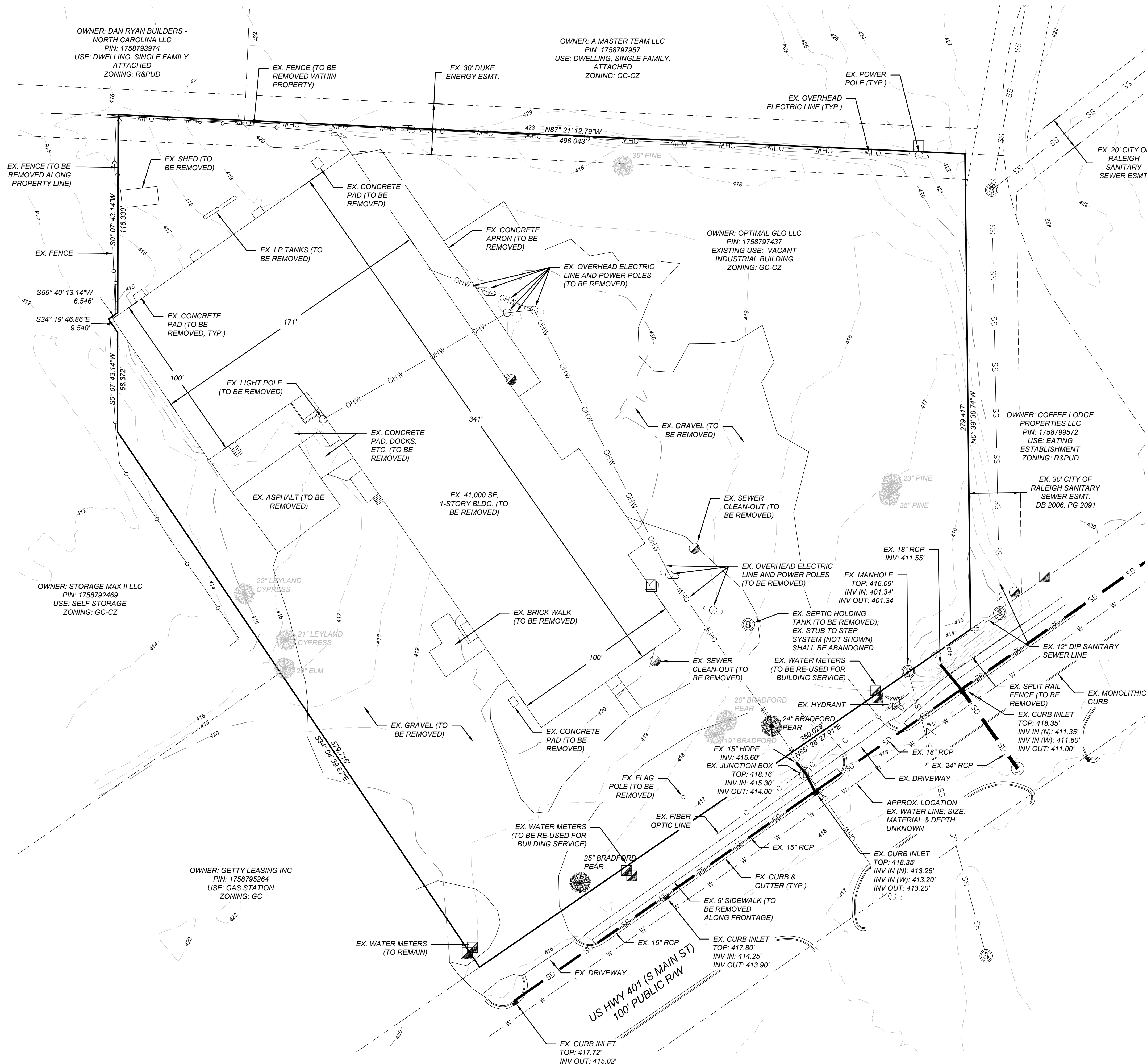


NOTES

- BOUNDARY AND TOPOGRAPHIC SURVEY BY CMP PROFESSIONAL LAND SURVEYORS.
- THERE ARE NO FLOOD PRONE AREAS PRESENT PER FEMA FIRM PANEL NO. 3720175800K, EFFECTIVE 07/19/22.
- TREE SURVEY BY SOIL & ENVIRONMENTAL CONSULTANTS, PA (S&EC).
- THE UTILITIES SHOWN ARE NOT GUARANTEED TO BE A REPRESENTATION OF ALL UTILITIES WITHIN THE PROJECT EXTENT.
- THE CONTRACTOR SHALL CALL THE NORTH CAROLINA ONE-CALL-CENTER AT LEAST 48 HOURS PRIOR TO BEGINNING WORK.
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LEGEND

- EX. PROPERTY LINE
- EX. RIGHT-OF-WAY
- EX. ADJACENT OWNERS
- EX. EASEMENT
- EX. CHAIN LINK FENCE
- EX. WOOD FENCE
- EX. COMMUNICATIONS LINE
- EX. OVERHEAD ELECTRIC LINE
- EX. WATER LINE
- EX. SANITARY SEWER
- EX. STORM SEWER
- EX. MAJOR CONTOUR (5')
- EX. MINOR CONTOUR (1')
- EX. TREE TO REMAIN (EVERGREEN > 20" AND/OR DECIDUOUS > 18" DBH)
- EX. TREE TO BE REMOVED (EVERGREEN > 20" AND/OR DECIDUOUS > 18" DBH)



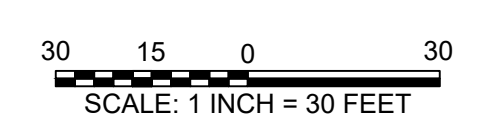
POST OFFICE BOX 91727
 RALEIGH, NORTH CAROLINA 27675
 PHONE: 919.610.1051
 FIRM NC LICENSE NUMBER C-4222



REVISION HISTORY

REV #	DESCRIPTION	DATE	BY
1	TRC COMMENTS	7/29/2024	FLM
2	TRC COMMENTS	10/29/2024	FLM

ORIGINAL PLAN SIZE: 24" X 36"



SCALE ADJUSTMENT
 THIS BAR IS 1 INCH IN LENGTH ON ORIGINAL DRAWING
 IF IT IS NOT 1 INCH ON THIS SHEET, ADJUST YOUR SCALE ACCORDINGLY

**SITE DEVELOPMENT PLAN
 SDP-24-05**

PINE GLO
 414 S MAIN ST
 ROLESVILLE, NC 27571

OPTIMAL GLO LLC

DATE:	06-03-2024
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	FLM
PROJECT NO.:	24028

**EXISTING CONDITIONS &
 DEMOLITION PLAN**

C-3

SHEET 3 OF 30

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL TOWN OF ROLESVILLE, CITY OF RALEIGH AND WAKE COUNTY STANDARDS AND SPECIFICATIONS

CALL 48 HOURS BEFORE YOU DIG

 NORTH CAROLINA ONE-CALL CENTER
 1-800-632-4949

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**CITY OF RALEIGH STANDARD UTILITY NOTES
(AS APPLICABLE)**

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 10' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS POSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5'0" MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS, MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24-HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- SEWER BYPASS PUMPING - A BYPASS PLAN SEALED BY AN NC PROFESSIONAL ENGINEER SHALL BE PROVIDED TO RALEIGH WATER PRIOR TO PUMPING OPERATIONS FOR APPROVAL. THE OPERATIONS AND EQUIPMENT SHALL COMPLY WITH THE PUBLIC UTILITIES HANDBOOK.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL 1/2" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RW FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A LIC AND/OR BUILDING PERMIT. CONTACT (919) 986-4516 OR FOG@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON THE DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA.
- THE DEVICES SHALL MEET THE AMERICAN SOCIETY OF SANITARY ENGINEERING (ASAE) STANDARDS AND BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST.
- THE DEVICE AND INSTALLATION SHALL MEE THE GUIDELINES OF APPENDIX A - GUIDELINES AND REQUIREMENTS FOR THE CROSS CONNECTION PROGRAM IN RALEIGH'S SERVICE AREA.
- THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH, INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT CROSS.CONNECTION@RALEIGHNC.GOV FOR MORE INFORMATION.
- NOTICE FOR PROJECTS THAT INVOLVE AN OVERSIZED MAIN OR URBAN MAIN REPLACEMENT. ANY CITY REIMBURSEMENT GREATER THAN \$250,000.00 MUST UNDERGO THE PUBLIC BIDDING PROCESS.

NOTES

- ALL WATER AND SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
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LEGEND

	EX. PROPERTY LINE
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	EX. ADJACENT OWNERS
	EX. EASEMENT
	EX. CHAIN LINK FENCE
	EX. COMMUNICATIONS LINE
	EX. OVERHEAD ELECTRIC LINE
	EX. WATER LINE
	EX. SANITARY SEWER
	EX. STORM SEWER
	PROP. SETBACK LINE
	PROP. EASEMENT/BUFFER
	PROP. CONCRETE
	PROP. WATER LINE
	PROP. SANITARY SEWER
	PROP. STORM SEWER

PROP. 13' D X 24' W DUMPSTER ENCLOSURE ON 20' D X 24' W CONCRETE PAD, 6"-THICK WITH NO. 4 REBAR 12" O.C. E.W. CENTERED IN SLAB; CONSTRUCT MIN. 12" X 12" FOOTING CENTERED UNDER ENCLOSURE WALL TO FROST DEPTH TO PREVENT FROST HEAVE (SUBJECT TO CONFIRMATION FROM GEOTECHNICAL ENGINEER); SLAB SHALL BE TURN-DOWN TO MEET EX. GRADE; ENCLOSURE TO MATCH BUILDING

PROP. 60,444 SF 2-STORY BLDG. FFE = 420,00' (BLDG. SHALL BE EQUIPPED WITH AUTOMATIC SPRINKLER SYSTEM)

OWNER: STORAGE MAX II LLC
PIN: 1758792469
USE: SELF STORAGE
ZONING: GC-CZ

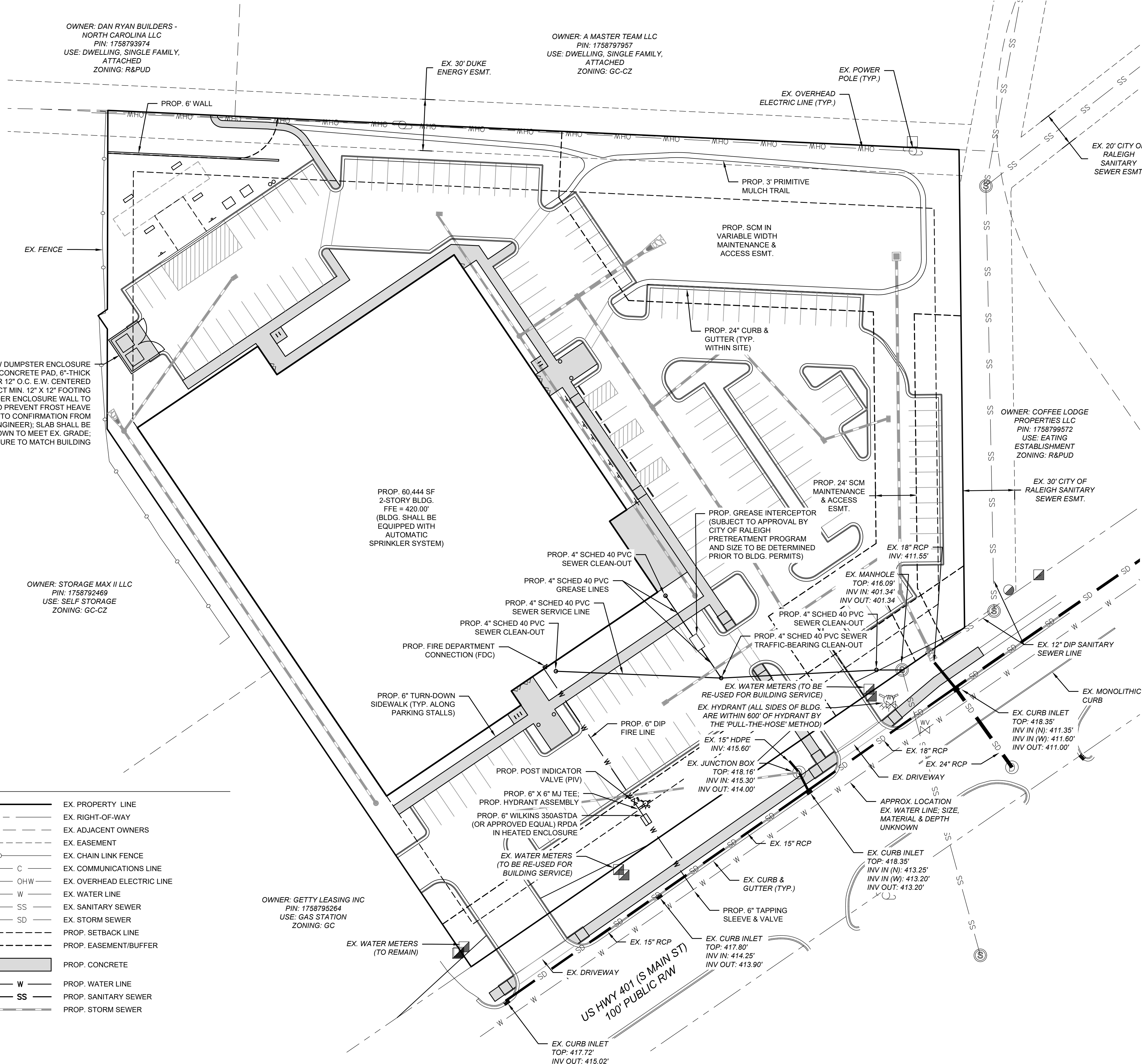
OWNER: DAN RYAN BUILDERS - NORTH CAROLINA LLC
PIN: 1758793974
USE: DWELLING, SINGLE FAMILY, ATTACHED
ZONING: R&PUD

OWNER: A MASTER TEAM LLC
PIN: 1758797957
USE: DWELLING, SINGLE FAMILY, ATTACHED
ZONING: GC-CZ

OWNER: GETTY LEASING INC
PIN: 1758795264
USE: GAS STATION
ZONING: GC

OWNER: COFFEE LODGE PROPERTIES LLC
PIN: 1758799572
USE: EATING ESTABLISHMENT
ZONING: R&PUD

EX. 30' CITY OF RALEIGH SANITARY SEWER ESMT.



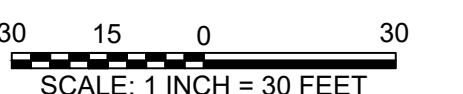
POST OFFICE BOX 91727
RALEIGH, NORTH CAROLINA 27675
PHONE: 919.610.1051
FIRM NC LICENSE NUMBER C-4222



REVISION HISTORY

REV #	DESCRIPTION	DATE	BY
1	TRC COMMENTS	7/29/2024	FLM
2	TRC COMMENTS	10/29/2024	FLM

ORIGINAL PLAN SIZE: 24" X 36"



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**SITE DEVELOPMENT PLAN
SDP-24-05**

PINE GLO
414 S MAIN ST
ROLESVILLE, NC 27571

OPTIMAL GLO LLC

DATE:	06-03-2024
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	FLM
PROJECT NO.:	24028

UTILITY PLAN

C-5
SHEET 5 OF 30

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www.nc811.org
NORTH CAROLINA ONE-CALL CENTER
1-800-632-4949

NOTES

1. PROPOSED CONTOURS REPRESENT FINISHED GRADE ELEVATIONS.
2. CUT AND FILL SLOPES ARE 3H:1V UNLESS OTHERWISE NOTED.
3. PROPOSED ADA STALLS AND AISLES SHALL HAVE SLOPES NO STEEPER THAN 1:48 (2%) IN ALL DIRECTIONS.
4. PROPOSED ACCESSIBLE ROUTES SHALL HAVE RUNNING SLOPES NO STEEPER THAN 1:20 (5%) AND CROSS SLOPES NO STEEPER THAN 1:48 (2%).
5. REFER TO SHEET C-2 FOR STORM DRAINAGE CALCULATIONS.
6. ROOF DRAINS SHALL BE COORDINATED WITH BUILDING PLANS AND SHALL BE CONNECTED TO DOWNSPOUTS WITH APPROPRIATE BEND FITTINGS AND CONNECTED TO THE STORM DRAINAGE SYSTEM VIA CURRENT NC PLUMBING CODE, CHAPTER 11 "STORM DRAINAGE" COMPLIANT FIXTURES, MATERIALS, ETC.
7. THE UTILITIES SHOWN ARE NOT GUARANTEED TO BE A REPRESENTATION OF ALL UTILITIES WITHIN THE PROJECT EXTENT.
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LEGEND

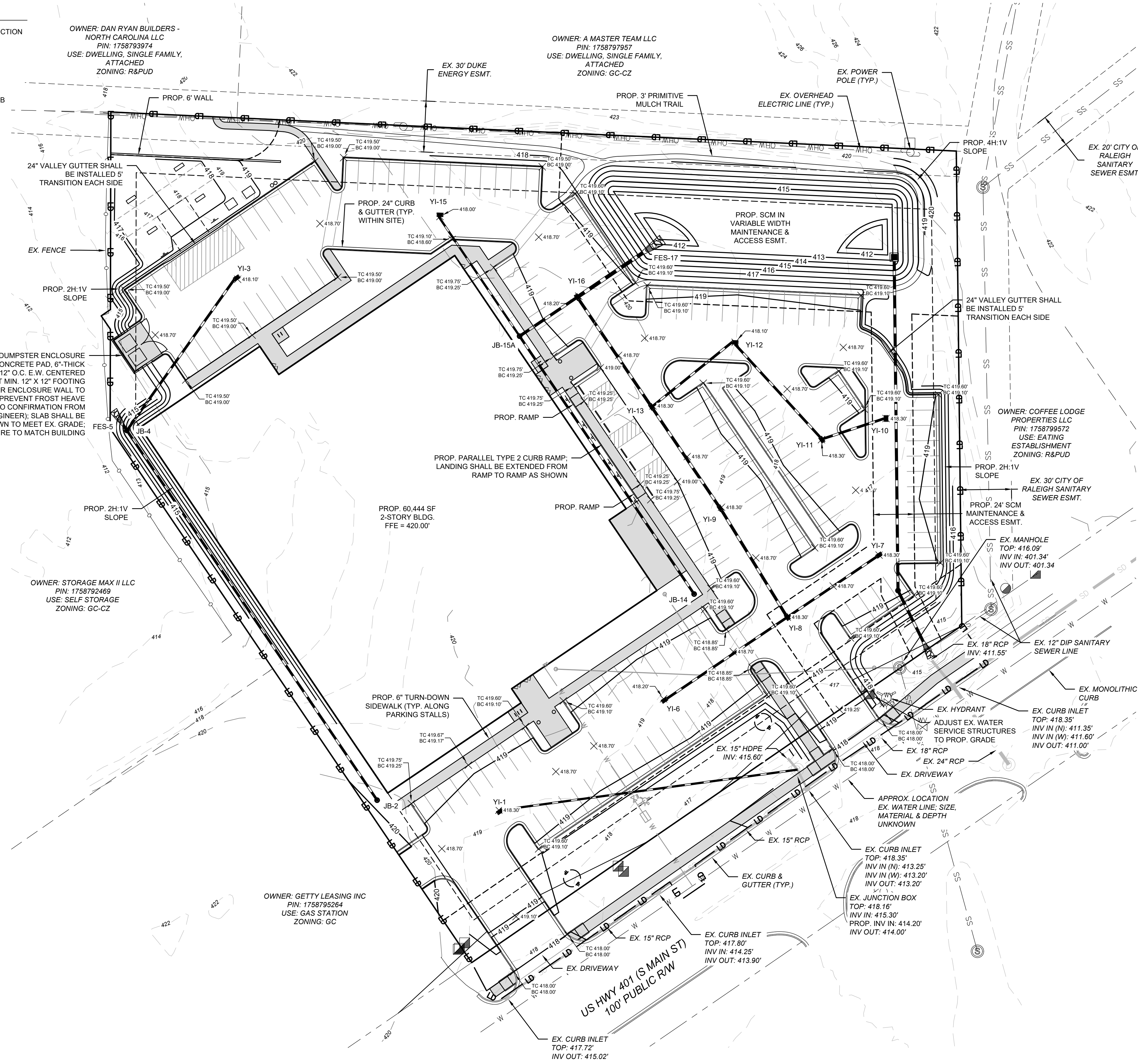
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- - - EX. RIGHT-OF-WAY
- - - EX. ADJACENT OWNERS
- - - EX. EASEMENT
- EX. CHAIN LINK FENCE
- C C EX. COMMUNICATIONS LINE
- OHW EX. OVERHEAD ELECTRIC LINE
- W W EX. WATER LINE
- SS SS EX. SANITARY SEWER
- SD SD EX. STORM SEWER
- 420- EX. MAJOR CONTOUR (5')
- 419- EX. MINOR CONTOUR (1')
- - - PROP. SETBACK LINE
- - - PROP. EASEMENT/BUFFER
- PROP. CONCRETE
- W W PROP. WATER LINE
- SS SS PROP. SANITARY SEWER
- SD SD PROP. STORM SEWER
- 420- PROP. MAJOR CONTOUR (5')
- 419- PROP. MINOR CONTOUR (1')
- LD LD PROP. LIMIT OF DISTURBANCE
- - - PROP. TREE PROTECTION FENCE

KEY

- FES = FLARED END SECTION
- JB = JUNCTION BOX
- YI = YARD INLET
- TC = TOP OF CURB
- BC = BOTTOM OF CURB

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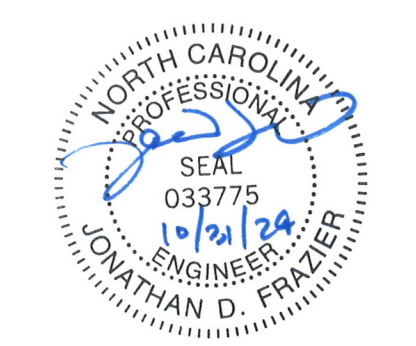


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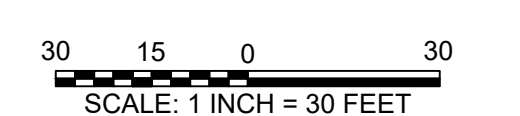
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ROLESVILLE, NC 27571

OPTIMAL GLO LLC

DATE:	06-03-2024
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	FLM
PROJECT NO.:	24028

GRADING & DRAINAGE PLAN

C-6

SHEET 6 OF 30

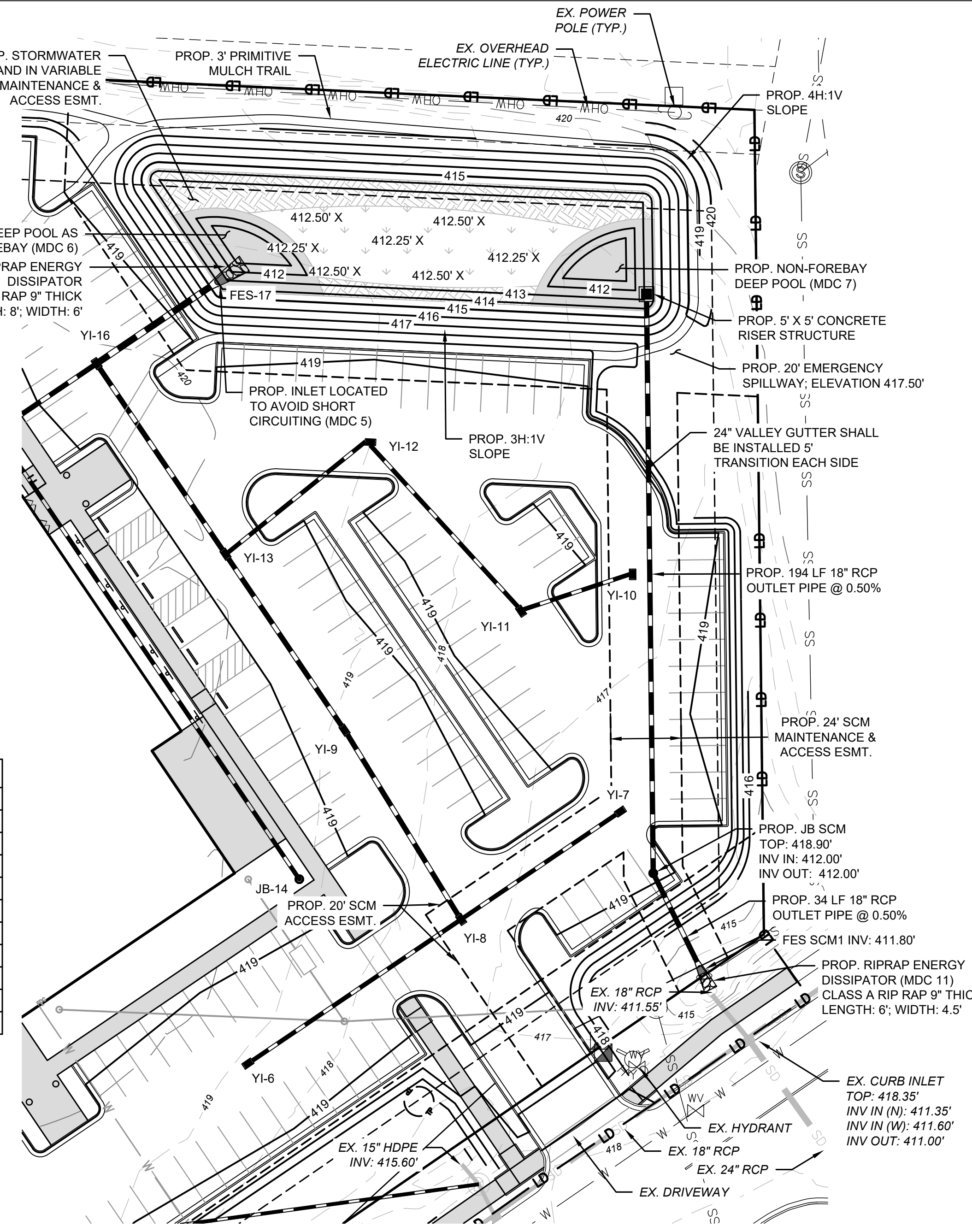
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	PROP. SANITARY SEWER
	PROP. STORM SEWER
	PROP. MAJOR CONTOUR (5')
	PROP. MINOR CONTOUR (1')
	PROP. LIMIT OF DISTURBANCE
	SHALLOW LAND AREA (2,280 SF, 35%) (MDC 3, 9)
	SHALLOW WATER AREA (2,280 SF, 35%) (MDC 3, 8)
	DEEP POOL AREA (FOREBAY 976 SF, 15%; NON-FOREBAY 976 SF, 15%) (MDC 6, 7)

STORMWATER WETLAND PLANTING TABLE (MDC 12, 13, 14)

QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
SHALLOW WATER PLANTINGS (AREA = 2,280 SQ. FT.; 50 HERBACEOUS PLANTS PER 200 SQ. FT.; 570 TOTAL PLANTS REQ.)				
114	ACORUS SUBCORDATUM	SWEETFLAG	4 CU. IN.	2' O.C.
114	HYDROLEA QUADRIVALVIS	WATERPOD	4 CU. IN.	2' O.C.
114	IRIS VIRGINICA	BLUE FLAG IRIS	4 CU. IN.	2' O.C.
114	SAGITTARIA LATIFOLIA	DUCK POTATO	4 CU. IN.	2' O.C.
114	SAURURUS CERNUUS	LIZARD'S TAIL	4 CU. IN.	2' O.C.
SHALLOW LAND PLANTINGS (AREA = 2,280 SQ. FT.; 50 HERBACEOUS PLANTS PER 200 SQ. FT.; 570 TOTAL PLANTS REQ.)				
190	CAREX TENERA	QUILL SEDGE	4 CU. IN.	2' O.C.
190	HIBISCUS COCCINEUS	SCARLET ROSE MALLOW	4 CU. IN.	2' O.C.
190	LOBELIA ELONGATA	LONGLEAF LOBELIA	4 CU. IN.	2' O.C.



NOTES

- THE WETLAND MUST BE STABILIZED WITHIN 14 DAYS OF CONSTRUCTION. CONSTRUCTION SHALL BE SEQUENCED SO THAT VEGETATION CAN BE PLANTED AND THE WETLAND BROUGHT ONLINE WITHIN 14 DAYS. PLANTS MAY NEED TO BE WATERED DURING THIS TIME IF THE DEVICE IS NOT BROUGHT ONLINE THE SAME DAY. STABILIZATION MAY BE IN THE FORM OF FINAL VEGETATION PLANTINGS OR A TEMPORARY MEANS UNTIL THE VEGETATION BECOMES ESTABLISHED. IF USING A TEMPORARY MEANS, CONTRACTOR SHALL PROVIDE A WET HYDROSEED MIX. CONTRACTOR SHALL SCARIFY THE SOIL TO A HALF-INCH PRIOR TO HYDROSEEDING.
- INLET AND OUTLET CHANNELS SHALL BE PROTECTED FROM SCOUR THAT MAY OCCUR DURING PERIODS OF HIGH FLOW. STANDARD EROSION CONTROL MEASURES SHOULD BE USED.
- THE STORMWATER WETLAND SHOULD BE STAKED AT THE ONSET OF THE PLANTING SEASON. WATER DEPTHS IN THE WETLAND SHOULD BE MEASURED TO CONFIRM THE ORIGINAL PLANTING ZONES. AT THIS TIME, IT MAY BE NECESSARY TO MODIFY THE PLANTING PLAN TO REFLECT ALTERED DEPTHS OR THE AVAILABILITY OF WETLAND PLANT STOCK. CONTRACTOR SHALL COORDINATE PLANTINGS, PLANTING ZONES AND WATER DEPTHS WITH THE ENGINEER. SURVEYED PLANTING ZONES SHOULD BE MARKED ON AN "AS-BUILT" OR RECORD DESIGN PLAN AND LOCATED IN THE FIELD USING STAKES OR FLAGS.
- THE WETLAND SHOULD BE DRAINED FOR NO MORE THAN 3 DAYS PRIOR TO THE PLANTING DATE (WHICH SHOULD COINCIDE WITH THE DELIVERY DATE FOR THE WETLAND PLANT STOCK) TO PRESERVE SOIL MOISTURE AND WORKABILITY.
- NURSERY STOCK SHALL BE TRANSPLANTED FROM LOCAL AQUATIC PLANT NURSERIES. THE OPTIMAL PERIOD FOR TRANSPLANTING EXTENDS FROM EARLY APRIL TO MID-JUNE SO THAT THE WETLAND PLANTS WILL HAVE A FULL GROWING SEASON TO BUILD THE ROOT RESERVES NEEDED TO SURVIVE THE WINTER. HOWEVER, SOME SPECIES MAY BE PLANTED SUCCESSFULLY IN EARLY FALL. CONTRACTOR SHALL CONTACT NURSERY WELL IN ADVANCE OF CONSTRUCTION TO ENSURE THAT THEY WILL HAVE THE DESIRED SPECIES AVAILABLE.
- POST-NURSERY CARE OF WETLAND PLANTS IS VERY IMPORTANT IN THE INTERVAL BETWEEN DELIVERY OF THE PLANTS AND THEIR SUBSEQUENT INSTALLATION BECAUSE THEY ARE PRONE TO DESICCATION. STOCK SHOULD BE FREQUENTLY WATERED AND SHADED.
- SEASONAL HIGH WATER TABLE (SHWT) SHALL BE EVALUATED PRIOR TO CONSTRUCTION. IF SHWT IS WITHIN 6" OF PERMANENT POOL ELEVATION, A LINER WILL NOT BE REQUIRED. OTHERWISE, INSTALLATION OF A 6" CLAY LINER WILL BE REQUIRED. CLAY LINER SHALL HAVE A MINIMUM 1% PASSING THE #200 SIEVE AND A MAX PERMEABILITY OF 1 X 10⁻⁶ CM/SEC. ACCEPTABLE ALTERNATIVES INCLUDE A 30 MIL POLY-LINER OR A BENTONITE LINER.
- GRADES SHOWN REPRESENT FINISH GRADE ELEVATIONS. TO ACHIEVE FINISH GRADE ELEVATIONS, INSTALL 4" OF TOPSOIL.
- ADJUST THE PH, COMPACTION, AND OTHER ATTRIBUTES OF THE FIRST 12" DEPTH OF THE SOIL IF NECESSARY TO PROMOTE PLANT ESTABLISHMENT AND GROWTH (MDC 4).
- PROVIDE PLANTS PER TABLE ON THIS SHEET. DAM STRUCTURE AND PERIMETER FILL SLOPES SHALL BE PLANTED WITH NON-CLUMPING TURF GRASS. TREES AND WOODY SHRUBS NOT ALLOWED (MDC 15).
- CATTAILS OR ANY OTHER INVASIVE SPECIES SHALL NOT BE PLANTED IN WETLAND (MDC 16).

OUTLET STRUCTURE NOTES & SPECIFICATIONS

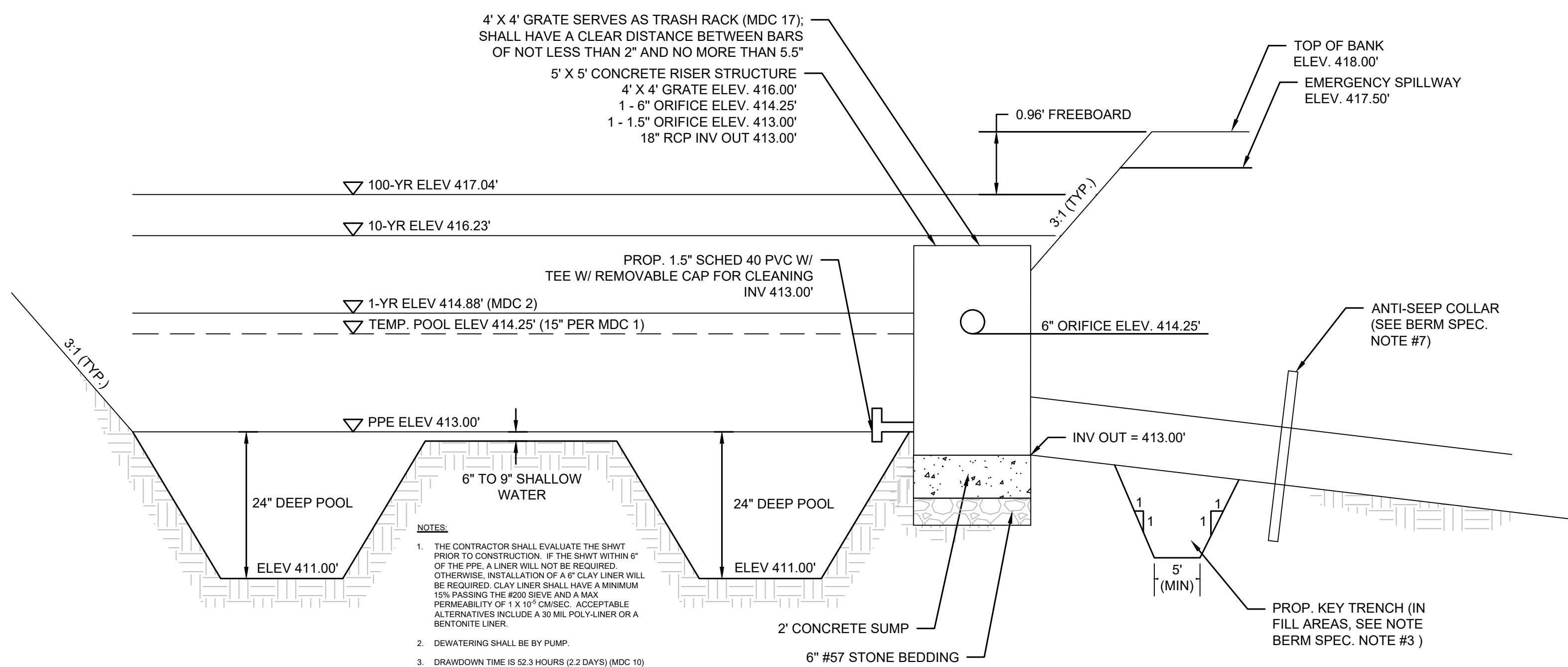
- RCP OUTLET SHALL BE CLASS III RCP MEETING REQUIREMENTS OF ASTM C76. THE PIPE JOINTS SHALL BE MORTAR OR FLEXIBLE PLASTIC TYPE JOINT.
- THE MANHOLE OUTLET RISER SHALL MEET ASTM C-913. THE MANHOLE JOINTS SHALL BE ASTM C-443 RUBBER GASKET JOINTS. MANHOLE JOINTS SHALL BE SECURELY ANCHORED TO PREVENT SEPARATION. CONTRACTOR IS RESPONSIBLE FOR DESIGN OF THE MANHOLE SECTION ANCHORING SYSTEM.
- WATERTIGHT SEAL SHALL BE PROVIDED AT RISER/BARREL INTERFACE. PERVIOUS MATERIAL SUCH AS SAND, GRAVEL, OR CRUSHED STONE SHALL NOT BE USED AS BACKFILL AROUND THE PIPE OR ANTI-SEEP COLLAR. FILL MATERIAL AROUND THE RISER/BARREL STRUCTURE SHALL BE PLACED IN 4" LAYERS AND COMPACTED TO THE SAME DENSITY AS THE ADJACENT EMBANKMENT.
- OUTLET STRUCTURE SHALL BE PROVIDED WITH STEPS 1'-2" ON CENTER. STEPS SHALL BE IN ACCORDANCE WITH NCDOT STD. 840.66.
- CONCRETE ANTI-FLOATATION BLOCK SHALL BE PRECAST DURING FABRICATION. IF THE CONCRETE ANTI-FLOATATION BLOCK IS CAST SEPARATE FROM THE MANHOLE ASSEMBLY THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANCHORING THE ANTI-FLOATATION BLOCK TO THE MANHOLE RISER ASSEMBLY.
- ALL Poured CONCRETE SHALL BE A MINIMUM 3,000 PSI (28 DAY) UNLESS OTHERWISE NOTED.
- NON-WOVEN GEOTEXTILE FABRIC SHALL BE PLACED AROUND EACH JOINT OF THE RCP OUTLET BARREL IN 2" WIDE STRIPS CENTERED ON JOINT. FABRIC SHALL BE AMOCO STYLE 4553 POLYPROPYLENE NON-WOVEN NEEDLE PUNCHED OR APPROVED EQUAL (NON-WOVEN FABRIC).

BERM SPECIFICATIONS

- ALL FILL SOILS FOR BERM SECTION SHALL BE CLEAN, IMPERMEABLE MATERIAL AND COMPACTED TO AT LEAST 98% STANDARD PROCTOR MAXIMUM DRY DENSITY. AT OPTIMUM MOISTURE CONTENT. NO BLASTED MATERIALS SHALL BE USED IN THE EMBANKMENT CONSTRUCTION. SOILS SHALL NOT EXHIBIT SIGNIFICANT SHRINK/SWELL OR DISPERSIVE CHARACTERISTICS. THE ON-SITE GEOTECHNICAL ENGINEER SHALL APPROVE THE SOILS FOR PLACEMENT WITHIN THE BERM SECTION. THE GEOTECHNICAL ENGINEER SHALL ALSO SPECIFY THE METHODS TO BE USED FOR PLACEMENT OF FILL.
- IN ALL FILL AREAS OF THE BERM, A SOILS COMPACTION TEST SHALL BE CONDUCTED EACH 2,500 SQUARE FEET PER VERTICAL CUT OF FILL.
- A KEY TRENCH IS TO BE PROVIDED IN ALL FILL AREAS. TRENCH TO EXTEND A MINIMUM OF TWO FEET BELOW EXISTING GRADE. THE MINIMUM BOTTOM WIDTH SHALL BE WIDE ENOUGH TO PERMIT OPERATION OF EXCAVATION AND COMPACTION EQUIPMENT, BUT IN NO CASE SHALL BE LESS THAN 2' WIDE. CONTRACTOR SHALL CONFIRM KEY TRENCH DEPTH AND WIDTH WITH THE ON-SITE GEOTECHNICAL ENGINEER. SOILS AND COMPACTION FOR KEY TRENCH SHALL MEET ALL REQUIREMENTS OF #1 ABOVE.
- FILL PLACEMENT SHALL NOT EXCEED A MAXIMUM OF 8" LIFTS. EACH LIFT SHALL BE CONTINUOUS FOR THE ENTIRE LENGTH OF EMBANKMENT. BEFORE PLACEMENT OF FILL FOR THE BERM SECTION, ALL UNSUITABLE MATERIAL SHALL BE REMOVED AND THE SURFACE PROPERLY PREPARED FOR FILL PLACEMENT.
- NO TREES OF ANY TYPE MAY BE LOCATED ON THE BERM SECTION.
- SIDE SLOPES SHALL BE LINED WITH NAG S75, OR APPROVED EQUAL.
- INSTALL ANTI-SEEP COLLAR AT MIDPOINT OF OUTLET PIPE. CONCRETE SHALL BE 3,000 PSI (28 DAYS) AND REINFORCED WITH #4 REBAR 12" O.C. EACH WAY AND SHALL EXTEND AT LEAST 8" AROUND ALL SIDES OF PIPE. MINIMUM BEARING CAPACITY BENEATH COLLAR SHALL BE 2,000 PSF.

STORMWATER WETLAND MAINTENANCE NOTES

- THE LANDSCAPE PROFESSIONAL MANAGING THE WETLAND MUST UNDERSTAND THE BIOLOGICAL REQUIREMENTS OF THE PLANTS AND MANAGE WATER LEVELS APPROPRIATELY TO PROVIDE FOR THEIR NEEDS.
- ALTHOUGH WETLAND PLANTS REQUIRE WATER FOR GROWTH AND REPRODUCTION, THEY CAN BE KILLED BY DROWNING IN EXCESSIVELY DEEP WATER. USUALLY, INITIAL GROWTH IS BEST WITH TRANSPLANTED PLANTS IN WET, WELL-AERATED SOIL. OCCASIONAL INUNDATION FOLLOWED BY EXPOSURE TO AIR OF THE MAJORITY OF THE VEGETATION ENABLES THE PLANTS TO OBTAIN OXYGEN AND GROW OPTIMALLY. CONVERSELY, FREQUENT SOIL SATURATION IS IMPORTANT FOR WETLAND PLANT SURVIVAL.
- DRAMATIC SHIFTS CAN OCCUR AS PLANT SUCCESSION PROCEEDS. THE PLANT COMMUNITY REFLECTS MANAGEMENT AND CAN INDICATE PROBLEMS OR THE RESULTS OF IMPROVEMENTS. FOR EXAMPLE, A REQUIREMENT OF SUBMERGED AQUATIC PLANTS, SUCH AS PONDWEED (POTAMOGETON SPP.), IS LIGHT PENETRATION INTO THE WATER COLUMN. THE DISAPPEARANCE OF THESE PLANTS MAY INDICATE INADEQUATE WATER CLARITY. THE APPEARANCE OF INVASIVE SPECIES OR DEVELOPMENT OF A MONOCULTURE IS ALSO A SIGN OF A PROBLEM WITH THE AQUATIC/SOIL/VEGETATIVE REQUIREMENTS. FOR INSTANCE, MANY INVASIVE SPECIES CAN QUICKLY SPREAD AND TAKE OVER A WETLAND. IF CATTAILS BECOME INVASIVE, THEY CAN BE REMOVED BY A LICENSED AQUATIC PESTICIDE APPLICATOR BY WIPING AQUATIC GLYPHOSATE, A SYSTEMIC HERBICIDE, ON THE CATTAILS.
- UNLIKE MAINTENANCE REQUIREMENTS FOR WET OR DRY STORMWATER PONDS, SEDIMENT SHOULD ONLY BE SELECTIVELY REMOVED FROM STORMWATER WETLANDS. PRIMARILY FROM THE FOREBAY. SEDIMENT REMOVAL DISTURBS STABLE VEGETATION COVER AND DISRUPTS FLOWPATHS THROUGH THE WETLAND. THE TOP FEW INCHES OF SEDIMENT SHOULD BE STOCKPILED SO THAT IT CAN BE REPLACED OVER THE SURFACE OF THE WETLAND AFTER THE COMPLETION OF SEDIMENT REMOVAL TO RE-ESTABLISH THE VEGETATIVE COVER USING ITS OWN SEED BANK. ACCUMULATED SEDIMENT SHOULD BE REMOVED FROM AROUND INLET AND OUTLET STRUCTURES.
- THE TOWN OF WAKE FOREST SHALL NOT BE RESPONSIBLE FOR ANY MAINTENANCE TO THE STORMWATER CONTROL MEASURES (SCMs).



4' X 4' GRATE SERVES AS TRASH RACK (MDC 17); SHALL HAVE A CLEAR DISTANCE BETWEEN BARS OF NOT LESS THAN 2" AND NO MORE THAN 5.5"
5' X 5' CONCRETE RISER STRUCTURE
4' X 4' GRATE ELEV. 416.00'
1 - 6" ORIFICE ELEV. 414.25'
1 - 1.5" ORIFICE ELEV. 413.00'
18" RCP INV OUT 413.00'

▽ 100-YR ELEV 417.04'
▽ 10-YR ELEV 416.23'
▽ 1-YR ELEV 414.88' (MDC 2)
▽ TEMP. POOL ELEV 414.25' (15" PER MDC 1)
▽ PPE ELEV 413.00'

- NOTES:**
- THE CONTRACTOR SHALL EVALUATE THE SHWT PRIOR TO CONSTRUCTION. IF THE SHWT WITHIN 6" OF THE PIPE, A LINER WILL NOT BE REQUIRED. OTHERWISE, INSTALLATION OF A 6" CLAY LINER WILL BE REQUIRED. CLAY LINER SHALL HAVE A MINIMUM 1% PASSING THE #200 SIEVE AND A MAX PERMEABILITY OF 1 X 10⁻⁶ CM/SEC. ACCEPTABLE ALTERNATIVES INCLUDE A 30 MIL POLY-LINER OR A BENTONITE LINER.
 - DEWATERING SHALL BE BY PUMP.
 - DRAWDOWN TIME IS 52.3 HOURS (2.2 DAYS) (MDC 10)
 - THE DAM STRUCTURE, INCLUDING FRONT AND BACK EMBANKMENT SLOPES, OF THE POND SHALL BE VEGETATED WITH NON-CLUMPING TURF GRASS. TREES AND WOODY SHRUBS SHALL NOT BE ALLOWED (MDC 11)

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1-800-632-4949

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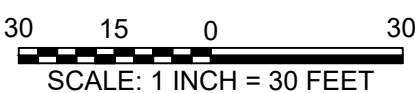
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PHONE: 919.610.1051
FIRM NC LICENSE NUMBER C-4222



REVISION HISTORY

REV #	DESCRIPTION	DATE	BY
1	TRC COMMENTS	7/29/2024	FLM
2	TRC COMMENTS	10/29/2024	FLM

ORIGINAL PLAN SIZE: 24" X 36"



SCALE ADJUSTMENT
THIS BAR IS 1 INCH IN LENGTH ON ORIGINAL DRAWING
IF IT IS NOT 1 INCH ON THIS SHEET, ADJUST YOUR SCALE ACCORDINGLY

SITE DEVELOPMENT PLAN SDP-24-05

PINE GLO
414 S MAIN ST
ROLESVILLE, NC 27571

OPTIMAL GLO LLC

DATE:	06-03-2024
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	FLM
PROJECT NO.:	24028

SCM DETAILS

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL TOWN OF ROLESVILLE, CITY OF RALEIGH AND WAKE COUNTY STANDARDS AND SPECIFICATIONS

C-7
SHEET 7 OF 30

WAKE COUNTY CONSTRUCTION SEQUENCE

1. SCHEDULE A PRECONSTRUCTION CONFERENCE WITH THE ENVIRONMENTAL CONSULTANT. OBTAIN A LAND-DISTURBING PERMIT.

PHASE 1

2. INSTALL GRAVEL CONSTRUCTION PADS, TEMPORARY DIVERSION, SILT FENCE, SKIMMER SEDIMENT BASIN OR OTHER MEASURES AS SHOWN ON THE APPROVED PLAN. CLEAR ONLY AS NECESSARY TO INSTALL THESE DEVICES. SEED TEMPORARY DIVERSIONS AND BASIN IMMEDIATELY AFTER CONSTRUCTION.

3. CALL WAKE COUNTY FOR AN ONSITE INSPECTION BY THE ENVIRONMENTAL CONSULTANT TO OBTAIN A CERTIFICATE OF COMPLIANCE.

4. BEGIN DEMOLITION, CLEARING AND GRUBBING. MAINTAIN DEVICES AS NEEDED.

PHASE 2

5. BEGIN ROUGH GRADING.

6. INSTALL STORM SEWER AND PROTECT INLETS WITH INLET PROTECTION, OR OTHER APPROVED MEASURES AS SHOWN ON THE PLAN.

7. INSTALL WATER AND SEWER SERVICES.

PHASE 3

8. STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISH GRADE WITH VEGETATION, PAVING, ETC. SEED AND MULCH DENUDED AREAS PER GROUND STABILIZATION TIME FRAMES.

9. WHEN CONSTRUCTION IS COMPLETE AND ALL AREAS ARE STABILIZED COMPLETELY, CALL WAKE COUNTY FOR AN INSPECTION BY THE ENVIRONMENTAL CONSULTANT.

10. IF SITE IS APPROVED, REMOVE TEMPORARY DIVERSIONS, SILT FENCE, ETC., AND SEED OR STABILIZE ANY RESULTING BARE AREAS. ALL REMAINING PERMANENT EROSION CONTROL DEVICES, SUCH AS VELOCITY DISSIPATORS, SHOULD NOW BE INSTALLED.

11. UPON STABILIZATION OF THE ENTIRE DISTURBED AREA, CONVERT SKIMMER BASIN TO STORMWATER WETLAND AS SHOWN ON THE APPROVED PLANS.

12. WHEN VEGETATION HAS BECOME ESTABLISHED, CALL FOR A FINAL SITE INSPECTION BY THE ENVIRONMENTAL CONSULTANT. OBTAIN A CERTIFICATE OF COMPLETION.

EROSION CONTROL NOTES

1. ALL LAND DISTURBING ACTIVITIES SHALL BE CONDUCTED IN ACCORDANCE WITH WAKE COUNTY AND NCDEQ STANDARDS.

2. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE MAINTAINED IN PROPER WORKING CONDITION DURING THE PERIOD OF CONSTRUCTION.

3. ADDITIONAL EROSION CONTROL MEASURES AND/OR MODIFICATIONS TO PROPOSED MEASURES MAY BE NECESSARY DEPENDING ON ACTUAL SITE CONDITIONS.

4. THE TOTAL DISTURBED AREA IS 4.42 ACRE.

5. SILT FENCE OUTLETS TO BE PLACED AS SHOWN AND AT LOW POINTS ALONG SILT FENCE AS NECESSARY.

6. SEE EROSION CONTROL CALCULATIONS ON SHEET C-2.

7. SKIMMER BASIN GRADES SHOWN ARE 2H:1V UNLESS OTHERWISE NOTED.

8. CONTRACTOR SHALL ESTABLISH GROUND COVER IMMEDIATELY AFTER DISTURBANCE DURING CONSTRUCTION OF PERMANENT SWALES.

9. PROVIDE STABLE TRANSITION AT TEMPORARY DIVERSION ENTRANCES TO BASIN - LINE SLOPE AT ENTRANCE WITH 12" ROCK RIPRAP.

10. RIPRAP ENERGY DISSIPATOR DIMENSIONS SHOWN ON DETAIL SHEET C-17.

11. DISTURBED AREAS TO BE STABILIZED AND GROUND COVER SHOULD BE ACHIEVED WITHIN 7 WORKING DAYS FOLLOWING COMPLETION OF DEVELOPMENT, PER THE NPDES CONSTRUCTION STORMWATER GENERAL PERMIT.

12. SEE DETAIL SHEETS C-16 AND C-17 FOR EROSION AND SEDIMENT CONTROL MAINTENANCE REQUIREMENTS.

BASIN CONVERSION SEQUENCE:

1. SCHEDULE A SITE MEETING WITH THE ENVIRONMENTAL ENGINEER / CONSULTANT TO DETERMINE IF A BASIN CAN BE CONVERTED. INSTALL SILT FENCING OR OTHER TEMPORARY EROSION CONTROL MEASURES AS NEEDED PRIOR TO CONVERSION OF THE BASIN.

2. DEWATER BASIN(S) VIA SILT BAG. REMOVE ACCUMULATED SEDIMENT. FINE GRADE WETLAND IN PREPARATION FOR PLANTING.

3. PERFORM PLANTING PREPARATION, PLANT/SEED, MULCH AND ASPHALT TACK ANY RESULTING BARE AREAS IMMEDIATELY.

4. INSTALL VELOCITY DISSIPATORS AS REQUIRED ON THE EROSION CONTROL PLAN.

5. WHEN SITE IS FULLY STABILIZED, CALL ENVIRONMENTAL ENGINEER / CONSULTANT FOR APPROVAL OF REMOVING REMAINING TEMPORARY EROSION CONTROL MEASURES AND ADVISE ON WHEN SITE CAN BE ISSUED A CERTIFICATE OF COMPLETION.

OWNER: DAN RYAN BUILDERS - NORTH CAROLINA LLC
PIN: 1758793974
USE: DWELLING, SINGLE FAMILY, ATTACHED
ZONING: R&PUD

OWNER: A MASTER TEAM LLC
PIN: 1758797957
USE: DWELLING, SINGLE FAMILY, ATTACHED
ZONING: GC-CZ

OWNER: STORAGE MAX II LLC
PIN: 1758792469
USE: SELF STORAGE
ZONING: GC-CZ

OWNER: COFFEE LODGE PROPERTIES LLC
PIN: 1758799572
USE: EATING ESTABLISHMENT
ZONING: R&PUD

OWNER: GETTY LEASING INC
PIN: 1758795264
USE: GAS STATION
ZONING: GC

LEGEND

---	EX. PROPERTY LINE
---	EX. RIGHT-OF-WAY
---	EX. ADJACENT OWNERS
---	EX. EASEMENT
---	EX. CHAIN LINK FENCE
C --- C	EX. COMMUNICATIONS LINE
OHW --- OHW	EX. OVERHEAD ELECTRIC LINE
W --- W	EX. WATER LINE
SS --- SS	EX. SANITARY SEWER
SD --- SD	EX. STORM SEWER
420	EX. MAJOR CONTOUR (5')
419	EX. MINOR CONTOUR (1')
---	PROP. SETBACK LINE
---	PROP. EASEMENT/BUFFER
---	PROP. CONCRETE
W --- W	PROP. WATER LINE
SS --- SS	PROP. SANITARY SEWER
---	PROP. STORM SEWER
420	PROP. MAJOR CONTOUR (5')
419	PROP. MINOR CONTOUR (1')
LD --- LD	PROP. LIMIT OF DISTURBANCE
SF --- SF	PROP. SILT FENCE
-x-x-x-x-x-x-x-x-x-	PROP. BAFFLE
□	PROP. FAIRCLOTH SKIMMER
□	PROP. CONSTRUCTION ENTRANCE
□	PROP. HORSESHOE INLET PROTECTION/CHECK DAM
□	PROP. SILT FENCE OUTLET
□	PROP. INLET PROTECTION
□	PROP. TREE PROTECTION FENCE

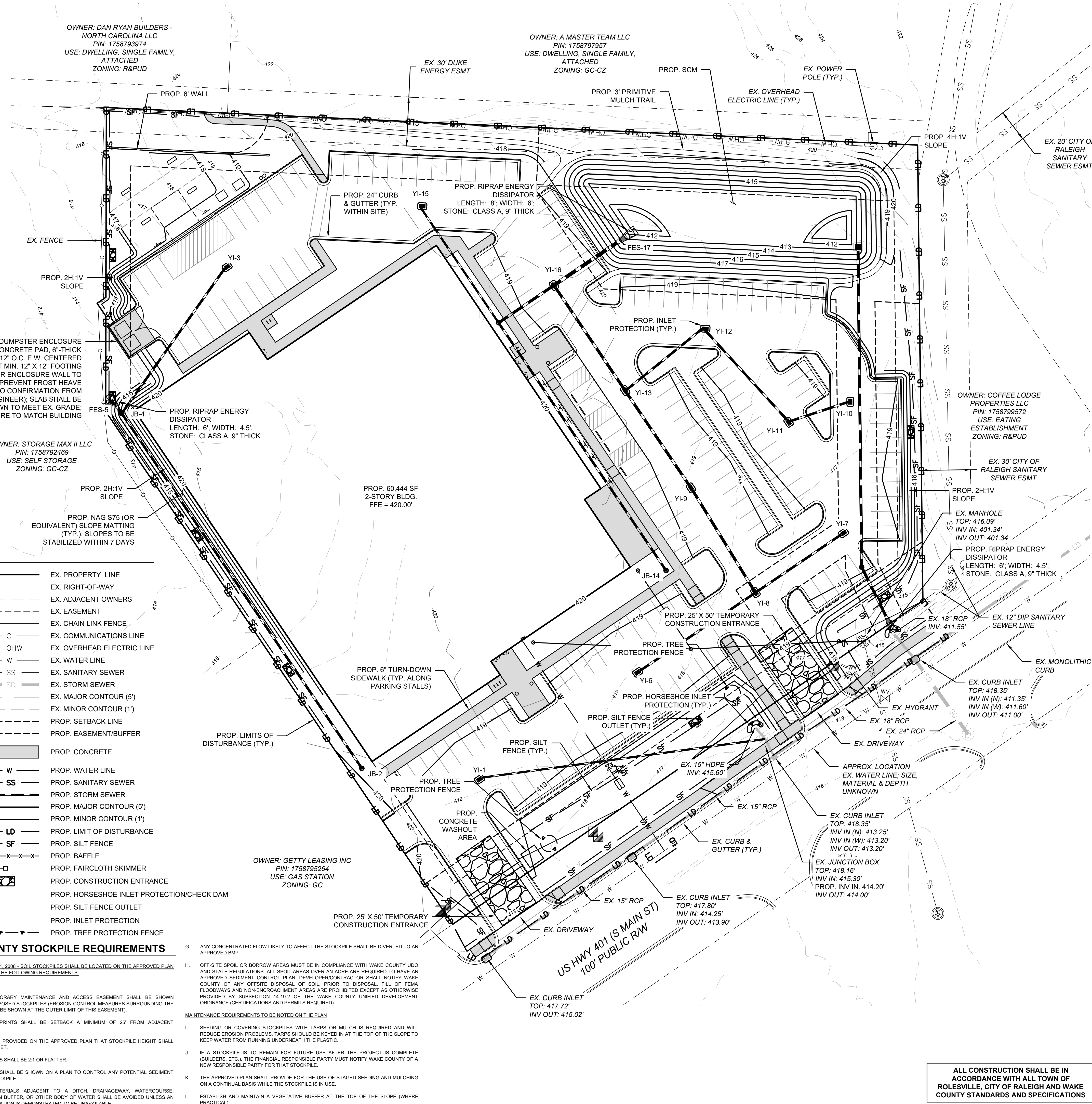
WAKE COUNTY STOCKPILE REQUIREMENTS

EFFECTIVE SEPTEMBER 1, 2008 - SOIL STOCKPILES SHALL BE LOCATED ON THE APPROVED PLAN AND SHALL ADHERE TO THE FOLLOWING REQUIREMENTS:

DESIGN CRITERIA

- A 25-FOOT TEMPORARY MAINTENANCE AND ACCESS EASEMENT SHALL BE SHOWN AROUND ALL PROPOSED STOCKPILES (EROSION CONTROL MEASURES SURROUNDING THE STOCKPILE SHALL BE SHOWN AT THE OUTER LIMIT OF THIS EASEMENT).
- STOCKPILE FOOTPRINTS SHALL BE SETBACK A MINIMUM OF 25' FROM ADJACENT PROPERTY LINES.
- A NOTE SHALL BE PROVIDED ON THE APPROVED PLAN THAT STOCKPILE HEIGHT SHALL NOT EXCEED 35 FEET.
- STOCKPILE SLOPES SHALL BE 2:1 OR FLATTER.
- APPROVED BMPs SHALL BE SHOWN ON A PLAN TO CONTROL ANY POTENTIAL SEDIMENT LOSS FROM A STOCKPILE.
- STOCKPILING MATERIALS ADJACENT TO A DITCH, DRAINAGEWAY, WATERCOURSE, WETLAND, STREAM BUFFER, OR OTHER BODY OF WATER SHALL BE AVOIDED UNLESS AN ALTERNATIVE LOCATION IS DEMONSTRATED TO BE UNAVAILABLE.

- ANY CONCENTRATED FLOW LIKELY TO AFFECT THE STOCKPILE SHALL BE DIVERTED TO AN APPROVED BMP.
- OFF-SITE SPOIL OR BORROW AREAS MUST BE IN COMPLIANCE WITH WAKE COUNTY UDO AND STATE REGULATIONS. ALL SPOIL AREAS OVER AN ACRE ARE REQUIRED TO HAVE AN APPROVED SEDIMENT CONTROL PLAN. DEVELOPER/CONTRACTOR SHALL NOTIFY WAKE COUNTY OF ANY OFFSITE DISPOSAL OF SOIL PRIOR TO DISPOSAL. FILL OF FEMA FLOODWAYS AND NON-ENCROACHMENT AREAS ARE PROHIBITED EXCEPT AS OTHERWISE PROVIDED BY SUBSECTION 14-19-2 OF THE WAKE COUNTY UNIFIED DEVELOPMENT ORDINANCE (CERTIFICATIONS AND PERMITS REQUIRED).
- MAINTENANCE REQUIREMENTS TO BE NOTED ON THE PLAN
- SEEDING OR COVERING STOCKPILES WITH TARPS OR MULCH IS REQUIRED AND WILL REDUCE EROSION PROBLEMS. TARPS SHOULD BE KEPT IN AT THE TOP OF THE SLOPE TO KEEP WATER FROM RUNNING UNDERNEATH THE PLASTIC.
- IF A STOCKPILE IS TO REMAIN FOR FUTURE USE AFTER THE PROJECT IS COMPLETE (BUILDERS, ETC.), THE FINANCIAL RESPONSIBLE PARTY MUST NOTIFY WAKE COUNTY OF A NEW RESPONSIBLE PARTY FOR THAT STOCKPILE.
- THE APPROVED PLAN SHALL PROVIDE FOR THE USE OF STAGED SEEDING AND MULCHING ON A CONTINUAL BASIS WHILE THE STOCKPILE IS IN USE.
- ESTABLISH AND MAINTAIN A VEGETATIVE BUFFER AT THE TOE OF THE SLOPE (WHERE PRACTICAL).



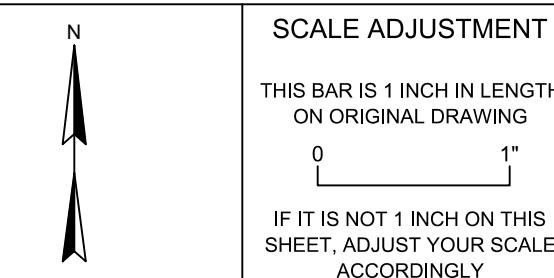
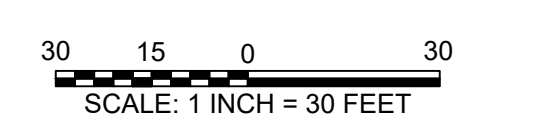
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FIRM NC LICENSE NUMBER C-4222



REVISION HISTORY

REV #	DESCRIPTION	DATE	BY
1	TRC COMMENTS	7/29/2024	FLM
2	TRC COMMENTS	10/29/2024	FLM

ORIGINAL PLAN SIZE: 24" X 36"



SITE DEVELOPMENT PLAN SDP-24-05

PINE GLO
414 S MAIN ST
ROLESVILLE, NC 27571

OPTIMAL GLO LLC

DATE:	06-03-2024
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	FLM
PROJECT NO.:	24028

EROSION & SEDIMENT CONTROL PLAN - PHASE 3

C-10
SHEET 10 OF 30

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL TOWN OF ROLESVILLE, CITY OF RALEIGH AND WAKE COUNTY STANDARDS AND SPECIFICATIONS

CALL 48 HOURS BEFORE YOU DIG

NORTH CAROLINA ONE-CALL CENTER
1-800-632-4949

NOTES

- ALL NEW PLANTINGS SHALL MEET THE REQUIREMENTS OF THE TOWN OF ROLESVILLE LAND DEVELOPMENT ORDINANCE (LDO) SECTION 6.2.
- ALL DISTURBED AREAS NOT OCCUPIED BY STRUCTURES, PAVING OR PLANTINGS SHALL BE GRADED AND SEEDED AS INDICATED IN SPECIFICATIONS.
- ALL TREE PLANTINGS SHALL BE MULCHED WITH 4" CLEAN, PINE STRAW MULCH.
- ALL PLANT BEDS TO BE EDGED WITH TYPICAL "V-CHANNEL" EDGE.
- A MINIMUM OF FOUR INDIVIDUAL SOIL SAMPLES SHALL BE TAKEN THROUGHOUT THE SITE FOR OVERALL SOIL ANALYSIS.
- CONTRACTOR TO UTILIZE ALL ONSITE TOPSOIL. CONTRACTOR SHALL SUPPLY ADDITIONAL TOPSOIL AT NO ADDITIONAL COST TO OWNER IF EXISTING TOPSOIL IS NOT SUFFICIENT TO MEET THE NEEDS OF THIS PROJECT.
- ALL PLANTING AREAS TO RECEIVE 1 CY OF SOIL CONDITIONER FOR EACH 75 SF OF PLANT BED AREA. ACCEPTABLE SOIL CONDITIONERS SHALL BE PULVERIZED PINE BARK, PEAT MOSS OR SHREDDED/COMPOSTED LEAVES.
- CONTRACTOR TO FIELD VERIFY LOCATION OF EXISTING UTILITIES BEFORE BEGINNING OF GRADING AND LANDSCAPE INSTALLATION.
- CONTRACTOR TO VERIFY QUANTITIES OF PLANTINGS AS SHOWN. PLANTINGS INDICATED ON PLANS SHALL PREVAIL OVER QUANTITIES INDICATED IN PLANT LIST IF DISCREPANCIES ARISE.
- ALL PLANTS ARE TO BE THOROUGHLY "WATERED IN" THE SAME DAY AS PLANTED.
- THE PLANT HOLE WIDTH SHALL BE A MINIMUM THREE TIMES THE DIAMETER OF THE ROOT BALL.
- REMOVE ALL STRAPPING AND TWINE FROM ROOT BALL. REMOVE WIRE BASKET AND BURLAP FROM TOP 1/3 OF ROOT BALL BEFORE BACKFILLING AROUND BALL IS COMPLETED.
- ALL TREES WHICH ARE SMOOTH BARKED AT THE TIME OF PLANTING AND HAVE MORE THAN 2' OF ALL TREE WRAPPING SHALL EXTEND FROM THE TOP OF THE BACKFILL TO THE LOWERMOST TREE BRANCHES.
- ALL TREES, WHEN PLANTED, SHALL HAVE THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE GRADING PLAN.
- LANDSCAPING SHOWN MEETS QUANTITY REQUIREMENTS. ALL INSTALLATION AND MAINTENANCE SHALL BE PER TOWN OF ROLESVILLE LDO.
- ALL ADDITIONAL LANDSCAPING SHALL BE PER OWNER.

LANDSCAPING REQUIREMENTS

PERIMETER BUFFERS

75 LF PERIMETER BUFFER TYPE 3 ALONG PIN 1758793974
 4 CANOPY TREES PER 100 LF
 2 UNDERSTORY TREES PER 100 LF
 60 SHRUBS PER 100 LF

CANOPY TREES REQUIRED: 3
 CANOPY TREES PROVIDED: 4

UNDERSTORY TREES REQUIRED: 2
 UNDERSTORY TREES PROVIDED: 2

SHRUBS REQUIRED: 45
 SHRUBS PROVIDED: 60

STREETSCAPE BUFFER

STREET TREES SHALL BE PLACED AT 40' O.C.

CANOPY TREES PROVIDED: 6 (2 EXISTING TO REMAIN)

PARKING LANDSCAPING

- ALL PARKING SPACES SHALL BE WITHIN 60' FROM THE TRUNK OF A CANOPY TREE
- PARKING PERIMETER SHALL CONSIST OF A SINGLE CONTINUOUS ROW OF SHRUBS NO GREATER THAN 3' ON-CENTER AND WITHIN 5' OF THE PARKING LOT EDGE

CANOPY TREES PROVIDED: 25
 SHRUBS PROVIDED: 240

LEGEND

---	EX. PROPERTY LINE		EX. TREE TO REMAIN (EVERGREEN > 20" AND/OR DECIDUOUS > 18" DBH)
---	EX. RIGHT-OF-WAY		EX. TREE TO BE REMOVED (EVERGREEN > 20" AND/OR DECIDUOUS > 18" DBH)
---	EX. ADJACENT OWNERS		PROP. CANOPY TREE (BN)
---	EX. EASEMENT		PROP. CANOPY TREE (AR)
---	EX. CHAIN LINK FENCE		PROP. UNDERSTORY TREE (CC)
C	EX. COMMUNICATIONS LINE		PROP. SHRUB (RV)
OHW	EX. OVERHEAD ELECTRIC LINE		PROP. SHRUB (KL)
W	EX. WATER LINE		PROP. SHRUB (RC)
SS	EX. SANITARY SEWER		PROP. LIGHT POLE
SD	EX. STORM SEWER		
---	PROP. SETBACK LINE		
---	PROP. EASEMENT/BUFFER		
---	PROP. CONCRETE		
W	PROP. WATER LINE		
SS	PROP. SANITARY SEWER		
SD	PROP. STORM SEWER		
---	PROP. TREE PROTECTION FENCE		

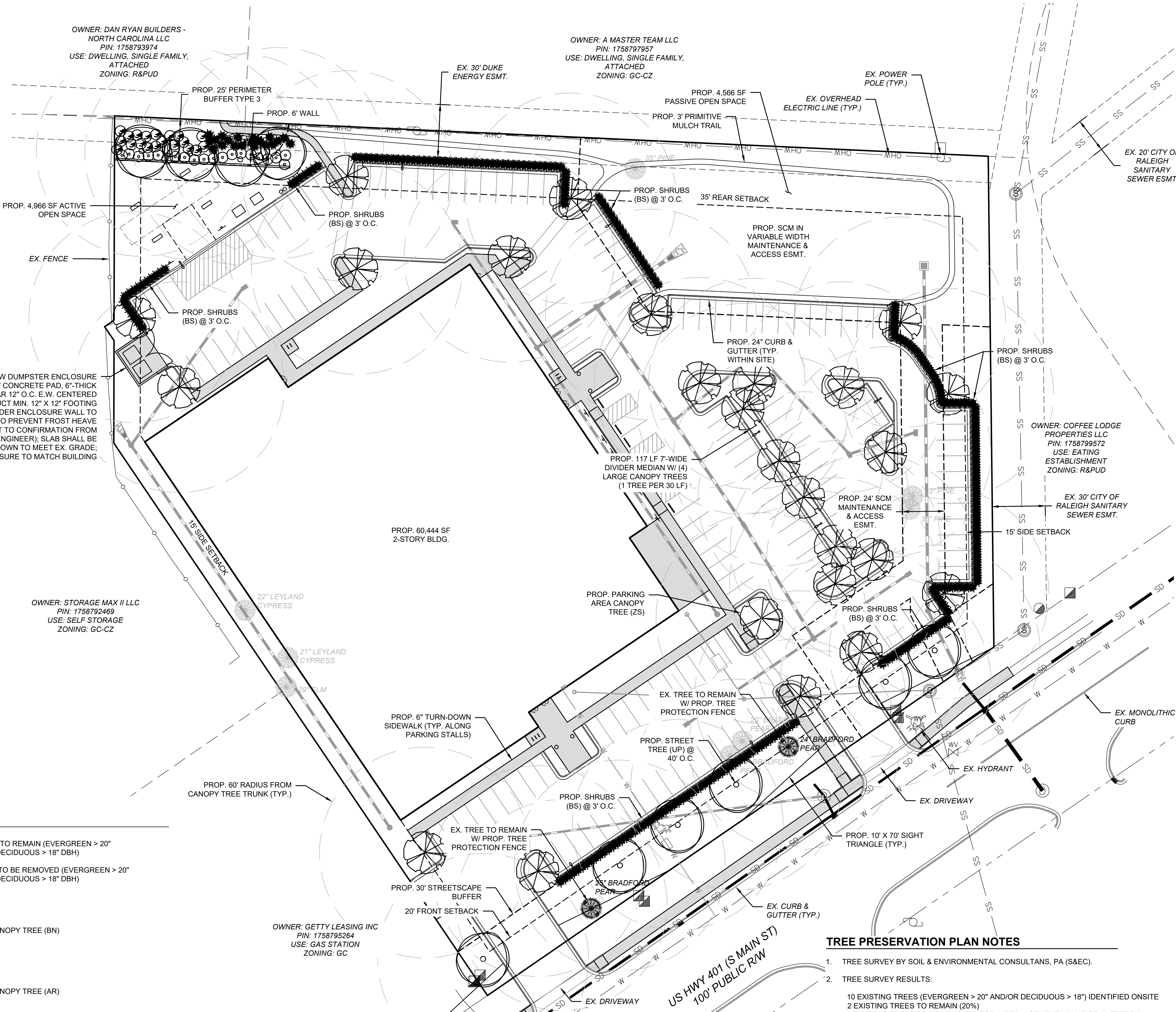
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OWNER: DAN RYAN BUILDERS - NORTH CAROLINA LLC
 PIN: 1758793974
 USE: DWELLING, SINGLE FAMILY, ATTACHED
 ZONING: R&PUD

OWNER: A MASTER TEAM LLC
 PIN: 1758797957
 USE: DWELLING, SINGLE FAMILY, ATTACHED
 ZONING: GC-CZ



PROP. 13' D X 24' W DUMPSTER ENCLOSURE ON 20' D X 24' W CONCRETE PAD, 6" THICK WITH NO. 4 REBAR 12" O.C. E-W. CENTERED IN SLAB; CONSTRUCT MIN. 12" X 12" FOOTING CENTERED UNDER ENCLOSURE WALL TO FROST DEPTH TO PREVENT FROST HEAVE (SUBJECT TO CONFIRMATION FROM GEOTECHNICAL ENGINEER); SLAB SHALL BE TURN-DOWN TO MEET EX. GRADE; ENCLOSURE TO MATCH BUILDING

PROP. 60,444 SF 2-STORY BLDG.

OWNER: GETTY LEASING INC
 PIN: 1758795264
 USE: GAS STATION
 ZONING: GC

KEY	SCIENTIFIC NAME	COMMON NAME	QUAN.	CAL.	PLANTING HT.
CANOPY TREES					
BN	BETULA NIGRA	RIVER BIRCH	10	1.5"	8'
AR	ACER RUBRUM	RED MAPLE	25	1.5"	8'
UNDERSTORY TREES					
CC	CERCIS CANADENSIS	EASTERN REDBUD	2	1"	6'
SHRUBS					
RV	RHODODENDRON VASEYI	PINKSHELL AZALEA	260		18"
KL	KALMIA LATIFOLIA	MOUNTAIN LAUREL	20		18"
RC	RHODODENDRON CAROLINIANUM	CAROLINA RHODODENDRON	20		18"

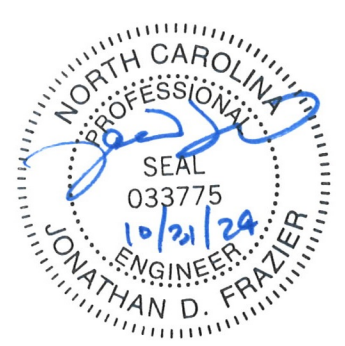
TREE PRESERVATION PLAN NOTES

- TREE SURVEY BY SOIL & ENVIRONMENTAL CONSULTANS, PA (S&EC).
- TREE SURVEY RESULTS:
 10 EXISTING TREES (EVERGREEN > 20" AND/OR DECIDUOUS > 18") IDENTIFIED ONSITE
 2 EXISTING TREES TO REMAIN (20%)
 8 EXISTING TREES TO BE REMOVED FOR A REPLACEMENT VALUE OF 32 TREES (4 REPLACEMENT TREES PER TREE REMOVED)
- TREE PRESERVATION CALCULATIONS:
 REQUIRED TREE PRESERVATION: 10% OF EXISTING TREES IN GOOD HEALTH SHALL BE PRESERVED
 PROPOSED TREE PRESERVATION: 20%
- REPLACEMENT TREE CALCULATIONS:
 REQUIRED REPLACEMENT TREES: 32
 PROPOSED TREES: 35

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL TOWN OF ROLESVILLE, CITY OF RALEIGH AND WAKE COUNTY STANDARDS AND SPECIFICATIONS



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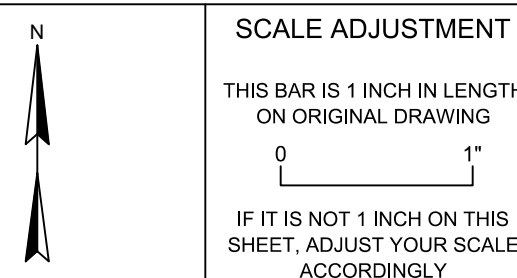


REVISION HISTORY

REV #	DESCRIPTION	DATE	BY
1	TRC COMMENTS	7/29/2024	FLM
2	TRC COMMENTS	10/29/2024	FLM

ORIGINAL PLAN SIZE: 24" X 36"

SCALE: 1 INCH = 30 FEET



SITE DEVELOPMENT PLAN SDP-24-05

PINE GLO
 414 S MAIN ST
 ROLESVILLE, NC 27571

OPTIMAL GLO LLC

DATE:	06-03-2024
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	FLM
PROJECT NO.:	24028

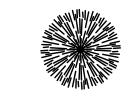

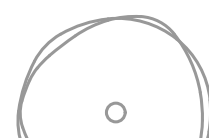






LANDSCAPING PLAN

C-11
 SHEET 11 OF 30

LIGHTING NOTES

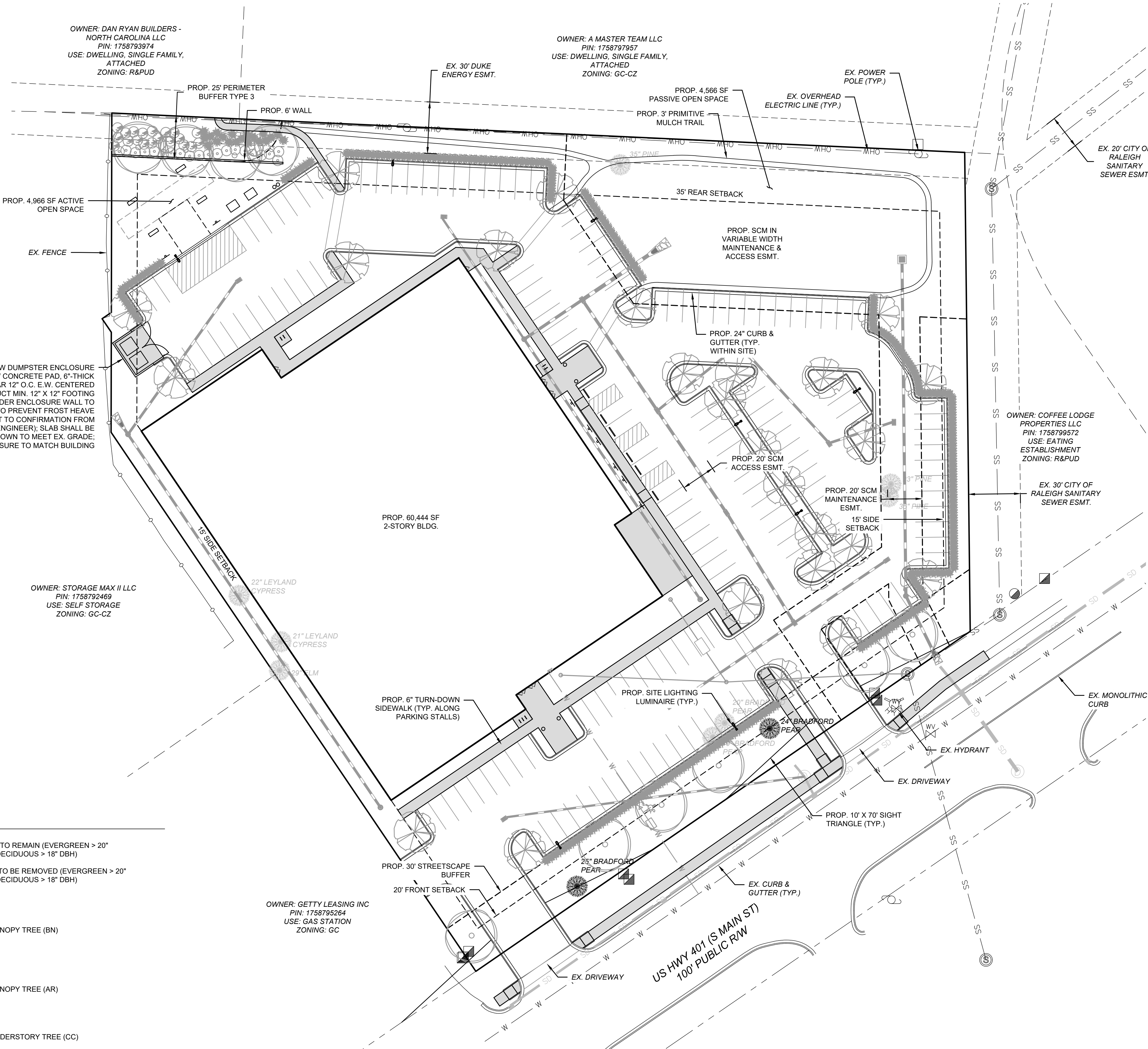
- REFER TO PHOTOMETRIC PLAN, 24-0230A, BY DUKE ENERGY FOR FOOTCANDLE ILLUMINATION AND FIXTURE DETAILS.
- THIS SHEET DOES NOT PROVIDE ELECTRICAL CONNECTIONS FOR FIXTURES SHOWN. SITE DEVELOPERS (OWNERS, BUILDERS, AND GENERAL CONTRACTORS) ARE RESPONSIBLE FOR COORDINATING WITH ELECTRICAL CONTRACTOR OR POWER COMPANY FOR POWER CONNECTIONS FOR ALL FIXTURES.
- ALL SITE LIGHTING SHALL CONFORM TO THE REQUIREMENTS OF THE TOWN OF ROLESVILLE LDO.
- ALL LIGHTING FIXTURES SHALL BE CONSTRUCTED AND DESIGNED TO PREVENT LIGHT FROM EMITTING UPWARDS TOWARD THE DARK NIGHT SKY.
- ALL FIXTURES, EXCEPT FOR STREETLIGHTING FIXTURES, INCLUDING SECURITY LIGHTING, MUST BE CUTOFF FIXTURES. CUTOFF FIXTURES SHALL PROJECT ALL ITS LIGHT IN A DOWNWARD MOTION.
- CANOPY LIGHTING FIXTURES SHALL BE DESIGNED TO BE COMPLETELY RECESSED WITHIN THE CANOPY.
- ALL FIXTURES MUST BE INCORPORATED INTO THE BUILDING OR SITE AS AN INTEGRATED DESIGN ELEMENT THROUGH THE USE OF COMMON OR COMPLEMENTARY STYLE, MATERIAL, AND COLOR.
- WOOD LIGHT POLES ARE PROHIBITED IN RESIDENTIAL SUBDIVISIONS.
- INTERIOR FIXTURES USED TO LIGHT THE INTERIOR OF PARKING GARAGES MUST BE SHIELDED TO PREVENT LIGHT SPILLING FROM THE GARAGE.
- LIGHT FIXTURES ON THE TOP DECK OF A PARKING GARAGE MAY NOT EXCEED FIFTEEN (15) FEET IN HEIGHT AND MUST BE SHIELDED TO PREVENT LIGHT SPILLING FROM THE BOUNDARY OF THE GARAGE DECK. ROOFTOP LIGHTING OF PARKING GARAGES MUST BE SETBACK A MINIMUM FIFTEEN (15) FEET FROM THE PERIMETER OF THE ROOFTOP PARKING STRUCTURE.
- LIGHTING FOR PERMITTED ROOFTOP USES (SUCH AS A RESTAURANT OR LOUNGE) SHALL BE PEDESTRIAN IN SCALE AND NOT EXCEED TWELVE (12) FEET IN HEIGHT (THIS DOES NOT INCLUDE ANY FAA MANDATED LIGHTING). ROOFTOP LIGHTING FIXTURES USED FOR PERMITTED ROOFTOP USES SHALL BE LOCATED TOWARD THE CENTER OF THE ROOFTOP, AWAY FROM ITS EDGES AND NOT FACE OUTWARD. SAFETY LIGHTING MAY BE UTILIZED ALONG WALLS OR RAILS. ALL LIGHTING SHALL BE DESIGNED TO EFFECTIVELY ELIMINATE GLARE, SHIELDED TO PREVENT LIGHT SPILLING OVER THE SIDE OF THE BUILDING, AND SHALL BE TURNED OFF WHEN THE ROOFTOP AREA IS NOT IN USE.
- WALKWAYS, BIKEWAYS, PARKS AND TRAIL LIGHTING, AND PEDESTRIAN FACILITIES SUCH AS BUILDING CONNECTIONS SHALL BE LIT AT A MAXIMUM 0.2 FC.
- WALL PACKS ON BUILDINGS MAY BE USED AT ENTRANCES TO A BUILDING OR TO LIGHT POTENTIALLY UNSAFE AREAS. THEY SHOULD NOT BE INTENDED TO DRAW ATTENTION TO THE BUILDING OR PROVIDE GENERAL BUILDING OR SITE LIGHTING. WALL PACKS SHALL BE FULLY SHIELDED, CUTOFF TYPE FIXTURES WITH CONCEALED LIGHT SOURCES. THE LIGHTING MUST BE DIRECTED DOWNWARD.
- LOADING/UNLOADING DOCKS SHALL ONLY BE ILLUMINATED BY FIXTURES WHICH FEATURE FULL CUTOFF DESIGN AND SHALL BE AFFIXED TO AN OUTSIDE BUILDING WALL OR POLE.
- ALL OUTDOOR LIGHTING FIXTURES NOT MOUNTED ON BUILDINGS (I.E. GROUND BASED) SHALL BE LOCATED A MINIMUM OF TEN (10) FEET FROM A PROPERTY LINE OR RIGHT-OF-WAY LINE AND SHOULD BE NO CLOSER THAN TWO (2) FEET FROM ANY REQUIRED PERIMETER OR STREETSCAPE BUFFER. UNDERGROUNDING SERVICE IS ENCOURAGED.
- LIGHT FIXTURES SHALL NOT EXCEED THIRTY (30) FEET IN HEIGHT IN VEHICLE USE AREAS (SUCH AS RIGHTS-OF-WAY AND PARKING AREAS). ADDITIONAL STANDARDS FOR PARKING AREAS ARE DEFINED IN LDO SECTION 6.6.J: PARKING AREA LIGHTING STANDARDS.
- LIGHT FIXTURES SHALL BE TWELVE (12) TO FIFTEEN (15) FEET IN HEIGHT IN NONVEHICULAR PEDESTRIAN AREAS (SUCH AS SIDEWALKS).
- PARKING AREA LIGHTING STANDARDS: LIGHTING IS REQUIRED WITHIN PARKING AREAS. THE HEIGHT OF LIGHT FIXTURES WITHIN A PARKING AREA SHALL COMPLY WITH THE FOLLOWING STANDARDS:
 - PARKING AREA LIGHTING FIXTURES SHALL BE REQUIRED TO STAGGER THE HEIGHTS OF LIGHT FIXTURES SO THAT THE TALLEST FIXTURES ARE IN THE CENTER OF THE PARKING LOT, AND THE LOWEST HEIGHTS ARE AT THE PERIMETER OF THE PARKING LOT.
 - LIGHT FIXTURES HEIGHT SHALL NOT EXCEED THIRTY (30) FEET WITHIN THE CENTER OF A PARKING AREA AND SHALL DECREASE HEIGHT TO TWELVE (12) TO FIFTEEN (15) FEET AT THE BOUNDARY OF THE PARKING AREA.
 - TO AVOID CONFLICT IN LAYOUT, PARKING LOT LIGHTING MUST BE COORDINATED WITH PARKING AREA LANDSCAPING.
 - LIGHTING DESIGN SHALL BE COORDINATED WITH THE LANDSCAPE PLAN TO ENSURE THAT VEGETATION GROWTH WILL NOT SUBSTANTIALLY IMPAIR THE INTENDED ILLUMINATION.

LEGEND

— EX. PROPERTY LINE		EX. TREE TO REMAIN (EVERGREEN > 20" AND/OR DECIDUOUS > 18" DBH)
- - - EX. RIGHT-OF-WAY		EX. TREE TO BE REMOVED (EVERGREEN > 20" AND/OR DECIDUOUS > 18" DBH)
- - - EX. ADJACENT OWNERS		PROP. CANOPY TREE (BN)
- - - EX. EASEMENT		PROP. CANOPY TREE (AR)
○ EX. CHAIN LINK FENCE		PROP. UNDERSTORY TREE (CC)
— C — C — EX. COMMUNICATIONS LINE		PROP. SHRUB (RV)
— OHW — OHW — EX. OVERHEAD ELECTRIC LINE		PROP. SHRUB (KL)
— W — W — EX. WATER LINE		PROP. SHRUB (RC)
— SS — SS — EX. SANITARY SEWER		PROP. LIGHT POLE
— SD — SD — EX. STORM SEWER		
█ PROP. CONCRETE		
- - - PROP. SETBACK LINE		
- - - PROP. EASEMENT/BUFFER		
— W — W — PROP. WATER LINE		
— SS — SS — PROP. SANITARY SEWER		
— SD — SD — PROP. STORM SEWER		

CALL 48 HOURS BEFORE YOU DIG

 NORTH CAROLINA ONE-CALL CENTER
 1-800-632-4949



OWNER: DAN RYAN BUILDERS - NORTH CAROLINA LLC
 PIN: 1758793974
 USE: DWELLING, SINGLE FAMILY, ATTACHED
 ZONING: R&PUD

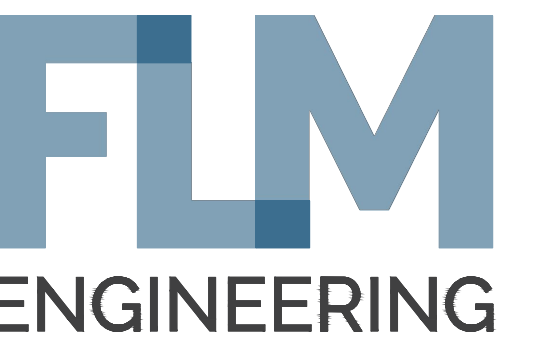
OWNER: A MASTER TEAM LLC
 PIN: 1758797957
 USE: DWELLING, SINGLE FAMILY, ATTACHED
 ZONING: GC-CZ

PROP. 13' D X 24' W DUMPSTER ENCLOSURE ON 20' D X 24' W CONCRETE PAD, 6"-THICK WITH NO. 4 REBAR 12" O.C. E-W, CENTERED IN SLAB; CONSTRUCT MIN. 12" X 12" FOOTING CENTERED UNDER ENCLOSURE WALL TO FROST DEPTH TO PREVENT FROST HEAVE (SUBJECT TO CONFIRMATION FROM GEOTECHNICAL ENGINEER); SLAB SHALL BE TURN-DOWN TO MEET EX. GRADE; ENCLOSURE TO MATCH BUILDING

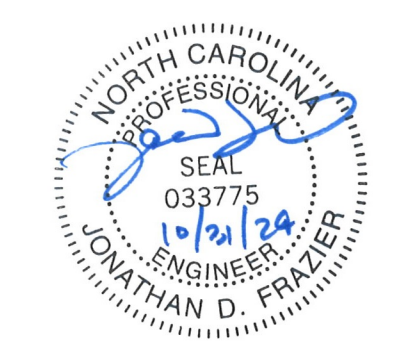
OWNER: STORAGE MAX II LLC
 PIN: 1758792469
 USE: SELF STORAGE
 ZONING: GC-CZ

OWNER: GETTY LEASING INC
 PIN: 1758795264
 USE: GAS STATION
 ZONING: GC

OWNER: COFFEE LODGE PROPERTIES LLC
 PIN: 1758799572
 USE: EATING ESTABLISHMENT
 ZONING: R&PUD



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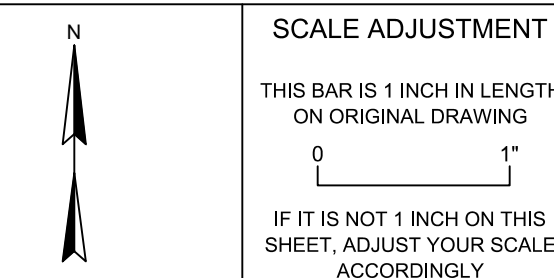


REVISION HISTORY

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2	TRC COMMENTS	10/29/2024	FLM

ORIGINAL PLAN SIZE: 24" X 36"

SCALE: 1 INCH = 30 FEET



SITE DEVELOPMENT PLAN SDP-24-05

PINE GLO
 414 S MAIN ST
 ROLESVILLE, NC 27571

OPTIMAL GLO LLC

DATE:	06-03-2024
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	FLM
PROJECT NO.:	24028


LIGHTING PLAN

C-12
 SHEET 12 OF 30

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL TOWN OF ROLESVILLE, CITY OF RALEIGH AND WAKE COUNTY STANDARDS AND SPECIFICATIONS



Outdoor Lighting



SHOEBOX LED
(Black, Dark Sky Control)

LED (Light-emitting diode) 150 | 200 | 420 | 530 watts
 Mounting height 25', 30', 30'
 Color Black | Bronze | Gray | White
 Pole Finish (1 or 2 fixtures per pole)
 Pole Decorative tapered metal
 Pole Decorative square metal
 Applications Neighborhoods
 Roadways
 Shopping centers

Light source: LED (white)
 Wattage: 150 | 200 | 420 | 530 watts
 Light pattern:IES Type V | Type IV (down throw) | Type III
 IESNA cutoff classification: Full-cutoff
 BUG rating: 150W Type III = EUL003 / Type IV = EUL004 / Type V = EUL005
 200W Type III = EUL004 / Type IV = EUL004 / Type V = SAU003
 420W Type IV = EUL005 / Type V = EUL005
 530W Type IV = EUL005 / Type V = EUL005
 Color temperature: 4,000K

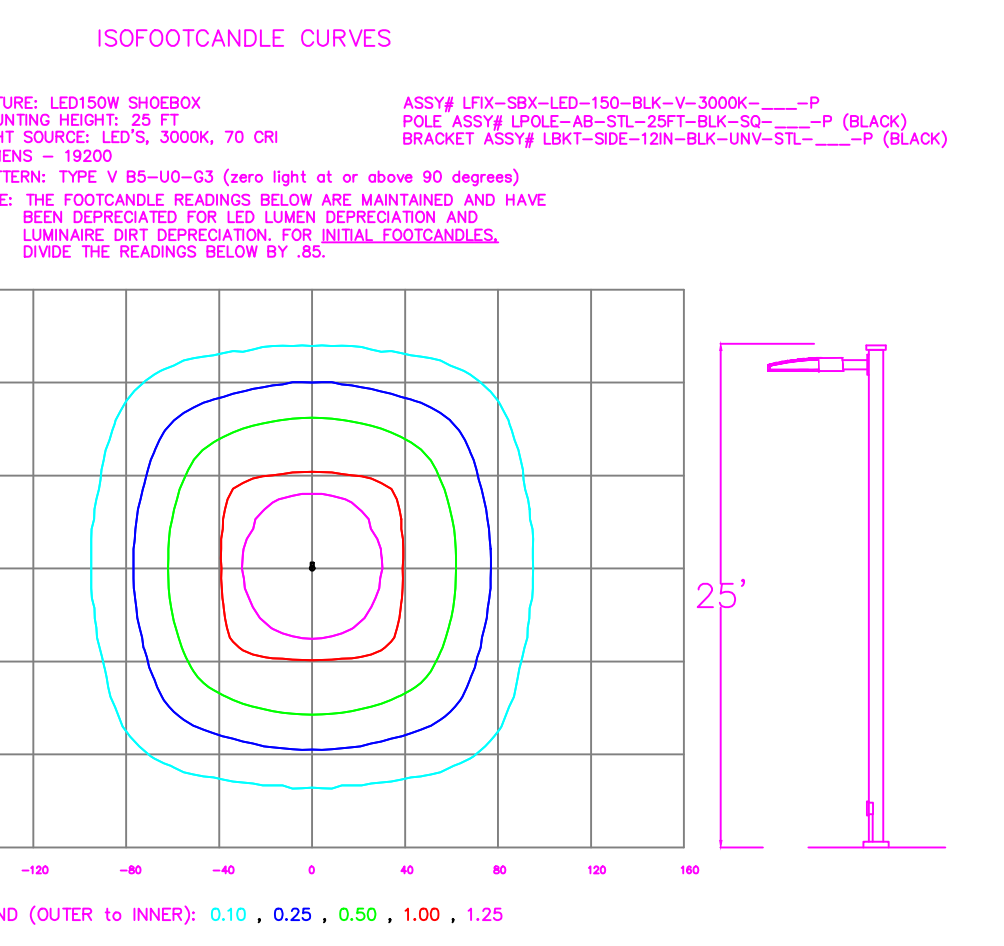
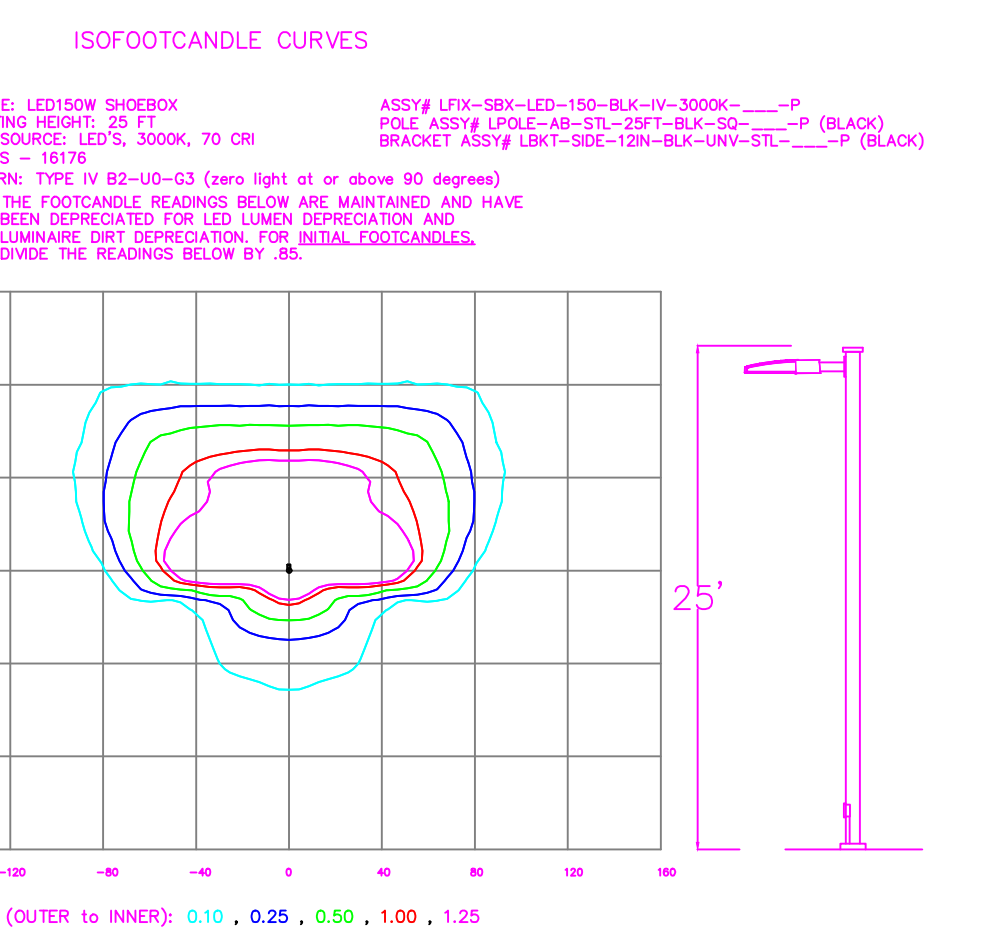
POLE AVAILABLE	MOUNTING HEIGHT	COLOR
Round tapered decorative metal*	35'	Black, Bronze
Decorative square metal*	25' and 30'	Black, Bronze, Gray, White
Fiberglass	25' and 30'	Black (1 or 2 fixtures per pole) Gray (1 or 2 fixtures per pole)

FEATURES
 Turnkey operation
 Little or no installation cost
 Design services by lighting professionals included
 Maintenance, electricity & warranty included
 One low monthly cost on your electric bill

BENEFITS
 Provides hassle-free installation and service
 Free up capital for other projects
 Meets industry standards and lighting ordinances
 Eliminates high and unexpected repair bills
 Convenience and savings for you

For additional information, email us at
 DUKEDesign@duke-energy.com

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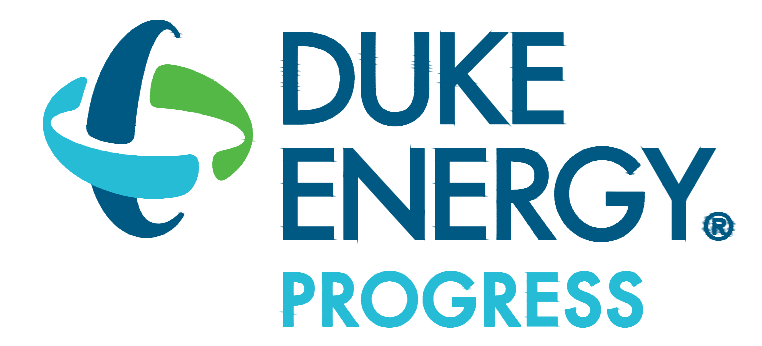
Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking	✕	1.3 fc	2.9 fc	0.4 fc	7.3:1	3.3:1

Schedule

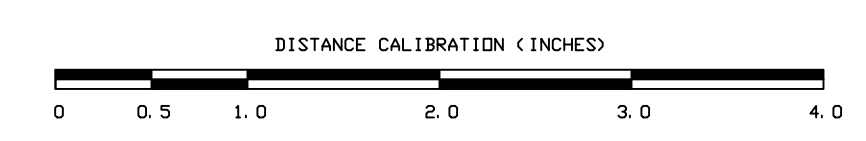
Symbol	Label	QTY	Description	Number Lamps	Lamp Output	LLF
●	A	5	LED 150w Shoebox - Type IV - 3000K	48	337	0.85
◆	B	3	LED 150w Shoebox - Type V - 3000K	48	400	0.85

LIGHTING DESIGN TOLERANCE
 The calculated footcandle light levels in this lighting design are predicted values and are based on specific information that has been supplied to Duke Energy. Any inaccuracies in the supplied information, differences in luminaire installation, lighted area geometry including elevation differences, reflective properties of surrounding surfaces, obstructions (foliage or otherwise) in the lighted area, or lighting from sources other than listed in this design may produce different results from the predicted values. Normal tolerances of voltage, lamp output, and ballast and luminaire manufacture will also affect results.



PROPRIETARY & CONFIDENTIAL
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PINO GLO Rolesville, NC	
SITE LIGHTING ARRANGEMENT	
Designed by DUKE ENERGY PROGRESS LIGHTING SOLUTIONS	
Reviewed by N. Johnson	Scale 1" = 30'
Date 06/14/2024	Size Drawing size "D"
Description LED Shoebox	
Drawing No. 24-0239A	Sht. 1 OF 1



NO.	DATE	REVISION	BY



REVISION HISTORY

REV #	DESCRIPTION	DATE	BY
1	TRC COMMENTS	7/29/2024	FLM
2	TRC COMMENTS	10/29/2024	FLM

ORIGINAL PLAN SIZE: 24" x 36"

SCALE ADJUSTMENT
THIS BAR IS 1 INCH IN LENGTH ON ORIGINAL DRAWING
0 1"
IF IT IS NOT 1 INCH ON THIS SHEET, ADJUST YOUR SCALE ACCORDINGLY

SITE DEVELOPMENT PLAN
SDP-24-05

PINE GLO
414 S MAIN ST
ROLESVILLE, NC 27571

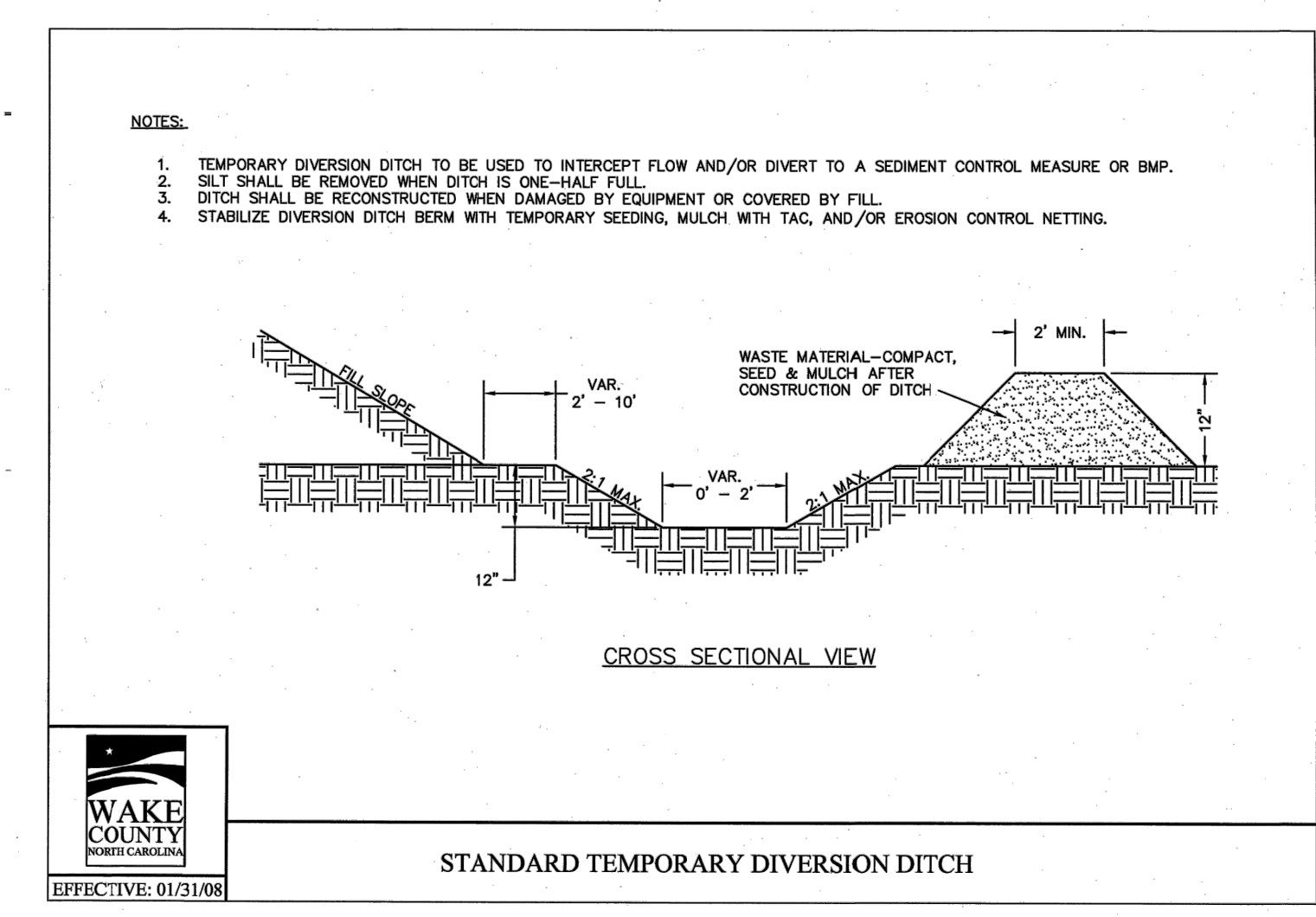
OPTIMAL GLO LLC

DATE:	06-03-2024
SCALE:	AS SHOWN
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APPROVED BY:	FLM
PROJECT NO.:	24028

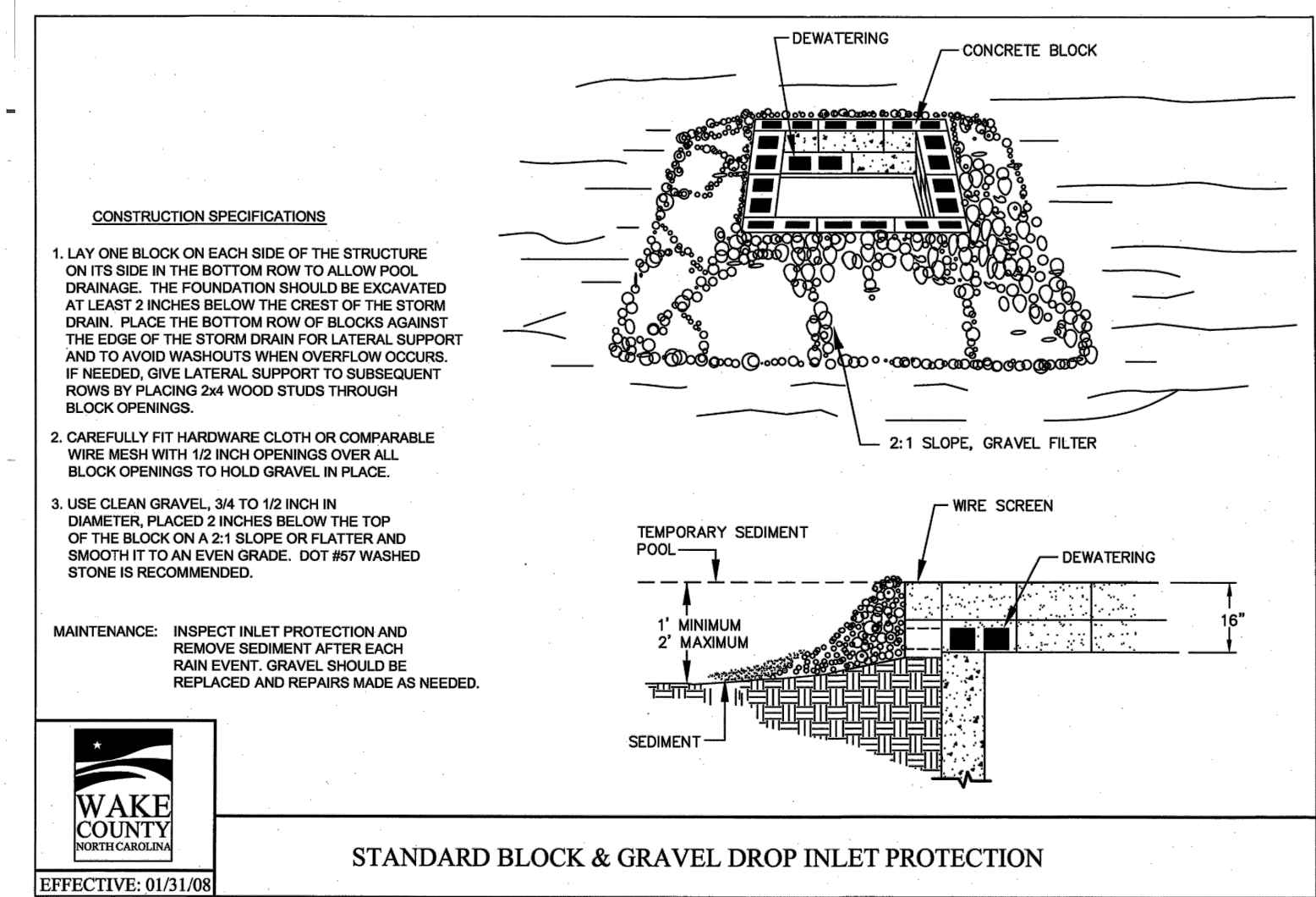
EROSION & SEDIMENT CONTROL DETAILS

C-16
SHEET 16 OF 30

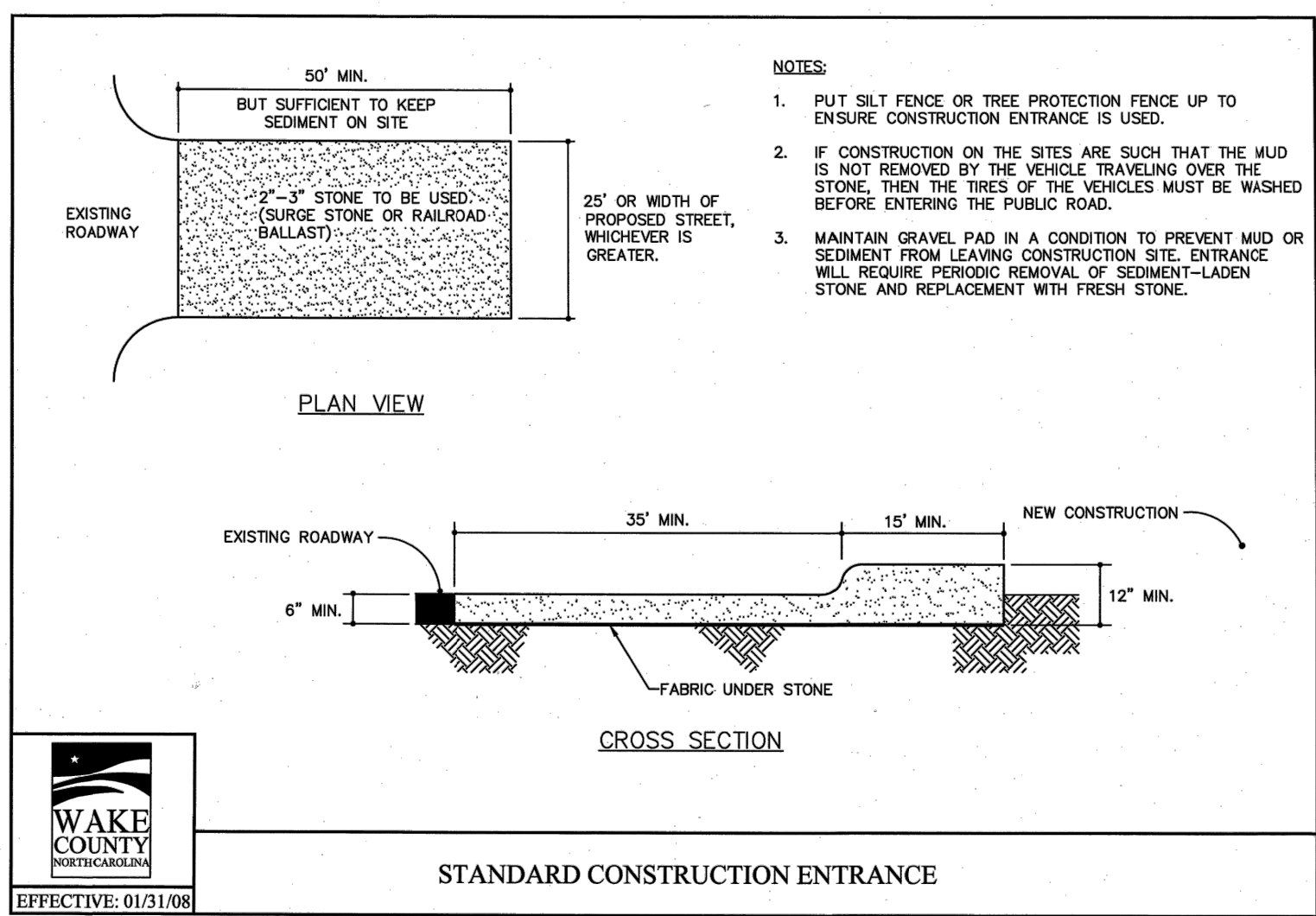
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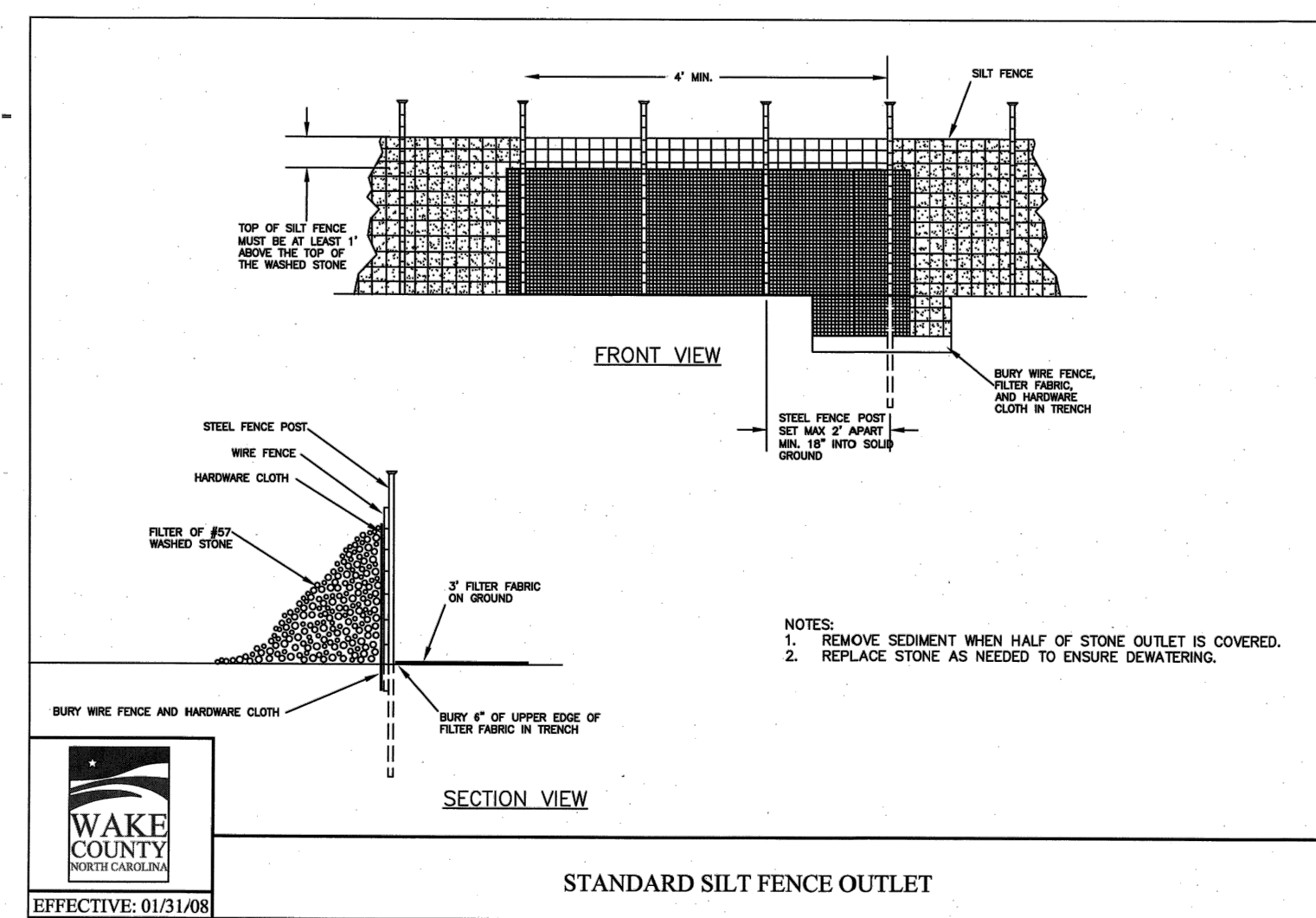
STANDARD TEMPORARY DIVERSION DITCH



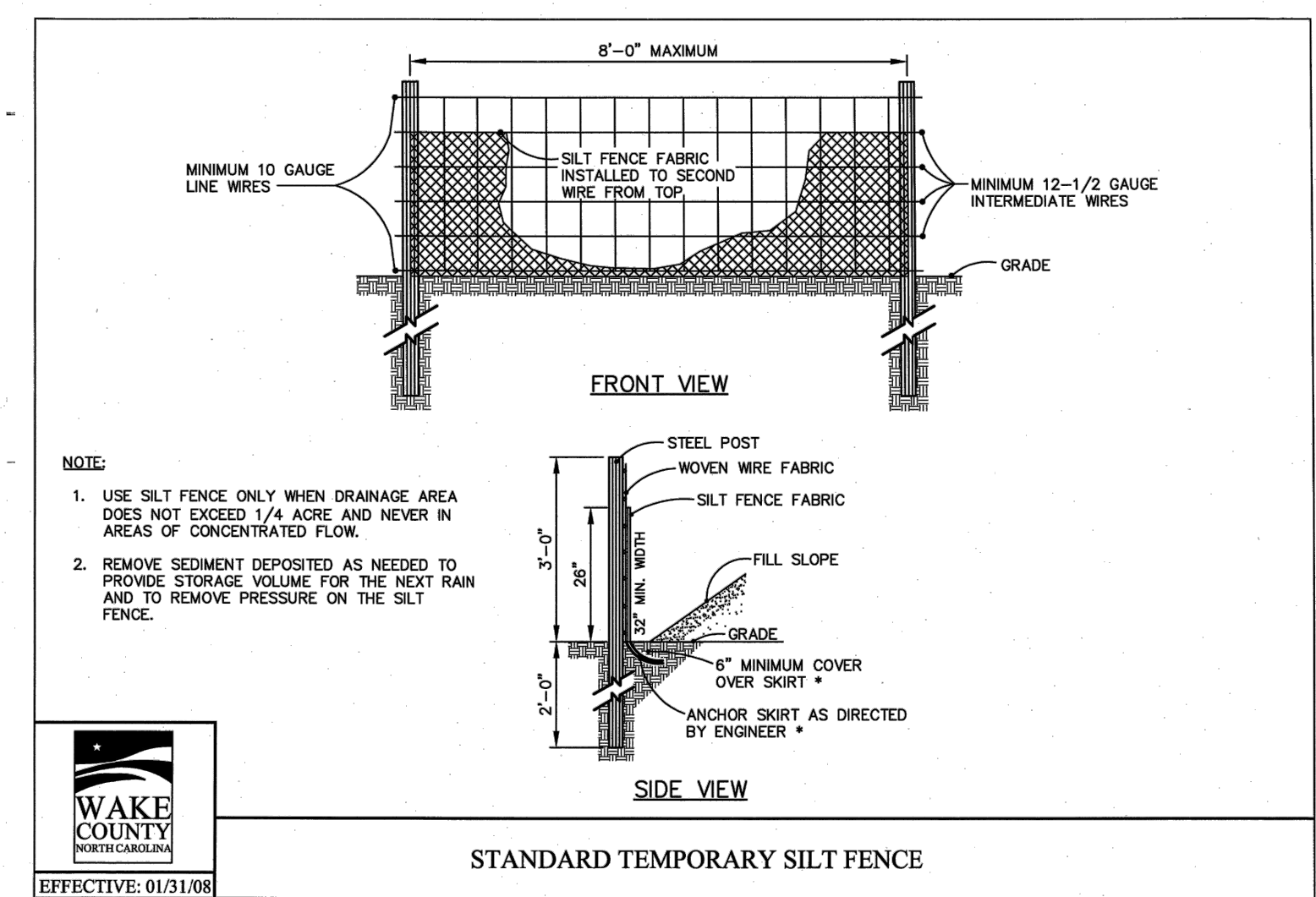
STANDARD BLOCK & GRAVEL DROP INLET PROTECTION



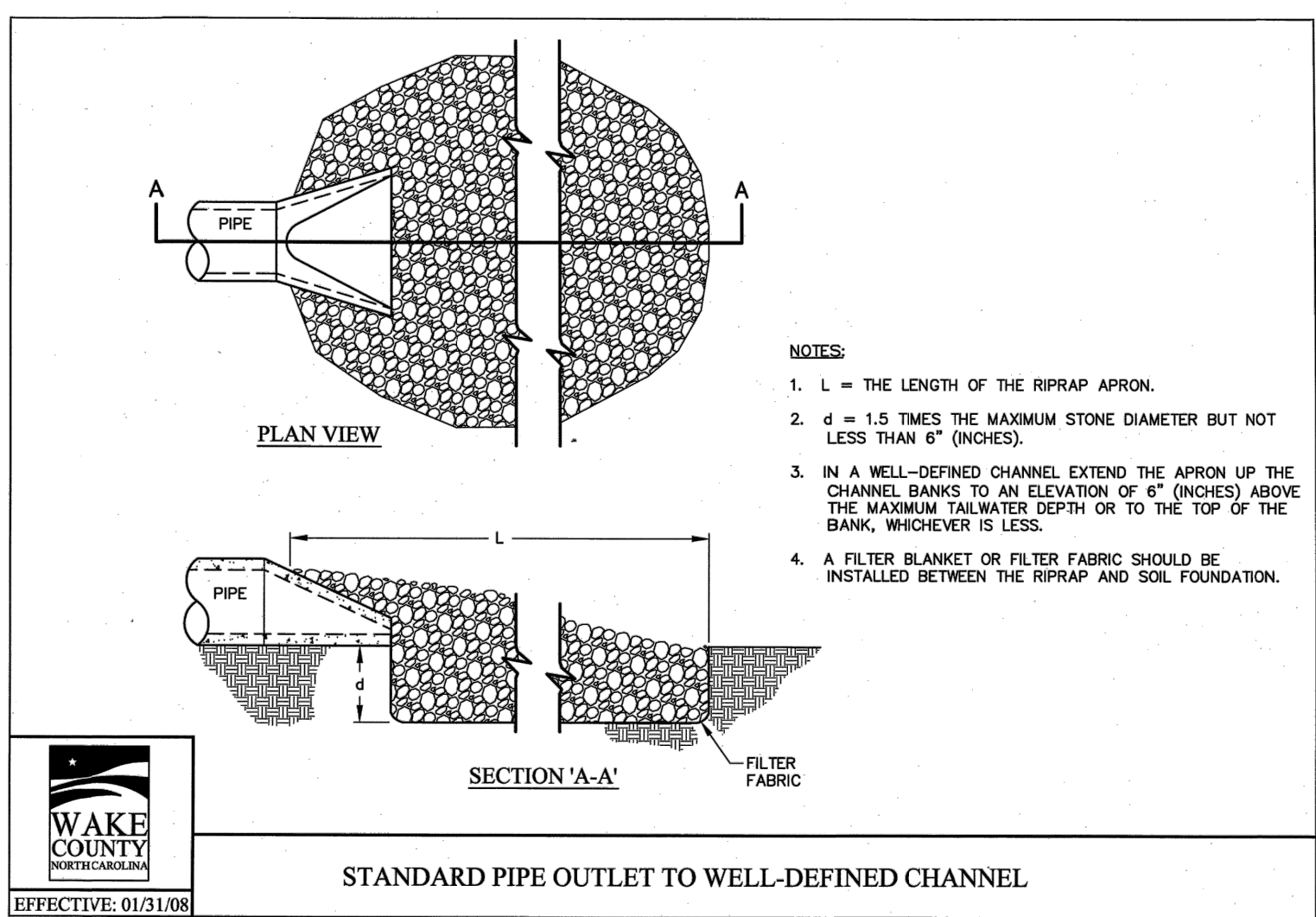
STANDARD CONSTRUCTION ENTRANCE



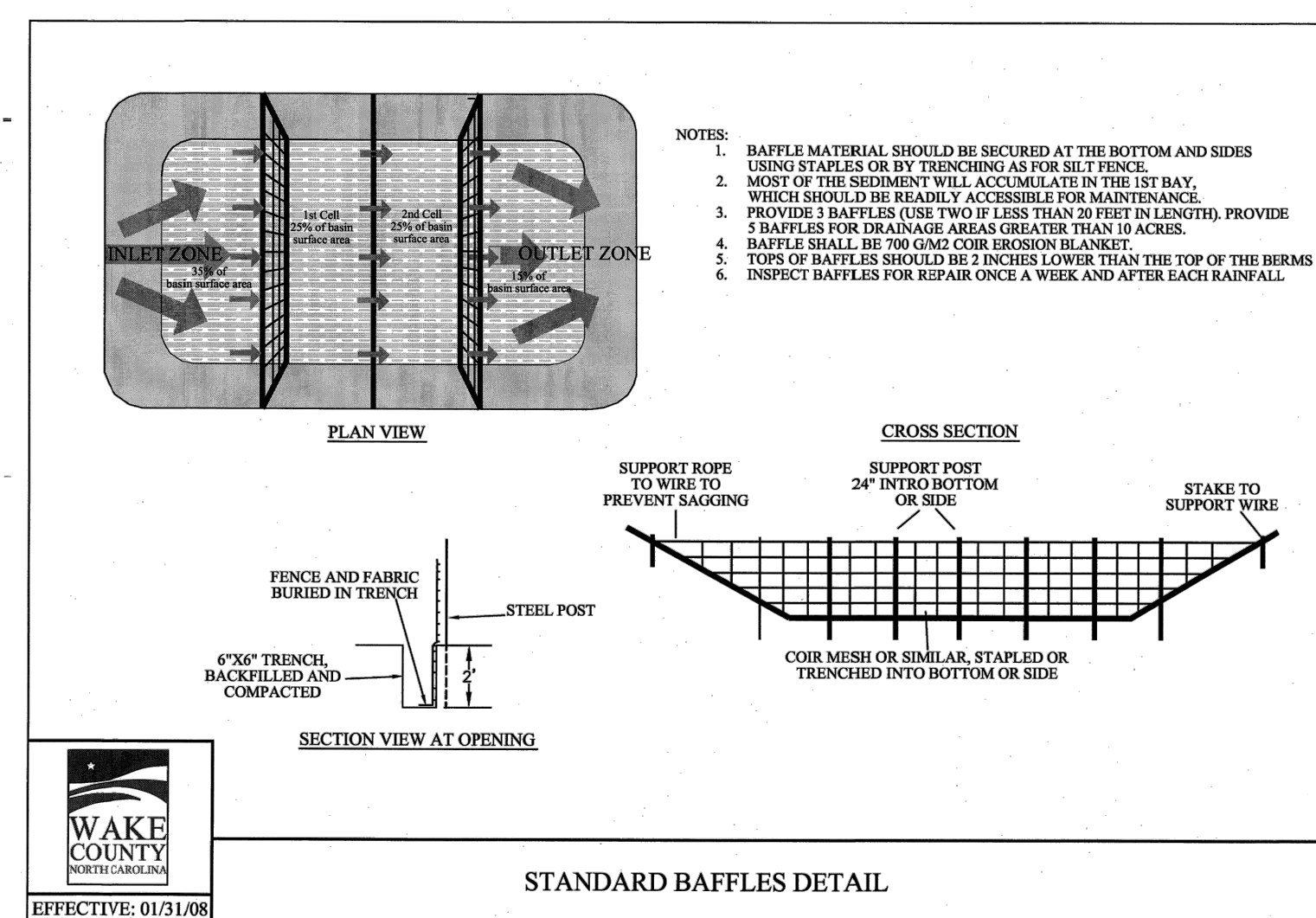
STANDARD SILT FENCE OUTLET



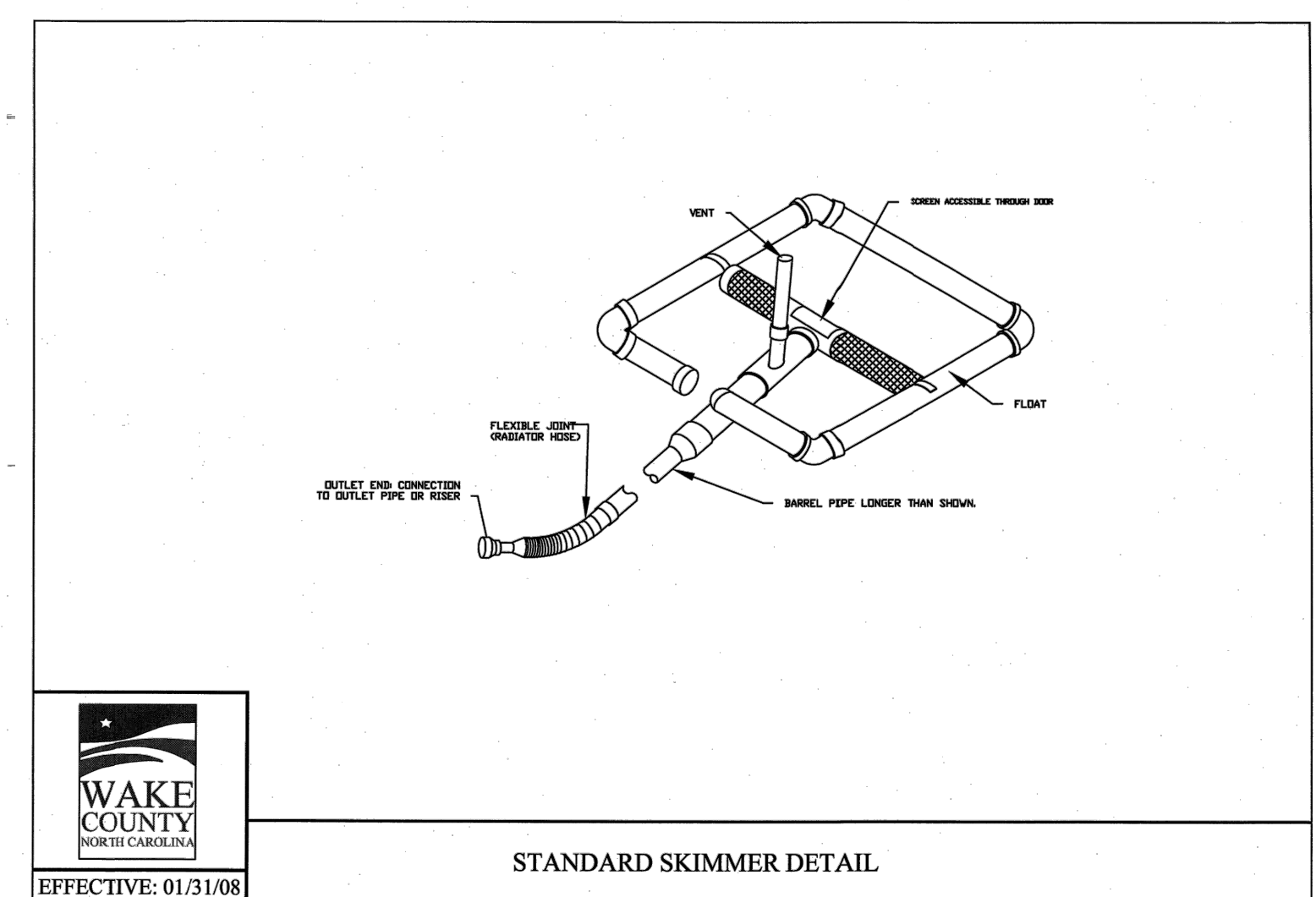
STANDARD TEMPORARY SILT FENCE



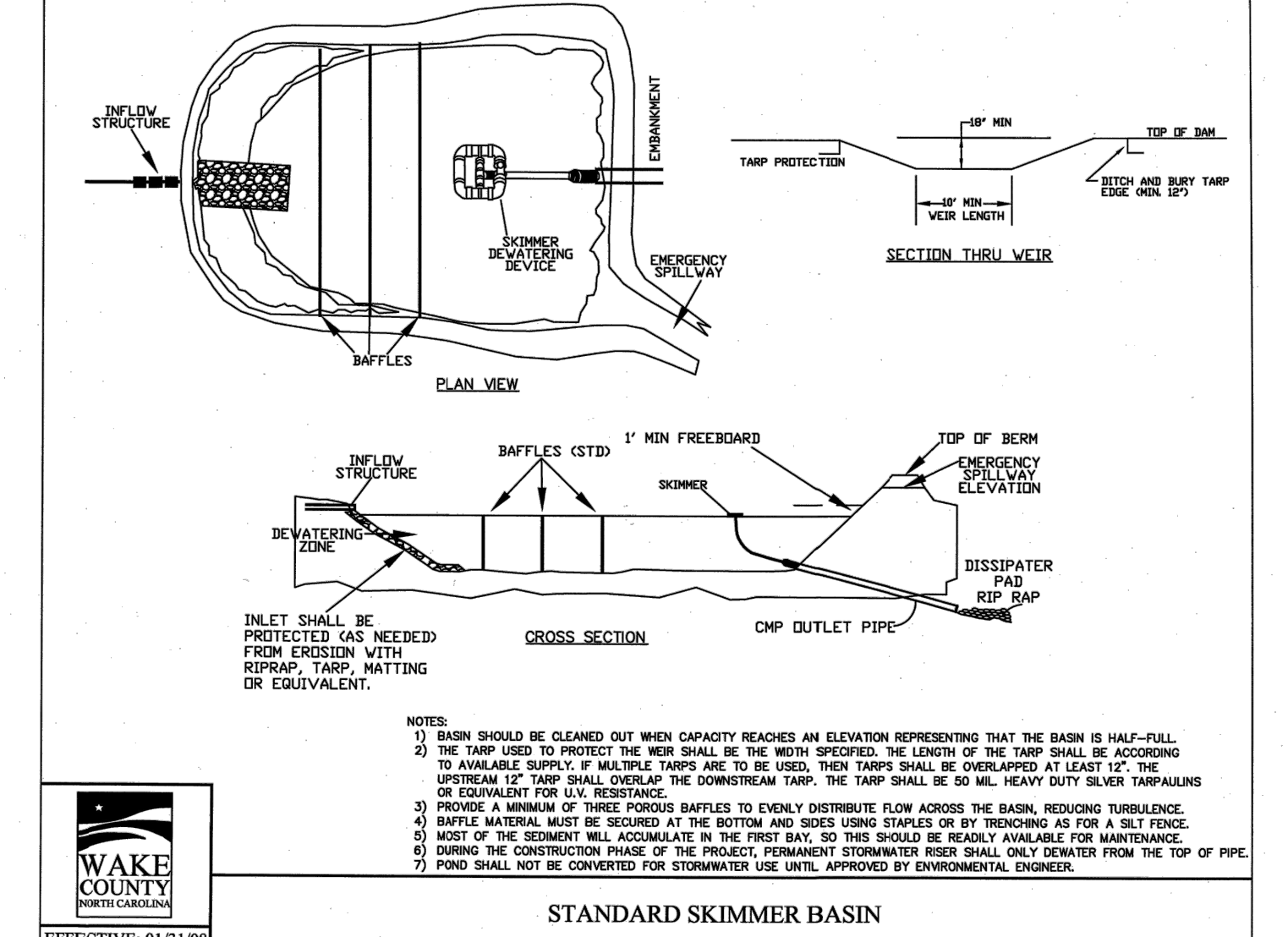
STANDARD PIPE OUTLET TO WELL-DEFINED CHANNEL



STANDARD BAFFLES DETAIL



STANDARD SKIMMER DETAIL



STANDARD SKIMMER BASIN

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REVISION HISTORY

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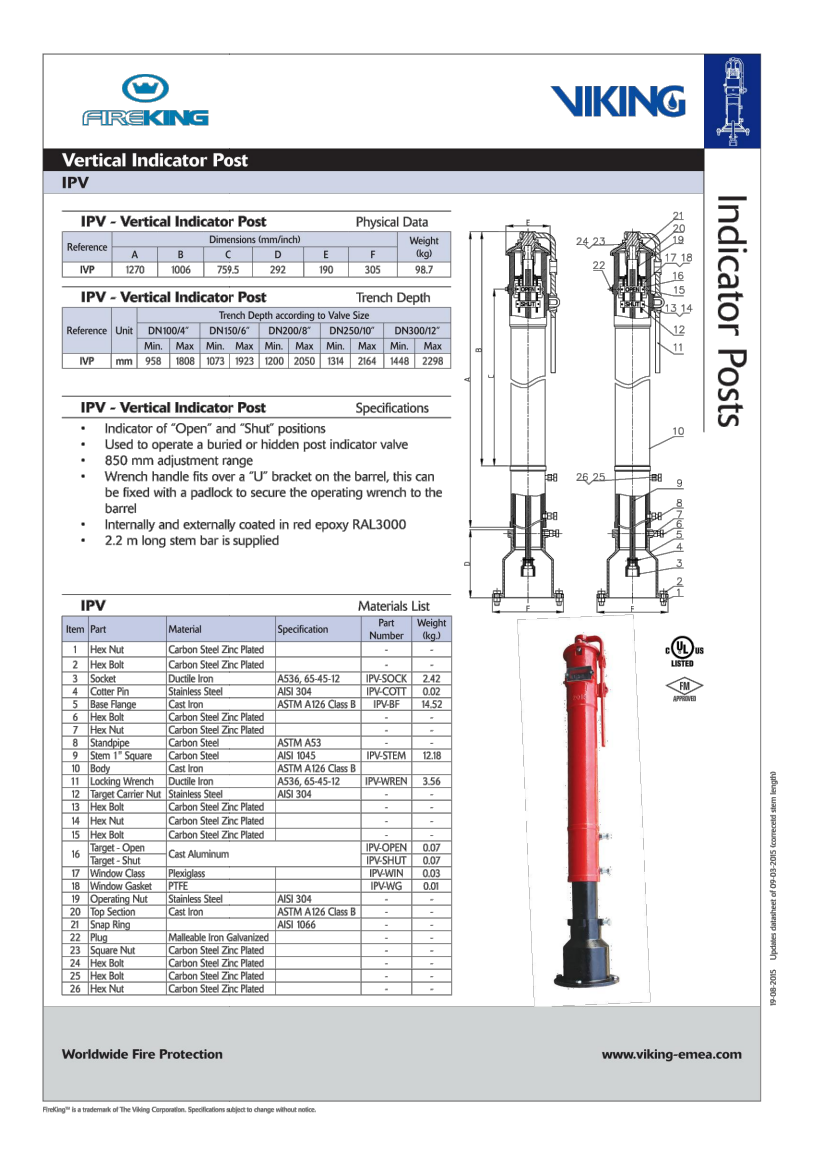
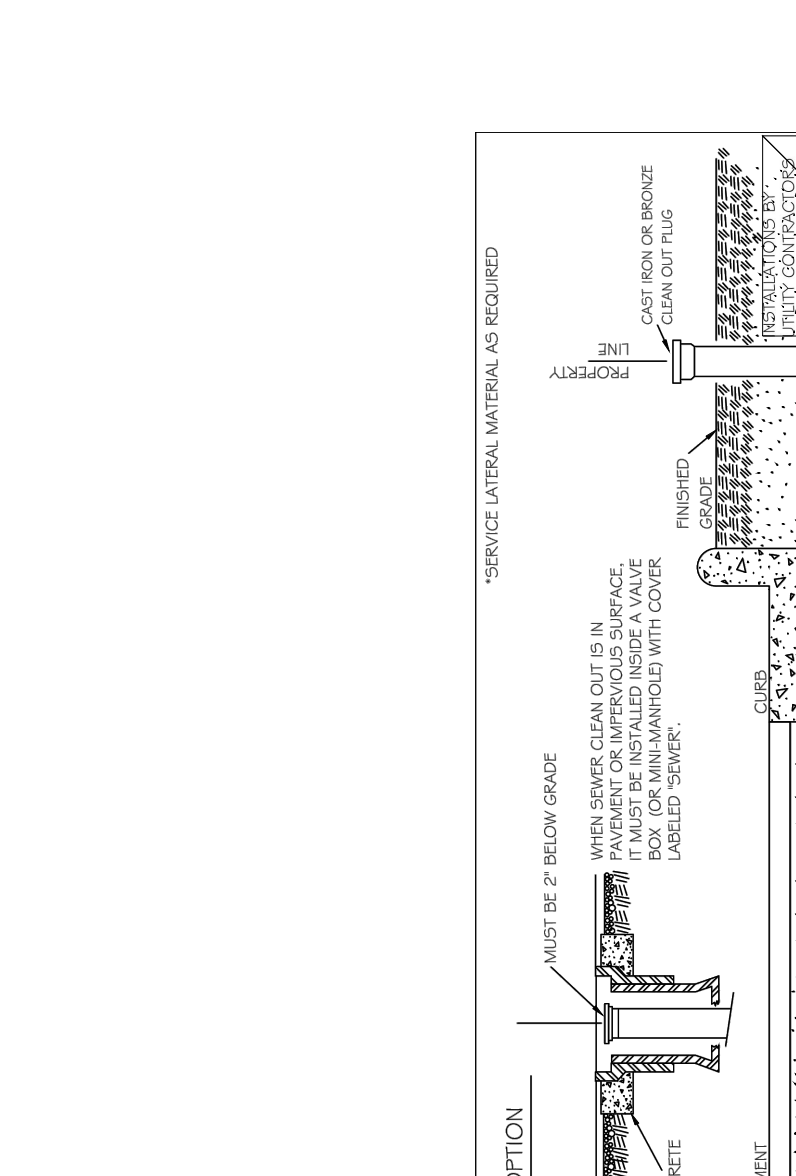
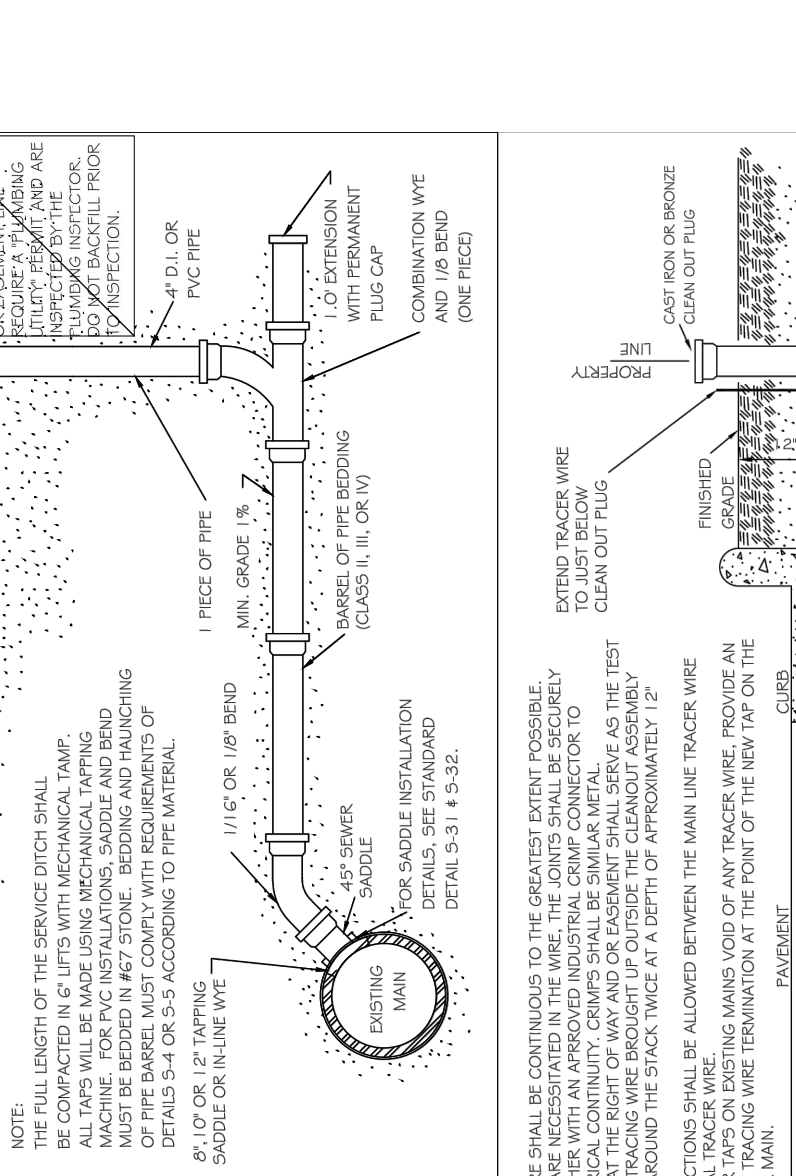
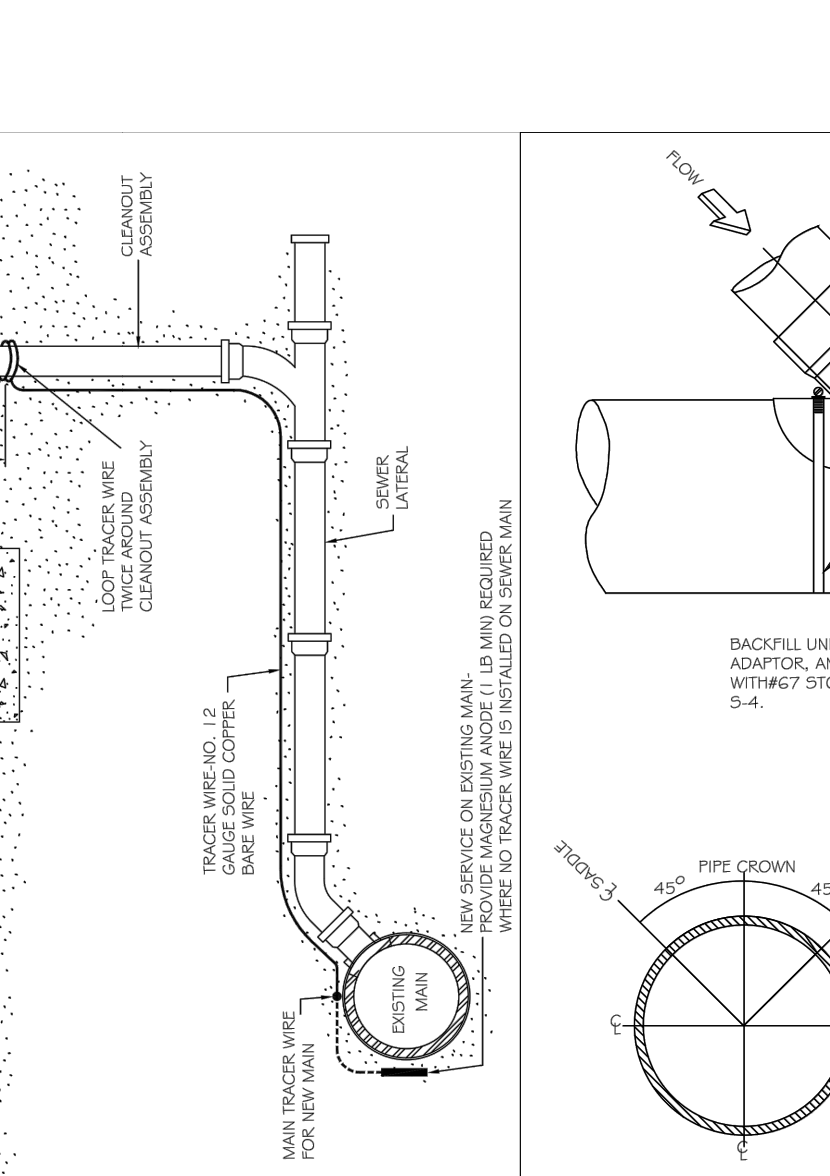
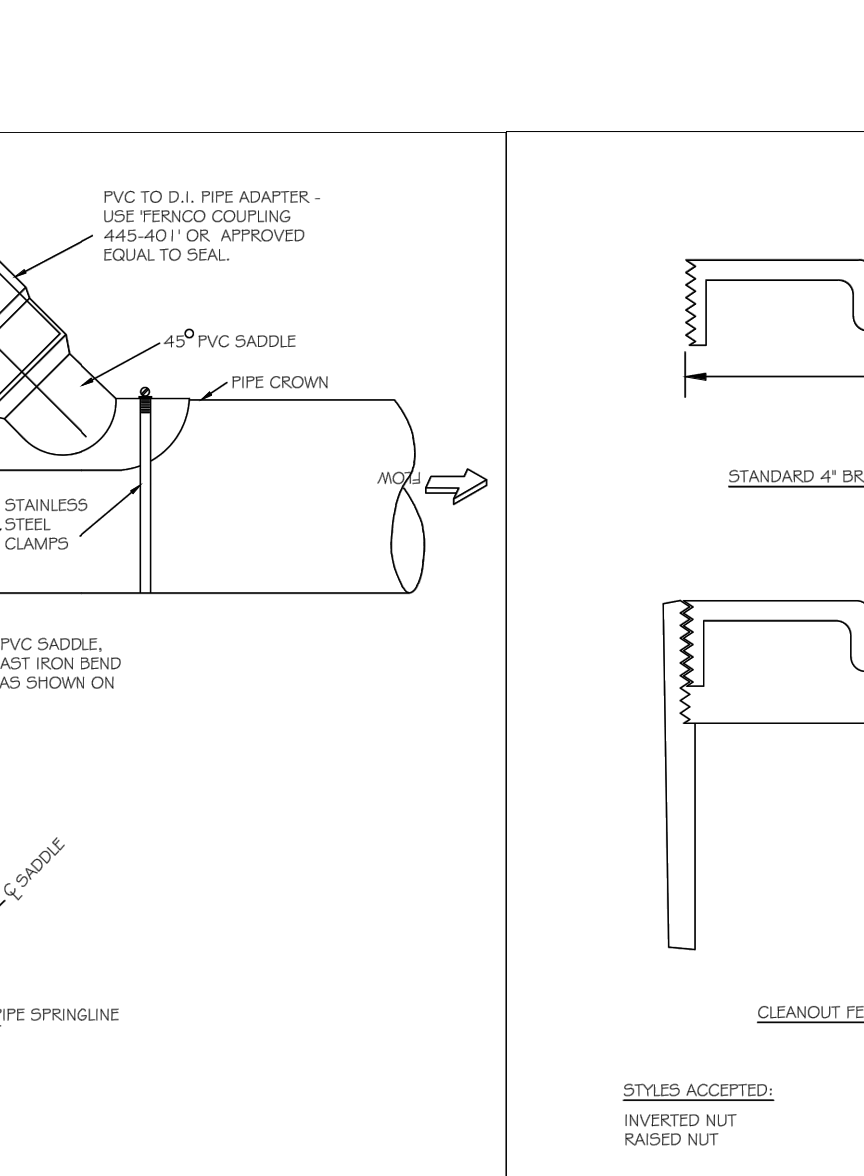
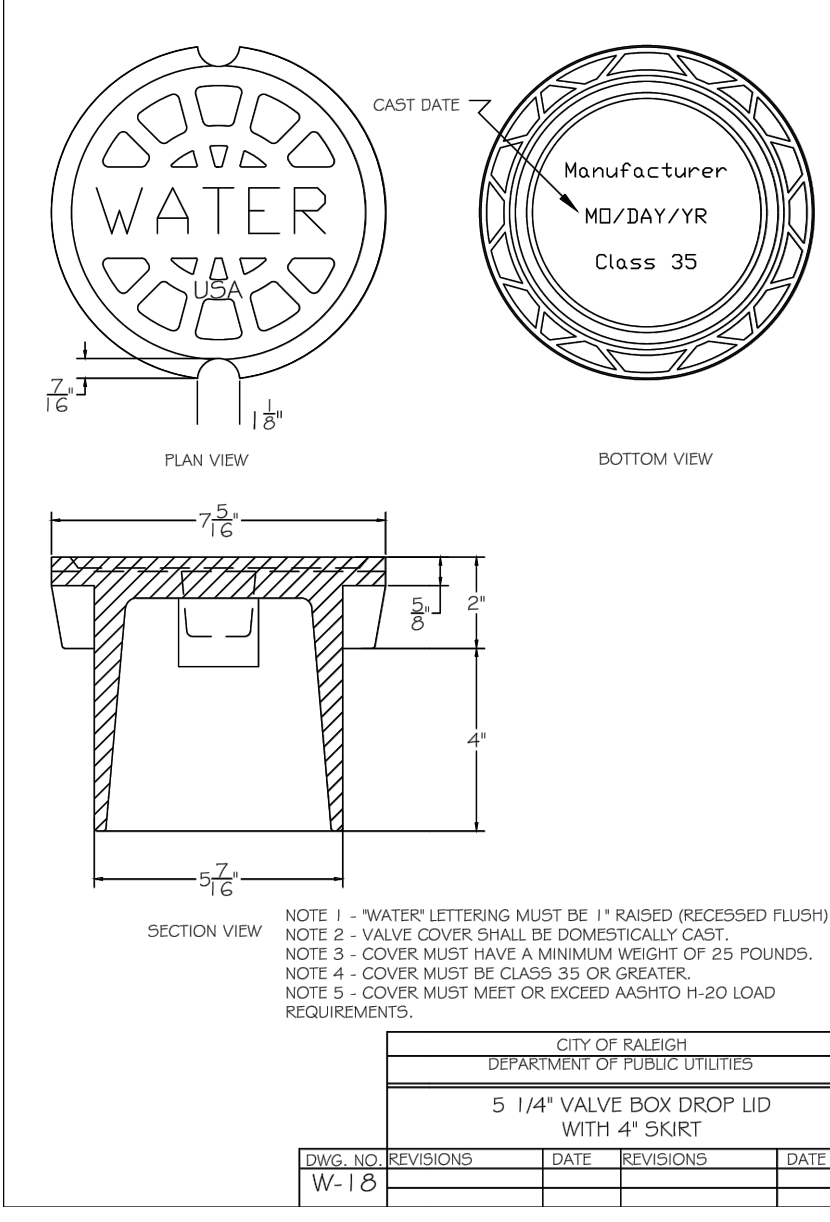
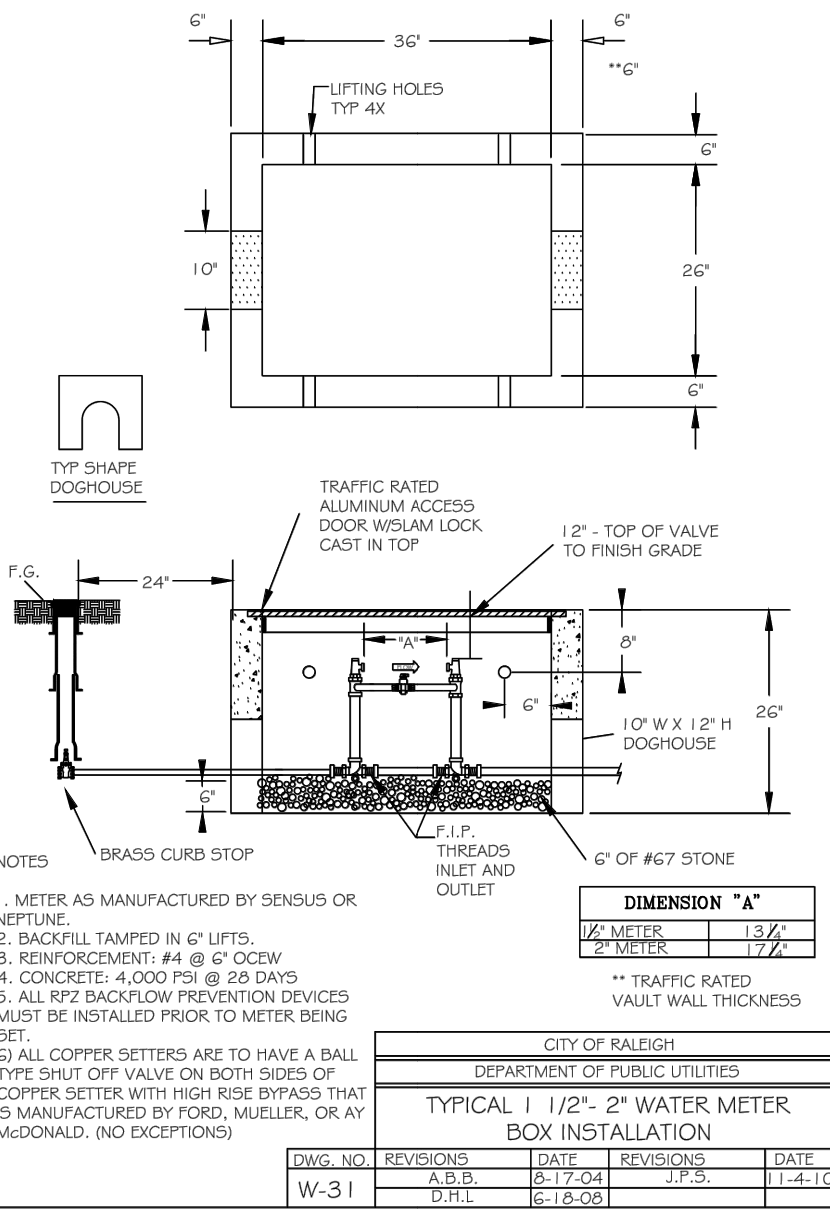
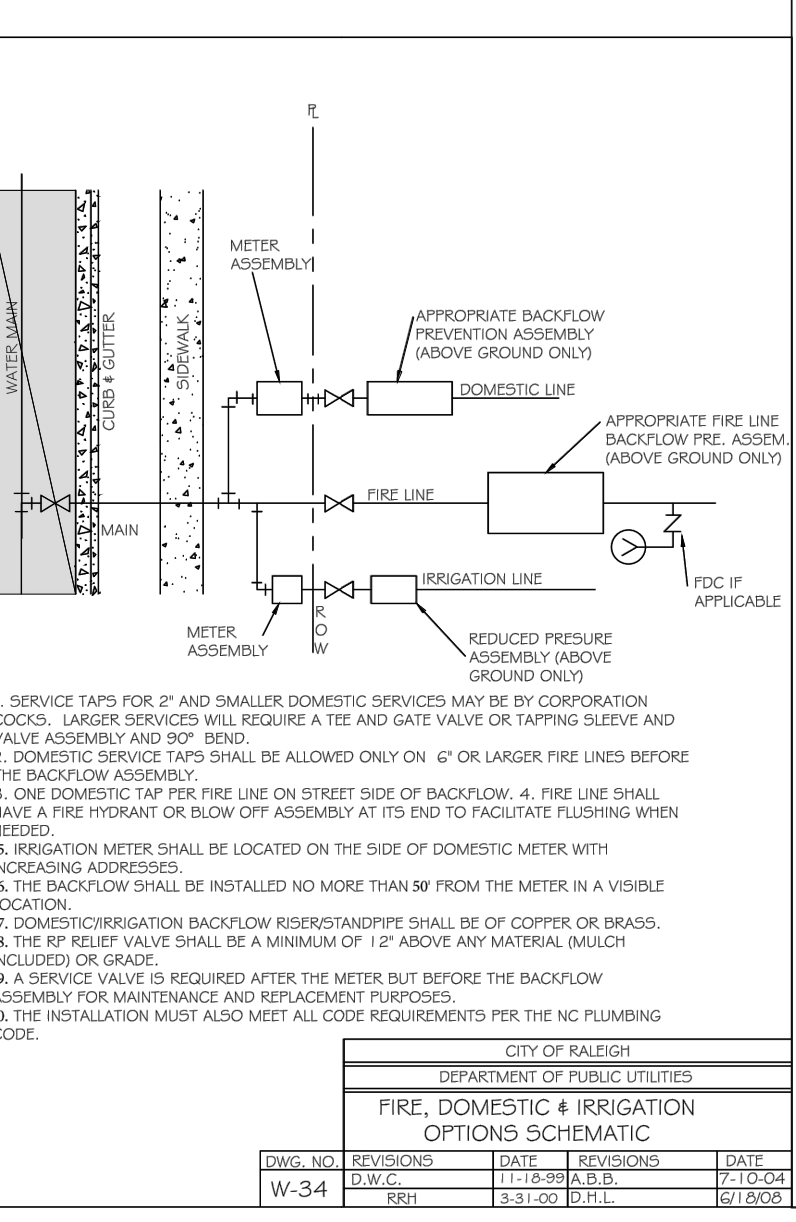
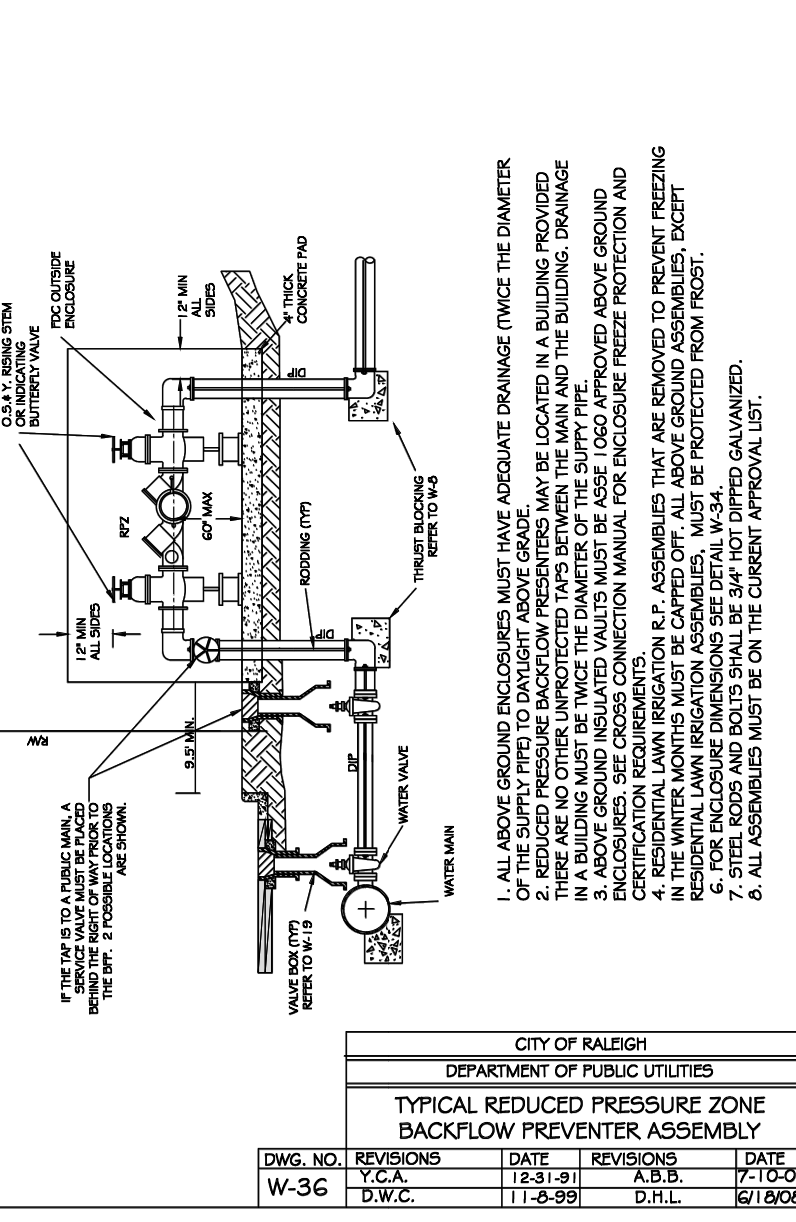
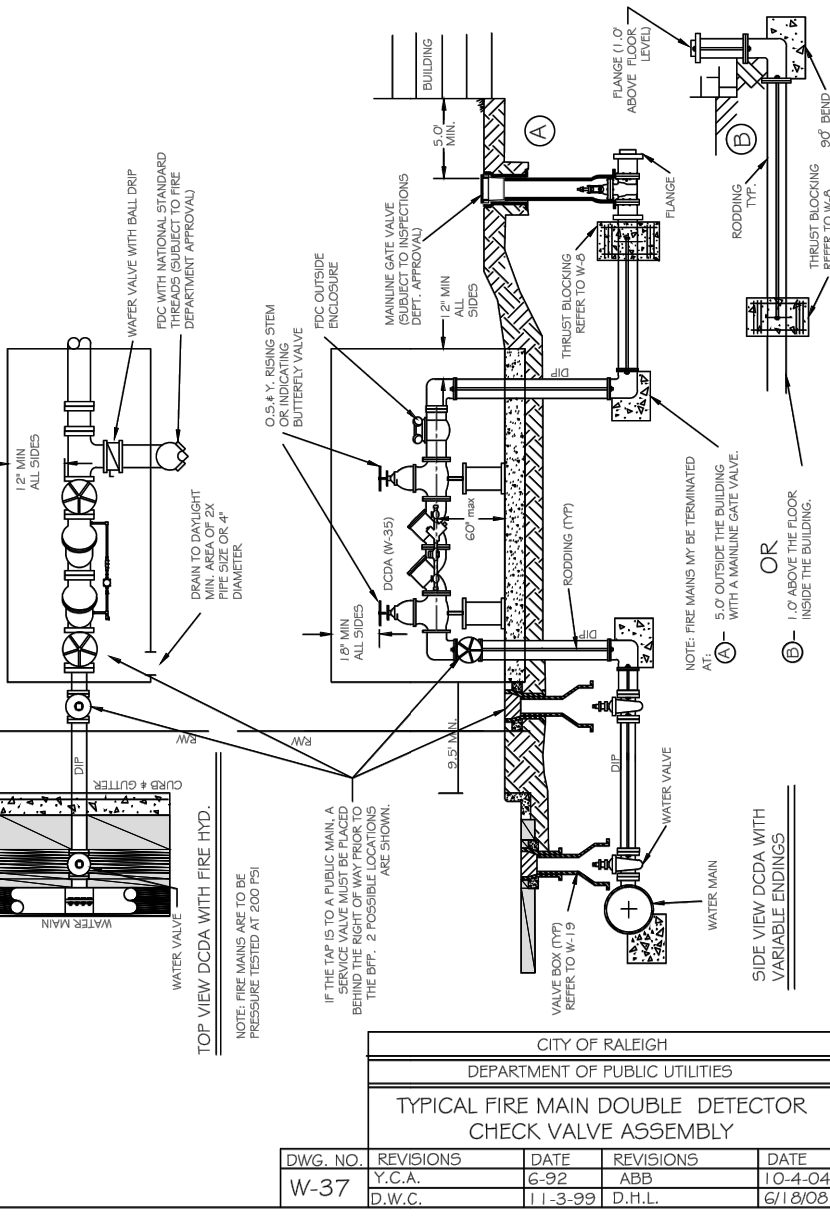
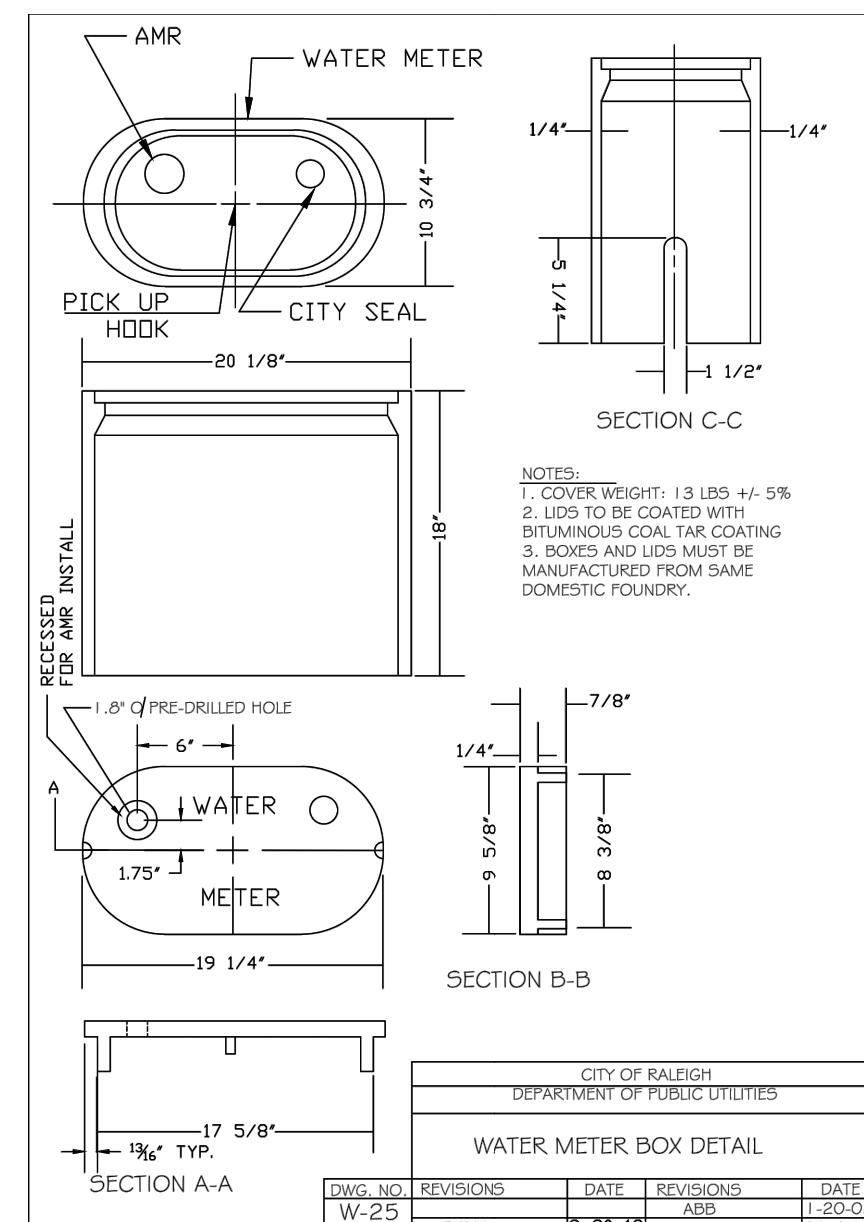
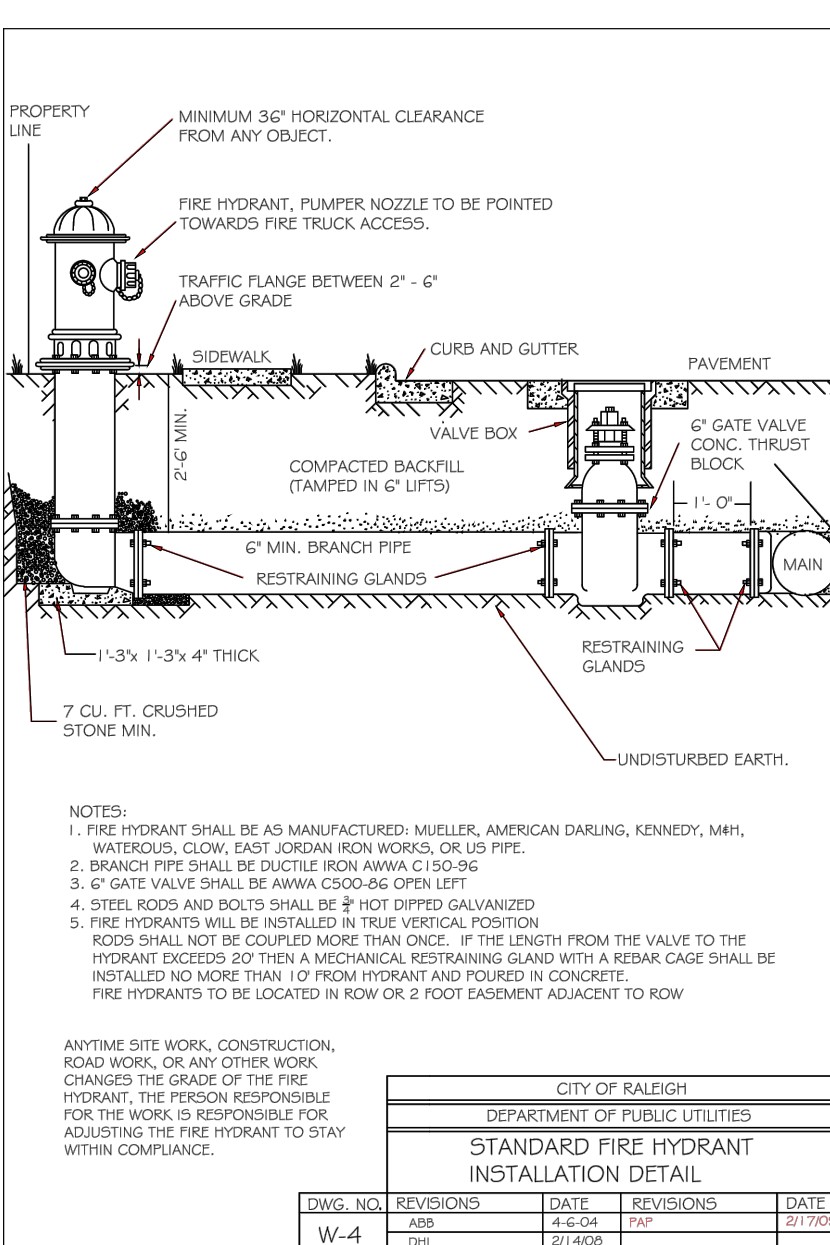
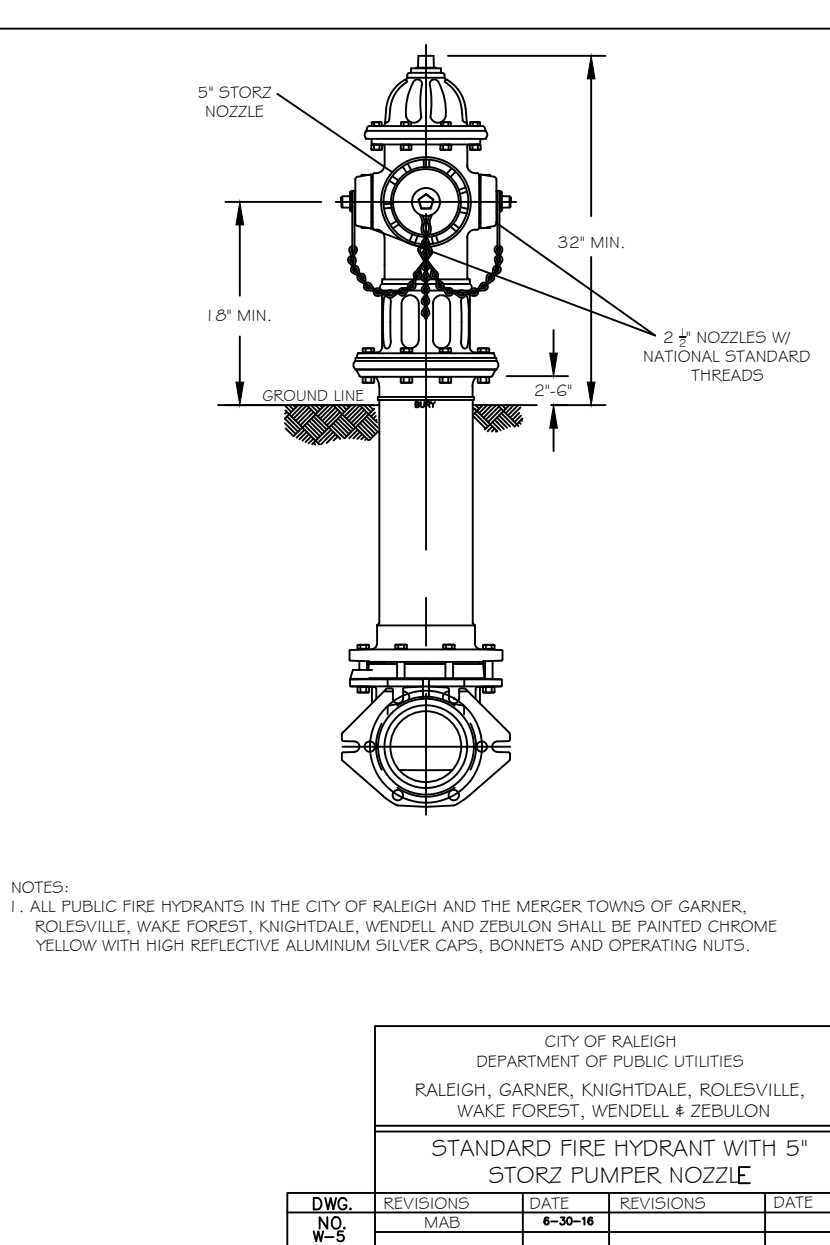
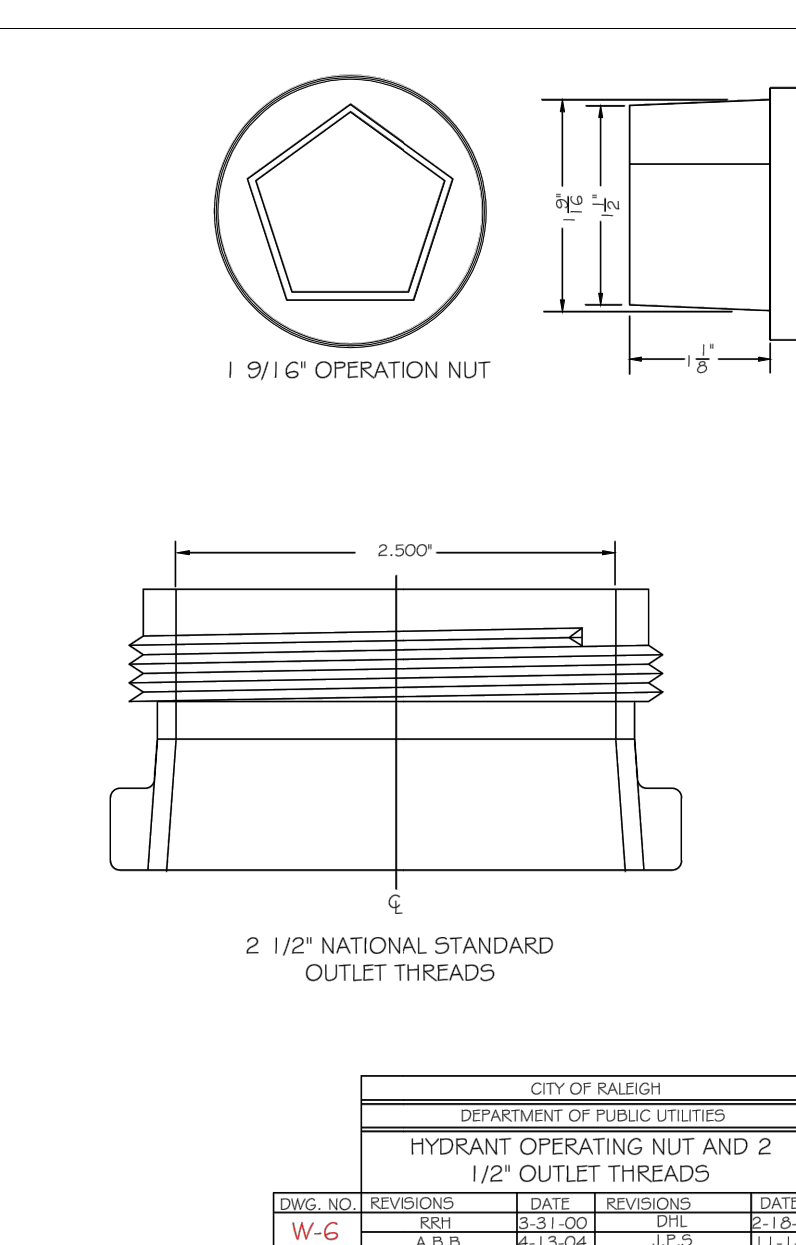
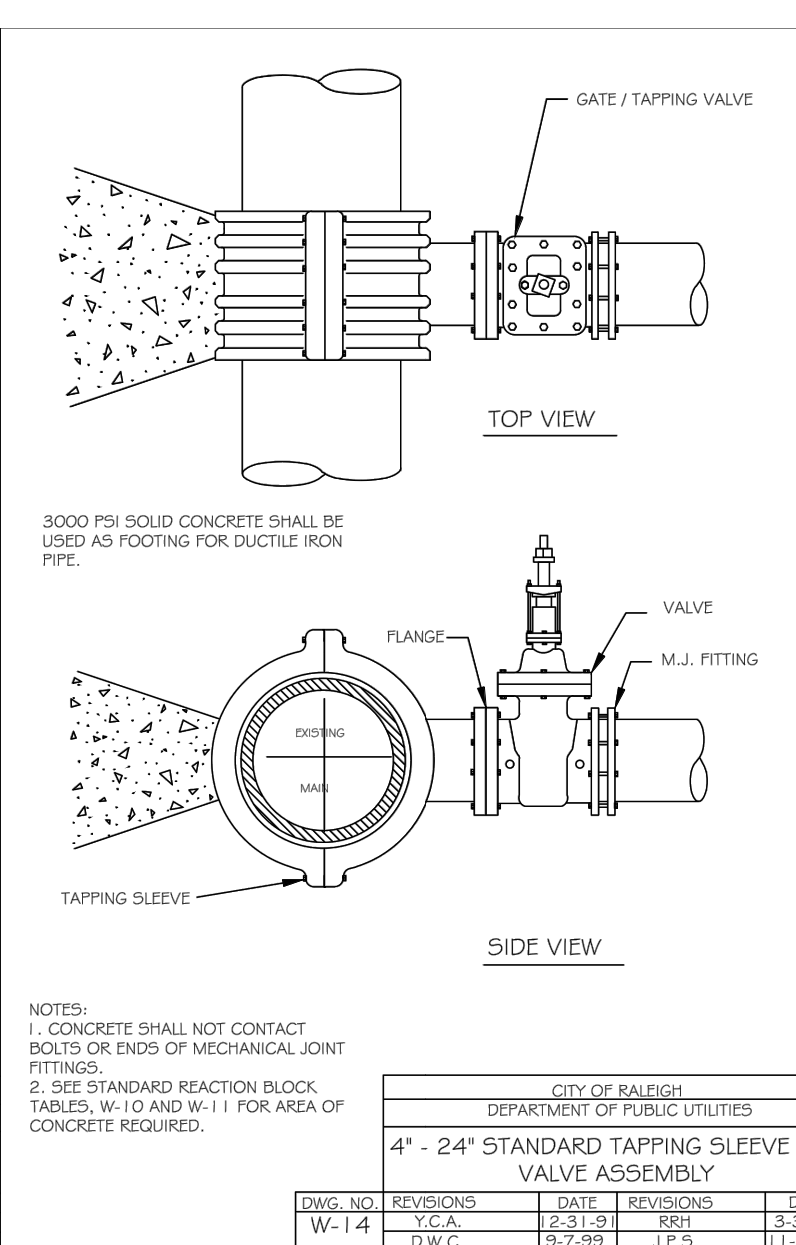
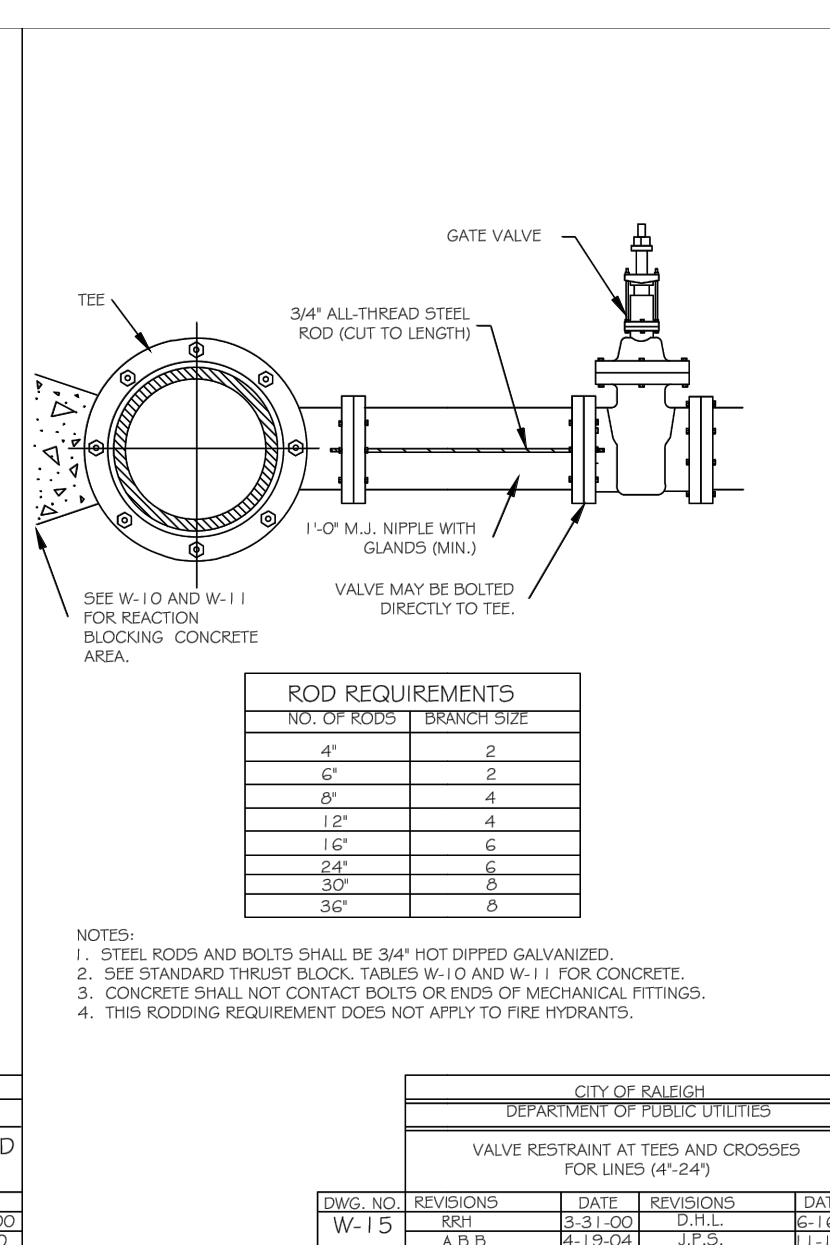
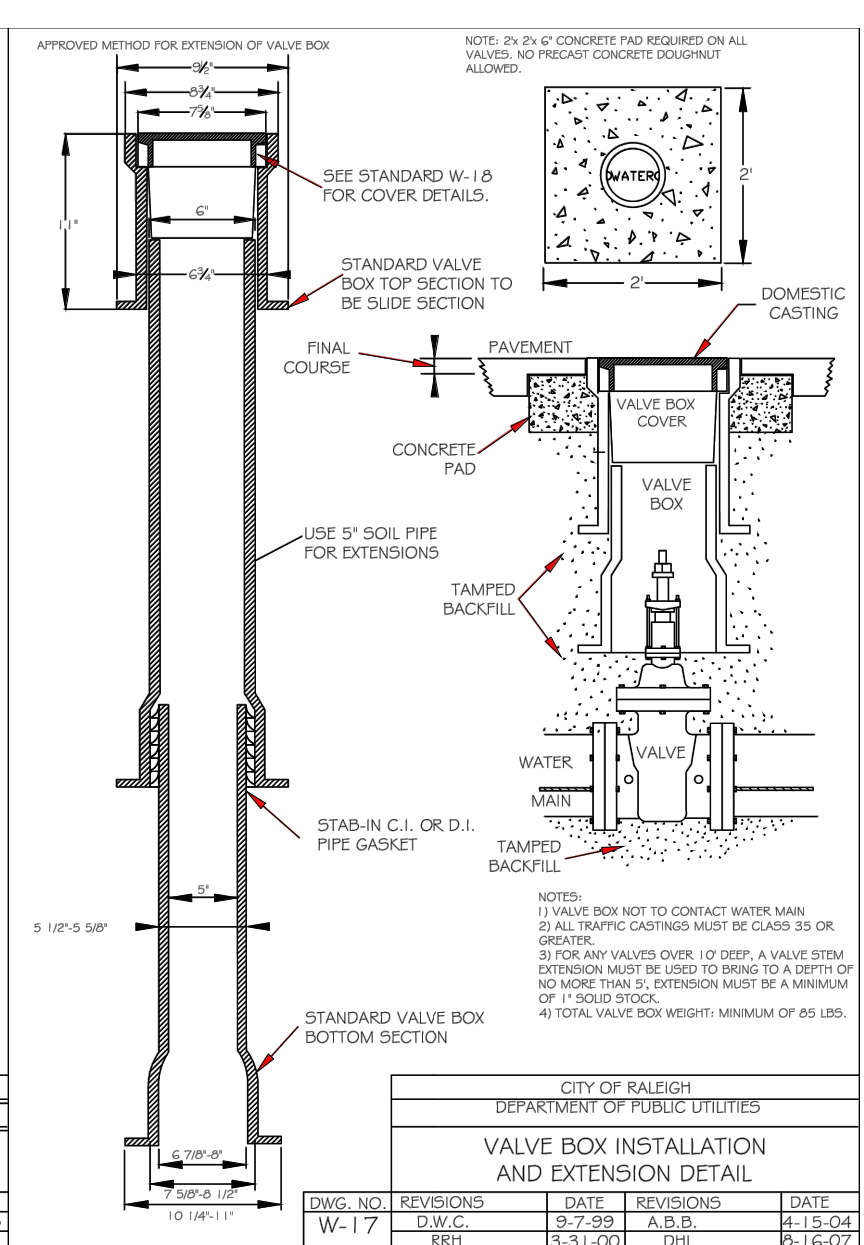
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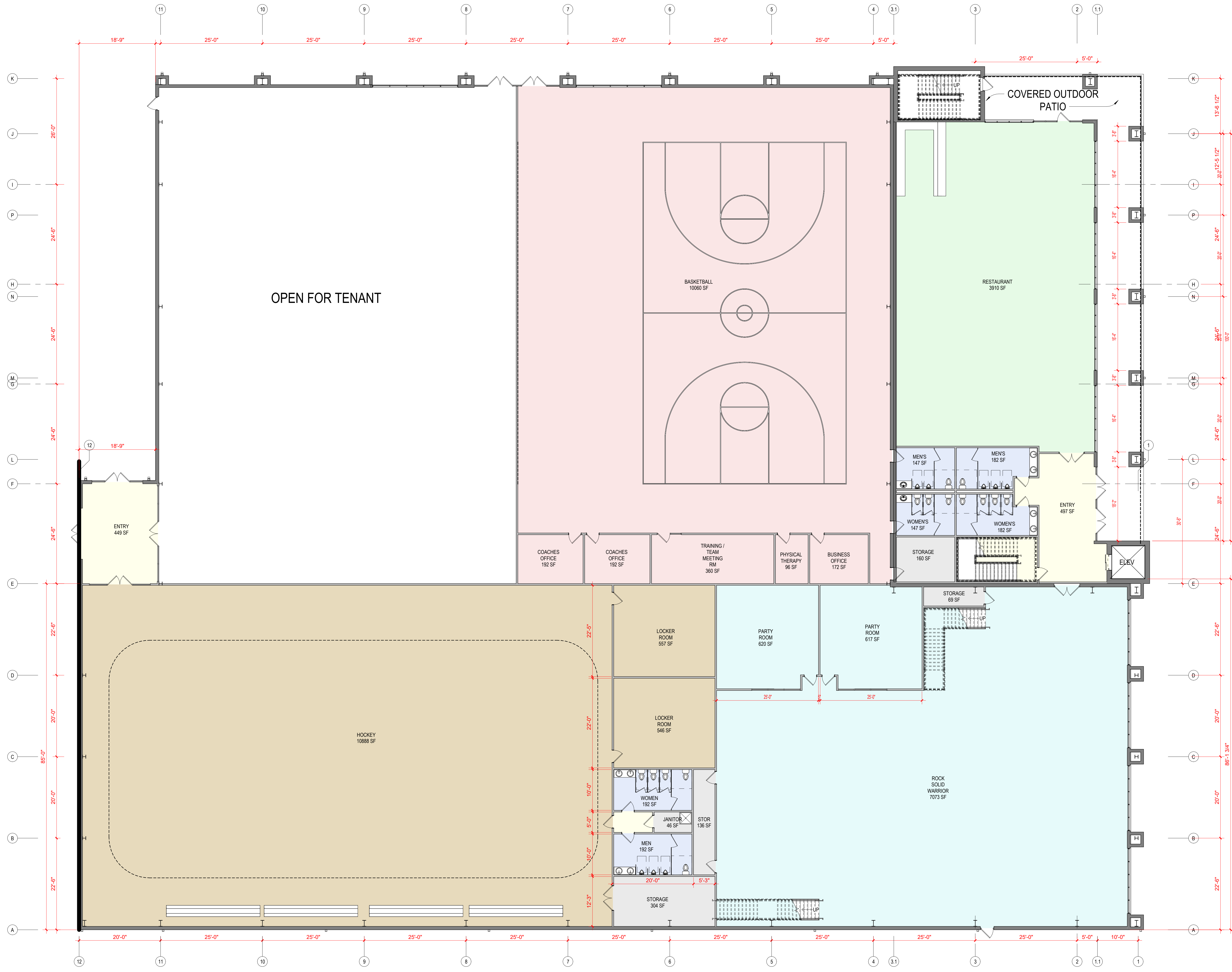
SITE DEVELOPMENT PLAN
SDP-24-05
PINE GLO
414 S MAIN ST
ROLESVILLE, NC 27571

OPTIMAL GLO LLC

DATE:	06-03-2024
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	FLM
PROJECT NO.:	24028

WATER & SEWER DETAILS





1 FLOOR PLAN
1" = 10'-0"

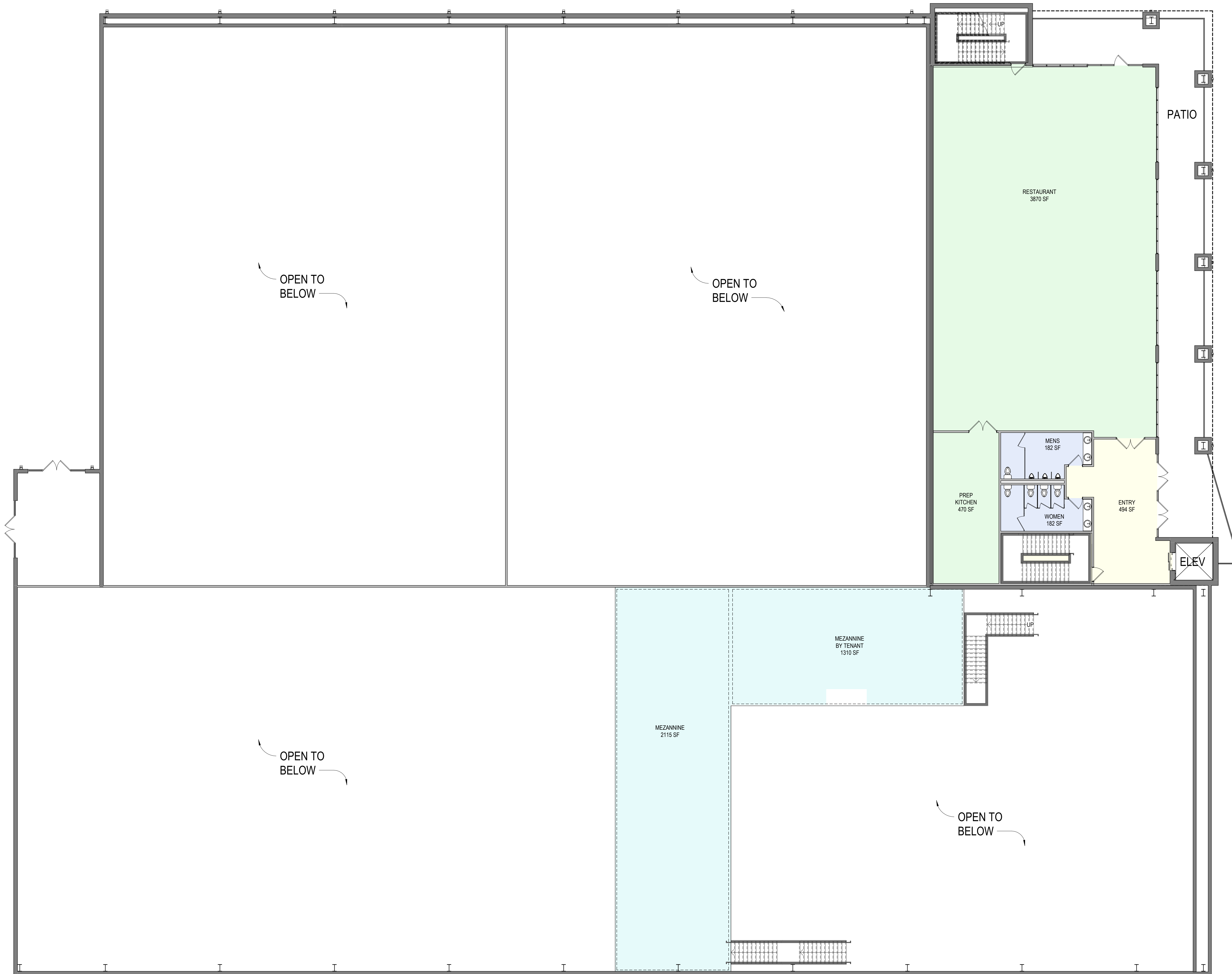
**REVIEW SET
NOT FOR
CONSTRUCTION**

PINE GLO BUILDING RENOVATIONS
414 S. MAIN ST
ROLESVILLE, NC 27571

No.	Description	Date

PROJECT #: 210072
DATE: 10/14/2024
FIRST FLOOR PLAN

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**REVIEW SET
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CONSTRUCTION**

PINE GLO BUILDING RENOVATIONS
414 S. MAIN ST
ROLESVILLE, NC 27571

No.	Description	Date
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PROJECT #: 210072

DATE: 10/14/2024

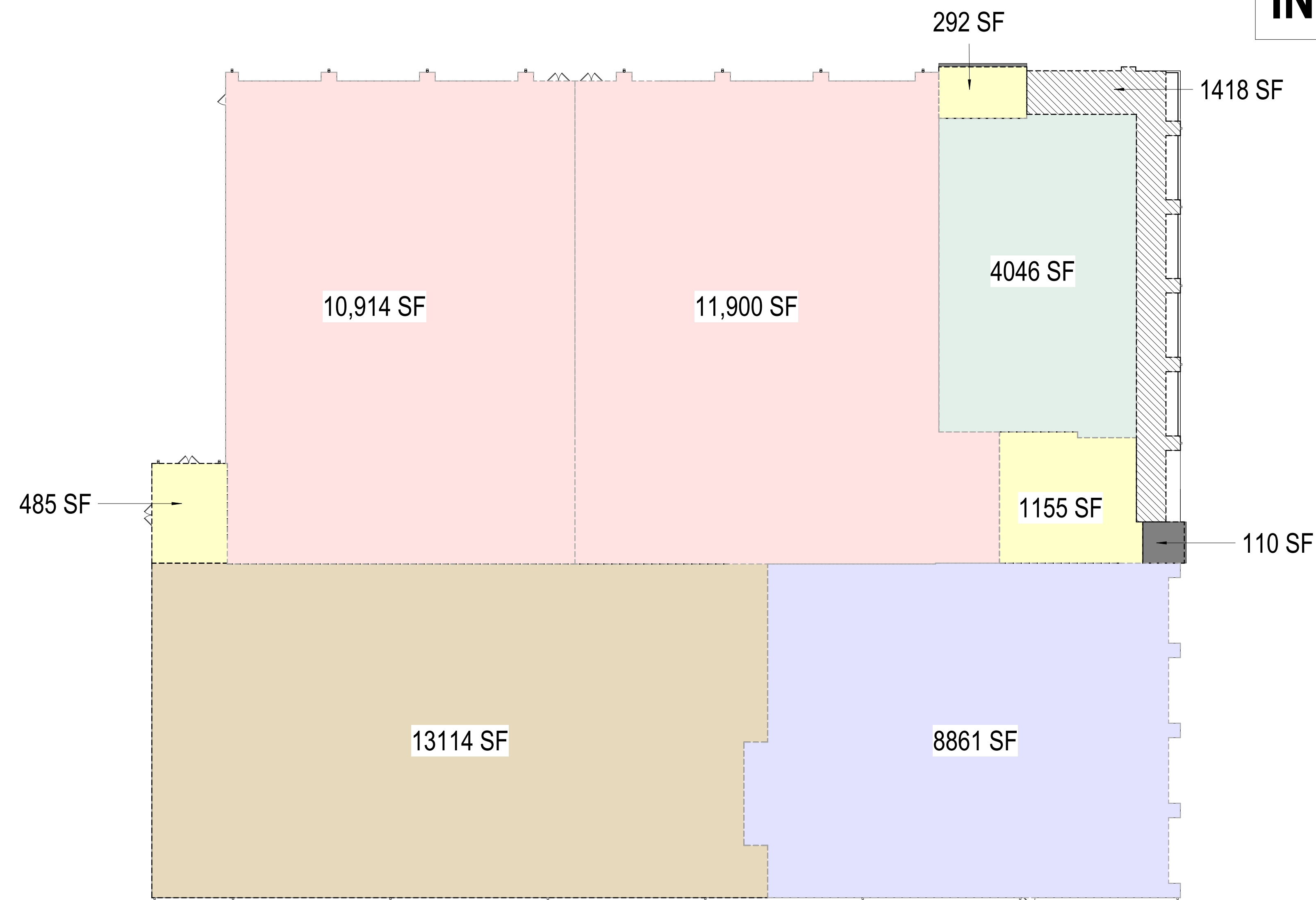
SECOND FLOOR PLAN

A1.2

DIGITAL PRINT DATE: 10/31/2024 2:50:51 PM

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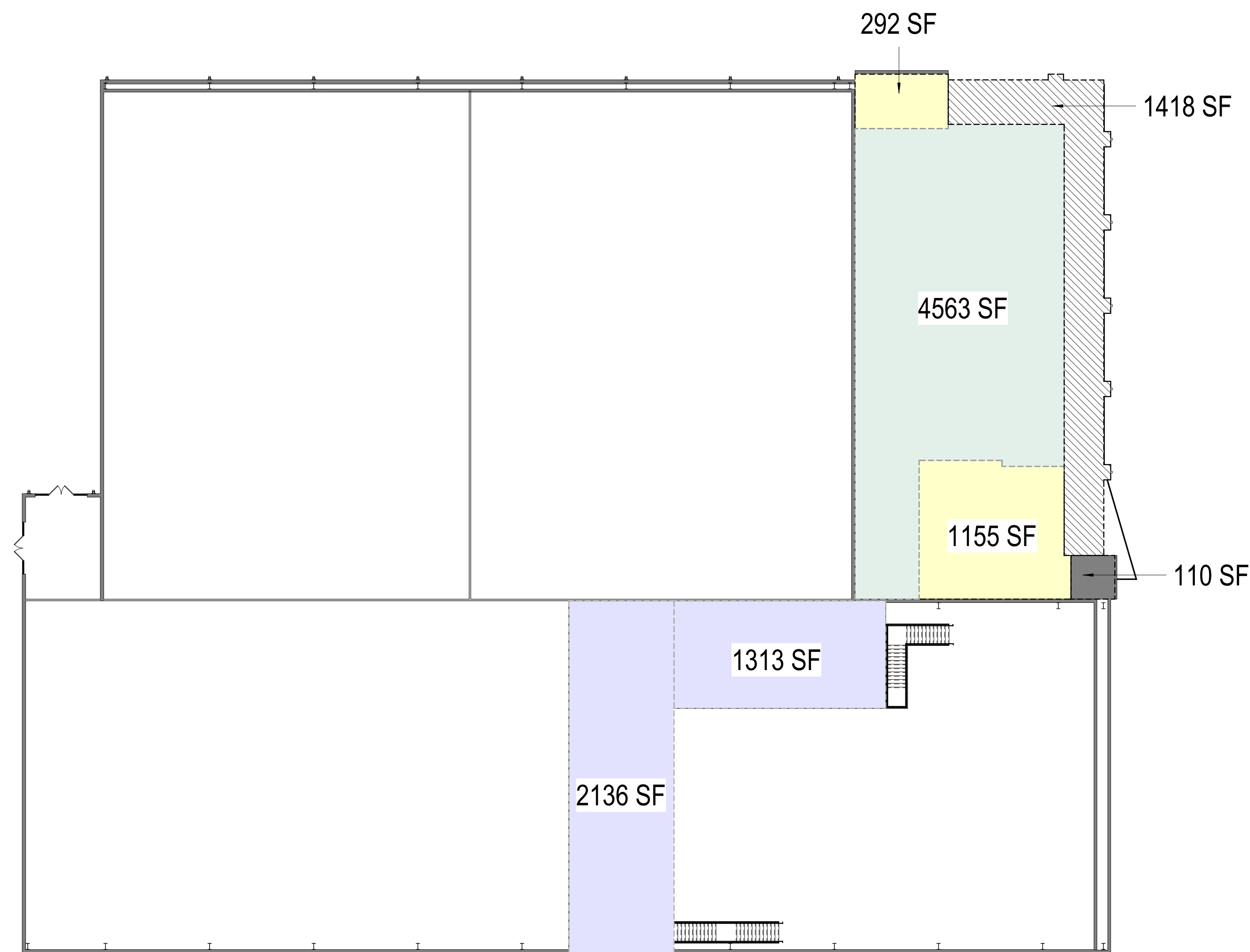
**THESE CALCULATIONS
INCLUDE EXTERIOR WALLS**



1st FLOOR

BASKETBALL (INCLUDES TLT + STOR)	22,812 SF
HOCKEY (LCKR RM + TLT + STOR)	13,114 SF
ROCK SOLID WARRIOR (INCLUDES PARTY RM + STOR)	8,861 SF
RESTAURANT	4,046 SF
PATIO	1,418 SF
2 STAIRS + TOILET RM + VEST (EAST)	1,447 SF
ELEVATOR	110 SF
VESTIBULE (WEST)	485 SF
TOTAL = 50,875 SF	
WITH PATIO = 54,921 SF	

1 1 FLOOR SF DIAGRAM
1" = 20'-0"



2nd FLOOR

ROCK SOLID MEZANINE	2,136 SF
MEZZ BY TENANT (OPTION)	1,313 SF
RESTAURANT	4,563 SF
PATIO	1,418 SF
2 STAIRS + TOILET RM + VEST (EAST)	1,447 SF
ELEVATOR	110 SF
TOTAL = 8,256 SF	
(WITH PATIO) 9,674 SF	
(MEZZ OPTION) 10,987 SF	

2 2 FLOOR SF DIAGRAM
1" = 20'-0"

**REVIEW SET
NOT FOR
CONSTRUCTION**

PINE GLO BUILDING RENOVATIONS
414 S. MAIN ST
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DIAGRAM OF SF

A1.3

DIGITAL PRINT DATE: 10/31/2024 2:53:00 PM



PINE
GLO





PINE
GLO







PINE
GLO