

V3 rcvd 6-7-2024

# PRESTLEIGH AT JONES DAIRY

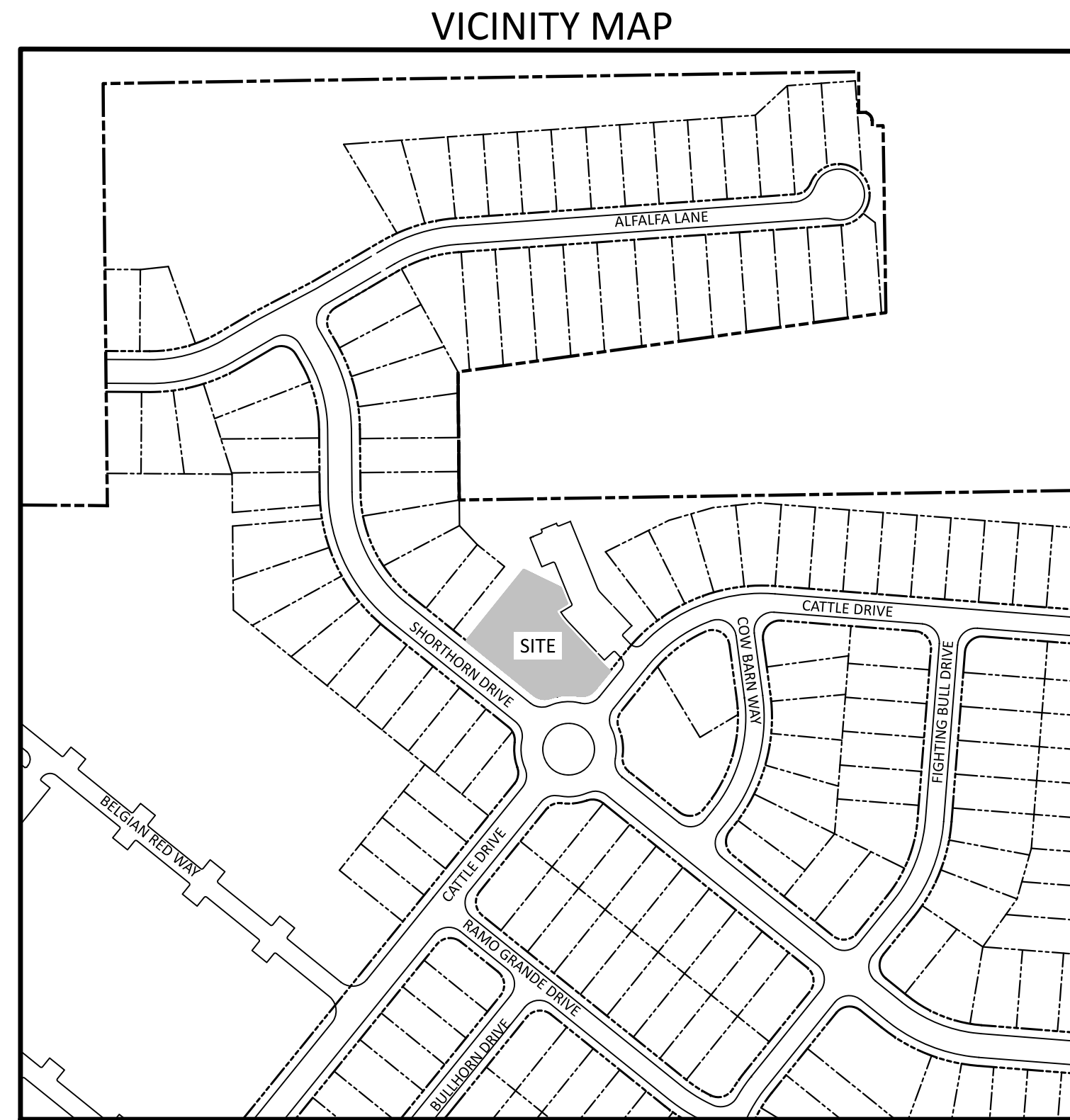
## SITE DEVELOPMENT PLAN AMENITY CENTER ACTIVE OPEN SPACE #2 B.M. 2023, PG. 2190

1001 CATTLE DRIVE  
ROLESVILLE, NC  
PROJECT ID NO: SDP-24-02

FEBRUARY 29, 2024  
REVISED: APRIL 29, 2024  
REVISED: JUNE 7, 2024

**OWNER/DEVELOPER**  
PRESERVE AT JONES DAIRY, LLC  
10534 ARNOLD PALMER DRIVE  
RALEIGH, NC 27617  
919-491-0761

SHEET INDEX		
SHEET NO.	SHEET NAME	MOST CURRENT REVISION DATE
C1.0	EXISTING CONDITIONS PLAN	06/07/2024
C2.0	SITE PLAN	06/07/2024
C3.0	UTILITY PLAN	06/07/2024
C4.0	GRADING AND EROSION CONTROL PLAN	06/07/2024
L1.0	LANDSCAPE PLAN	06/07/2024
D1.0	SITE DETAILS	06/07/2024
PLANS BY OTHERS		
SHEET NO.	SHEET NAME	MOST CURRENT REVISION DATE
A0.1	BATHHOUSE FLOORPLAN	2/29/2024
A0.2	BATHHOUSE BUILDING ELEVATIONS	2/29/2024




SCALE: 1" = 200'

PROPOSED SITE DATA - AMENITY CENTER	
LOT AREA	55,288 SF (1.27 AC)
SETBACKS	
FRONT AND REAR:	25'
SIDE:	5'
CORNER:	10'
DISTURBED AREA	27,589 SF (0.63 AC)
BUILDING AREA	788 SF
NUMBER OF STORIES	1 STORY
IMPERVIOUS AREA	9,376 SF
PROPOSED USE	AMENITY CENTER (POOL HOUSE AND POOL)

SITE DATA - SUBDIVISION	
ZONING	R & PUD
EXISTING SITE AREA	88.59 ACRES (3,859,005 SF)
R/W DEDICATION	0.78 ACRES (34,140 SF) JONES DAIRY ROAD
OTHER DEDICATIONS	0.15 ACRES (6,824 SF) AVERETTE ROAD SIDEWALK
PROPOSED NET SITE AREA	87.66 ACRES (3,818,041 SF)
PROPOSED USE	SINGLE FAMILY AND TOWNHOME UNITS
SINGLE FAMILY UNITS	260 UNITS
TOWNHOME UNITS	179 UNITS
TOTALS UNITS	439 UNITS
SINGLE FAMILY AREA (GROSS)	68.52 ACRES (2,984,678 SF)
TOWNHOME AREA (GROSS)	20.07 ACRES (874,327 SF)
DENSITY	
SINGLE FAMILY	260 UNITS/68.52 ACRES = 3.79 UNITS/ACRE
TOWNHOME	179 UNITS/20.07 ACRES = 8.92 UNITS/ACRE
CENTRAL	439 UNITS/88.59 ACRES = 4.96 UNITS/ACRE

PRESERVE AT JONES DAIRY - CENTRAL
PARCEL PINS:
<ul style="list-style-type: none"> <li>1759992822</li> <li>1850906787</li> <li>1769094682</li> </ul>

STORMWATER MANAGEMENT NOTE
<ul style="list-style-type: none"> <li>STORMWATER MANAGEMENT CALCULATIONS PREVIOUSLY PROVIDED AS PART OF PRESERVE AT JONES DAIRY - CENTRAL SUBDIVISION PLANS.</li> <li>THE PROJECT IS NOT LOCATED IN A WATERSUPPLY WATERSHED PROTECTION OVERLAY DISTRICT.</li> <li>THE PROJECT DOES NOT CONTAIN SPECIAL FLOOD HAZARD AREAS.</li> </ul>



SDP-24-02 Prestleigh at Jones Dairy Amenity Center

Date:

Town of Rolesville Planning Department



CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION


ELECTRONIC APPROVAL: THIS APPROVAL IS BEING ISSUED ELECTRONICALLY. THIS APPROVAL IS VALID ONLY UPON THE SIGNATURE OF A CITY OF RALEIGH REVIEW OFFICER BELOW. THE CITY WILL RETAIN A COPY OF THE APPROVED PLANS. ANY WORK AUTHORIZED BY THIS APPROVAL MUST PROCEED IN ACCORDANCE WITH THE PLANS KEPT ON FILE WITH THE CITY. THIS ELECTRONIC APPROVAL MAY NOT BE EDITED ONCE ISSUED. ANY MODIFICATION TO THIS APPROVAL ONCE ISSUED WILL INVALIDATE THIS APPROVAL.

CITY OF RALEIGH DEVELOPMENT APPROVAL \_\_\_\_\_

RALEIGH WATER REVIEW OFFICER

TOWN OF ROLESVILLE  
PROJECT IDENTIFICATION #  
SDP-24-02

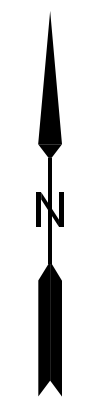
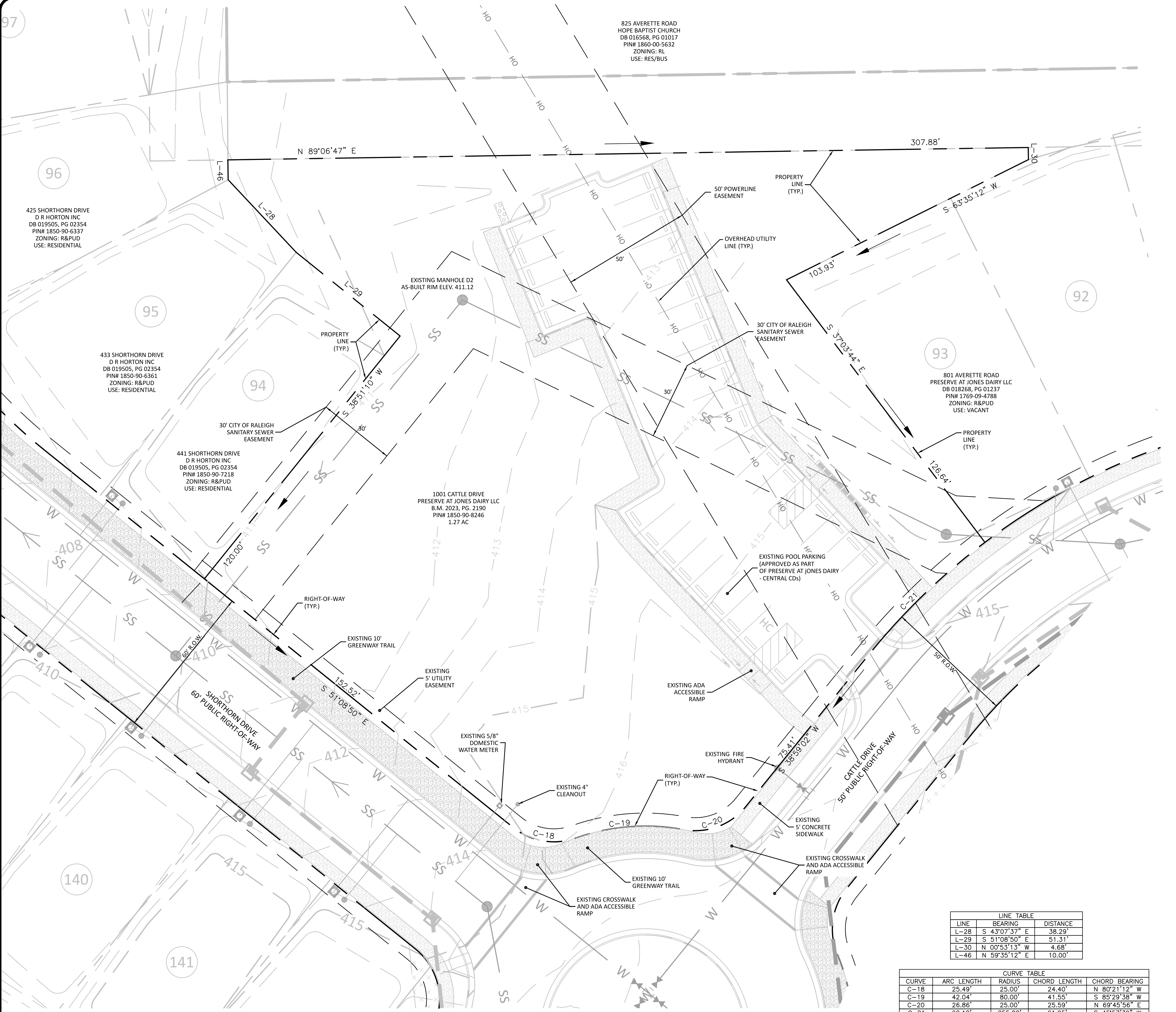
ALL CONSTRUCTION SHALL BE IN  
ACCORDANCE WITH TOWN OF  
ROLESVILLE STANDARDS AND  
SPECIFICATIONS



**The Nau Company**  
Consulting Civil Engineers

PO Box 810 Rolesville, NC 27571  
919-435-6395  
NCBELS License P-0751

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



EXISTING CONDITIONS SOURCES	
EXISTING CONDITION	SOURCE
PROPERTY BOUNDARY	CAD FILE FROM CAWTHORNE MOSS AND PANCIERA
EXISTING TOPOGRAPHY	CAD FILE FROM CAWTHORNE MOSS AND PANCIERA
WETLANDS AND STREAM CHANNELS	N/A
FLOODPLAIN	SITE NOT WITHIN A FLOOD PLAIN PER FEMA MAPS 3720185000J AND 3720186000J
EXISTING SANITARY SEWER AT OUTFALL	CAD FILE FROM CAWTHORNE MOSS AND PANCIERA

**EXISTING CONDITIONS NOTES**

- EXISTING CONDITIONS TAKEN FROM PRESERVE AT JONES DAIRY - CENTRAL CONSTRUCTION DRAWINGS PREPARED BY THE NAU COMPANY.
- TOPOGRAPHY FOR SITE TAKEN FROM ELECTRONIC CAD FILE PROVIDED BY: CAWTHORNE, MOSS & PANCIERA, PC (CMP).
- OFFSITE TOPOGRAPHIC INFORMATION TAKEN FROM WAKE COUNTY GIS.
- THE SURVEYOR DID NOT EXAMINE OR CONSIDER SUBSURFACE OR ENVIRONMENTAL CONDITIONS FOR THIS SURVEY. ALL BUILDINGS, SURFACE AND SUBSURFACE IMPROVEMENTS ON AND ADJACENT TO THE SITE ARE NOT NECESSARILY SHOWN.
- THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN ARE BASED ON VISIBLE EVIDENCE AND DRAWINGS PROVIDED TO THE SURVEYOR. THE LOCATION OF UNDERGROUND UTILITIES AND STRUCTURES MAY VARY FROM THE LOCATIONS SHOWN AND ADDITIONAL BURIED UTILITIES MAY EXIST.
- SURVEY PERFORMED WITHOUT BENEFIT OF TITLE EXAMINATION BY A LICENSED ATTORNEY. THE PROPERTY IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD. NO TITLE EXAMINATION HAS BEEN PERFORMED BY THE SURVEYOR OR THE NAU COMPANY, PLLC.
- TOPOGRAPHIC CONTOURS ARE SHOWN AT 2' INTERVALS FROM APPROVED CONSTRUCTION DRAWINGS. CONTRACTOR SHALL FIELD VERIFY ALL GRADES PRIOR TO ANY CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

**EXISTING CONDITIONS LEGEND**

EXISTING PROPERTY BOUNDARY	
EXISTING RIGHT-OF-WAY	
EXISTING PROPERTY LINE	
EXISTING EASEMENT	
EXISTING SETBACK	
EXISTING PROPERTY BUFFER	
EXISTING ROAD CENTERLINE	
EXISTING CURB & GUTTER (ROAD)	
EXISTING CURB & GUTTER (PARKING)	
EXISTING SIDEWALK	
EXISTING MAJOR (5') CONTOUR	
EXISTING MINOR (1') CONTOUR	
EXISTING GIS MAJOR (5') CONTOUR	
EXISTING GIS MINOR (1') CONTOUR	
EX. STORM SEWER PIPE	
EX. STORM SEWER STRUCTURES	
EX. SANITARY SEWER PIPE	
EX. SANITARY SEWER MANHOLE	
EX. SANITARY SEWER CLEANOUT	
EX. WATER PIPE	

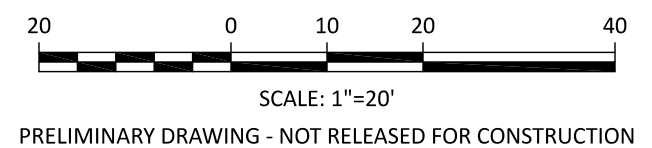
LINE TABLE			
LINE	BEARING	DISTANCE	
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L-29	S 51°08'50" E	51.31'	
L-30	N 00°53'13" W	4.68'	
L-46	N 59°35'12" E	10.00'	

CURVE TABLE			
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TOWN OF ROLESVILLE  
PROJECT IDENTIFICATION #  
SDP-24-02

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF ROLESVILLE STANDARDS AND SPECIFICATIONS



CLIENT:

PRESERVE AT JONES DAIRY, LLC  
10534 ARAUOLD PALMER DRIVE  
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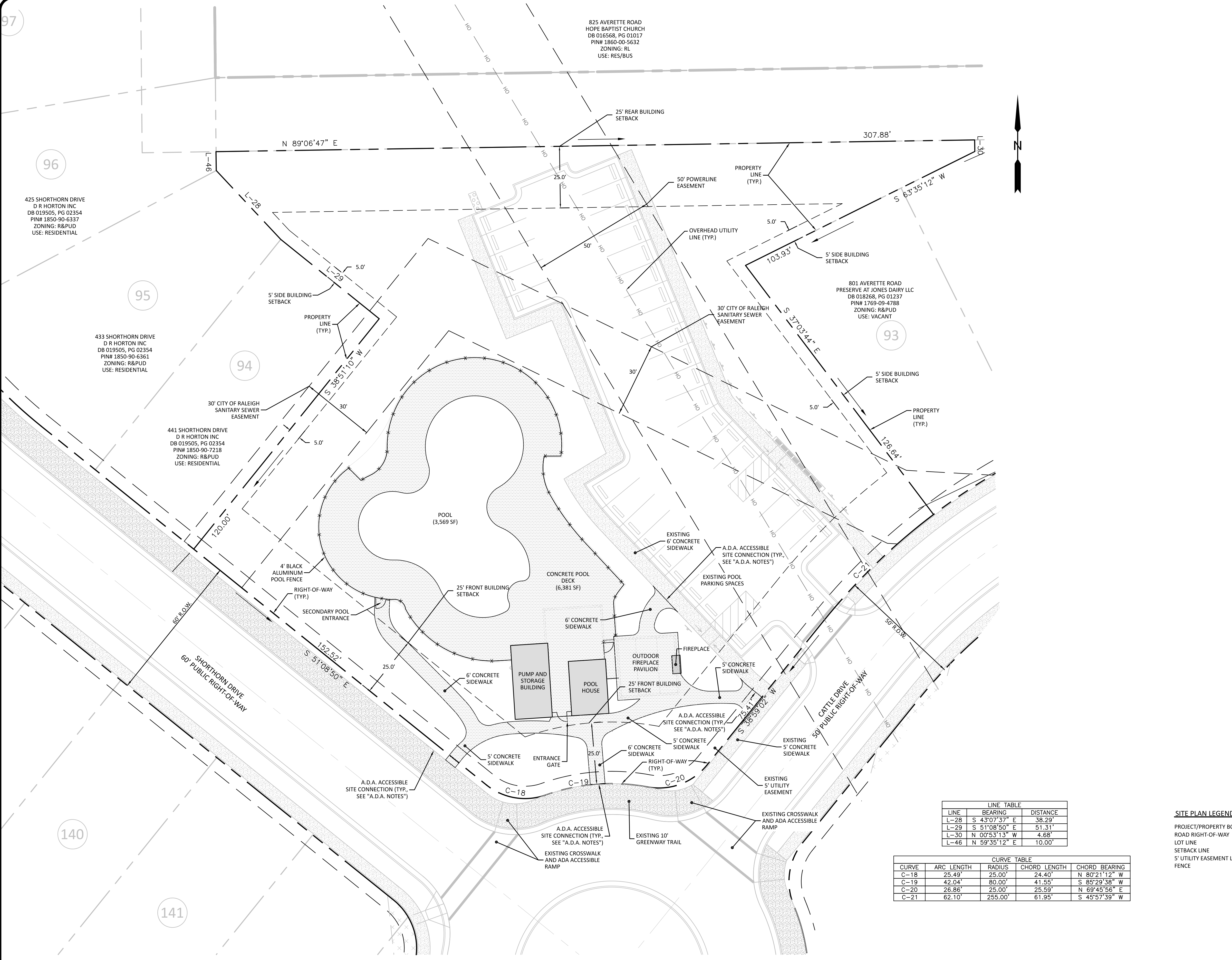
REVISED	TOWN COMMENTS	TOWN COMMENTS
1	2024-04-25	
2	2024-06-07	

PRESTLEIGH AT JONES DAIRY  
AMENITY CENTER

ROLESVILLE, NC

EXISTING CONDITIONS PLAN

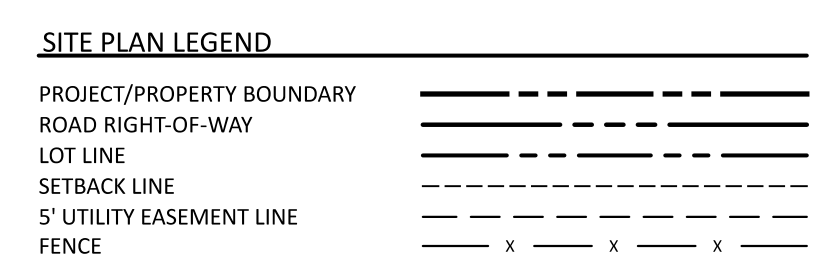
PROJECT NO:	---
DESIGN BY:	JJB
DRAWN BY:	RSF
SCALE:	1"=20'
DATE:	2024-02-29
SHEET NO:	<b>C1.0</b>



- GENERAL NOTES**
- THE DEVELOPER, CONTRACTOR, SUBCONTRACTORS AND SURVEYOR SHALL CONFIRM THAT THE MOST CURRENT SET OF PLANS AND/OR PLAN SHEET(S) ARE BEING USED FOR CONSTRUCTION AND SHALL KEEP A COPY OF SAID PLANS ON-SITE OR OTHERWISE AVAILABLE FOR REVIEW BY THE OWNER, THE OWNER'S REPRESENTATIVE(S) AND THE PERMITTING AUTHORITIES.
  - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRECONSTRUCTION CONFERENCE WITH REPRESENTATIVES OF THE PERMITTING AUTHORITIES AND A REPRESENTATIVE OF THE OWNER. THE CONTRACTOR SHALL CONFIRM THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED FOR THE PROPOSED CONSTRUCTION, BEGINNING ANY ASPECT OF CONSTRUCTION OR FABRICATING ANY ITEM PRIOR TO RECEIVING ALL PLANS AND APPROPRIATE DOCUMENTATION OF APPROVAL SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATIONS TO THEIR WORK.
  - THE CONTRACTOR SHALL CONFIRM THAT ALL CONSTRUCTION AND CONSTRUCTION MATERIALS ARE IN ACCORDANCE WITH THE PERMITS ISSUED AND THE LATEST APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL CODES. IN THE EVENT OF CONFLICT BETWEEN ANY OF THESE STANDARDS, SPECIFICATIONS, OR PLANS, THE MOST STRINGENT SHALL GOVERN.
  - THE CONTRACTOR SHALL DETERMINE AND BE RESPONSIBLE FOR THE MEANS AND METHODS NECESSARY FOR THE CONSTRUCTION OF THE PROJECT AS SHOWN ON THESE PLANS.
  - THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE PERMITTING AUTHORITY TO PROVIDE THE REQUIRED COORDINATION, DOCUMENTATION AND INSPECTIONS FOR THE RELOCATION OF, OR CONNECTION TO ANY EXISTING UTILITIES.
  - THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING INSPECTIONS REQUIRED TO PREPARE AS-BUILT CERTIFICATIONS.
  - THE DEVELOPER IS RESPONSIBLE FOR OBTAINING ANY OFFSITE EASEMENTS. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL VERIFY THAT ALL NECESSARY RIGHT OF WAY, EASEMENTS AND ENCROACHMENT AGREEMENTS HAVE BEEN OBTAINED.
  - THE CONTRACTOR SHALL CONFIRM THE SIZE, LOCATION, CONDITION AND ELEVATION OF ALL EXISTING UTILITIES (INCLUDING STORM STRUCTURES) WITHIN THE LIMITS OF CONSTRUCTION (AND/OR TO BE CONNECTED TO) PRIOR TO BEGINNING CONSTRUCTION AND NOTIFY THE OWNER OR ENGINEER OF ANY DISCREPANCIES. BEGINNING CONSTRUCTION PRIOR TO LOCATING UTILITIES WITHIN THE LIMITS OF CONSTRUCTION (AND/OR TO BE CONNECTED TO) AND NOTIFYING THE OWNER OR ENGINEER OF ANY DISCREPANCIES SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATIONS TO THEIR WORK.
  - DEPARTURES FROM THE APPROVED CONSTRUCTION DRAWINGS, MUNICIPAL SPECIFICATIONS OR ISSUED PERMITS THAT ARE DEEMED NECESSARY SHALL BE COORDINATED WITH THE APPROPRIATE PERMITTING AUTHORITY. CHANGES MADE WITHOUT THE APPROPRIATE APPROVAL SHALL CAUSE THE CONTRACTOR TO ASSUME RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATIONS TO THEIR WORK.
  - THE STAKING SURVEYOR AND/OR THEIR SUBCONTRACTOR SHALL INDEPENDENTLY VERIFY THE HORIZONTAL AND VERTICAL DATUM FOR THIS PROJECT PRIOR TO CONSTRUCTION.
  - RETAINING WALLS SHALL BE DESIGNED BY OTHERS.
  - THE CONTRACTOR SHALL NOTE THAT THE PLANS DO NOT SHOW EVERY OFFSET, TRANSITION, FITTING ETC. THAT MAY BE REQUIRED FOR CONSTRUCTION.
  - ALL GRADING, DIMENSIONS, SLOPES TO BUILDING ACCESS/EGRESS POINTS, HANDICAP RAMPS/PARKING SPACES, STRIPING, SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO ADA REQUIREMENTS AND THE STATE BUILDING CODE. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ADA CONFORMANCE PRIOR TO ANY CONSTRUCTION.
  - ALL DIMENSIONS ARE TO FACE-OF-CURB UNLESS OTHERWISE NOTED.
  - THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL DRAWINGS FOR ANY/ALL BUILDING DIMENSIONS AND CONFIRM THAT ANY/ALL BUILDING ALIGNMENTS CONFORM TO THE APPROVED CIVIL PLANS PRIOR TO ANY CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
  - CONTRACTOR SHALL CONFIRM ALL SOIL COMPACTION AND PAVEMENT SECTION REQUIREMENTS WITH THE GEOTECHNICAL ENGINEER AND VERIFY THAT ALL BUILDING FOUNDATION SOILS ARE SUITABLE AND COMPACTED PER THE GEOTECHNICAL REPORT PROVIDED BY THE OWNER. IN THE ABSENCE OF A GEOTECHNICAL REPORT, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL SOIL COMPACTION, BUILDING FOUNDATION SOILS AND PAVEMENT SECTIONS REVIEWED, TESTED AND APPROVED BY A GEOTECHNICAL ENGINEER.

- POOL HOUSE/POOL DECK NOTES:**
- VERIFY POOL HOUSE, PUMP/STORAGE BUILDING, AND OUTDOOR PAVILION DIMENSIONS, SPECIFICATIONS AND ORIENTATION WITH ARCHITECTURAL PLANS.
  - COORDINATE POOL, CONCRETE POOL DECK AND FIREPLACE SPECIFICATIONS WITH ARCHITECTURAL PLANS.
  - CONSTRUCT ALL CONCRETE SIDEWALKS PER TOWN OF ROLESVILLE STANDARDS AND SPECIFICATIONS.

- A.D.A. NOTES:**
- ALL SIDEWALK CROSS SLOPES SHALL NOT EXCEED 2% MAXIMUM. SIDEWALK LONGITUDINAL SLOPES SHALL NOT EXCEED 5% MAXIMUM. CONTRACTOR SHALL ENSURE THAT ALL SIDEWALK SLOPES MEET ADA STANDARDS.
  - SLOPES WITHIN ALL HANDICAP PARKING STALLS SHALL NOT EXCEED 2% IN ANY DIRECTION. CONTRACTOR SHALL ENSURE THAT ALL HANDICAP PARKING SPACE SLOPES MEET ADA STANDARDS.
  - SLOPES WITHIN ALL PATIOS, DECKS, SEATING AREAS, OR ANY OTHER PUBLIC GATHERING SPACES SHALL NOT EXCEED 2% IN ANY DIRECTION. CONTRACTOR SHALL ENSURE THAT ANY AND ALL PUBLIC GATHERING SPACES MEET ADA STANDARDS.
  - ANY PROPOSED SIDEWALK WITHIN ROW SHALL NOT EXCEED 2% CROSS SLOPE PER ADA GUIDELINES. ALL RAMPS SHALL NOT EXCEED 8% FOR EVERY SCENARIO.



**LINE TABLE**

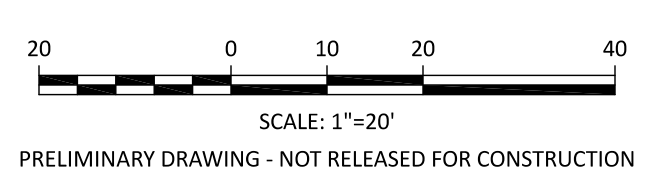
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TOWN OF ROLESVILLE  
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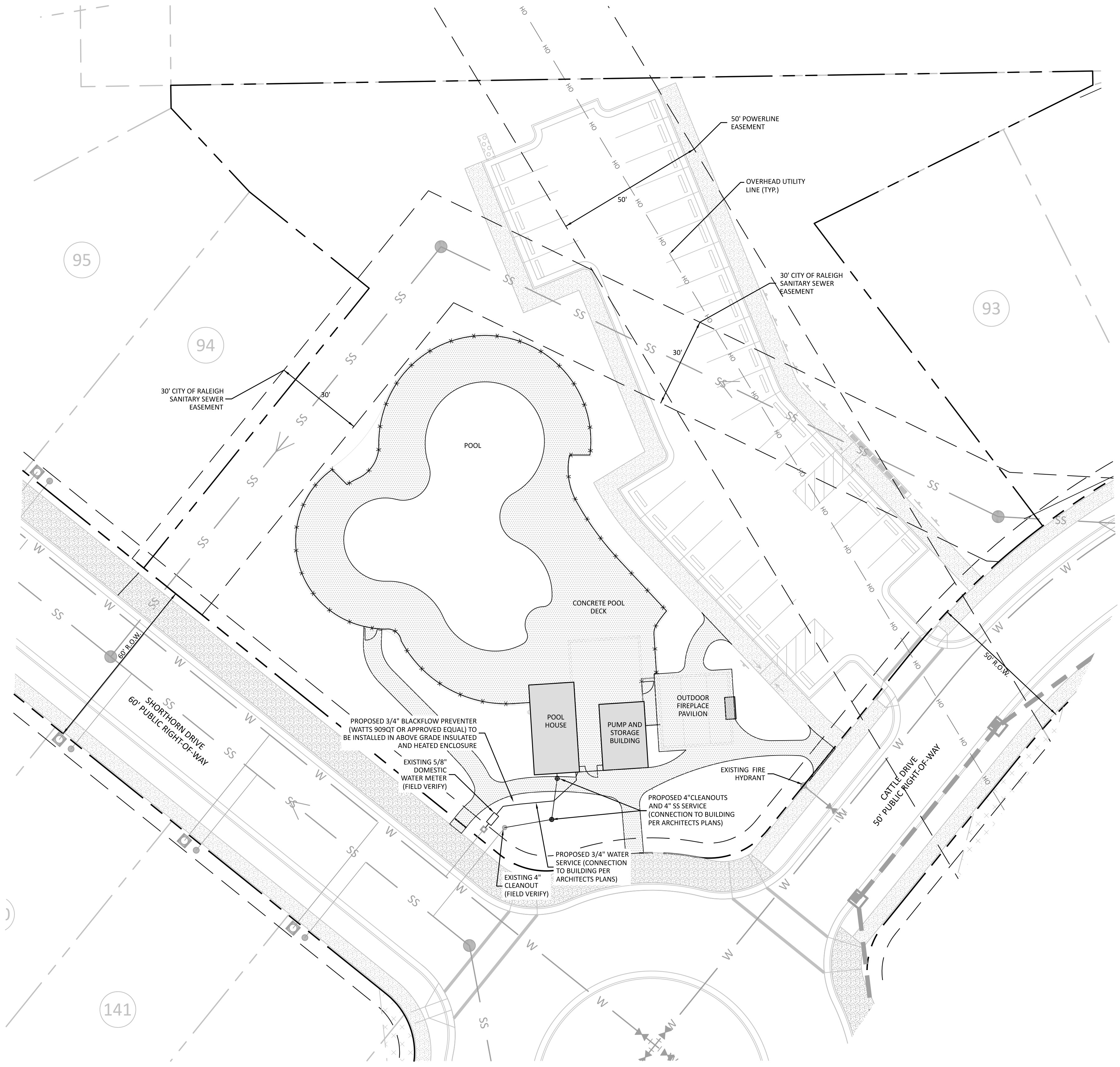
REVISIONS

NO.	DATE	REVISIONS
1	2024-04-25	TOWN COMMENTS
2	2024-06-07	TOWN COMMENTS

**PRESTLEIGH AT JONES DAIRY AMENITY CENTER**  
ROLESVILLE, NC  
SITE PLAN



PROJECT NO: ---  
DESIGN BY: JJB  
DRAWN BY: RSF  
SCALE: 1"=20'  
DATE: 2024-02-29  
SHEET NO: **C2.0**



**GENERAL UTILITY NOTES**

1. THE CONTRACTOR SHALL CONFIRM THE SIZE, LOCATION, CONDITION AND ELEVATION OF ALL EXISTING UTILITIES (INCLUDING STORM STRUCTURES) WITHIN THE LIMITS OF CONSTRUCTION (AND/OR TO BE CONNECTED TO) PRIOR TO BEGINNING CONSTRUCTION AND NOTIFY THE OWNER OR ENGINEER OF ANY DISCREPANCIES. BEGINNING CONSTRUCTION PRIOR TO LOCATING UTILITIES WITHIN THE LIMITS OF CONSTRUCTION (AND/OR TO BE CONNECTED TO) AND NOTIFYING THE OWNER OR ENGINEER OF ANY DISCREPANCIES SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATIONS TO THEIR WORK.
2. WATER SERVICES SHALL BE INSTALLED WITH A MINIMUM COVER OF 36 INCHES UNLESS SUPERSEDED BY LOCAL CODE REQUIREMENTS. CONTRACTOR SHALL CONFIRM REQUIREMENTS PRIOR TO ANY CONSTRUCTION.
3. SANITARY SEWER SERVICES SHALL BE INSTALLED WITH A MINIMUM COVER OF 3 FEET UNLESS SUPERSEDED BY LOCAL CODE REQUIREMENTS. CONTRACTOR SHALL CONFIRM REQUIREMENTS PRIOR TO ANY CONSTRUCTION.
4. WATER SERVICES SHALL BE INSTALLED AT LEAST 10 FEET FROM EXISTING OR PROPOSED SANITARY SEWER MAINS AND SERVICES.
5. THE MINIMUM SLOPE FOR 4 INCH SANITARY SEWER LINES SHALL BE NO LESS THAN 2% WITH CLEANOUTS EVERY 75 FEET UNLESS SUPERSEDED BY LOCAL CODE REQUIREMENTS. CONTRACTOR SHALL CONFIRM REQUIREMENTS PRIOR TO ANY CONSTRUCTION.
6. THE MINIMUM SLOPE FOR 6 INCH SANITARY SEWER LINES SHALL BE NO LESS THAN 1% WITH CLEANOUTS EVERY 75 FEET UNLESS SUPERSEDED BY LOCAL CODE REQUIREMENTS. CONTRACTOR SHALL CONFIRM REQUIREMENTS PRIOR TO ANY CONSTRUCTION.
7. WHERE A SANITARY SEWER PIPE CROSSES A STORM SEWER PIPE, THERE SHALL BE A MINIMUM OF 24 INCHES VERTICAL SEPARATION BETWEEN THE OUTSIDE OF THE PIPES. IF THE REQUIRED VERTICAL SEPARATION IS NOT POSSIBLE, A CONCRETE CRADLE OF FLOWABLE FILL SHALL BE INSTALLED TO THE SPRINGLINE OF BOTH PIPES. THE CONCRETE CRADLE SHALL BE THE FULL WIDTH OF THE PIPE TRENCH AND EXTEND A MINIMUM OF 12 INCHES BEYOND THE OUTSIDE EDGES OF THE LARGER PIPE. THE LOWER PIPE WILL HAVE 1 INCH THICK COMPRESSIBLE JOINT MATERIAL BETWEEN THE CRADLE AND THE PIPE. THE MINIMUM SEPARATION WITH A CRADLE IS 6 INCHES UNLESS SUPERSEDED BY LOCAL CODE REQUIREMENTS. CONTRACTOR SHALL CONFIRM REQUIREMENTS PRIOR TO ANY CONSTRUCTION.
8. WHERE A WATER DISTRIBUTION MAIN CROSSES A SANITARY SEWER PIPE OR A STORM SEWER PIPE, THERE SHALL BE A MINIMUM OF 18 INCHES VERTICAL SEPARATION BETWEEN THE OUTSIDE OF THE PIPES UNLESS SUPERSEDED BY LOCAL CODE REQUIREMENTS. CONTRACTOR SHALL CONFIRM REQUIREMENTS PRIOR TO ANY CONSTRUCTION.
9. IF A WATER DISTRIBUTION SERVICE CROSSES UNDER A SANITARY SEWER PIPE BOTH THE WATER MAIN AND SANITARY SEWER PIPE SHALL BE DUCTILE IRON PIPE FOR 10 FEET EACH SIDE OF THE CROSSING.
10. PRESSURE REDUCING VALVES SHALL BE PROVIDED IF THE PRESSURE ON THE CUSTOMER SIDE OF THE METER IS GREATER THAN 80 PSI.
11. ALL MANHOLES OUTSIDE OF PAVED AREAS SHALL HAVE A RIM ELEVATION OF ONE FOOT ABOVE FINISHED GRADE.
12. ALL WATER SERVICES SHALL BE 1/2 INCH TYPE K COPPER UNLESS SUPERSEDED BY LOCAL CODE REQUIREMENTS. CONTRACTOR SHALL CONFIRM REQUIREMENTS PRIOR TO ANY CONSTRUCTION.
13. ALL SEWER SERVICES SHALL BE 4 INCH SDR 26 PVC UNLESS SUPERSEDED BY LOCAL CODE REQUIREMENTS. CONTRACTOR SHALL CONFIRM REQUIREMENTS PRIOR TO ANY CONSTRUCTION.
14. WATER AND SEWER SERVICE LOCATIONS (INCLUDING BUILDING PENETRATIONS) SHALL BE COORDINATED WITH THE MEP PLANS AND APPROVED BY THE OWNER PRIOR TO INSTALLATION.
15. BACKWATER VALVES SHALL BE PROVIDED AT ALL LOCATIONS WHERE FIRST FLOOR ELEVATIONS ARE LESS THAN 1 FOOT ABOVE THE ADJACENT UPSTREAM MANHOLE.
16. CONTRACTOR SHALL CONFIRM/COORDINATE ALL UTILITY CONNECTIONS TO BUILDING (SIZE, LOCATION, MATERIAL AND ELEVATION) WITH MEP PLANS PRIOR TO ANY CONSTRUCTION.

**CITY OF RALEIGH STANDARD UTILITY NOTES :**

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
2. UTILITY SEPARATION REQUIREMENTS:  
A) A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.  
B) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.  
C) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.  
D) 5' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.  
E) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49)  
F) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
5. 3' OF MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4' OF MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
6. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
7. INSTALL 1/2" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
8. INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
9. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1'0" ABOVE THE NEXT UPSTREAM MANHOLE.
10. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
11. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGH.GOV FOR MORE INFORMATION.

**UTILITY PLAN LEGEND**

SANITARY SEWER PIPE	SS
SANITARY SEWER MANHOLE	●
SANITARY SEWER CLEANOUT	○
WATER PIPE	W
WATER METER	□
WATER HYDRANT	▲

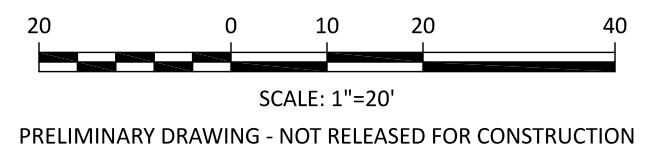
NOTE: SWIMMING POOL DISCHARGE TO THE SANITARY SEWER SYSTEM SHALL BE EQUIPPED WITH A PUMP OR FLOW RESTRICTOR SO THAT THE DISCHARGE RATE DOES NOT EXCEED 50 GPM.

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION  
ELECTRONIC APPROVAL: THIS APPROVAL IS BEING ISSUED ELECTRONICALLY. THIS APPROVAL IS VALID ONLY UPON THE SIGNATURE OF A CITY OF RALEIGH REVIEW OFFICER BELOW. THE CITY WILL RETAIN A COPY OF THE APPROVED PLANS. ANY WORK AUTHORIZED BY THIS APPROVAL MUST PROCEED IN ACCORDANCE WITH THE PLANS KEPT ON FILE WITH THE CITY. THIS ELECTRONIC APPROVAL MAY NOT BE EDITED ONCE ISSUED. ANY MODIFICATION TO THIS APPROVAL ONCE ISSUED WILL INVALIDATE THIS APPROVAL.

CITY OF RALEIGH DEVELOPMENT APPROVAL \_\_\_\_\_ RALEIGH WATER REVIEW OFFICER

TOWN OF ROLESVILLE  
PROJECT IDENTIFICATION # SDP-24-02

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF ROLESVILLE STANDARDS AND SPECIFICATIONS



**The Nau Company**  
Consulting Civil Engineers  
PO Box 810, Rolesville, NC 27571  
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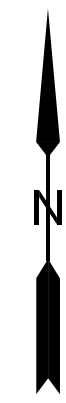
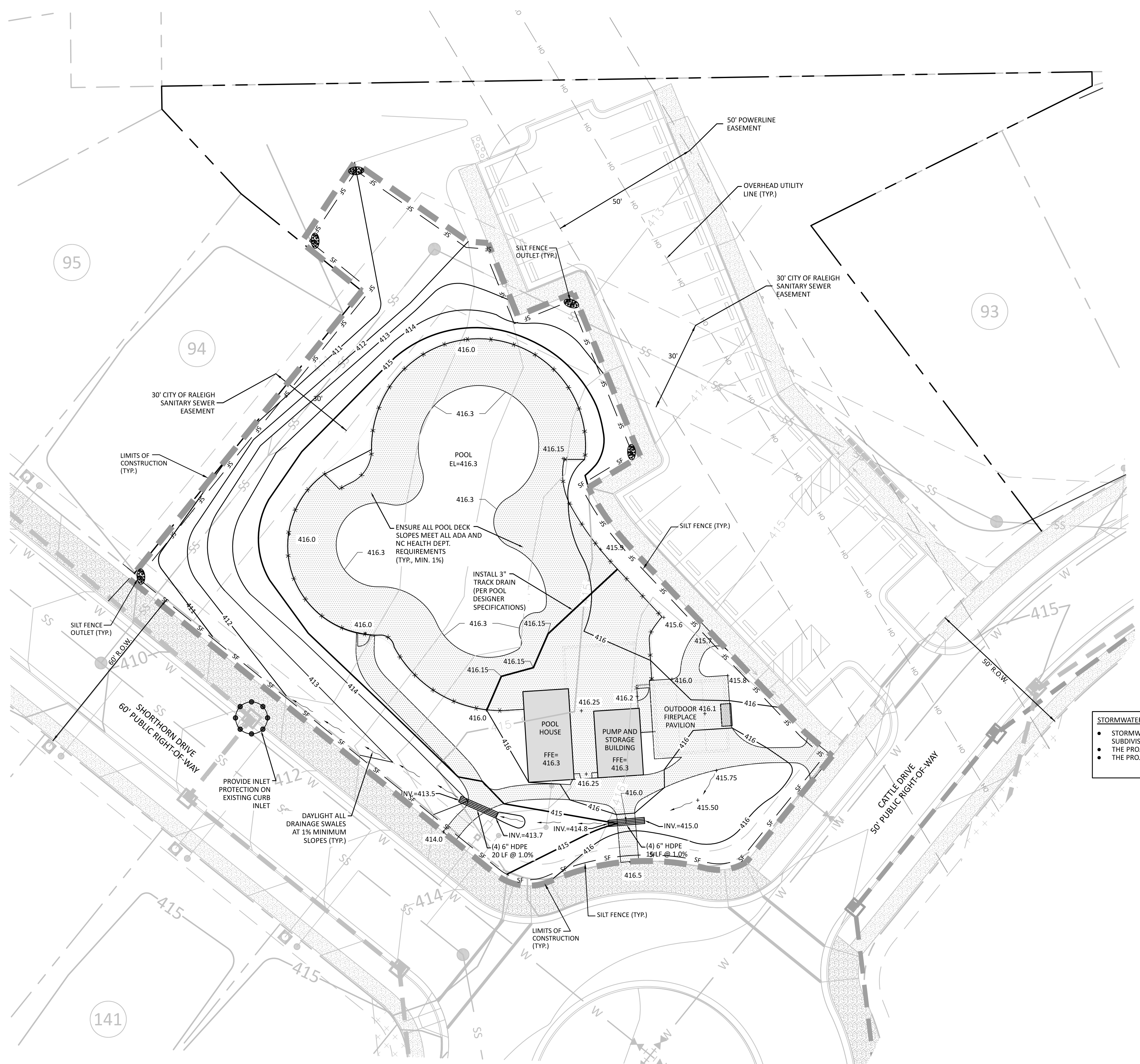
CLIENT:  
PRESTLEIGH AT JONES DAIRY, LLC  
10534 ARNOLD PALMER DRIVE  
RALEIGH, NC 27617  
919-493-0761

NO.	DATE	REVISIONS
1	2024-04-29	TOWN COMMENTS
2	2024-06-07	TOWN COMMENTS

PRESTLEIGH AT JONES DAIRY  
AMENITY CENTER  
ROLESVILLE, NC  
UTILITY PLAN



PROJECT NO: ---  
DESIGN BY: JJB  
DRAWN BY: RSF  
SCALE: 1"=20'  
DATE: 2024-02-29  
SHEET NO: **C3.0**



**GRADING NOTES**

1. PROPOSED CONTOURS REPRESENT APPROXIMATE ELEVATIONS AT A POINT. PROPOSED SPOT ELEVATIONS AND ROADWAY PROFILES SUPERSEDE CONTOUR INFORMATION.

2. ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE (2% MIN. IN LANDSCAPE AREAS, 1% MIN. IN CONCRETE/ASPHALT) AWAY FROM BUILDING FOUNDATIONS AND TOWARD STORM STRUCTURES. CONTRACTOR SHALL MAINTAIN THIS MINIMUM DRAINAGE CRITERIA DURING ALL CONSTRUCTION ACTIVITIES.

3. ALL GRADING, BACKFILLING, EXCAVATION, ETC. SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS SET FORTH BY THE LOCAL GOVERNING AUTHORITY. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COORDINATING ALL CONSTRUCTION ACTIVITIES WITH SAID AUTHORITY.

4. CONTRACTOR IS TO CONTACT NORTH CAROLINA "ONE CALL" AT 811 FOR UNDERGROUND UTILITY LOCATION 72 HOURS PRIOR TO ANY DIGGING.

5. CONTRACTOR SHALL LOCATE AND VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO BEGINNING ANY CONSTRUCTION.

6. ANY AND ALL DISTURBED AREAS SHALL BE FINE GRADED, SEEDED WITH PERMANENT GRASS SEEDING MIX AND STRAWED PRIOR TO DEMOBILIZATION FROM THE SITE.

7. ALL GRASS SWALES/DITCHES/SLOPES SHALL BE GRADED TO BE 2% OR STEEPER UNLESS SPECIFICALLY NOTED ON THE PLANS.

8. SLOPES STEEPER THAN 3H:1V SHOULD BE EVALUATED AND DESIGNED BY A GEOTECHNICAL ENGINEER.

9. THE CONTRACTOR SHALL NOTE THAT SPILL CURB SHALL BE USED AS NECESSARY IN PARKING AREAS, AT INTERSECTIONS, AT MEDIANS TO ELIMINATE AREAS OF STANDING WATER IN THE CURB. NO LONGITUDINAL CURB SLOPES LESS THAN 1% SHALL BE INSTALLED IN CATCHING CURBS.

10. THE CONTRACTOR SHALL COORDINATE SIZE AND LOCATION OF ALL BUILDING ROOF LEADERS WITH ARCHITECTURAL PLANS PRIOR TO ANY CONSTRUCTION AND CONNECT THEM TO ON-SITE STORM DRAINAGE SYSTEM. UNLESS NOTED OTHERWISE, ROOF LEADERS SHALL BE 8" SCH. 40 PVC LAID AT 1% MINIMUM SLOPE TO DAYLIGHT.

11. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SPOT ELEVATIONS ADJACENT TO ALL PROPOSED SITE IMPROVEMENTS PRIOR TO ANY CONSTRUCTION TO ENSURE POSITIVE DRAINAGE CAN BE MAINTAINED. NOTIFY THE ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.

12. THE CONTRACTOR IS RESPONSIBLE FOR TAKING ALL MEASURES NECESSARY, INCLUDING GRADING ADDITIONAL SWALES AS NEEDED, TO ENSURE POSITIVE DRAINAGE AWAY FROM AND AROUND ALL BUILDINGS.

13. ALL RUNOFF SHALL BE DIRECTED TOWARD DRAINAGE SWALES, DITCHES, CATCH BASINS, AND STORM WATER BASINS.

14. THE CONTRACTOR IS RESPONSIBLE FOR REVIEWING ALL THE INFORMATION PROVIDED BY THE OWNER'S GEOTECHNICAL ENGINEER PRIOR TO BIDDING THIS PROJECT.

15. THE CONTRACTOR SHALL CONDUCT ALL GRADING AND OTHER CONSTRUCTION IN ACCORDANCE WITH RECOMMENDATIONS PROVIDED BY THE OWNER'S GEOTECHNICAL ENGINEER.

16. CONTRACTOR SHALL CONFIRM ALL SOIL COMPACTION AND PAVEMENT SECTION REQUIREMENTS WITH THE GEOTECHNICAL ENGINEER AND VERIFY THAT ALL BUILDING FOUNDATION SOILS ARE SUITABLE AND COMPACTED PER THE GEOTECHNICAL REPORT PROVIDED BY THE OWNER. IN THE ABSENCE OF A GEOTECHNICAL REPORT, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL SOIL COMPACTION, BUILDING FOUNDATION SOILS AND PAVEMENT SECTIONS REVIEWED, TESTED AND APPROVED BY A GEOTECHNICAL ENGINEER.

17. MAXIMUM SLOPE IN ANY DIRECTION FOR AN ADA PARKING SPACE IS 2%. THE CONTRACTOR SHALL ENSURE THAT INSTALLATION MEETS ADA STANDARDS.

18. SIDEWALK CROSS SLOPE SHALL BE 2% MAXIMUM. SIDEWALK LONGITUDINAL SLOPE SHALL BE 5% MAXIMUM. CONTRACTOR SHALL INSURE THAT ALL SIDEWALK SLOPES MEET ADA STANDARDS.

19. SLOPES WITHIN ALL HANDICAP PARKING STALLS SHALL NOT EXCEED 2% IN ANY DIRECTION. CONTRACTOR SHALL INSURE THAT ALL HANDICAP PARKING SPACE SLOPES MEET ADA STANDARDS.

20. ANY PROPOSED SIDEWALK WITHIN ROW SHALL NOT EXCEED 2% CROSS SLOPE PER ADA GUIDELINES. ALL RAMP SLOPES SHALL NOT EXCEED 8% FOR EVERY SCENARIO.

21. ALL PROPOSED STORM PIPING SHALL BE CLASS III RCP UNLESS NOTED OTHERWISE.

22. THE CONTRACTOR SHALL NOTE THAT SPILL CURB SHALL BE USED AS NECESSARY IN PARKING AREAS, AT INTERSECTIONS, AT MEDIANS TO ELIMINATE AREAS OF STANDING WATER IN THE CURB.

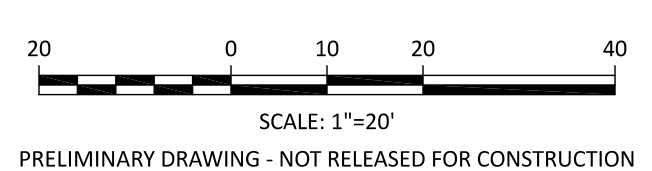
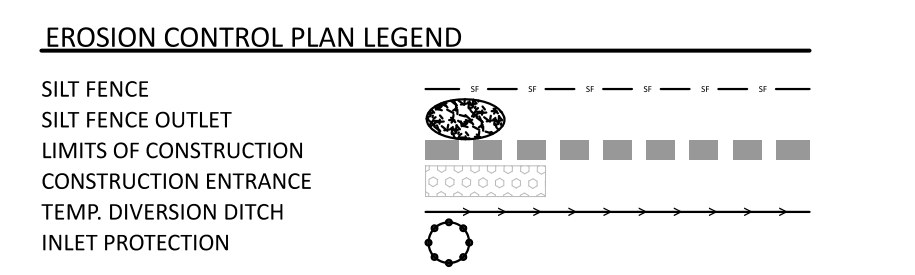
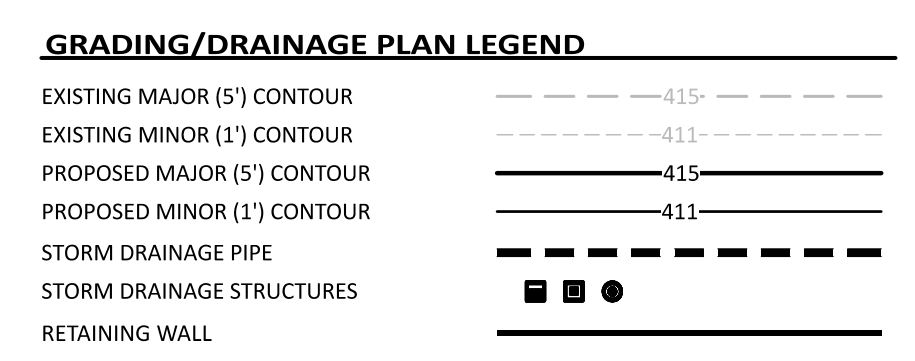
23. ENSURE ALL POOL DECK SLOPES AND TRACK DRAINS MEET ALL ADA AND NC HEALTH DEPARTMENT REQUIREMENTS. INSTALL TRACK DRAINS AS NECESSARY AND COORDINATE WITH POOL DESIGNER.

**EROSION CONTROL NOTES**

A LAND DISTURBANCE PERMIT WAS ISSUED BY WAKE COUNTY FOR THIS PROJECT UNDER S&E PERMIT # SEC-048926-2020 BASED ON PLANS PREPARED BY OTHERS. REFER TO THE APPROVED EROSION CONTROL PLANS FOR THE INSTALLATION AND MAINTENANCE OF THE NECESSARY EROSION CONTROL DEVICES.

**STORMWATER MANAGEMENT NOTE**

- STORMWATER MANAGEMENT CALCULATIONS PREVIOUSLY PROVIDED AS PART OF PRESERVE AT JONES DAIRY - CENTRAL SUBDIVISION PLANS.
- THE PROJECT IS NOT LOCATED IN A WATERSUPPLY WATERSHED PROTECTION OVERLAY DISTRICT.
- THE PROJECT DOES NOT CONTAIN SPECIAL FLOOD HAZARD AREAS.



TOWN OF ROLESVILLE  
PROJECT IDENTIFICATION #  
SDP-24-02

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**The Nau Company**  
Consulting Civil Engineers  
PO Box 810, Rolesville, NC 27571  
919-435-6395  
NCBELS License P-0751

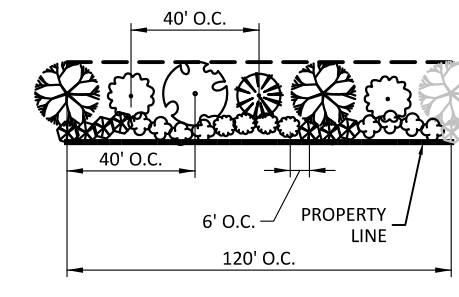
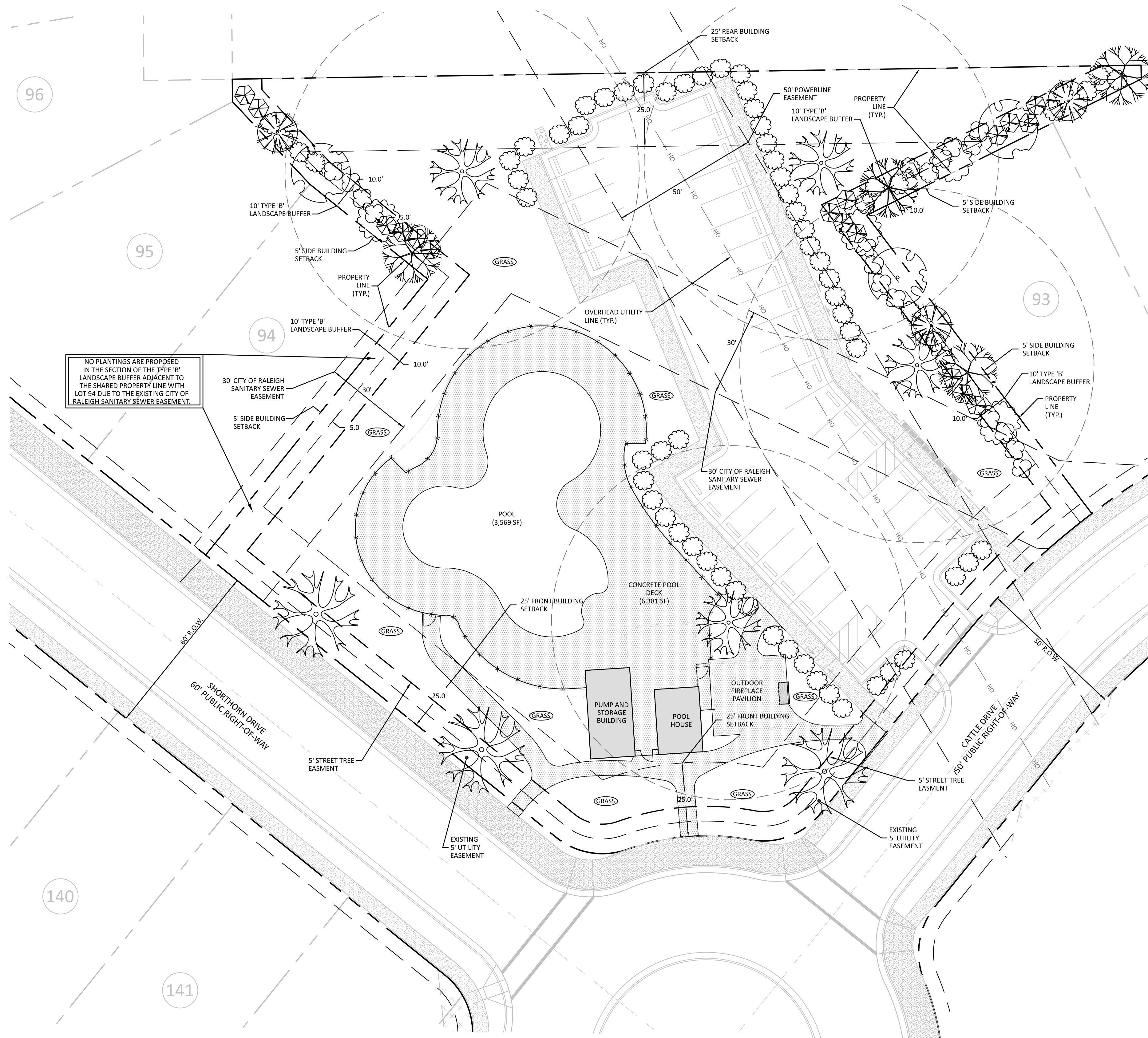
CLIENT:  
PRESERVE AT JONES DAIRY, LLC  
10534 ARNOLD PALMER DRIVE  
RALEIGH, NC 27617  
919-491-0761

REVISED	DATE	DESCRIPTION
1	2024-04-25	TOWN COMMENTS
2	2024-06-07	TOWN COMMENTS

PRESTLEIGH AT JONES DAIRY  
AMENITY CENTER  
ROLESVILLE, NC  
GRADING AND EROSION CONTROL PLAN



PROJECT NO: ---  
DESIGN BY: JJB  
DRAWN BY: RSF  
SCALE: 1"=20"  
DATE: 2024-02-29  
SHEET NO: C4.0



TYPICAL BUFFER PLANTINGS  
PER 120' OF BUFFER  
FOR ALL 10' TYPE 'B' LANDSCAPE BUFFERS

TYPE "B" BUFFER LANDSCAPE PLANT LIST						
#	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	TYPE
17		<i>Ilex glabra</i>	Inkberry Holly	24" HT/ 3 GAL	CONT.	EVERGREEN SHRUB
17		<i>Berberis julianae</i>	Wintergreen Barberry	24" HT/ 3 GAL	CONT.	EVERGREEN SHRUB
17		<i>Osmanthus heterophyllus</i>	Holly Osmanthus	24" HT/ 3 GAL	CONT.	EVERGREEN SHRUB
3		<i>Cercis canadensis</i>	Forest Pansy Redbud	1.5" CAL/ 8" HT	B&B	UNDERSTORY TREE
4		<i>Magnolia stellata</i>	Star Magnolia 'Royal Star'	1.5" CAL/ 8" HT	B&B	UNDERSTORY TREE
3		<i>Quercus phellos</i>	Willow Oak	2.5" CAL/ 10" HT	B&B	CANOPY TREE
4		<i>Quercus nuttallii</i>	Nuttall Oak	2.5" CAL/ 10" HT	B&B	CANOPY TREE

GROUND COVER IN BUFFER AREA SHALL BE MULCH/PINE STRAW

LANDSCAPE PLANT LIST - ALL PARKING AREAS ON SITE						
#	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	TYPE
56		<i>Ilex cornuta</i>	Dwarf Burford Holly	24" HT/ 3 GAL	CONT.	PARKING AREA SCREEN
4		<i>Acer buergerianum</i>	Trident Maple	2.5" CAL/ 10" HT	B&B	VUA COVERAGE

THE TABLE ABOVE APPLIES TO SINGLE FAMILY AND TOWNHOME PARKING AREAS

STREET TREE LANDSCAPE PLANT LIST							
#	KEY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	TYPE
3	AB		<i>Acer buergerianum</i>	TRIDENT MAPLE	2.5" CAL/ 10" HT	B&B	STREET TREE

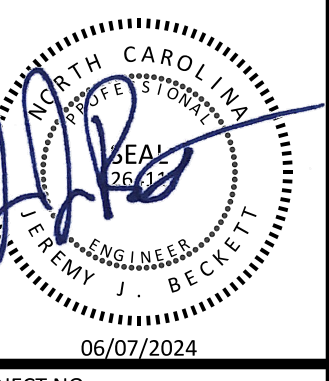
- STREET TREE NOTES**
- ONE STREET TREE PER LOT IS REQUIRED. CORNER LOTS SHALL HAVE TWO STREET TREES
  - STREET TREES ARE NOT SHOWN IN THE POWER LINE EASEMENT IN ORDER TO COMPLY WITH WAKE ELECTRIC'S EASEMENT REQUIREMENTS.
  - FINAL LOCATION OF STREET TREES TO BE DETERMINED BY DRIVEWAY PLACEMENT

NO PLANTINGS ARE PROPOSED IN THE SECTION OF THE TYPE 'B' LANDSCAPE BUFFER ADJACENT TO THE SHARED PROPERTY LINE WITH LOT 94 DUE TO THE EXISTING CITY OF RALEIGH SANITARY SEWER EASEMENT.

CLIENT:  
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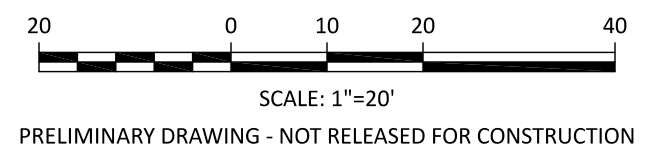
**PRESTLEIGH AT JONES DAIRY  
AMENITY CENTER**  
ROLESVILLE, NC  
LANDSCAPE PLAN

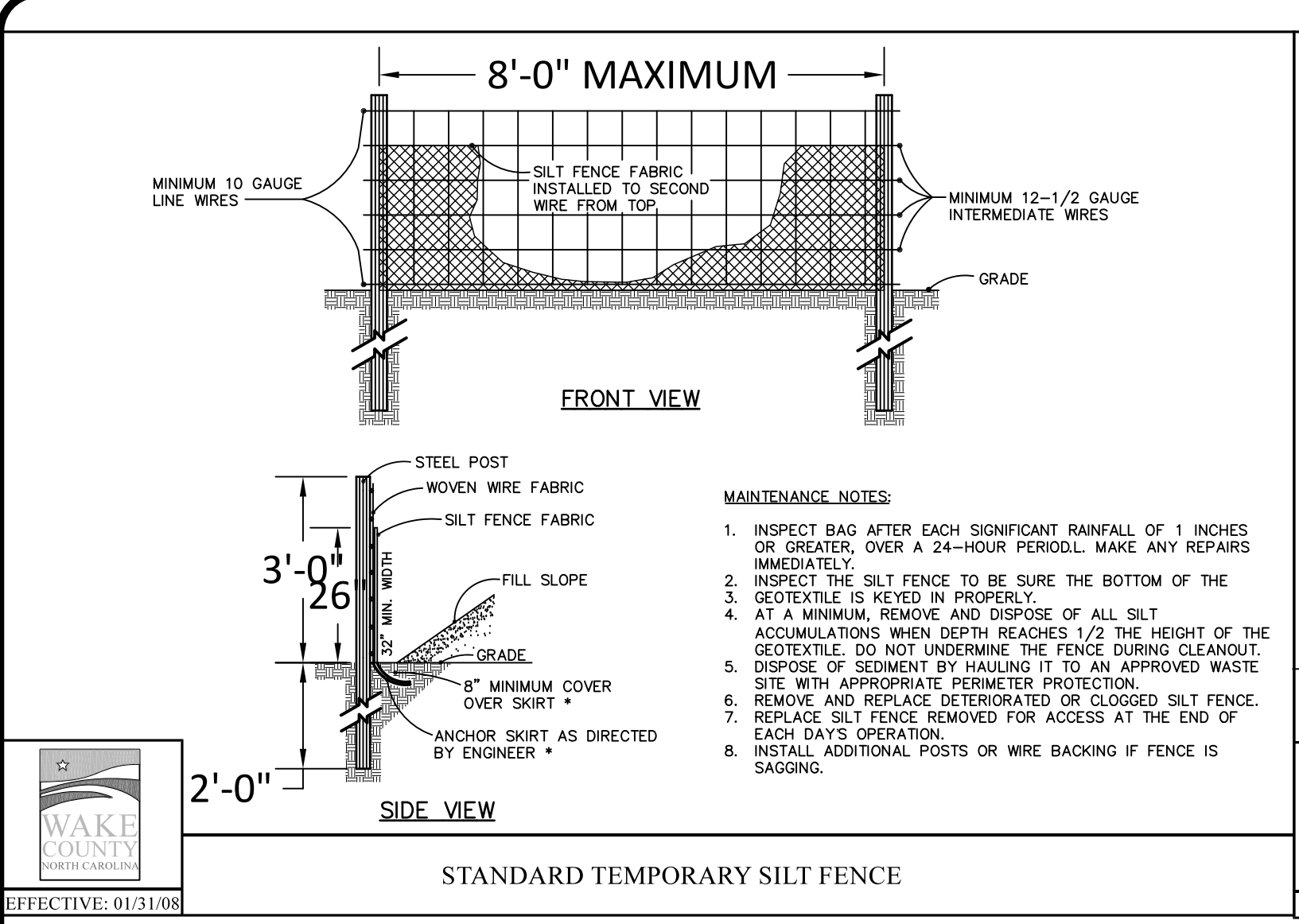


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DRAWN BY:	RSF
SCALE:	1"=20'
DATE:	2024-02-29
SHEET NO:	<b>L1.0</b>

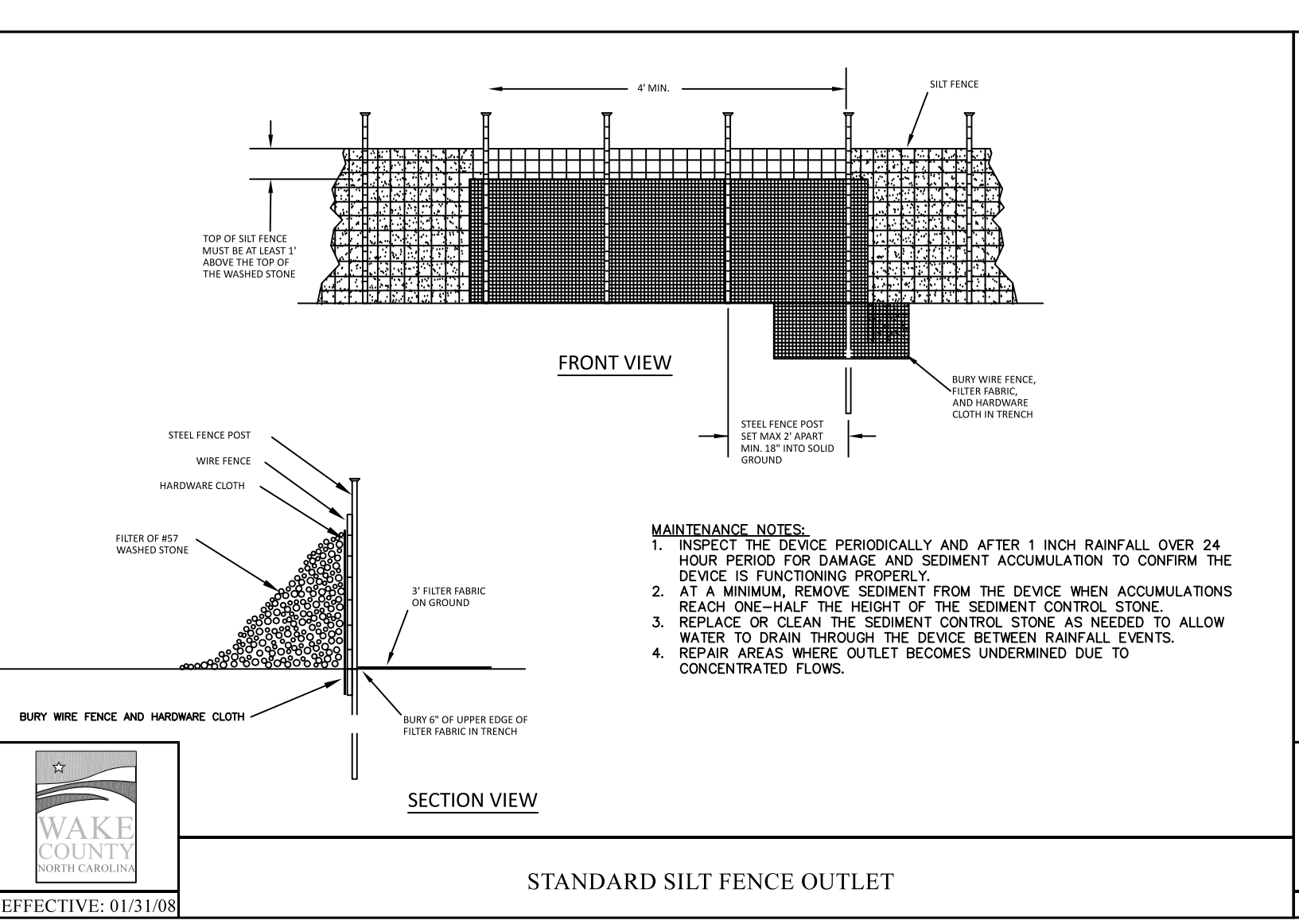
TOWN OF ROLESVILLE  
PROJECT IDENTIFICATION #  
SDP-24-02

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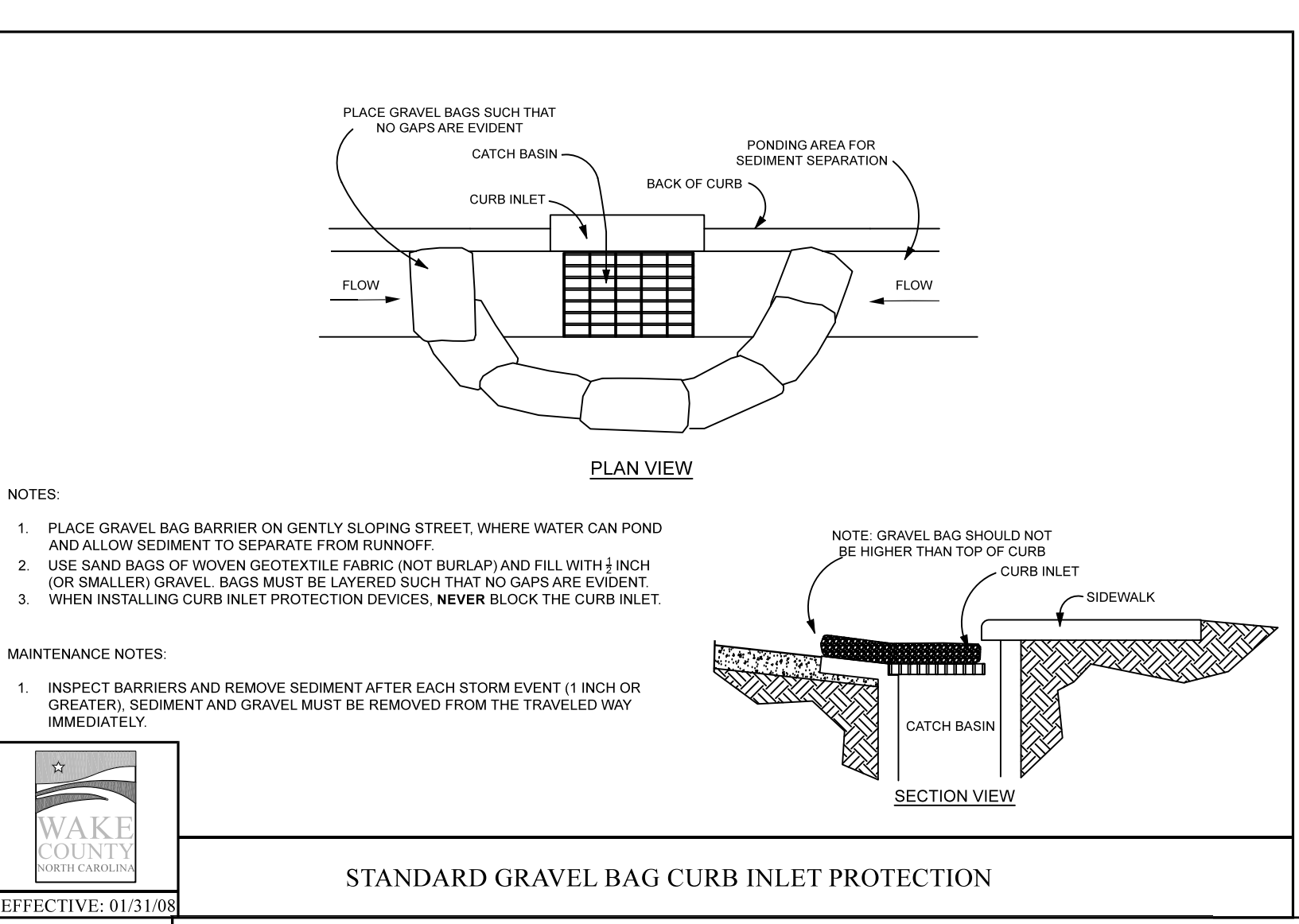




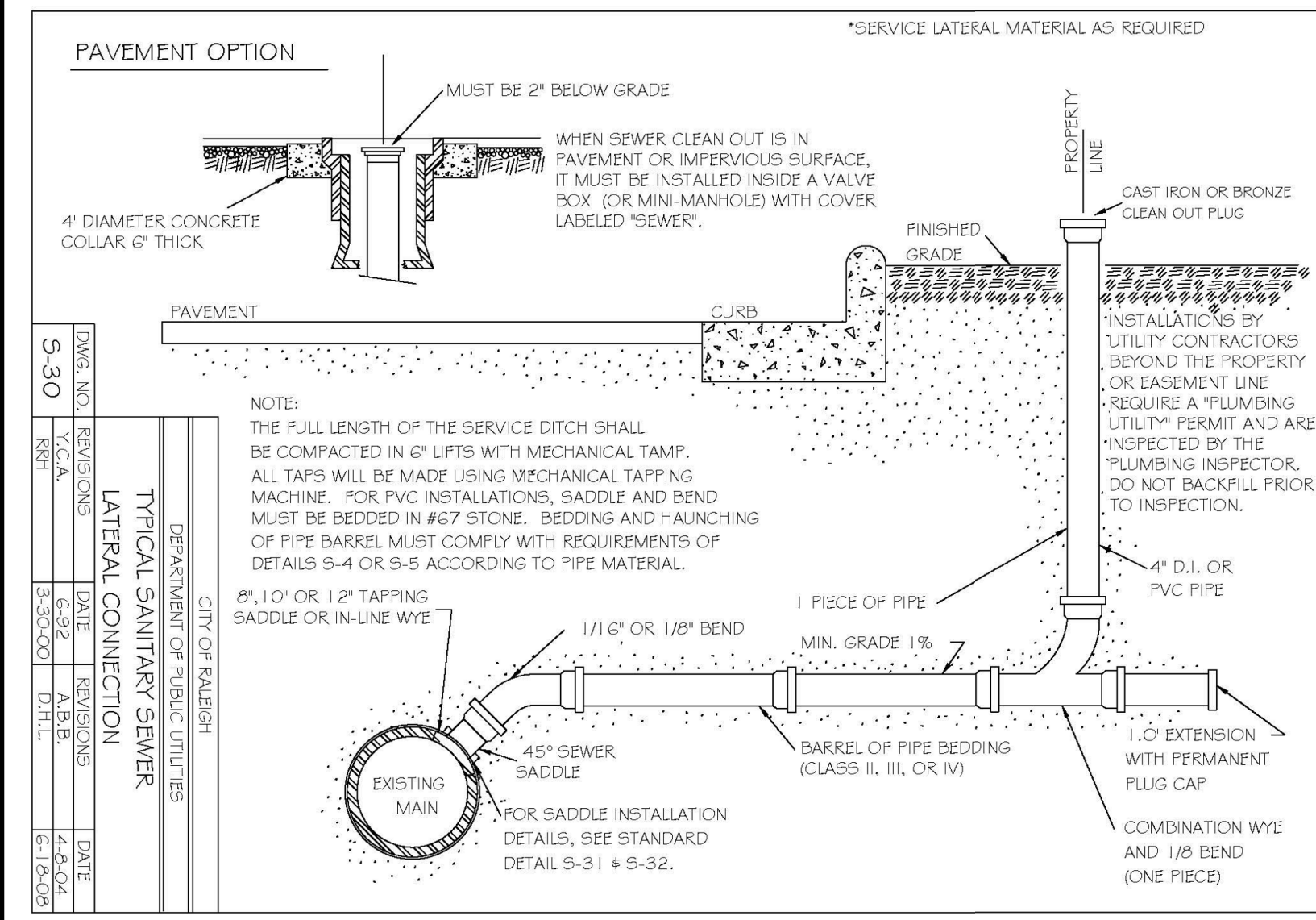
**STANDARD TEMPORARY SILT FENCE**  
EFFECTIVE: 01/31/08



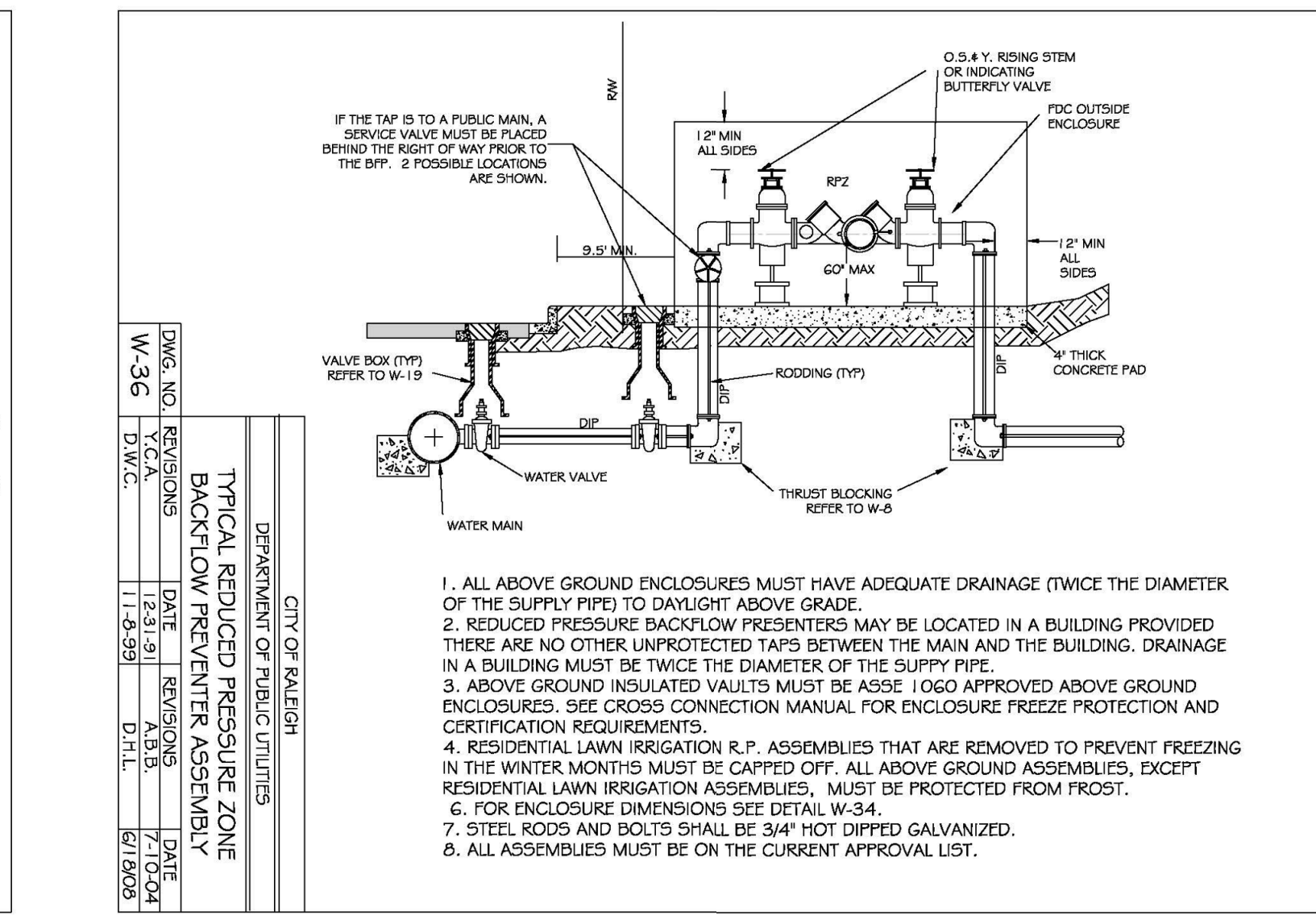
**STANDARD SILT FENCE OUTLET**  
EFFECTIVE: 01/31/08



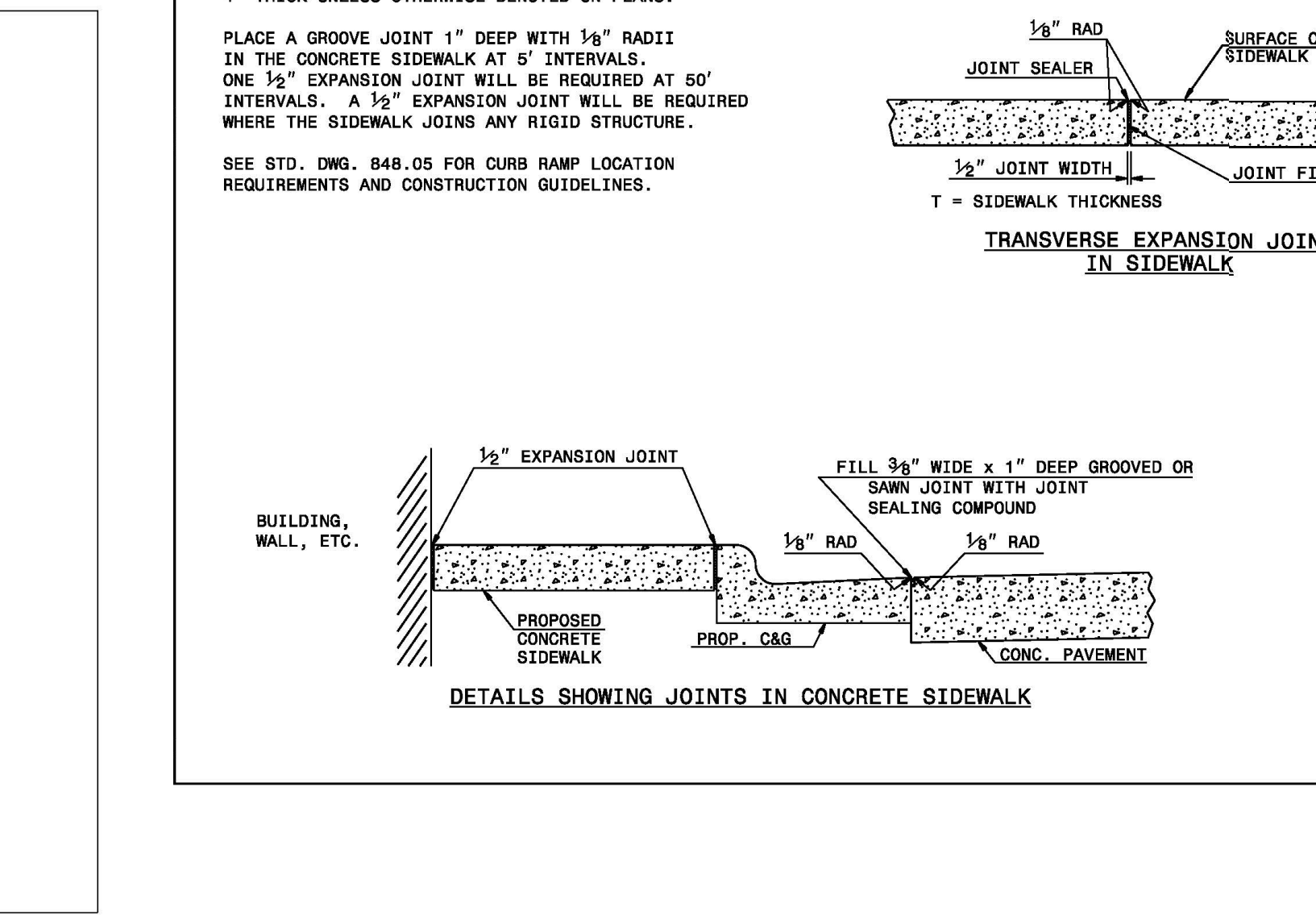
**STANDARD GRAVEL BAG CURB INLET PROTECTION**  
EFFECTIVE: 01/31/08



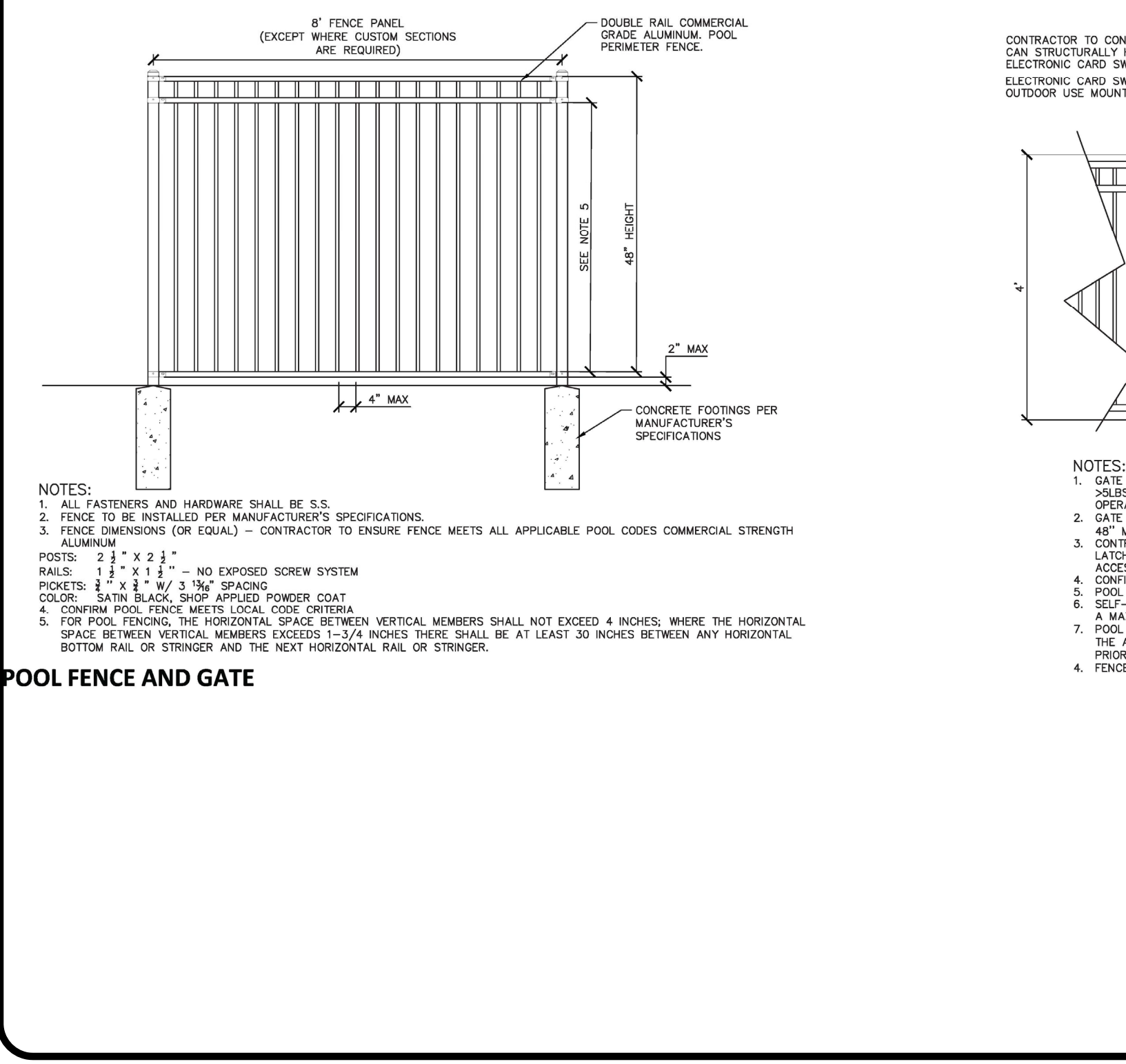
**TYPICAL SANITARY SEWER LATERAL CONNECTION**



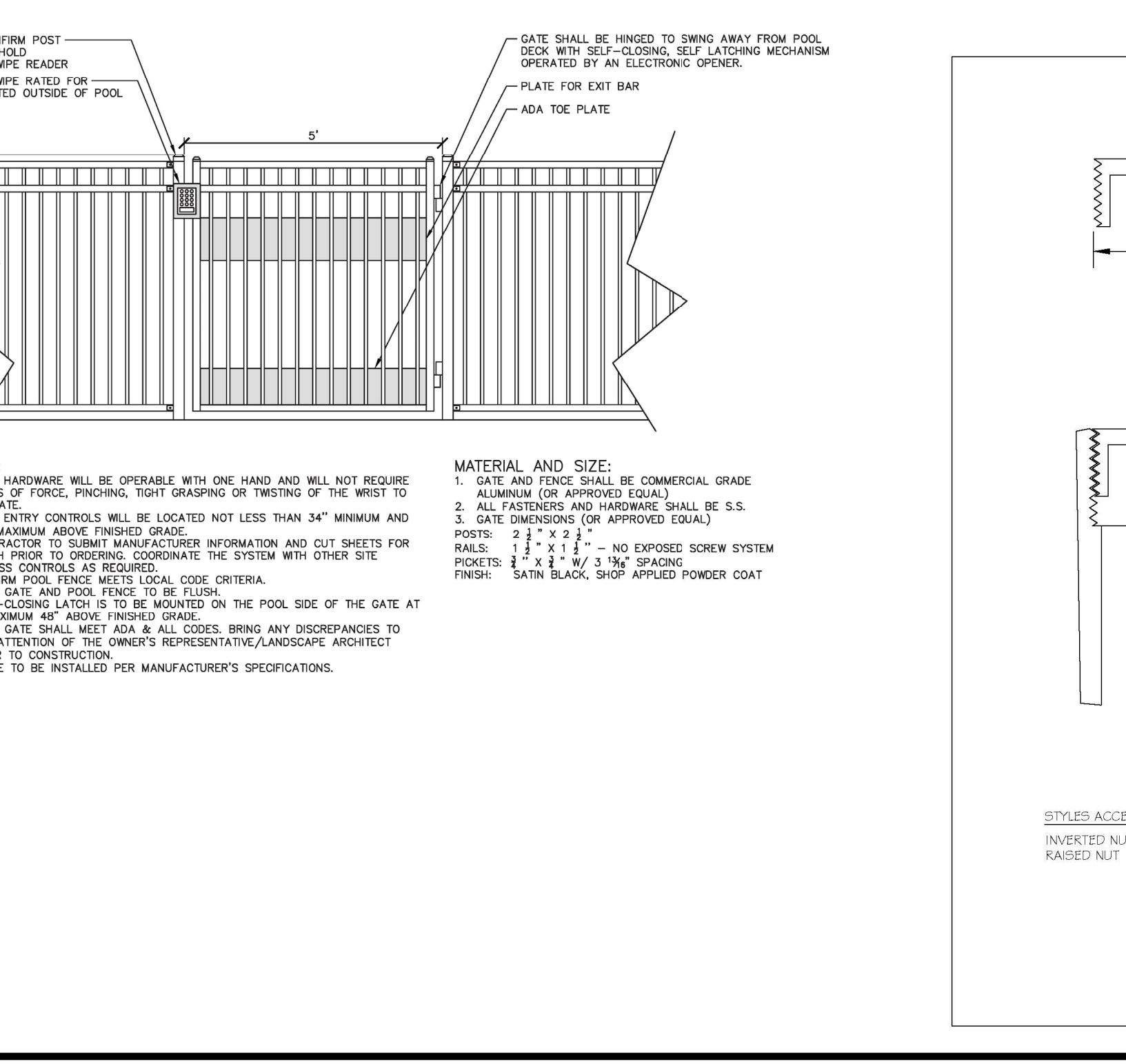
**TYPICAL REDUCED PRESSURE ZONE BACKFLOW PREVENTER ASSEMBLY**



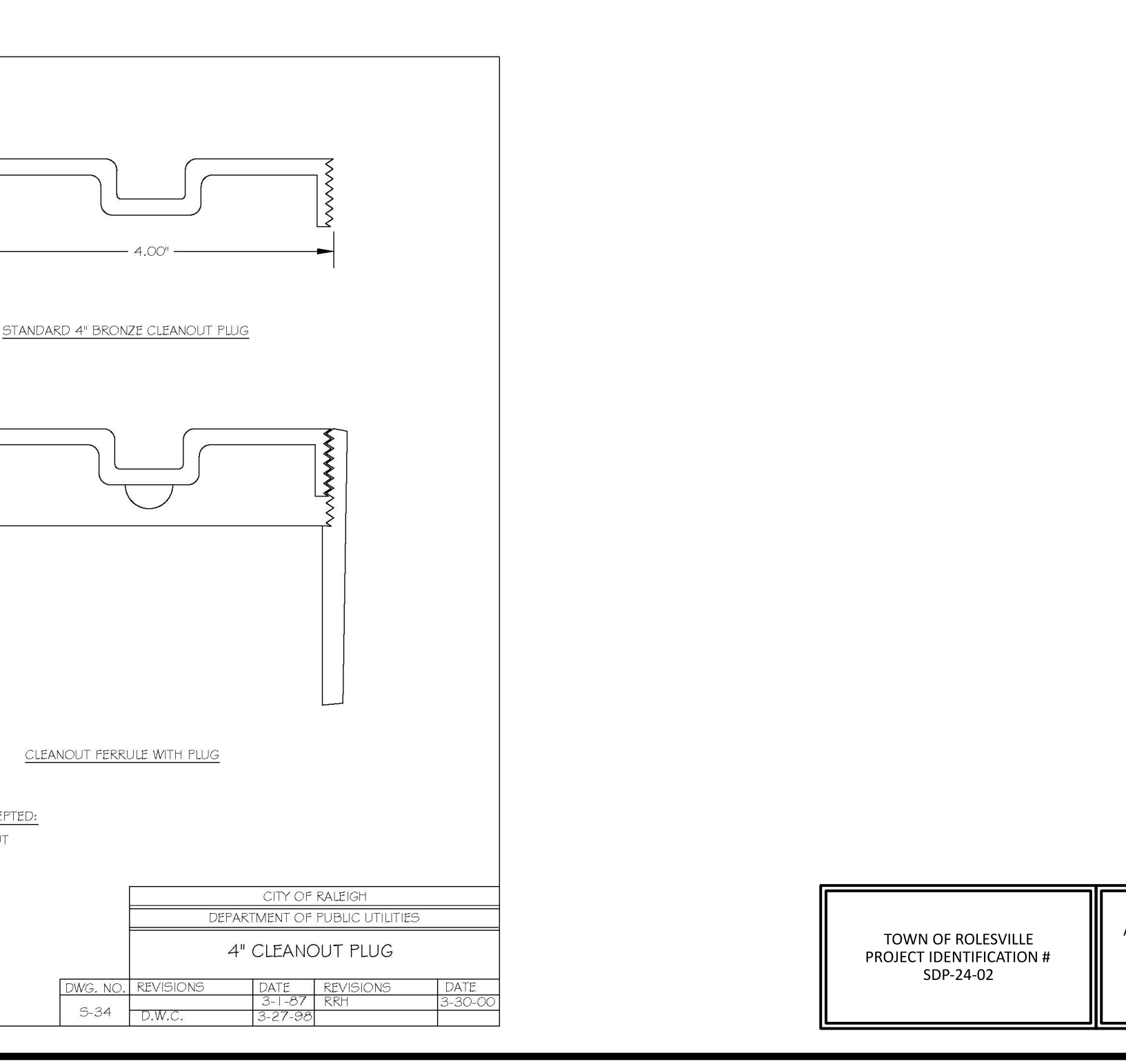
**DETAILS SHOWING JOINTS IN CONCRETE SIDEWALK**



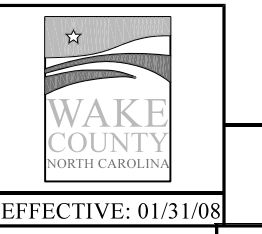
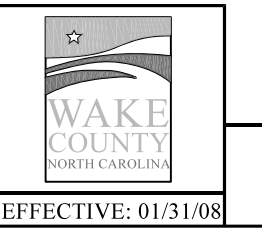
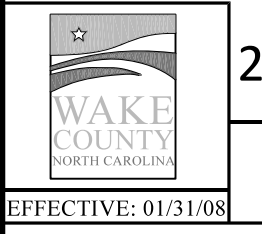
**POOL FENCE AND GATE**



**STANDARD 4\"/>**



**4\"/>**



DWG. NO.	REVISIONS	DATE
5-30		

DWG. NO.	REVISIONS	DATE
W-36		

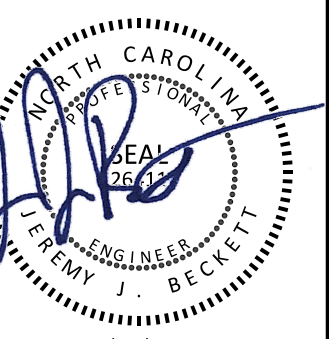
DWG. NO.	REVISIONS	DATE
S-34		

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**PRESTLEIGH AT JONES DAIRY AMENITY CENTER**  
ROLESVILLE, NC  
SITE DETAILS



PROJECT NO:	---
DESIGN BY:	JJB
DRAWN BY:	RSF
SCALE:	NTS
DATE:	2024-02-29
SHEET NO:	<b>D1.0</b>

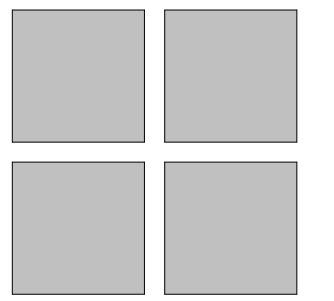
TOWN OF ROLESVILLE  
PROJECT IDENTIFICATION # SDP-24-02

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF ROLESVILLE STANDARDS AND SPECIFICATIONS



**D. CLUGSTON**

**PRELIMINARY NOT  
FOR CONSTRUCTION**



**Perry Cox  
architect, p.a.**

124 Salem Towne Court, Apex, NC 27502  
P: 919.363.5411  
www.pcoxdesign.com

DATE

REVISION

NO.

SHEET DISCRPTION

**PLANNING  
FLOOR  
PLANS**

PROJECT #: 2024XXX

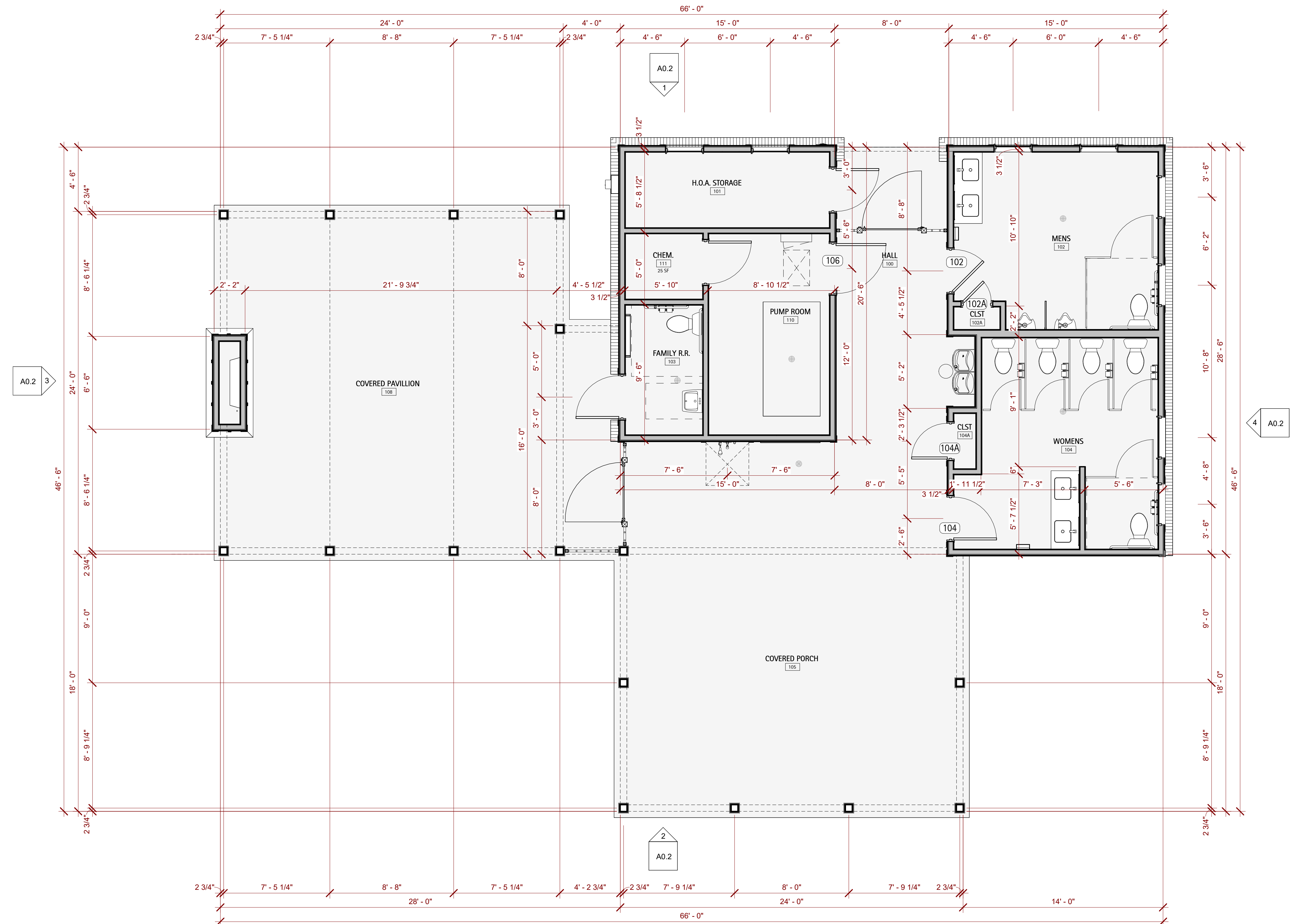
DATE ISSUED: 02/29/2024

DRAWING BY: JGM

CHECKED BY: DSC

**PRESTLEIGH AMENITY  
DR HORTON  
BATHHOUSE & POOL  
ROLESVILLE, NC**

**A0.1**



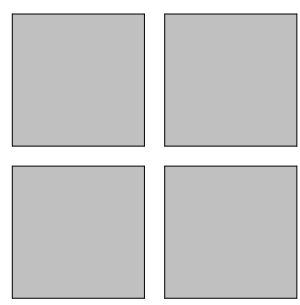
**1 Floor Plan**  
1/4" = 1'-0"





D. CLUGSTON

PRELIMINARY NOT FOR CONSTRUCTION



Perry Cox architect, p.a.

124 Salem Towne Court, Apex, NC 27502  
P: 919.363.5411  
www.pcoxdesign.com

DATE  
REVISION  
NO.

SHEET DESCRIPTION

PLANNING ELEVATIONS

PROJECT #: 2024XXX

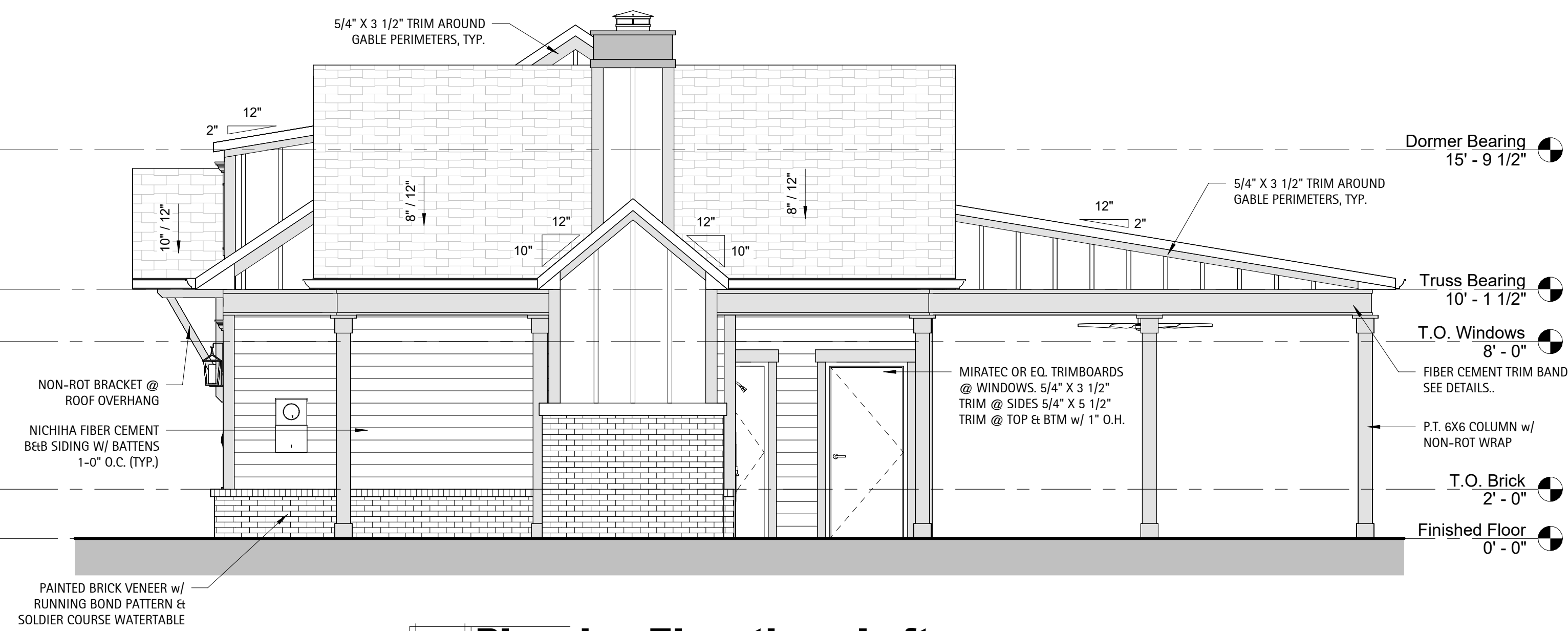
DATE ISSUED: 02/29/2024

DRAWING BY: JGM

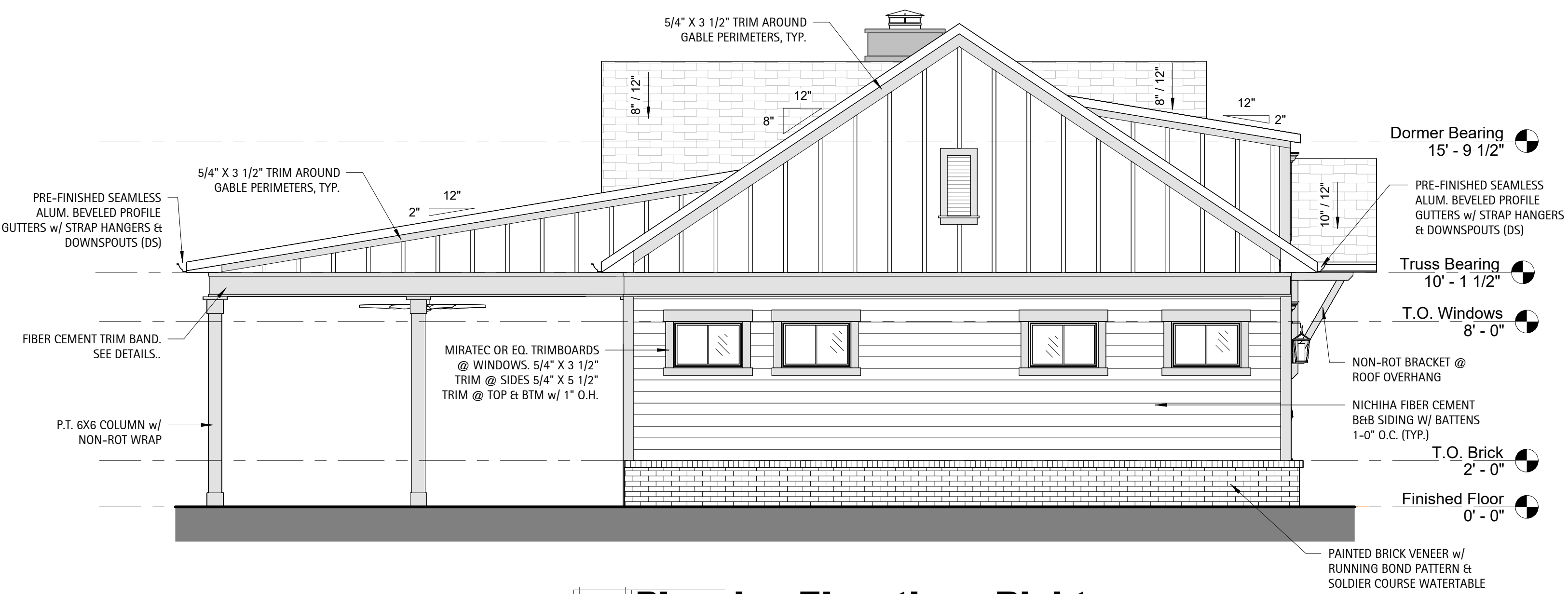
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PRESTLEIGH AMENITY  
DR HORTON  
BATHHOUSE & POOL  
ROLESVILLE, NC

A0.2



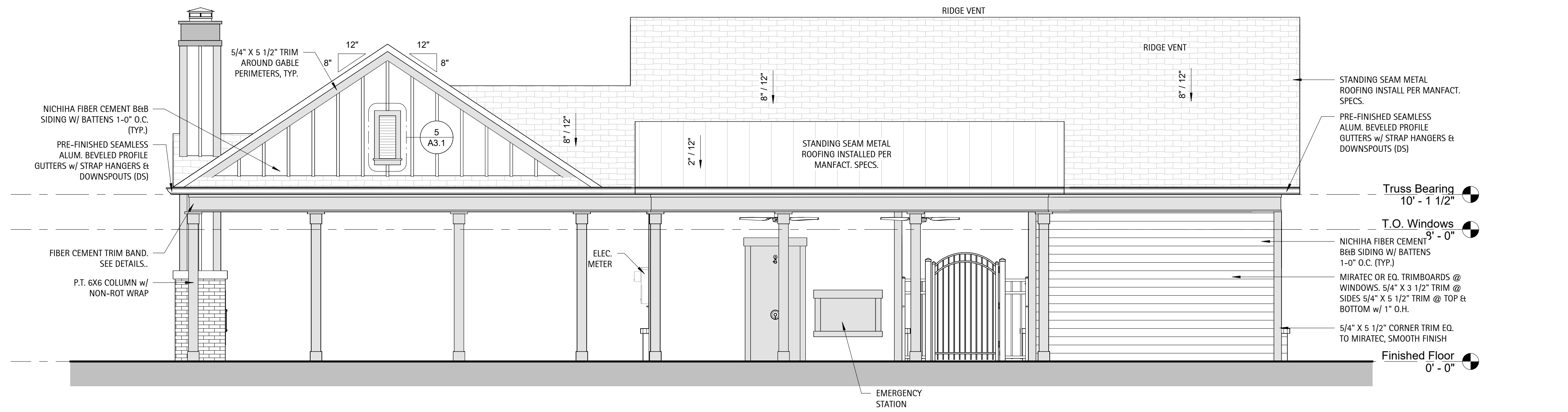
3 Planning Elevation - Left  
1/4" = 1'-0"



4 Planning Elevation - Right  
1/4" = 1'-0"

MATERIAL LEGEND

- HORIZONTAL SIDING: COLOR: STERLING WHITE BENJAMIN MOORE: 1591
BOARD & BATTEN SIDING: COLOR: STERLING WHITE BENJAMIN MOORE: 1591
EXTERIOR TRIM: COLOR: STERLING WHITE BENJAMIN MOORE: 1591
COLUMNS: COLOR: STERLING WHITE BENJAMIN MOORE: 1591
BRICK VENEER: COLOR: CORTEZ BY GENERAL SHALE
ROOFING SHINGLES: COLOR: CHARCOAL
ROOFING STANDING SEAM: COLOR: BLACK MBCI - 200 SERIES



2 Planning Elevation - Rear  
1/4" = 1'-0"



1 Planning Elevation - Front  
1/4" = 1'-0"