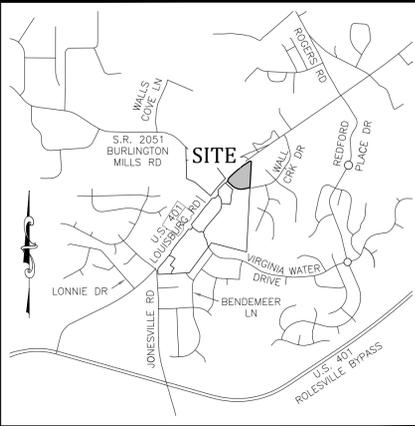


HALL OF FAME CAR WASH AT WALLBROOK (LOT 8)

Town of Rolesville Project Numbers: SDP 25-01 / CID 24-03

US-401 Business / S. Main Street & Wall Creek Drive ~ Town of Rolesville ~ Wake County ~ North Carolina



Vicinity Map
SCALE: 1" = 1000'

General Notes:

- CONTACT NORTH CAROLINA ONE-CALL CENTER, INC. (NC ONE-CALL) AT 811 TO HAVE ALL UNDERGROUND UTILITIES LOCATED PRIOR TO EXCAVATING OR TRENCHING.
- ALL REQUIRED IMPROVEMENTS SHALL CONFORM TO THE TOWN OF ROLESVILLE LAND DEVELOPMENT ORDINANCE AND THE TOWN OF ROLESVILLE DEVELOPMENT STANDARDS.
- CONTRACTOR SHALL NOTIFY NCDOT AND TOWN OF ROLESVILLE PUBLIC WORKS, STREET MAINTENANCE DIVISION 48 HOURS PRIOR TO MAKING CONNECTIONS TO EXISTING STORM DRAINS LOCATED WITHIN PUBLIC STORM DRAINAGE EASEMENTS OR RIGHT-OF-WAY.
- THIS PROPERTY IS LOCATED WITHIN ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM RATE MAP (FIRM) 3720175800K. EFFECTIVE DATE JULY 19, 2022.
- EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE AND MAY NOT INCLUDE ALL MECHANICAL, ELECTRICAL AND MISCELLANEOUS STRUCTURES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING ON THE WORK FOR THIS PROJECT. IF CONDITIONS ENCOUNTERED DURING EXAMINATION ARE SIGNIFICANTLY DIFFERENT THAN THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
- ELECTRIC AND TELEPHONE UTILITIES SHALL BE INSTALLED UNDERGROUND.
- REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
- REFER TO M.E.P. PLANS FOR COORDINATION OF BUILDING UTILITY SERVICES.
- THIS PROJECT DISTURBS MORE THAN 1/2 ACRE FOR PURPOSES OF A COMMERCIAL DEVELOPMENT. PROJECT IS SUBJECT TO THE TOWN OF ROLESVILLE STORMWATER MANAGEMENT ORDINANCE. STORMWATER MANAGEMENT PLAN APPROVAL BY THE TOWN OF ROLESVILLE IS REQUIRED.
- THIS PROJECT DISTURBS MORE THAN 1 ACRE. EROSION & SEDIMENTATION CONTROL PLAN APPROVAL IS REQUIRED.
- NCDOT DRIVEWAY PERMIT APPROVAL IS COMPLETED FOR THIS PROJECT. REFERENCE NCDOT PERMIT NUMBER D051-092-22-00049.
- REFUSE COLLECTION SHALL BE PROVIDED BY PRIVATE SERVICE FOR COMMERCIAL DEVELOPMENT.
- ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- SITE SHALL MEET ALL RELATED ACCESSIBILITY CODE REQUIREMENTS.
- BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION SHOWN HEREON WAS PREPARED BY JOHNSON, MIRMIRAN & THOMPSON. REFERENCE IS MADE TO THE SURVEY ENTITLED ALTA/NSPS LAND TITLE SURVEY PREPARED FOR WALLBROOK LANDCO, LLC DATED 3/28/2020, AND ATTACHED TO THIS DRAWING SET FOR REFERENCE.
- UNDERGROUND UTILITIES PLOTTED IN PART FROM ACTUAL FIELD LOCATION OF ABOVE GROUND FEATURES AND IN PART FROM RECORD DATA. ACTUAL LOCATIONS MAY VARY. SURVEYOR AND ENGINEER CANNOT PROVIDE ACCURACY OF INFORMATION TAKEN FROM RECORD DATA. OTHER UTILITIES MAY EXIST. CONTRACTOR SHOULD CONTACT NORTH CAROLINA ONE-CALL CENTER (NC ONE-CALL) BY DIALING 811 TO HAVE UNDERGROUND UTILITIES LOCATED PRIOR TO EXCAVATING OR TRENCHING.
- THE ENGINEER MAKES NO GUARANTEE THAT THE UTILITIES SHOWN ARE COMPRISED OF ALL SUCH UTILITIES IN THE AREA OF SURVEY EITHER IN SERVICE OR ABANDONED. THE ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE ENGINEER DOES HEREBY CERTIFY THAT ALL UTILITIES ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE ENGINEER HAS NOT PHYSICALLY UNCOVERED AND LOCATED ANY UNDERGROUND UTILITIES.
- REFER TO "WALLBROOK PRELIMINARY PLAT" PR 21-04 REV FOR OPEN SPACE CALCULATIONS AND REQUIREMENTS FOR THE WALLBROOK DEVELOPMENT

RALEIGH WATER INSPECTIONS QUANTITIES (SUBDIVISIONS AND SITE PLANS)			
Phase Number(s)	PHASE 1	PHASE 2	PHASE 3
Number of Lot (s)	1		
Number of Units	1		
Public Water (LF)	0		
Public Sewer (LF)	280		
Public Force Main (LF)	0		
Private Sewer* (LF)	0		
Water Service Stubs (Quantity)	0		
Sewer Service Stubs (Quantity)	0		
Average Daily Flow per phase**	---		
COMMERCIAL PROJECTS WITH SINGLE WATER AND SEWER SERVICE			
Fire Service (Size)	N/A		
Domestic Meter Size	1-1/2"		
Irrigation Meter Size	---		
Average Daily Flow per phase**	---		

*Sewer mains and manholes as part of a collection system
 **Entire Project Flow. Based on 75gpd per bedroom for residential (Apartments, single family dwelling, townhouse, condos), or based on 15A NCAAC 02T.0114 Wastewater Design Flow Rates for Commercial and Industrial.
 The meter size must match domestic service size (Exemption - 3/4" service tap with 5/8" meter)

ATTENTION CONTRACTORS

The Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Raleigh Water Inspector at 919-996-3245 or <https://cityworks.raleighnc.gov/contractors> and schedule a Pre-construction meeting prior to beginning any construction. Raleigh Water must be contacted at (919) 996-4540 at least twenty-four hours prior to beginning any work activity around critical water and sewer infrastructure.

Failure to notify City Departments in advance of beginning construction, will result in the issuance of stop-work orders, and require re-installation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a downstream plug, have permitted plans on the jobsite, or any other violation of Raleigh Water Standards will result in a fine and possible exclusion from future work in the City of Raleigh.



Private Sewer Collection / Extension System

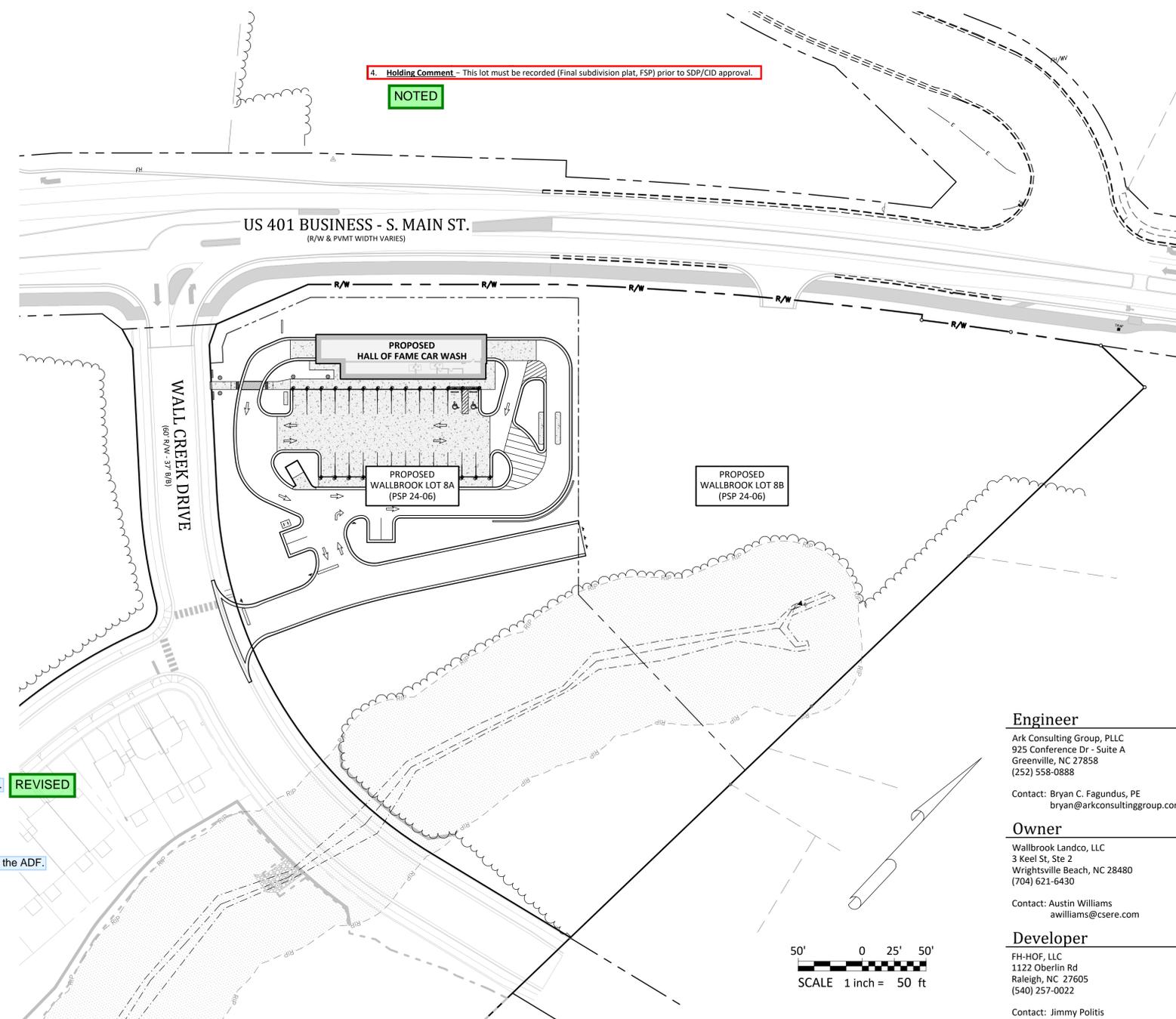
The City of Raleigh consents to the connection to its public sewer system and extension of the private sewer collection system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh
Public Utilities Department Permit # _____

Public Sewer Collection / Extension System

The City of Raleigh consents to the connection and extension of the City's public sewer system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh
Public Utilities Department Permit # _____



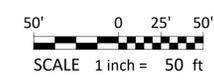
4. **Holding Comment** - This lot must be recorded (Final subdivision plat, FSP) prior to SDP/CID approval.

NOTED

2 sewer stubs. **REVISED**

Please provide the ADF. **REVISED**

Private sewer can be removed from all of these sheets. **REMOVED**



Engineer

Ark Consulting Group, PLLC
925 Conference Dr - Suite A
Greenville, NC 27858
(252) 558-0888
Contact: Bryan C. Fagundus, PE
bryan@arkconsultinggroup.com

Owner

Wallbrook Landco, LLC
3 Keel St, Ste 2
Wrightsville Beach, NC 28480
(704) 621-6430
Contact: Austin Williams
awilliams@csere.com

Developer

FH-HOF, LLC
1122 Oberlin Rd
Raleigh, NC 27605
(540) 257-0022
Contact: Jimmy Politis
jimmy@hofcarwash.com

Site Data

WAKE COUNTY PIN:	1758-67-1871
REAL ESTATE ID:	509438
CURRENT ZONING:	GC-CZ
TOTAL ACREAGE IN SITE:	2.93 AC (PROPOSED LOT 8A) (LOT 8 = 5.35 AC)
TOTAL ACREAGE IN PROJECT LIMITS:	1.81 AC (8A) / 3.64 AC (TOTAL)
DISTURBED ACREAGE:	1.81 AC (8A) / 3.1 AC (TOTAL)
WATERSHED:	Lower Neuse
RIVER BASIN:	Neuse
CURRENT USE:	VACANT / WOODED
PROPOSED USE:	NON-RESIDENTIAL / CAR WASH / RETAIL
REQUIRED BUILDING SETBACKS:	35' (REAR), 25' (CORNER), 20' (FRONT), 15' (SIDE)
BUILDING FLOOR AREA:	4,383 SF
BUILDING LOT COVERAGE:	0% EXIST., 3.4% PROPOSED
BUILDING HEIGHT:	28'-8" (1 STORY)
TOTAL NUMBER OF PARKING SPACES REQUIRED:	10 SPACES (INCL. 1 H/C) + 1 BICYCLE SPACE
TOTAL NUMBER OF PROPOSED PARKING SPACES:	29 SPACES (INCL. 2 H/C) + 4 BICYCLE SPACES
TOTAL SQ. FEET OF EXIST. IMPERVIOUS AREA:	0 SF
TOTAL SQ. FEET OF PROP. IMPERVIOUS AREA:	41,161 SF (32% - LOT 8A)
DEVELOPMENT STANDARDS:	LDO
REFERENCES:	DB 18103, PG 1563 BM 2023, PG 1602 BM 1995, PG 2034 S. MAIN STREET
ADDRESS:	

Parking Requirements:

PARKING REQUIRED:	RETAIL SALES AND SERVICES	
	BICYCLE PARKING: 1 / 5000 SF = 3746 / 5000	1 SPACE
	MINIMUM: 2.5 / 1000 SF = 3960 / 1000 * 2.5	10 SPACES
	MAXIMUM: 7.5 / 1000 SF = 3960 / 1000 * 7.5	30 SPACES
	TOTAL REQUIRED PARKING:	10 SPACES
		+ 1 BICYCLE PARKING
	REQUIRED HANDICAP PARKING:	1 SPACES
	PARKING PROVIDED:	27 SPACES (INCL. 2 H/C)
		4 BICYCLE PARKS

△ Pedestrian Amenity Legend

- PA #1 MULT-USE PATH / GREENWAY
295 LF MUP/GREENWAY MAIN ST PROJECT
- PA #2 BENCHES
SEE DETAIL SHEET C6.2
- PA #3 PUBLIC SIDEWALK CONNECTION
DECORATIVE STAMPED ASPHALT PAVING.
SEE DETAIL SHEET C6.2
- PA #4 LARGE PLANTED POTS
SEE DETAIL SHEET C6.2

Sheet Index

#	Title	
C0.1	COVER	△△
C0.2	EXISTING CONDITIONS	△
C1.0	EROSION CONTROL NOTES	△
C1.1	EROSION CONTROL PLAN - PHASE 1	△△
C1.2	EROSION CONTROL PLAN - PHASE 2	△
C1.3	EROSION CONTROL DETAILS	△
C2.0	SITE PLAN	△△
C3.0	UTILITY PLAN	△△
C3.1	PLAN-PROFILE - PUBLIC SEWER EXTENSION	△
C3.2	PLAN-PROFILE - PRIVATE SEWER - 6" SERVICE	△
C4.0	GRADING & DRAINAGE PLAN	△△
C5.0	REQUIRED VEGETATION PLAN	△△
C6.1	MISC. DETAILS	△△
C6.2	MISC. DETAILS	△△
C6.3	MISC. DETAILS	△△
C6.4	MISC. DETAILS	△△
REF	Survey - Johnson, Mirmiran & Thompson (3 Sheets)	△
REF	Tree Preservation Plan - PR 21-04 REVISED (1 Sheet)	△

EROSION CONTROL, STORMWATER AND FLOODPLAIN MANAGEMENT

APPROVED

EROSION CONTROL S-EC-2025

STORMWATER MGMT. S-WF-2025

FLOOD STUDY S-

DATE _____

ENVIRONMENTAL CONSULTANT SIGNATURE _____

Town of Rolesville Development Applications

ANX 23-03	ANNEXATION
MA 21-09	REZONING
PR 21-04 REV	PRELIMINARY SUBDIVISION PLAT (REVISED)
FSP 23-09	INTERMEDIATE SUBDIVISION PLAT
PSP 24-06	PRELIMINARY SUBDIVISION PLAT (LOT 8)
CID 24-03	WALLBROOK LOT 8 - MASS GRADING / EROSION CONTROL
SDP 25-01	SITE DEVELOPMENT PLAN (CURRENT APPLICATION)

Project Manager:	BCF
Drawn By:	DLC
Checked By:	TGN
Project Number:	24137
Drawing Number:	D-1525

C0.1

Date: January 2, 2025

REVISIONS:

#	DATE	DESCRIPTION
1	2/14/25	INITIAL SUBMITTAL FOR REVIEW
2	3/14/25	REVISED PER TRC REVIEW COMMENTS

COVER

HALL OF FAME CAR WASH

WALLBROOK - LOT 8

Town of Rolesville Project No. SDP 25-01
US 401 Business / S. Main Street & Wall Creek Drive
Wake Forest Township, Town of Rolesville, Wake County, North Carolina

NC License: PI 1391
ARK CONSULTING GROUP PLLC
 ENGINEERS & SURVEYORS
 925-A Conference Drive
 Raleigh, NC 27605
 (252) 558-0888
 www.arkconsultinggroup.com

3/7/2025

CORPUD Standard Utility Notes:

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK)
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATER SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATER MAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATER MAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY CORPUD PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO CORPUD.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY CORPUD. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVIC FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL PVC WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2' X 2' WATERLINE EASEMENT IMMEDIATELY ADJACENT.
- INSTALL PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOC PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NC. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

NO.	DATE	DESCRIPTION
1	2/14/25	INITIAL SUBMITTAL FOR REVIEW
2	3/10/25	REVISED PER TRC REVIEW COMMENTS

REVISIONS:

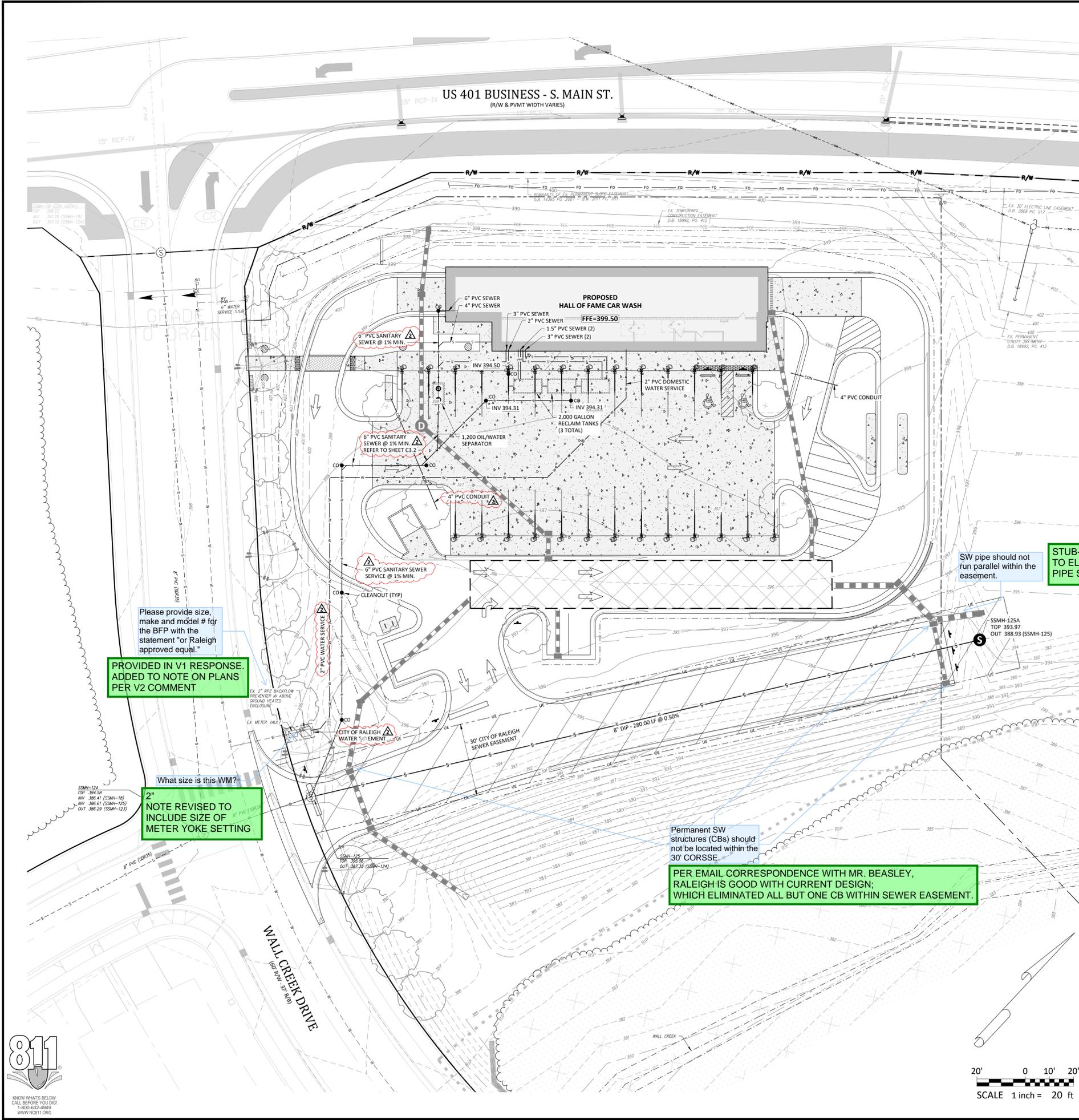
UTILITY PLAN
HALL OF FAME CAR WASH
 WALLBROOK - LOT 8
 Town of Rolesville Project No. SDP 25-01
 US 401 Business / S. Main Street & Wall Creek Drive
 Wake Forest Township, Town of Rolesville, Wake County, North Carolina

NC License: PA 139
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PROBATIONARY
 NORTH CAROLINA
 STATE BOARD OF PROFESSIONAL ENGINEERS & SURVEYORS
 3/17/2025

Project Manager:	BCF
Drawn By:	DLC
Checked By:	TGN
Project Number:	24137
Drawing Number:	D-1525

C3.0
 Date: January 2, 2025



Please provide size, make and model # for the BFP with the statement "or Raleigh approved equal."
PROVIDED IN V1 RESPONSE. ADDED TO NOTE ON PLANS PER V2 COMMENT

What size is this WM?
NOTE REVISED TO INCLUDE SIZE OF METER YOKE SETTING

Permanent SW structures (CBs) should not be located within the 30' CORSE.
PER EMAIL CORRESPONDENCE WITH MR. BEASLEY, RALEIGH IS GOOD WITH CURRENT DESIGN; WHICH ELIMINATED ALL BUT ONE CB WITHIN SEWER EASEMENT.

SW pipe should not run parallel within the easement.
STUB-OUT RELOCATED TO ELIMINATE PARALLEL PIPE SCENARIO

Please use the most recent standard utility notes (Public Utility Design Manual Appendix D).
NOTES REVISED

Once design is complete, please email me for the public sewer permit number and the development fees associated with this project. These fees should be paid prior to signatures.
PROVIDED VIA EMAIL S-5600

REMOVED
 Please remove.

ATTENTION CONTRACTORS
 JAN2025M

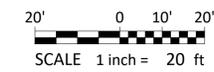
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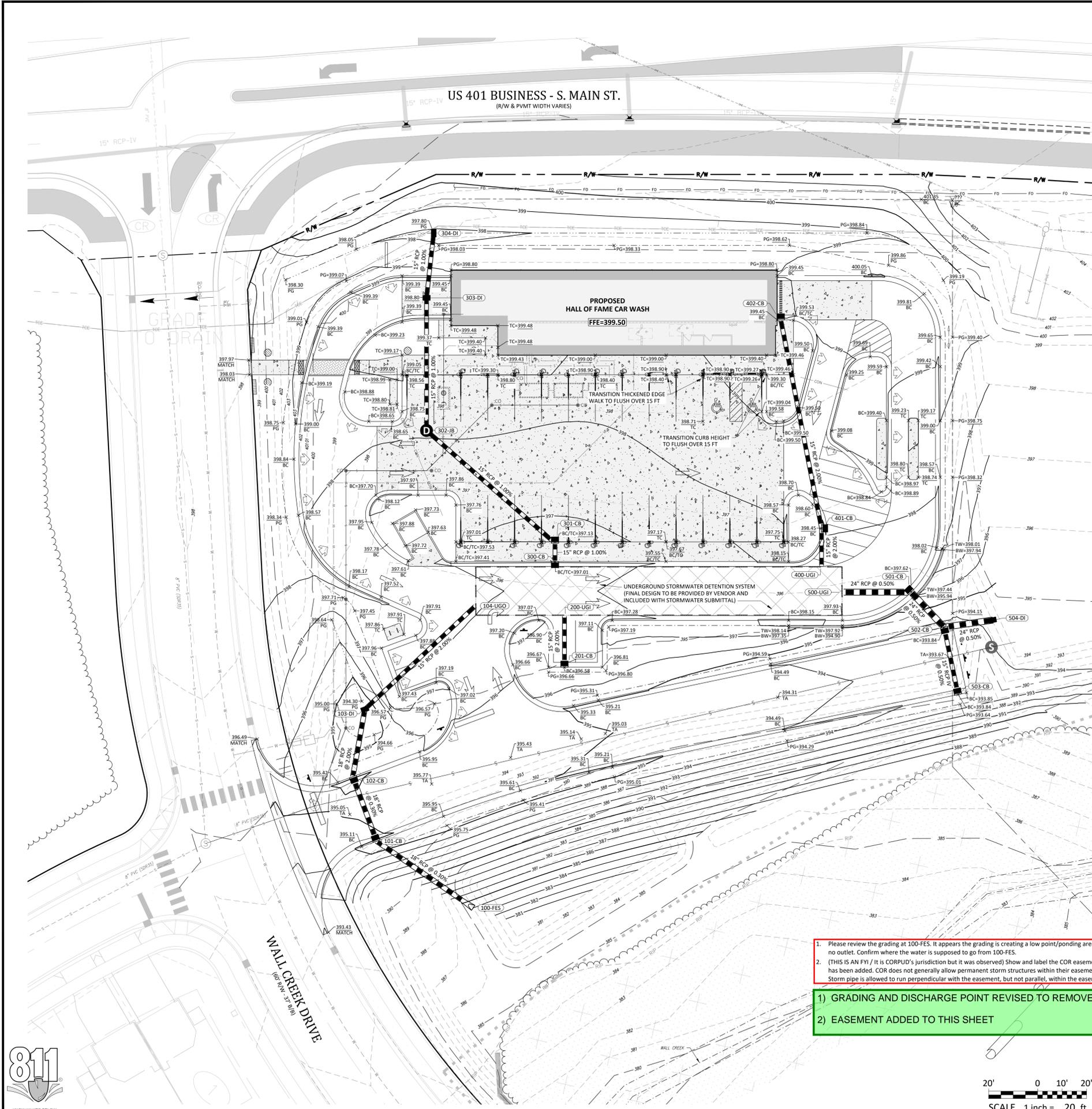
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 City of Raleigh
 Public Utilities Department Permit # _____

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Grading Notes:

- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT REFERENCED IN THIS PLAN SET.
- SITE CONTRACTOR TO GRADE ALL AREAS WITHIN THE LIMITS OF DISTURBANCE FROM BUILDING TO PROPERTY LINES AND TO EDGE OF PAVEMENT ON STREET SIDES, INCLUDING ROW.
- TREES OUTSIDE OF CONSTRUCTION LIMITS OR TREES NOT INDICATED TO BE REMOVED SHALL BE PROTECTED.
- TOP SOIL SHALL BE STRIPPED FROM ALL CUT AND FILL AREAS, STOCKPILED AND REDISTRIBUTED OVER GRADED AREAS. PROVIDE EROSION AND SEDIMENTATION CONTROLS AROUND STOCKPILES DURING CONSTRUCTION.
- TILL TOP SOIL TO A DEPTH OF 4" MINIMUM AND REMOVE ALL ROCKS LARGER THAN 1" MEASURED IN LARGEST DIRECTION.
- GRADE ALL AREAS TO MAINTAIN POSITIVE SLOPE AWAY FROM BUILDING.
- ALL GRADED AREAS TO RECEIVE SEED OR SOD, TOP SOIL, STRAW AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- INSTALL TEMPORARY TURF REINFORCEMENT MATTING ON ALL SLOPES STEEPER THAN 3:1. MATTING SHALL BE CONTECH LANDLOK C2 OR EQUAL.
- REFER TO CIVIL DETAILS FOR PAVEMENT IN PARKING AND DRIVE AREAS.
- ALL SIDEWALKS SHALL BE CONSTRUCTED OF 3,500 PSI CONCRETE AND SHALL HAVE TOOLED CONTROL JOINTS PER THE JOINT SPACING REFERENCED ON THE PLAN.
- MATERIALS SELECTED FOR USE AS STRUCTURAL FILL SHALL BE FREE OF VEGETABLE MATTER, WASTE CONSTRUCTION DEBRIS, AND OTHER DELETERIOUS MATERIALS. THE MATERIAL SHALL NOT CONTAIN ROCKS HAVING A DIAMETER OVER 3 INCHES.
- SOILS REPRESENTED BY THEIR USCS GROUP SYMBOLS WILL TYPICALLY BE SUITABLE FOR USE AS STRUCTURAL FILL: (ML), (CL), (SM), AND (SC).
- THE FOLLOWING SOILS ARE CONSIDERED SUITABLE IN AREAS WHERE A MINIMUM THICKNESS OF 3' OF LOW PERMEABILITY SOILS CAN BE USED AS COVER: (SW), (SP), (SP-SM), AND (SP-SC).
- THE FOLLOWING SOILS ARE CONSIDERED SUITABLE IN AREAS WHERE A MINIMUM THICKNESS OF 3' OF NON-EXPANSIVE SOILS CAN BE USED AS COVER: (MH) AND (CH).
- THE FOLLOWING SOIL TYPES ARE CONSIDERED UNSUITABLE: (OL), (OH), AND (PI).
- ALL STRUCTURAL FILL SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D698). ADDITIONALLY, THE IN-PLACE MAXIMUM DRY DENSITY OF STRUCTURAL FILL SHOULD BE NO LESS THAN 90 PCF.
- THE UPPER 12" OF BUILDING FLOOR SLAB SUBGRADES SHALL BE COMPACTED TO AT LEAST 98% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D698).
- FILL PLACEMENT IN PAVEMENT AREAS SHALL BE PERFORMED IN ACCORDANCE WITH NCDOT STANDARD SPECIFICATIONS.
- SUITABLE FILL MATERIAL SHALL BE PLACED IN 8" LIFTS AND COMPACTED BY MECHANICAL MEANS. PROOFROLLING WITH RUBBER TIRED, HEAVILY LOADED VEHICLES MAY BE DESIRABLE AT INTERVALS OF APPROXIMATELY 2 VERTICAL FEET TO BIND THE LIFTS TOGETHER AND TO SEAL THE SURFACE OF THE COMPACTED AREAS.
- ALL BUILDING, SIDEWALK, AND PAVEMENT SUB-GRADE COMPACTIONS SHALL BE INTERMEDIATELY TESTED THROUGHOUT FILL PLACEMENT OPERATIONS AND APPROVED BY THE GEOTECHNICAL ENGINEER. ALL SUB-GRADES SHALL BE THOROUGHLY PROOF-ROLLED TO IDENTIFY SMALL LOCALIZED AREAS OF UNSUITABLE SOILS. ALL UNSUITABLE SOILS SHALL BE UNDERCUT, REPLACED WITH STRUCTURAL FILL, AND COMPACTED AS DESCRIBED ABOVE.
- WHERE REQUIRED, PAVEMENT SHALL BE SAW CUT IN STRAIGHT LINES, AND EXCEPT FOR EDGE OF BUTT JOINTS, SHALL EXTEND TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS SHALL BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL NOT BE PERMITTED.
- THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, CLEANOUTS, ETC. SHALL BE ADJUSTED, AS REQUIRED, TO MATCH PROPOSED GRADES.
- SITE CONTRACTOR SHALL BE REQUIRED TO SECURE ALL NECESSARY PERMITS AND APPROVALS FOR OFF SITE MATERIAL SOURCES AND / OR DISPOSAL FACILITIES. CONTRACTOR SHALL SUPPLY A COPY OF APPROVALS TO OWNER PRIOR TO INITIATING WORK.
- UNLESS INDICATED OTHERWISE, ALL STORM DRAINAGE PIPE SHALL BE REINFORCED CONCRETE PIPE (RCP) CLASS III WITH SOIL TIGHT JOINTS.
- SITE CONTRACTOR SHALL INSTALL BUILDING ROOF DRAINS TO WITHIN 2' OF THE BUILDING EXTERIOR WALL, CAP AND PROVIDE ABOVE GROUND MARKER FOR LOCATION PURPOSES. GENERAL CONTRACTOR IS RESPONSIBLE FOR TIE-INS OF BUILDING DOWNSPOUTS TO SITE ROOF DRAINAGE PIPING.

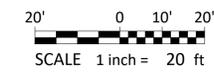
STRUCTURE TABLE				
ID	TOP	IN	OUT	DESC
100-FES	385.79	384.00 (101-CB)		15 in FES
101-CB	395.34	384.34 (102-CB)	384.14 (100-FES)	Catch Basin
102-CB	395.34	386.31 (103-DI)	384.43 (101-CB)	Catch Basin
103-DI	394.20	387.06 (104-UGO)	386.86 (102-CB)	Drop Inlet
104-UGO	389.82		388.30 (103-DI)	U/G Storage Outlet
200-UGI	391.10	389.58 (201-CB)		U/G Storage Inlet
201-CB	396.58		390.00 (200-UGI)	Catch Basin
300-CB	397.01	390.00 (301-CB)		Catch Basin
301-CB	397.12	390.28 (302-JB)	390.08 (300-CB)	Catch Basin
302-JB	398.07	391.17 (303-DI)	390.97 (301-CB)	Junction Box
303-DI	398.80	391.91 (304-DI)	391.71 (302-JB)	Drop Inlet
304-DI	397.80		392.18 (303-DI)	Drop Inlet
400-UGI	391.52	390.00 (401-CB)		U/G Storage Inlet
401-CB	398.45	390.51 (402-CB)	390.31 (400-UGI)	Catch Basin
402-CB	399.47		392.24 (401-CB)	Catch Basin
500-UGI	390.88	388.50 (501-CB)		U/G Storage Inlet
501-CB	397.62	388.84 (502-CB)	388.64 (500-UGI)	Catch Basin
502-CB	393.84	390.21 (503-CB)	388.94 (501-CB)	Catch Basin
503-CB	393.84		390.35 (502-CB)	Catch Basin
504-DI	394.22		389.24 (502-CB)	Drop Inlet

Abbreviations

- BC BACK OF CURB
- TC TOP OF CONCRETE
- TA TOP OF ASPHALT
- TW TOP OF WALL
- BW BOTTOM OF WALL
- PG PROPOSED GRADE/GROUND
- CB CATCH BASIN
- DI DROP INLET
- INV INVERT
- U/G UNDERGROUND

- Please review the grading at 100-FES. It appears the grading is creating a low point/ponding area with no outlet. Confirm where the water is supposed to go from 100-FES.
- (THIS IS AN FYI / It is CORPUD's jurisdiction but it was observed) Show and label the COR easement that has been added. COR does not generally allow permanent storm structures within their easement. Storm pipe is allowed to run perpendicular with the easement, but not parallel, within the easement.

- GRADING AND DISCHARGE POINT REVISED TO REMOVE PONDING AREA
- EASEMENT ADDED TO THIS SHEET



GRADING & DRAINAGE PLAN

HALL OF FAME CAR WASH
WALLCREEK - LOT 8

Town of Rolesville Project No. SDP 25-01
US 401 Business / S. Main Street & Wall Creek Drive
Wake Forest Township, Town of Rolesville, Wake County, North Carolina

NC License: P1-129
ARK CONSULTING GROUP PLLC
ENGINEERS & SURVEYORS
925-A Conference Drive
Wake Forest, NC 27886
(757) 558-0888
www.arkconsultinggroup.com

Project Manager: BCF
Drawn By: DLC
Checked By: TGN
Project Number: 24137
Drawing Number: D-1525

C4.0

Date: January 2, 2025

REVIEW SET
NOT FOR
CONSTRUCTION

HALL OF FAME CAR WASH
SOUTH MAIN STREET ROLESVILLE NC

No.	Description	Date
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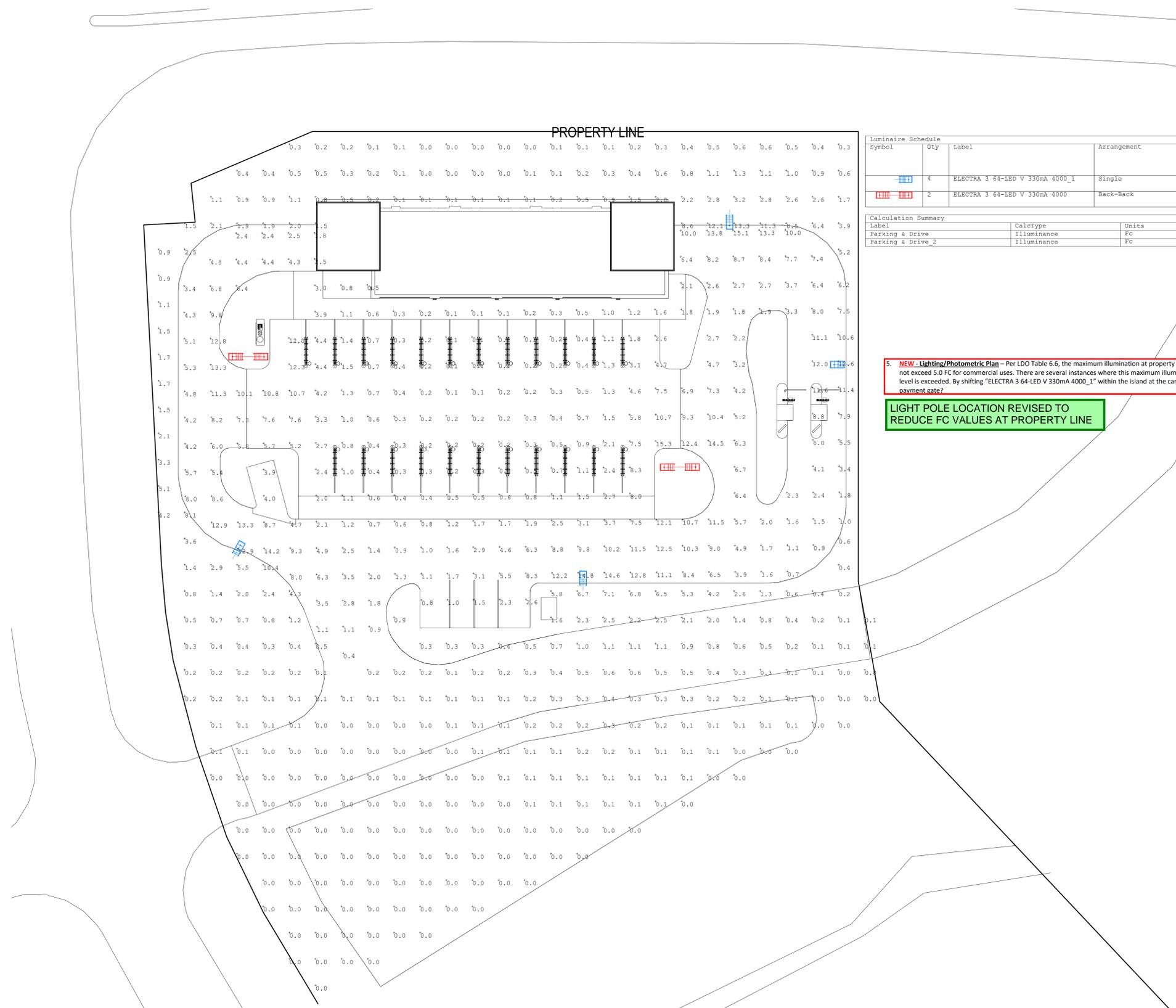
PROJECT #: 240068

DATE: 02/25/2025

PHOTOMETRIC SITE
PLAN

A1.01

DIGITAL PRINT DATE: 2/25/2025 5:35:29 PM

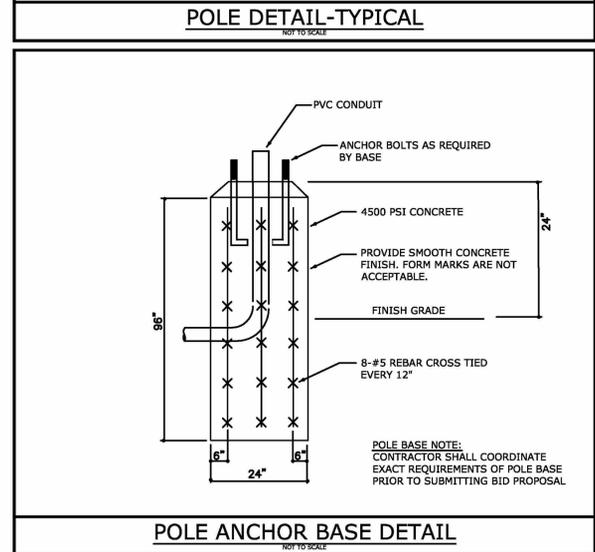
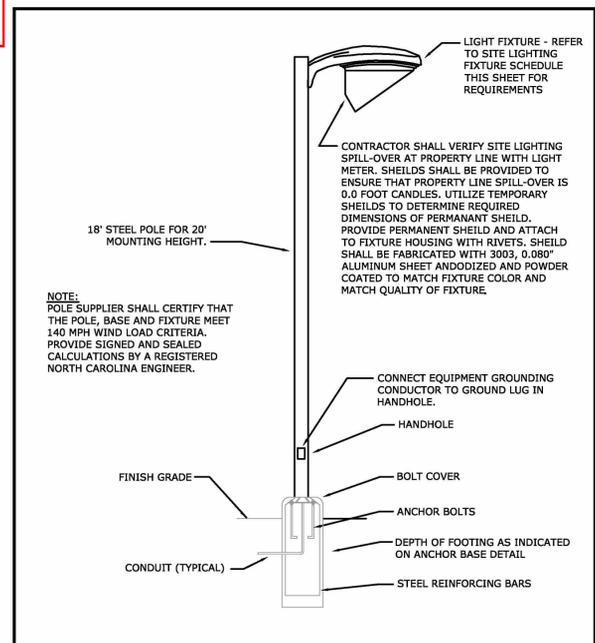


Symbol	Qty	Label	Arrangement	Description	LLF	Luminaire Lumens	Luminaire Watts	Total Watts	Arrangement Watts
[Symbol]	4	ELECTRA 3 64-LED V 330mA 4000_1	Single	ELECTRA3_64V330xx_4070_x	0.900	25368	172	688	172
[Symbol]	2	ELECTRA 3 64-LED V 330mA 4000	Back-Back	ELECTRA3_64V330xx_4070_x	0.900	25368	172	688	344

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Parking & Drive	Illuminance	Fc	4.19	15.3	0.1	41.90	153.00
Parking & Drive_2	Illuminance	Fc	0.31	13.3	0.0	N.A.	N.A.

5. NEW - Lighting/Photometric Plan - Per LDO Table 6.6, the maximum illumination at property line shall not exceed 5.0 FC for commercial uses. There are several instances where this maximum illumination level is exceeded. By shifting "ELECTRA 3 64-LED V 330mA 4000_1" within the island at the car wash payment gate?

LIGHT POLE LOCATION REVISED TO REDUCE FC VALUES AT PROPERTY LINE



1 PHOTOMETRIC SITE PLAN
1" = 20'-0"