			
DATE			
REVISIONS			
BY			

**STRONGROCK**  
ENGINEERING GROUP

STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166  
305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	PSP-24-03
NOT FOR CONSTRUCTION	
SCALE	AS SHOWN
DESIGNED BY	JWL
DRAWN BY	SRG
CHECKED BY	JWL

HEATHER MARIE PERRY  
PIN: 1757357582  
DB 18954 PG 338  
LOT 1 & 2 - BM 1990  
PG 956

PHETIS JONES BRADSHER  
PIN: 1757349473  
DB 15208 PG 2320  
BM 2013 PG 868

CURTIS L. HONEYCUTT AND WIFE, CHARITY M. HONEYCUTT  
PIN: 1757540996  
DB 10488 PG 1888  
LOT 1 - BM 2018 PG 1333

TODD KENDALL HONEYCUTT  
PIN: 1757551202  
DB 13474 PG 1974  
LOT 2 - BM 2018  
PG 1333

ABAHOR ELIAS AND SPOUSE, SUSAN ELIAS  
PIN: 1757553215  
DB 17220 PG 2509  
LOT 3 - BM 2018 PG 1333

RESERVE @ MITCHELL MILL  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
PRELIMINARY SUBDIVISION PLAT  
PRESERVATION PLAN VIII

DRAWING SHEET  
**C-9.8**



TREES TO BE PRESERVED

SREG: This is noted, please see Sheets C3.1 - C3.10

TREE INVENTORY SPECIES LIST	
ACRU	ACER RUBRUM
CACA	CARPINUS CAROLINIANA
CATO	CARYA TOMENTOSA
COFL	CORNUS FLORIDA
DIVI	DIOSPYROS VIRGINIANA
FRPE	FRAXINUS PENNSYLVANICA
ILOP	ILEX OPACA
JUVI	JUNIPERUS VIRGINIANA
LISI	LIGUSTRUM SINENSE
LIST	LIQUIDAMBAR STYRACIFLUA
LITU	LIRIODENDRON TULIPIFERA
MORU	MORUS RUBRA
NYSY	NYSSA SYLVATICA
OXAR	OXYDENDRUM ARBOREUM
PITA	PINUS TAEDA
PLOC	PLATANUS OCCIDENTALIS
PLOR	PLATYCLADUS ORIENTALIS
PRSE	PRUNUS SEROTINA
QUAL	QUERCUS ALBA
QUFA	QUERCUS FALCATA
QUNI	QUERCUS NIGRA
QUPA	QUERCUS PAGODA
QUPH	QUERCUS PHELLOS
QURU	QUERCUS RUBRA
QUST	QUERCUS STELLATA
QUVE	QUERCUS VELUTINA
ULAL	ULMUS ALATA
ULRU	ULMUS RUBRA

TREE CODE	BOTANICAL NAME	DBH	CONDITION OVERALL
AJ-052	QURU	12"	GOOD
AJ-053	QUAL	4"	GOOD
AJ-054	QUAL	32"	GOOD
AJ-055	OXAR	6"	GOOD
AJ-056	QURU	19"	GOOD
AJ-057	QUAL	13"	GOOD
AJ-058	LITU	17"	GOOD
AJ-059	LITU	24"	GOOD
AJ-060	QURU	32"	GOOD
AJ-061	ILOP	6"	GOOD
AJ-062	QURU	20"	GOOD
AJ-063	LITU	12"	GOOD
AJ-064	QURU	19"	GOOD
AJ-065	LITU	16"	GOOD
AJ-066	OXAF	14"	GOOD
AJ-067	ACRU	4"	GOOD
AJ-068	ACRU	5"	GOOD
AJ-069	ACRU	10"	GOOD
AJ-070	ACRU	6"	GOOD
AJ-071	ACRU	6"	GOOD
AJ-072	PRSE	9"	GOOD
AJ-073	DIVI	3"	GOOD
AJ-074	LITU	8"	FAIR
AJ-075	ACRU	21"	GOOD
AJ-076	LITU	13"	GOOD

TREE CODE	BOTANICAL NAME	DBH	CONDITION OVERALL
KH-170	QURM	23"	GOOD
KH-171	PITA	21"	GOOD
KH-172	PITA	24"	GOOD
KH-173	LIST	98"	FAIR
KH-204	QUNI	8"	GOOD
KH-210	PITA	13"	GOOD
KH-213	PITA	16"	GOOD
KH-214	PITA	10"	GOOD
KH-217	PITA	14"	GOOD
KH-218	ULRU	11"	GOOD
KH-219	QUNI	4"	GOOD
KH-220	ULRU	15"	GOOD
KH-221	JUVI	5"	GOOD
KH-222	QURU	56"	GOOD
KH-223	QURU	22"	GOOD
KH-224	QURU	25"	GOOD
KH-225	ULRU	10"	GOOD
KH-226	CATO	6"	GOOD
KH-227	QURU	11"	GOOD
KH-228	PITA	22"	GOOD
KH-229	QURU	13"	GOOD
KH-230	QUAL	16"	GOOD
KH-231	QURU	17"	FAIR
KH-232A	QURU	18"	GOOD
KH-232B	QURU	20/11"	GOOD

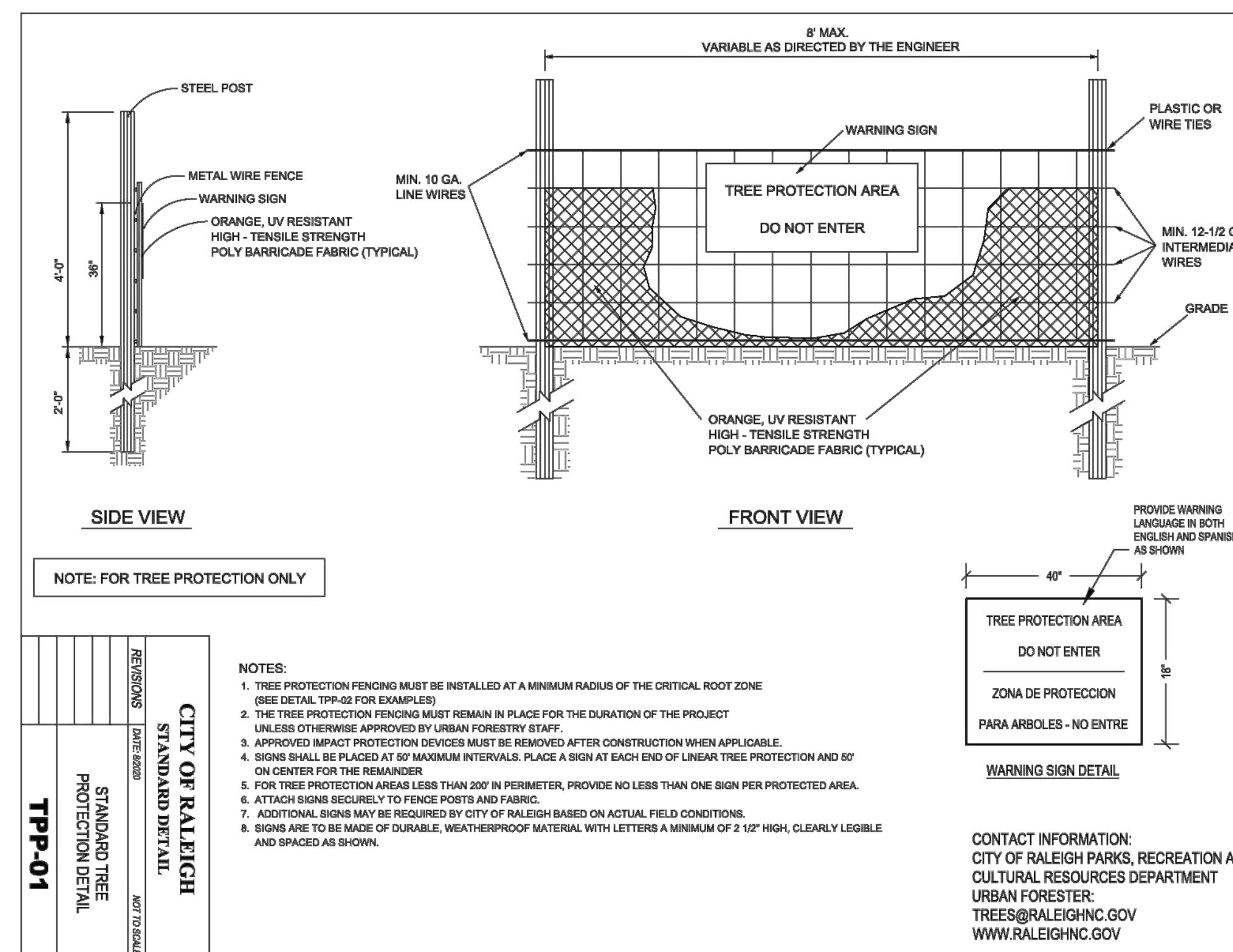
TREE CODE	BOTANICAL NAME	DBH	CONDITION OVERALL
AJ-115	CACA	5"	GOOD
AJ-116	QUST	20"	GOOD
AJ-117A	CACA	6"	GOOD
AJ-117B	CACA	7"	GOOD
AJ-123	PITA	23"	GOOD
AJ-124	PITA	25"	GOOD
AJ-125	PRSE	6"	GOOD
AJ-126	QUNI	7"	GOOD
AJ-127	QUNI	7"	GOOD
AJ-128	PITA	20"	GOOD
AJ-129	PITA	20"	GOOD
AJ-130	LITU	21"	GOOD
AJ-131	ULRU	8"	GOOD
KH-002	PITA	30"	GOOD
KH-003	ACRU	31"	GOOD
KH-005	QUAL	7"	GOOD
KH-006	LIST	10"	GOOD
KH-007	LIST	6"	GOOD
KH-008	CATO	5"	GOOD
KH-009	JUVI	5"	GOOD
KH-010	QURU	4"	GOOD
KH-011	CATO	6"	GOOD
KH-012	QUAL	21"	GOOD
KH-013	CATO	9"	GOOD
KH-014	QUAL	20"	GOOD

TREE CODE	BOTANICAL NAME	DBH	CONDITION OVERALL
AJ-077	LIST	13"	GOOD
AJ-078	LIST	4"	GOOD
AJ-079	LITU	18"	POOR
AJ-080	LITU	25"	GOOD
AJ-081	PRSE	9"	GOOD
AJ-082	LITU	22"	GOOD
AJ-083	LITU	21"	GOOD
AJ-084	PLOC	41"	GOOD
AJ-086	ACRU	9"	GOOD
AJ-087	LITU	30"	GOOD
AJ-088	LIST	4"	GOOD
AJ-089	ACRU	18"	GOOD
AJ-090	ACRU	30"	GOOD
AJ-092	LIST	4"	GOOD
AJ-093	LIST	9"	GOOD
AJ-094	FRPE	22"	GOOD
AJ-095	LIST	21"	GOOD
AJ-101	QUST	29"	POOR
AJ-104	QURU	19"	GOOD
AJ-107	QURU	28"	GOOD
AJ-109	QUST	18"	GOOD
AJ-110	PRSE	6"	GOOD
AJ-111	LIST	14"	GOOD
AJ-112	PITA	21"	GOOD
AJ-114	PITA	28"	GOOD

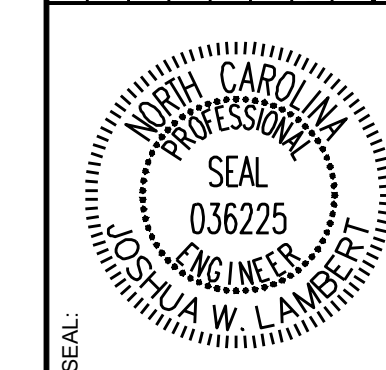
TREE CODE	BOTANICAL NAME	DBH	CONDITION OVERALL
KH-233	QURU	10"	GOOD
KH-234	QURU	10/11/11/11"	FAIR
KH-235	QURU	8"	GOOD
KH-243	QUAL	3"	GOOD
KH-244	QUAL	12/10/9/7"	GOOD
KH-245	QUAL	18/10"	GOOD
KH-246	QUAL	7"	GOOD
KH-247	PITA	25"	GOOD
KH-248	QUAL	8"	GOOD
KH-249	QUAL	10"	GOOD
KH-251	LITU	31/12"	GOOD
KH-253	QURU	23"	GOOD
KH-260	LIST	16"	GOOD
KH-261	LITU	22"	GOOD
KH-262	LIST	9"	GOOD
KH-263	QURU	17"	GOOD
KH-264	QUAL	8"	GOOD
KH-265	PITA	16"	GOOD
KH-266	QURU	14"	GOOD
KH-267	QUAL	11"	GOOD
KH-268	QUAL	12"	GOOD
KH-269	PITA	15"	GOOD
KH-270	PITA	15"	GOOD
KH-271	QURU	8"	GOOD
KH-297	QUNI	5"	GOOD

TREE CODE	BOTANICAL NAME	DBH	CONDITION OVERALL
KH-015	QUPA	15"	GOOD
KH-016	CATO	10"	GOOD
KH-032	DIVI	18"	GOOD
KH-033	PITA	25"	EXCELLENT
KH-034	PITA	18"	EXCELLENT
KH-035	PITA	29"	GOOD
KH-036	LIST	8"	GOOD
KH-037	ULRU	14"	GOOD
KH-038	PITA	17"	GOOD
KH-039	PITA	13"	GOOD
KH-040	PITA	16"	GOOD
KH-041	QUAL	6"	GOOD
KH-042	PITA	18"	GOOD
KH-043	ULRU	6"	GOOD
KH-044	QUNI	5"	FAIR
KH-046	QUNI	6"	GOOD
KH-049	QUNI	5"	GOOD
KH-050	QUNI	5"	GOOD
KH-051	QURU	6"	GOOD
KH-151	ULRU	9"	GOOD
KH-154	MORU	10"	FAIR
KH-155	ULRU	13"	GOOD
KH-164	QURU	23"	GOOD
KH-167	QUAL	21"	GOOD
KH-169	QUAL	22"	GOOD

TREE CODE	BOTANICAL NAME	DBH	CONDITION OVERALL
KH-298	QUNI	3"	GOOD
KH-299	QUNI	5"	FAIR
KH-300	NYSY	5"	GOOD
KH-301	ILOP	5"	GOOD
KH-302	PITA	14"	GOOD
KH-303	NYSY	4"	GOOD
KH-304	ILOP	6"	GOOD
KH-305	QUNI	19"	GOOD
KH-306	QUFA	19"	GOOD
KH-307	QURU	19"	GOOD
N/A	OAK	4"	GOOD



NO.	DATE	REVISIONS
01		
02		
03		



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 305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

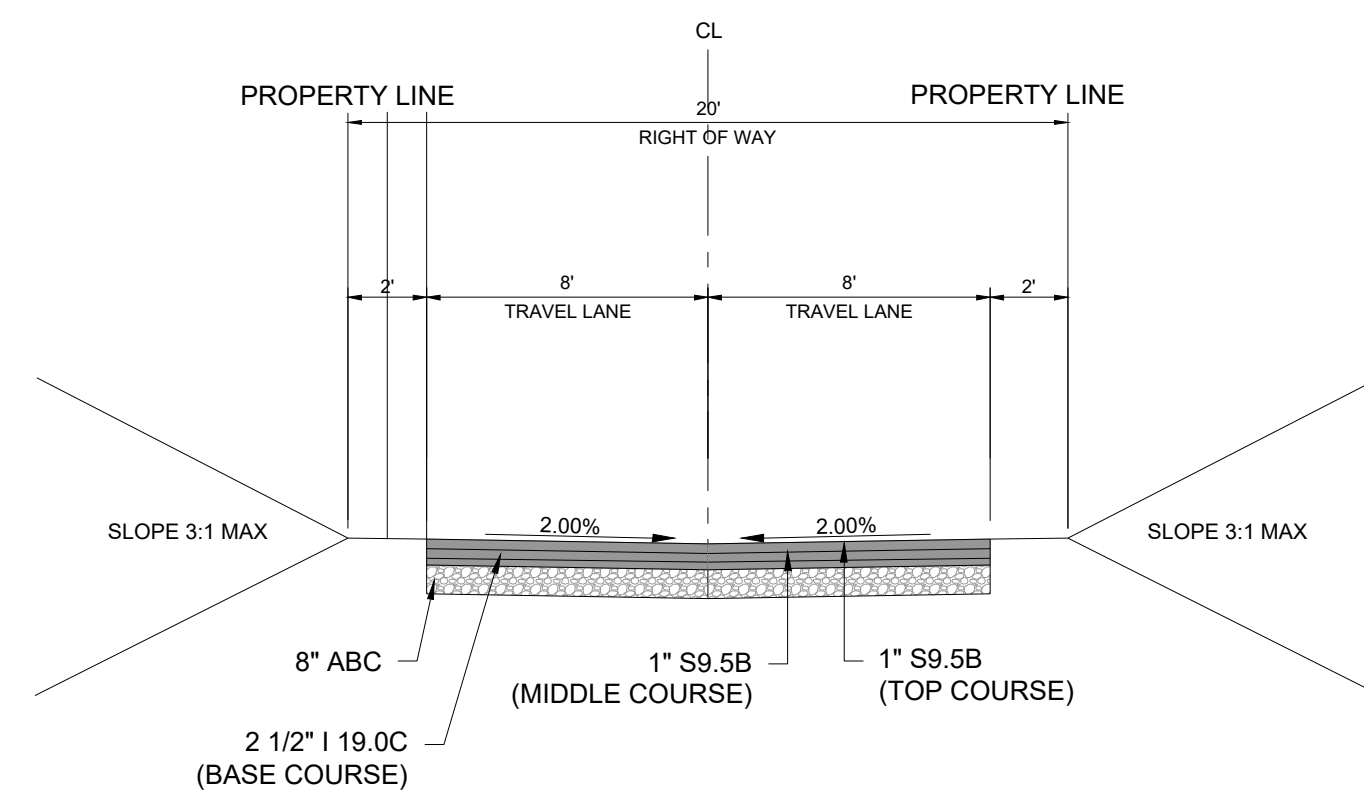
STRONG ROCK PROJECT PSP-24-03	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL
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RESERVE @ MITCHELL MILL  
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
 PRELIMINARY SUBDIVISION PLAT  
 PRESERVATION PLAN TABLES

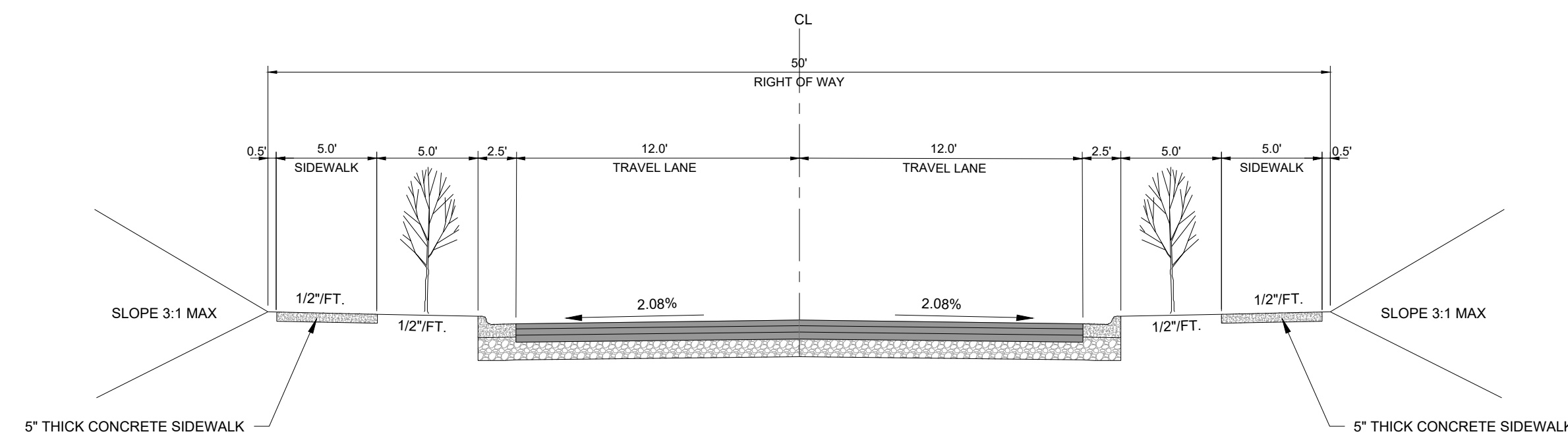
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**C-9.9**

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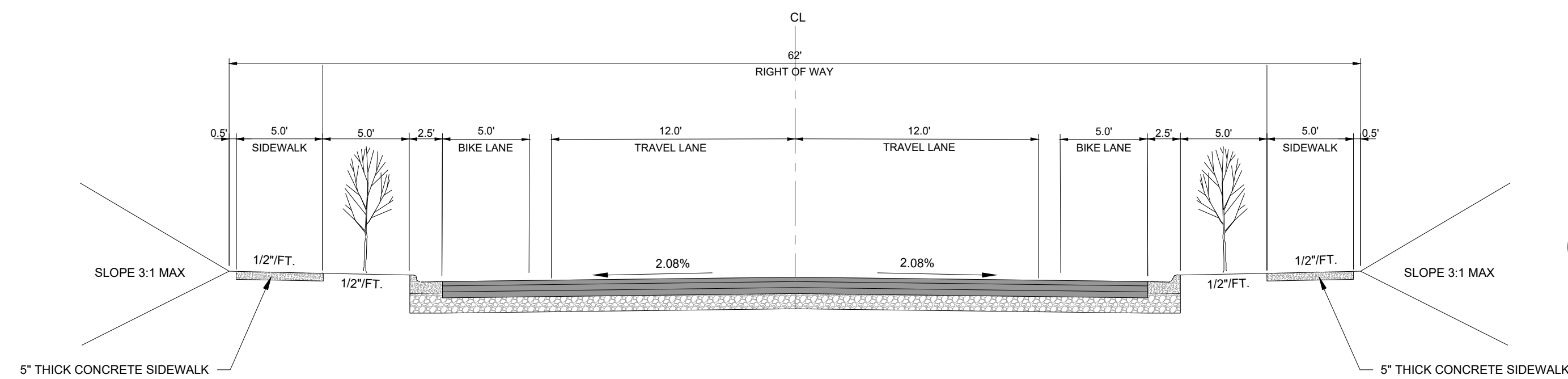




**1**  
ALLEY CROSS SECTION -  
20' ROW  
D-1.0 SCALE: NTS

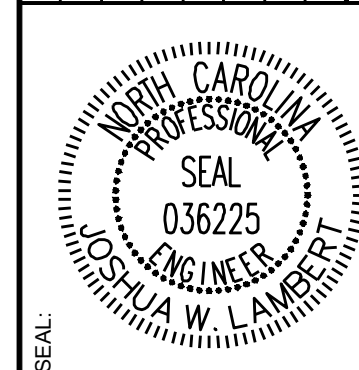


**2**  
TYPICAL CROSS SECTION -  
50' ROW  
D-1.0 SCALE: NTS



**2**  
TYPICAL CROSS SECTION -  
62' ROW  
D-1.0 SCALE: NTS

NO.	REVISIONS	DATE	BY
01			
02			
03			



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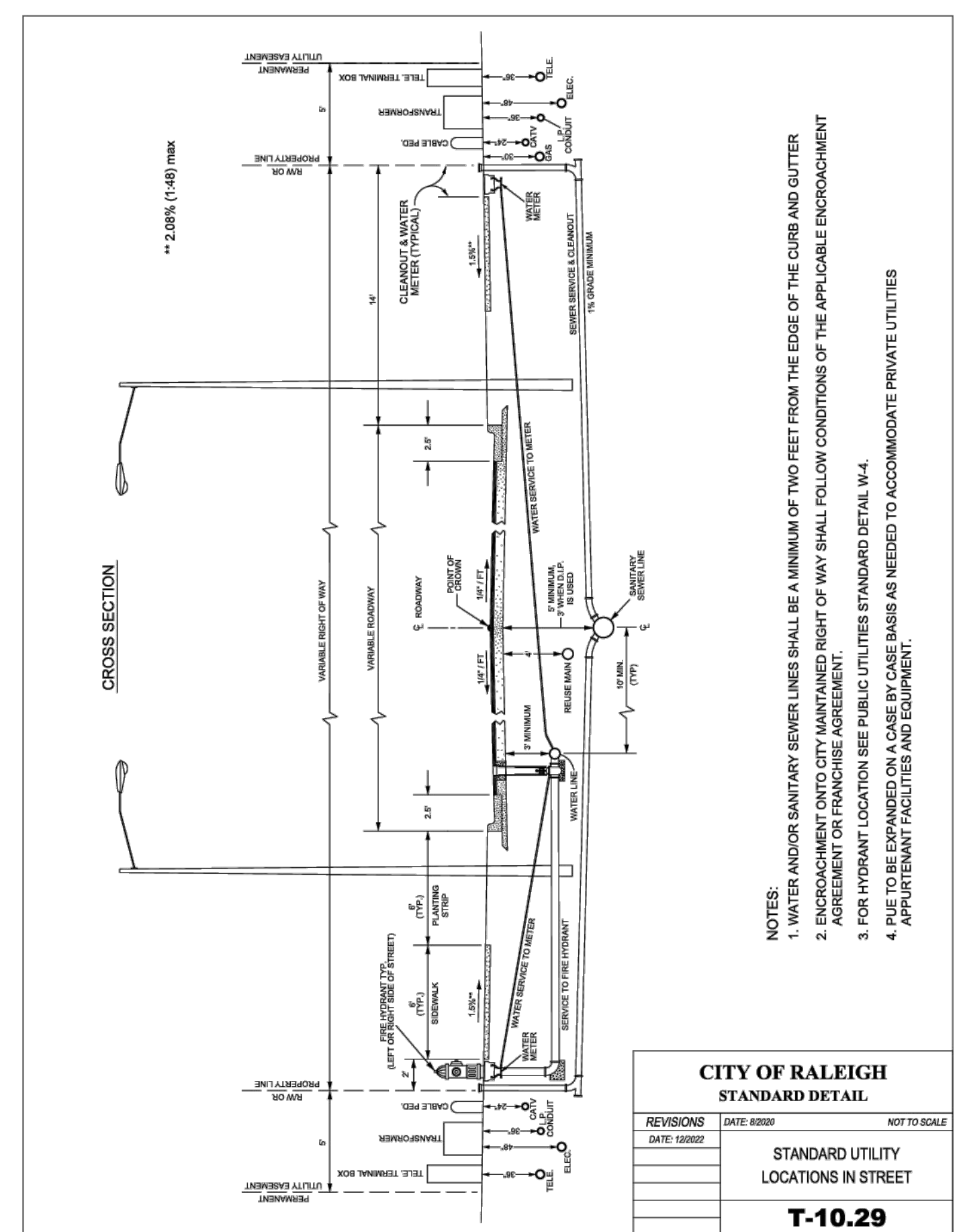
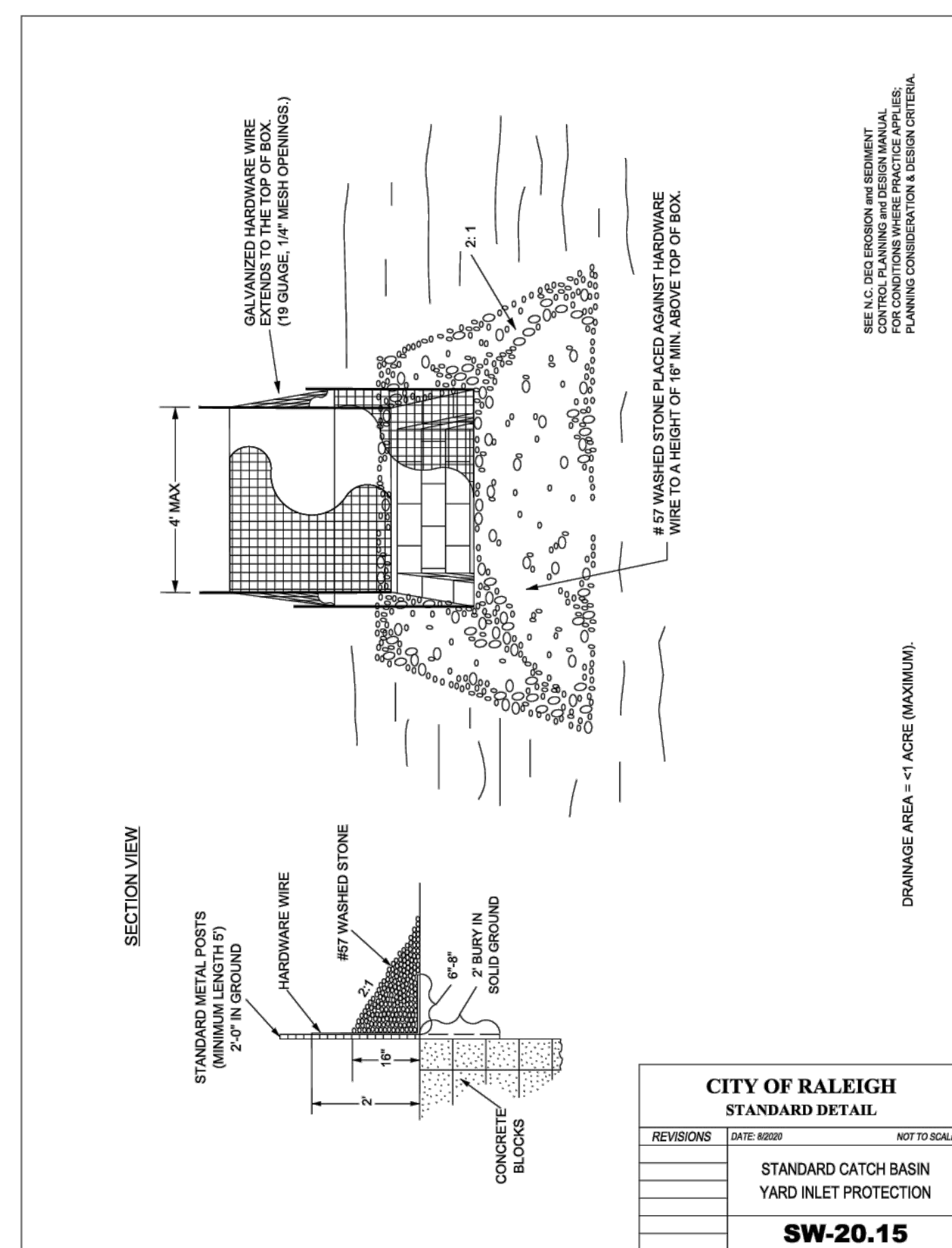
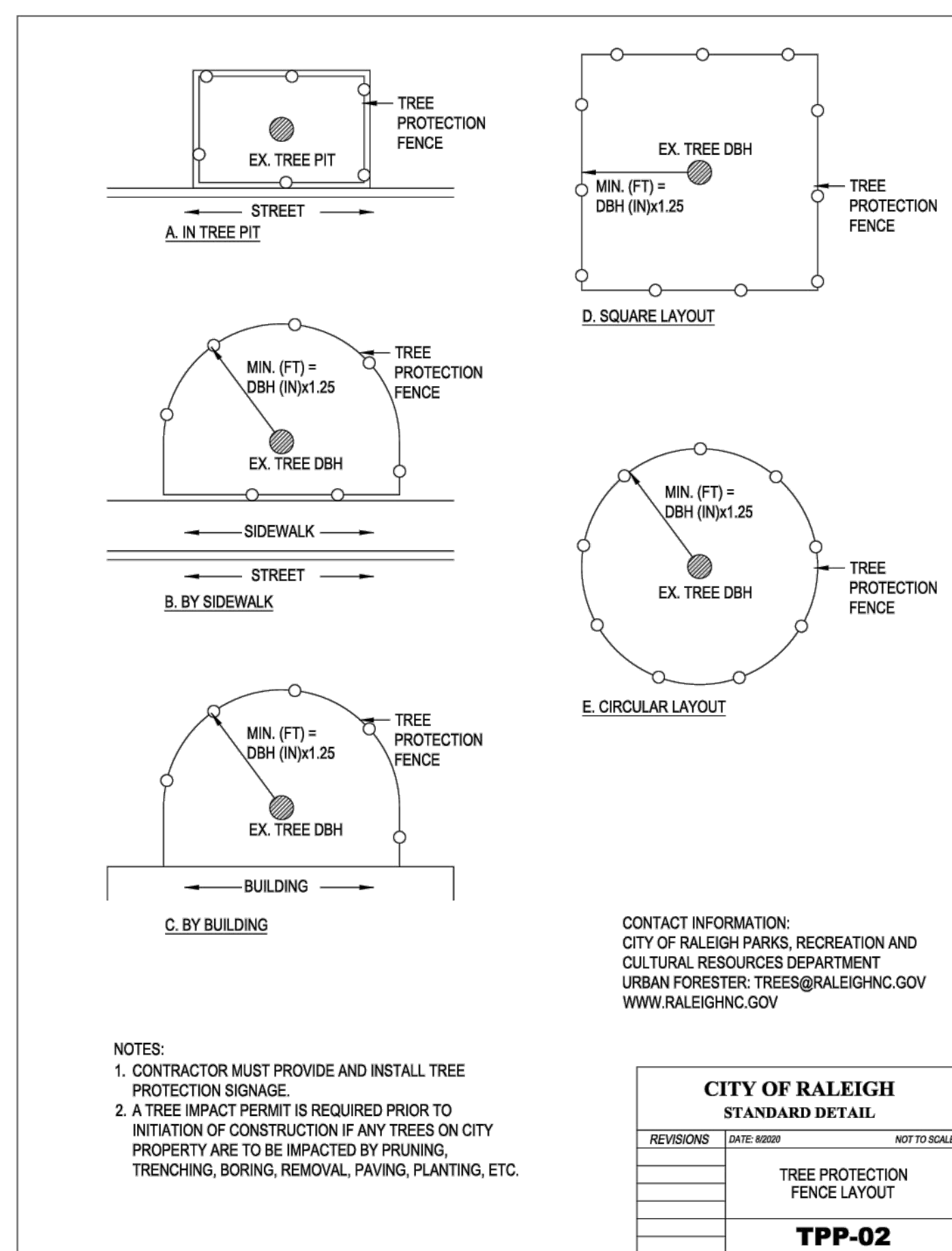
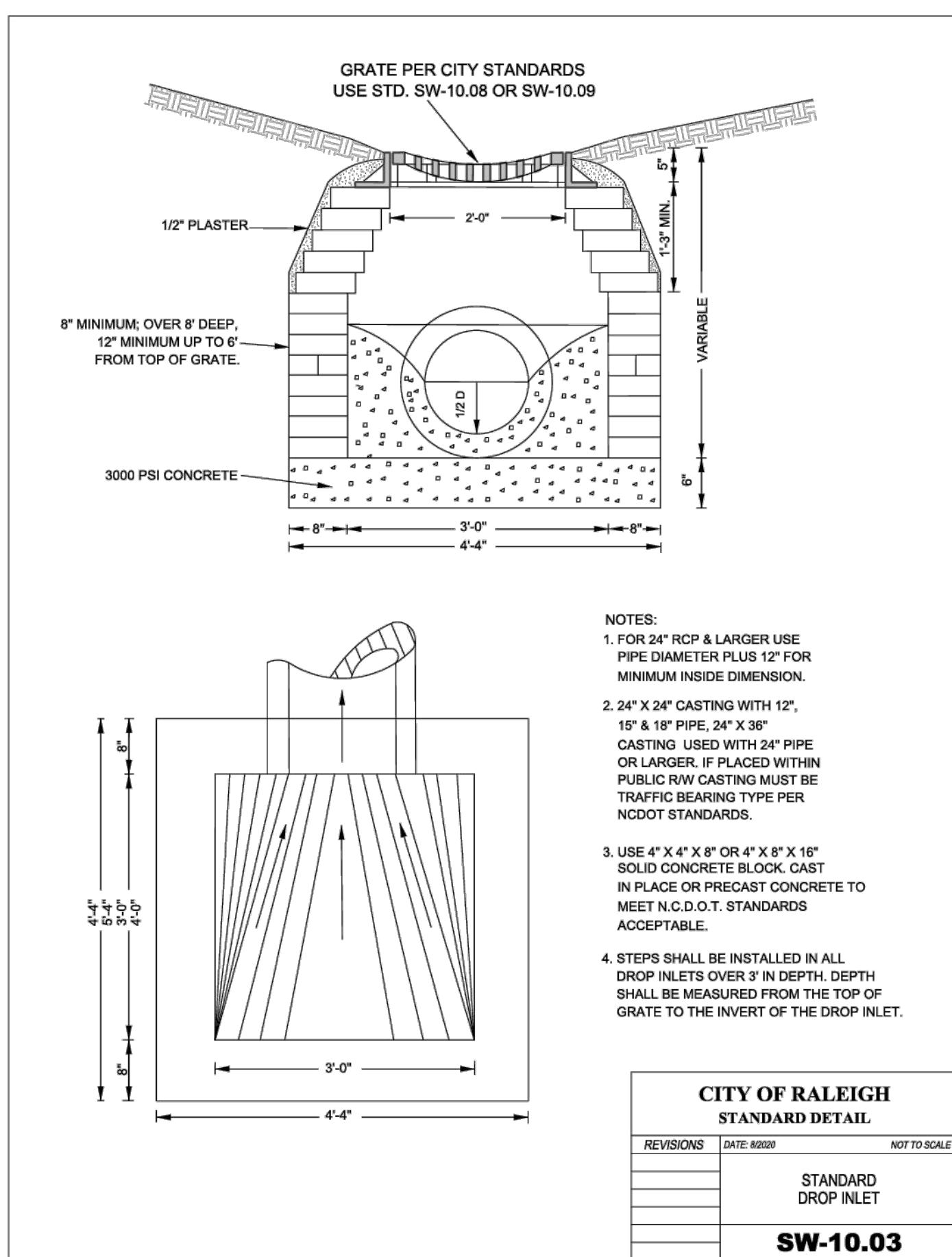
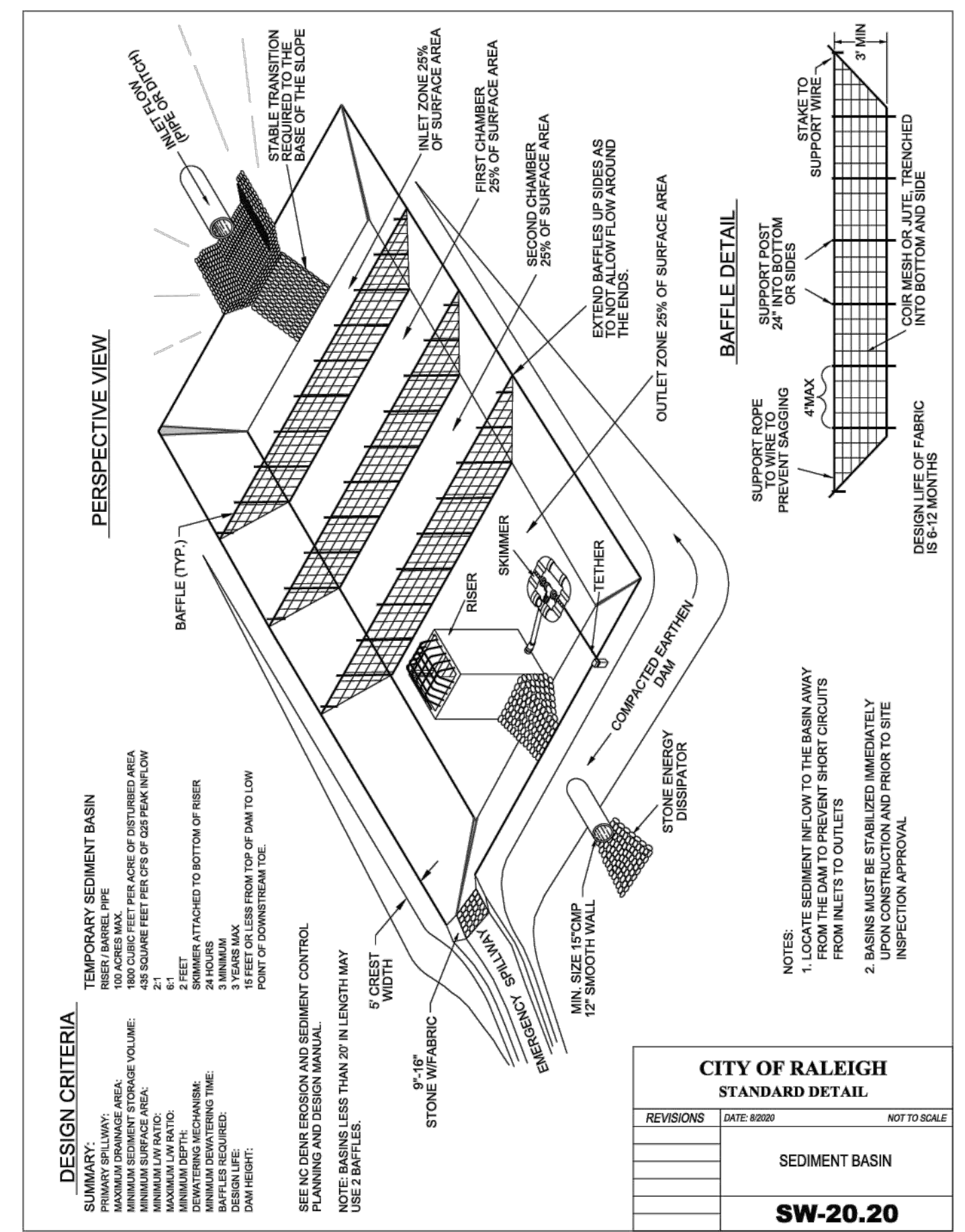
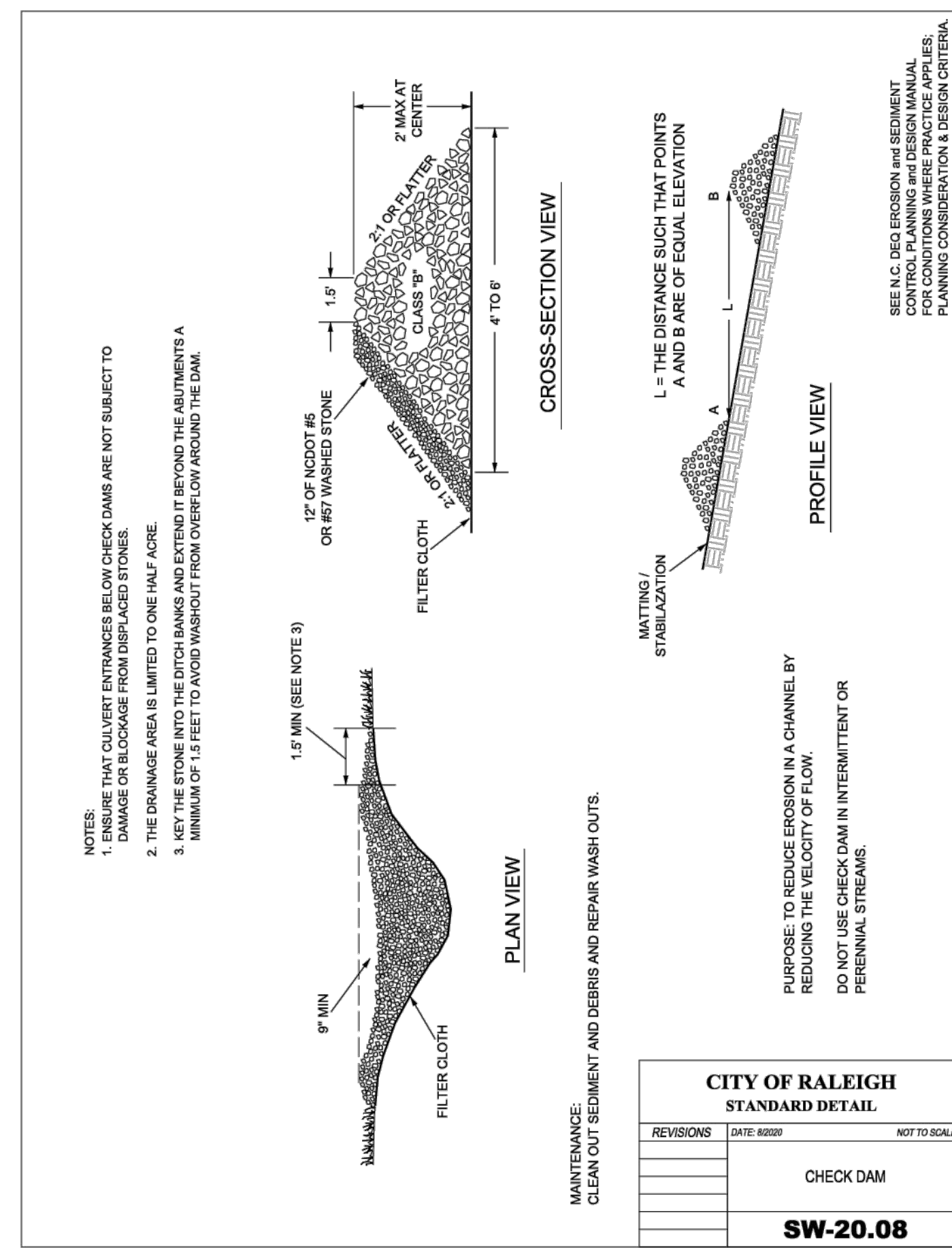
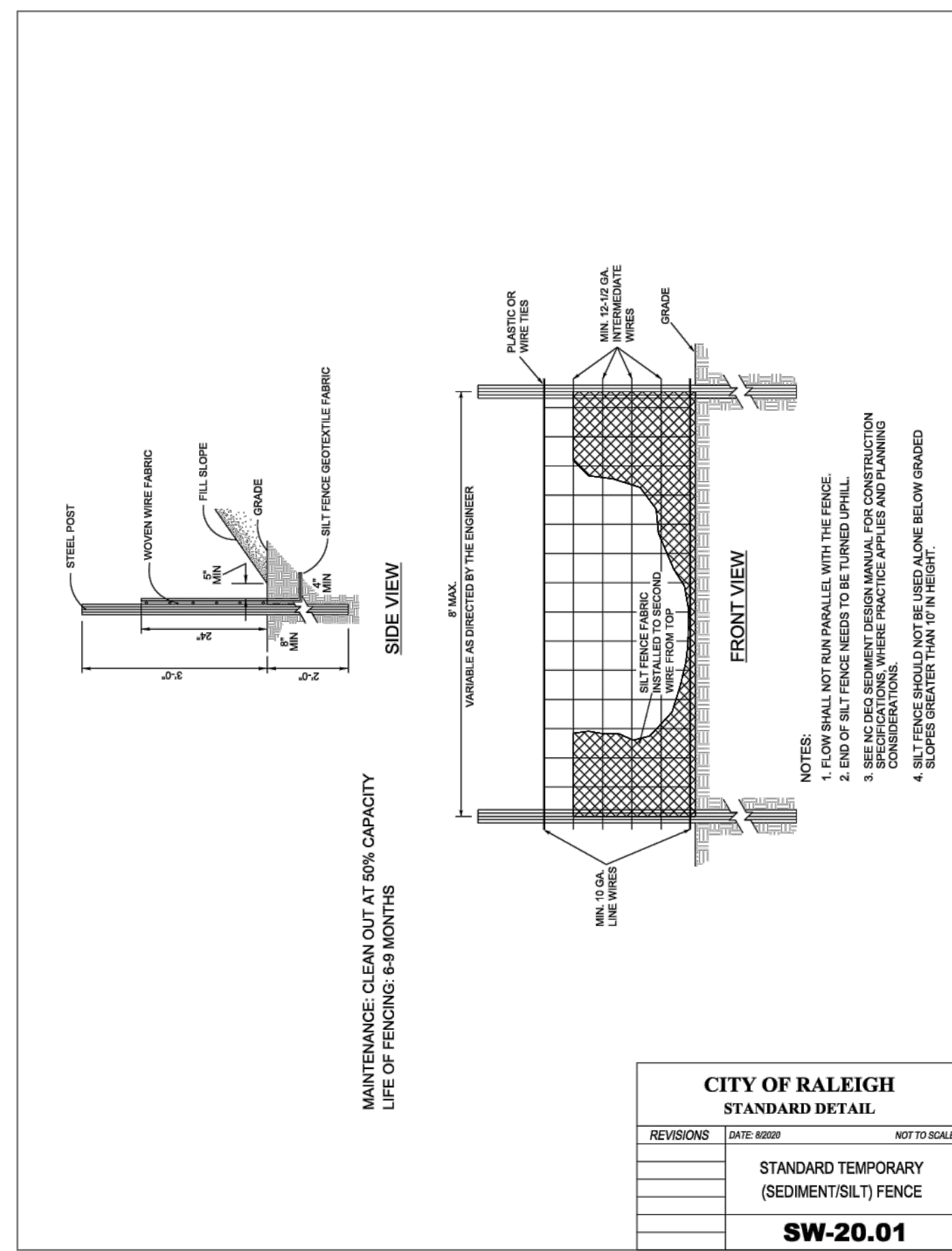
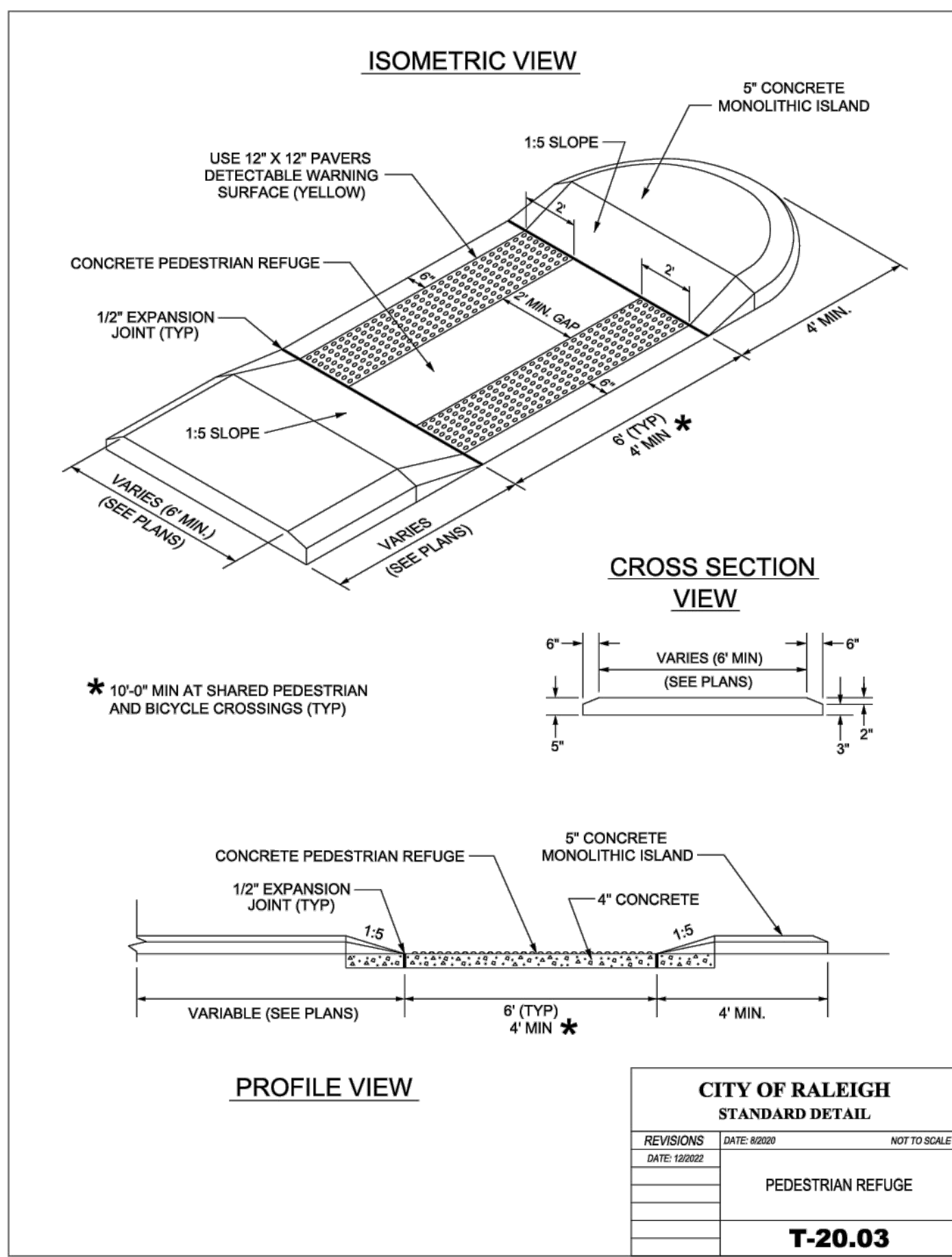
STRONG ROCK PROJECT	STRONG ROCK PROJECT
PSP-24-03	PSP-24-03
NOT FOR CONSTRUCTION	NOT FOR CONSTRUCTION
SCALE AS SHOWN	SCALE AS SHOWN
DESIGNED BY JWL	DESIGNED BY JWL
DRAWN BY SRG	DRAWN BY SRG
CHECKED BY JWL	CHECKED BY JWL

RESERVE @ MITCHELL MILL  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
PRELIMINARY SUBDIVISION PLAT  
SITE DETAILS

DRAWING SHEET  
D-1.0

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01	PRELIMINARY SUBDIVISION PLAT P-20-24-03	08/01/2023	SREG
02	TOWN OF ROLESVILLE COMMENTS P-20-24-03	12/05/2023	SREG
03	TOWN OF ROLESVILLE COMMENTS P-20-24-03	03/01/2024	SREG

**STRONGROCK ENGINEERING GROUP**

SEAL: NORTH CAROLINA PROFESSIONAL ENGINEER 036225 JULIA W. LAMBERT

STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166  
305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	PSP-24-03	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL
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**FRONT ELEVATION**  
TRANSVERSE EXPANSION JOINT

**1. 30" CURB & GUTTER**

**2. 30" VALLEY TYPE GUTTER**

**MEDIAN CURB AND GUTTER**  
SIDE ELEVATION

**MEDIAN CURB AND GUTTER**  
(NON-MOUNTABLE)

**SPILL CURB DETAIL**

**NOTES:**

- 10" MAXIMUM BETWEEN DUMMY JOINTS.
- 15" MAXIMUM BETWEEN DUMMY JOINTS ON MACHINE POURS.
- 1/2" EXPANSION JOINT EVERY 50'.
- 3000 PSI CONCRETE MINIMUM, 4" SLUMP MAXIMUM.
- LIQUID MEMBRANE CURING COMPOUND SHALL MEET THE REQUIREMENTS OF SECTION 1026.4 OF NCDOT STANDARDS & SPECIFICATIONS FOR ROADS AND STRUCTURES.
- ALL CONSTRUCTION JOINTS SHALL BE FILLED WITH JOINT FILLER AND SEALER IN ACCORDANCE WITH NCDOT ROADWAY STANDARD DETAIL #48.01 THE JOINT MATERIAL SHALL CONFORM TO SECTION 1002.2 OF NCDOT STANDARDS & SPECIFICATIONS FOR ROADS AND STRUCTURES.
- REFER TO NCDOT DETAIL #48.01 FOR CURB AND GUTTER SUPERELEVATION RATES.

**CITY OF RALEIGH**  
STANDARD DETAIL

REVISIONS: DATE: 8/20/09 NOT TO SCALE

CURB AND GUTTER

**T-10.26.1**

**REQUIRED TRANSITION LENGTH**

**FACE OF CURB**

**BACK OF CURB**

**LIP OF GUTTER**

**PLAN VIEW**

**SECTION A-A**

**SECTION B-B**

**SECTION C-C**

**NOTES:**  
TRANSITION NOT TO BE LOCATED WITHIN THE CURB RADIUS.

**CITY OF RALEIGH**  
STANDARD DETAIL

REVISIONS: DATE: 8/20/09 NOT TO SCALE

CURB TRANSITION TO 2'-6" VALLEY GUTTER

**T-10.26.2**

**PAY LIMITS FOR CURB RAMP**

**TYPE N-4**

**TYPE N-4A**

**NOTES:**

- 7.5% (8.33% (1:12) MAX RAMP SLOPE
- 1.5% (2.08% (1:48) MAX CROSS SLOPE
- CURB RAMP REQUIRE A (4'-0") MINIMUM LANDING WITH A MAXIMUM CROSS SLOPE AND LONGITUDINAL SLOPE OF 1.5% (2.08% MAX) WHERE PEDESTRIANS PERFORM TURNING MANEUVERS. SLOPE TO DRAIN TO CURB.
- RAMP AND DOMES SHALL BE INSTALLED THE SAME WIDTH AS THE SIDEWALK.
- IF LENGTH EXCEEDS 9' TRIMMATED DOMES SHALL BE INSTALLED ALONG THE BACK OF THE CURB COVERING THE FULL WIDTH OF THE RAMP.

**CITY OF RALEIGH**  
STANDARD DETAIL

REVISIONS: DATE: 8/20/09 NOT TO SCALE

CURB RAMP (NEW DEVELOPMENT)

**T-20.01.4**

**STANDARD TEMPORARY BARRICADE**

**SW-20.17**

**NOTES:**

- STRIPES ON BARRICADE RAILS SLOPE AT AN ANGLE OF 45 DEGREES IN THE DIRECTION TRAFFIC IS TO PASS.
- BARRICADE RAIL STRIPE SHALL BE 6 INCHES.
- THE SIDES OF THE BARRICADE FACING TRAFFIC SHALL HAVE RETROREFLECTIVE RAIL FACES.

**CITY OF RALEIGH**  
STANDARD DETAIL

REVISIONS: DATE: 8/20/09 NOT TO SCALE

STANDARD TEMPORARY BARRICADE

**SW-20.17**

**NOTES:**

- BOTTOM EDGE OF DELINEATOR SHALL BE 4 FEET ABOVE ROADWAY.
- THE DELINEATOR STRIPES SHALL SLOPE UPWARD AND OUTWARD FROM TRAFFIC.
- DELINEATORS TO BE SPACED ON CENTERS AT 1/3 OF THE DISTANCE "X" SHOWN BELOW, FOR NEW ASPHALT WIDTHS, 5 FEET OR AT 1/4 OF "X" FOR NEW ASPHALT WIDTHS > 15 FEET.
- DELINEATORS SHALL BE REFLECTORIZED.
- DELINEATORS SHALL BE REFLECTORIZED.
- CALL #11 FOR UNDERGROUND UTILITY LOCATE PRIOR TO INSTALLATION.

**NOTES:**

- ON BOTH SIDES OF ROADWAY WIDENING SHALL BE A MINIMUM 21'. THE TRANSPORTATION DIRECTOR OR DESIGNER AND/OR NCDOT RESERVES THE RIGHT TO REQUIRE A LONGER TAPER IF DEEMED NECESSARY FOR THE SAFETY OF THE PUBLIC.
- AT EXISTING PAVEMENT WIDENING SHALL BE EXTENDED ALONG WIDENING DELINEATORS SHALL ONLY BE REQUIRED AT TAPER FROM CURB TO EXISTING PAVEMENT IN DIRECTION OF TRAVEL.
- DELINEATORS SHALL BE ORIENTED SUCH THAT THE FACE OF THE SIGN IS PERPENDICULAR TO TRAVEL LANE.

**CITY OF RALEIGH**  
STANDARD DETAIL

REVISIONS: DATE: 8/20/09 NOT TO SCALE

STANDARD PAVEMENT WIDENING TAPER & MARKINGS

**T-10.27**

**DRIVEWAY GRADES**

**A. CURB & GUTTER, SIDEWALK SECTION**

**B. SHOULDER SECTION**

**NOTES:**  
IF THE SLOPE BETWEEN THE TOP OF CURB AND GUTTER AND A POINT 30 FEET FROM THE CURB AND GUTTER EXCEEDS 20%, THIS SLOPE SHALL BE ADJUSTED TO A MAXIMUM OF 8.33% (17' FT) UP OR 4.17% (1/2' FT) DOWN.

**CITY OF RALEIGH**  
STANDARD DETAIL

REVISIONS: DATE: 8/20/09 NOT TO SCALE

DRIVEWAY GRADES

**T-10.04**

**TYPICAL SECTION**

**TRANSVERSE EXPANSION JOINT**

**PLAN VIEW**

**NOTES:**

- TRANSVERSE EXPANSION JOINTS TO BE A MAXIMUM OF 50 FEET.
- ALL CONCRETE TO BE 3000 PSI AND FINISHED WITH CURING COMPOUND.
- A 3/8" DEPTH IS REQUIRED AT LOCATIONS OF DRIVEWAY CROSSINGS, AND IN THE HANDICAP RAMPS.
- COMPACTED ABC STONE MAY BE REQUIRED AS SUBGRADE AT THE DISCRETION OF THE ENGINEER.
- SURFACE SHALL BE FINISHED TO GRADE AND CROSS SECTION WITH A FLOAT.
- TROWEL SMOOTH AND FINISH WITH A BROOM.
- ALL CURB AND GUTTER SHALL BE CONCRETE. IN THE SIDEWALK, THEY SHALL HAVE A MINIMUM 6" WIDE FRAME OF CONCRETE AROUND THEM.

**CITY OF RALEIGH**  
STANDARD DETAIL

REVISIONS: DATE: 8/20/09 NOT TO SCALE

CONCRETE SIDEWALK

**T-30.01.1**

**REQUIRED TRANSITION LENGTH**

**FACE OF CURB**

**BACK OF CURB**

**LIP OF GUTTER**

**PLAN VIEW**

**SECTION A-A**

**SECTION B-B**

**SECTION C-C**

**NOTES:**  
TRANSITION NOT TO BE LOCATED WITHIN THE CURB RADIUS.

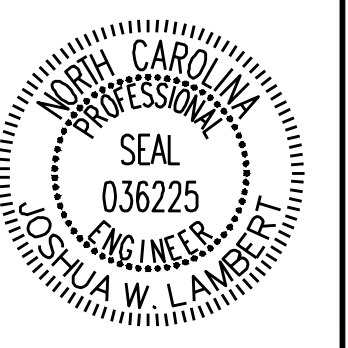
**CITY OF RALEIGH**  
STANDARD DETAIL

REVISIONS: DATE: 8/20/09 NOT TO SCALE

CURB TRANSITION TO 2'-6" VALLEY GUTTER

**T-10.26.2**

NO.	REVISIONS	DATE	BY
01			
02			
03			



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PSP-25-03	PSP-25-03
NOT FOR CONSTRUCTION	NOT FOR CONSTRUCTION
SCALE AS SHOWN	SCALE AS SHOWN
DESIGNED BY JWL	DESIGNED BY JWL
DRAWN BY SRG	DRAWN BY SRG
CHECKED BY JWL	CHECKED BY JWL

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TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
PRELIMINARY SUBDIVISION PLAT  
SITE DETAILS

DRAWING SHEET  
**D-1.2**



