

HILLS AT HARRIS CREEK

PRELIMINARY SUBDIVISION PLAT V2-PSP-24-03

TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
 PROJECT NUMBER: PSP-24-03

SITE INFORMATION:

LOCATION: 0 - 5326 MITCHELL MILL ROAD
 COUNTY: WAKE COUNTY
 PARENT PIN: 1757758529, 1757761273, 1757778982, 1757750520
 DB/PG: 001318 / 000333
 ZONING: RM-CZ CLUSTER DEVELOPMENT
 GROSS ACREAGE: 5,029,513 SF (115.46 AC)
 25' ROW DEDICATION ACREAGE: 43,196 SF (0.99 AC)
 NET ACREAGE: 4,986,317 SF (114.47 AC)

MINIMUM BUILDING SETBACKS:
 FRONT YARD: 20'
 SIDE YARD: 10'
 REAR YARD: 20'
 CORNER YARD: 12'

RIGHT OF WAY & OTHER AREAS:
 NATURAL WETLANDS: 657,515 SF (15.09 AC)

MAXIMUM ALLOWED NUMBER OF LOTS: 225 LOTS
TOTAL NUMBER PROPOSED LOTS: 221 LOTS
MINIMUM LOT FRONTAGE: 50'
MINIMUM REQUIRED LOT SIZE: 8,000 SF

OPEN SPACE BREAKDOWN:
 PROPERTY BOUNDARY: 4,986,317 SF (114.47 AC)
 REQUIRED OPEN SPACE(SECTION 3.1.B.1): 1,994,527 SF (45.79 AC)
 PROVIDED OPEN SPACE: 2,235,966 SF (51.33 AC)
 CLUSTER OPTION OPEN SPACE CALCULATIONS: SEE SHEET C-1.3
 ACTIVE/PASSIVE OPEN SPACE CALCULATIONS: SEE SHEET C-1.4

IMPERVIOUS AREAS:
 ROADWAYS & SIDEWALKS: 513,906 SF (11.80 AC)
 PONDS: 101,273 SF (2.32 AC)
 BUILD UPON AREA (BUA): 961,315 SF (22.07 AC)
 TOTAL ON-SITE IMPERVIOUS AREA: 1,576,494 SF (36.19 AC)
 TOTAL ON-SITE IMPERVIOUS PERCENT: 31.62%

CURRENT & PROPOSED USE AREAS:
 CURRENT USE: WAKE COUNTY AGRICULTURAL
 PROPOSED USE: MEDIUM DENSITY RESIDENTIAL

WATERSHED, RIVER BASIN:
 THIS PROJECT IS LOCATED WITHIN THE NEUSE RIVER BASIN

LOT ACREAGE:

LOT TYPE	DSF
LOT TYPE (50'x160')	68 LOTS
LOT TYPE (55'x146')	16 LOTS
LOT TYPE (60'x134')	56 LOTS
LOT TYPE (65'x125')	52 LOTS
LOT TYPE (70'x115')	15 LOTS
LOT TYPE (80'x100')	14 LOTS
TOTAL NUMBER PROPOSED LOTS:	221 LOTS
MINIMUM PROPOSED LOT SIZE:	8,000 SF
MAXIMUM PROPOSED LOT SIZE:	26,428 SF
MINIMUM LOT WIDTH:	50'
PROPOSED DENSITY:	1.93 UNITS/AC

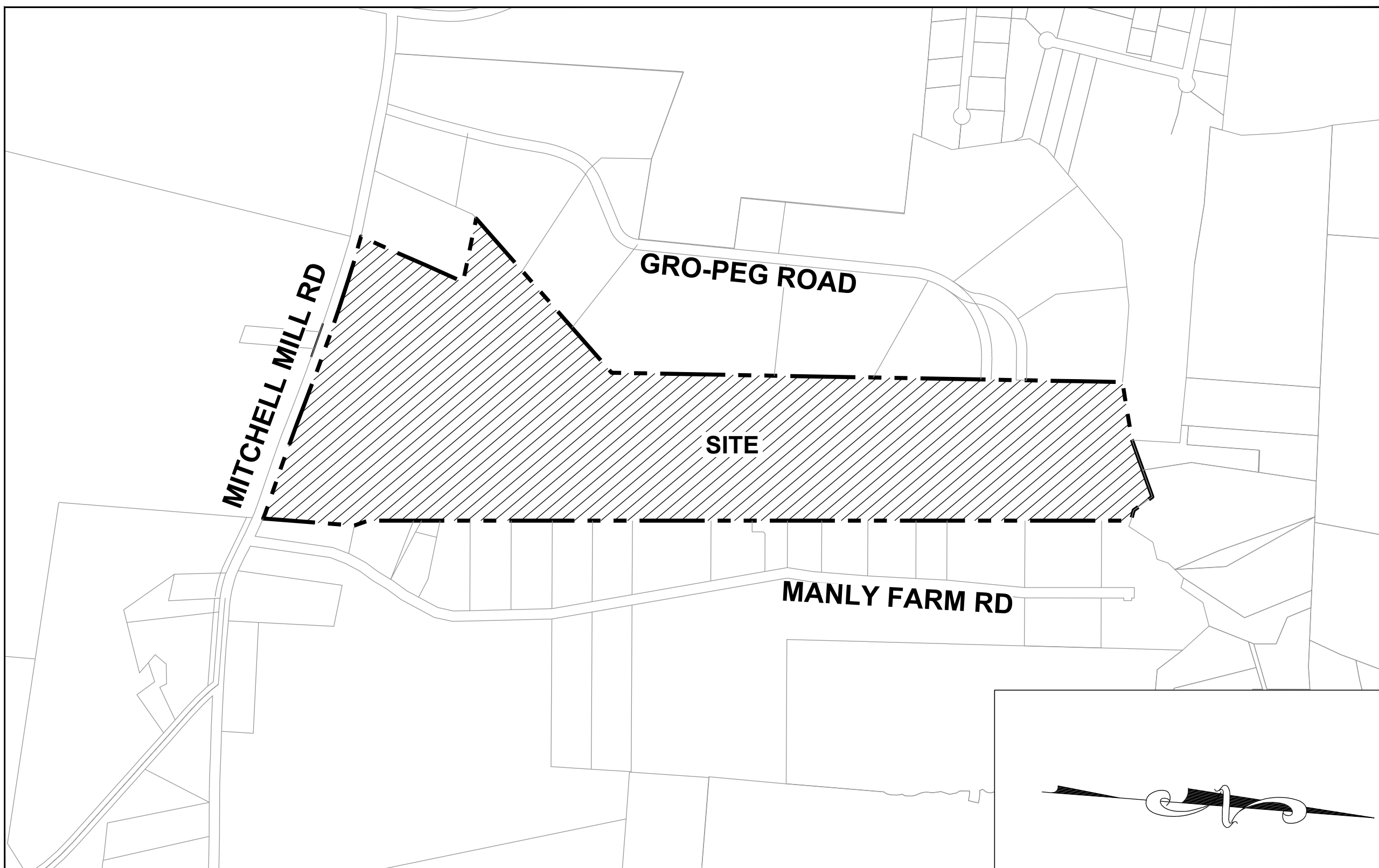
DISTURBED AREA:
 TOTAL DISTURBED AREA: 3,639,480 SF (83.55 AC)

1. Add current impervious data.

2. Add parking data/calculations to this table.

SREG: Existing impervious area has been added to the site data table

SREG: All parking for this RM-CZ cluster development is off-street. No parking plan/calc is required per LDO sec. 6.4.4.A.1



VICINITY MAP
 1" = 600'

SHEET INDEX

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05	C-1.4	ACTIVE-PASSIVE OPEN SPACE REQUIREMENTS
06	C-2.0	CIVIL NOTES
07	C-3.0	EXISTING CONDITIONS PLAN
08	C-3.1	TREE PROTECTION PLAN
09	C-3.2	OVERALL TREE INVENTORY MAP
10	C-3.3	PARTIAL TREE INVENTORY MAP I
11	C-3.4	PARTIAL TREE INVENTORY MAP II
12	C-3.5	PARTIAL TREE INVENTORY MAP III
13	C-3.6	PARTIAL TREE INVENTORY MAP IV
14	C-3.7	PARTIAL TREE INVENTORY MAP V
15	C-3.8	PARTIAL TREE INVENTORY MAP VI
16	C-3.9	PARTIAL TREE INVENTORY MAP VII
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18	C-3.11	TREE INVENTORY TABLE
19	C-4.0	DEMOLITION PLAN
20	C-5.0	OVERALL SITE PLAN
21	C-5.1	PARTIAL SITE PLAN I
22	C-5.2	PARTIAL SITE PLAN II
23	C-5.3	PARTIAL SITE PLAN III
24	C-5.4	PARTIAL SITE PLAN IV
25	C-5.5	PARTIAL SITE PLAN V
26	C-5.6	PARTIAL SITE PLAN VI
27	C-5.7	LOT SIZE TABLES
28	C-5.8	TYPICAL STREET SECTION
29	C-6.0	OVERALL UTILITY PLAN
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31	C-6.2	PARTIAL UTILITY PLAN II
32	C-6.3	PARTIAL UTILITY PLAN III
33	C-6.4	PARTIAL UTILITY PLAN IV
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44	C-7.6	PARTIAL GRADING & DRAINAGE PLAN VI
45	C-8.0	OVERALL LANDSCAPE PLAN
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47	C-8.2	PARTIAL LANDSCAPE PLAN I
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50	C-8.5	PARTIAL LANDSCAPE PLAN IV
51	C-8.6	PARTIAL LANDSCAPE PLAN V
52	C-8.7	PARTIAL LANDSCAPE PLAN VI
53	C-9.0	FIRE PLAN
54	C-9.1	FIRE PLAN I
55	C-9.2	FIRE PLAN II
56	C-9.3	FIRE PLAN III
57	D-1.0	SITE DETAILS

STREET NAMES	PROPOSED ROW	PAVEMENT WIDTH	LINEAL FEET
A	50-70 Ft	24-32 Ft	2,575.07
B	50 Ft	24 Ft	1,253.10
C	50-60 Ft	24-32 Ft	597.86
F	50 Ft	24 Ft	1,090.75
G	50 Ft	24 Ft	1,072.02
H	50 Ft	24 Ft	1,047.13
I	62 Ft	36 Ft	849.39
J	50 Ft	24 Ft	1,154.99
K	50 Ft	24 Ft	347.23
L	50 Ft	24 Ft	2,271.75

OWNER:
 ALAN&RANDY WATKINS/LAURA AND RANDALL WATKINS/
 ELLIS LAND INVESTMENT COMPANY, LLC
 ADDRESS: 305 CHURCH AT NORTH HILLS STREET, SUITE 1110
 CITY/STATE/ZIP: RALEIGH, NC 27609
 PHONE: 919-824-6088
 EMAIL: jason@ellisdevgroup.com.

DEVELOPER:
 ELLIS DEVELOPMENTS NC, LLC
 CONTACT NAME: JASON PFISTER
 ADDRESS: 305 CHURCH AT NORTH HILLS STREET, SUITE 1110
 CITY/STATE/ZIP: RALEIGH, NC 27609
 PHONE: 919-824-6088
 EMAIL: jason@ellisdevgroup.com.

CIVIL ENGINEERING:
 STRONG ROCK ENGINEERING GROUP, PLLC
 PO BOX 55992
 RALEIGH, NC 27624
 COMPANY LICENSE #: P-2166
 PHONE: 984-200-1932 (O)
 information@strongrockgroup.com

NOTES:
 1. SEE SHEET C-1.1 FOR ZONING CONDITIONS.
 2. THIS DEVELOPMENT IS CONTINGENT UPON THE COMPLETION OF THE "HARRIS CREEK SANITARY SEWER REPLACEMENT S-5037" PERMIT. THE SEWER REPLACEMENT IMPROVEMENTS SHALL BE INSTALLED, INSPECTED, AND ACCEPTED BY CITY OF RALEIGH PRIOR TO RECORDATION OF LOTS FOR THIS DEVELOPMENT.
 3. ALL OFFSITE SEWER EASEMENTS MUST BE APPROVED, SIGNED AND RECORDED WITH RALEIGH DEED TEMPLATE PRIOR TO CD APPROVAL.



STRONG ROCK ENGINEERING GROUP
 305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT: HILLS AT HARRIS CREEK
 NOT FOR CONSTRUCTION
 SCALE: AS SHOWN
 DESIGNED BY: JWL
 DRAWN BY: SRG
 CHECKED BY: JWL

TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
COVER SHEET
 C-1.0

01 OF 57

GENERAL CONSTRUCTION NOTES:

- 1. THE SUBJECT PROPERTY SHALL BE DEVELOPED GENERALLY IN ACCORDANCE WITH THE CONCEPT SKETCH PLAN ATTACHED HERETO AS EXHIBIT ONE AND INCORPORATED HEREIN AS IF FULLY SET OUT. LOCATIONS SHOWN FOR COMMITTED ELEMENTS INCLUDING, BUT NOT LIMITED TO GREENWAYS, STREETS, AND OPEN SPACE AREAS SHOWN ON THE CONCEPT SKETCH PLAN, ARE CONCEPTUAL AND PROVIDED FOR ILLUSTRATION AND CONTEXT ONLY. FINAL LOCATIONS OF ELEMENTS SHALL BE DETERMINED AT SUBSEQUENT STAGES THROUGH THE TOWN'S DEVELOPMENT REVIEW APPROVAL PROCESSES.
2. DENSITY: THE PROPERTY MAY BE DEVELOPED WITH UP TO A MAXIMUM OF 225 SINGLE FAMILY DETACHED DWELLING UNITS.
3. AFFORDABLE HOUSING: PRIOR TO THE ISSUANCE OF THE FIRST BUILDING PERMIT, TWENTY THOUSAND DOLLARS AND NO CENTS (\$20,000.00) SHALL BE DONATED TO HOMES FOR HEROES (OR ANOTHER NON-PROFIT ORGANIZATION WITH A SUBSTANTIALLY SIMILAR MISSION STATEMENT). A SIGNED AND NOTARIZED AFFIDAVIT FROM THE BENEFITTED CHARITY SHALL BE PROVIDED AS EVIDENCE OF PERFORMANCE OF THIS COMMITMENT.
4. POLLINATOR PLANTINGS: AT LEAST FOUR ACRES OF THE LANDSCAPING PLANTED WITHIN THE DUKE ENERGY POWER LINE EASEMENT ON THE SUBJECT PROPERTY SHALL UTILIZE PLANT MATERIALS THAT ARE LISTED AS NATIVE POLLINATOR PLANTS ON NORTH CAROLINA WILDLIFE FEDERATION ("NCWF") OR OTHER RESOURCES FOR NATIVE PLANTS RECOMMENDED BY THE NCWF. THIS LANDSCAPE ELEMENT SHALL BE IDENTIFIED AS A "FEATURE" IN THE APPROPRIATE PROPOSED LOT WITHIN THE PRELIMINARY SUBDIVISION PLAT DRAWINGS, AND THEN AGAIN IDENTIFIED AND FULLY DETAILED ON LANDSCAPE PLAN DRAWINGS INCLUDED IN THE CONSTRUCTION INFRASTRUCTURE DRAWINGS, AND THIS SHALL BE CONSIDERED INFRASTRUCTURE THAT IS INSPECTED FOR (INSTALLATION) COMPLIANCE BY/AT THE TIME OF SUBDIVISION CLOSE-OUT. APPLICANT MAY PROVIDE THIS FEATURE EARLIER IN THE DEVELOPMENT PROCESS BY EVIDENCE OF PHOTO DOCUMENTATION AND INSPECTION REPORT BY THE TOWN INFRASTRUCTURE INSPECTOR OR OTHER STAFF.
5. RECREATIONAL AMENITIES: THE FOLLOWING RECREATIONAL AMENITIES SHALL BE PROVIDED GENERALLY AS SHOWN ON THE RECREATIONAL AMENITIES PLAN ATTACHED HERETO AS EXHIBIT TWO AS A PART OF THE DEVELOPMENT OF THE SUBJECT PROPERTY AND SHALL BE DEDICATED TO THE SUBDIVISION'S HOMEOWNER'S ASSOCIATION (HOA). THESE AMENITIES SHALL BE IDENTIFIED AS A "FEATURE" IN THE APPROPRIATE PROPOSED LOT WITHIN THE PRELIMINARY SUBDIVISION PLAT DRAWINGS, AND THEN AGAIN IDENTIFIED AND DETAILED IN THE CONSTRUCTION INFRASTRUCTURE DRAWINGS, AND THIS SHALL BE CONSIDERED INFRASTRUCTURE THAT IS INSPECTED FOR (INSTALLATION) COMPLIANCE BY/AT THE TIME OF SUBDIVISION CLOSE-OUT. APPLICANT MAY PROVIDE THIS FEATURE EARLIER IN THE DEVELOPMENT PROCESS BY EVIDENCE OF PHOTO DOCUMENTATION AND INSPECTION REPORT BY THE TOWN INFRASTRUCTURE INSPECTOR OR OTHER STAFF.
6. FOUNDATIONS: ALL HOMES SHALL INCLUDE EITHER CRAWL SPACE FOUNDATIONS OR STEM WALL FOUNDATION (AS THEY ARE GENERALLY DEFINED IN THE HOME BUILDING INDUSTRY). ANY STEM WALL FOUNDATIONS SHALL HAVE AN AVERAGE OF AT LEAST EIGHTEEN INCHES (18") IN HEIGHT OF REVEAL ABOVE THE FINISHED GROUND SURFACE ACROSS THE FRONT FAÇADE OF THE HOME. THERE SHALL BE NO EXPOSED CONCRETE ON ANY PORTION OF THE STEM WALL FOUNDATION ON ANY SIDE OF THE HOME FACING AND DIRECTLY PARALLEL TO A PUBLIC STREET. COMPLIANCE WITH THIS CONDITION SHALL BE DEMONSTRATED BY NOTING THE FOLLOWING ON THE PLANS SUBMITTED WITH THE RESIDENTIAL BUILDING PERMIT APPLICATION: I) THE AVERAGE STEM WALL HEIGHT FOR THE FRONT FAÇADE OF THE STEM WALL FOUNDATION, AND II) THE BUILDING MATERIALS TO BE USED (STONE VENEER OR BRICK) ON THE STEM WALL FOUNDATION FAÇADE ON ANY SIDE OF THE HOME FACING A PUBLIC STREET.
7. MINIMUM DWELLING SIZE: EACH SINGLE FAMILY DETACHED DWELLING UNIT SHALL CONTAIN A MINIMUM GROSS BUILDING SQUARE FOOTAGE OF 2,000 SQUARE FEET.
8. DRIVEWAY ACCESS TO NEIGHBORING PROPERTIES: TWO PRIVATE DRIVEWAYS (SHOWN AS DRIVEWAY A AND DRIVEWAY B ON THE ATTACHED EXHIBIT ONE) SHALL BE CONSTRUCTED TO CONNECT THE PROPERTY TO THE TWO ADJACENT PROPERTIES (IDENTIFIED AS WAKE COUNTY PIN'S 1757657746 & 1757658917) THAT CURRENTLY ACCESS MITCHELL MILL ROAD VIA THE PRIVATE ROAD KNOWN AS ROCK FARM ROAD (THE "ROCK FARM ROAD PROPERTIES"). ROCK FARM ROAD WILL BE ABANDONED AND REMOVED IN CONNECTION WITH THE DEVELOPMENT OF THE PROPERTY. ACCESS EASEMENTS SHALL BE PROVIDED TO THE ROCK FARM ROAD PROPERTIES TO PROVIDE INGRESS/EGRESS TO THE ROCK FARM ROAD PROPERTIES THROUGH DRIVEWAY A AND DRIVEWAY B PRIOR TO THE ABANDONMENT AND REMOVAL OF ROCK FARM ROAD.
9. GREENWAY AND SHARED USE PATH: A 10' WIDE PUBLIC SHARED USE PATH (LABELED AS "SHARED USE PATH" ON THE ATTACHED EXHIBIT ONE) SHALL BE CONSTRUCTED AND DEDICATED TO THE TOWN TO CONNECT TO THE 10' WIDE PUBLIC GREENWAY (LABELED AS THE PUBLIC GREENWAY ON THE ATTACHED EXHIBIT ONE).
10. FUTURE GREENWAY EXPANSION: THE 50' WIDE "GREENWAY EASEMENT" AS SHOWN ON EXHIBIT ONE, SHALL BE DEDICATED TO THE TOWN AS A FUTURE PUBLIC GREENWAY.
11. CONSTRUCT A WESTBOUND(MITCHELL MILL ROAD) RIGHT-TURN LANE WITH 50' OF STORAGE AT THE SITE ACCESS #1.

Town of Rolesville Planning Department Checklist

- [X] A vicinity map of the site, illustrating the boundaries of the site, north arrow, and scale reference
[X] Site Data Table of typical property information (Property Legal Description, acreage/square footage, etc)
[X] If Commercial - Square footage of proposed building/use/development on, approximate proposed Impervious Coverage, approximate parking calculations, if multi-family the number of Dwelling units, etc.
[X] If Residential - Number of proposed development lots (including by type of lots/use), density (proposed/permited), approximate parking calculations,
[X] Required/Provided calculations for open space
[X] Existing and Proposed Use and Zoning District of property and adjacent properties
[X] Drawing depicting the details provided above and general concept of development such as -
• Lot layout and size/dimension of lots,
• Proposed building layout and/or general footprint locations
• Vehicular circulation / street layout including existing/proposed right-of-way widths (public, alley, private)
• Pedestrian circulation including Greenways / Sidepaths / Bike Lanes,
• General Utility access and points of connection / extensions,
• Buffers (Street/Perimeter), Open/communal spaces, stormwater control measures etc.
[X] Name, address, and contact information for property owner and/or Applicant
[X] Name/information of professional who created Concept Plan
[] Any other information requested by Planning Department staff

Table with columns for project name, dates, and revision history. Includes a circular professional seal for Alan Watkins, Engineer, No. 036225.



Exhibit Three
REZ-24-02/Hills at Harris Creek

Conditions of Approval
Date: April 30, 2024

- 1. The subject property shall be developed generally in accordance with the Concept Sketch Plan attached hereto as Exhibit One and incorporated herein as if fully set out. Locations shown for committed elements including, but not limited to Greenways, streets, and open space areas shown on the Concept Sketch Plan, are conceptual and provided for illustration and context only. Final locations of elements shall be determined at subsequent stages through the Town's development review approval processes.
2. Density: The property may be developed with up to a maximum of 225 single family detached dwelling units.
3. Affordable Housing: Prior to the issuance of the first building permit, Twenty Thousand Dollars and No Cents (\$20,000.00) shall be donated to Homes for Heroes (or another non-profit organization with a substantially similar mission statement). A signed and notarized affidavit from the benefitted charity shall be provided as evidence of performance of this commitment.
4. Pollinator Plantings: At least four acres of the landscaping planted within the Duke Energy power line easement on the subject property shall utilize plant materials that are listed as Native Pollinator Plants on North Carolina Wildlife Federation ("NCWF") or other resources for native plants recommended by the NCWF. This landscape element shall be identified as a "feature" in the appropriate proposed Lot within the Preliminary Subdivision Plat drawings, and then again identified and fully detailed on landscape plan drawings included in the Construction Infrastructure Drawings, and this shall be considered infrastructure that is inspected for (installation) compliance by/at the time of subdivision close-out. Applicant may provide this feature earlier in the development process by evidence of photo documentation and inspection report by the Town infrastructure inspector or other staff.
5. Recreational Amenities: The following recreational amenities shall be provided generally as shown on the Recreational Amenities Plan attached hereto as Exhibit Two as a part of the development of the subject property and shall be dedicated to the subdivision's homeowner's association (HOA). These amenities shall be identified as a "feature" in the appropriate proposed Lot within the Preliminary Subdivision Plat drawings, and then again identified and detailed in the Construction Infrastructure Drawings, and this shall be considered infrastructure that is inspected for (installation) compliance by/at the time of subdivision close-out. Applicant may provide this feature earlier in the development process by evidence of photo documentation and inspection report by the Town infrastructure inspector or other staff.
i. A swimming pool and cabana, including changing rooms and restrooms shall be constructed prior to the issuance of the 150th residential dwelling unit building permit;
ii. At least one fenced playground shall be constructed prior to the issuance of the 150th residential dwelling unit building permit;
iii. At least one fenced dog park shall be constructed prior to the issuance of

- the 150th residential dwelling unit building permit;
iv. At least one (1) garden park shall be provided prior to the issuance of the 200th residential dwelling unit building permit.

- 6. Foundations: All homes shall include either crawl space foundations or stem wall foundation (as they are generally defined in the home building industry). Any stem wall foundations shall have an average of at least eighteen inches (18") in height of reveal above the finished ground surface across the front façade of the home. There shall be no exposed concrete on any portion of the stem wall foundation on any side of the home facing and directly parallel to a public street. Compliance with this condition shall be demonstrated by noting the following on the plans submitted with the residential building permit application: i) the average stem wall height for the front façade of the stem wall foundation, and ii) the building materials to be used (stone veneer or brick) on the stem wall foundation façade on any side of the home facing a public street.
7. Minimum Dwelling Size: Each single family detached dwelling unit shall contain a minimum gross building square footage of 2,000 square feet.
8. Driveway Access to Neighboring Properties: Two private driveways (shown as Driveway A and Driveway B on the attached Exhibit One) shall be constructed to connect the property to the two adjacent properties (identified as Wake County PIN's 1757657746 & 1757658917) that currently access Mitchell Mill Road via the private road known as Rock Farm Road (the "Rock Farm Road Properties"). Rock Farm Road will be abandoned and removed in connection with the development of the property. Access easements shall be provided to the Rock Farm Road Properties to provide ingress/egress to the Rock Farm Road Properties through Driveway A and Driveway B prior to the abandonment and removal of Rock Farm Road.
9. Greenway and Shared Use Path: A 10' wide public shared use path (labeled as "Shared Use Path" on the attached Exhibit One) shall be constructed and dedicated to the Town to connect to the 10' wide public greenway (labeled as the Public Greenway on the attached Exhibit One).
10. Future Greenway Expansion: The 50' wide "Greenway Easement" as shown on Exhibit One, shall be dedicated to the Town as a future public greenway.

Authentigi ID: 4C37A263-544B-8F11-8E33-0224E2708E1

The foregoing zoning conditions have been voluntarily offered by the property owner. This page may be photocopied if additional space is needed.

Signature: Alan Watkins 07/26/24 Print Name: Alan Watkins & Melody Watkins
Date: Randy Watkins 07/26/24 Print Name: Randy & Donna Watkins
Signature: Laura Watkins 07/27/24 Print Name: Laura Watkins
Date: Randall Watkins 07/27/24 Print Name: Randall Watkins
Signature: Ellis Land Investment Company, LLC By: Stephen Ellis, Manager
Date:

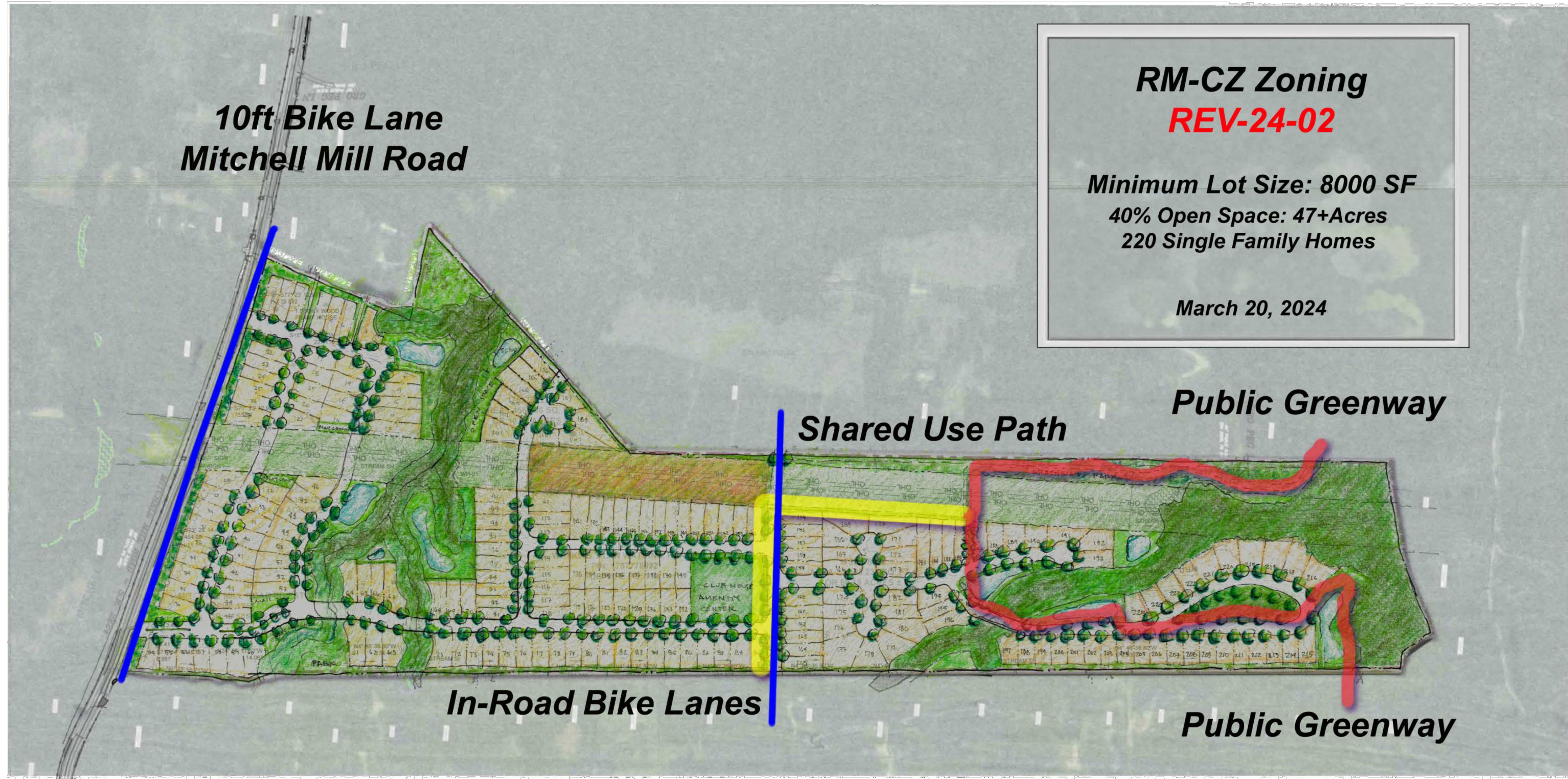
Table with columns for project name, construction status, scale, and design/checked by.

HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
ZONING CONDITIONS

DRAWING SHEET
C-1.1

V2 - REZ-24-02

EXHIBIT ONE CONCEPT SKETCH PLAN



RM-CZ Zoning
REV-24-02

Minimum Lot Size: 8000 SF
 40% Open Space: 47+Acres
 220 Single Family Homes

March 20, 2024

No.	REVISIONS	DATE	BY
0			
1			



STRONGROCK
 ENGINEERING GROUP

STRONG ROCK ENGINEERING GROUP, PLLC (COMPANY LICENSE # P-2166)
 305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL
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HILLS AT HARRIS CREEK
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

CONCEPT SKETCH PLAN

DRAWING SHEET
C-1.2

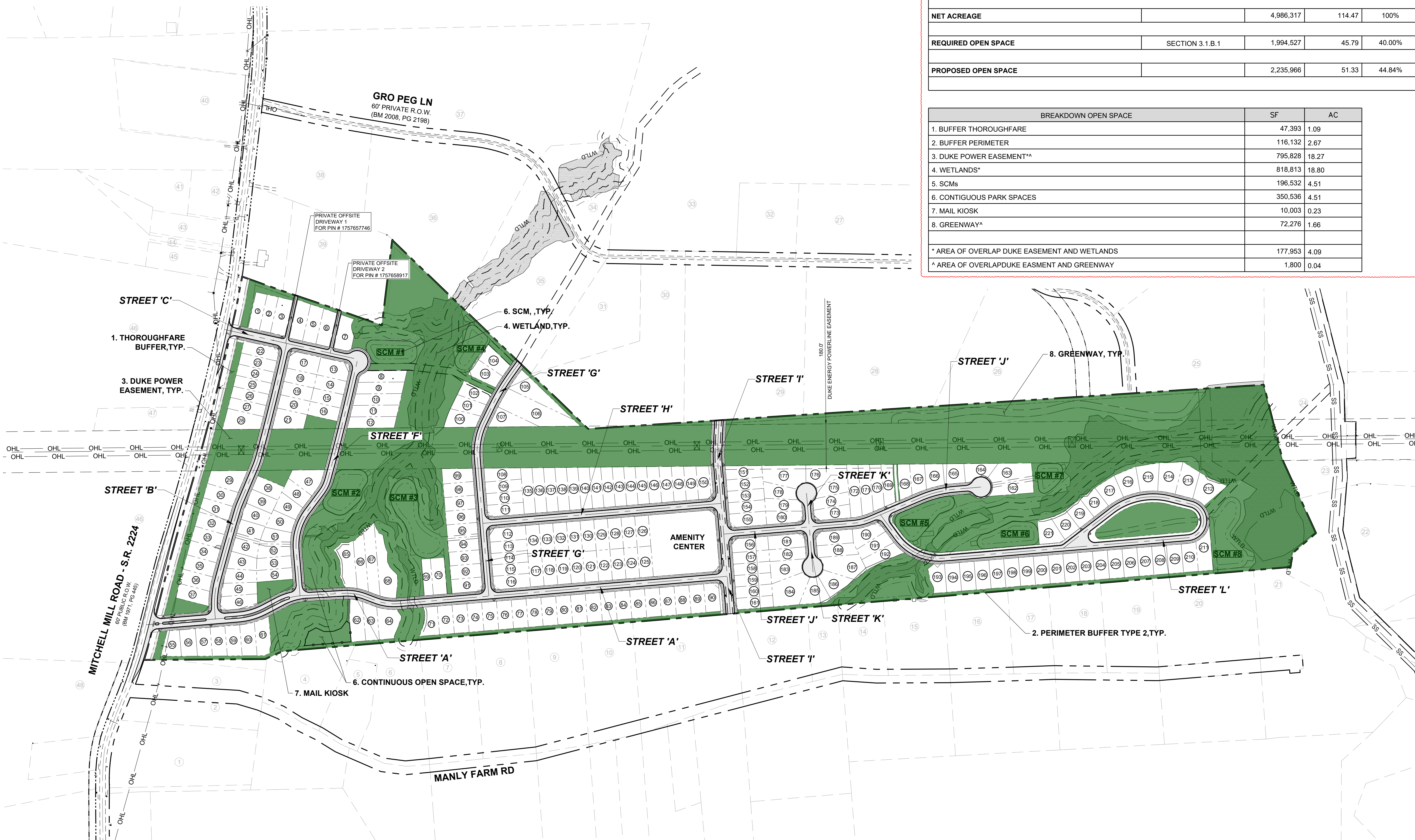


THIS PLANSET AND ANY ASSOCIATED DOCUMENTS ARE PRELIMINARY AND NOT AUTHORIZED FOR CONSTRUCTION UNTIL SIGNED, DATED, AND OFFICIALLY RELEASED FOR CONSTRUCTION BY THE ENGINEER OF RECORD.

NOTES:
 * PER TOWN OF ROLESVILLE LDO 3.1.B.1 OPEN SPACE WITHIN CLUSTER DEVELOPMENT
 SEE SHEET C-3.0 FOR ADJACENT PROPERTY DETAILS

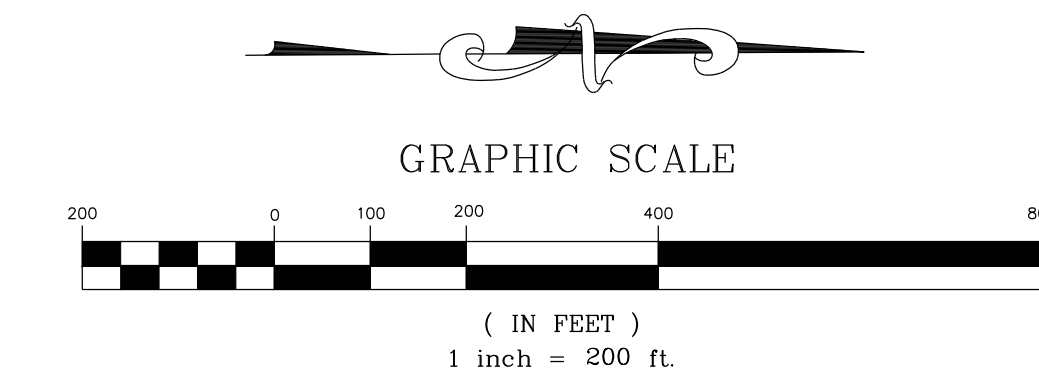
CLUSTER OPTION OPEN SPACE				
RM-CZ CLUSTER DEVELOPMENT	Code section	SF	AC	%
NET ACREAGE		4,986,317	114.47	100%
REQUIRED OPEN SPACE	SECTION 3.1.B.1	1,994,527	45.79	40.00%
PROPOSED OPEN SPACE		2,235,966	51.33	44.84%

BREAKDOWN OPEN SPACE			SF	AC
1. BUFFER THOROUGHFARE			47,393	1.09
2. BUFFER PERIMETER			116,132	2.67
3. DUKE POWER EASEMENT**			795,828	18.27
4. WETLANDS*			818,813	18.80
5. SCMs			196,532	4.51
6. CONTIGUOUS PARK SPACES			350,536	4.51
7. MAIL KIOSK			10,003	0.23
8. GREENWAY*			72,276	1.66
* AREA OF OVERLAP DUKE EASEMENT AND WETLANDS			177,953	4.09
^ AREA OF OVERLAPDUKE EASMENT AND GREENWAY			1,800	0.04



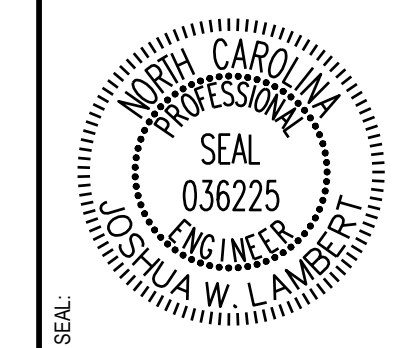
LEGEND:

	EXISTING PROPERTY LINE
	ROADWAY CENTER LINE
	PROPOSED PROPERTY LINE
	ROLESVILLE STANDARD VALLEY CURB



THIS PLANSET AND ANY ASSOCIATED DOCUMENTS ARE PRELIMINARY AND NOT AUTHORIZED FOR CONSTRUCTION UNTIL SIGNED, DATED, AND OFFICIALLY RELEASED FOR CONSTRUCTION BY THE ENGINEER OF RECORD.

NO.	REVISIONS	DATE	BY
0			
1			



STRONGROCK
 ENGINEERING GROUP

STRONG ROCK ENGINEERING GROUP, PLLC COMPANY LICENSE # P-2166
 305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONGROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL
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HILLS AT HARRIS CREEK
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

OVERALL OPEN SPACE PLAN

DRAWING SHEET
C-1.3

NOTES:
SEE SHEET C-3.0 FOR ADJACENT PROPERTY DETAILS

REQUIRED PASSIVE AND ACTIVE OPEN SPACE			
NET ACREAGE	CODE SECTION	SF	AC
		4,986,317	114.47
			100
REQUIRED PASSIVE OPEN SPACE	SECTION 6.2.1.D	598,358	13.74
REQUIRED ACTIVE OPEN SPACE	SECTION 6.2.1.G.12	299,179	6.87
			6.0%
PROPOSED PASSIVE OPEN SPACE			
P1: POLLINATOR GARDEN		177,463	4.07
P2: DOG PARK		140,874	3.23
P3: LAWN AND MEADOWS		440,706	10.12
P4: GREENWAY AND NATURAL AREA		180,647	3.69
TOTAL PROPOSED PASSIVE OPEN SPACE		919,690	21.11
			18.44%
PROPOSED ACTIVE OPEN SPACE			
MEDIUM 1: AMENITY CENTER		82,409	1.89
MEDIUM 2: PARK		49,986	1.15
SMALL 1: POCKET PARK		12,228	0.28
SUBTOTAL REQUIRED ACTIVE OPEN SPACE		144,623	3.32
			2.90%
ADDITIONAL PROPOSED ACTIVE OPEN SPACE			
AS1: EXERCISE TRACK		51,262	1.18
AS2: IPEMA 1: PLAYGROUND		7,490	0.17
AS3: POCKET PARK II		6,792	0.16
AS4: POCKET PARK III		6,448	0.15
AS5: DISK GOLF		40,486	0.93
AS6: RUNNING COURSE (12 LAPS PER MILE)		46,571	1.07
SUBTOTAL ADDITIONAL PROPOSED ACTIVE OPEN SPACE		159,049	3.65
			3.19%
TOTAL PROPOSED ACTIVE OPEN SPACE		303,672	6.97
			6.09%

NO.	DATE	REVISIONS
0		
1		

STRONGROCK
ENGINEERING GROUP

STRONG ROCK ENGINEERING GROUP, PLLC COMPANY LICENSE # P-2166
305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

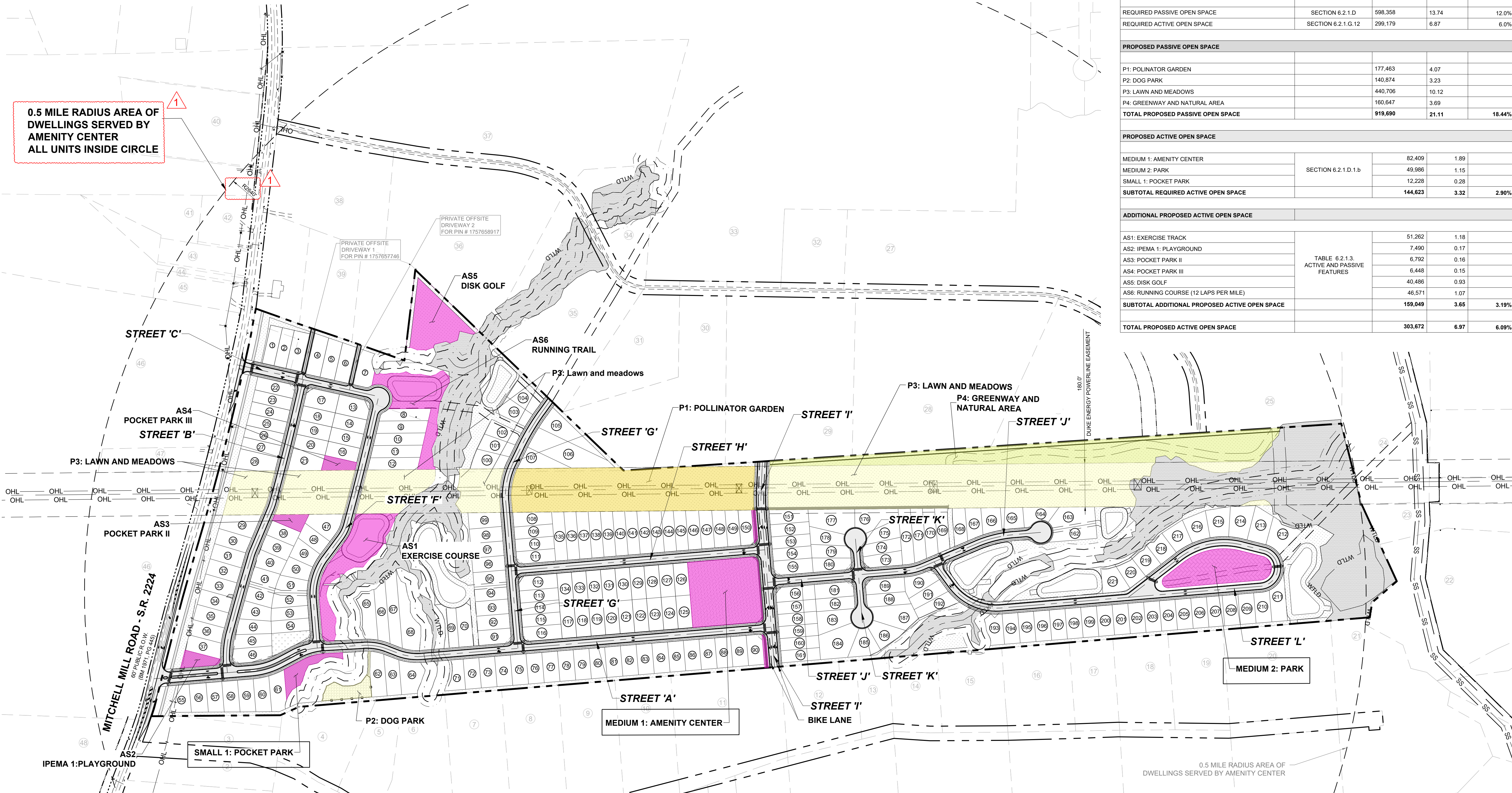
STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	AS SHOWN	JWL	SRG	JWL

HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

ACTIVE-PASSIVE OPEN SPACE REQUIREMENTS

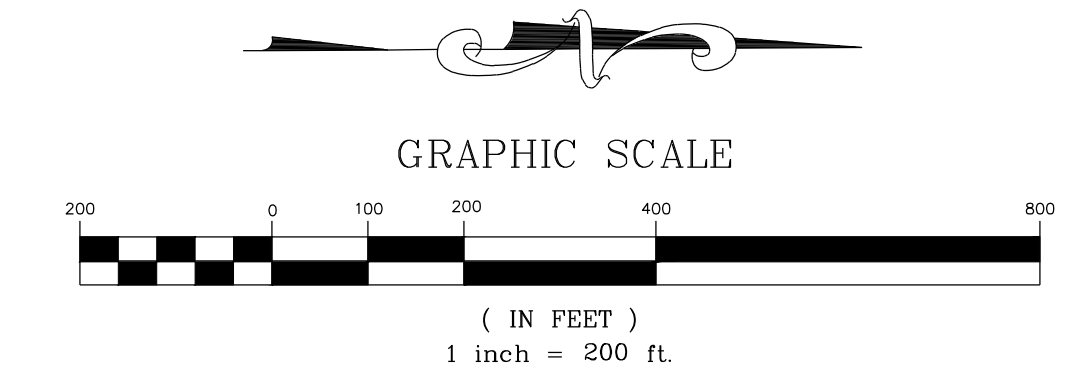
DRAWING SHEET
C-1.4

05 OF 57



LEGEND:

	EXISTING PROPERTY LINE
	ROADWAY CENTER LINE
	PROPOSED PROPERTY LINE
	ROLESVILLE STANDARD VALLEY CURB
	PROPOSED ACTIVE OPEN SPACE
	PROPOSED PASSIVE OPEN SPACE
	OPEN SPACE
	EXISTING WETLAND



THIS PLANSET AND ANY ASSOCIATED DOCUMENTS ARE PRELIMINARY AND NOT AUTHORIZED FOR CONSTRUCTION UNTIL SIGNED, DATED, AND OFFICIALLY RELEASED FOR CONSTRUCTION BY THE ENGINEER OF RECORD.

GENERAL CONSTRUCTION NOTES:

1. SEE GENERAL NOTES ON SHEET C-4.0.
2. WITHIN ALL NOTES, THE TERM CONTRACTOR WILL MEAN THE GENERAL CONTRACTOR AND ANY SUBCONTRACTORS OR VENDORS PERFORMING WORK ON THE PROJECT.
3. ANY CONTRACTOR SUBMITTING A BID FOR THIS PROJECT SHALL MAKE A SITE VISIT PRIOR TO SUBMITTING BID.
4. BOUNDARY DATA PERFORMED BY TAYLOR LAND CONSULTANTS. SEE SURVEY FOR BENCHMARK & TBM INFORMATION. SURVEY IS REFERENCED TO NC GRID NAD 83. REFER TO EXISTING CONDITIONS PLAN
5. ANY RELOCATION OF BENCHMARKS SHALL BE PERFORMED BY A NC LICENSED SURVEYOR.
6. ALL WORK, CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE TOWN OF ROLESVILLE, WAKE COUNTY, NCDOT OR & CITY OF RALEIGH STANDARDS AND SPECIFICATIONS, LATEST EDITION.
7. ALL WORK, CONSTRUCTION AND MATERIALS WITHIN NCDOT RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE 2018 NCDOT STANDARDS SPECIFICATIONS FOR ROADS AND STRUCTURES.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK ZONE TRAFFIC CONTROL IN OR ADJACENT TO NCDOT RIGHT-OF-WAY. TRAFFIC CONTROL SHALL BE MAINTAINED AT ALL TIMES WITH PROPER SIGNAGE, SIGNALS, LIGHTING, FLAGMEN. ALL SIGNS, PAVEMENT MARKINGS AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.
9. COPIES OF ALL PERMITS AND APPROVED PLANS MUST BE KEPT ON SITE IN A PERMIT BOX THAT IS CONSPICUOUSLY LOCATED AND EASILY ACCESSIBLE DURING CONSTRUCTION. THIS INCLUDES APPROVED CONSTRUCTION PLANS, APPROVED EROSION CONTROL PLANS, ENCROACHMENT AGREEMENTS, DRIVEWAY PERMITS, WATER/SEWER PERMITS, ETC.
10. LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE AND MUST BE FIELD VERIFIED. CONTACT THE NC ONE CALL CENTER AT LEAST 72 HOURS PRIOR TO DIGGING @ 1.800.632.4949. UNDERGROUND LINES SHOWN HEREON ARE APPROXIMATE OR AS REPORTED BY VARIOUS RESPONSIBLE PARTIES. THE SURVEYOR DOES NOT GUARANTEE THAT ANY UNDERGROUND STRUCTURES SUCH AS UTILITIES, TANKS AND PIPES ARE LOCATED HEREON.
11. THE CONTRACTOR SHALL NOTIFY AND COOPERATE WITH ALL UTILITY COMPANIES OR FIRMS HAVING FACILITIES ON OR ADJACENT TO THE SITE BEFORE DISTURBING, ALTERING, REMOVING, RELOCATING, ADJUSTING OR CONNECTING TO SAID FACILITIES.
12. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ANY TOWN, CITY OF RALEIGH OR NCDOT DAMAGED PROPERTY. THE CONTRACTOR SHALL REPAIR THE DAMAGED PROPERTY TO THE LATEST STANDARDS AND SPECIFICATIONS OF THE AGENCY HOLDING JURISDICTION AT NO COST TO THE OWNER.
13. ANY DAMAGE DONE TO PRIVATE PROPERTY OWNERS SIGNS, MAILBOX, DRIVEWAY CULVERTS, LANDSCAPING OR OTHER PROPERTY SHALL BE RESTORED TO ORIGINAL CONDITION. AT NO COST TO OWNER.
14. CONTRACTOR IS RESPONSIBLE FOR FENCING AND SECURITY OF HIS LAYDOWN AND STORAGE AREA.
15. THE CONTRACTOR IS REQUIRED TO MEET ALL APPLICABLE FEDERAL, OSHA, STATE AND LOCAL REGULATIONS CONCERNING PROJECT SAFETY AND ASSUMES FULL RESPONSIBILITY FOR SAFETY ON THE PROJECT.
16. CONTRACTOR SHALL KEEP ALL ROADS FREE OF DIRT AND DEBRIS AT ALL TIMES.
17. CONTRACTOR SHALL PROTECT EXISTING PAVEMENTS AND UTILITIES FROM HEAVY EARTH MOVING EQUIPMENT. PROVIDE TRAFFIC CONTROL AND ADEQUATE PROTECTION METHODS AT ALL EQUIPMENT CROSSINGS.
18. ALL STRUCTURAL FILL MATERIAL SHALL BE FREE OF ALL STICKS, ROCKS, AND CLUMPS OF MUD. ALL ROCKS GREATER THAN 3" DURING EXCAVATION SHALL BE REMOVED.
19. CONCRETE SIDEWALKS THAT ARE TO BE REMOVED SHALL BE CUT BACK TO NEAREST EXPANSION OR CONTROL JOINT AND REPLACED WITH 4-INCH CONCRETE SIDEWALK FINISHED TO MATCH EXISTING SIDEWALKS.
20. CONTRACTOR TO COORDINATE WITH CITY OF RALEIGH FOR TEMPORARY WATER NEEDED DURING CONSTRUCTION. IF PERMITTED TO CONNECT TO EXISTING FIRE HYDRANT A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTER WILL BE REQUIRED.
21. THE TRANSITION OF PROPOSED ROADWAY TO EXISTING ROADWAY SHALL BE DONE WITH A MINIMUM 8-FT TRANSITION WHERE THE EXISTING PAVEMENT IS MILLED TO A MINIMUM DEPTH OF 1-1/2" AND OVERLAP.
22. ALL PAVEMENT SAW CUTS SHALL BE NEAT, STRAIGHT AND FULL DEPTH.
23. ALL RIP-RAP IS TO BE INSTALLED WITH NON-WOVEN FILTER FABRIC BENEATH (MIRAFI 140N OR APPROVED EQUAL).
24. HDPE PIPE SHALL BE ADS N-12 WT (ASTM D3212) OR APPROVED EQUAL INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS REQUIREMENTS AND RECOMMENDATIONS.
25. ALL SITE CONSTRUCTION MUST BE INSPECTED BY THE GEOTECHNICAL ENGINEER AT THE FOLLOWING STAGES:
 - A. COMPLETION OF GRADING SUBGRADE PRIOR TO PLACING STONE BASE.
 - B. COMPLETION OF STONE PLACEMENT PRIOR TO PAVING.
 - C. FINAL INSPECTION WHEN ALL WORK IS COMPLETE.

26. PRIOR TO PLACING CABG STONE BASE, THE CONTRACTOR SHOULD NOTIFY THE GEOTECHNICAL ENGINEER TO INSPECT THE PROOF ROLL OF THE SUBGRADE. ANY STONE PLACED WITHOUT PRIOR APPROVAL WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SUBJECT TO RE-CONSTRUCTION IF SUBGRADE DOES NOT MEET TOWN AND NCDOT STANDARDS & SPECIFICATIONS.
27. ALL UTILITY SERVICES, (POWER, TELEPHONE, CABLE, ETC.) ARE PROPOSED TO BE UNDERGROUND. THE CONTRACTOR SHALL COORDINATE WITH THE PRIVATE UTILITY SERVICE COMPANIES FOR ANY REQUIRED CONDUITS OR POINT OF CONTACT CONDITIONS.
28. ALL PUBLIC UTILITIES THAT REQUIRE AN ENGINEERING CERTIFICATION MUST BE INSPECTED BY A PROFESSIONAL ENGINEER ON A PERIODIC BASIS. THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER WHEN INSTALLING UTILITIES FOR PERIODIC INSPECTIONS. THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER AT THE TIME OF PRESSURE TESTING AND WATER LINE DISINFECTION. THE CONTRACTOR SHALL SUPPLY THE PROJECT ENGINEER PRESSURE TEST RESULTS.
29. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS AND FIELD CONDITIONS WHEN POSSIBLE, BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS WELL IN ADVANCE OF TRENCHING. IF THE CLEARANCES ARE LESS THAN SPECIFIED ON THE PLANS OR 12 INCHES, WHICH EVER IS LESS, CONTACT THE PROJECT ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
30. THE CONTRACTOR SHALL INCLUDE IN HIS CONTRACT PRICE THE REMOVAL AND DISPOSAL, TO AN APPROVED NCDENR LOCATION, OF ANY EXCESS TOPSOIL OR UNCLASSIFIED EXCAVATION HE DETERMINES IS NOT REQUIRED TO PERFORM THE FINAL GRADING AND LANDSCAPING OPERATION.
31. THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE DAILY RECORD KEEPING OF THE AS-BUILT CONDITION OF ALL OF THE UNDERGROUND UTILITIES, CONSTRUCTION STAKEOUT ASSOCIATED WITH THE PROJECT. PREPARATION OF THE NECESSARY/REQUIRED AS-BUILT PLANS TO BE SUBMITTED TO TOWN OF ROLESVILLE AND/OR CITY RALEIGH PUBLIC UTILITIES AND/OR ALL OTHER INFORMATION REQUIRED IN CONNECTION WITH RELEASE OF BONDS.
32. THE CONTRACTOR SHALL INCLUDE IN THE PRICE, ANY AND ALL COSTS ASSOCIATED WITH PROVIDING A PROFESSIONAL ENGINEER ON SITE IF REQUIRED, DURING THE CONSTRUCTION OF THE STORMWATER MANAGEMENT FACILITIES, UNDERGROUND UTILITIES, ETC. AS REQUIRED FOR AS-BUILT CERTIFICATION.
33. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL REQUIRED/NECESSARY SHEETING, SHORING, AND SPECIAL EXCAVATION MEASURES REQUIRED ON THE PROJECT TO MEET OSHA, FEDERAL, STATE AND LOCAL REGULATIONS PURSUANT TO THE INSTALLATION OF THE WORK INDICATED ON THE DRAWINGS. NCDOT, TOWN OF ROLESVILLE, CITY OF RALEIGH, & ENGINEER OF RECORD ACCEPT NO RESPONSIBILITY FOR THE DESIGN TO INSTALL SAID ITEMS.
34. TESTING BY CONTRACTOR: CONTRACTOR SHALL EMPLOY AT HIS EXPENSE AN OUTSIDE INDEPENDENT SOIL TESTING SERVICE (APPROVED BY THE OWNER) TO PERFORM SOIL TESTING AND INSPECTION SERVICE FOR QUALITY CONTROL TESTING DURING EARTHWORK OPERATIONS. COPIES OF RESULTS OF TESTS SHALL BE SUBMITTED BY THE TESTING SERVICE DIRECTLY TO THE CONTRACTOR, THE OWNER, AND THE APPLICABLE APPROVING AGENCY. --THE TESTING SERVICE WILL CLASSIFY PROPOSED ON-SITE AND BORROW SOILS TO VERIFY THAT SOILS COMPLY WITH SPECIFIED REQUIREMENTS AND TO PERFORM REQUIRED FIELD AND LABORATORY TESTING. (MINIMUM REQUIRED SOIL BEARING CAPACITY IS NOTED ON THE STRUCTURAL DRAWINGS). --IN PAVED AND BUILDING SLAB AREAS, THE TESTING SERVICE SHALL MAKE AT LEAST ONE FIELD DENSITY TEST FOR EACH 2000 SQUARE FEET OF FILL IN EACH COMPACTED FILL LAYER. IF A TEST SHOULD FAIL TO MEET REQUIRED DENSITY, THE CONTRACTOR SHALL RE-COMPACT THAT LAYER. THE SOIL TESTING SERVICE SHALL PERFORM ADDITIONAL TESTS AT THE CONTRACTOR'S EXPENSE TO SHOW THAT THE FAILED LAYER HAS REACHED THE REQUIRED COMPACTION. --IN FOUNDATION WALL AREAS, THE TESTING SERVICE SHALL MAKE AT LEAST ONE FIELD DENSITY TEST FOR EACH 100 FEET OR LESS OF WALL LENGTH OF FILL IN EACH COMPACTED FILL LAYER, WITH NO LESS THAN TWO TESTS ALONG A WALL FACE. IF A TEST SHOULD FAIL TO MEET REQUIRED DENSITY, THE CONTRACTOR SHALL RE-COMPACT THAT LAYER. THE SOIL TESTING SERVICE SHALL PERFORM ADDITIONAL TESTS AT THE CONTRACTOR'S EXPENSE TO SHOW THAT THE FAILED LAYER HAS REACHED THE REQUIRED COMPACTION.
35. COMPACTION: COMPACT EACH LAYER OF BACKFILL AND FILL SOIL MATERIALS AND THE TOP 12" OF SUBGRADE IN CUT AREAS TO 98% OF MAXIMUM DENSITY IN ACCORDANCE WITH AASHTO T99 FOR STRUCTURES, SLABS, AND PAVEMENTS AND 95% OF MAXIMUM DENSITY FOR EMBANKMENTS OR UNPAVED AREAS. MAX LIFT THICKNESS FOR FILL AREAS IS 8 INCHES.
36. DESIGN/FIELD CONDITIONS QUITE EASILY MAY VARY FROM THAT REPRESENTED IN THE INITIAL SOILS REPORT AND/OR TOPOGRAPHICAL REPORT. ISOLATED AREAS MAY SHOW UP WEAK AND ADVERSE SOILS OR GROUNDWATER CONDITIONS MAY BE DISCOVERED THAT WERE NOT REVEALED DURING THE INITIAL SOILS INVESTIGATION. THEREFORE, THE OWNER/CLIENT IS TO BE AWARE THAT ENGINEER OF RECORD WILL NOT AND CANNOT BE HELD RESPONSIBLE FOR ANY FAILURES TO EITHER A STREET OR PARKING LOT PAVEMENT DESIGN UNLESS WE CAN BE FULLY AND TOTALLY INVOLVED IN THE CONSTRUCTION PROCESS WHICH MAY INCLUDE, BUT MAY NOT NECESSARILY BE LIMITED TO, TESTING SUBGRADE AND BASE DENSITY, ENGAGING THE GEOTECHNICAL ENGINEER FOR THE EVALUATION OF THE SUBGRADE AND FOR THE OBSERVATION OF PROOF ROLLING SUBGRADE AND BASE AT VARIOUS STEPS OF CONSTRUCTION, OPPORTUNITY FOR THE DESIGN ENGINEER TO CALL IN A GEOTECHNICAL ENGINEER FOR CONSULTATION AND ADVICE, ETC. - STEPS WHICH TAKEN ALTOGETHER WITH THE INITIAL DESIGN SHOWN ON THE PLANS, CONSTITUTE THE COMPLETE DESIGN OF THE ROAD, STREET OF PARKING AREA (PRIVATE OR PUBLIC), THE DESIGN ENGINEER MUST BE GIVEN THE FULL LATITUDE AND OPPORTUNITY TO COMPLETE THE DESIGN BY FULLY PARTICIPATING IN THE CONSTRUCTION PROCESS. PLAN DESIGN IS A SMALL PORTION OF THE DESIGN AND CANNOT BE SEPARATED FROM THE CONSTRUCTION PROCESS IF THE OWNER'S/CLIENT'S DESIRE IS TO HAVE THE DESIGN ENGINEER STAND BEHIND THE COMPLETED DESIGNED PROJECT.
37. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDING PADS.
38. THE SITE PREVIOUSLY CONTAINED RESIDENTIAL / FARM STRUCTURES CONTRACTOR RESPONSIBLE FOR REMOVAL OF ANY FOUNDATIONS AND SEPTIC SYSTEMS PER NCDNR REQUIREMENTS.

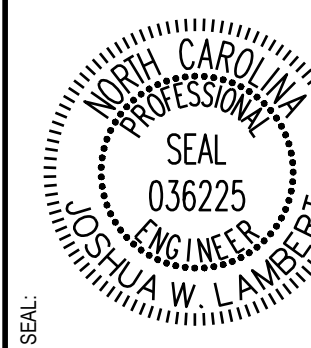

GENERAL ABBREVIATIONS:

IDENTIFIER	DESCRIPTION
&	AND
CL	CENTERLINE
Ø	DIAMETER OR ROUND
PL	PROPERTY LINE
ABC	AGGREGATE BASE ASPH ASPHALT
AVE	AVENUE
BLVD	BOULEVARD
BLDG	BUILDING
BOC	BACK OF CURB
BW	BOTTOM OF WALL
CB	CATCH BASIN
CI	CURB INLET
CIP	CAST IRON PIPE
CLS	CLASS
CJ	CONTROL JOINT
CO	CLEANOUT
CONC	CONCRETE
DI	DROP INLET
DIA	DIAMETER
DIP	DUCTILE IRON PIPE
DOM	DOMESTIC
DR	DRIVE
(XX)	EXISTING ELEVATION
E	EAST, EASTING
EL	ELEVATION
EJ	EXPANSION JOINT
EOP	EDGE OF PAVEMENT
EX	EXISTING
EVAP	EVAPORATIVE
FDC	FIRE DEPARTMENT CONNECTION
FES	FLARED END SECTION
FFE	FINISHED FLOOR ELEVATION
FG	FINISHED GRADE
FHA	FIRE HYDRANT ASSEMBLY
FL	FLOW LINE
FT	FOOT OR FEET
G	GAS
GALV	GALVANIZED
GB	GRADE BREAK
GE	GENERAL ELECTRIC
GR	GRADE
HDPE	HIGH DENSITY POLYETHYLENE
HORIZ	HORIZONTAL
HOV	HIGH OCCUPANCY VEHICLE
HP	HIGH POINT
IAW	IN ACCORDANCE WITH
I.H.	INTERSTATE HIGHWAY
INV	INVERT
LEN	LENGTH

GENERAL ABBREVIATIONS:

IDENTIFIER	DESCRIPTION
LEV	LOW EMISSION VEHICLE
LF	LINEAR FEET
LP	LOW POINT
MAX	MAXIMUM
MH	MANHOLE
MIN	MINIMUM
N	NORTH, NORTHING
NCDENR	NORTH CAROLINA DEPARTMENT OF ENVIRONMENT & NATURAL RESOURCES
NCDOT	NORTH CAROLINA DEPARTMENT OF TRANSPORTATION
NTS	NOT TO SCALE
OH	OVERHEAD
OCB	OFF-SET CATCH BASIN
PCC	PORTLAND CEMENT CONCRETE
PE	POLYETHYLENE
PKWY	PARKWAY
POC	POINT OF CONNECTION
PVC	POLYVINYL CHLORIDE
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
R.O.W	RIGHT OF WAY
RPDA	REDUCED PRESSURE DETECTOR ASSEMBLY
RPZ	REDUCED PRESSURE ZONE
S	SOUTH
SD	STORM DRAIN
SDMH	STORM DRAIN MANHOLE
SDE	SIGHT DISTANCE EASEMENT
SSMH	SANITARY SEWER MANHOLE
SS	SANITARY SEWER
STA	STATION
STD	STANDARD
ST.STL	STAINLESS STEEL
SWPPP	STORMWATER POLLUTION PREVENTION PLAN
TB	TOP OF BARRIER
TCTOC	TOP OF CURB
TD	TEMPORARY DIVERSION
TH	TEST HEADER
TOP	TOP OF PIPE
TP	TOP OF PAD
TYP	TYPICAL
TW	TOP OF WALL
UG	UNDERGROUND
VEG	VEGETATED
VERT	VERTICAL
W	WEST
W/	WITH
W/O	WITHOUT
YI	YARD INLET
CRZ	CRITICAL ROOT ZONE

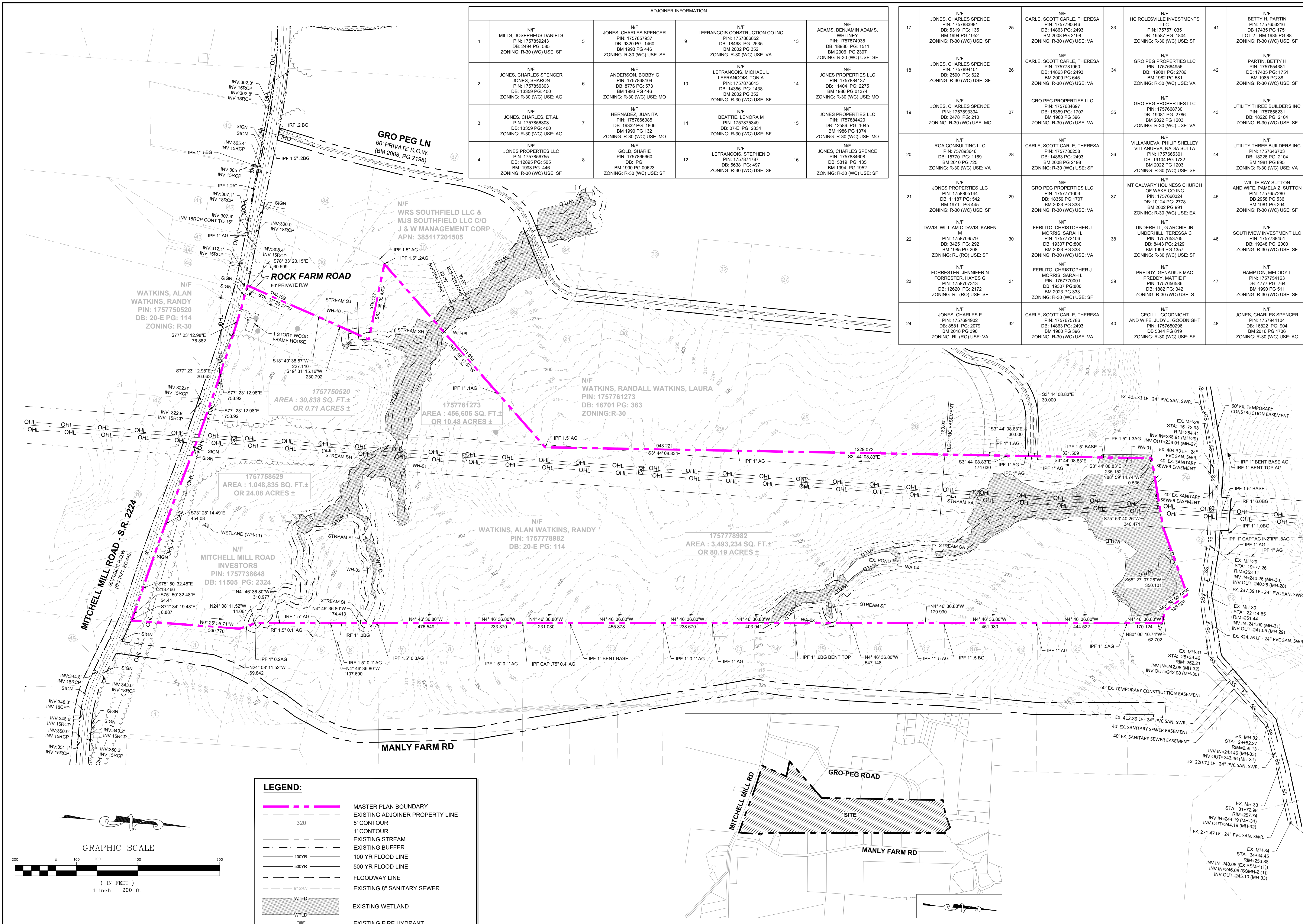
** ALL SYMBOLS & ABBREVIATIONS SHOWN ON THIS SHEET MAY OR MAY NOT BE USED IN THIS DRAWING PACKAGE **

TOWN OF ROLESVILLE V1-FSP-24-03 TOWN OF ROLESVILLE V2-FSP-24-03	06/30/2024 08/30/2024	0 1	1 2 3 4 5 6 7 8 9 10 11 12	REVISIONS NO	DATE BY
					
					
STRONG ROCK ENGINEERING GROUP, PLLC COMPANY LICENSE # P-2166 305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 INFORMATION@STRONGROCKGROUP.COM					
STRONG ROCK PROJECT NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL	

HILLS AT HARRIS CREEK
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
CIVIL NOTES

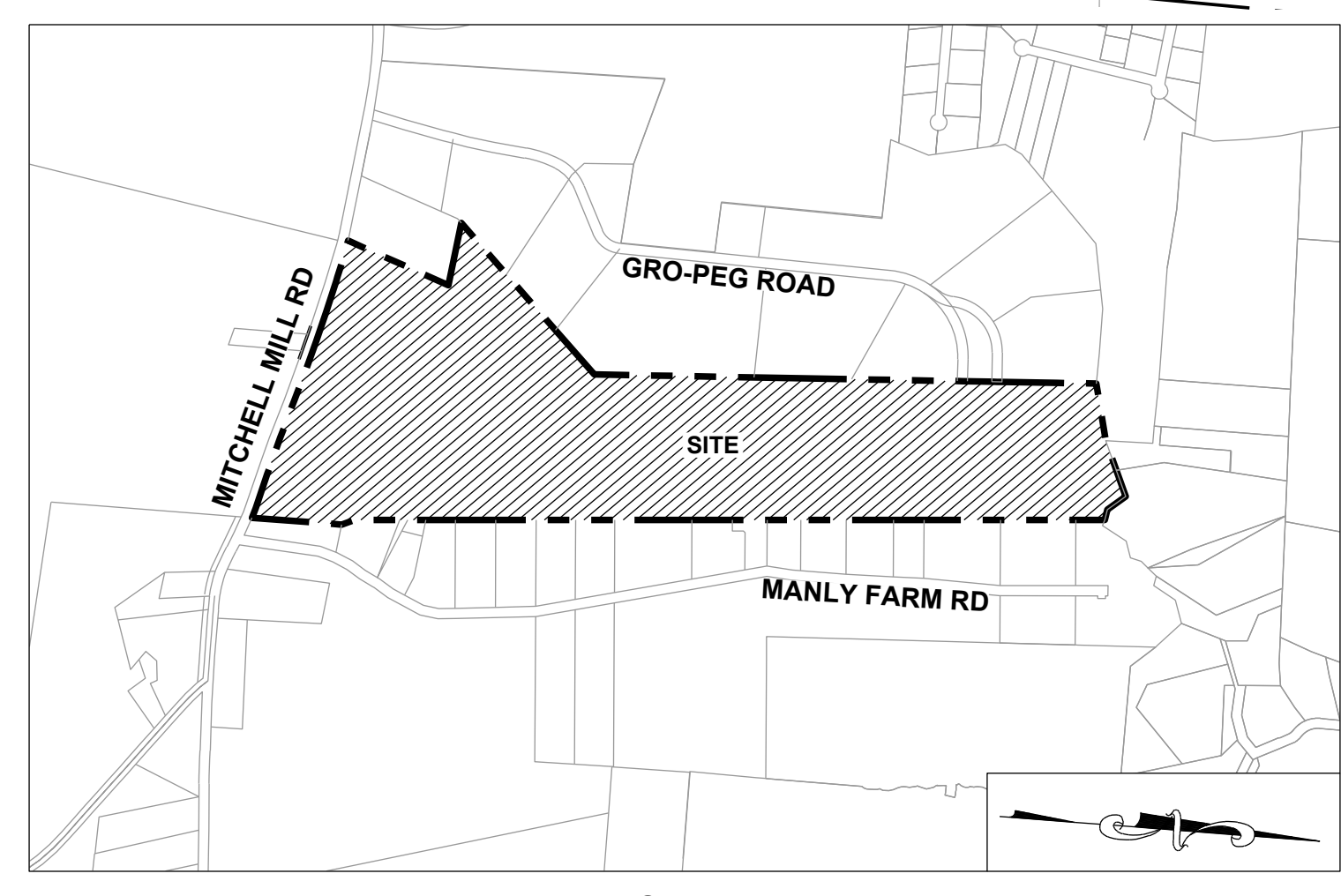
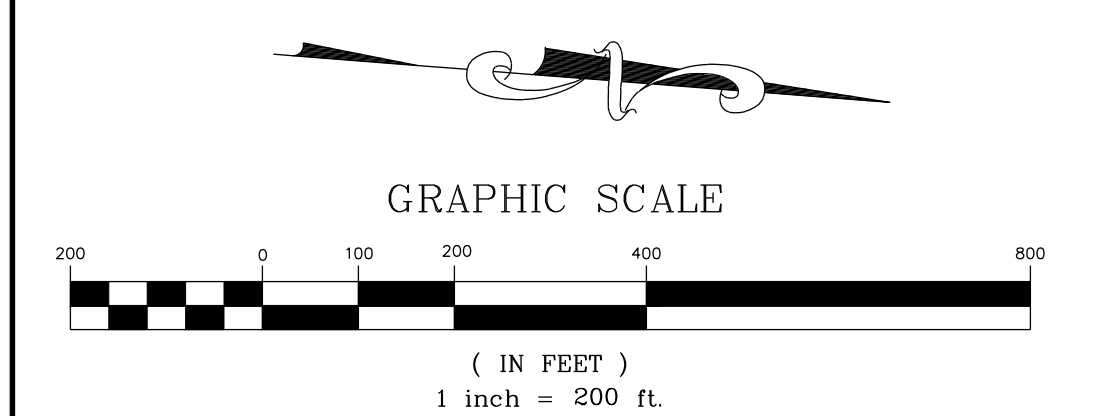
ADJOINER INFORMATION					
1	N/F MILLS, JOSEPHUS DANIELS PIN: 172785243 DB: 2494 PG: 585 ZONING: R-30 (WC) USE: SF	5	N/F JONES, CHARLES SPENCER PIN: 1757857937 DB: 6320 PG: 1460 BM 1993 PG 446 ZONING: R-30 (WC) USE: SF	9	N/F LEFRANCOIS CONSTRUCTION CO INC PIN: 1757866652 DB: 18468 PG: 2935 BM 2002 PG 352 ZONING: R-30 (WC) USE: VA
2	N/F JONES, CHARLES SPENCER PIN: 1757856303 DB: 13359 PG: 400 ZONING: R-30 (WC) USE: AG	6	N/F ANDERSON, BOBBY G PIN: 1757868104 DB: 6776 PG: 573 BM 1993 PG 446 ZONING: R-30 (WC) USE: MO	10	N/F LEFRANCOIS, MICHAEL L PIN: 1757876015 DB: 14358 PG: 1458 BM 2002 PG 352 ZONING: R-30 (WC) USE: SF
3	N/F JONES, CHARLES, ET AL PIN: 1757856303 DB: 13359 PG: 400 ZONING: R-30 (WC) USE: AG	7	N/F HERNANDEZ, JUANITA PIN: 1757866385 DB: 19332 PG: 1806 BM 1990 PG 132 ZONING: R-30 (WC) USE: MO	11	N/F BEATTIE, LENORA M PIN: 1757875349 DB: 07-E PG: 2834 ZONING: R-30 (WC) USE: SF
4	N/F JONES PROPERTIES LLC PIN: 1757856303 DB: 12895 PG: 505 BM: 1993 PG: 446 ZONING: R-30 (WC) USE: SF	8	N/F GOLD, SHARIE PIN: 1757866690 DB: PG: BM 1990 PG 00623 ZONING: R-30 (WC) USE: SF	12	N/F LEFRANCOIS, STEPHEN D PIN: 1757874787 DB: 5638 PG: 487 ZONING: R-30 (WC) USE: SF
13	N/F ADAMS, BENJAMIN ADAMS, WHITNEY PIN: 1757874938 DB: 18930 PG: 1511 BM 2006 PG 2397 ZONING: R-30 (WC) USE: SF	14	N/F JONES PROPERTIES LLC PIN: 1757864137 DB: 11404 PG: 2275 BM 1986 PG 01374 ZONING: R-30 (WC) USE: MO	15	N/F JONES PROPERTIES LLC PIN: 1757864137 DB: 12589 PG: 1045 BM 1986 PG 1374 ZONING: R-30 (WC) USE: MO
16	N/F JONES, CHARLES SPENCER PIN: 1757864608 DB: 5319 PG: 135 BM 1994 PG 1952 ZONING: R-30 (WC) USE: SF	17	N/F JONES, CHARLES SPENCER PIN: 1757864608 DB: 5319 PG: 135 BM 1994 PG 1952 ZONING: R-30 (WC) USE: SF	18	N/F JONES, CHARLES SPENCER PIN: 1757864101 DB: 2590 PG: 622 ZONING: R-30 (WC) USE: SF

17	N/F JONES, CHARLES SPENCER PIN: 1757864608 DB: 5319 PG: 135 BM 1994 PG 1952 ZONING: R-30 (WC) USE: SF	25	N/F CARLE, SCOTT CARLE, THERESA PIN: 175790646 DB: 14863 PG: 2493 BM 2008 PG 2198 ZONING: R-30 (WC) USE: VA	33	N/F HC ROLESVILLE INVESTMENTS LLC PIN: 1757571035 DB: 17435 PG 1751 LOT 2 - BM 1985 PG 88 ZONING: R-30 (WC) USE: SF	41	N/F BETTY H FARTIN LLC PIN: 1757563216 DB: 17435 PG 1751 LOT 2 - BM 1985 PG 88 ZONING: R-30 (WC) USE: SF
18	N/F JONES, CHARLES SPENCER PIN: 1757864101 DB: 2590 PG: 622 ZONING: R-30 (WC) USE: SF	26	N/F CARLE, SCOTT CARLE, THERESA PIN: 1757864101 DB: 14863 PG: 2493 BM 2009 PG 645 ZONING: R-30 (WC) USE: VA	34	N/F GRO PEG PROPERTIES LLC PIN: 1757864956 DB: 19081 PG: 2786 BM 1982 PG 581 ZONING: R-30 (WC) USE: VA	42	N/F FARTIN, BETTY H PIN: 1757563216 DB: 17435 PG: 1751 BM 1985 PG 88 ZONING: R-30 (WC) USE: SF
19	N/F JONES, CHARLES SPENCER PIN: 1757864101 DB: 2590 PG: 622 ZONING: R-30 (WC) USE: SF	27	N/F GRO PEG PROPERTIES LLC PIN: 1757864956 DB: 19081 PG: 2786 BM 2022 PG 1203 ZONING: R-30 (WC) USE: VA	35	N/F GRO PEG PROPERTIES LLC PIN: 1757864956 DB: 19081 PG: 2786 BM 2022 PG 1203 ZONING: R-30 (WC) USE: VA	43	N/F UTILITY THREE BUILDERS INC PIN: 1757658231 DB: 18226 PG: 2104 ZONING: R-30 (WC) USE: SF
20	N/F RGA CONSULTING LLC PIN: 1757863646 DB: 15720 PG: 1169 BM 2010 PG 325 ZONING: R-30 (WC) USE: VA	28	N/F CARLE, SCOTT CARLE, THERESA PIN: 1757864101 DB: 14863 PG: 2493 BM 2008 PG 2198 ZONING: R-30 (WC) USE: SF	36	N/F VILLANUEVA, PHILIP SHELLEY VILLANUEVA, NADIA SULTA PIN: 1757665301 DB: 19104 PG: 1732 BM 2022 PG 1203 ZONING: R-30 (WC) USE: SF	44	N/F UTILITY THREE BUILDERS INC PIN: 1757658231 DB: 18226 PG: 2104 BM 1981 PG 895 ZONING: R-30 (WC) USE: VA
21	N/F JONES PROPERTIES LLC PIN: 1757865144 DB: 11187 PG: 542 ZONING: R-30 (WC) USE: SF	29	N/F GRO PEG PROPERTIES LLC PIN: 175771603 DB: 18359 PG: 1707 BM 2023 PG 333 ZONING: R-30 (WC) USE: VA	37	N/F MT CALVARY HOLINESS CHURCH OF WAKE CO INC PIN: 1757690324 DB: 10124 PG: 2778 BM 2002 PG 991 ZONING: R-30 (WC) USE: EX	45	N/F WILLIE RAY SUTTON AND WIFE, PAMELA Z SUTTON PIN: 1757652780 DB: 2958 PG: 536 BM 1981 PG 284 ZONING: R-30 (WC) USE: SF
22	N/F DAVIS, WILLIAM C DAVIS, KAREN PIN: 1757870579 DB: 3425 PG: 292 BM 1983 PG 333 ZONING: RL (RO) USE: SF	30	N/F FERLITO, CHRISTOPHER J MORRIS, SARAH L PIN: 175772106 DB: 19307 PG: 800 BM 2023 PG 333 ZONING: RL (RO) USE: VA	38	N/F UNDERHILL, G ARCHIE JR TERESSA C PIN: 1757653765 DB: 8443 PG: 2129 BM 1989 PG 1357 ZONING: R-30 (WC) USE: SF	46	N/F SOUTHVIEW INVESTMENT LLC PIN: 1757738451 DB: 19248 PG: 2000 ZONING: R-30 (WC) USE: SF
23	N/F FORRESTER, JENNIFER N FORRESTER, HAYES G PIN: 1758707313 DB: 1820 PG: 2172 ZONING: RL (RO) USE: SF	31	N/F FERLITO, CHRISTOPHER J MORRIS, SARAH L PIN: 175770301 DB: 19307 PG: 800 BM 2023 PG 333 ZONING: RL (RO) USE: SF	39	N/F PREDDY, GENADIUS MAC PREDDY, MATTIE F PIN: 1757656586 DB: 1882 PG: 342 ZONING: R-30 (WC) USE: S	47	N/F HAMPTON, MELODY L PIN: 1757541663 DB: 4777 PG: 764 BM 1990 PG 511 ZONING: R-30 (WC) USE: SF
24	N/F JONES, CHARLES E PIN: 175764902 DB: 6581 PG: 2079 BM 2016 PG 390 ZONING: RL (RO) USE: VA	32	N/F CARLE, SCOTT CARLE, THERESA PIN: 1757675786 DB: 14863 PG: 2493 BM 1980 PG 396 ZONING: R-30 (WC) USE: VA	40	N/F CECIL L GOODNIGHT AND WIFE, JUDY J GOODNIGHT PIN: 1757652296 DB: 5344 PG 819 ZONING: R-30 (WC) USE: SF	48	N/F JONES, CHARLES SPENCER PIN: 1757944104 DB: 16822 PG: 904 BM 2016 PG 1736 ZONING: R-30 (WC) USE: AG



LEGEND:

- MASTER PLAN BOUNDARY
- EXISTING ADJOINER PROPERTY LINE
- 5' CONTOUR
- 1' CONTOUR
- EXISTING STREAM
- EXISTING BUFFER
- EXISTING FLOOD LINE
- 100 YR FLOOD LINE
- 500 YR FLOOD LINE
- FLOODWAY LINE
- EXISTING 8" SANITARY SEWER
- EXISTING WETLAND
- EXISTING FIRE HYDRANT



NO.	REVISIONS	DATE	BY
0			
1			

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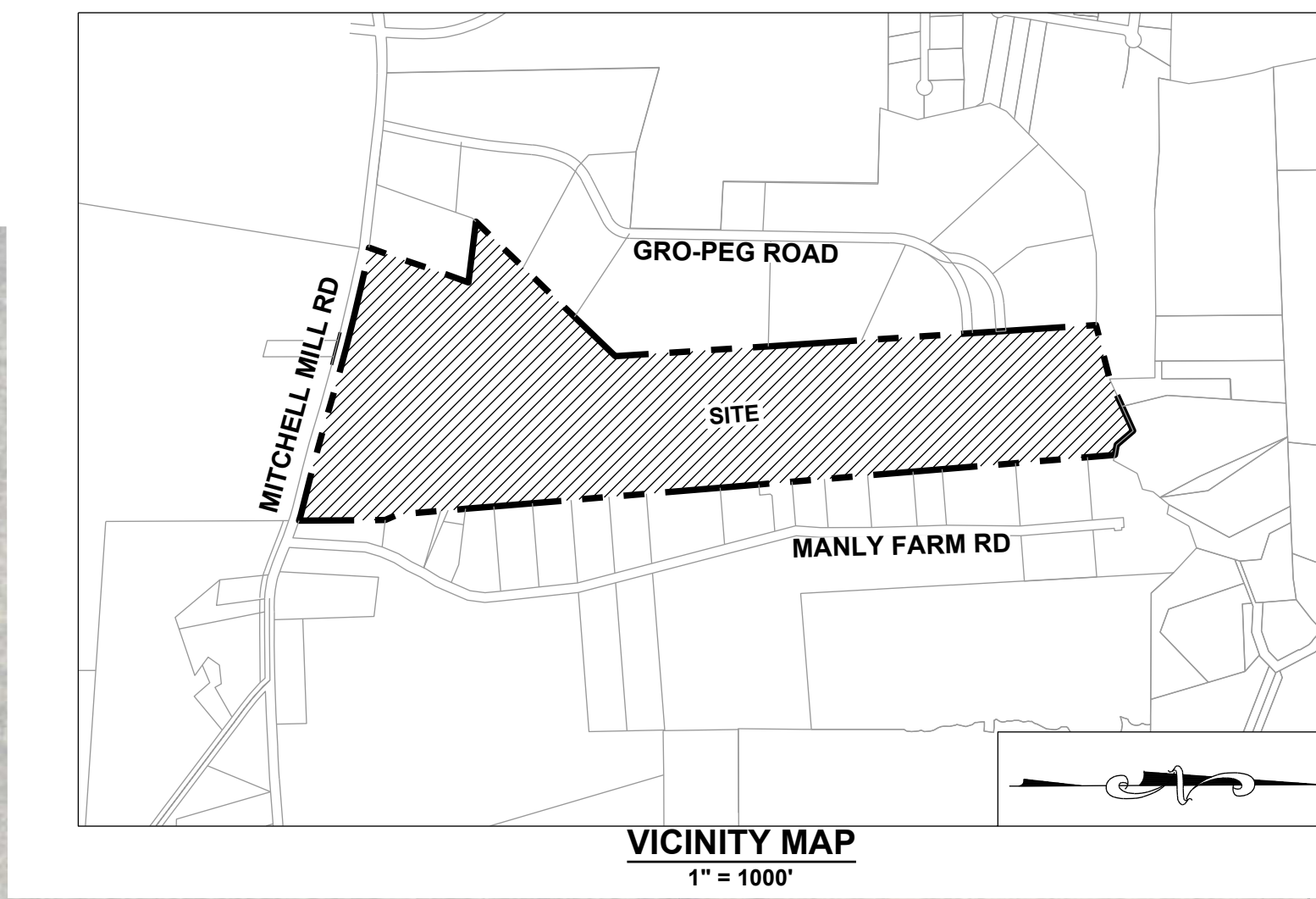
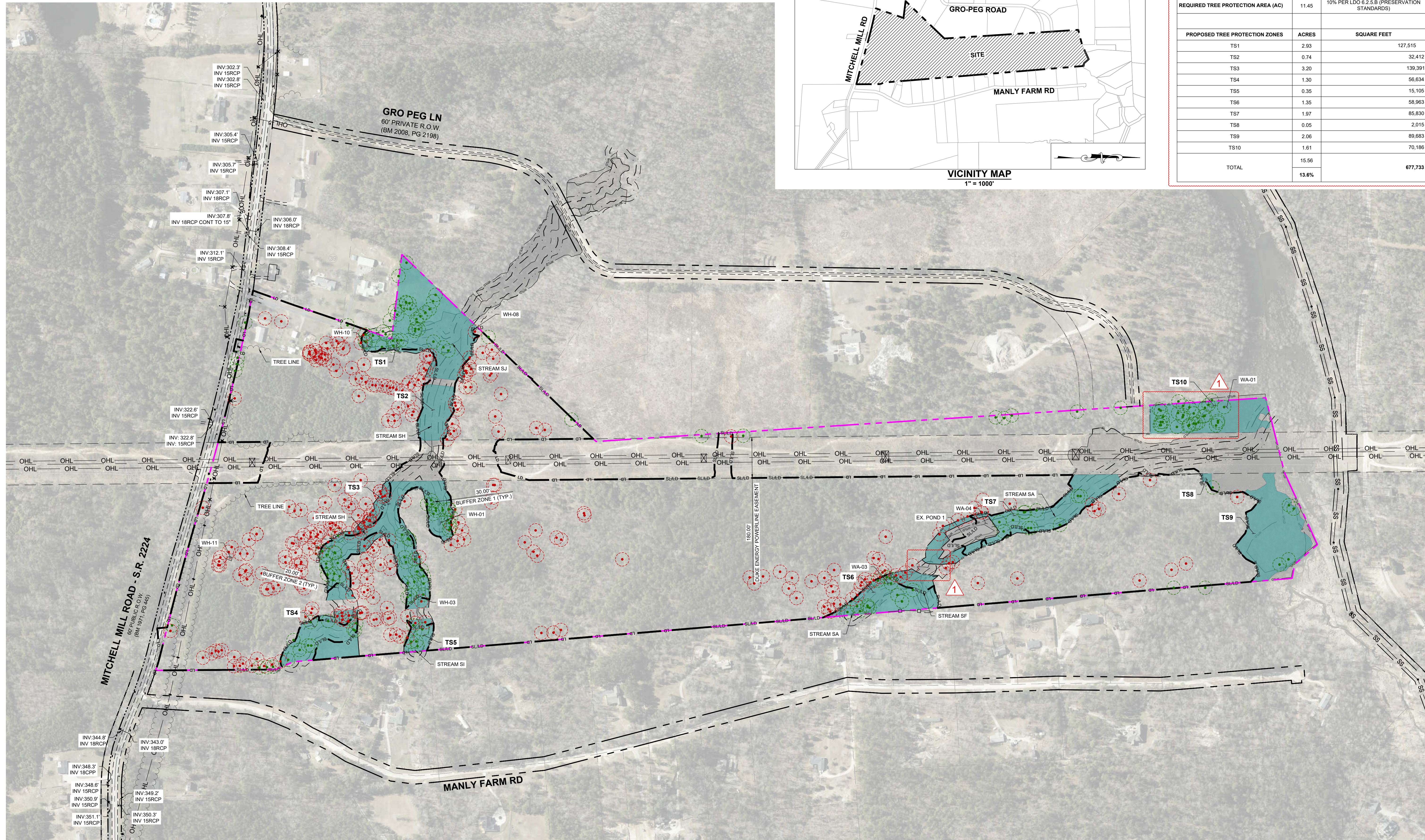
HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

EXISTING CONDITIONS PLAN

DRAWING SHEET
C-3.0

07 OF 57

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VEGETATION PRESERVATION CALCULATIONS		
PROJECT: SECTION 1		
ZONING:	RM - CZ	
TOTAL SITE AREA:	114.47	
REQUIRED TREE PROTECTION AREA (AC)	11.45	10% PER LDO 6.2.5.B (PRESERVATION STANDARDS)
PROPOSED TREE PROTECTION ZONES	ACRES	SQUARE FEET
TS1	2.93	127,515
TS2	0.74	32,412
TS3	3.20	139,391
TS4	1.30	56,634
TS5	0.35	15,105
TS6	1.35	58,963
TS7	1.97	85,830
TS8	0.05	2,015
TS9	2.06	89,683
TS10	1.61	70,186
TOTAL	15.56	677,733
	13.6%	

NO.	REVISIONS	DATE	BY
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1			

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STRONGROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	JWL	SRG	JWL
DESIGNED BY	DRAWN BY	CHECKED BY			

HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

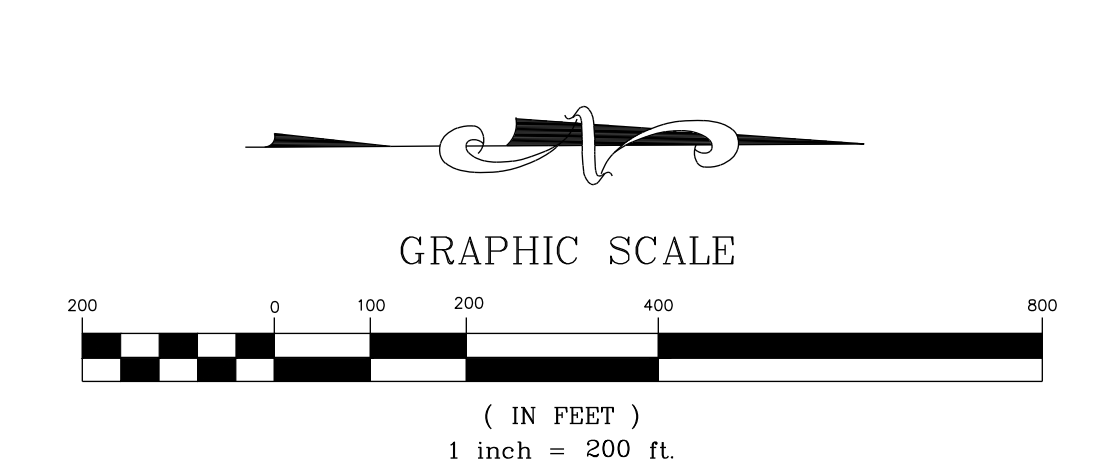
TREE PROTECTION PLAN

DRAWING SHEET
C-3.1

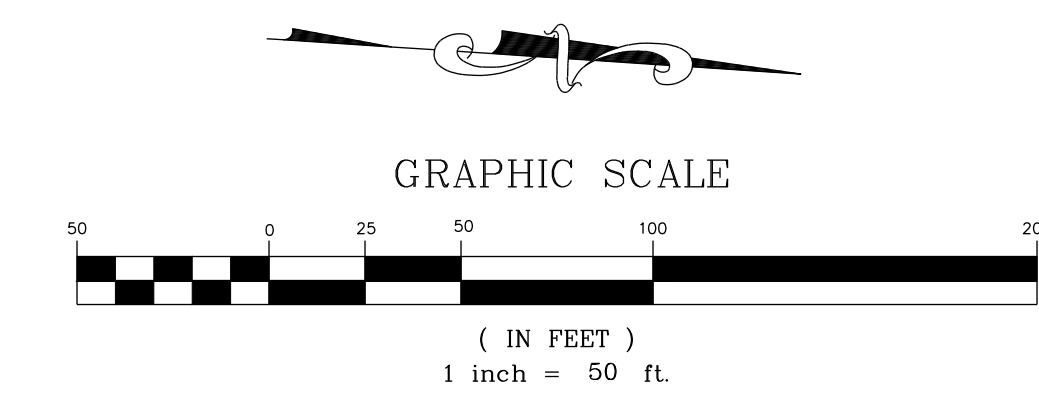
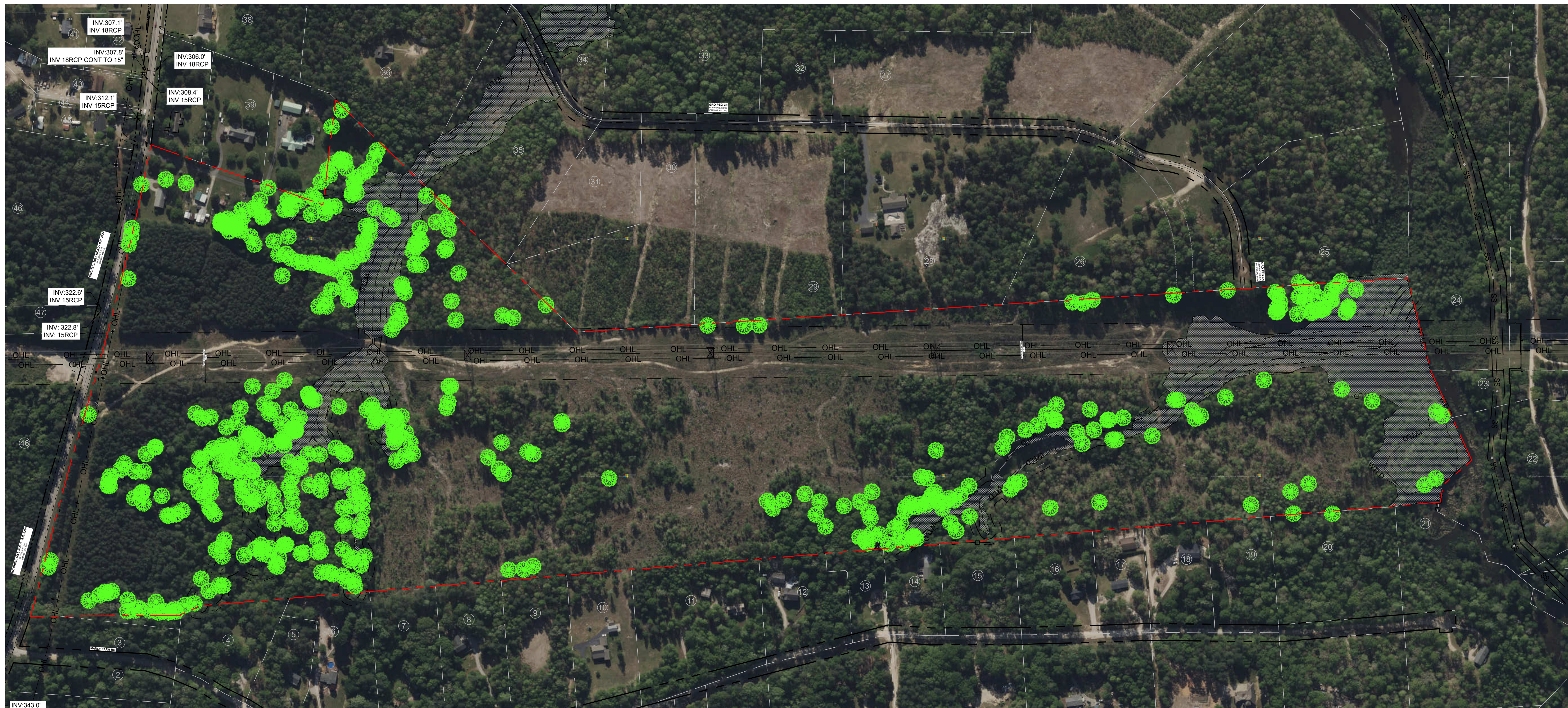
08 OF 57

NOTES:
SEE SHEET C-3.0 FOR ADJACENT PROPERTY DETAILS

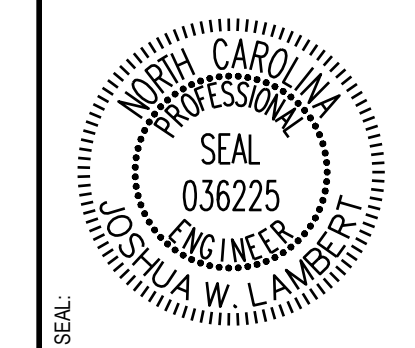
LEGEND:			
	PROPERTY LINE		TREES TO BE PRESERVED
	EXISTING ADJOINER PROPERTY LINE		TREES TO BE REMOVED
	EXISTING STREAM		CRZ FOR TREES TO BE PRESERVED
	EXISTING BUFFER		CRZ FOR TREES TO BE REMOVED
	FLOODWAY LINE		LIMIT OF DISTURBANCE
	EXISTING 8" SANITARY SEWER		SILT FENCE/LIMIT OF DISTURBANCE
	TREE PROTECTION FENCE		
	EXISTING FIRE HYDRANT		
	EXISTING WETLAND		
	TREE PROTECTION AREA - NC ZONE		



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No.	REVISIONS	DATE	BY
0			
1			



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STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL
---------------------	----------------------	----------------	-----------------	--------------	----------------

HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
OVERALL TREE INVENTORY MAP

DRAWING SHEET
C-3.2

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SITE KEY PLAN

LEGEND:

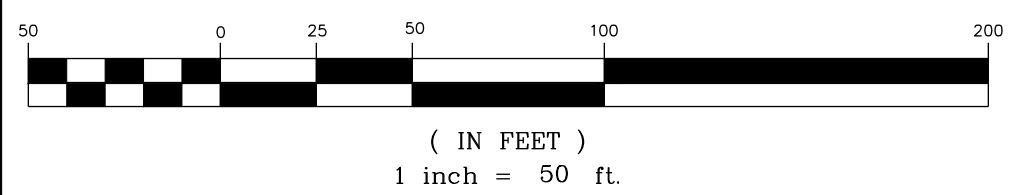
SEE SHEET C-3.11 FOR TREE LEGEND TABLES

NOTES:

SEE SHEET C-3.0 FOR ADJACENT PROPERTY DETAILS



GRAPHIC SCALE



FOR CONTINUATION, SEE C-3.5

NO.	REVISIONS	DATE	BY
0			
1			



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STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL
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HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

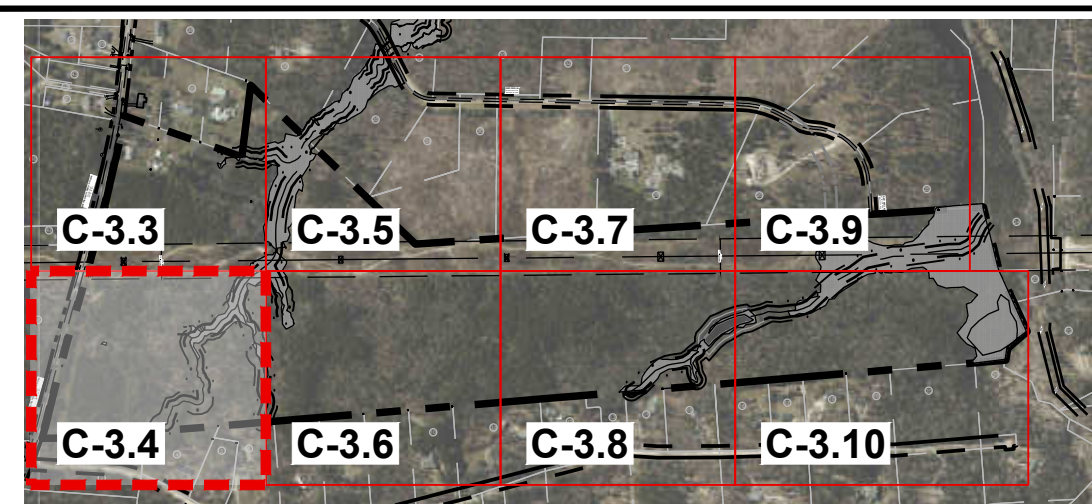
PARTIAL TREE INVENTORY MAP I

DRAWING SHEET
C-3.3

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FOR CONTINUATION, SEE C-3.3

MATCH LINE



SITE KEY PLAN

LEGEND:

SEE SHEET C-3.4 FOR TREE LEGEND TABLES

NOTES:

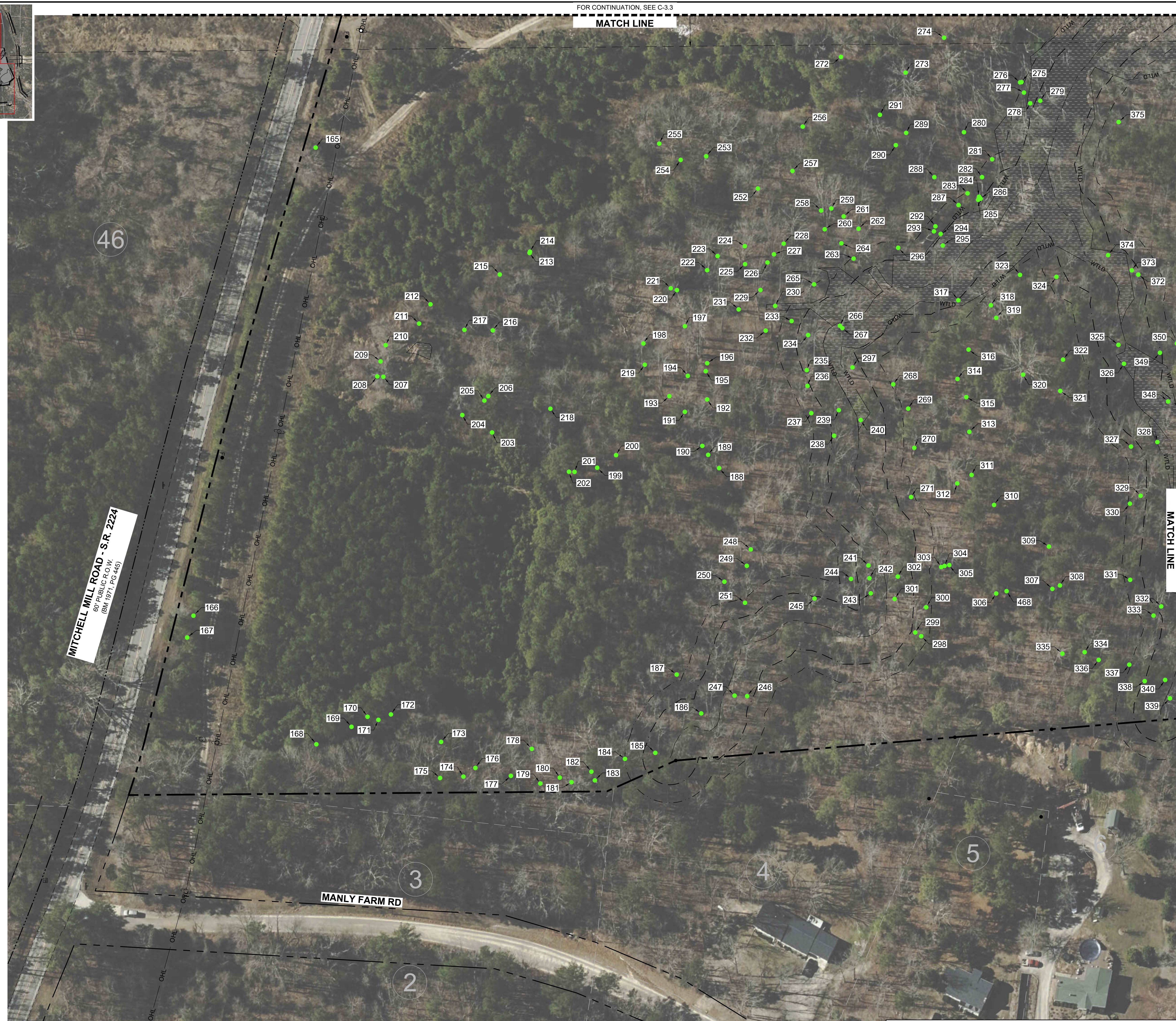
SEE SHEET C-3.0 FOR ADJACENT PROPERTY DETAILS



GRAPHIC SCALE



(IN FEET)
1 inch = 50 ft.

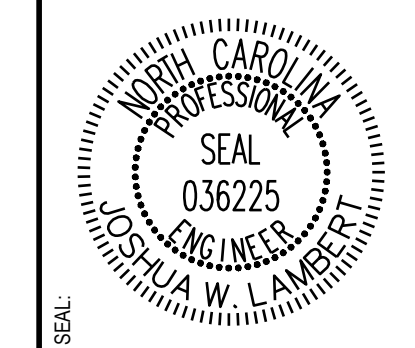


MITCHELL MILL ROAD - S.R. 2224
 80' PUBLIC R.O.W.
 (BM 1971, PG 445)

MANLY FARM RD

FOR CONTINUATION, SEE C-3.8
MATCH LINE

NO.	REVISIONS	DATE	BY
0			
1			



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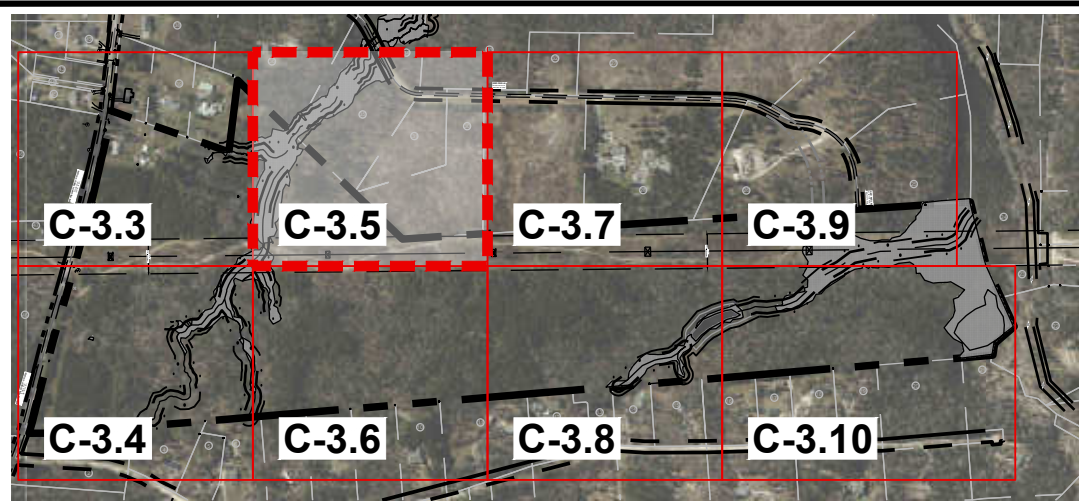
STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL
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HILLS AT HARRIS CREEK
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

PARTIAL TREE INVENTORY MAP II

DRAWING SHEET
C-3.4

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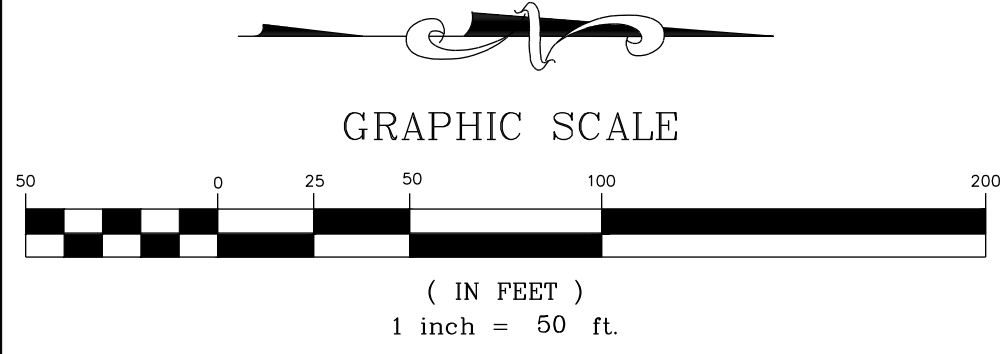
SITE KEY PLAN

LEGEND:

SEE SHEET C-3.11 FOR TREE LEGEND TABLES

NOTES:

SEE SHEET C-3.0 FOR ADJACENT PROPERTY DETAILS



FOR CONTINUATION, SEE C-3.3

MATCH LINE



MATCH LINE

FOR CONTINUATION, SEE C-3.6

FOR CONTINUATION, SEE C-3.7

MATCH LINE

NO.	REVISIONS	DATE	BY
0			
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STRONGROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL
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HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

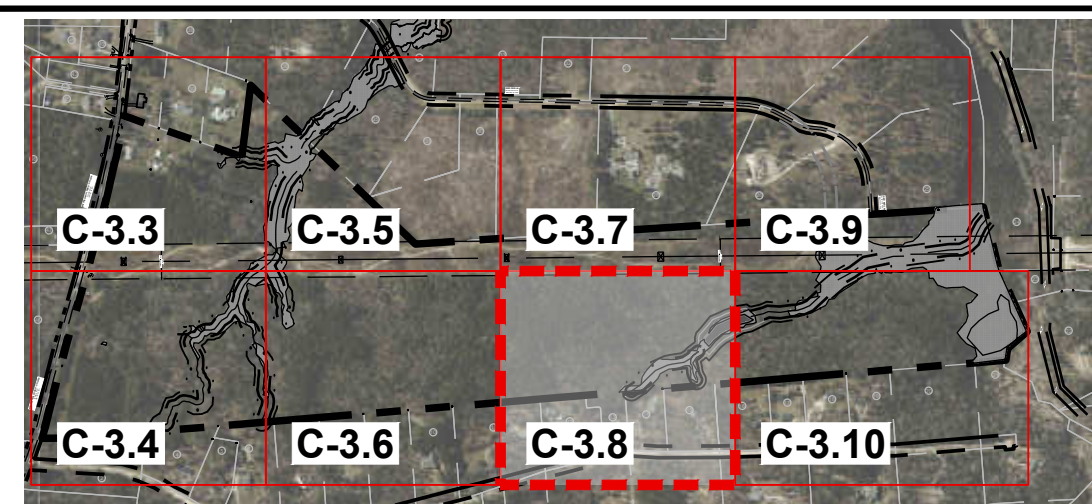
PARTIAL TREE INVENTORY MAP III

DRAWING SHEET
C-3.5

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FOR CONTINUATION, SEE C-3.7

MATCH LINE



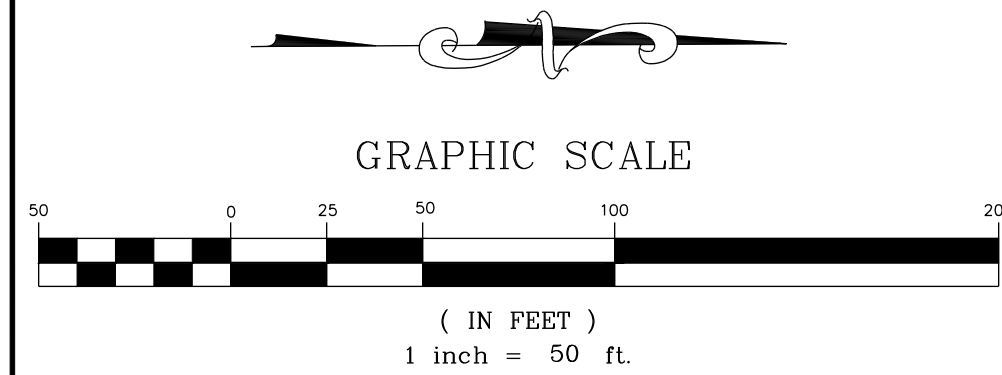
SITE KEY PLAN

LEGEND:

SEE SHEET C-3.11 FOR TREE LEGEND TABLES

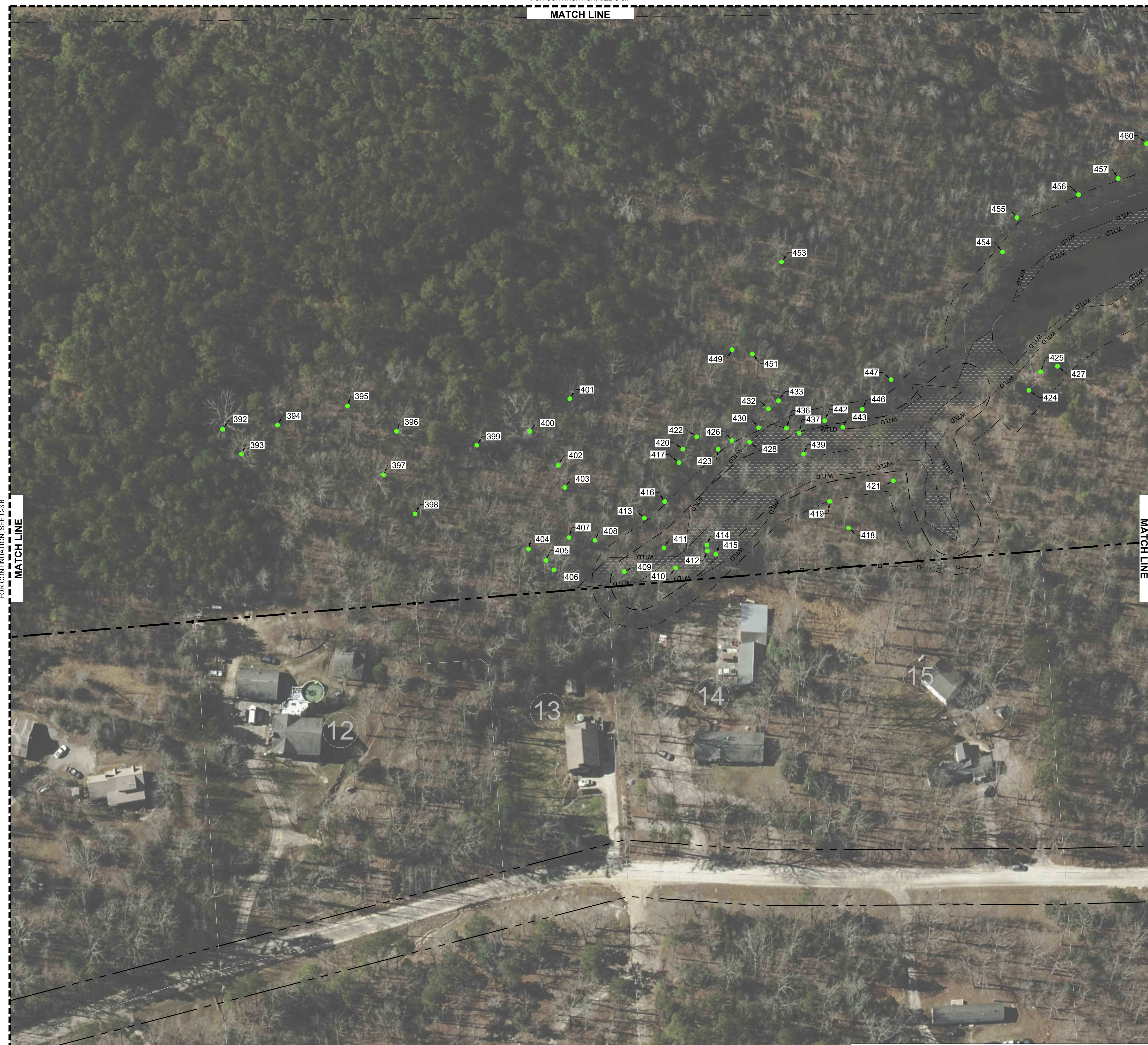
NOTES:

SEE SHEET C-3.0 FOR ADJACENT PROPERTY DETAILS



FOR CONTINUATION, SEE C-3.8

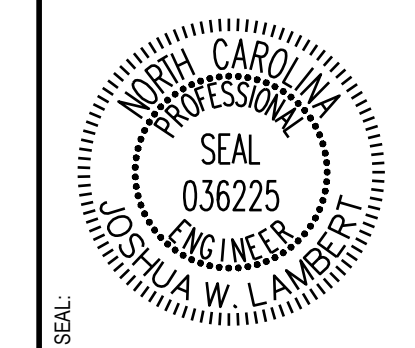
MATCH LINE



FOR CONTINUATION, SEE C-3.10

MATCH LINE

NO.	REVISIONS	DATE	BY
0			
1			



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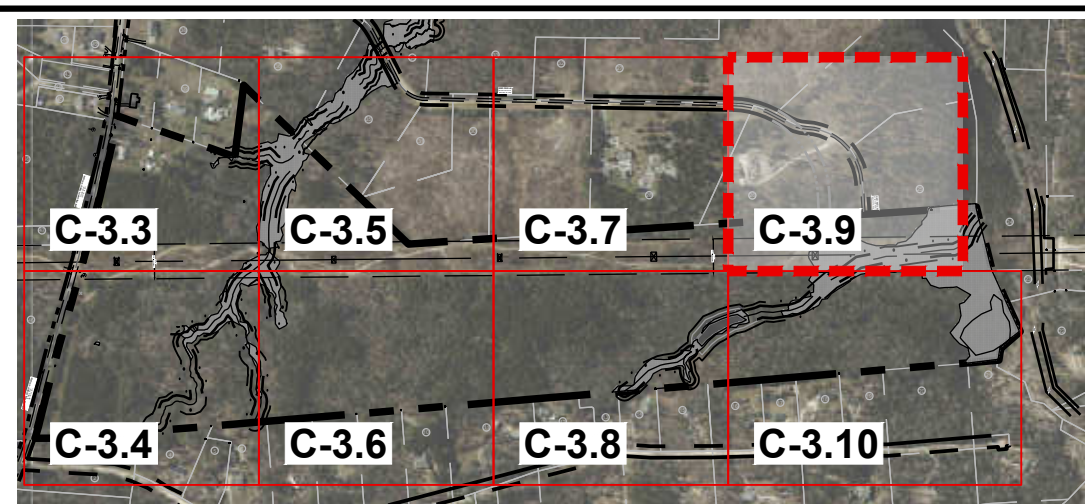
STRONGROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL
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HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

PARTIAL TREE INVENTORY MAP VI

DRAWING SHEET
C-3.8

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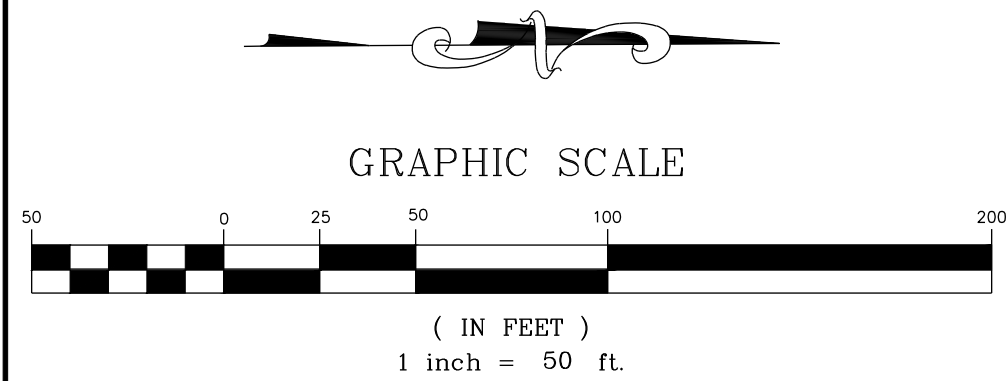
SITE KEY PLAN

LEGEND:

SEE SHEET C-3.11 FOR TREE LEGEND TABLES

NOTES:

SEE SHEET C-3.0 FOR ADJACENT PROPERTY DETAILS



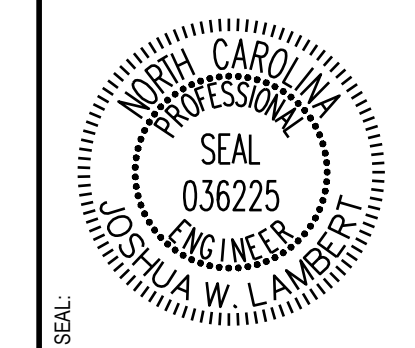
FOR CONTINUATION, SEE C-3.7
MATCH LINE

GRO PEG LN
60 PRIVATE R.O.W.
(BM 2000, PG 2198)

MATCH LINE

FOR CONTINUATION, SEE C-3.10

NO.	REVISIONS	DATE	BY
0		05/30/2024	ISREG
1		08/30/2024	ISREG



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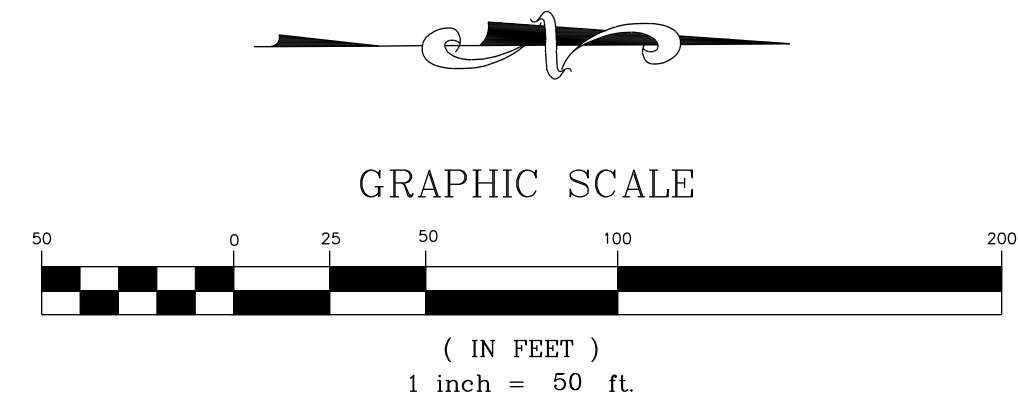
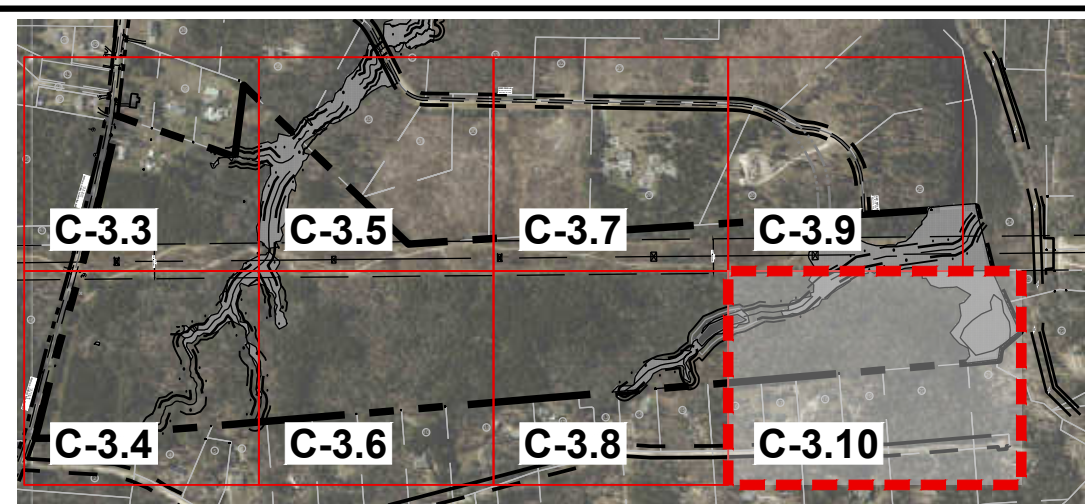
STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL
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HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

PARTIAL TREE INVENTORY MAP VII

DRAWING SHEET
C-3.9

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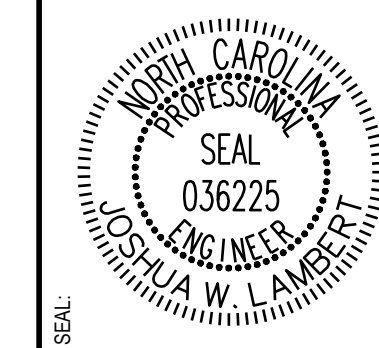
SITE KEY PLAN

LEGEND:

SEE SHEET C-3.11 FOR TREE LEGEND TABLES



NO.	REVISIONS	DATE	BY
0			
1			



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STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL
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HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
PARTIAL TREE INVENTORY MAP VIII

DRAWING SHEET
C-3.10

THIS PLANSET AND ANY ASSOCIATED DOCUMENTS ARE PRELIMINARY AND NOT AUTHORIZED FOR CONSTRUCTION UNTIL SIGNED, DATED, AND OFFICIALLY RELEASED FOR CONSTRUCTION BY THE ENGINEER OF RECORD.

Table with 4 columns: Tree Code, Botanical Name, Dbh 1, Condition Class. Rows 1-81.

Table with 4 columns: Tree Code, Botanical Name, Dbh 1, Condition Class. Rows 82-162.

Table with 4 columns: Tree Code, Botanical Name, Dbh 1, Condition Class. Rows 163-243.

Table with 4 columns: Tree Code, Botanical Name, Dbh 1, Condition Class. Rows 244-324.

Table with 4 columns: Tree Code, Botanical Name, Dbh 1, Condition Class. Rows 325-405.

Table with 4 columns: Tree Code, Botanical Name, Dbh 1, Condition Class. Rows 406-480.

Revision table with columns: No., DATE, REVISIONS.

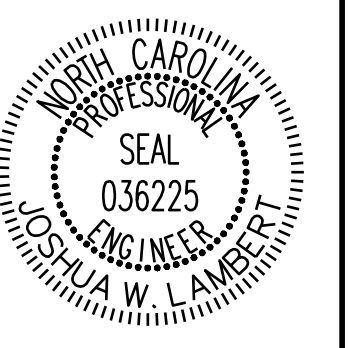


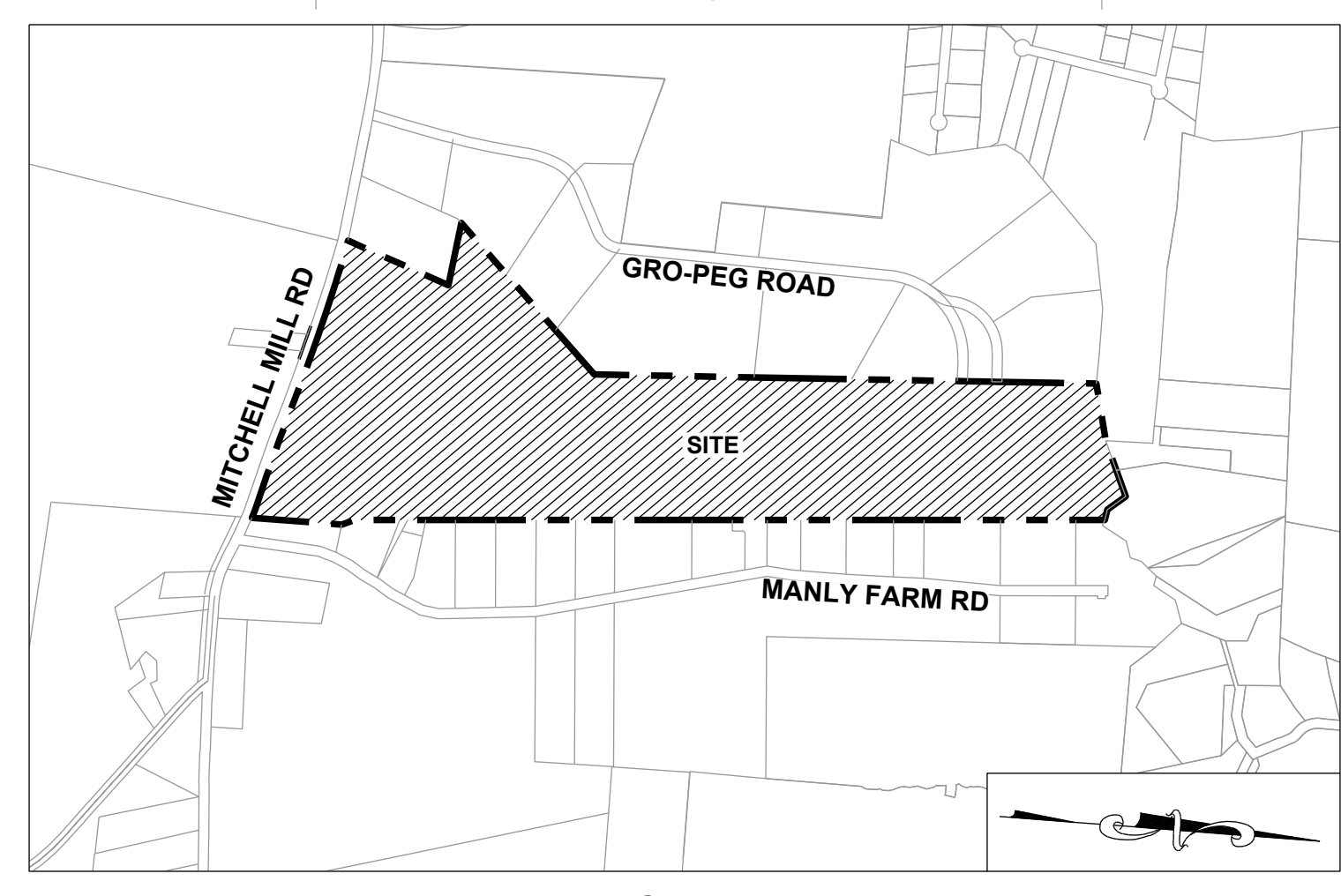
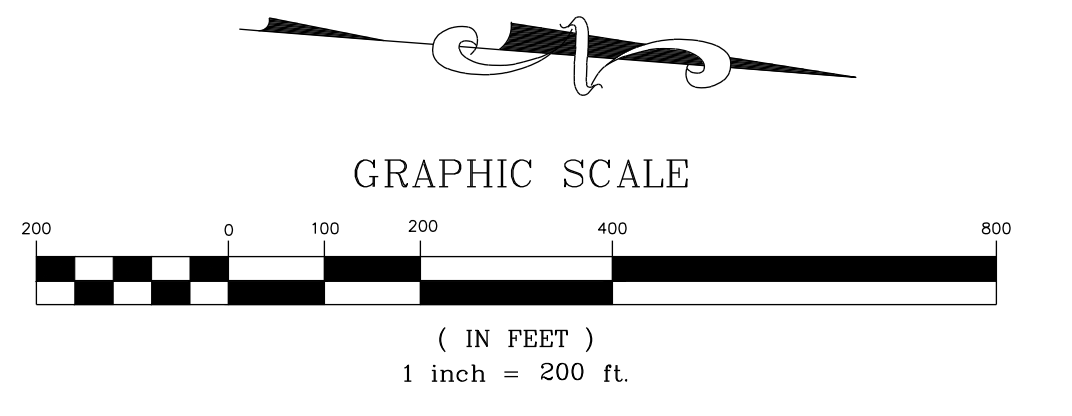
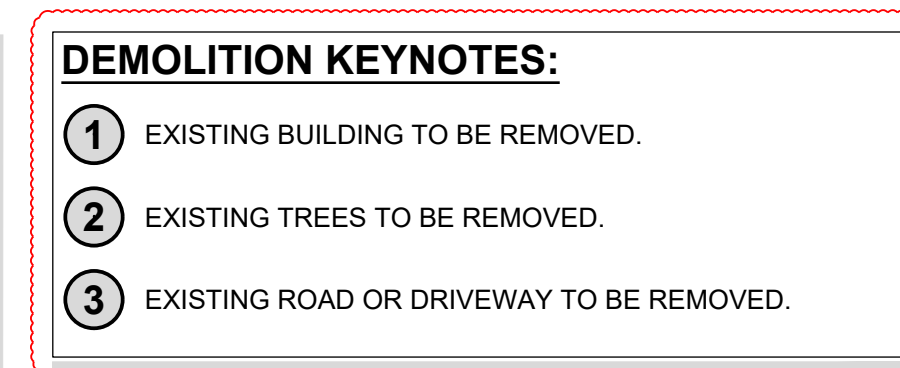
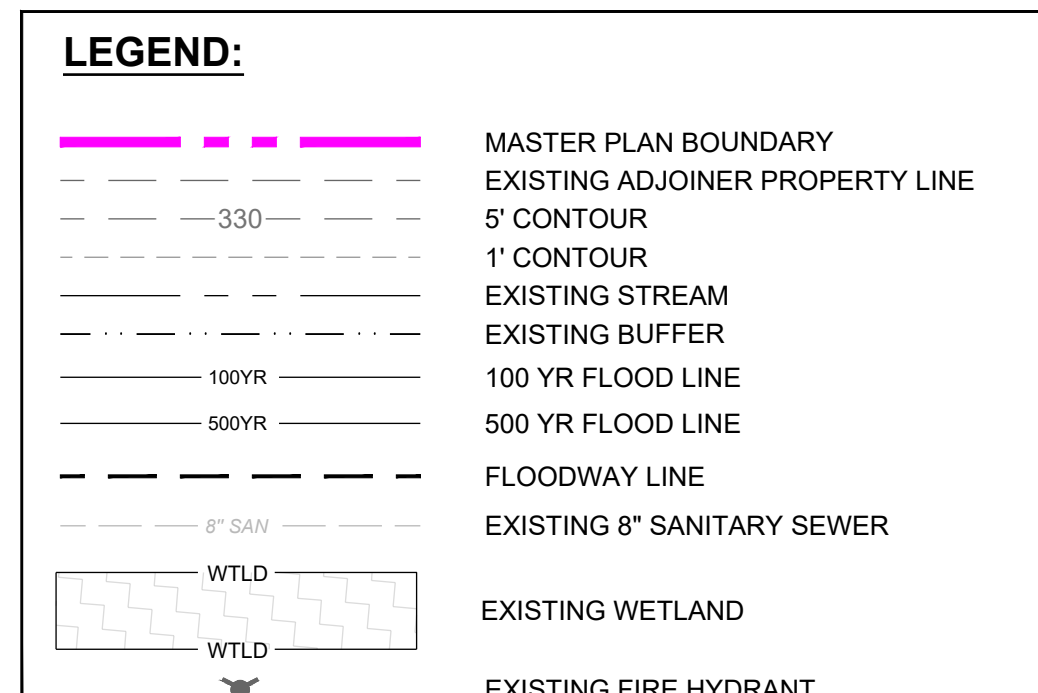
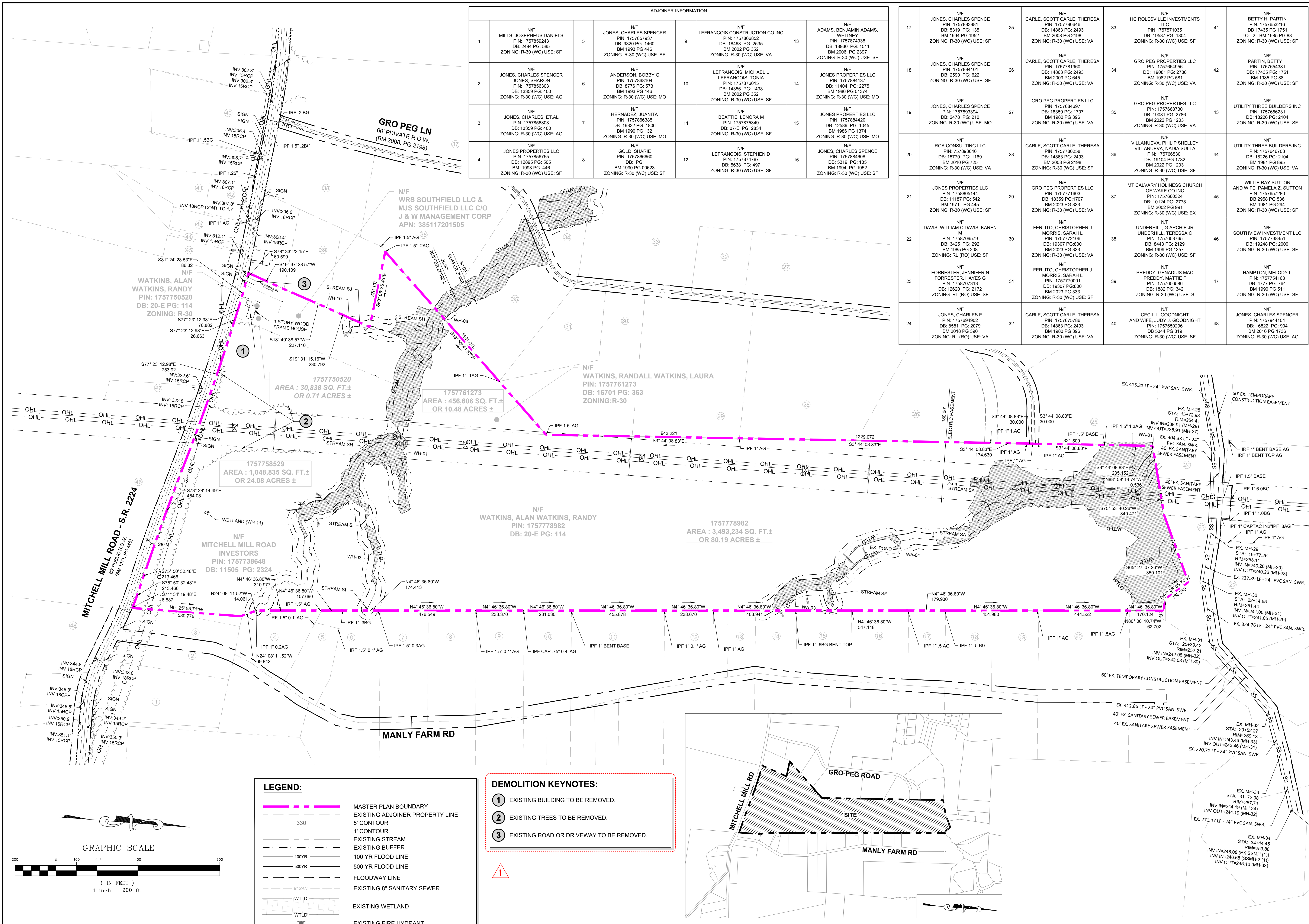
Table with columns: STRONGROCK PROJECT, NOT FOR CONSTRUCTION, SCALE, AS SHOWN, DESIGNED BY, DRAWN BY, CHECKED BY.

HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
TREE INVENTORY TABLE

DRAWING SHEET
C-3.11

ADJOINER INFORMATION			
1	N/F MILLS, JOSEPHUS DANIELS PIN: 175785243 DB: 2494 PG. 585 ZONING: R-30 (WC) USE: SF	5	N/F JONES, CHARLES SPENCER PIN: 1757857937 DB: 5320 PG. 1460 BM 1993 PG 446 ZONING: R-30 (WC) USE: SF
2	N/F JONES, CHARLES SPENCER PIN: 1757856303 DB: 13359 PG. 400 ZONING: R-30 (WC) USE: AG	6	N/F ANDERSON, BOBBY G PIN: 1757868104 DB: 8776 PG. 573 BM 1993 PG 446 ZONING: R-30 (WC) USE: MO
3	N/F JONES, CHARLES, ET AL PIN: 1757856303 DB: 13359 PG. 400 ZONING: R-30 (WC) USE: AG	7	N/F HERNANDEZ, JUANITA PIN: 1757866385 DB: 19332 PG. 1806 BM 1990 PG 132 ZONING: R-30 (WC) USE: MO
4	N/F JONES PROPERTIES LLC PIN: 1757857555 DB: 12895 PG. 505 BM: 1993 PG. 446 ZONING: R-30 (WC) USE: SF	8	N/F GOLD, SHARIE PIN: 1757866690 DB: PG. BM 1990 PG 00623 ZONING: R-30 (WC) USE: SF
		9	N/F LEFRANCOIS CONSTRUCTION CO INC PIN: 1757866652 DB: 18468 PG. 2535 BM 2002 PG 352 ZONING: R-30 (WC) USE: VA
		10	N/F LEFRANCOIS, MICHAEL L LEFRANCOIS, TONIA PIN: 1757876015 DB: 14358 PG. 1438 BM 2002 PG 352 ZONING: R-30 (WC) USE: SF
		11	N/F BEATTIE, LENORA M PIN: 1757875349 DB: 07-E PG. 2834 ZONING: R-30 (WC) USE: SF
		12	N/F LEFRANCOIS, STEPHEN D PIN: 1757874787 DB: 5638 PG. 497 ZONING: R-30 (WC) USE: SF
		13	N/F ADAMS, BENJAMIN ADAMS, WHITNEY PIN: 175790646 DB: 18930 PG. 1511 BM 2006 PG 2397 ZONING: R-30 (WC) USE: SF
		14	N/F JONES PROPERTIES LLC PIN: 1757864137 DB: 11404 PG. 2275 BM 1986 PG 01374 ZONING: R-30 (WC) USE: MO
		15	N/F JONES PROPERTIES LLC PIN: 1757884420 DB: 12589 PG. 1045 BM 1986 PG 1374 ZONING: R-30 (WC) USE: MO
		16	N/F JONES, CHARLES SPENCER PIN: 1757884608 DB: 5319 PG. 135 BM 1994 PG 1952 ZONING: R-30 (WC) USE: SF

17	N/F JONES, CHARLES SPENCER PIN: 175783981 DB: 5319 PG. 135 BM 1994 PG 1952 ZONING: R-30 (WC) USE: SF	25	N/F CARLE, SCOTT CARLE, THERESA PIN: 175790646 DB: 14863 PG. 2493 BM 2008 PG 2198 ZONING: R-30 (WC) USE: VA	33	N/F HC ROLESVILLE INVESTMENTS LLC PIN: 1757571035 DB: 19587 PG. 1804 ZONING: R-30 (WC) USE: SF	41	N/F BETTY H FARTIN PIN: 175753216 DB: 17435 PG 1751 LOT 2 - BM 1985 PG 88 ZONING: R-30 (WC) USE: SF
18	N/F JONES, CHARLES SPENCER PIN: 1757894101 DB: 2590 PG. 622 ZONING: R-30 (WC) USE: SF	26	N/F CARLE, SCOTT CARLE, THERESA PIN: 1757891990 DB: 14863 PG. 2493 BM 2009 PG 645 ZONING: R-30 (WC) USE: VA	34	N/F GRO PEG PROPERTIES LLC PIN: 1757864956 DB: 19081 PG. 2786 BM 1982 PG 581 ZONING: R-30 (WC) USE: VA	42	N/F PARTIN, BETTY H PIN: 1757564381 DB: 17435 PG. 1751 BM 1985 PG 88 ZONING: R-30 (WC) USE: SF
19	N/F JONES, CHARLES SPENCER PIN: 1757864697 DB: 18369 PG. 1707 BM 2022 PG 1203 ZONING: R-30 (WC) USE: MO	27	N/F GRO PEG PROPERTIES LLC PIN: 1757864697 DB: 18369 PG. 1707 BM 2022 PG 1203 ZONING: R-30 (WC) USE: VA	35	N/F GRO PEG PROPERTIES LLC PIN: 1757668730 DB: 19081 PG. 2786 BM 2022 PG 1203 ZONING: R-30 (WC) USE: VA	43	N/F UTILITY THREE BUILDERS INC PIN: 1757658231 DB: 18226 PG. 2104 ZONING: R-30 (WC) USE: SF
20	N/F RGA CONSULTING LLC PIN: 1757893646 DB: 15720 PG. 1169 BM 2010 PG 725 ZONING: R-30 (WC) USE: VA	28	N/F CARLE, SCOTT CARLE, THERESA PIN: 1757802528 DB: 14863 PG. 2493 BM 2008 PG 2198 ZONING: R-30 (WC) USE: SF	36	N/F VILLANUEVA, PHILIP SHELLEY VILLANUEVA, NADIA SULTA PIN: 1757665301 DB: 19104 PG. 1732 BM 2022 PG 1203 ZONING: R-30 (WC) USE: SF	44	N/F UTILITY THREE BUILDERS INC PIN: 1757648703 DB: 18226 PG. 2104 BM 1981 PG 895 ZONING: R-30 (WC) USE: VA
21	N/F JONES PROPERTIES LLC PIN: 1758805144 DB: 11187 PG. 542 BM 1971 PG 445 ZONING: R-30 (WC) USE: SF	29	N/F GRO PEG PROPERTIES LLC PIN: 175771603 DB: 18359 PG. 1707 BM 2023 PG 333 ZONING: R-30 (WC) USE: VA	37	N/F MT CALVARY HOLINESS CHURCH OF WAKE CO INC PIN: 1757690324 DB: 10124 PG. 2778 BM 2002 PG 991 ZONING: R-30 (WC) USE: EX	45	N/F WILLIE RAY SUTTON AND WIFE, PAMELA Z. SUTTON PIN: 1757678260 DB: 2958 PG. 536 BM 1981 PG 284 ZONING: R-30 (WC) USE: SF
22	N/F DAVIS, WILLIAM C DAVIS, KAREN PIN: 1758709579 DB: 3425 PG. 292 BM 1989 PG 336 ZONING: RL (RO) USE: SF	30	N/F FERLITO, CHRISTOPHER J MORRIS, SARAH L PIN: 175772106 DB: 19307 PG. 800 BM 2023 PG 333 ZONING: RL (RO) USE: VA	38	N/F UNDERHILL, G. ARCHIE JR UNDERHILL, TERESSA C PIN: 1757537655 DB: 8443 PG. 2129 BM 1989 PG 357 ZONING: R-30 (WC) USE: SF	46	N/F SOUTHVIEW INVESTMENT LLC PIN: 1757738451 DB: 19248 PG. 2000 ZONING: R-30 (WC) USE: SF
23	N/F FORRESTER, JENNIFER N FORRESTER, HAYES G PIN: 1758707313 DB: 12820 PG. 2172 ZONING: RL (RO) USE: SF	31	N/F FERLITO, CHRISTOPHER J MORRIS, SARAH L PIN: 175770001 DB: 19307 PG. 800 BM 2023 PG 333 ZONING: RL (RO) USE: SF	39	N/F PREDDY, GENADIUS MAC PREDDY, MATTIE F PIN: 1757656586 DB: 1882 PG. 342 ZONING: R-30 (WC) USE: S	47	N/F HAMPTON, MELODY L PIN: 1757754163 DB: 4777 PG. 764 BM 1990 PG 511 ZONING: R-30 (WC) USE: SF
24	N/F JONES, CHARLES E PIN: 1757694902 DB: 5581 PG. 2079 BM 2016 PG 390 ZONING: RL (RO) USE: VA	32	N/F CARLE, SCOTT CARLE, THERESA PIN: 1757615796 DB: 14863 PG. 2493 BM 1980 PG 396 ZONING: R-30 (WC) USE: VA	40	N/F CECIL L. GOODNIGHT AND WIFE, JUDY J. GOODNIGHT PIN: 1757652296 DB: 5344 PG. 819 ZONING: R-30 (WC) USE: SF	48	N/F JONES, CHARLES SPENCER PIN: 1757944104 DB: 16822 PG. 904 BM 2016 PG 1736 ZONING: R-30 (WC) USE: AG



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HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

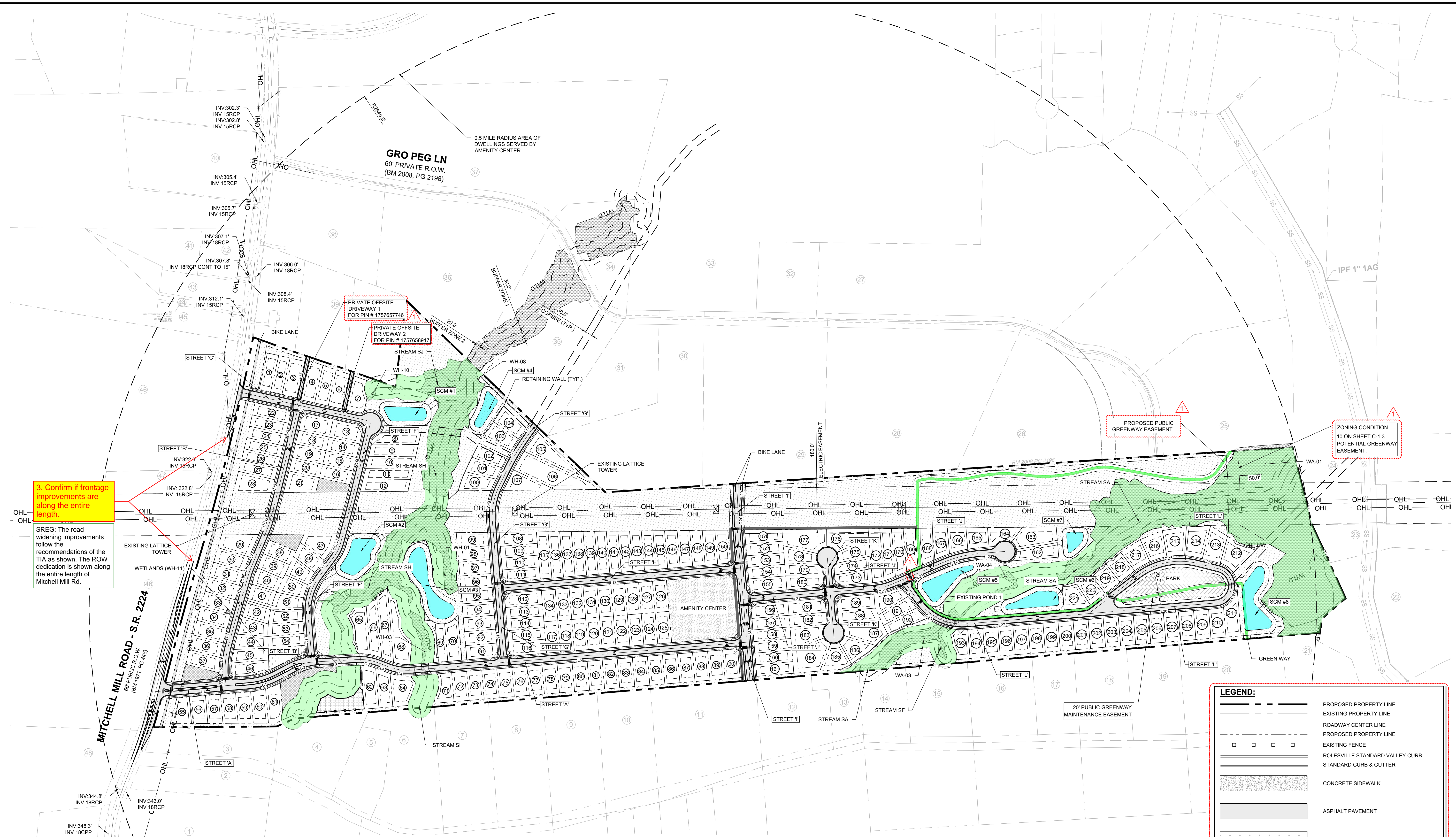
DEMOLITION PLAN

DRAWING SHEET
C-4.0

19 OF 57



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3. Confirm if frontage improvements are along the entire length.

SREG: The road widening improvements follow the recommendations of the TIA as shown. The ROW dedication is shown along the entire length of Mitchell Mill Rd.

NAME	ROADWAY	LENGTH	DIRECTION	BEGIN STATION	END STATION
L1	STREET A	404.98'	N4°46'37"W	0+00.00	4+04.98
L2	STREET A	68.03'	N27°46'10"W	5+25.37	5+93.39
L3	STREET A	184.24'	N3°15'35"W	7+00.34	8+84.57
L4	STREET A	46.26'	N20°52'47"E	9+81.48	10+27.73
L5	STREET A	1444.35'	N4°46'37"W	11+30.73	25+75.07
L6	STREET B	31.86'	N85°13'23"E	12+21.25	12+53.10
L7	STREET B	184.12'	S67°13'00"E	5+50.70	7+34.81
L8	STREET C	597.86'	N12°36'47"E	0+00.00	5+97.86
L9	STREET C	63.09'	S77°06'48"E	5+97.86	6+60.95
L10	STREET C	4.31'	S74°45'22"E	11+38.08	11+42.39
L11	STREET C	108.53'	S53°18'23"E	11+98.55	13+07.07
L12	STREET C	200.59'	N85°13'23"E	14+88.02	16+88.61
L13	STREET D	213.11'	S77°23'13"E	0+00.00	2+13.11
L14	PRIVATE DRIVE E	191.35'	S77°23'13"E	0+00.00	1+91.35
L15	STREET G	605.78'	N85°13'23"E	4+66.25	10+72.02

NAME	ROADWAY	LENGTH	DIRECTION	BEGIN STATION	END STATION
L16	STREET G	74.99'	S63°56'33"E	2+29.81	3+04.79
L17	STREET G	62.35'	S54°20'54"E	0+00.00	0+62.35
L18	STREET H	1047.13'	N4°46'37"W	0+00.00	10+47.13
L19	STREET I	653.91'	S85°13'23"W	0+00.00	6+53.91
L20	STREET I	120.22'	N87°11'53"W	7+29.18	8+49.39
L21	STREET J	571.09'	N4°46'37"W	0+00.00	5+71.09
L22	STREET J	240.36'	N22°57'44"W	6+44.09	8+84.45
L23	STREET J	111.85'	N4°46'37"W	10+43.15	11+54.99
L24	STREET K	198.62'	N85°13'23"E	1+48.62	3+47.23
L25	STREET K	148.61'	N85°13'23"E	0+00.00	1+48.61
L26	STREET L	121.11'	N53°33'15"E	0+00.00	1+21.11
L27	STREET L	1074.38'	N4°46'37"W	3+55.27	14+29.64
L28	STREET L	1074.38'	N4°46'37"W	3+55.27	14+29.64
L29	STREET L	94.19'	S14°07'11"W	16+40.53	17+34.71
L30	STREET L	265.67'	S37°42'28"E	20+06.09	22+71.75

NAME	ROADWAY	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD DIRECTION	BEGIN STATION	END STATION
C1	STREET A	300.00'	120.39'	119.58'	N16°16'24"W	4+04.98	5+25.36
C2	STREET A	250.00'	106.94'	106.13'	N15°30'53"W	5+93.39	7+00.33
C3	STREET A	230.00'	96.90'	96.19'	N8°48'36"E	8+84.57	9+81.47
C4	STREET A	230.00'	102.99'	102.13'	N8°03'05"E	10+27.73	11+30.72
C5	STREET B	400.00'	137.43'	136.75'	S84°56'03"E	10+83.81	12+21.24
C6	STREET B	400.00'	137.43'	136.75'	S84°56'03"E	10+83.81	12+21.24
C7	STREET B	10746.00'	322.14'	322.12'	S74°13'58"E	7+61.68	10+83.81
C8	STREET B	10746.00'	322.14'	322.12'	S74°13'58"E	7+61.68	10+83.81
C9	STREET B	10746.00'	322.14'	322.12'	S74°13'58"E	7+61.68	10+83.81
C10	STREET B	250.00'	26.87'	26.85'	S70°17'43"E	7+34.81	7+61.68
C11	STREET B	250.00'	33.07'	33.05'	S71°00'24"E	5+17.62	5+50.70
C12	STREET B	250.00'	33.07'	33.05'	S71°00'24"E	5+17.62	5+50.70
C13	STREET B	11280.00'	517.62'	517.58'	S76°06'40"E	0+00.00	5+17.62

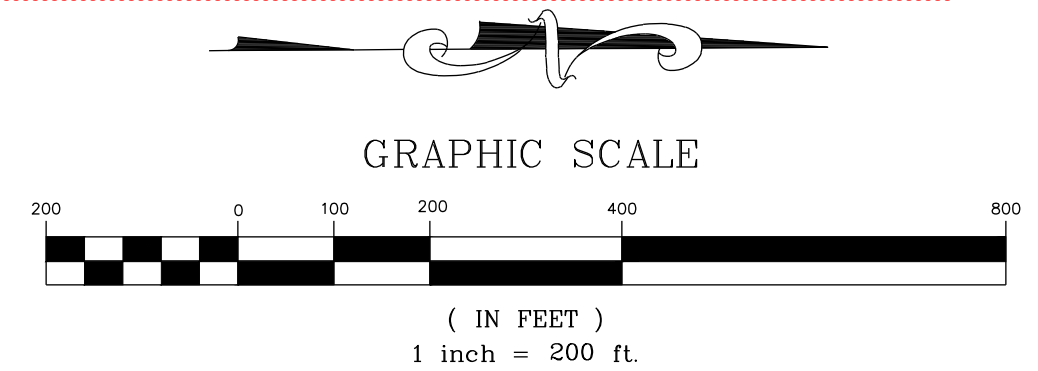
NAME	ROADWAY	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD DIRECTION	BEGIN STATION	END STATION
C14	STREET B	11280.00'	517.62'	517.58'	S76°06'40"E	0+00.00	5+17.62
C15	STREET C	11598.00'	477.13'	477.10'	S75°56'05"E	6+60.95	11+38.08
C16	STREET C	1500.00'	56.16'	55.83'	S64°01'53"E	11+42.39	11+98.54
C17	STREET C	250.00'	180.95'	177.02'	S74°02'30"E	13+07.07	14+88.02
C18	STREET G	300.00'	161.45'	159.51'	S79°21'35"E	3+04.79	4+66.24
C19	STREET G	1000.00'	167.45'	167.26'	S59°08'44"E	0+62.35	2+29.81
C20	STREET I	569.00'	75.26'	75.21'	S89°00'45"W	6+53.91	7+29.18
C21	STREET J	230.00'	73.00'	72.69'	N13°52'10"W	5+71.09	6+44.09
C22	STREET J	500.00'	158.70'	158.03'	N13°52'10"W	8+84.45	10+43.14
C23	STREET L	230.00'	234.16'	224.17'	N24°23'19"E	1+21.11	3+55.27
C24	STREET L	75.00'	210.88'	147.97'	N85°19'43"W	14+29.64	16+40.53
C25	STREET L	300.00'	271.37'	262.21'	S11°47'39"E	17+34.71	20+06.08

NOTES:
THIS IS A SINGLE PHASE PROJECT.
SEE SHEET C-3.0 FOR ADJACENT PROPERTY DETAILS

LOT SIZE MINIMUMS	LOT
A: 50' x 160'	68
B: 55' x 146'	16
C: 60' x 134'	56
D: 65' x 125'	52
E: 70' x 115'	15
F: 80' x 100'	14
TOTAL	221

LEGEND:

- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- ROADWAY CENTER LINE
- PROPOSED PROPERTY LINE
- EXISTING FENCE
- ROLESVILLE STANDARD VALLEY CURB
- STANDARD CURB & GUTTER
- CONCRETE SIDEWALK
- ASPHALT PAVEMENT
- OPEN SPACE
- WTLD
- EXISTING WETLAND
- RESERVE OPEN AREA
- POND AREA
- GREEN WAY



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NO.	REVISIONS	DATE	BY
0			
1			

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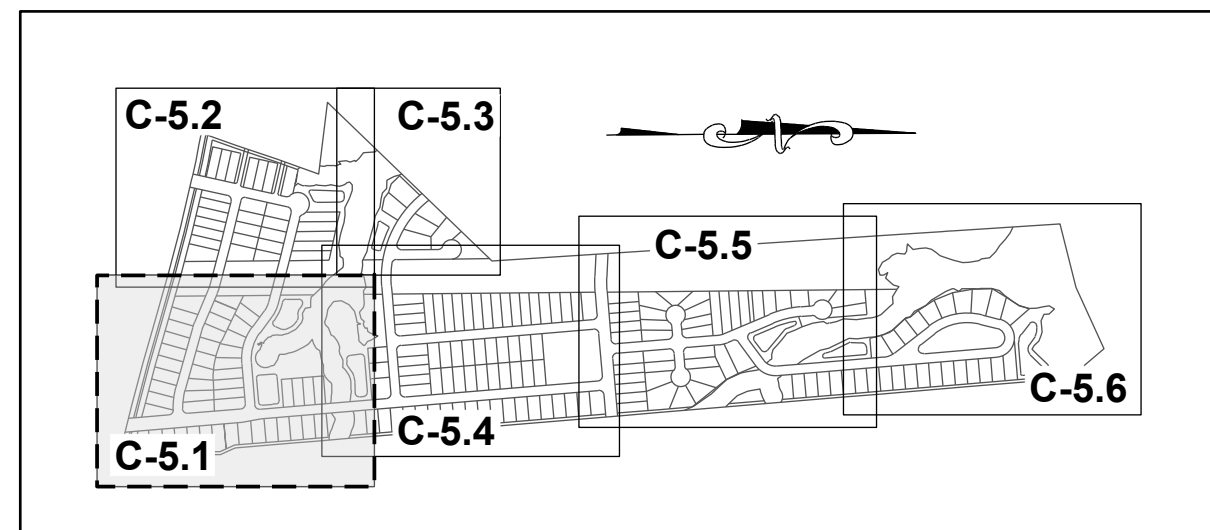
SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
AS SHOWN	JWL	SRG	JWL

HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

OVERALL SITE PLAN

DRAWING SHEET
C-5.0

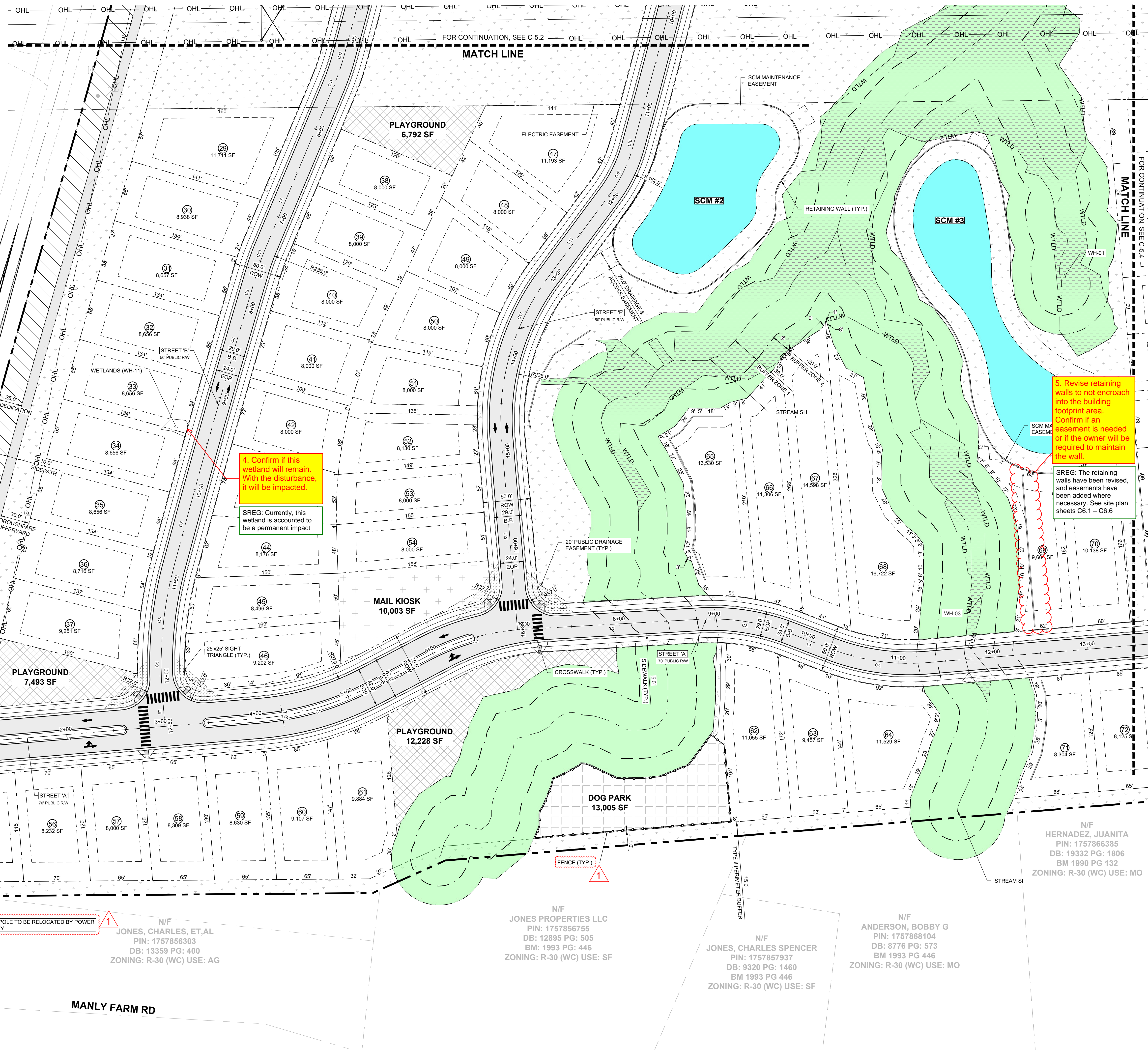
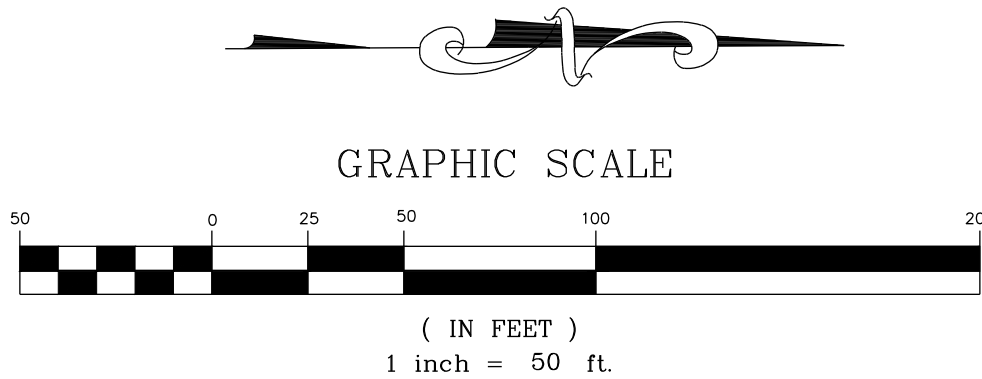
20 OF 57



SITE KEY PLAN

LEGEND:

SEE SHEET C-5.0 FOR LEGEND, LINE AND CURVE TABLES



N/F SOUTHVIEW INVESTMENT LLC
PIN: 1757738451
DB: 19248 PG: 2000
ZONING: R-30 (WC) USE: SF

MITCHELL MILL ROAD - S.R. 2224
60' PUBLIC R.O.W.
(BM 1971, PG 445)

MANLY FARM RD

N/F JONES, CHARLES, ET.AL
PIN: 1757856303
DB: 13359 PG: 400
ZONING: R-30 (WC) USE: AG

N/F JONES PROPERTIES LLC
PIN: 1757856755
DB: 12895 PG: 505
BM: 1993 PG: 446
ZONING: R-30 (WC) USE: SF

N/F JONES, CHARLES SPENCER
PIN: 1757857937
DB: 9320 PG: 1460
BM 1993 PG 446
ZONING: R-30 (WC) USE: SF

N/F ANDERSON, BOBBY G
PIN: 1757868104
DB: 8776 PG: 573
BM 1993 PG 446
ZONING: R-30 (WC) USE: MO

N/F HERNANDEZ, JUANITA
PIN: 1757866385
DB: 19332 PG: 1806
BM 1990 PG 132
ZONING: R-30 (WC) USE: MO

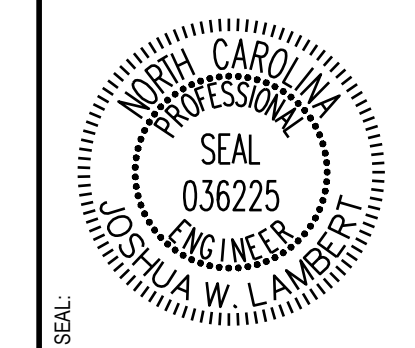
4. Confirm if this wetland will remain. With the disturbance, it will be impacted.

SREG: Currently, this wetland is accounted to be a permanent impact

5. Revise retaining walls to not encroach into the building footprint area. Confirm if an easement is needed or if the owner will be required to maintain the wall.

SREG: The retaining walls have been revised, and easements have been added where necessary. See site plan sheets C6.1 - C6.6

NO.	REVISIONS	DATE	BY
0			
1			



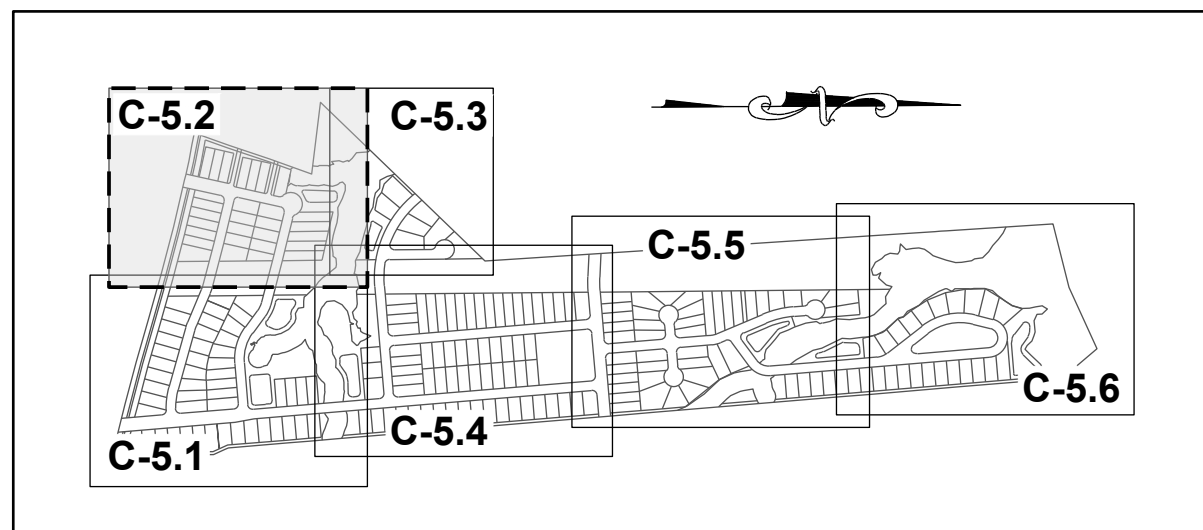
STRONGROCK ENGINEERING GROUP

STRONGROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	JWL	SRG	JWL
DESIGNED BY	CHECKED BY	DRAWN BY			

HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
PARTIAL SITE PLAN I

DRAWING SHEET
C-5.1

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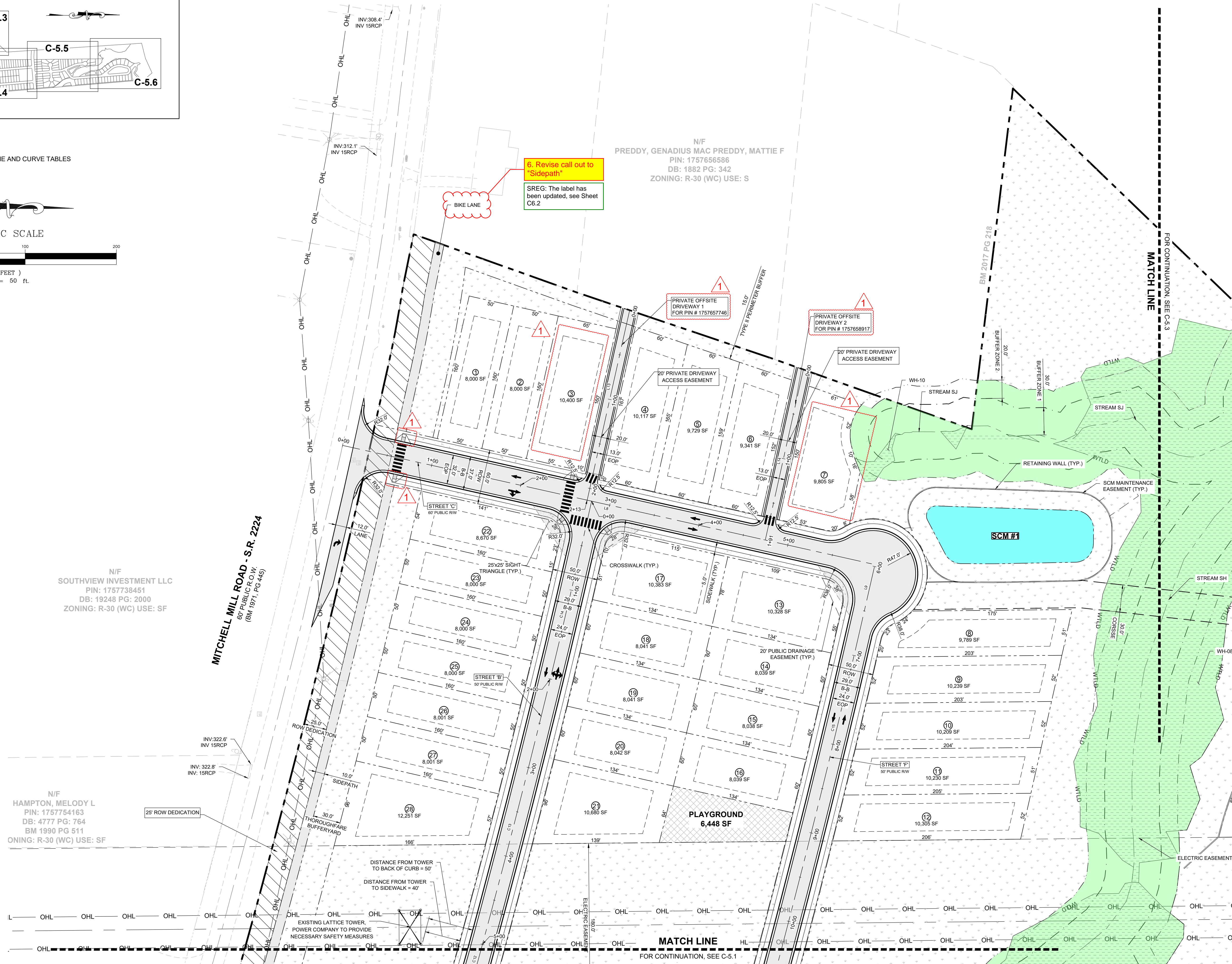
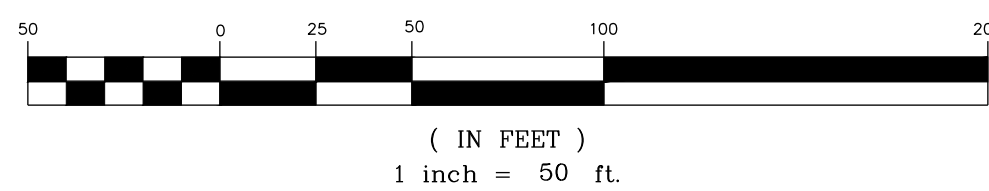
SITE KEY PLAN

LEGEND:

SEE SHEET C-5.0 FOR LEGEND, LINE AND CURVE TABLES



GRAPHIC SCALE



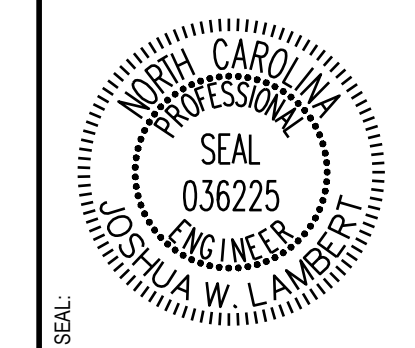
N/F SOUTHVIEW INVESTMENT LLC
PIN: 1757738451
DB: 19248 PG: 2000
ZONING: R-30 (WC) USE: SF

N/F HAMPTON, MELODY L
PIN: 1757754163
DB: 4777 PG: 764
BM 1990 PG 511
ONING: R-30 (WC) USE: SF

6. Revise call out to "Sidepath"
SREG: The label has been updated, see Sheet C6.2

N/F PREDDY, GENADIUS MAC PREDDY, MATTIE F
PIN: 1757656586
DB: 1882 PG: 342
ZONING: R-30 (WC) USE: S

NO.	REVISIONS	DATE	BY
0			
1			



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ENGINEERING GROUP

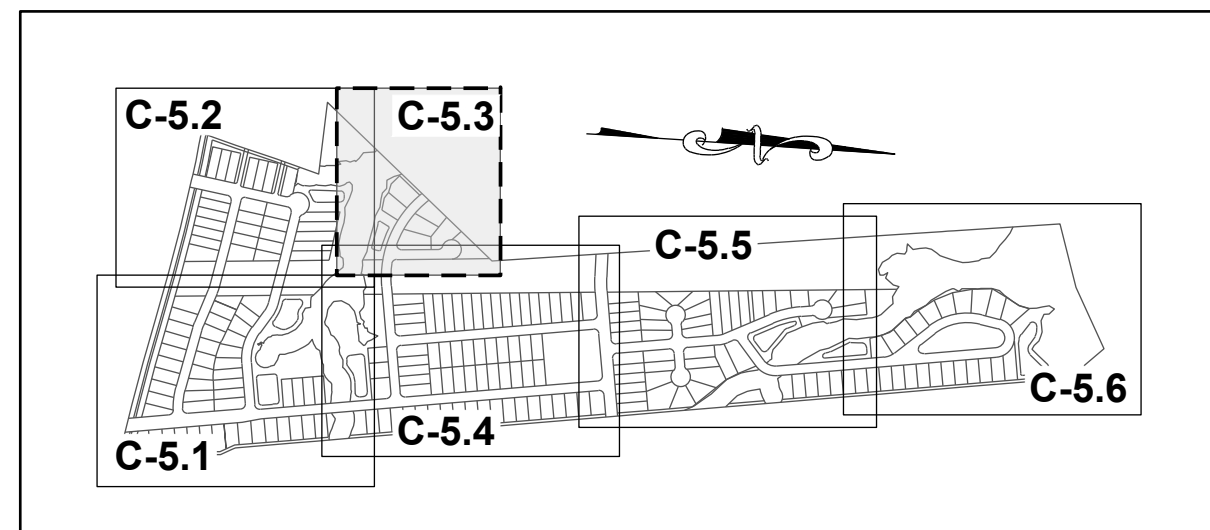
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STRONGROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL
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HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

PARTIAL SITE PLAN II

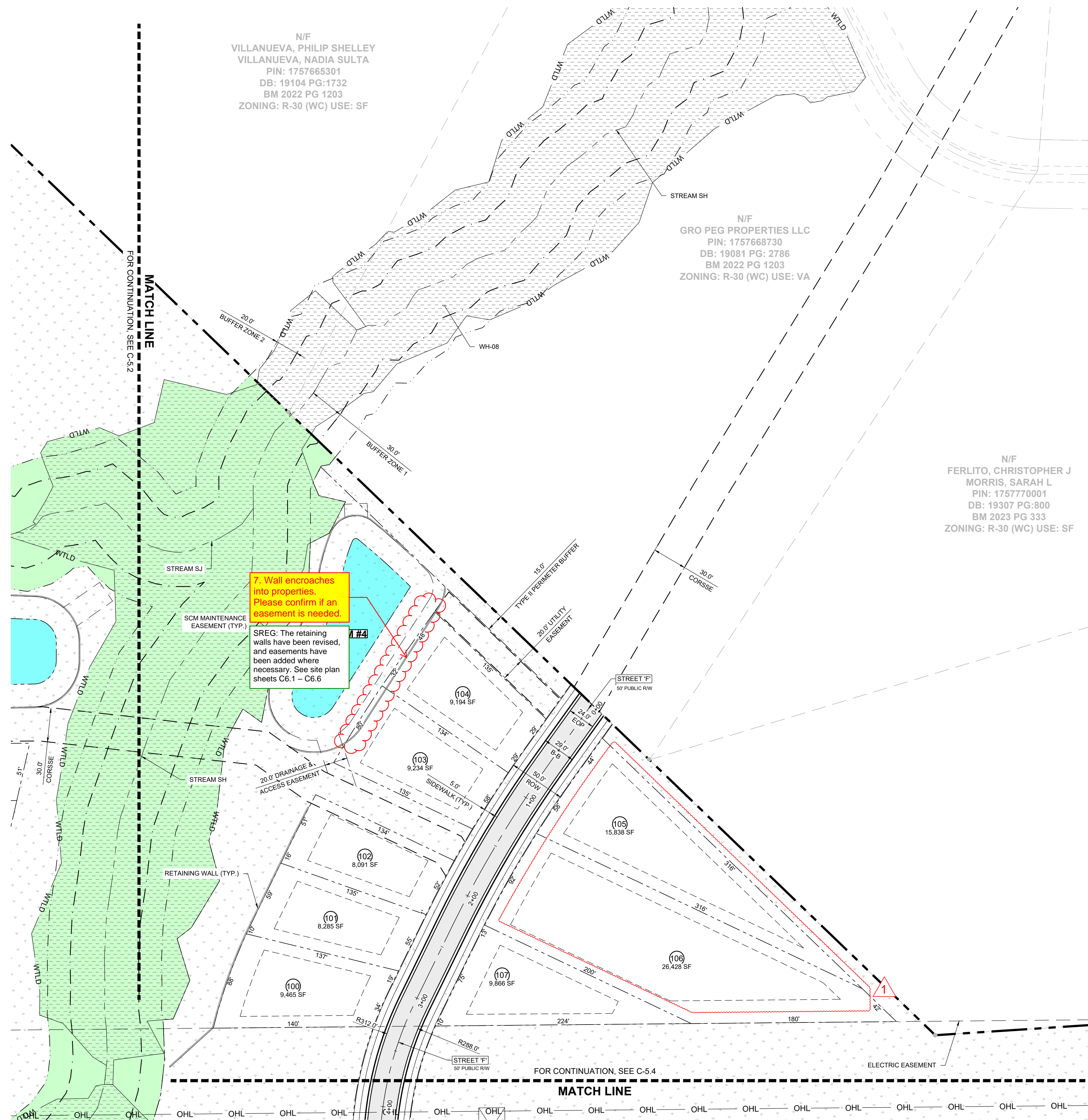
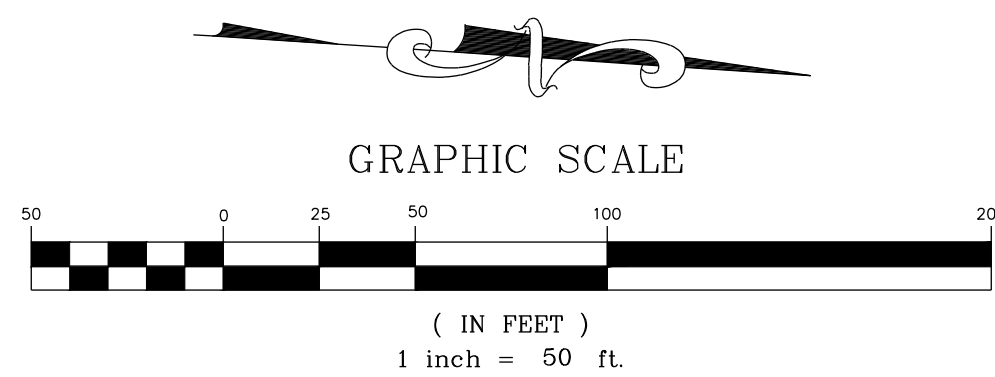
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SITE KEY PLAN

LEGEND:

SEE SHEET C-5.0 FOR LEGEND, LINE AND CURVE TABLES



N/F
VILLANUEVA, PHILIP SHELLEY
VILLANUEVA, NADIA SULTA
PIN: 1757665301
DB: 19104 PG:1732
BM 2022 PG 1203
ZONING: R-30 (WC) USE: SF

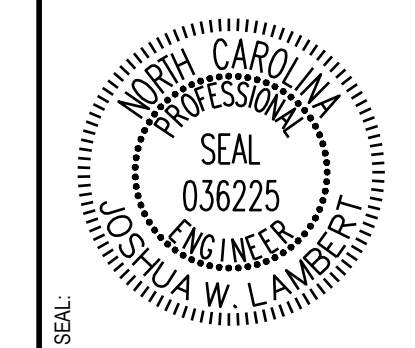
N/F
GRO PEG PROPERTIES LLC
PIN: 1757668730
DB: 19081 PG: 2786
BM 2022 PG 1203
ZONING: R-30 (WC) USE: VA

N/F
FERLITO, CHRISTOPHER J
MORRIS, SARAH L
PIN: 1757770001
DB: 19307 PG:800
BM 2023 PG 333
ZONING: R-30 (WC) USE: SF

7. Wall encroaches into properties. Please confirm if an easement is needed.

SREG: The retaining walls have been revised, and easements have been added where necessary. See site plan sheets C6.1 - C6.6

NO.	DATE	REVISIONS	BY
0	06/30/2024		
1	08/30/2024		



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STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL
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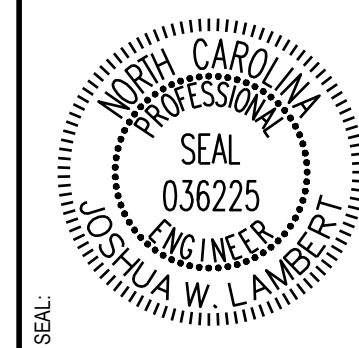
HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

PARTIAL SITE PLAN III

DRAWING SHEET
C-5.3

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NO.	REVISIONS	DATE	BY
0			
1	TOWN OF ROLESVILLE V1-FSP-24-03	05/30/2024	ISREG
2	TOWN OF ROLESVILLE V2-FSP-24-03	08/30/2024	ISREG



STRONGROCK

ENGINEERING GROUP

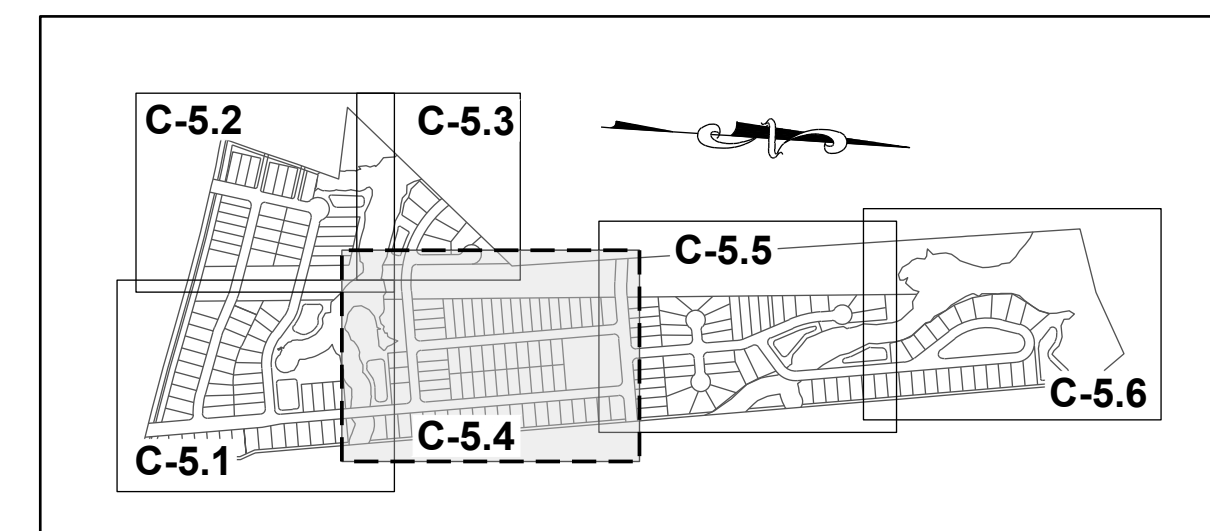
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STRONG ROCK PROJECT	NOT FOR CONSTRUCTION
SCALE AS SHOWN	JWL
DESIGNED BY	SRG
DRAWN BY	JWL
CHECKED BY	JWL

HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

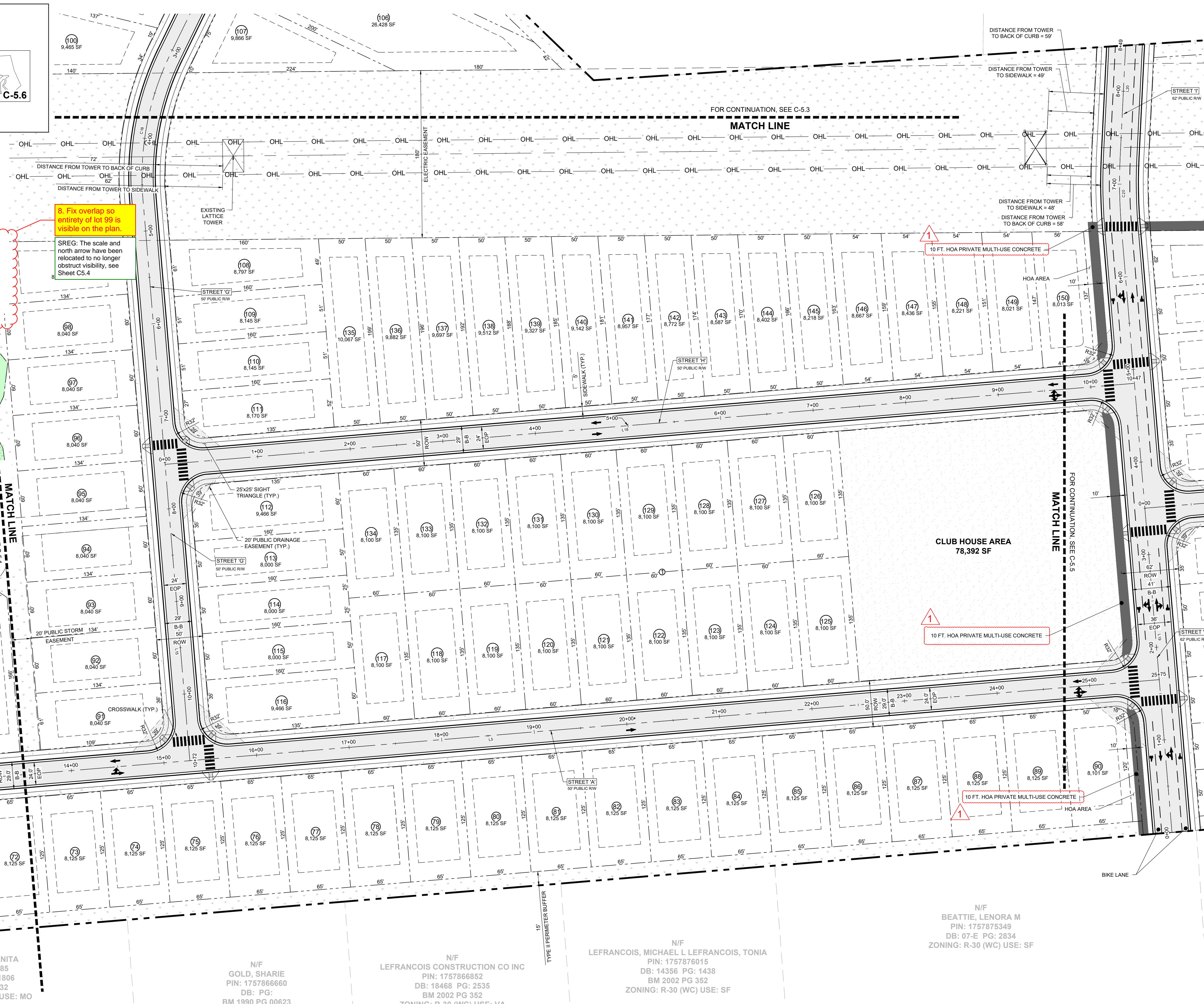
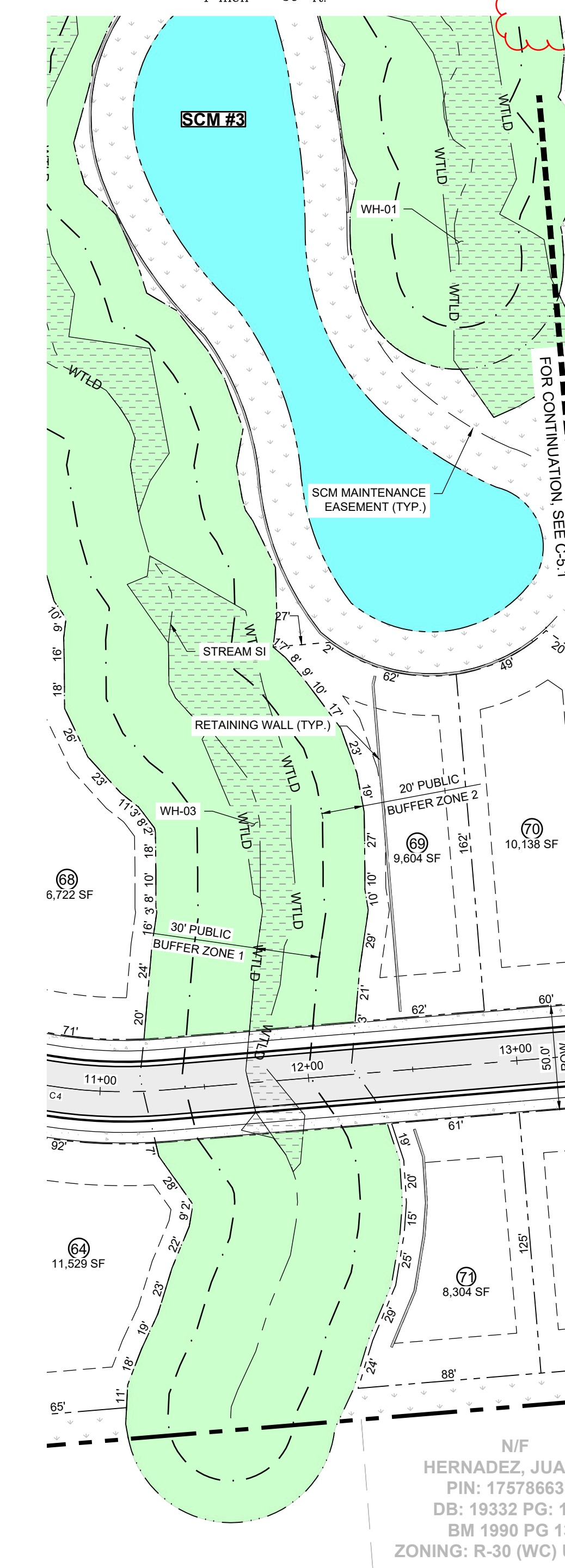
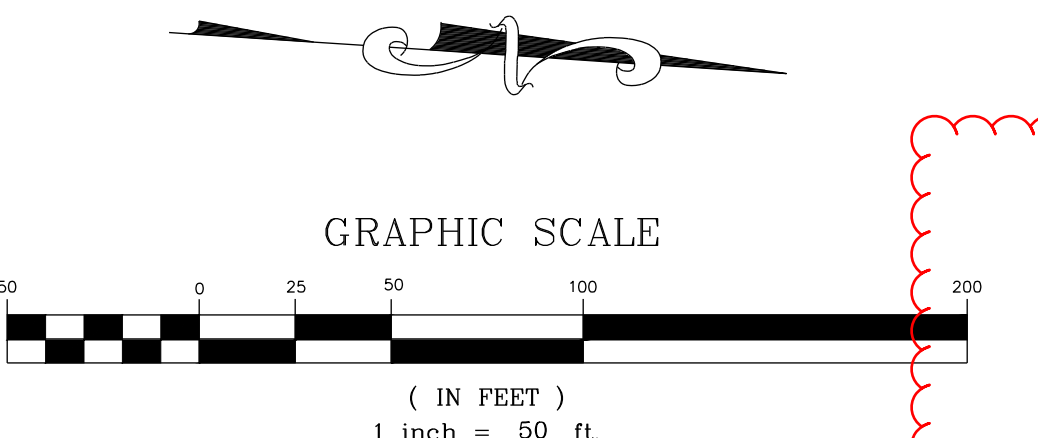
PARTIAL SITE PLAN IV

DRAWING SHEET
C-5.4



SITE KEY PLAN

LEGEND:
SEE SHEET C-5.0 FOR LEGEND, LINE AND CURVE TABLES



8. Fix overlap so entirety of lot 99 is visible on the plan.

SREG: The scale and north arrow have been relocated to no longer obstruct visibility, see Sheet C5.4

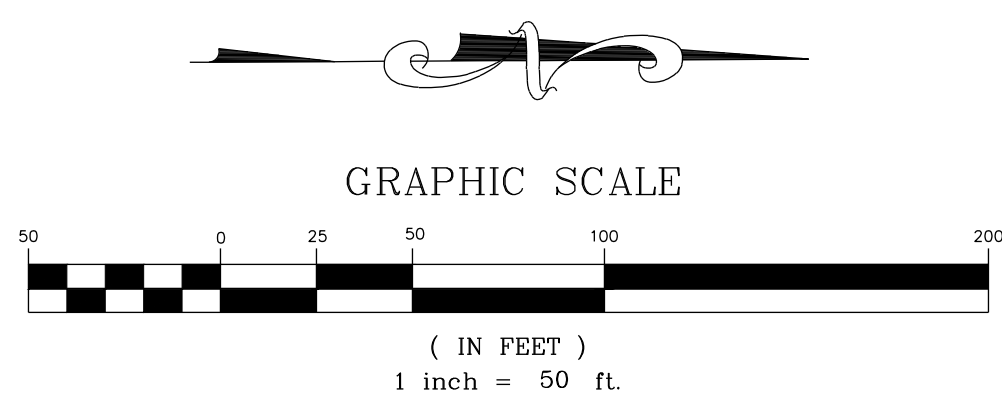
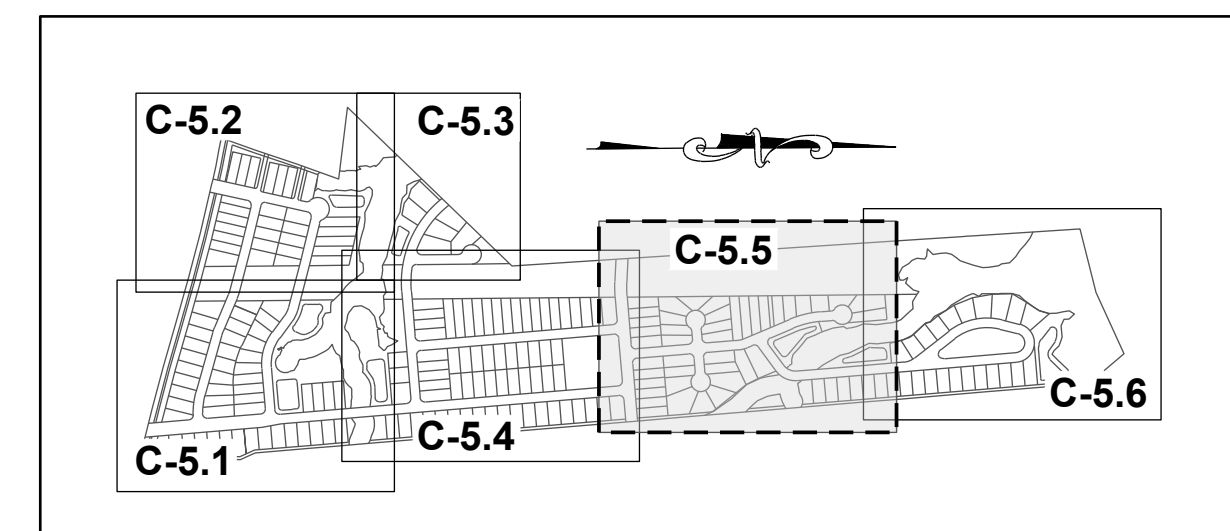
N/F
HERNADEZ, JUANITA
PIN: 1757866385
DB: 19332 PG: 1806
BM 1990 PG 132
ZONING: R-30 (WC) USE: MO

N/F
GOLD, SHARIE
PIN: 1757866660
DB: PG:
BM 1990 PG 00623
ZONING: R-30 (WC) USE: SF

N/F
LEFRANCOIS CONSTRUCTION CO INC
PIN: 1757866852
DB: 18468 PG: 2535
BM 2002 PG 352
ZONING: R-30 (WC) USE: VA

N/F
LEFRANCOIS, MICHAEL L LEFRANCOIS, TONIA
PIN: 1757876015
DB: 14356 PG: 1438
BM 2002 PG 352
ZONING: R-30 (WC) USE: SF

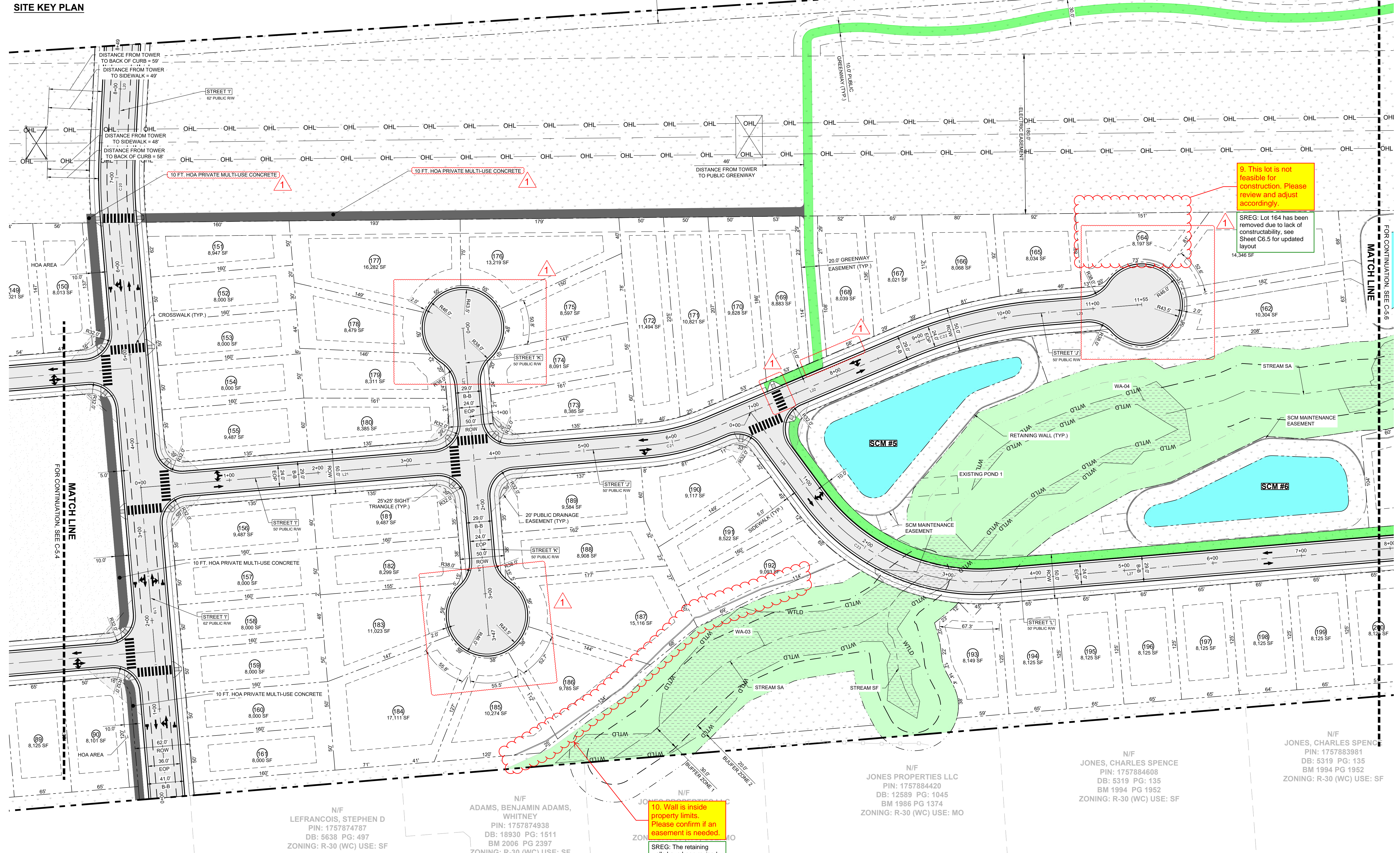
N/F
BEATTIE, LENORA M
PIN: 1757875349
DB: 07-E PG: 2834
ZONING: R-30 (WC) USE: SF



LEGEND: SEE SHEET C-5.0 FOR LEGEND, LINE AND CURVE TABLES

N/F CARLE, SCOTT CARLE, THERESA
PIN: 1757780258
DB: 14863 PG: 2493
BM 2008 PG 2198
ZONING: R-30 (WC) USE: SF

N/F CARLE, SCOTT CARLE, THERESA
PIN: 1757781960
DB: 14863 PG: 2493
BM 2009 PG 645
ZONING: R-30 (WC) USE: VA



9. This lot is not feasible for construction. Please review and adjust accordingly.
SREG: Lot 164 has been removed due to lack of constructability, see Sheet C6.5 for updated layout
14,346 SF

10. Wall is inside property limits. Please confirm if an easement is needed.

SREG: The retaining walls have been revised, and easements have been added where necessary. See site plan sheets C6.1 - C6.6

N/F LEFRANCOIS, STEPHEN D
PIN: 1757874787
DB: 5638 PG: 497
ZONING: R-30 (WC) USE: SF

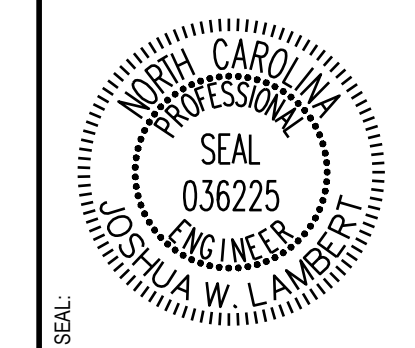
N/F ADAMS, BENJAMIN ADAMS, WHITNEY
PIN: 1757874938
DB: 18930 PG: 1511
BM 2006 PG 2397
ZONING: R-30 (WC) USE: SF

N/F JONES PROPERTIES LLC
PIN: 1757884420
DB: 12589 PG: 1045
BM 1986 PG 1374
ZONING: R-30 (WC) USE: MO

N/F JONES, CHARLES SPENCE
PIN: 1757884608
DB: 5319 PG: 135
BM 1994 PG 1952
ZONING: R-30 (WC) USE: SF

N/F JONES, CHARLES SPENCE
PIN: 1757883981
DB: 5319 PG: 135
BM 1994 PG 1952
ZONING: R-30 (WC) USE: SF

NO.	REVISIONS	DATE	BY
0			
1			



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ENGINEERING GROUP

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305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

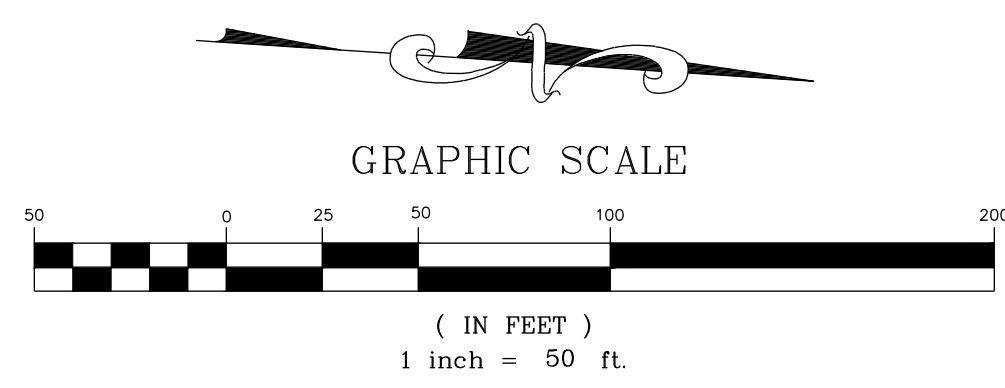
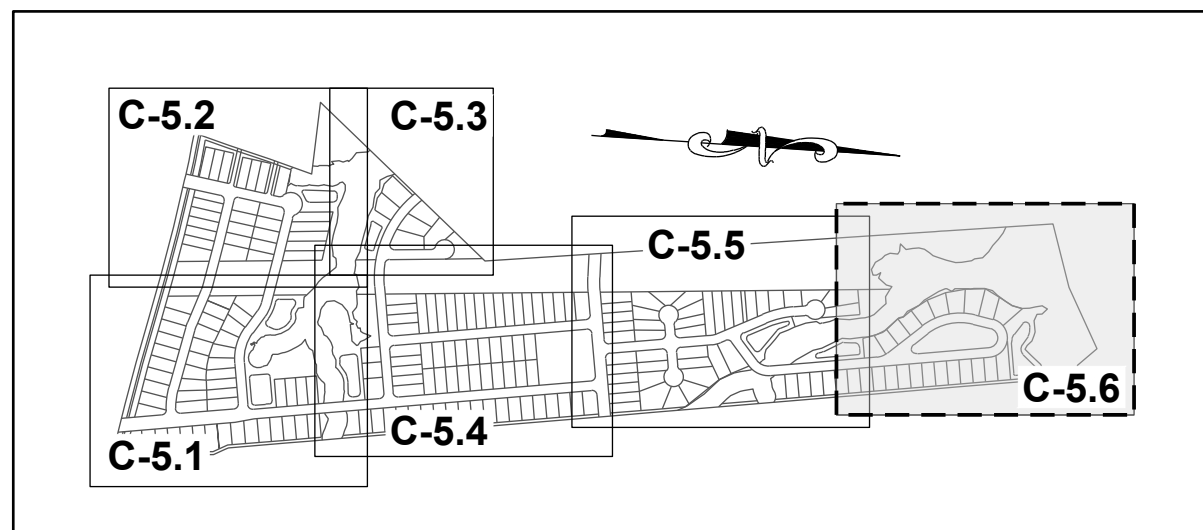
STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	AS SHOWN	JWL	SREG	JWL
SCALE	DESIGNED BY	DRAWN BY	CHECKED BY		

HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

PARTIAL SITE PLAN V

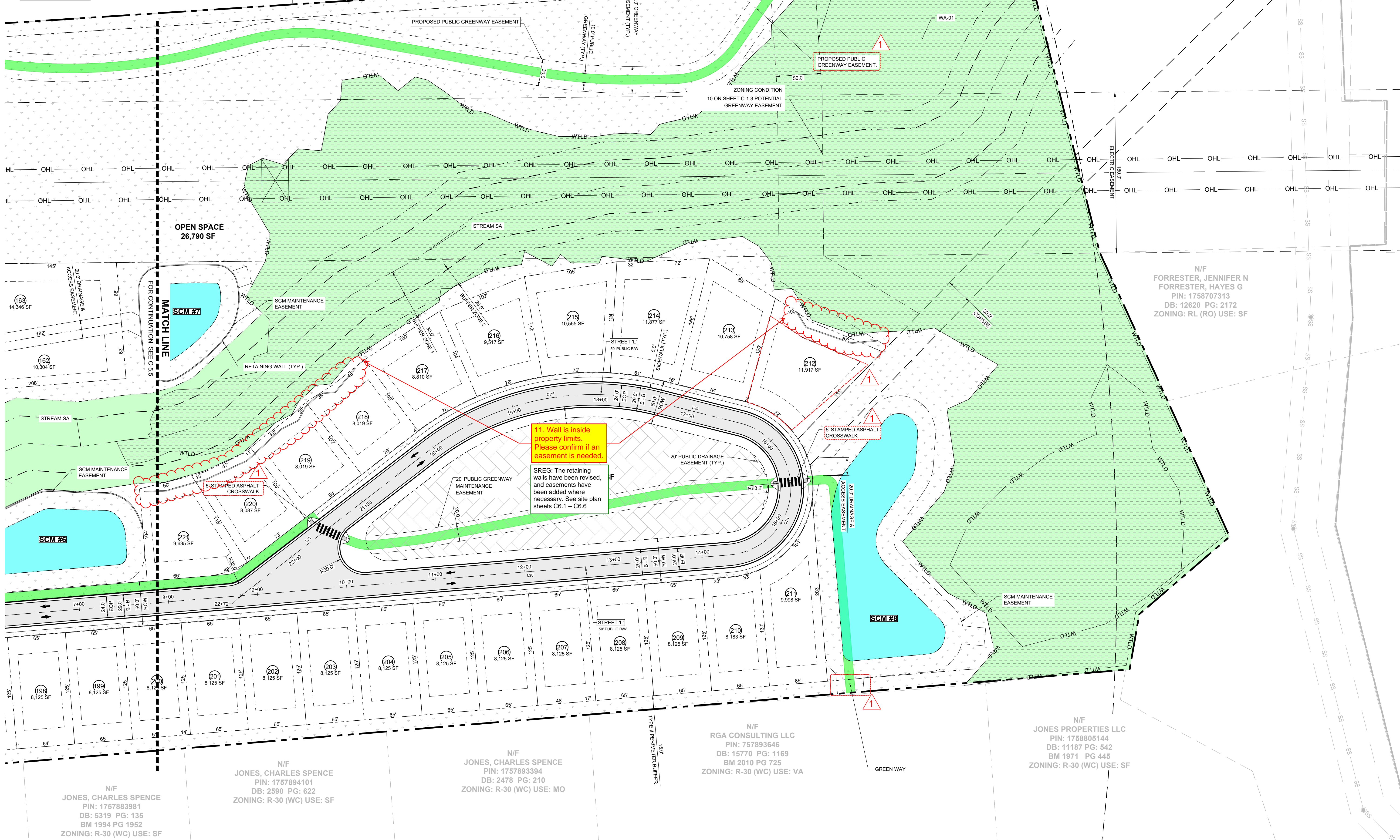
DRAWING SHEET
C-5.5
25 OF 57

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LEGEND:
SEE SHEET C-5.0 FOR LEGEND, LINE AND CURVE TABLES

SITE KEY PLAN



N/F
CARLE, SCOTT CARLE, THERESA
PIN: 1757790646
DB: 14863 PG: 2493
BM 2008 PG 2198
ZONING: R-30 (WC) USE: VA

N/F
JONES, CHARLES E
PIN: 1757694902
DB: 8581 PG: 2079
BM 2018 PG 390
ZONING: RL (RO) USE: VA

N/F
FORRESTER, JENNIFER N
FORRESTER, HAYES G
PIN: 1758707313
DB: 12620 PG: 2172
ZONING: RL (RO) USE: SF

N/F
RGA CONSULTING LLC
PIN: 757893646
DB: 15770 PG: 1169
BM 2010 PG 725
ZONING: R-30 (WC) USE: VA

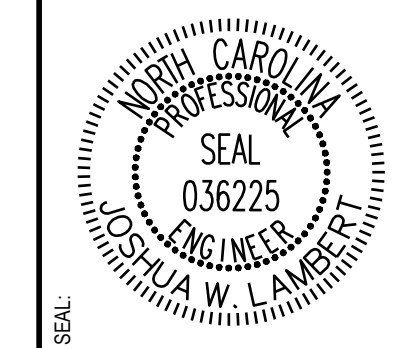
N/F
JONES PROPERTIES LLC
PIN: 1758805144
DB: 11187 PG: 542
BM 1971 PG 445
ZONING: R-30 (WC) USE: SF

N/F
JONES, CHARLES SPENCE
PIN: 1757883981
DB: 5319 PG: 135
BM 1994 PG 1952
ZONING: R-30 (WC) USE: SF

N/F
JONES, CHARLES SPENCE
PIN: 1757894101
DB: 2590 PG: 622
ZONING: R-30 (WC) USE: SF

N/F
JONES, CHARLES SPENCE
PIN: 1757893394
DB: 2478 PG: 210
ZONING: R-30 (WC) USE: MO

NO.	REVISIONS	DATE	BY
0			
1			



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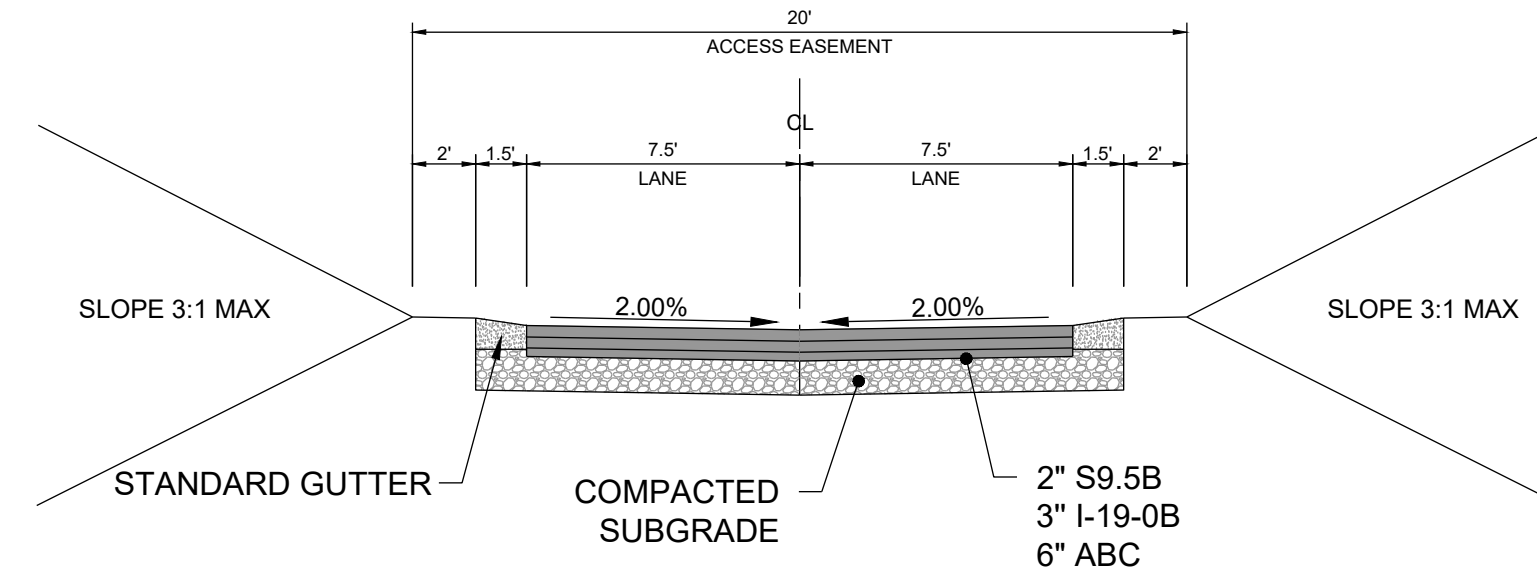
STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	AS SHOWN	JWL	SRG	JWL
SCALE	DESIGNED BY	DRAWN BY	CHECKED BY		

HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

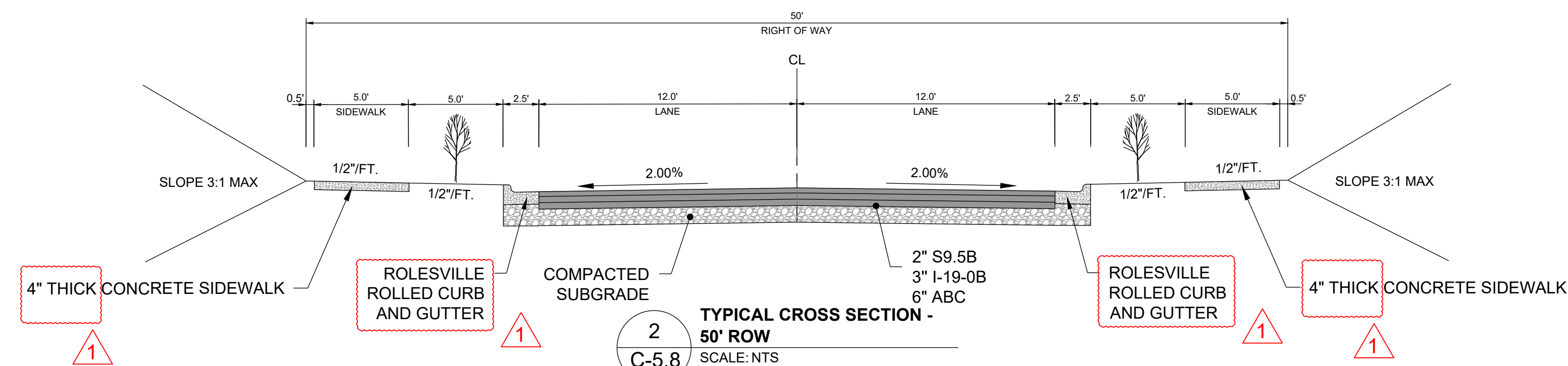
PARTIAL SITE PLAN VI

DRAWING SHEET
C-5.6

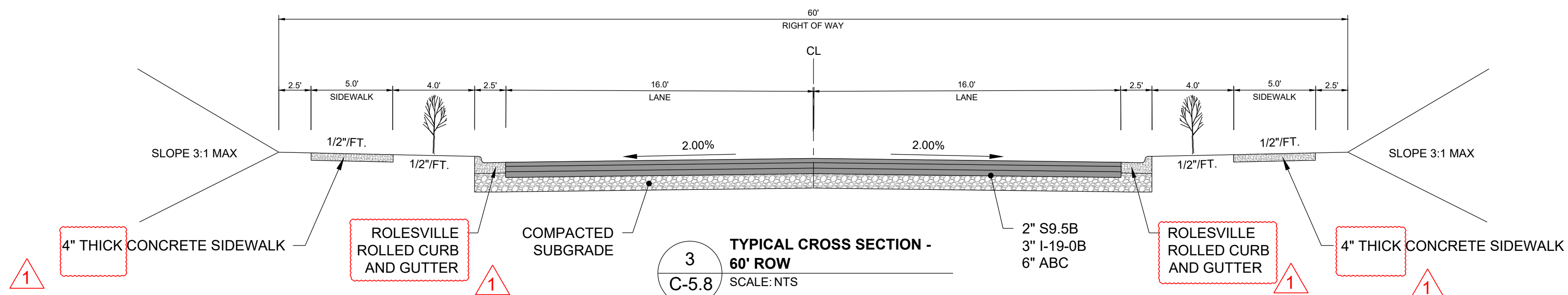
THIS PLANSET AND ANY ASSOCIATED DOCUMENTS ARE PRELIMINARY AND NOT AUTHORIZED FOR CONSTRUCTION UNTIL SIGNED, DATED, AND OFFICIALLY RELEASED FOR CONSTRUCTION BY THE ENGINEER OF RECORD.



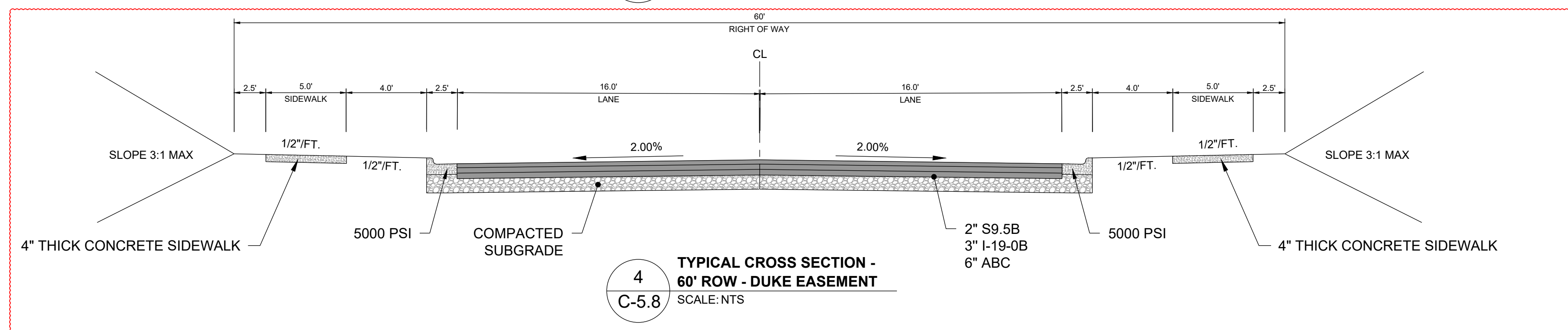
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TYPICAL CROSS SECTION -
20' PRIVATE OFFSITE DRIVEWAY
C-5.8 SCALE: NTS



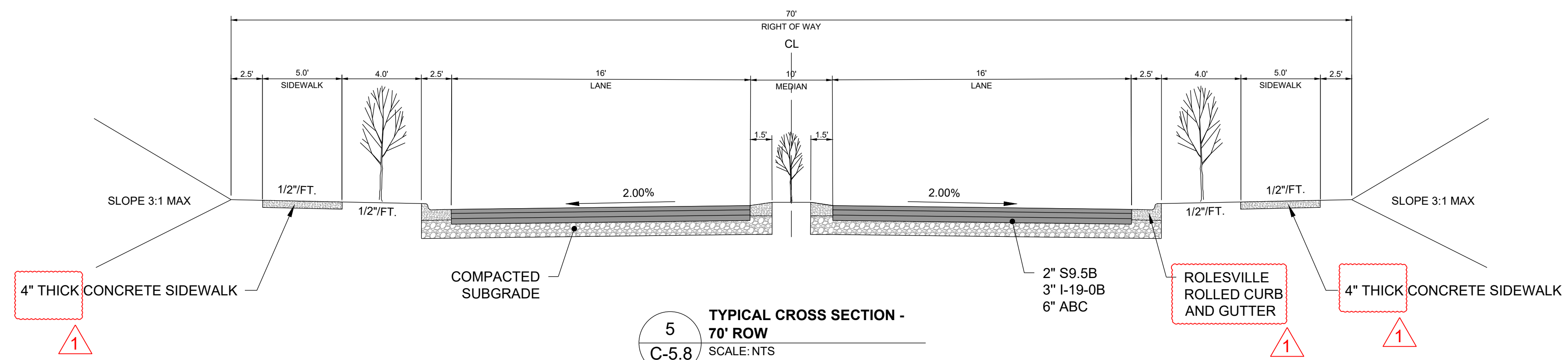
2
TYPICAL CROSS SECTION -
50' ROW
C-5.8 SCALE: NTS



3
TYPICAL CROSS SECTION -
60' ROW
C-5.8 SCALE: NTS



4
TYPICAL CROSS SECTION -
60' ROW - DUKE EASEMENT
C-5.8 SCALE: NTS



5
TYPICAL CROSS SECTION -
70' ROW
C-5.8 SCALE: NTS

NO.	DATE	BY
0		
1		



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STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL
---------------------	----------------------	----------------	-----------------	--------------	----------------

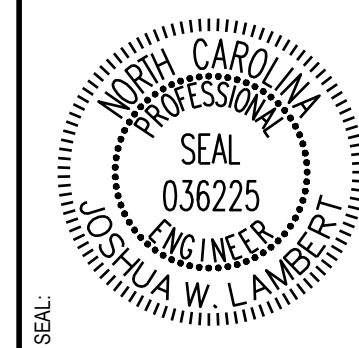
HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

TYPICAL STREET SECTION

DRAWING SHEET
C-5.8

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0	TOWN OF ROLESVILLE V1-FSP-24-03	05/30/2024	ISREG
1	TOWN OF ROLESVILLE V2-FSP-24-03	08/30/2024	ISREG



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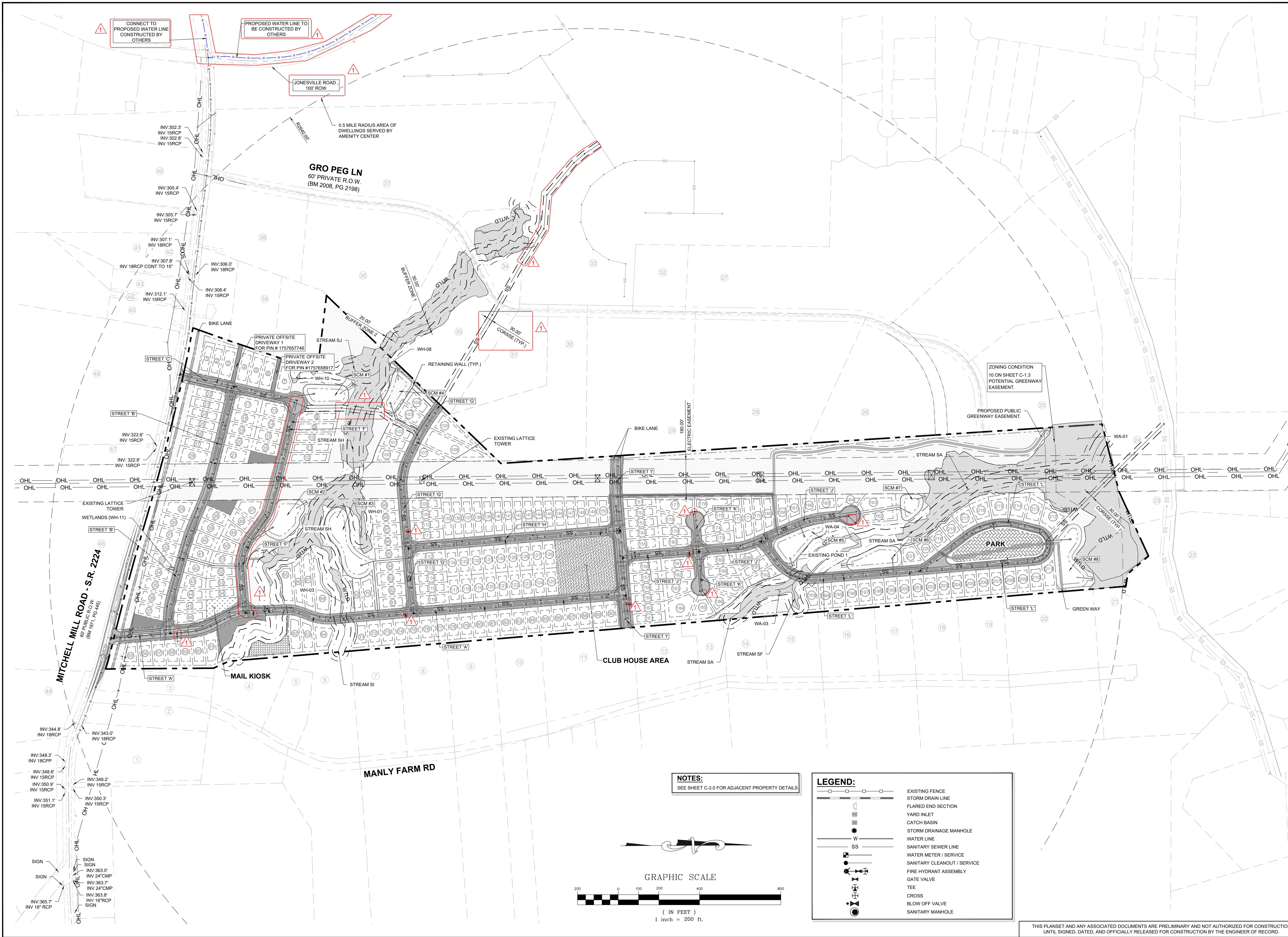
STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	JWL	SRG	JWL
			DESIGNED BY	DRAWN BY	CHECKED BY

HILLS AT HARRIS CREEK

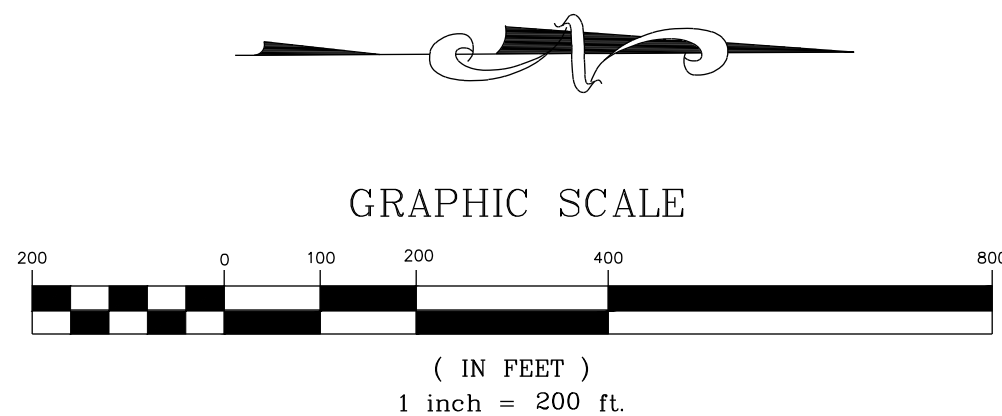
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

OVERALL UTILITY PLAN

DRAWING SHEET
C-6.0



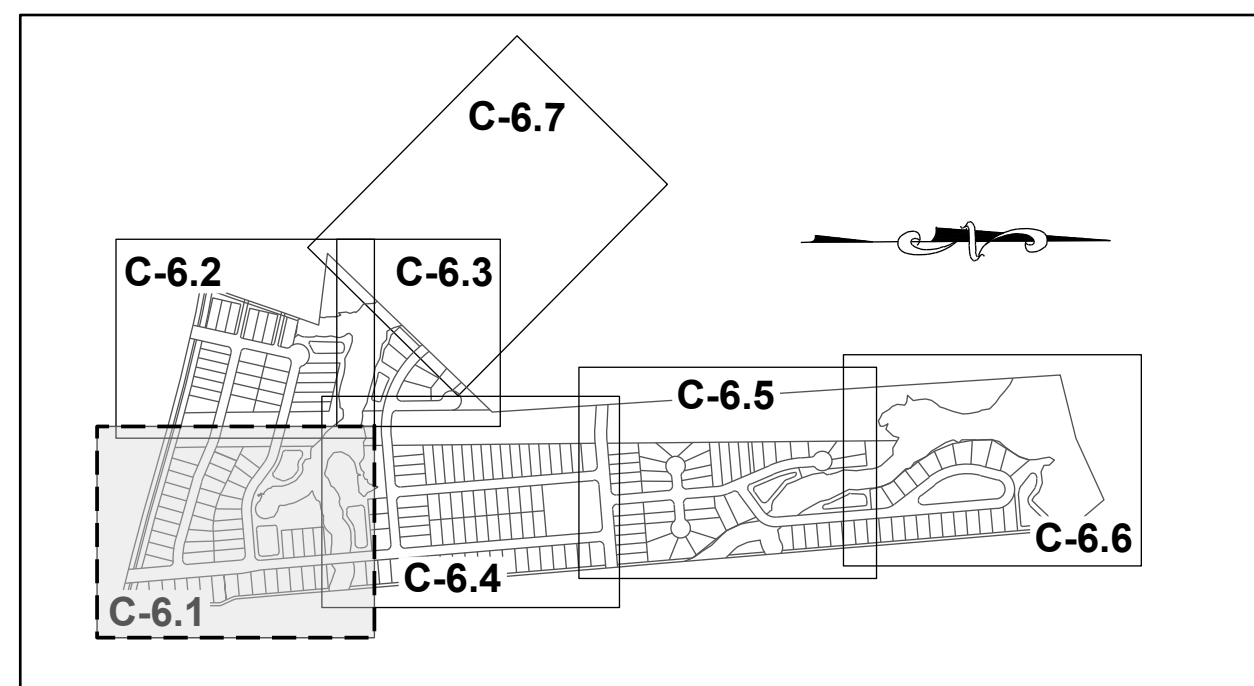
NOTES:
SEE SHEET C-3.0 FOR ADJACENT PROPERTY DETAILS



LEGEND:

	EXISTING FENCE
	STORM DRAIN LINE
	FLARED END SECTION
	YARD INLET
	CATCH BASIN
	STORM DRAINAGE MANHOLE
	WATER LINE
	SANITARY SEWER LINE
	WATER METER / SERVICE
	SANITARY CLEANOUT / SERVICE
	FIRE HYDRANT ASSEMBLY
	GATE VALVE
	TEE
	CROSS
	BLOW OFF VALVE
	SANITARY MANHOLE

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SITE KEY PLAN

LEGEND:

SEE SHEET C-6.0 FOR LEGEND.



GRAPHIC SCALE



(IN FEET)
1 inch = 50 ft.

N/F
SOUTHVIEW INVESTMENT LLC
PIN: 1757738451
DB: 19248 PG: 2000
ZONING: R-30 (WC) USE: SF

MITCHELL MILL ROAD - S.R. 2224
60' PUBLIC R.O.W.
(BM 1971, PG 445)

N/F
JONES, CHARLES, ET,AL
PIN: 1757856303
DB: 13359 PG: 400
ZONING: R-30 (WC) USE: AG

N/F
JONES PROPERTIES LLC
PIN: 1757856755
DB: 12895 PG: 505
BM: 1993 PG: 446
ZONING: R-30 (WC) USE: SF

N/F
JONES, CHARLES SPENCER
PIN: 1757857937
DB: 9320 PG: 1460
BM 1993 PG 446
ZONING: R-30 (WC) USE: SF

N/F
ANDERSON, BOBBY G
PIN: 1757868104
DB: 8776 PG: 573
BM 1993 PG 446
ZONING: R-30 (WC) USE: MO

N/F
HERNADEZ, JUANITA
PIN: 1757866385
DB: 19332 PG: 1806
BM 1990 PG 132
ZONING: R-30 (WC) USE: MO

HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

PARTIAL UTILITY PLAN I

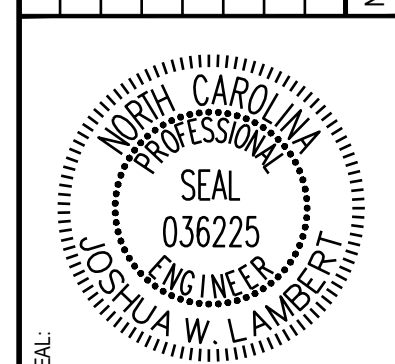
DRAWING SHEET

C-6.1

30 OF 57

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NO.	REVISIONS	DATE	BY
0			
1			



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STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE	AS SHOWN	JWL	SRG	JWL	SRG

DESIGNED BY	DRAWN BY	CHECKED BY

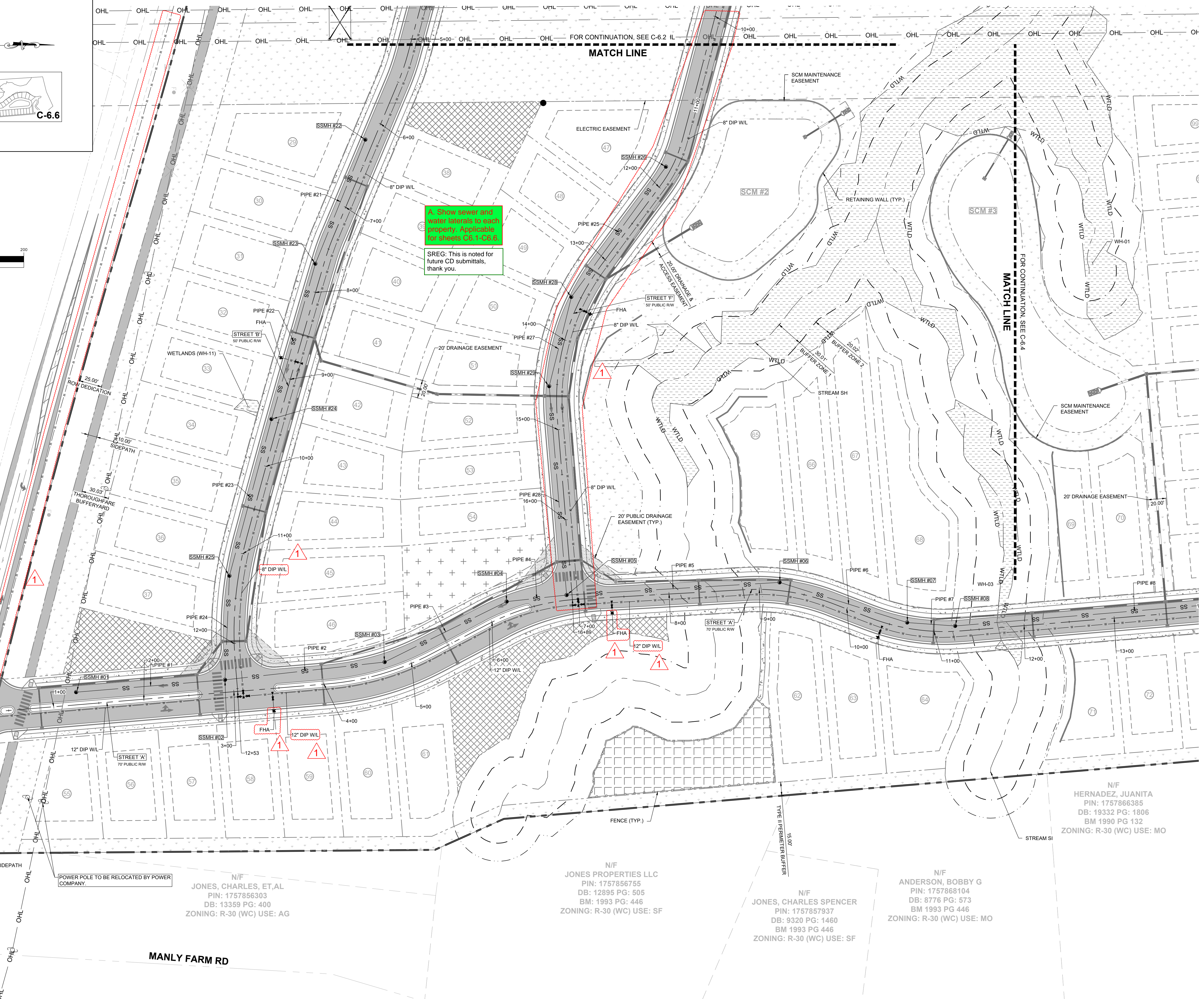
A. Show sewer and water laterals to each property. Applicable for sheets C-6.1 - C-6.8.
SREG: This is noted for future CD submittals, thank you.

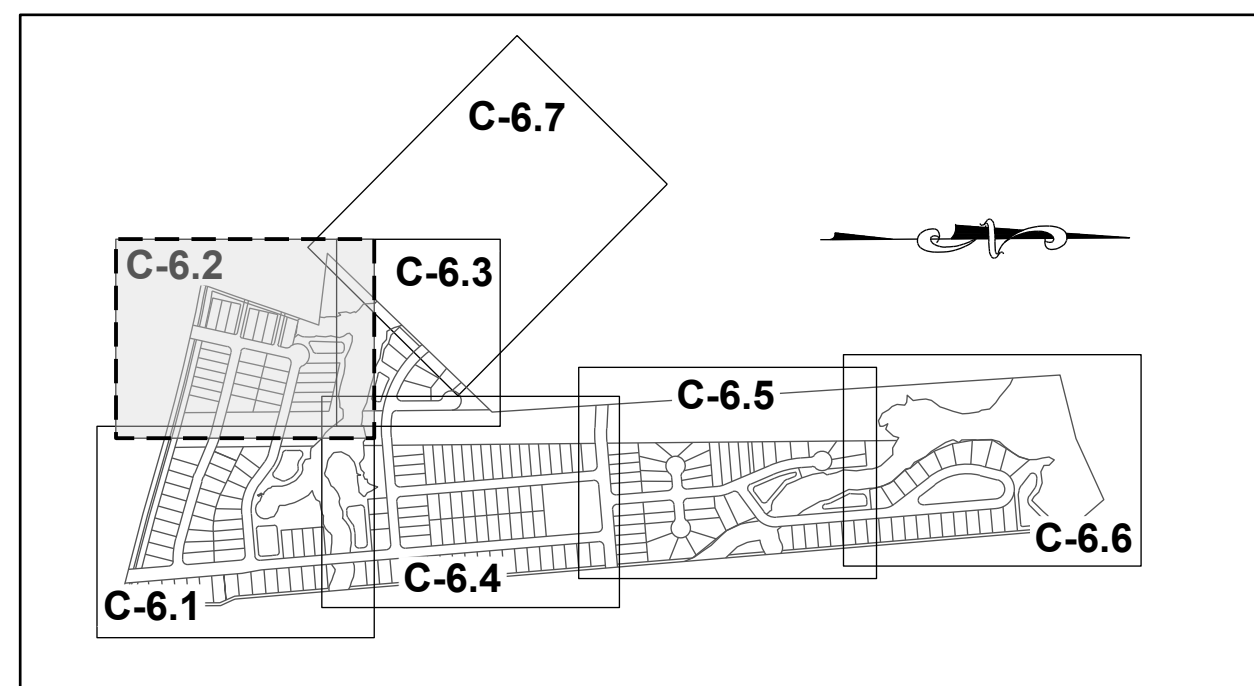
MATCH LINE

MATCH LINE

FOR CONTINUATION, SEE C-6.2 IL

FOR CONTINUATION, SEE C-6.4

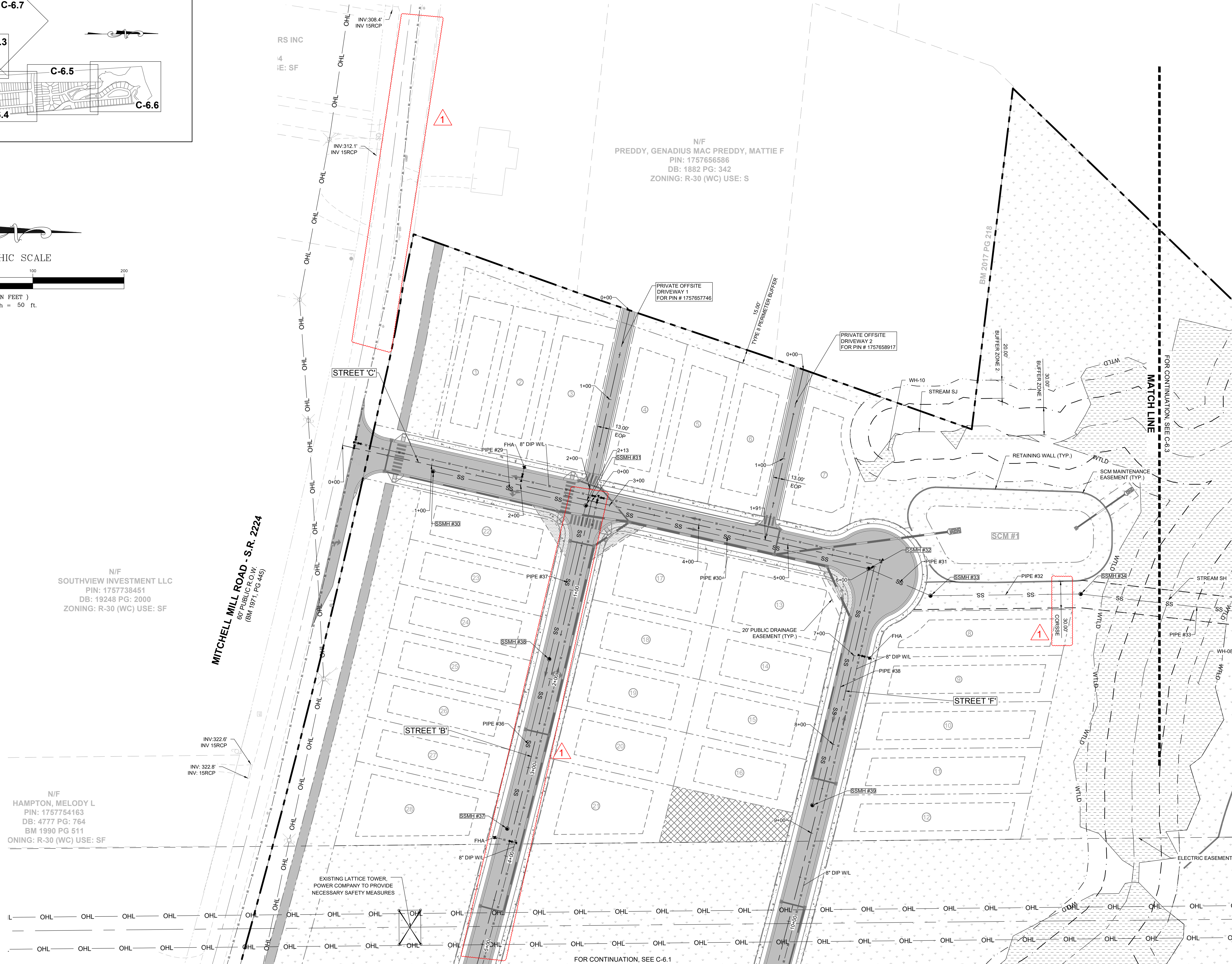
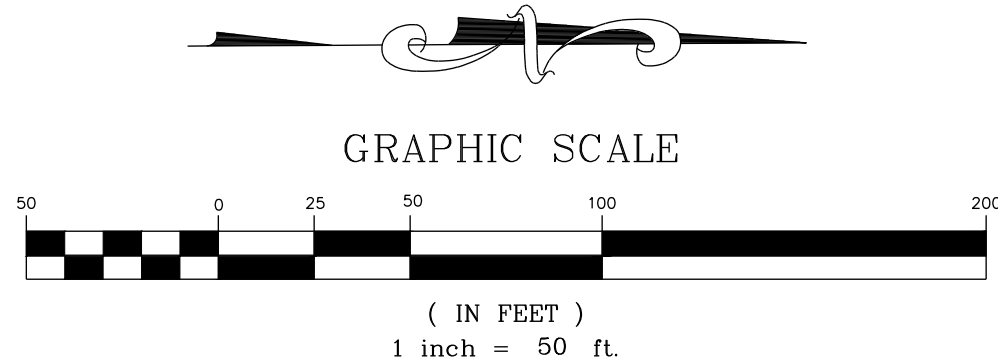




SITE KEY PLAN

LEGEND:

SEE SHEET C-6.0 FOR LEGEND.



NO.	REVISIONS	DATE	BY
0			
1			



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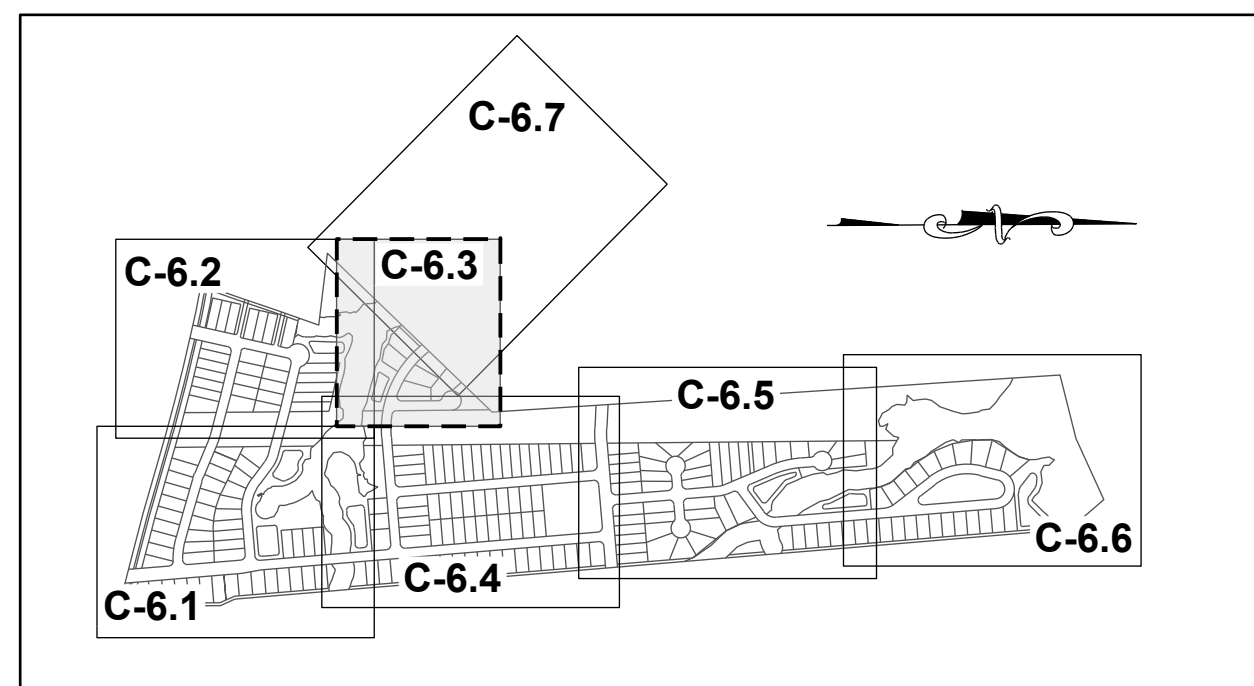
STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	AS SHOWN	JWL	SRG	JWL

HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

PARTIAL UTILITY PLAN II

DRAWING SHEET
C-6.2

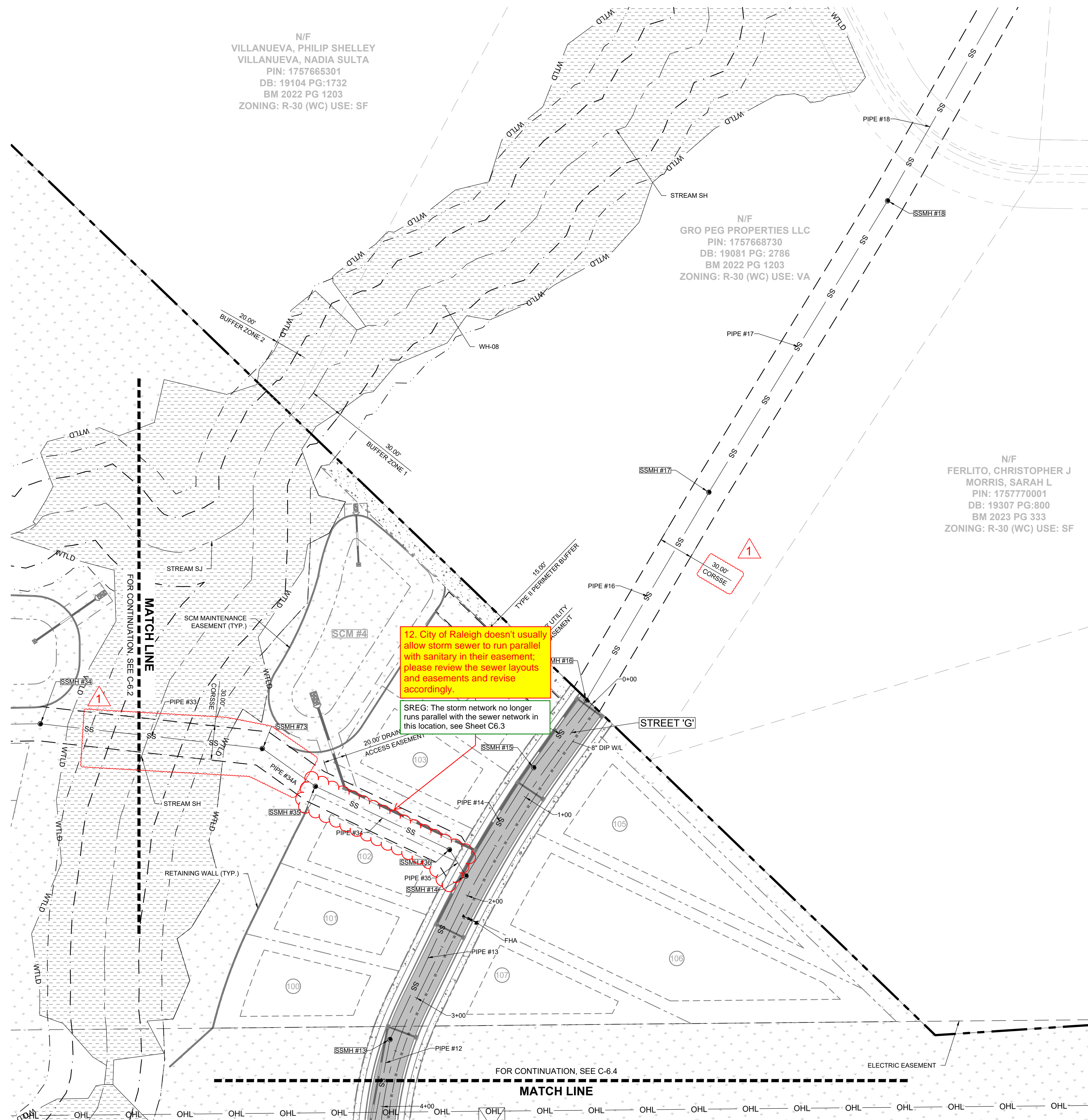
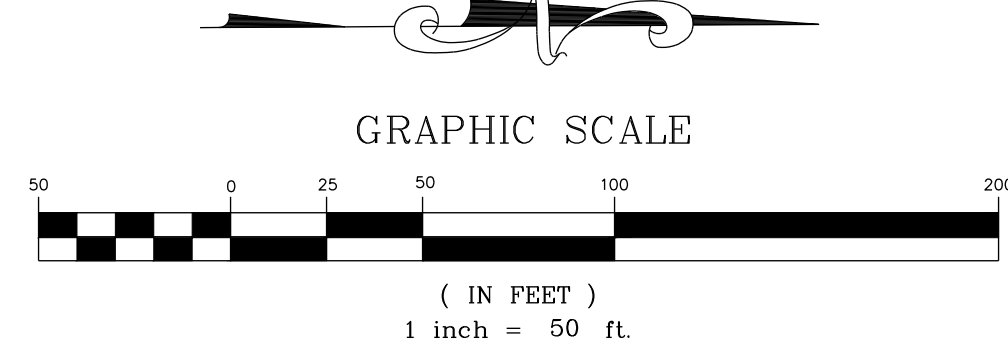
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SITE KEY PLAN

LEGEND:

SEE SHEET C-6.0 FOR LEGEND.



N/F
VILLANUEVA, PHILIP SHELLEY
VILLANUEVA, NADIA SULTA
PIN: 1757665301
DB: 19104 PG:1732
BM 2022 PG 1203
ZONING: R-30 (WC) USE: SF

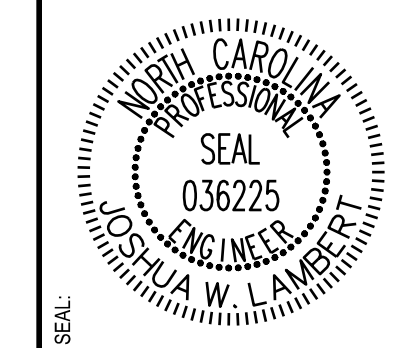
N/F
GRO PEG PROPERTIES LLC
PIN: 1757668730
DB: 19081 PG: 2786
BM 2022 PG 1203
ZONING: R-30 (WC) USE: VA

N/F
FERLITO, CHRISTOPHER J
MORRIS, SARAH L
PIN: 1757770001
DB: 19307 PG:800
BM 2023 PG 333
ZONING: R-30 (WC) USE: SF

12. City of Raleigh doesn't usually allow storm sewer to run parallel with sanitary in their easement; please review the sewer layouts and easements and revise accordingly.

SREG: The storm network no longer runs parallel with the sewer network in this location, see Sheet C6.3

NO.	DATE	REVISIONS	BY
0	06/30/2024		
1	08/30/2024		



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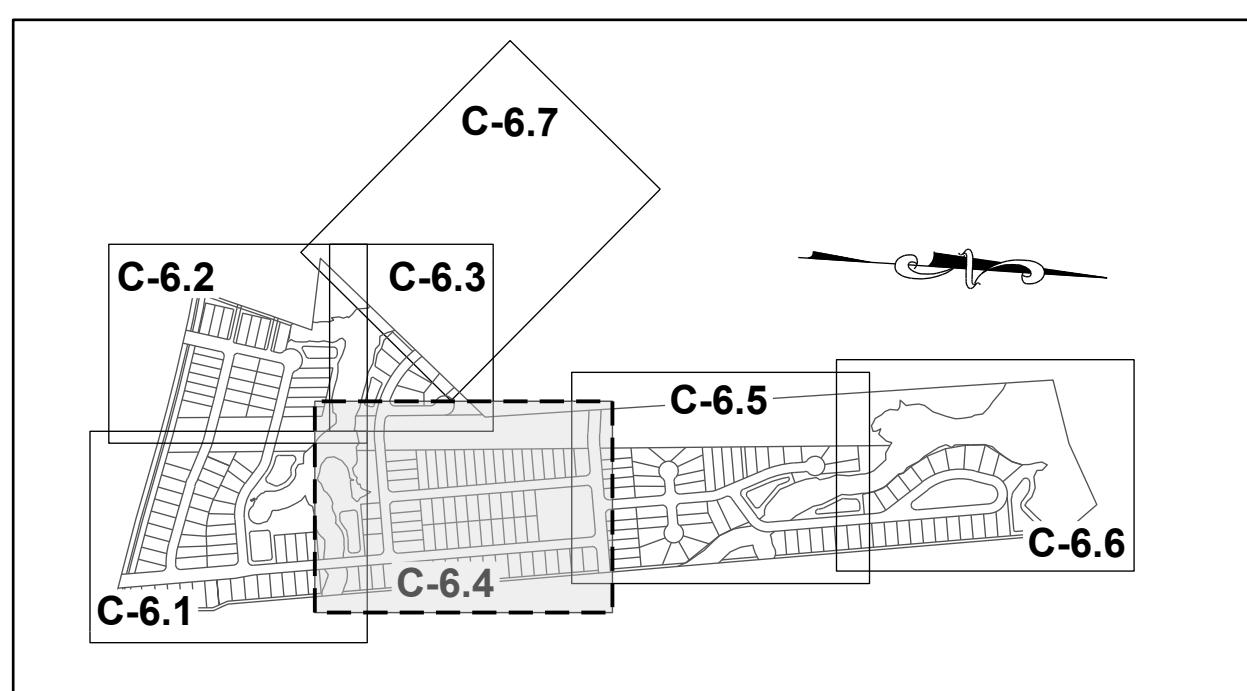
STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	JWL	SRG	JWL
			DESIGNED BY	DRAWN BY	CHECKED BY

HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

PARTIAL UTILITY PLAN III

DRAWING SHEET
C-6.3

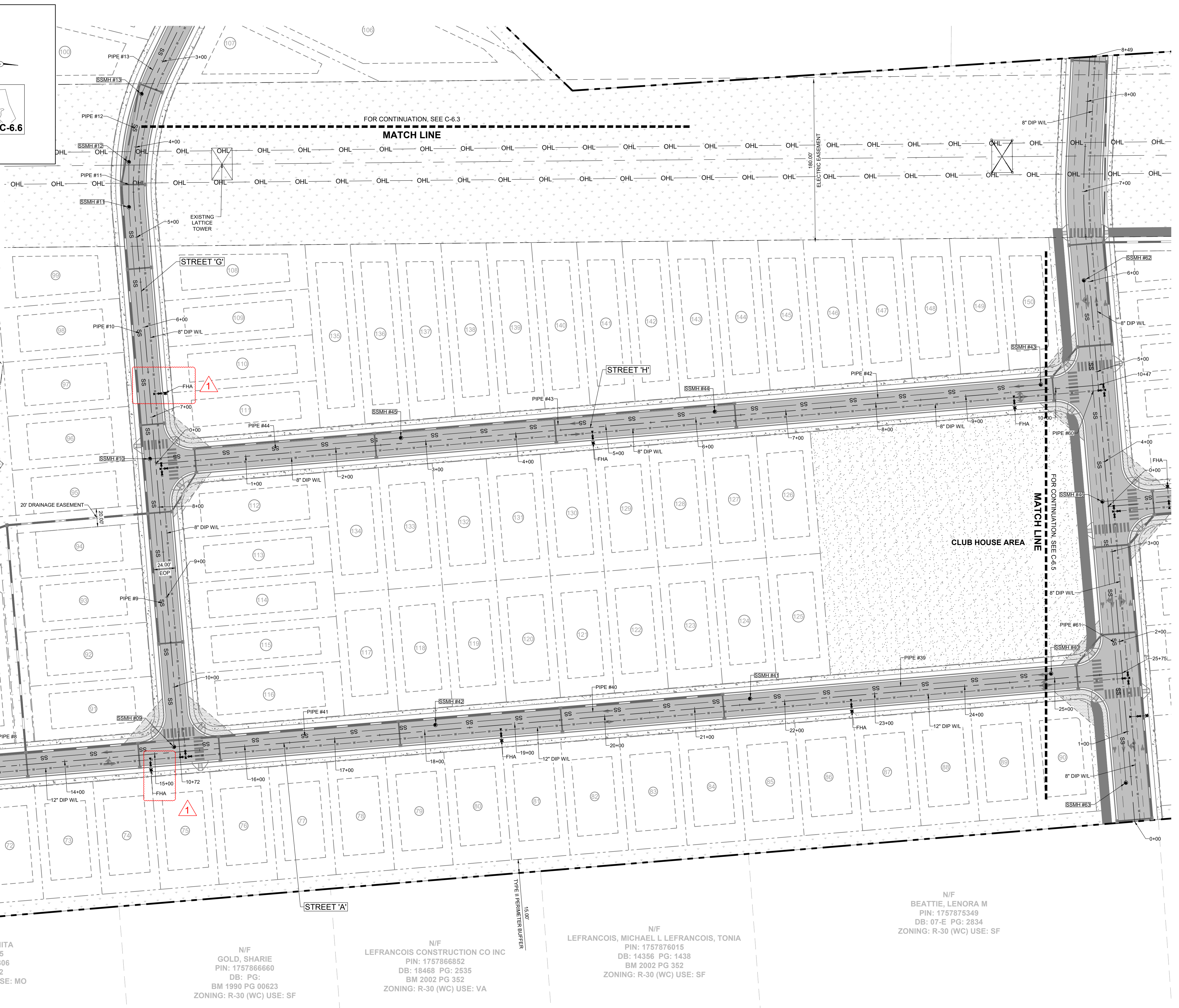
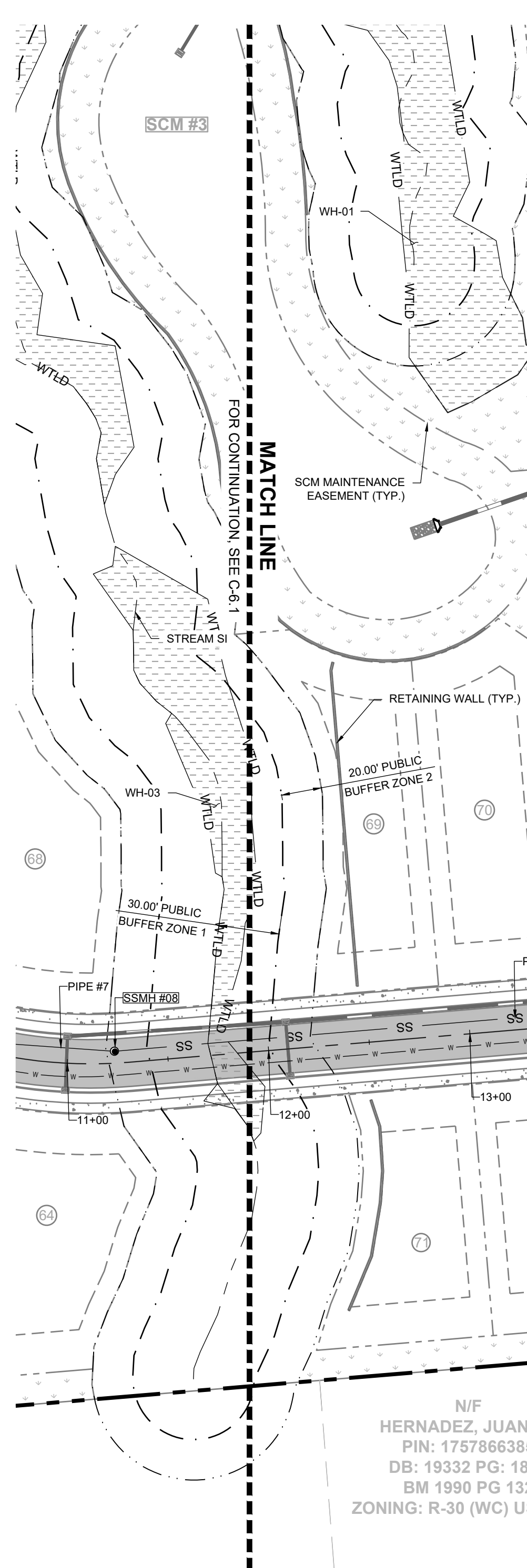
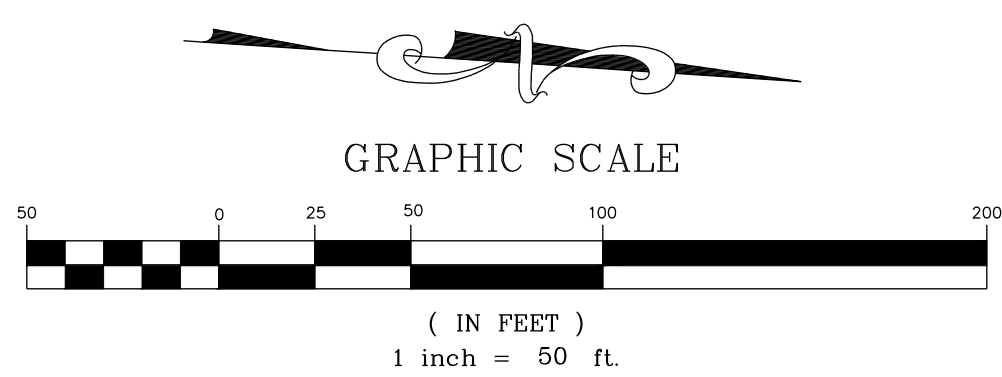
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SITE KEY PLAN

LEGEND:

SEE SHEET C-6.0 FOR LEGEND.



N/F
HERNADEZ, JUANITA
PIN: 1757866385
DB: 19332 PG: 1806
BM 1990 PG 132
ZONING: R-30 (WC) USE: MO

N/F
GOLD, SHARIE
PIN: 1757866660
DB: PG:
BM 1990 PG 00623
ZONING: R-30 (WC) USE: SF

N/F
LEFRANCOIS CONSTRUCTION CO INC
PIN: 1757866852
DB: 18468 PG: 2535
BM 2002 PG 352
ZONING: R-30 (WC) USE: VA

N/F
LEFRANCOIS, MICHAEL L LEFRANCOIS, TONIA
PIN: 1757876015
DB: 14356 PG: 1438
BM 2002 PG 352
ZONING: R-30 (WC) USE: SF

N/F
BEATTIE, LENORA M
PIN: 1757875349
DB: 07-E PG: 2834
ZONING: R-30 (WC) USE: SF

NO.	REVISIONS	DATE	BY
0			
1			



STRONGROCK

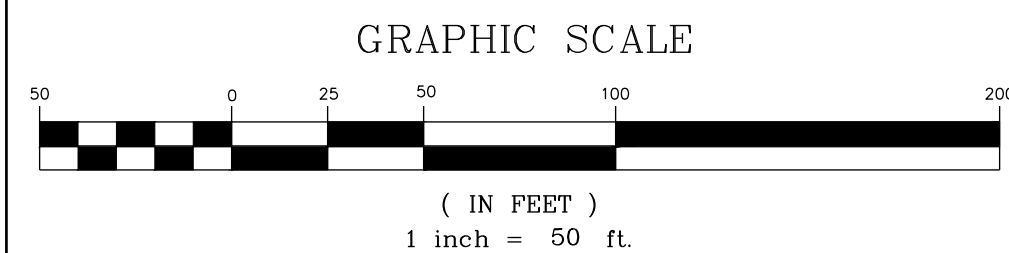
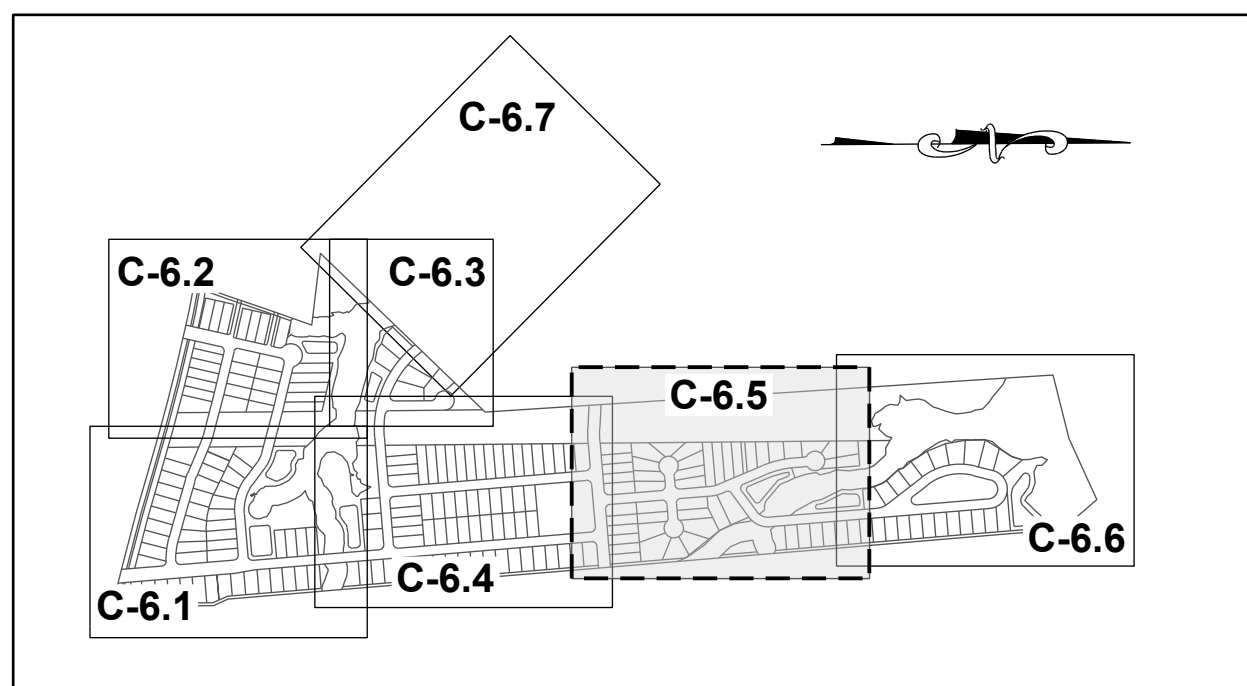
ENGINEERING GROUP

STRONGROCK PROJECT
NOT FOR CONSTRUCTION
SCALE AS SHOWN
DESIGNED BY JWL
DRAWN BY SRG
CHECKED BY JWL

HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
PARTIAL UTILITY PLAN IV

DRAWING SHEET
C-6.4

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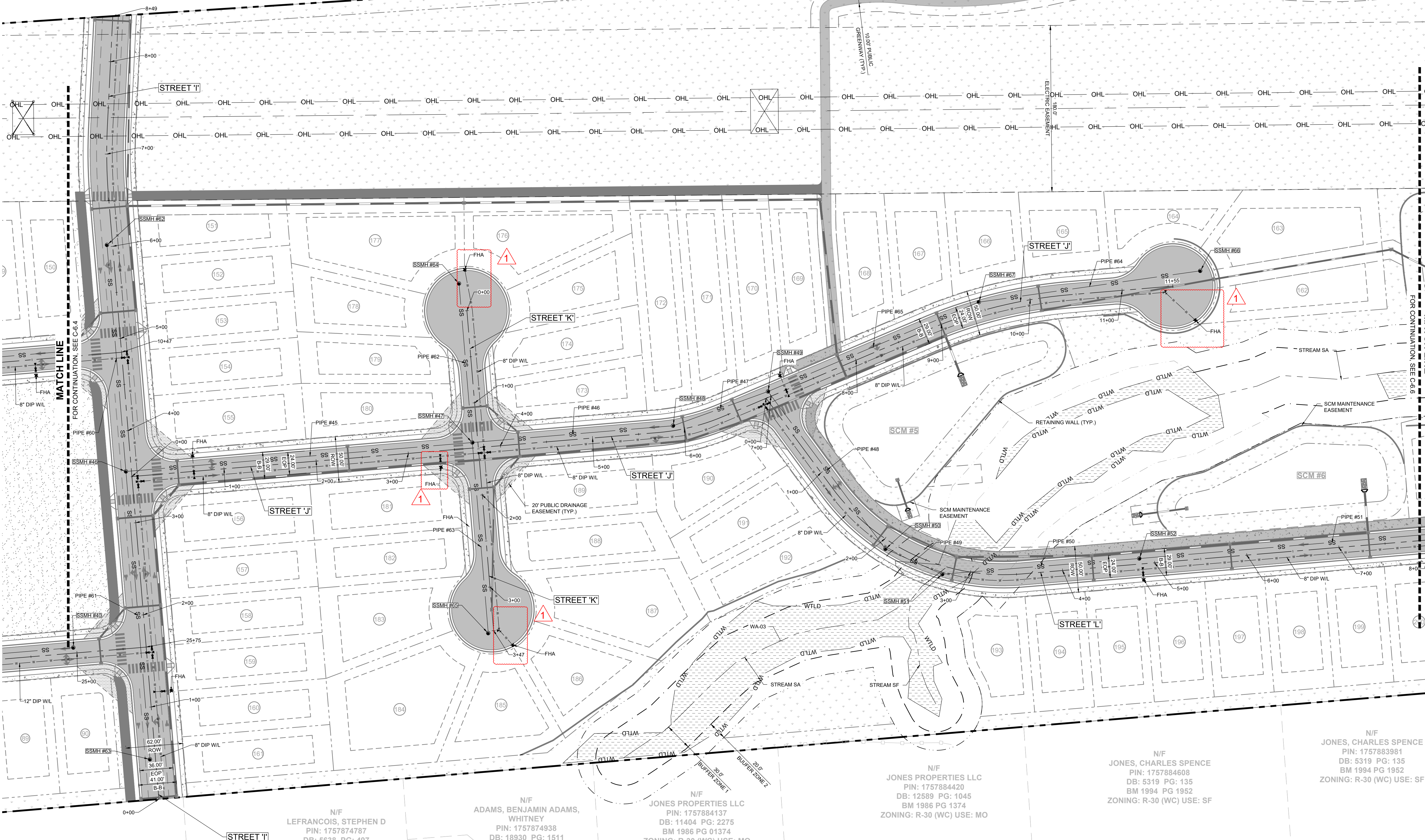


**SITE KEY PLAN
LEGEND:**

SEE SHEET C-6.0 FOR LEGEND.

N/F
CARLE, SCOTT CARLE, THERESA
PIN: 1757780258
DB: 14863 PG: 2493
BM 2008 PG 2198
ZONING: R-30 (WC) USE: SF

N/F
CARLE, SCOTT CARLE, THERESA
PIN: 1757781960
DB: 14863 PG: 2493
BM 2009 PG 645
ZONING: R-30 (WC) USE: VA



0	TOWN OF ROLESVILLE V1-FSP-24-03	05/30/2024	ISREG
1	TOWN OF ROLESVILLE V2-FSP-24-03	08/30/2024	ISREG



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STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	JWL	SRG	JWL
DESIGNED BY	DRAWN BY	CHECKED BY			

HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

PARTIAL UTILITY PLAN V

N/F
JONES, CHARLES SPENCE
PIN: 1757883981
DB: 5319 PG: 135
BM 1994 PG 1952
ZONING: R-30 (WC) USE: SF

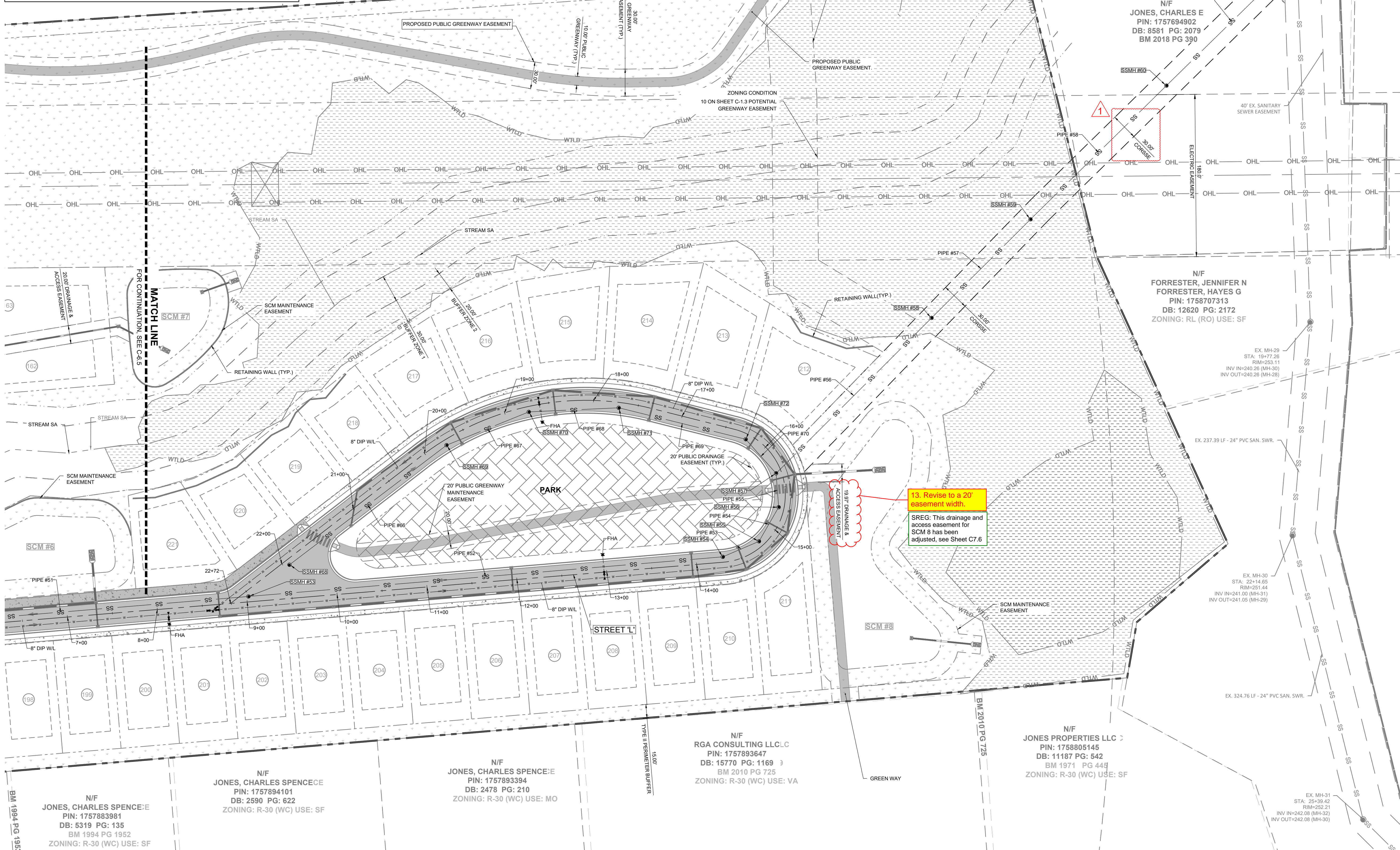
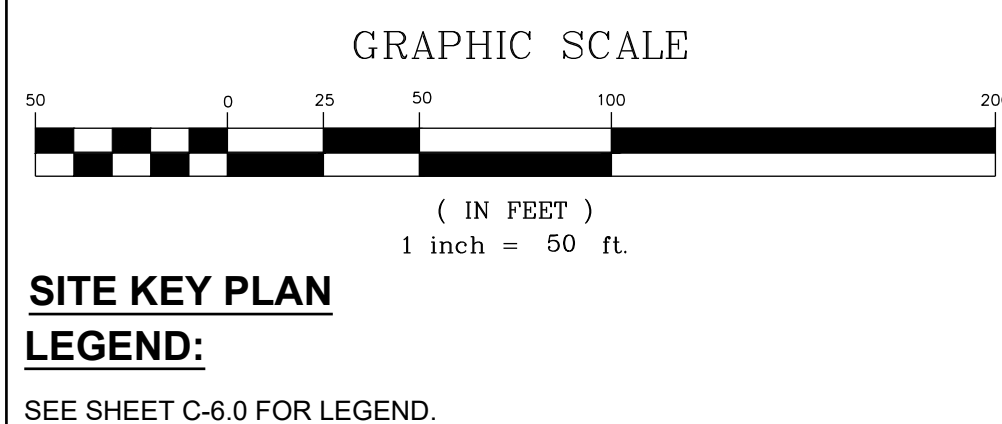
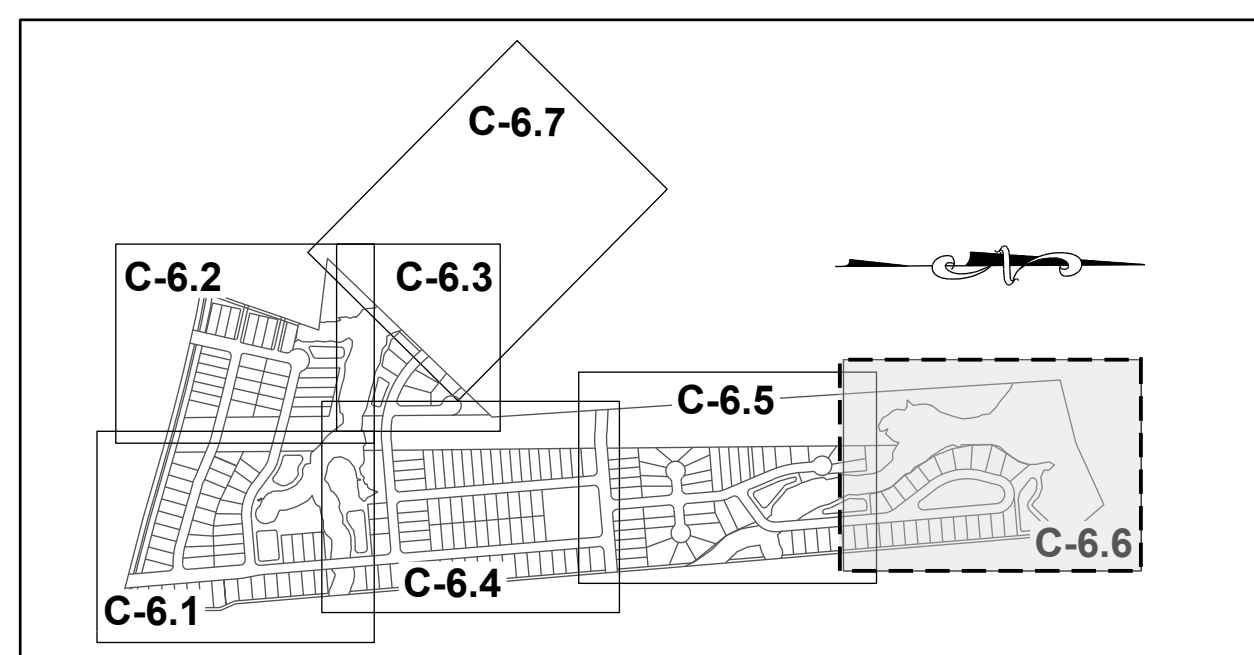
N/F
LEFRANCOIS, STEPHEN D
PIN: 1757874787
DB: 5638 PG: 497
ZONING: R-30 (WC) USE: SF

N/F
ADAMS, BENJAMIN ADAMS, WHITNEY
PIN: 1757874938
DB: 18930 PG: 1511
BM 2006 PG 2397
ZONING: R-30 (WC) USE: SF

N/F
JONES PROPERTIES LLC
PIN: 1757884420
DB: 11404 PG: 2275
BM 1986 PG 1374
ZONING: R-30 (WC) USE: MO

N/F
JONES, CHARLES SPENCE
PIN: 1757884608
DB: 5319 PG: 135
BM 1994 PG 1952
ZONING: R-30 (WC) USE: SF

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13. Revise to a 20' easement width.
SREG: This drainage and access easement for SCM 8 has been adjusted, see Sheet C7.6

NO.	REVISIONS	DATE	BY
0			
1			



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305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 INFORMATION@STRONGROCKGROUP.COM

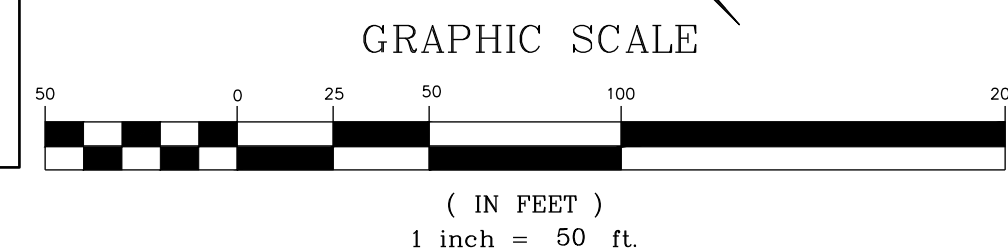
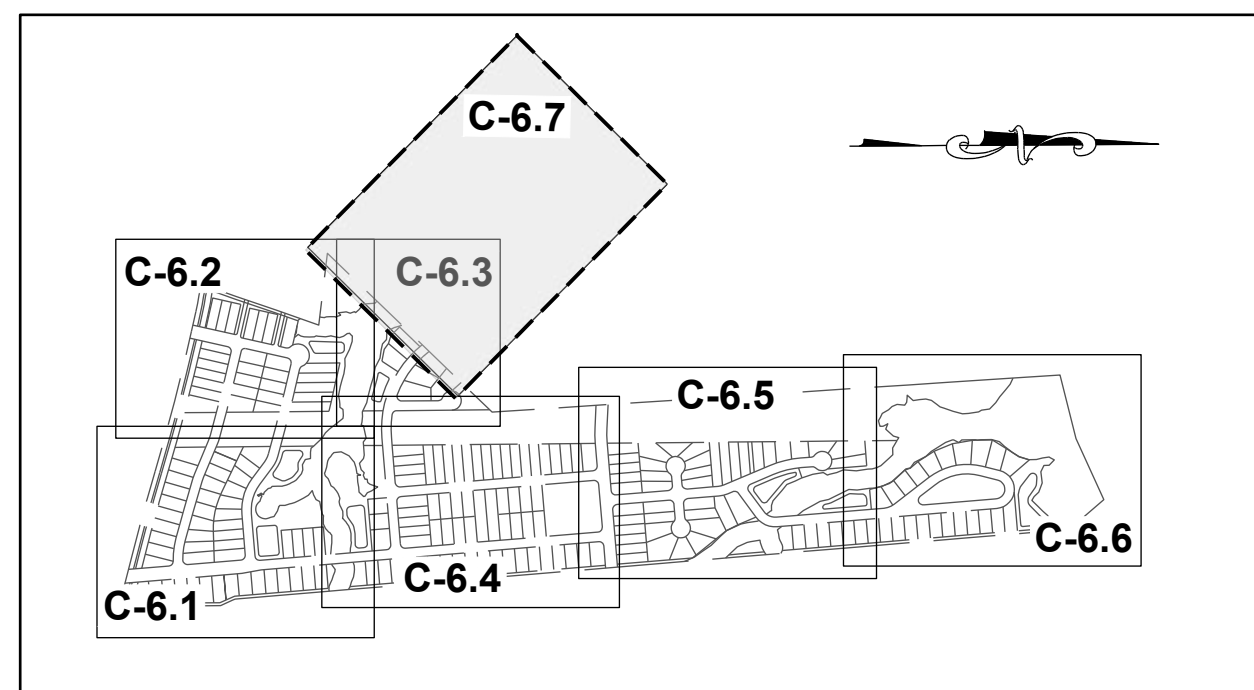
STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	JWL	SRG	JWL
DESIGNED BY	DRAWN BY	CHECKED BY			

HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

PARTIAL UTILITY PLAN VI

DRAWING SHEET
C-6.6

THIS PLANSET AND ANY ASSOCIATED DOCUMENTS ARE PRELIMINARY AND NOT AUTHORIZED FOR CONSTRUCTION UNTIL SIGNED, DATED, AND OFFICIALLY RELEASED FOR CONSTRUCTION BY THE ENGINEER OF RECORD.



SITE KEY PLAN

LEGEND:

SEE SHEET C-6.0 FOR LEGEND.

N/F
VILLANUEVA, PHILIP SHELLEY
VILLANUEVA, NADIA SULTA
PIN: 1757665301
DB: 19104 PG:1732
BM 2022 PG 1203
ZONING: R-30 (WC) USE: SF

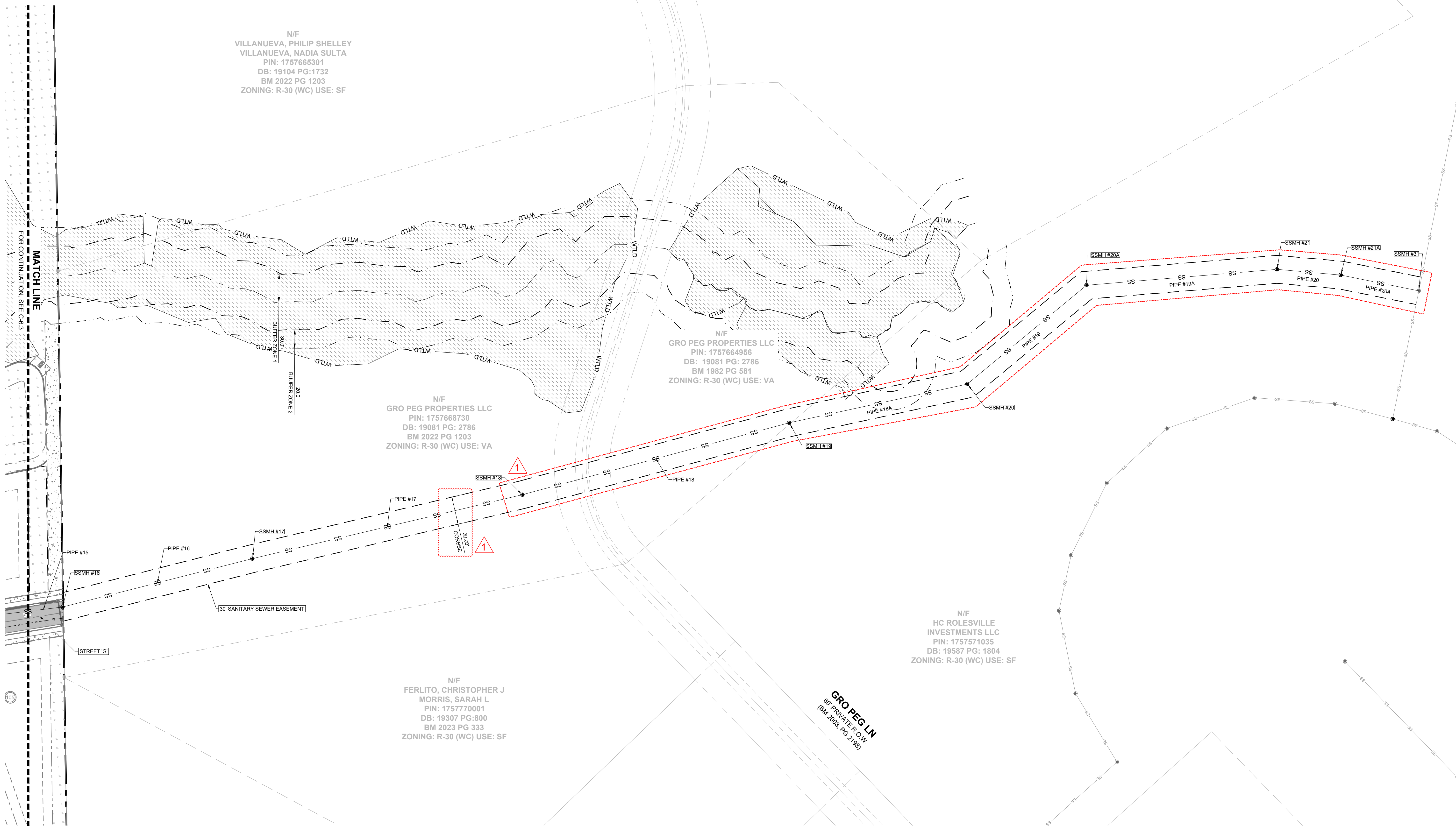
N/F
GRO PEG PROPERTIES LLC
PIN: 1757664956
DB: 19081 PG: 2786
BM 1982 PG 581
ZONING: R-30 (WC) USE: VA

N/F
GRO PEG PROPERTIES LLC
PIN: 1757668730
DB: 19081 PG: 2786
BM 2022 PG 1203
ZONING: R-30 (WC) USE: VA

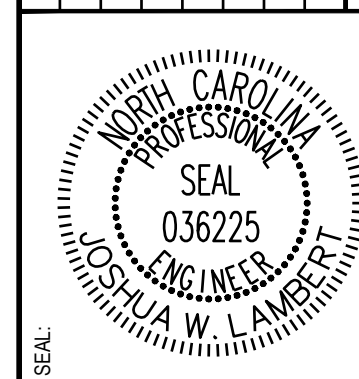
N/F
HC ROLESVILLE
INVESTMENTS LLC
PIN: 1757571035
DB: 19587 PG: 1804
ZONING: R-30 (WC) USE: SF

N/F
FERLITO, CHRISTOPHER J
MORRIS, SARAH L
PIN: 1757770001
DB: 19307 PG:800
BM 2023 PG 333
ZONING: R-30 (WC) USE: SF

GRO PEG LN
80' PRIVATE R.O.W.
(BM 2008 PG 2189)



NO.	REVISIONS	DATE	BY
0			
1			



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ENGINEERING GROUP

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305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	AS SHOWN	JWL	SRG	JWL
SCALE	DESIGNED BY	DRAWN BY	CHECKED BY		

HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

PARTIAL UTILITY PLAN VII

DRAWING SHEET
C-6.7

THIS PLANSET AND ANY ASSOCIATED DOCUMENTS ARE PRELIMINARY AND NOT AUTHORIZED FOR CONSTRUCTION UNTIL SIGNED, DATED, AND OFFICIALLY RELEASED FOR CONSTRUCTION BY THE ENGINEER OF RECORD.

SSMH TABLE					
SSMH NO	SIZE	TOP	INV. IN	INV. OUT	DEPTH
SSMH #01	4'	331.40		325.59 N	5.80
SSMH #02	4'	316.96	310.80 S 297.42 W	297.42 N	19.53
SSMH #03	4'	306.58	292.63 S	292.63 NW	13.95
SSMH #04	4'	303.09	288.54 SE	288.54 N	14.55
SSMH #05	4'	302.39	286.41 S 285.67 W	286.19 N	16.72
SSMH #06	4'	304.52	285.01 S	284.81 N	19.71
SSMH #07	4'	305.24	284.07 S	284.05 N	21.19
SSMH #08	4'	304.14	283.79 S	283.59 N	20.55
SSMH #09	4'	321.06	281.59 S 314.90 N	281.39 W	39.67
SSMH #10	4'	295.58	279.79 E 287.08 N	279.59 W	15.99
SSMH #11	4'	293.64	278.20 E	278.00 W	15.65
SSMH #12	4'	295.97	277.75 E	277.55 W	18.43
SSMH #13	4'	298.96	277.17 E	276.97 NW	21.99
SSMH #14	4'	299.16	276.18 SE 273.21 SW	273.01 NW	26.16
SSMH #15	4'	294.41	272.45 SE	272.25 NW	21.96
SSMH #16	4'	290.00	271.87 SE	271.67 NW	18.32
SSMH #17	4'	289.61	270.62 SE	270.26 NW	19.35
SSMH #18	4'	267.82	261.97 SE	261.73 NW	6.09
SSMH #19	4'	261.48	241.83 SE	241.63 NW	19.85
SSMH #20	4'	251.03	240.65 SE	240.44 W	10.60
SSMH #20A	4'	244.59	239.61 E	239.41 NW	5.18
SSMH #21	4'	250.70	238.38 SE	238.18 NW	12.53
SSMH #21A	4'	252.46	237.83 SE	237.63 NW	14.83
SSMH #22	4'	311.70		305.90 E	5.80
SSMH #23	4'	306.55	300.78 W	300.19 E	6.36
SSMH #24	4'	307.16	299.30 W	299.10 E	8.07
SSMH #25	4'	313.72	298.20 W	298.00 E	15.72
SSMH #26	4'	298.19		292.31 SE	5.88
SSMH #28	4'	293.23	288.73 NW	288.53 E	4.69
SSMH #29	4'	294.71	287.03 W	286.83 E	7.88
SSMH #30	4'	313.38		307.56 N	5.82
SSMH #31	4'	298.33	292.51 S 291.05 E	283.41 N	14.95
SSMH #32	4'	290.37	283.36 E 277.65 S	277.45 NE	12.92
SSMH #33	4'	291.54	277.08 SW	276.88 N	14.66
SSMH #34	4'	279.85	276.05 S	275.85 N	4.00
SSMH #35	4'	288.27	274.39 SW	274.19 NE	14.08
SSMH #36	4'	299.50	273.54 SW	273.34 NE	26.15
SSMH #37	4'	306.41		299.35 W	7.06

SSMH TABLE					
SSMH NO	SIZE	TOP	INV. IN	INV. OUT	DEPTH
SSMH #38	4'	299.17	292.11 E	291.91 W	7.26
SSMH #39	4'	307.13		302.23 W	4.90
SSMH #40	4'	352.29		346.50 S	5.79
SSMH #41	4'	355.03	344.83 N	344.63 S	10.40
SSMH #42	4'	331.90	326.33 N	325.79 S	6.11
SSMH #43	4'	333.37		327.68 S	5.69
SSMH #44	4'	332.45	325.87 N	325.67 S	6.78
SSMH #45	4'	306.60	300.91 N	297.90 S	8.70
SSMH #46	4'	339.69	316.70 W 334.00 E	316.50 N	23.19
SSMH #47	4'	332.51	314.62 S 325.85 W 317.25 E	314.42 N	18.09
SSMH #48	4'	320.32	313.33 S	313.13 N	7.19
SSMH #49	4'	320.05	312.58 S 291.33 NW	291.13 NE	28.92
SSMH #50	4'	312.14	290.07 SW	289.87 NE	22.27
SSMH #51	4'	309.75	289.59 SW	289.39 N	20.37
SSMH #52	4'	301.99	286.49 S	286.29 N	15.70
SSMH #53	4'	285.15	278.21 S	277.85 N	7.30
SSMH #54	4'	265.98	259.71 S	259.50 NW	6.48
SSMH #55	4'	264.16	258.18 SE	257.92 NW	6.25
SSMH #56	4'	262.77	256.83 SE	256.62 W	6.16
SSMH #57	4'	262.03	256.20 E 255.07 SW	254.48 NW	7.55
SSMH #58	4'	246.00	241.75 SE	241.75 NW	4.25
SSMH #59	4'	246.00	240.98 SE	240.98 NW	5.02
SSMH #60	4'	246.00	239.92 SE	239.92 NW	6.08
SSMH #61	4'	252.32	238.91 SE		13.41
SSMH #62	4'	323.62		317.93 E	5.69
SSMH #63	4'	345.16		339.47 W	5.69
SSMH #64	4'	343.91		337.25 E	6.66
SSMH #65	4'	325.12		318.29 W	6.84
SSMH #66	4'	299.67		293.98 S	5.69
SSMH #67	4'	313.36	292.77 N	292.57 SE	20.79
SSMH #68	4'	280.27		273.06 NW	7.21
SSMH #69	4'	266.61	259.69 SE	259.49 N	7.13
SSMH #70	4'	263.66	257.97 S	257.56 N	6.10
SSMH #71	4'	262.35	256.49 S	256.29 N	6.06
SSMH #72	4'	261.66	255.59 S	255.39 NE	6.27
SSMH #73	4'	279.18	274.88 S	274.68 NE	4.53

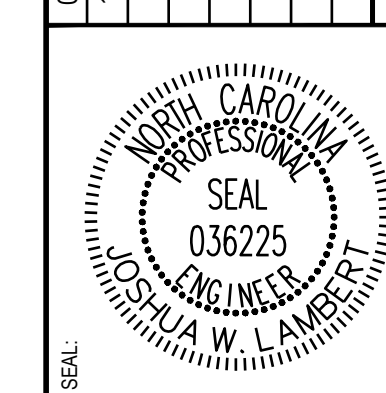
PIPE TABLE						
PIPE NO	TYPE	SIZE	LF	INV. IN	INV. OUT	GRADE
PIPE #1	PVC Pipe	8"	165	325.59	310.80	8.96%
PIPE #2	PVC Pipe	8"	178	297.42	292.63	2.70%
PIPE #3	PVC Pipe	8"	151	292.63	288.54	2.72%
PIPE #4	PVC Pipe	8"	67	288.54	286.41	3.19%
PIPE #5	PVC Pipe	8"	236	286.19	285.01	0.50%
PIPE #6	PVC Pipe	8"	148	284.81	284.07	0.50%
PIPE #7	PVC Pipe	8"	53	284.05	283.79	0.50%
PIPE #8	PVC Pipe	8"	398	283.59	281.59	0.50%
PIPE #9	PVC Pipe	8"	320	281.39	279.79	0.50%
PIPE #10	PVC Pipe	8"	280	279.59	278.20	0.50%
PIPE #11	PVC Pipe	8"	50	278.00	277.75	0.50%
PIPE #12	PVC Pipe	8"	77	277.55	277.17	0.50%
PIPE #13	PVC Pipe	8"	158	276.97	276.18	0.50%
PIPE #14	PVC Pipe	8"	112	273.01	272.45	0.50%
PIPE #15	PVC Pipe	8"	75	272.25	271.87	0.50%
PIPE #16	PVC Pipe	8"	211	271.67	270.62	0.50%
PIPE #17	PVC Pipe	8"	299	270.26	261.97	2.77%
PIPE #18	PVC Pipe	8"	298	261.73	241.83	6.68%
PIPE #18A	PVC Pipe	8"	197	241.63	240.65	0.50%
PIPE #19	PVC Pipe	8"	167	240.44	239.61	0.50%
PIPE #19A	PVC Pipe	8"	206	239.41	238.38	0.50%
PIPE #20	PVC Pipe	8"	69	238.18	237.83	0.50%
PIPE #20A	PVC Pipe	8"	86	237.63	237.00	0.73%
PIPE #21	PVC Pipe	8"	148	305.90	300.78	3.46%
PIPE #22	PVC Pipe	8"	179	300.19	299.30	0.50%
PIPE #23	PVC Pipe	8"	179	299.10	298.20	0.50%
PIPE #24	PVC Pipe	8"	115	298.00	297.42	0.50%
PIPE #25	PVC Pipe	8"	178	292.31	288.73	2.01%
PIPE #27	PVC Pipe	8"	102	288.53	287.03	1.48%
PIPE #28	PVC Pipe	8"	232	286.83	285.67	0.50%
PIPE #29	PVC Pipe	8"	171	307.56	292.51	8.78%
PIPE #30	PVC Pipe	8"	318	283.41	277.65	1.81%
PIPE #31	PVC Pipe	8"	74	277.45	277.08	0.50%
PIPE #32	PVC Pipe	8"	165	276.88	276.05	0.50%
PIPE #33	PVC Pipe	8"	196	275.85	274.88	0.50%
PIPE #34	PVC Pipe	8"	130	274.19	273.54	0.50%
PIPE #34A	PVC Pipe	8"	57	274.68	274.39	0.50%
PIPE #35	PVC Pipe	8"	27	273.34	273.21	0.50%

PIPE TABLE						
PIPE NO	TYPE	SIZE	LF	INV. IN	INV. OUT	GRADE
PIPE #36	PVC Pipe	8"	191	299.35	292.11	3.79%
PIPE #37	PVC Pipe	8"	173	291.91	291.05	0.50%
PIPE #38	PVC Pipe	8"	266	302.23	283.36	7.09%
PIPE #39	PVC Pipe	8"	334	346.50	344.83	0.50%
PIPE #40	PVC Pipe	8"	350	344.63	326.33	5.23%
PIPE #41	PVC Pipe	8"	291	325.79	314.90	3.75%
PIPE #42	PVC Pipe	8"	362	327.68	325.87	0.50%
PIPE #43	PVC Pipe	8"	349	325.67	300.91	7.10%
PIPE #44	PVC Pipe	8"	279	297.90	287.08	3.88%
PIPE #45	PVC Pipe	8"	376	316.50	314.62	0.50%
PIPE #46	PVC Pipe	8"	218	314.42	313.33	0.50%
PIPE #47	PVC Pipe	8"	109	313.13	312.58	0.50%
PIPE #48	PVC Pipe	8"	212	291.13	290.07	0.50%
PIPE #49	PVC Pipe	8"	67	289.87	289.59	0.42%
PIPE #50	PVC Pipe	8"	214	289.39	286.49	1.36%
PIPE #51	PVC Pipe	8"	418	286.29	278.21	1.93%
PIPE #52	PVC Pipe	8"	528	277.85	259.71	3.44%
PIPE #53	PVC Pipe	8"	44	259.50	258.18	3.02%
PIPE #54	PVC Pipe	8"	44	257.92	256.83	2.48%
PIPE #55	PVC Pipe	8"	38	256.62	256.20	1.11%
PIPE #56	PVC Pipe	8"	244	254.48	241.75	5.22%
PIPE #57	PVC Pipe	8"	155	241.75	240.98	0.50%
PIPE #58	PVC Pipe	8"	211	240.98	239.92	0.50%
PIPE #59	PVC Pipe	8"	203	239.92	238.91	0.50%
PIPE #60	PVC Pipe	8"	246	317.93	316.70	0.50%
PIPE #61	PVC Pipe	8"	312	339.47	334.00	1.75%
PIPE #62	PVC Pipe	8"	173	337.25	325.85	6.61%
PIPE #63	PVC Pipe	8"	207	318.29	317.25	0.50%
PIPE #64	PVC Pipe	8"	242	293.98	292.77	0.50%
PIPE #65	PVC Pipe	8"	248	292.57	291.33	0.50%
PIPE #66	PVC Pipe	8"	219	273.06	259.69	6.11%
PIPE #67	PVC Pipe	8"	98	259.49	257.97	1.54%
PIPE #68	PVC Pipe	8"	100	257.56	256.49	1.07%
PIPE #69	PVC Pipe	8"	145	256.29	255.59	0.48%
PIPE #70	PVC Pipe	8"	51	255.39	255.07	0.64%

LEGEND:

SEE UTILITY PLAN ON THE PREVIOUS PAGE

NO.	DATE	REVISIONS
0		
1		



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ENGINEERING GROUP

STRONG ROCK ENGINEERING GROUP, PLLC COMPANY LICENSE # P-2166
305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL
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HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

SANITARY SEWER TABLE

DRAWING SHEET

C-6.8

THIS PLANSET AND ANY ASSOCIATED DOCUMENTS ARE PRELIMINARY AND NOT AUTHORIZED FOR CONSTRUCTION UNTIL SIGNED, DATED, AND OFFICIALLY RELEASED FOR CONSTRUCTION BY THE ENGINEER OF RECORD.

0	TOWN OF ROLESVILLE V1-FSP-24-03	05/30/2024	ISREG
1	TOWN OF ROLESVILLE V2-FSP-24-03	08/30/2024	ISREG



STRONGROCK
ENGINEERING GROUP

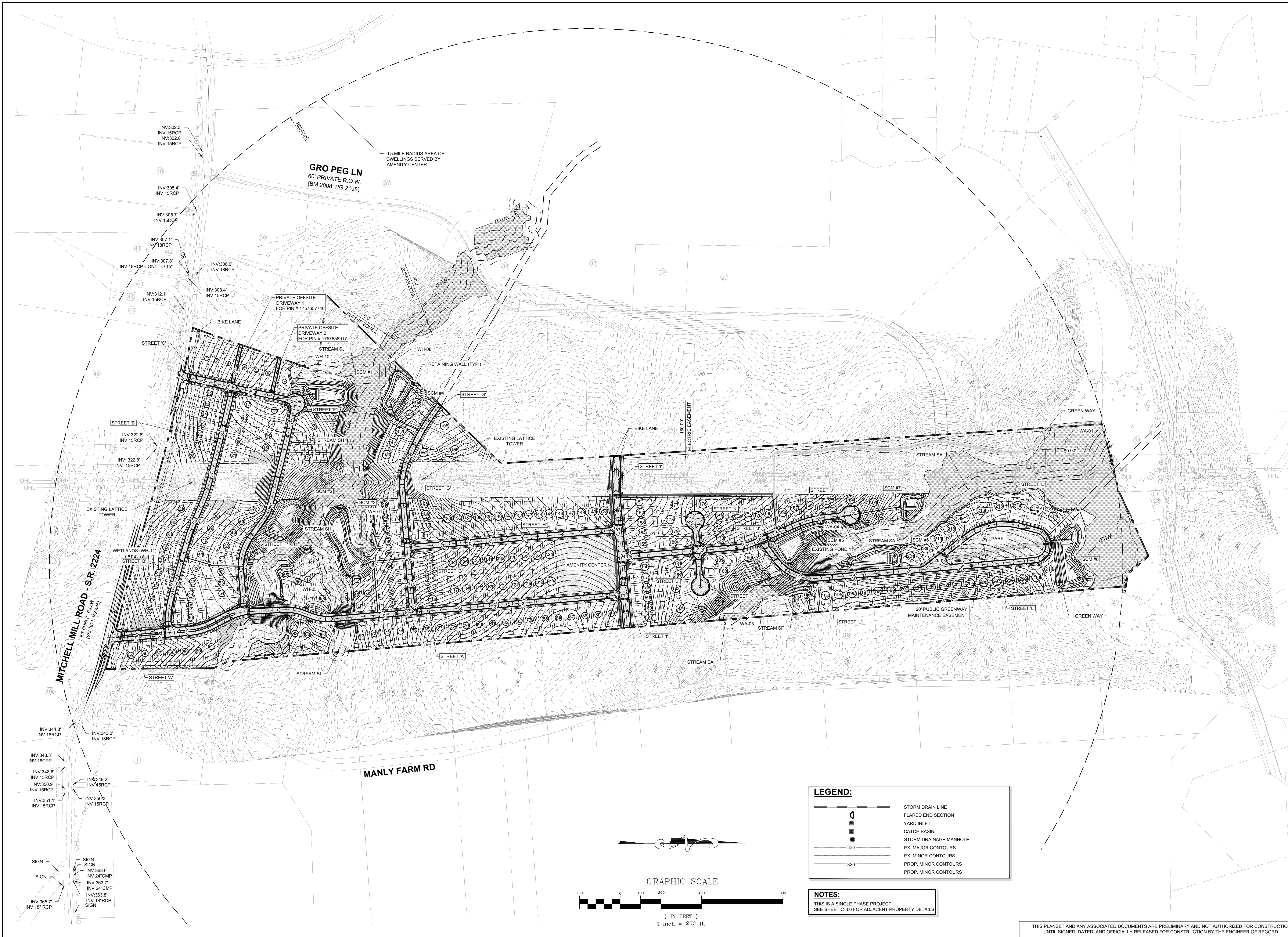
STRONG ROCK ENGINEERING GROUP PLLC COMPANY LICENSE # P-2166
305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL
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HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

OVERALL GRADING & DRAINAGE PLAN

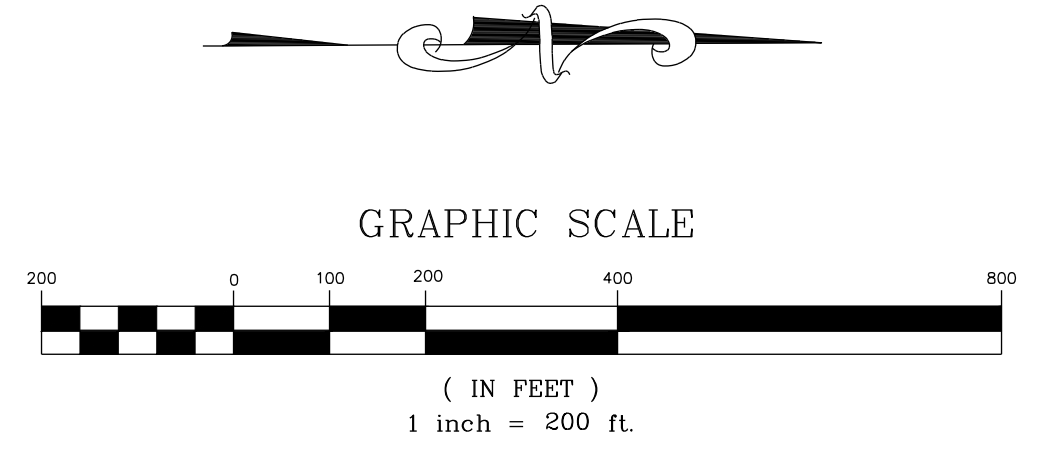
DRAWING SHEET
C-7.0



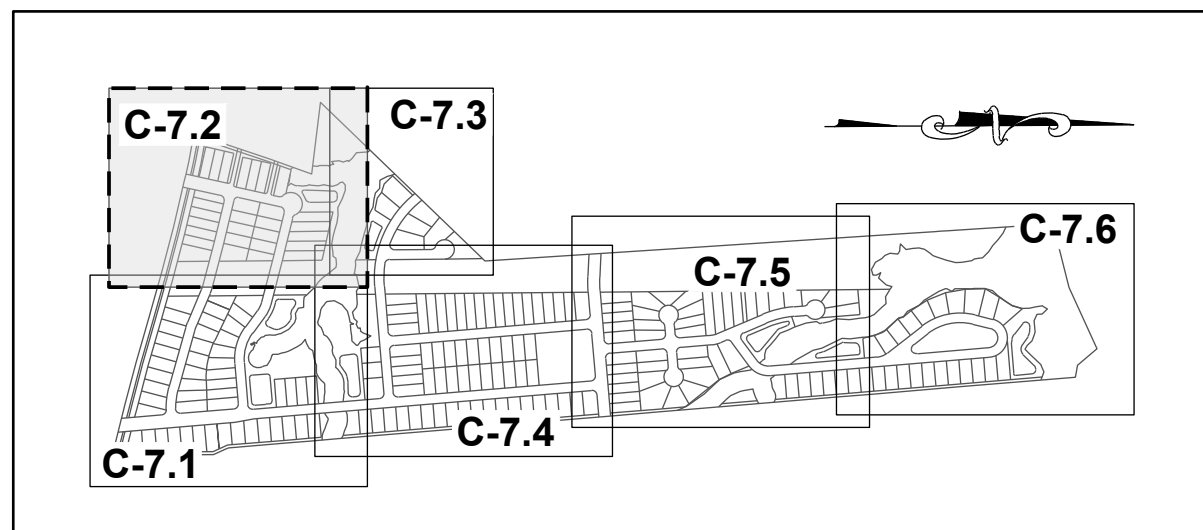
LEGEND:

- STORM DRAIN LINE
- FLARED END SECTION
- YARD INLET
- CATCH BASIN
- STORM DRAINAGE MANHOLE
- EX. MAJOR CONTOURS
- EX. MINOR CONTOURS
- PROP. MINOR CONTOURS
- PROP. MINOR CONTOURS

NOTES:
THIS IS A SINGLE PHASE PROJECT.
SEE SHEET C-3.0 FOR ADJACENT PROPERTY DETAILS.



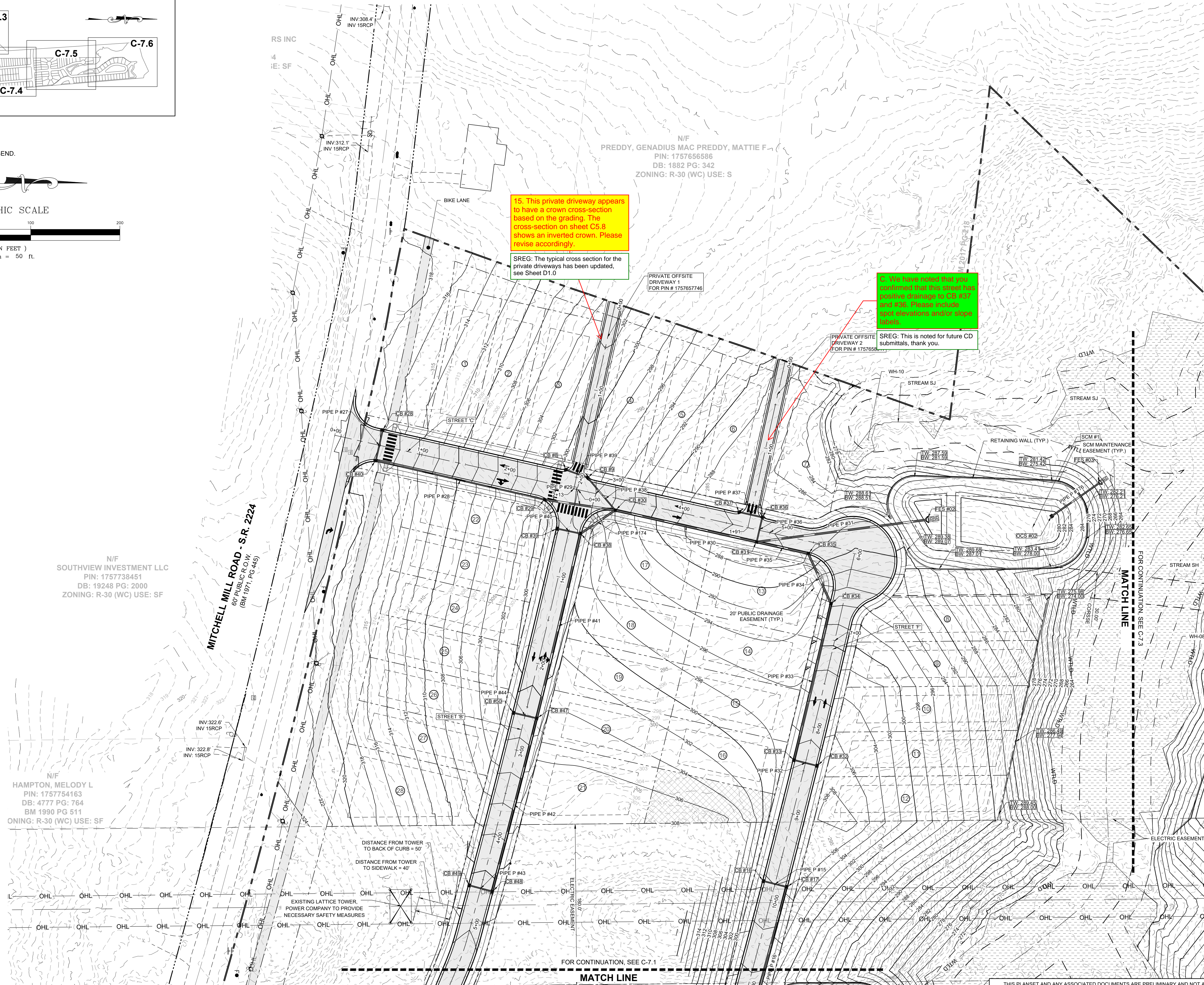
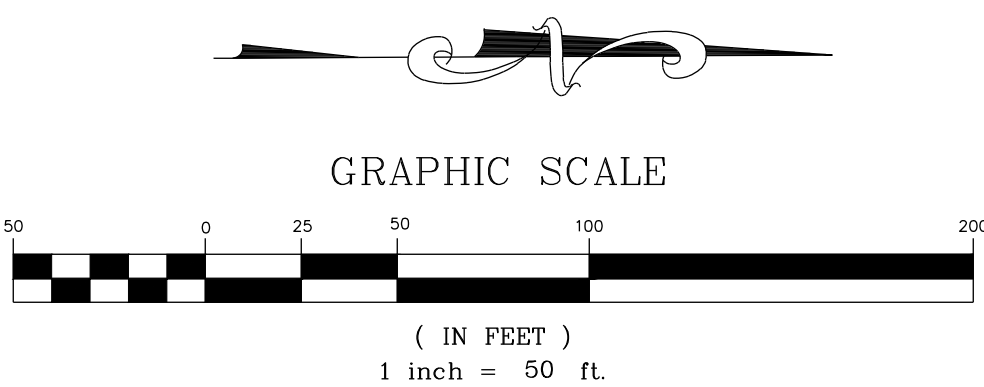
THIS PLANSET AND ANY ASSOCIATED DOCUMENTS ARE PRELIMINARY AND NOT AUTHORIZED FOR CONSTRUCTION UNTIL SIGNED, DATED, AND OFFICIALLY RELEASED FOR CONSTRUCTION BY THE ENGINEER OF RECORD.



SITE KEY PLAN

LEGEND:

SEE SHEET C-7.0 FOR LEGEND.



15. This private driveway appears to have a crown cross-section based on the grading. The cross-section on sheet C5.8 shows an inverted crown. Please revise accordingly.

SREG: The typical cross section for the private driveways has been updated, see Sheet D1.0

16. The large culvert that was installed for the stream was not shown on the site plan. Please include and show the location and size of the culvert.

SREG: This is noted for future CD submittals, thank you.

NO.	REVISIONS	DATE	BY
0			
1			



STRONGROCK
ENGINEERING GROUP

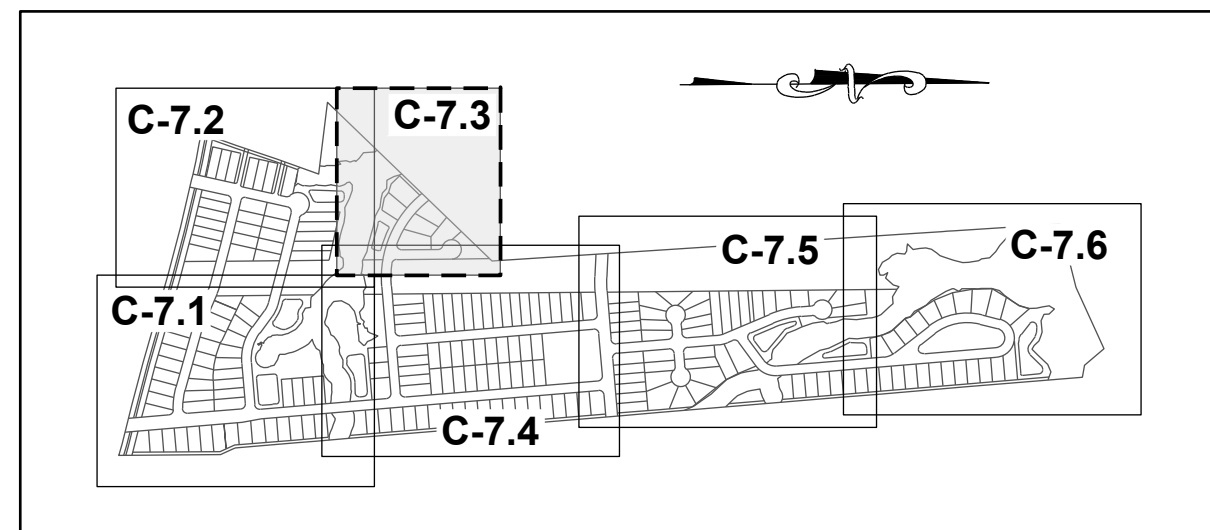
STRONG ROCK ENGINEERING GROUP, PLLC (COMPANY LICENSE # P-2166)
305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	AS SHOWN	JWL	SRG	JWL
SCALE	DESIGNED BY	DRAWN BY	CHECKED BY		

HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

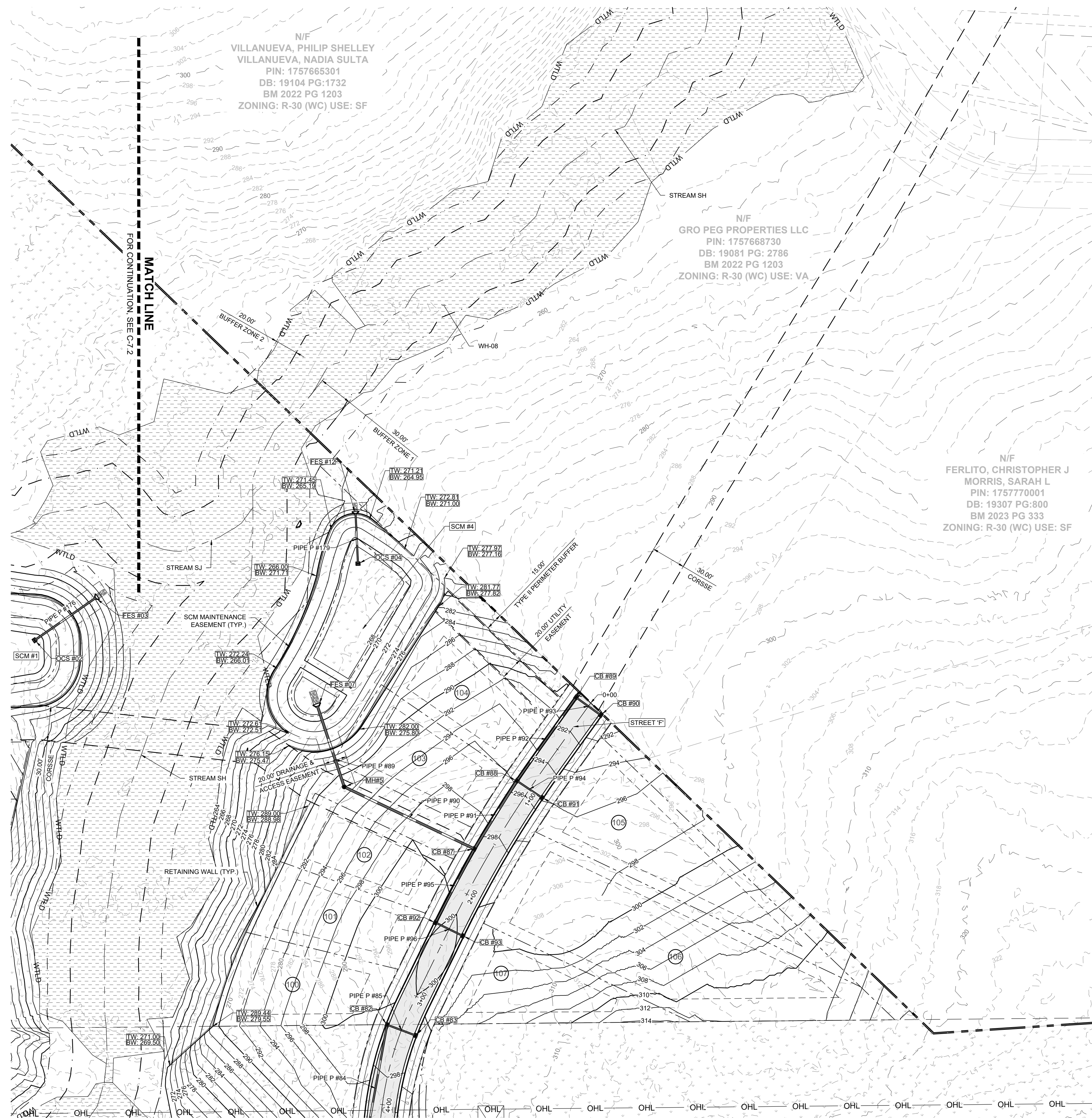
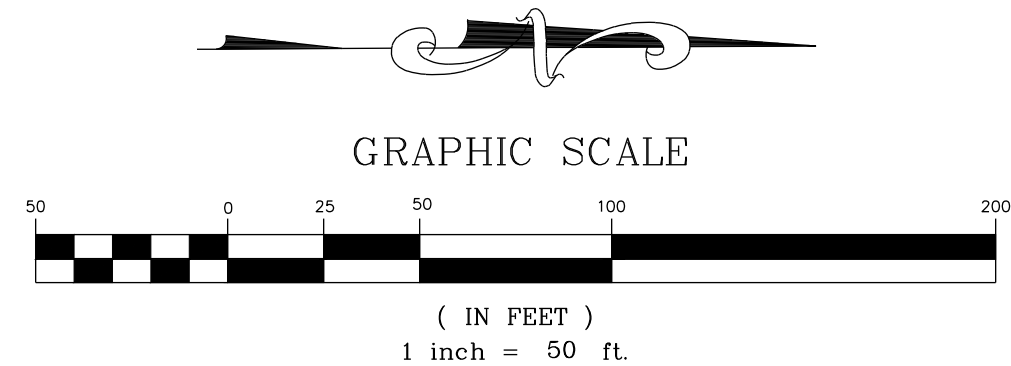
**PARTIAL GRADING & DRAINAGE
PLAN II**

THIS PLANSET AND ANY ASSOCIATED DOCUMENTS ARE PRELIMINARY AND NOT AUTHORIZED FOR CONSTRUCTION UNTIL SIGNED, DATED, AND OFFICIALLY RELEASED FOR CONSTRUCTION BY THE ENGINEER OF RECORD.



SITE KEY PLAN

LEGEND:
SEE SHEET C-7.0 FOR LEGEND.



N/F
VILLANUEVA, PHILIP SHELLEY
VILLANUEVA, NADIA SULTA
PIN: 1757665301
DB: 19104 PG:1732
BM 2022 PG 1203
ZONING: R-30 (WC) USE: SF

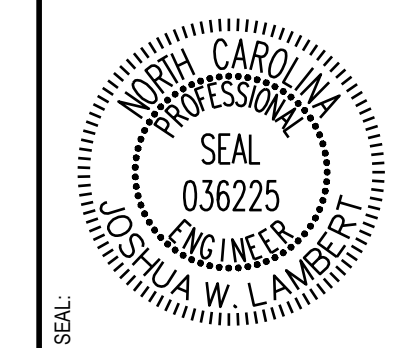
N/F
GRO PEG PROPERTIES LLC
PIN: 1757668730
DB: 19081 PG: 2786
BM 2022 PG 1203
ZONING: R-30 (WC) USE: VA

N/F
FERLITO, CHRISTOPHER J
MORRIS, SARAH L
PIN: 1757770001
DB: 19307 PG:800
BM 2023 PG 333
ZONING: R-30 (WC) USE: SF

MATCH LINE
FOR CONTINUATION, SEE C-7.2

FOR CONTINUATION, SEE C-7.4
MATCH LINE

NO.	REVISIONS	DATE	BY
0			
1			



STRONGROCK
ENGINEERING GROUP

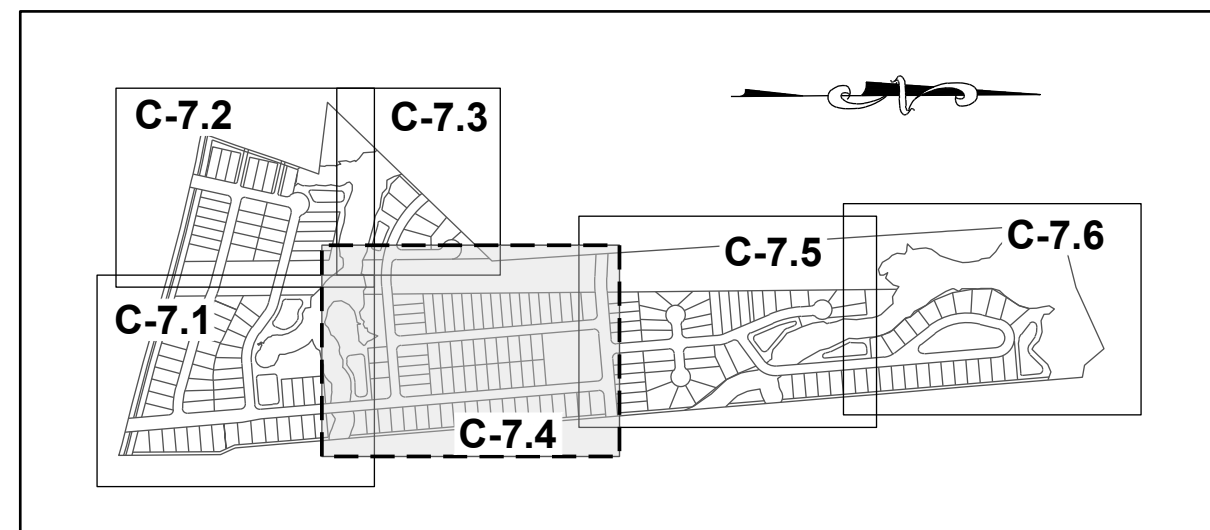
STRONG ROCK ENGINEERING GROUP, PLLC (COMPANY LICENSE # P-2166)
305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONGROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL
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HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

**PARTIAL GRADING & DRAINAGE
PLAN III**

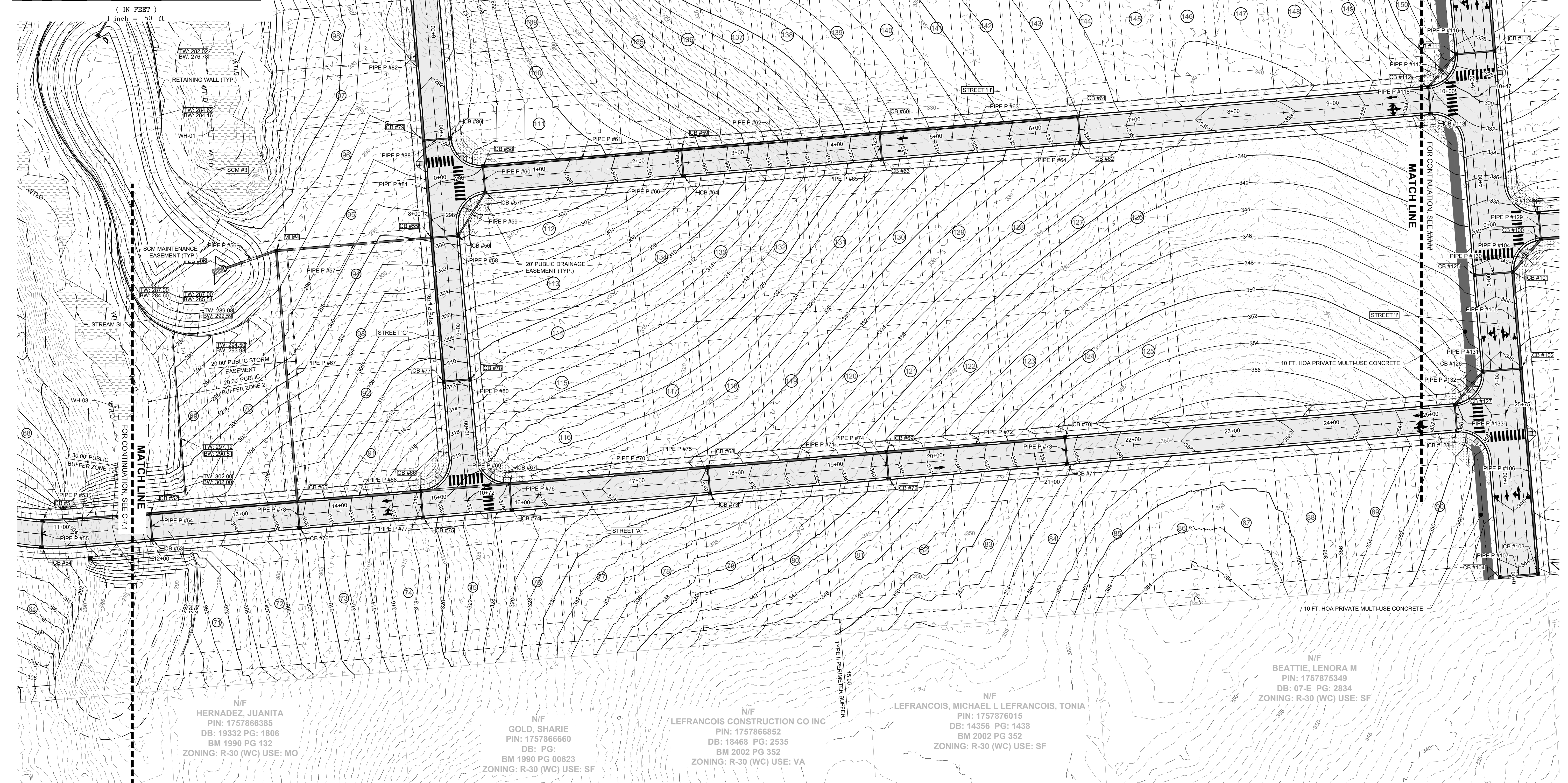
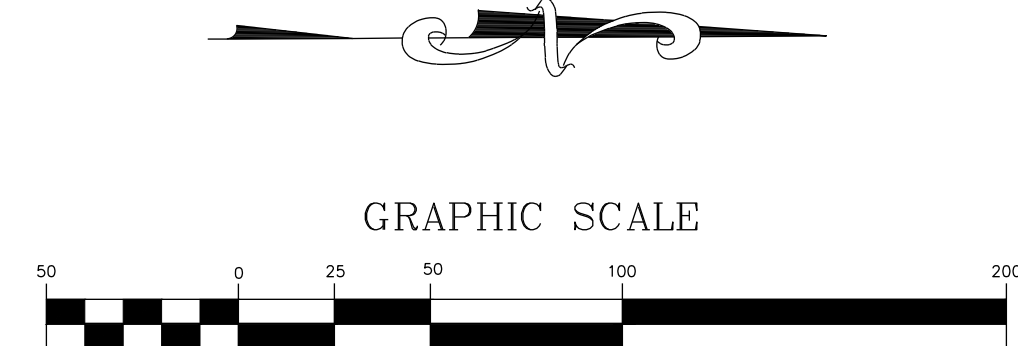
THIS PLANSET AND ANY ASSOCIATED DOCUMENTS ARE PRELIMINARY AND NOT AUTHORIZED FOR CONSTRUCTION UNTIL SIGNED, DATED, AND OFFICIALLY RELEASED FOR CONSTRUCTION BY THE ENGINEER OF RECORD.



SITE KEY PLAN

LEGEND:

SEE SHEET C-7.0 FOR LEGEND.



N/F
HERNADEZ, JUANITA
PIN: 1757866385
DB: 19332 PG: 1806
BM 1990 PG 132
ZONING: R-30 (WC) USE: MO

N/F
GOLD, SHARIE
PIN: 1757866660
DB: PG:
BM 1990 PG 00623
ZONING: R-30 (WC) USE: SF

N/F
LEFRANCOIS CONSTRUCTION CO INC
PIN: 1757866852
DB: 18468 PG: 2535
BM 2002 PG 352
ZONING: R-30 (WC) USE: VA

N/F
LEFRANCOIS, MICHAEL L LEFRANCOIS, TONIA
PIN: 1757876015
DB: 14356 PG: 1438
BM 2002 PG 352
ZONING: R-30 (WC) USE: SF

N/F
BEATTIE, LENORA M
PIN: 1757875349
DB: 07-E PG: 2834
ZONING: R-30 (WC) USE: SF

NO.	REVISIONS	DATE	BY
0			
1			



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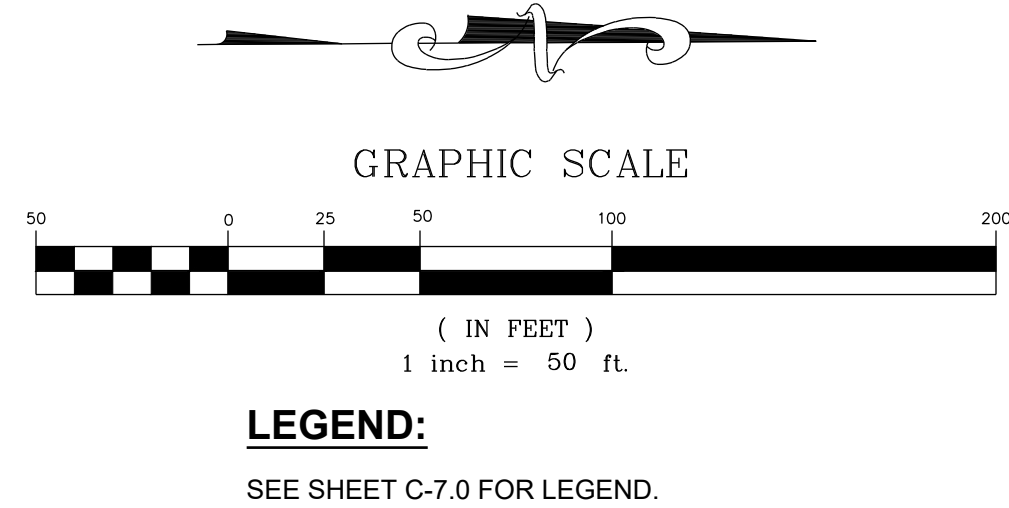
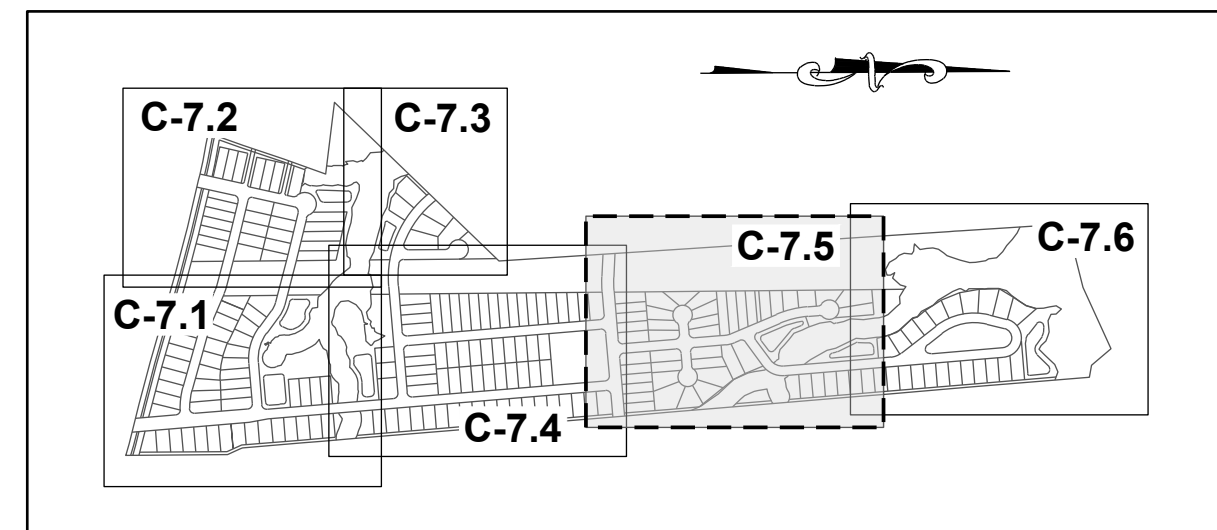
STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
		AS SHOWN	JWL	SRG	JWL

HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

**PARTIAL GRADING & DRAINAGE
PLAN IV**

DRAWING SHEET
C-7.4

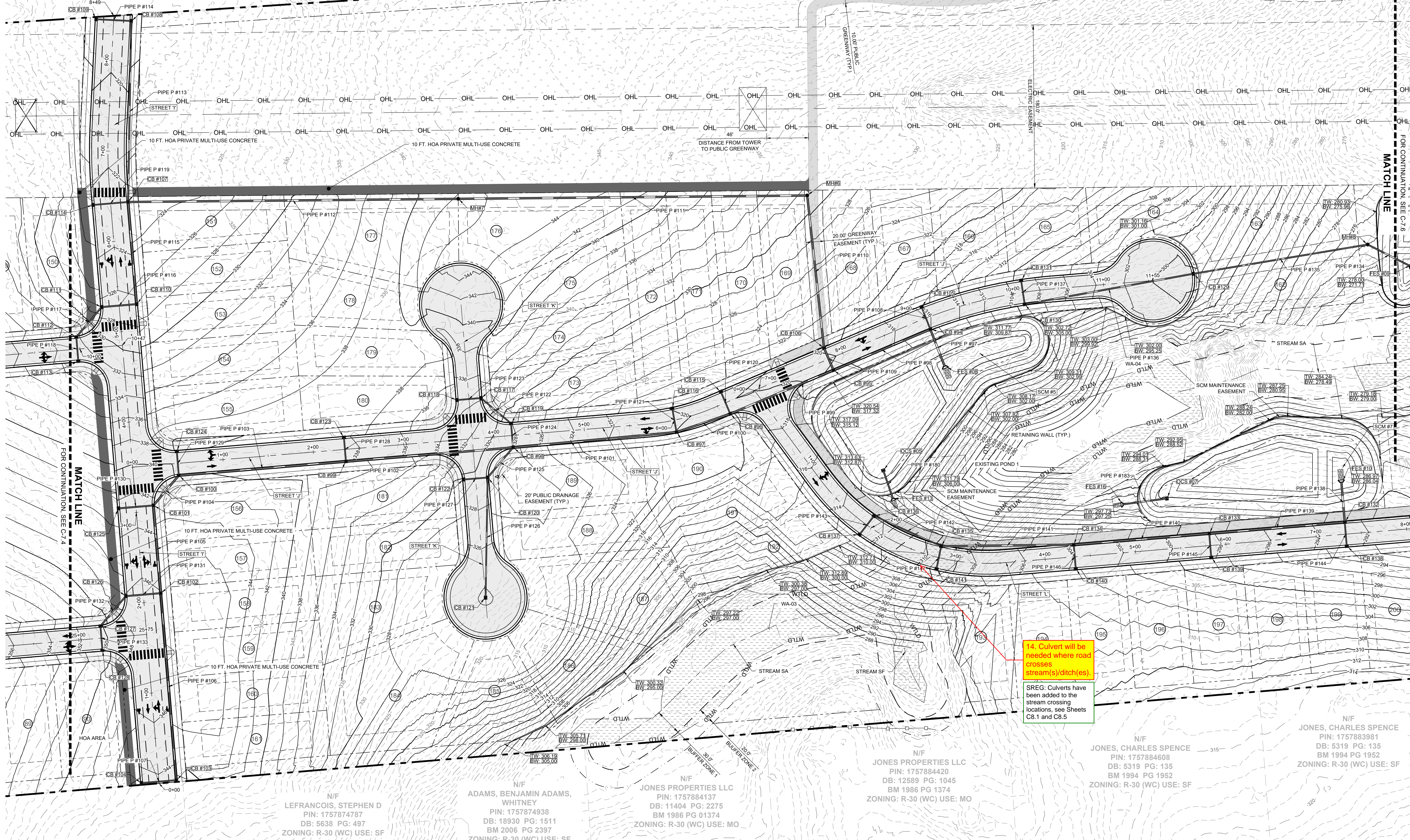
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SITE KEY PLAN

N/F CARLE, SCOTT CARLE, THERESA
PIN: 1757780258
DB: 14863 PG: 2493
BM 2008 PG 2198
ZONING: R-30 (WC) USE: SF

N/F CARLE, SCOTT CARLE, THERESA
PIN: 1757781960
DB: 14863 PG: 2493
BM 2009 PG 645
ZONING: R-30 (WC) USE: VA



14. Culvert will be needed where road crosses stream(s)/ditch(es).
SREG: Culverts have been added to the stream crossing locations, see Sheets C8.1 and C8.5

N/F LEFRANCOIS, STEPHEN D
PIN: 1757874787
DB: 5638 PG: 497
ZONING: R-30 (WC) USE: SF

N/F ADAMS, BENJAMIN ADAMS, WHITNEY
PIN: 1757874938
DB: 18930 PG: 1511
BM 2006 PG 2397
ZONING: R-30 (WC) USE: SF

N/F JONES PROPERTIES LLC
PIN: 1757884137
DB: 11404 PG: 2275
BM 1986 PG 01374
ZONING: R-30 (WC) USE: MO

N/F JONES PROPERTIES LLC
PIN: 1757884420
DB: 12589 PG: 1045
BM 1986 PG 1374
ZONING: R-30 (WC) USE: MO

N/F JONES, CHARLES SPENCE
PIN: 1757884608
DB: 5319 PG: 135
BM 1994 PG 1952
ZONING: R-30 (WC) USE: SF

N/F JONES, CHARLES SPENCE
PIN: 1757883981
DB: 5319 PG: 135
BM 1994 PG 1952
ZONING: R-30 (WC) USE: SF

NO.	REVISIONS	DATE	BY
0			
1			



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SCALE	AS SHOWN
DESIGNED BY	JWL
DRAWN BY	SRG
CHECKED BY	JWL

HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

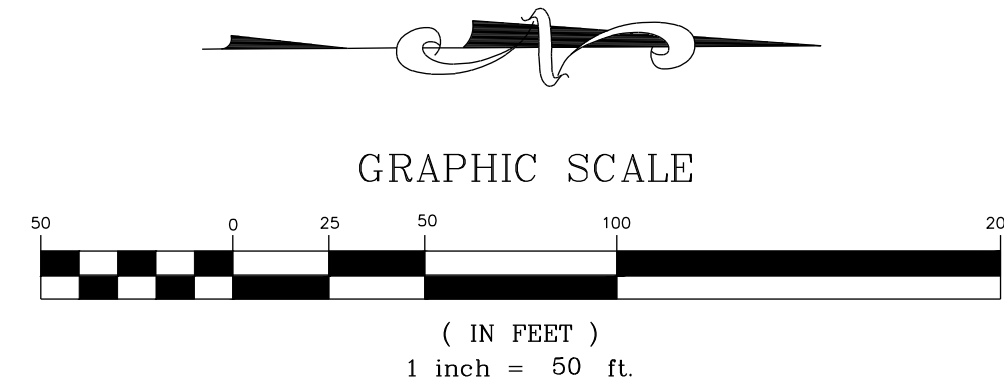
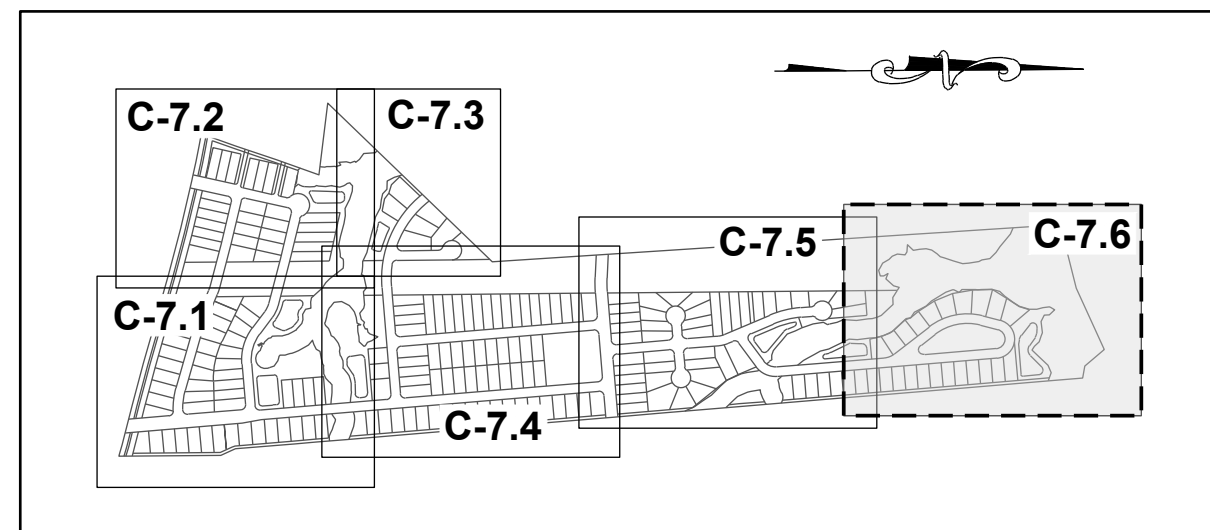
PARTIAL GRADING & DRAINAGE PLAN V

DRAWING SHEET

C-7.5

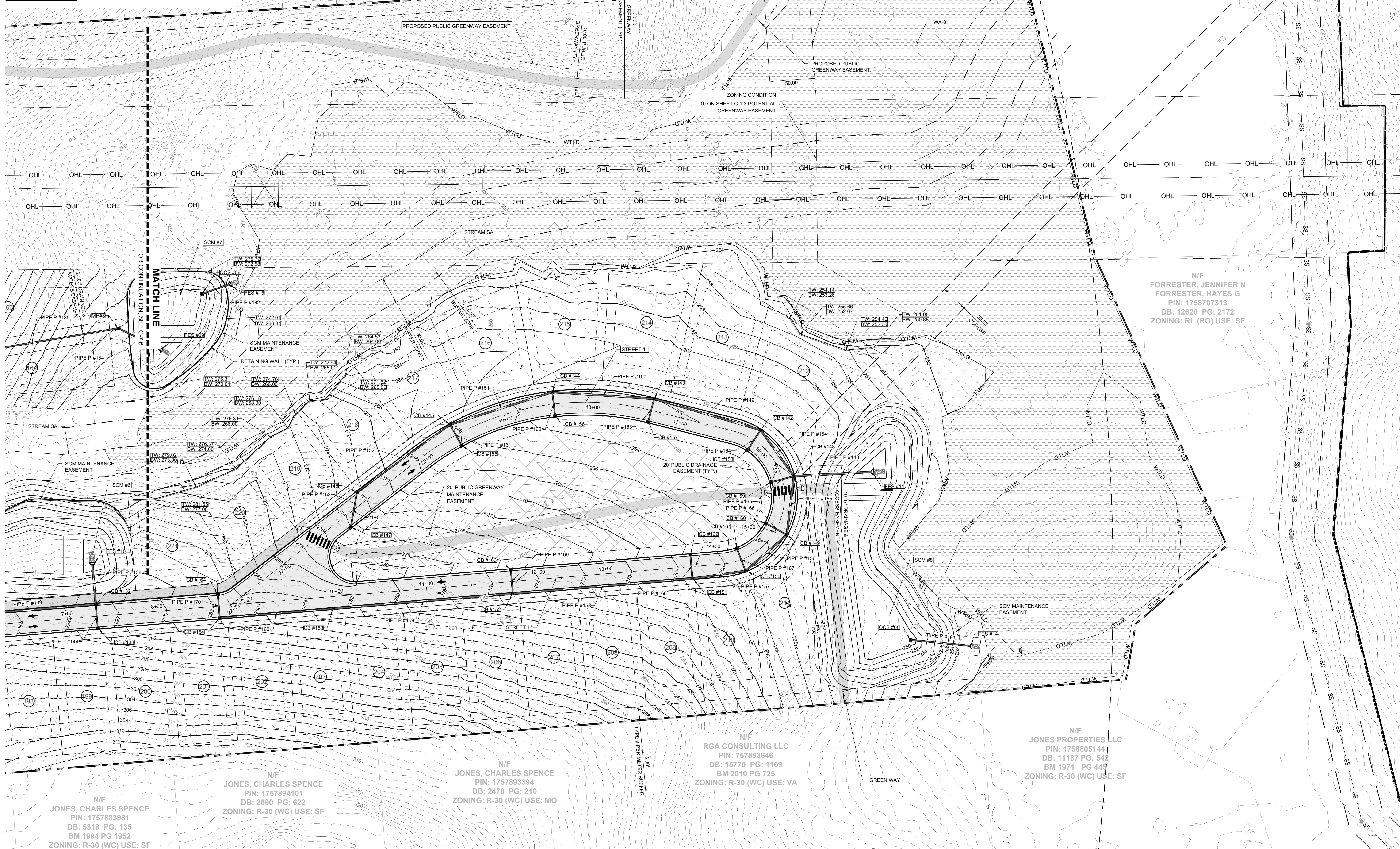
43 OF 57

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LEGEND:
SEE SHEET C-7.0 FOR LEGEND.

SITE KEY PLAN



NO.	REVISIONS	DATE	BY
0			
1			



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		AS SHOWN	JWL	SRG	JWL

HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

**PARTIAL GRADING & DRAINAGE
PLAN V1**

DRAWING SHEET
C-7.6

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PLANT SCHEDULE										
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	CONTAINER	CALIPER	DETAIL		
TREES										
	CELL LVI	23	CELTIS LAEVIGATA	SUGAR HACKBERRY	10' HT.	B&B	2.5"			
	CHI WHK	24	CHIONANTHUS VIRGINICUS 'WHITE KNIGHT'	WHITE KNIGHT WHITE FRINGETREE	8' HT.	B&B	1.5"			
	GYM KEN	16	GYMNOCLADUS DIOICUS	KENTUCKY COFFEETREE	10' HT.	B&B	2.5"			
	HAL JER	23	HALESIA CAROLINA 'JERSEY BELLE'	JERSEY BELLE CAROLINA SILVERBELL	8' HT.	B&B	1.5"			
	OST NHT	25	OSTRYA VIRGINIANA 'FS-KWS'	AUTUMN TREASURE® AMERICAN HOPHORNBEAM	8' HT.	B&B	1.5"			
	QUE GOB	159	QUERCUS ACUTISSIMA 'GOBBLER'	SAWTOOTH OAK	10' HT.	B&B	2.5"			
	QUE FAL	124	QUERCUS FALCATA	SOUTHERN RED OAK	12' HT.	B&B	2.5"			
	QUE NUT	150	QUERCUS NUTTALLII 'QNTA'	HIGHPOINT® NUTTALL OAK	12' HT.	B&B	2.5"			
		544	SUBTOTAL:							

LEGEND:

- PROPOSED PROPERTY LINE
- - - EXISTING PROPERTY LINE
- ROADWAY CENTER LINE
- - - PROPOSED PROPERTY LINE
- ==== VALLEY/ROLLED CURB & GUTTER
- ==== STANDARD CURB & GUTTER
- ▨ CONCRETE SIDEWALK
- ▨ ASPHALT PAVEMENT
- ▨ OPEN SPACE
- ▨ WTLD
- ▨ EXISTING WETLAND

0	1	No.	DATE	BY

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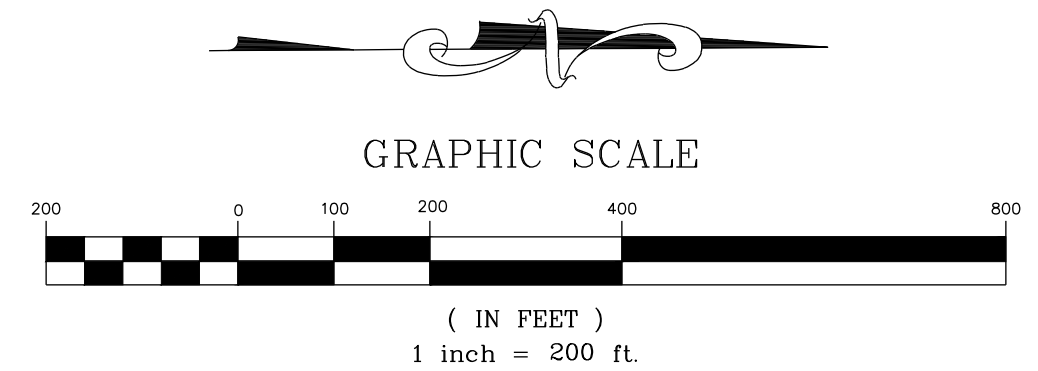
STRONGROCK ENGINEERING GROUP

HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

OVERALL LANDSCAPE PLAN

DRAWING SHEET
C-8.0

45 OF 57



NOTES:
SEE SHEET C-3.0 FOR ADJACENT PROPERTY DETAILS

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BUFFER CALCULATIONS			
PROJECT: ELLIS - MITCHELL MILLS			
ZONING: RM - CZ			
TOTAL LINEAR FOOTAGE (LF)		7,116	TABEL 6.2.2.1.F.2 PERIMETER BUFFERTYPE 2
15 FT BUFFERS:			
NUMBER OF PLANTS	REQUIRED	PROVIDED	
CANOPY TREES	213.5	213	
UNDERSTORY	71.2	71	
SHRUBS	3,544	3,550	
30 FT STREET BUFFERS:			
ZONING: RM - CZ			
TOTAL LINEAR FOOTAGE (LF)		1,580.9	TABEL 6.2.2.2. STREET TREES
POWERLINE SECTION		187.1	
EXCLUDING POWER LINE		1,393.8	
NUMBER OF PLANTS UNDER POWEREASEMENT			
	REQUIRED	PROVIDED	
UNDERSTORY TREES	9.4	10	
NUMBER OF CANOPY TREES IN STREET BUFFER			
	REQUIRED	PROVIDED	
CANOPY TREES	34.8	35	

30' THOROUGHFARE BUFFER								
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	CONTAINER	CALIPER	DETAIL
CANOPY BUFFER								
+	GIN AUT	9	GINKGO BILOBA 'AUTUMN GOLD'	AUTUMN GOLD MAIDENHAIR TREE	10' HT.	B&B		
+	MAG GRA	4	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	12' HT.	B&B	3.0'	
+	QUE MAC	22	QUERCUS MACROCARPA	BURR OAK	12' HT.	B&B	2.5'	
SUBTOTAL:		35						
UNDERSTORY BUFFER								
+	AME ARB	2	AMELANCHIER ARBOREA	DOWNY SERVICEBERRY	6' HT.	POT	1.5'	
+	COR CHE	4	CORNUS FLORIDA 'CHEROKEE BRAVE'	CHEROKEE BRAVE DOGWOOD	5' HT.	POT	1.5'	
+	VIB CHI	4	VIBURNUM AWABUKI 'CHINDO'	CHINDO SWEET VIBURNUM	5' HT.	POT	1.5'	
SUBTOTAL:		10						

PERIMETER BUFFER TYPE 2										
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	CONTAINER	CALIPER	DETAIL		
CANOPY BUFFER										
+	ACE FLD	48	ACER FLORIDANUM	SOUTHERN SUGAR MAPLE	12' HT.	POT	2.5'			
+	NYS SYL	71	NYSSA SYLVATICA	TUPELO	12' HT.	POT	2.5'			
+	GOU NUT	46	QUERCUS NUTTALLII	NUTTALL OAK	12' HT.	POT	2.5'			
+	QUE PR2	48	QUERCUS PALUSTRIS 'PRINGREEN'	GREEN PILLAR PIN OAK	12' HT.	POT	2.5'			
SUBTOTAL:		213								
UNDERSTORY BUFFER										
+	AME ARB	27	AMELANCHIER ARBOREA	DOWNY SERVICEBERRY	6' HT.	POT	1.5'			
+	CER EAS	44	CERCIS CANADENSIS	EASTERN REDBUD MULTI-TRUNK	5' HT.	POT	1.5'			
SUBTOTAL:		71								
BUFFER SHRUBS										
+	ASC TUB	215	ASCLEPIAS TUBEROSA	BUTTERFLY MILKWEED	3 GAL.	POT		48" o.c.		
+	CEA AME	707	CEANOTHUS AMERICANUS	NEW JERSEY TEA	3 GAL.	POT		48" o.c.		
+	CLE HUM	480	CLETHR ALNIFOLIA 'HUMMINGBIRD'	HUMMINGBIRD SUMMERSWEET	3 GAL.	POT		48" o.c.		
+	HYP FRO	225	HYPERICUM FRONDOSUM 'SUNBURST'	SUNBURST ST. JOHN'S WORT	3 GAL.	POT		48" o.c.		
+	ILE GOS	225	ILEX CRENATA 'GOLDEN SOFT TOUCH'	GOLDEN SOFT TOUCH JAPANESE HOLLY	3 GAL.	POT		48" o.c.		
+	ILE SHA	485	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKERRY HOLLY	3 GAL.	POT		48" o.c.		
+	MUH AU2	264	MUHLENBERGIA CAPILLARIS 'AUTUMN BLUSH'	AUTUMN BLUSH PINK MUHLY GRASS	3 GAL.	POT		48" o.c.		
+	PAN NOR	225	PANICUM VIRGATUM 'NORTHWIND'	NORTHWIND SWITCH GRASS	3 GAL.	POT		48" o.c.		
+	VIB DWA	714	VIBURNUM TINUS 'DWARF'	DWARF LAURUSTINUS	3 GAL.	POT		48" o.c.		
SUBTOTAL:		3,550								



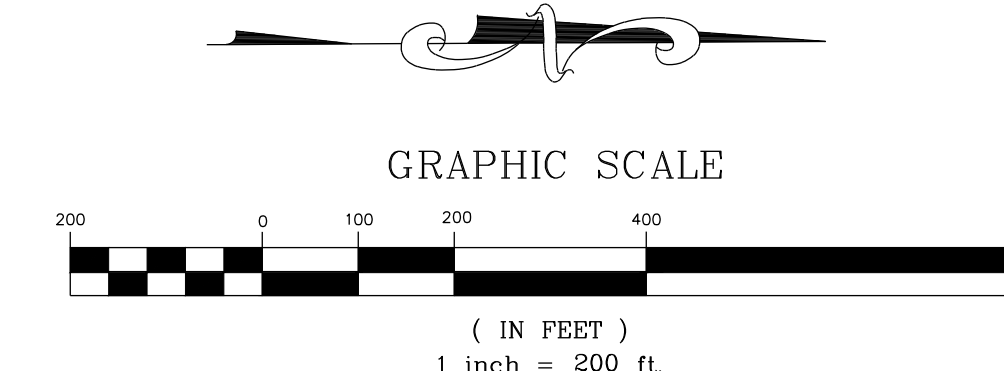
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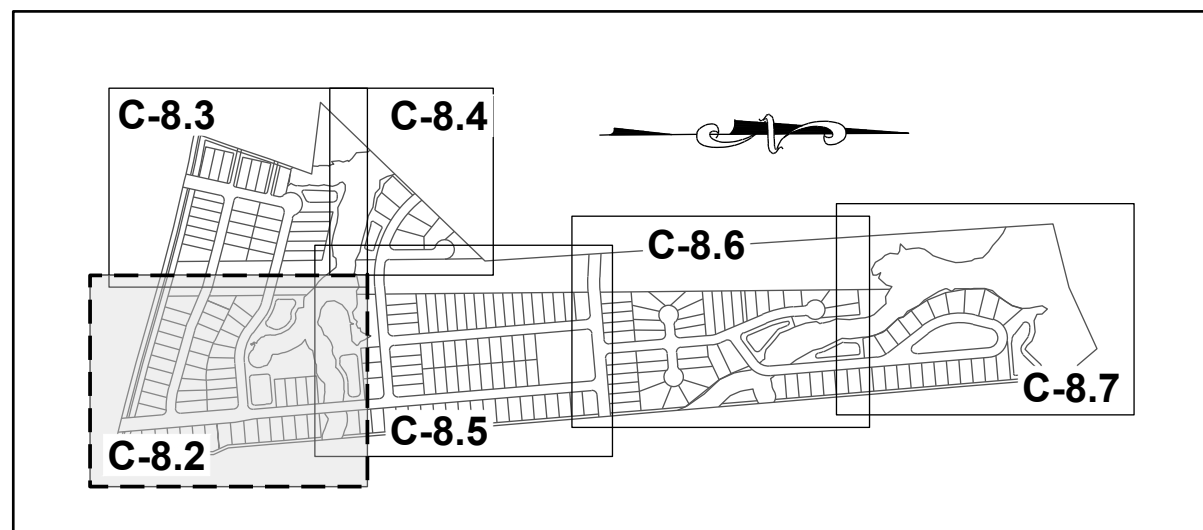
STRONGROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL
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HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
PERIMETER BUFFER PLAN



NOTES:
SEE SHEET C-3.0 FOR ADJACENT PROPERTY DETAILS

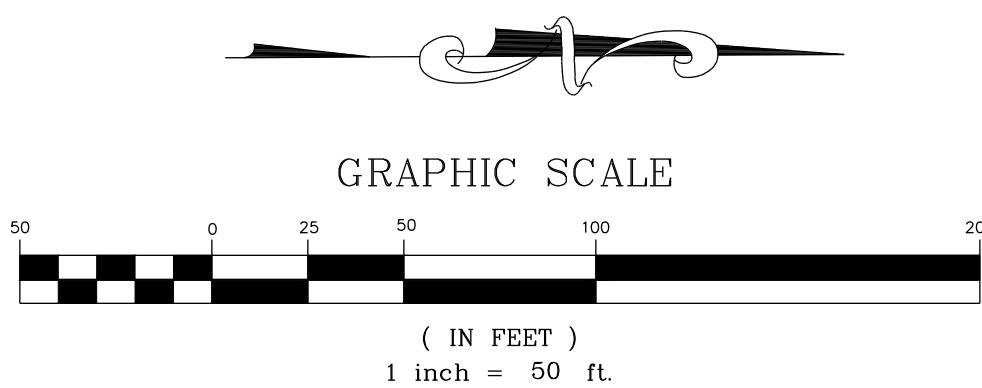
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SITE KEY PLAN

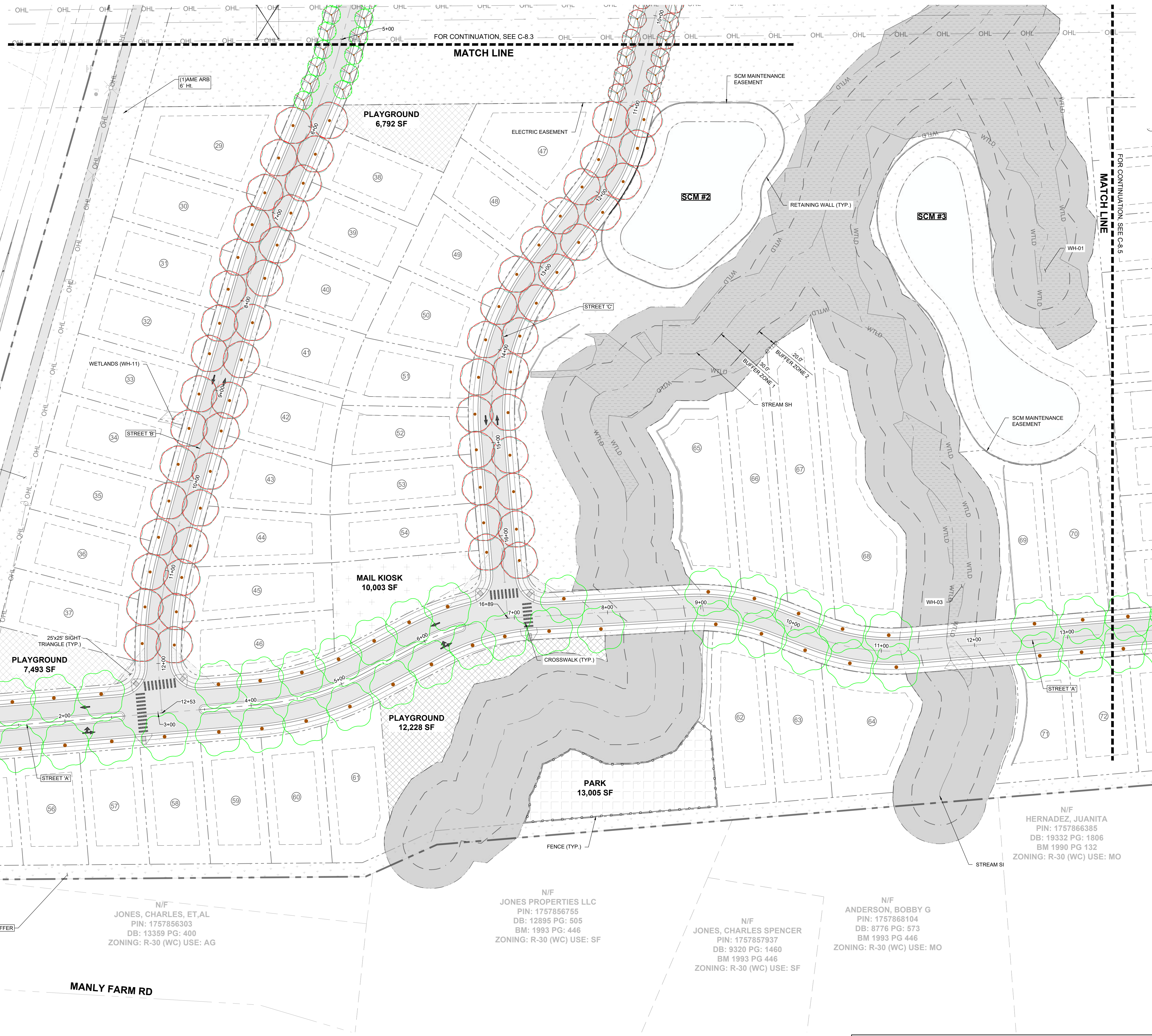
LEGEND:

SEE SHEET C-8.0 FOR LEGEND



30 FT STREET BUFFER
N/F SOUTHVIEW INVESTMENT LLC
PIN: 1757738451
DB: 19248 PG: 2000
ZONING: R-30 (WC) USE: SF

MITCHELL MILL ROAD - S.R. 2224
60' PUBLIC R.O.W.
(BM 1971, PG 445)



N/F JONES, CHARLES, ET.AL
PIN: 1757856303
DB: 13359 PG: 400
ZONING: R-30 (WC) USE: AG

N/F JONES PROPERTIES LLC
PIN: 1757856755
DB: 12895 PG: 505
BM: 1993 PG: 446
ZONING: R-30 (WC) USE: SF

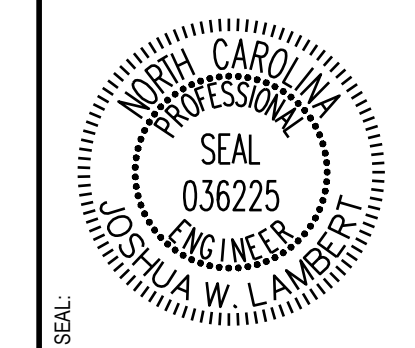
N/F JONES, CHARLES SPENCER
PIN: 1757857937
DB: 9320 PG: 1460
BM 1993 PG 446
ZONING: R-30 (WC) USE: SF

N/F ANDERSON, BOBBY G
PIN: 1757868104
DB: 8776 PG: 573
BM 1993 PG 446
ZONING: R-30 (WC) USE: MO

N/F HERNANDEZ, JUANITA
PIN: 1757866385
DB: 19332 PG: 1806
BM 1990 PG 132
ZONING: R-30 (WC) USE: MO

MANLY FARM RD

NO.	REVISIONS	DATE	BY
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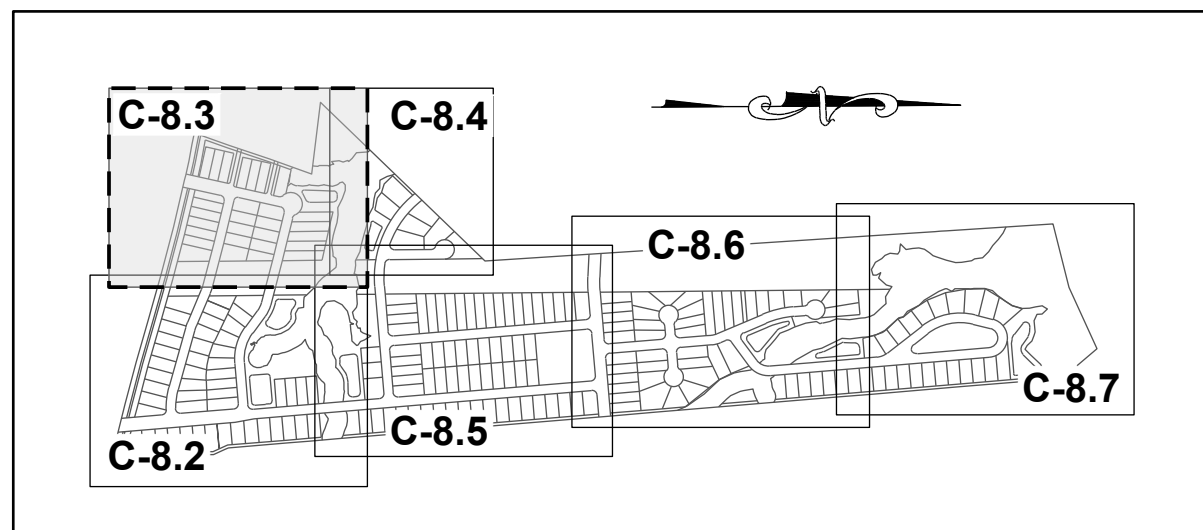
STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
		AS SHOWN	JWL	SRG	JWL

HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

PARTIAL LANDSCAPE PLAN I

DRAWING SHEET
C-8.2

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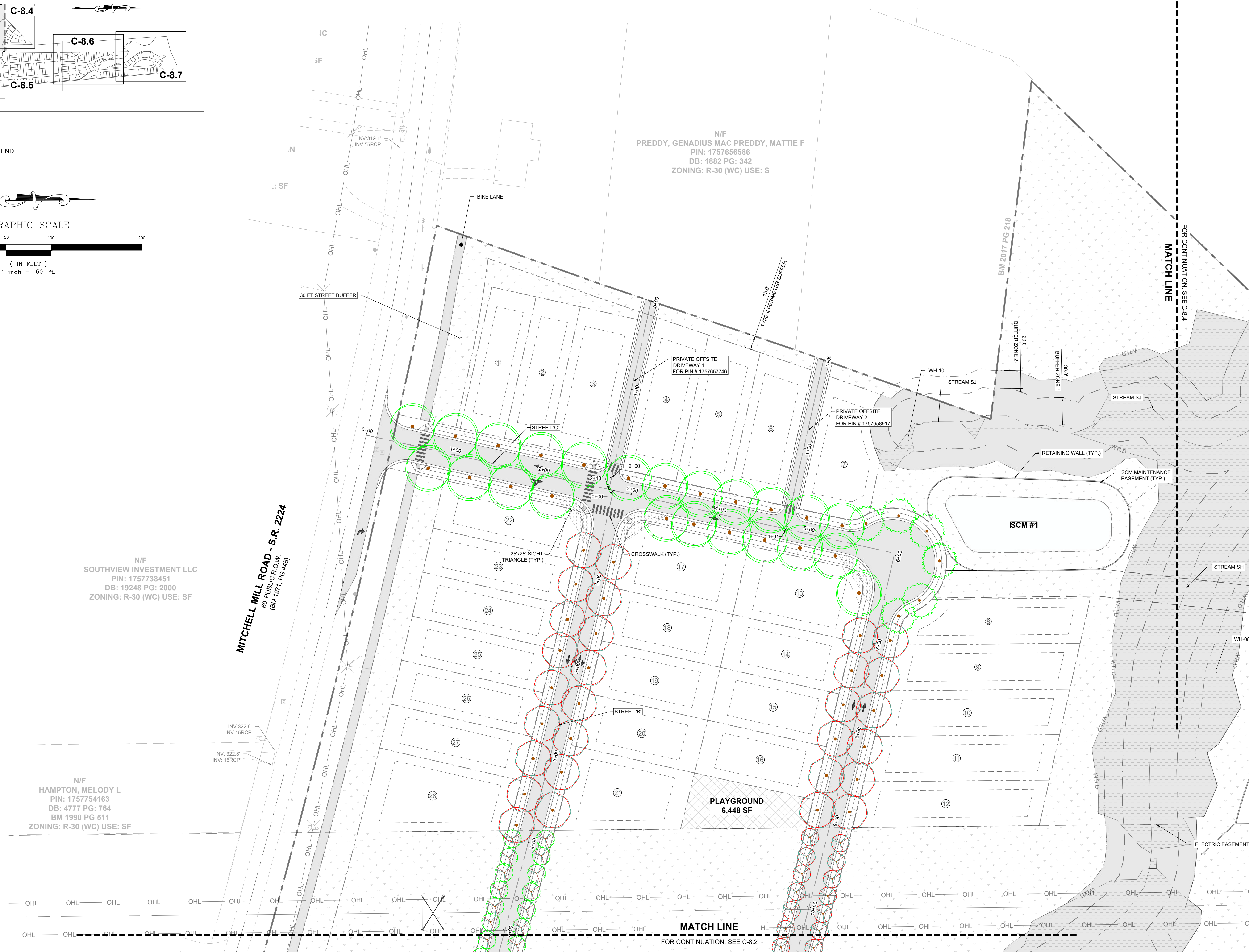
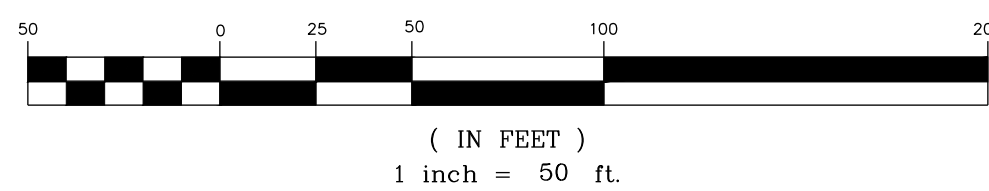
SITE KEY PLAN

LEGEND:

SEE SHEET C-8.0 FOR LEGEND



GRAPHIC SCALE



NO.	REVISIONS	DATE	BY
0			
1			



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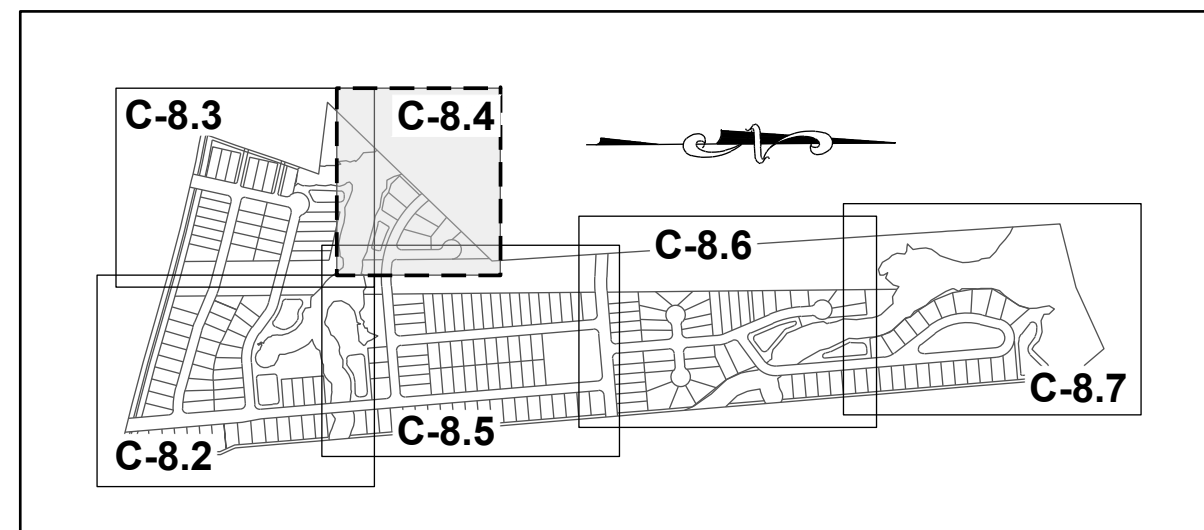
STRONGROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL
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HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

PARTIAL LANDSCAPE PLAN II

DRAWING SHEET
C-8.3

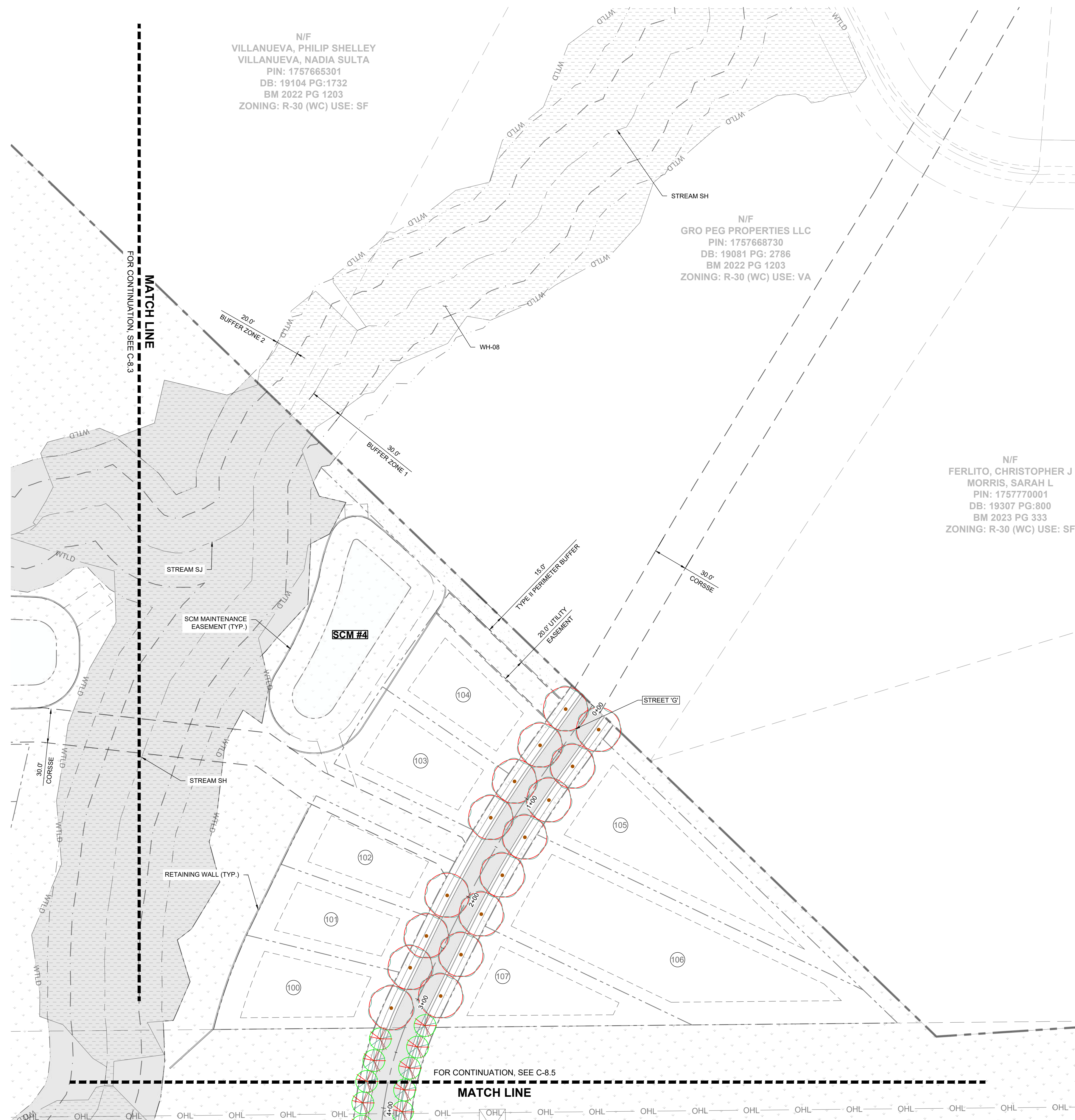
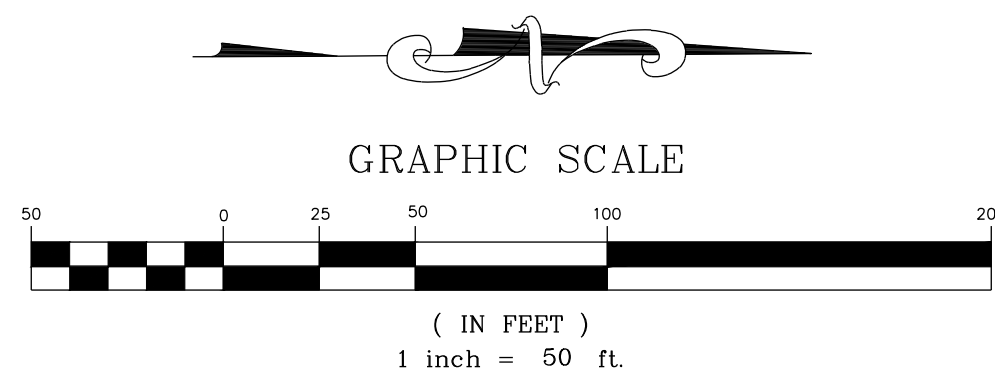
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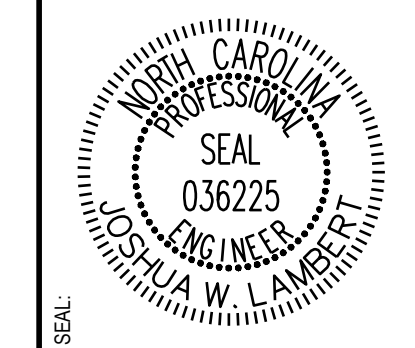
SITE KEY PLAN

LEGEND:

SEE SHEET C-8.0 FOR LEGEND



NO.	DATE	REVISIONS	BY
0	05/30/2024		
1	08/30/2024		



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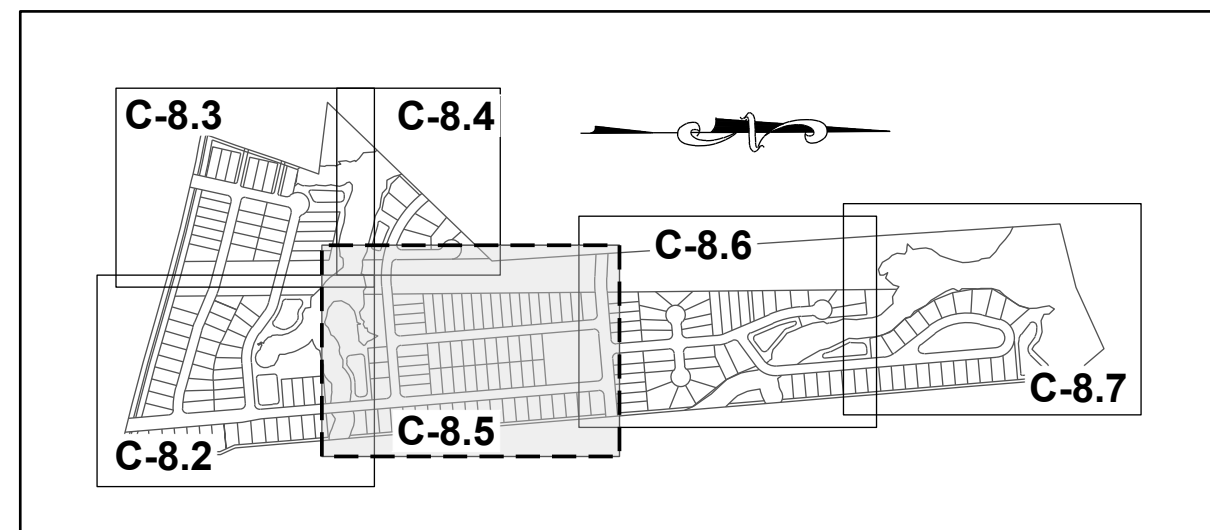
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HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
PARTIAL LANDSCAPE PLAN III

DRAWING SHEET
C-8.4

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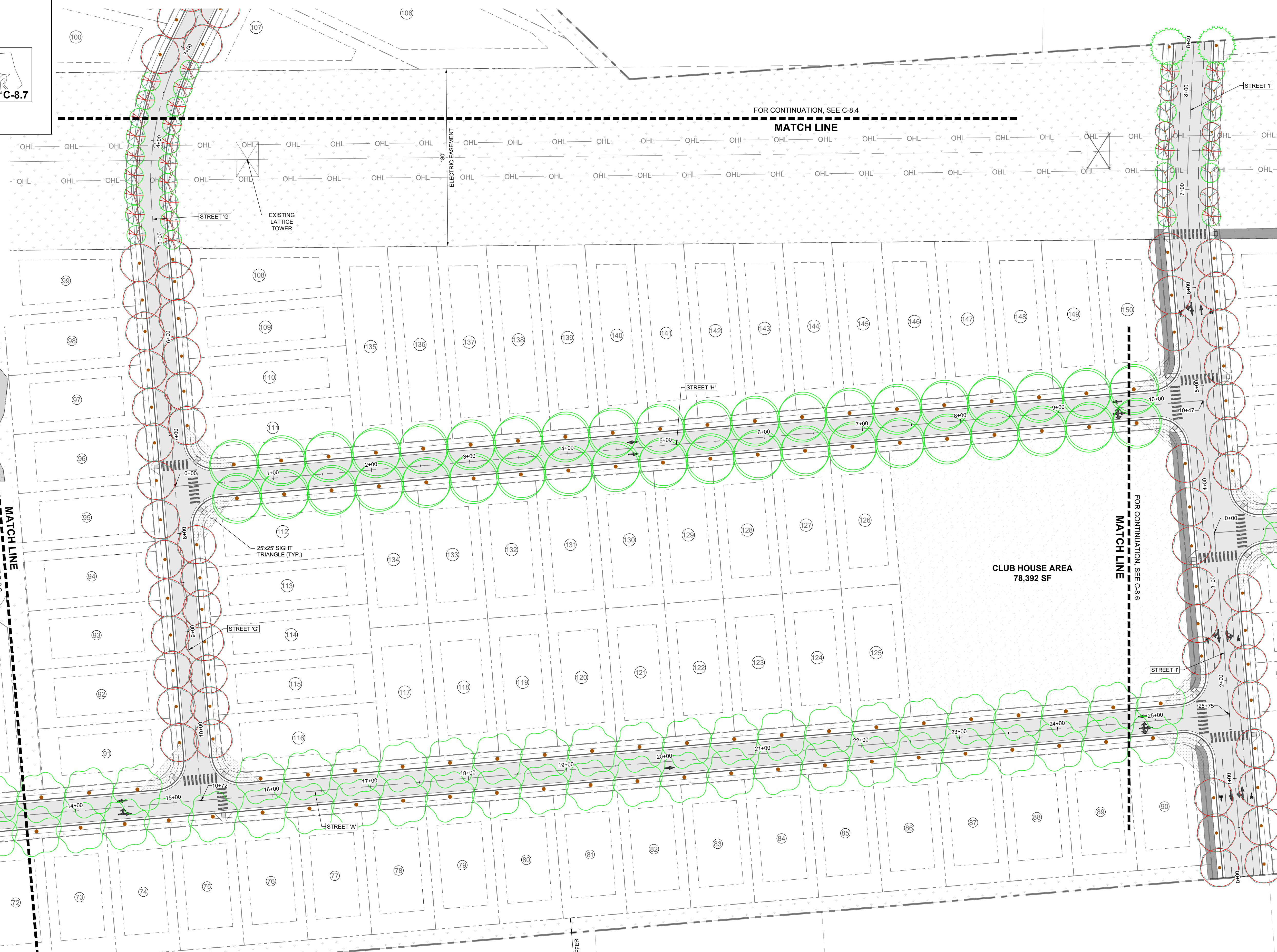
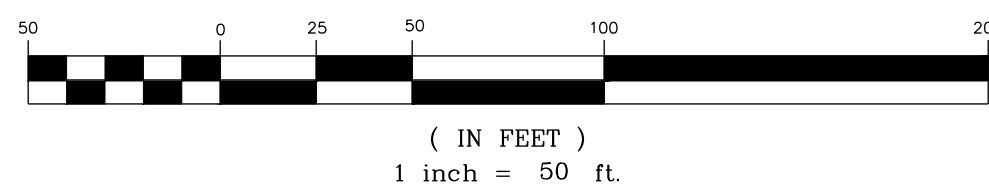
SITE KEY PLAN

LEGEND:

SEE SHEET C-8.0 FOR LEGEND



GRAPHIC SCALE



N/F
HERNADEZ, JUANITA
PIN: 1757866385
DB: 19332 PG: 1806
BM 1990 PG 132
ZONING: R-30 (WC) USE: MO

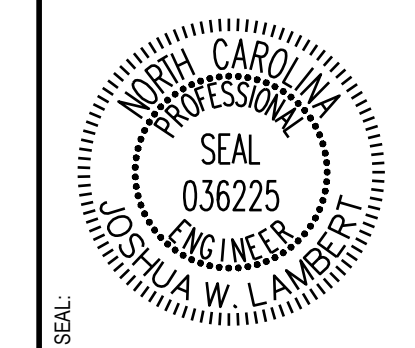
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GOLD, SHARIE
PIN: 1757866660
DB: PG:
BM 1990 PG 00623
ZONING: R-30 (WC) USE: SF

N/F
LEFRANCOIS CONSTRUCTION CO INC
PIN: 1757866852
DB: 18468 PG: 2535
BM 2002 PG 352
ZONING: R-30 (WC) USE: VA

N/F
LEFRANCOIS, MICHAEL L LEFRANCOIS, TONIA
PIN: 1757876015
DB: 14356 PG: 1438
BM 2002 PG 352
ZONING: R-30 (WC) USE: SF

N/F
BEATTIE, LENORA M
PIN: 1757875349
DB: 07-E PG: 2834
ZONING: R-30 (WC) USE: SF

0	TOWN OF ROLESVILLE V1-FSP-24-03	05/30/2024	ISREG
1	TOWN OF ROLESVILLE V2-FSP-24-03	08/30/2024	ISREG



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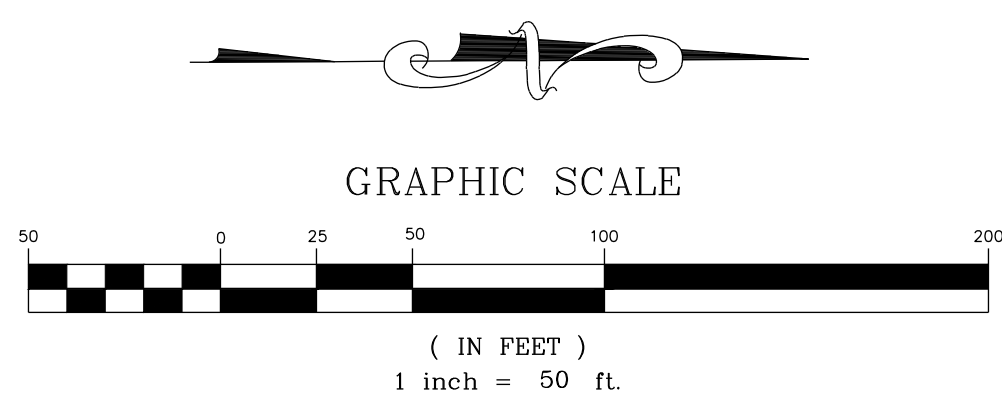
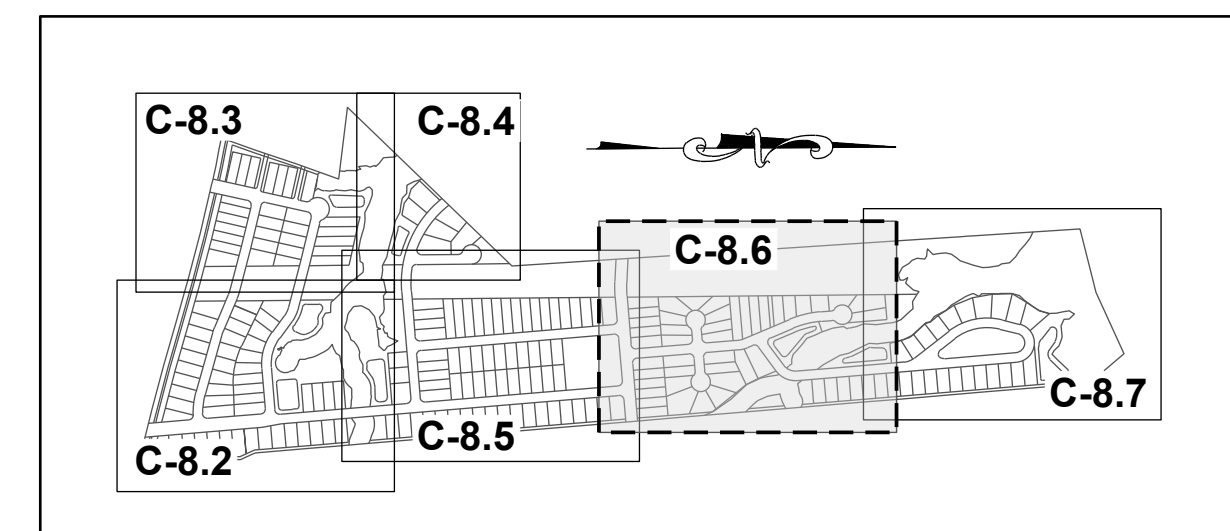
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HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

PARTIAL LANDSCAPE PLAN IV

DRAWING SHEET
C-8.5

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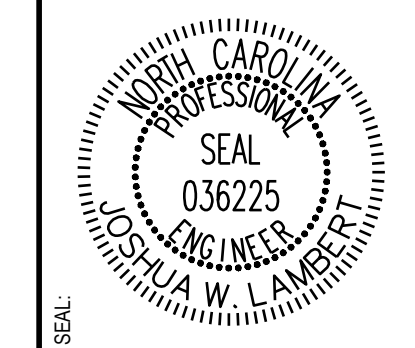
LEGEND:
SEE SHEET C-8.0 FOR LEGEND

N/F
CARLE, SCOTT CARLE, THERESA
PIN: 1757780258
DB: 14863 PG: 2493
BM 2008 PG 2198
ZONING: R-30 (WC) USE: SF

N/F
CARLE, SCOTT CARLE, THERESA
PIN: 1757781960
DB: 14863 PG: 2493
BM 2009 PG 645
ZONING: R-30 (WC) USE: VA



NO.	REVISIONS	DATE	BY
0			
1			



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ENGINEERING GROUP

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305 CHURCH AT NORTH HILLS STREET, SUITE 1110 PALEIGH, NC 27699 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL
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HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

PARTIAL LANDSCAPE PLAN V

DRAWING SHEET
C-8.6

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N/F
LEFRANCOIS, STEPHEN D
PIN: 1757874787
DB: 5638 PG: 497
ZONING: R-30 (WC) USE: SF

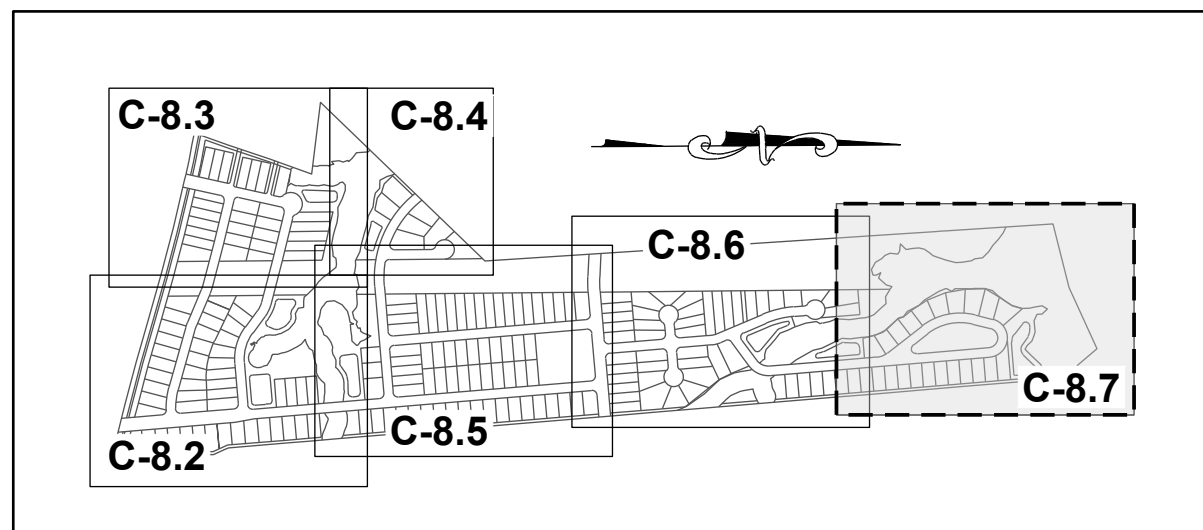
N/F
ADAMS, BENJAMIN ADAMS,
WHITNEY
PIN: 1757874938
DB: 18930 PG: 1511
BM 2006 PG 2397
ZONING: R-30 (WC) USE: SF

N/F
JONES PROPERTIES LLC
PIN: 1757884137
DB: 11404 PG: 2275
BM 1986 PG 01374
ZONING: R-30 (WC) USE: MO

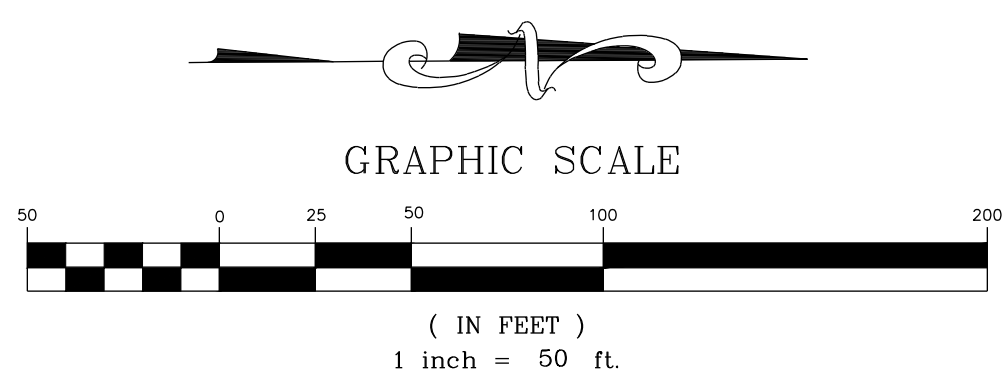
N/F
JONES PROPERTIES LLC
PIN: 1757884420
DB: 12589 PG: 1045
BM 1986 PG 1374
ZONING: R-30 (WC) USE: MO

N/F
JONES, CHARLES SPENCE
PIN: 1757884608
DB: 5319 PG: 135
BM 1994 PG 1952
ZONING: R-30 (WC) USE: SF

N/F
JONES, CHARLES SPENCE
PIN: 1757883981
DB: 5319 PG: 135
BM 1994 PG 1952
ZONING: R-30 (WC) USE: SF



SITE KEY PLAN



LEGEND: SEE SHEET C-8.0 FOR LEGEND



NO.	REVISIONS	DATE	BY
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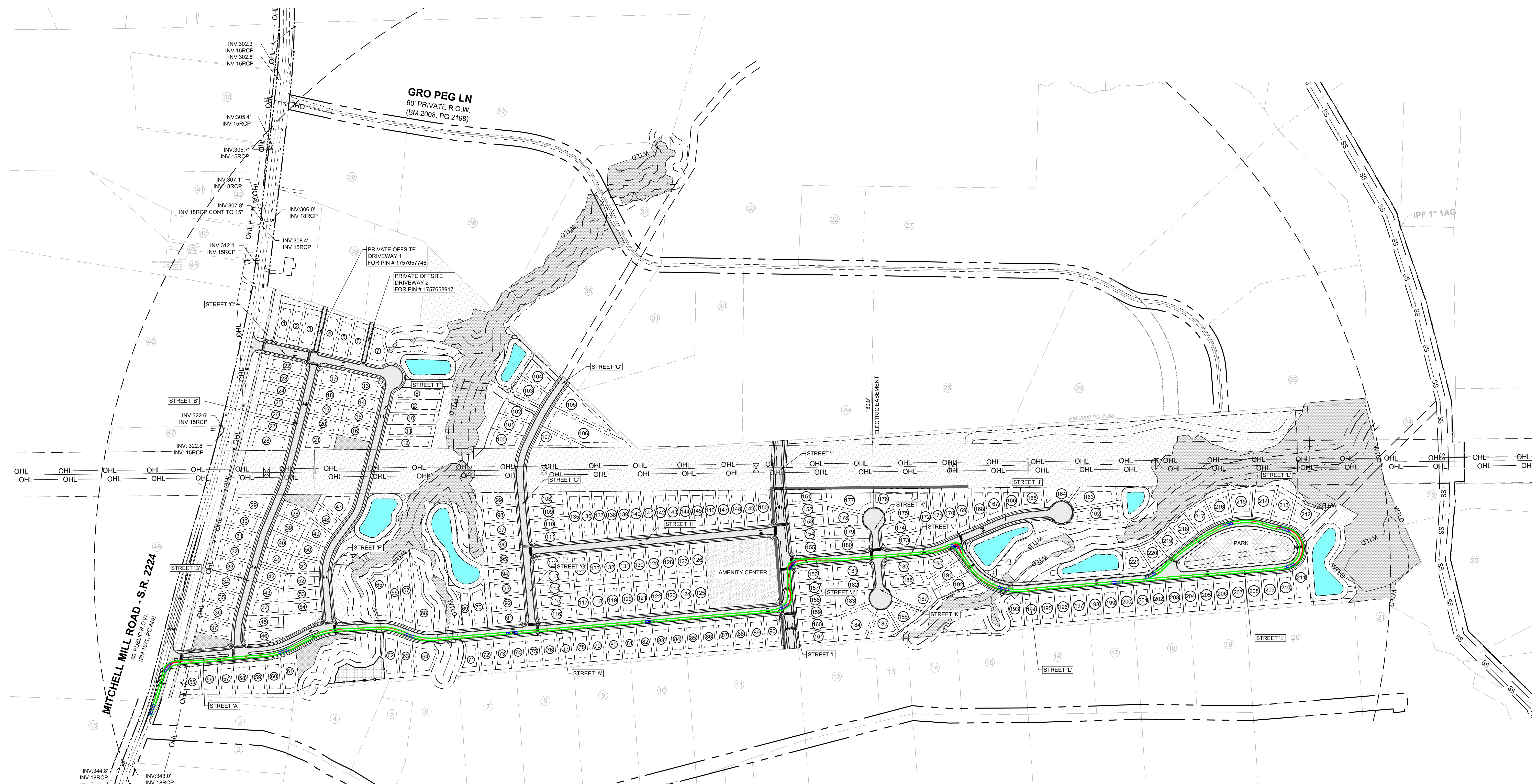
STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	JWL	SRG	JWL
			DESIGNED BY	DRAWN BY	CHECKED BY

HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

PARTIAL LANDSCAPE PLAN VI

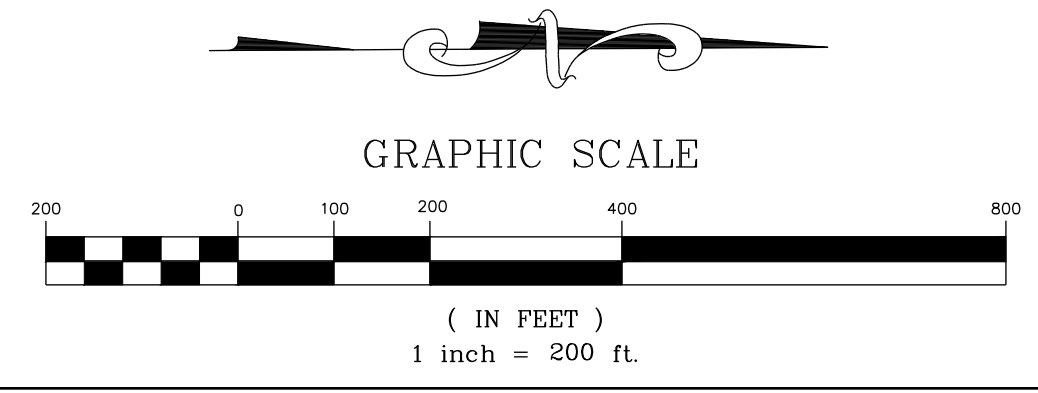
DRAWING SHEET
C-8.7

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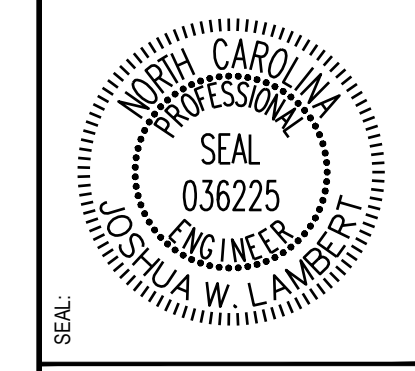


NOTES:
 THIS IS A SINGLE PHASE PROJECT.
 SEE SHEET C-3.0 FOR ADJACENT PROPERTY DETAILS

LEGEND:	
	PROPOSED PROPERTY LINE
	EXISTING PROPERTY LINE
	ROADWAY CENTER LINE
	PROPOSED PROPERTY LINE VALLEY/ROLLED CURB & GUTTER
	STANDARD CURB & GUTTER
	CONCRETE SIDEWALK
	ASPHALT PAVEMENT
	OPEN SPACE
	EXISTING WETLAND
	TRUCK BODY PATH OUTLINE
	WHEELS PATH OUTLINE
	FIRE TRUCK



NO.	REVISIONS	DATE	BY
0			
1			



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			JWL	SRG	JWL

HILLS AT HARRIS CREEK
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
FIRE PLAN

DRAWING SHEET
C-9.0
 53 OF 57

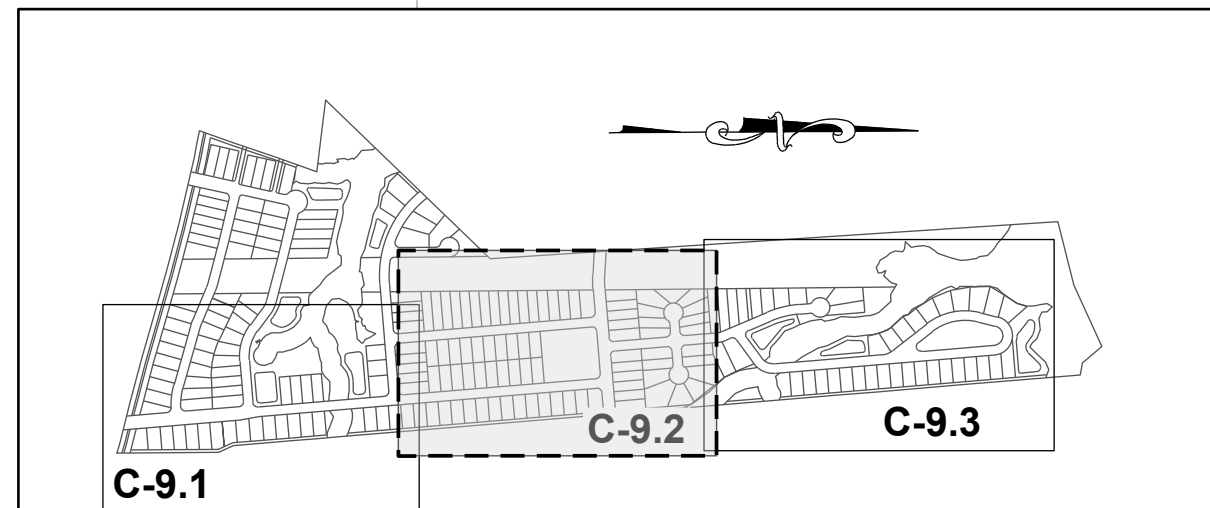
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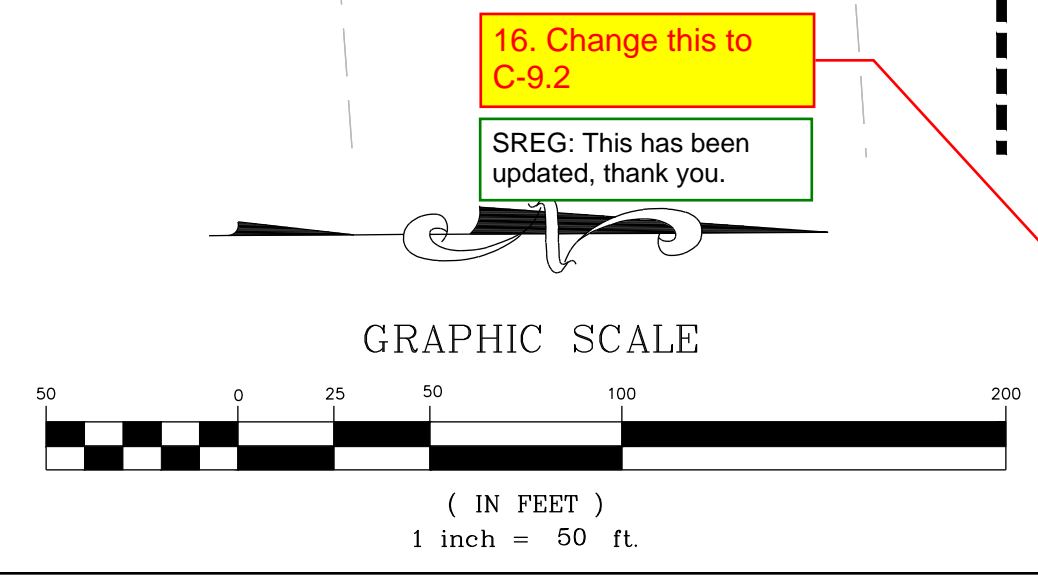
MATCH LINE
FOR CONTINUATION, SEE C-9.1

MATCH LINE
FOR CONTINUATION, SEE C-9.3

AMENITY CENTER



SITE KEY PLAN
LEGEND:
 SEE SHEET C-9.0 FOR LEGEND, LINE AND CURVE TABLES



16. Change this to C-9.2
 SREG: This has been updated, thank you.

NO.	REVISIONS	DATE	BY
0			
1			



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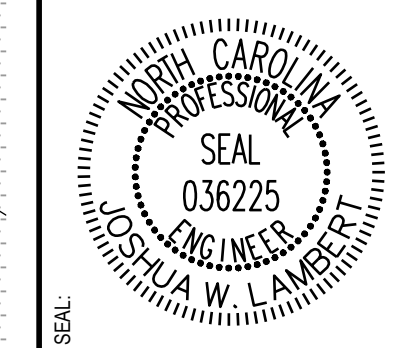
HILLS AT HARRIS CREEK
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
FIRE PLAN II

DRAWING SHEET
C-9.0
 55 OF 57

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NO.	REVISIONS	DATE	BY
0	TOWN OF ROLESVILLE V1-FSP-24-03	05/30/2024	SREG
1	TOWN OF ROLESVILLE V2-FSP-24-03	08/30/2024	SREG



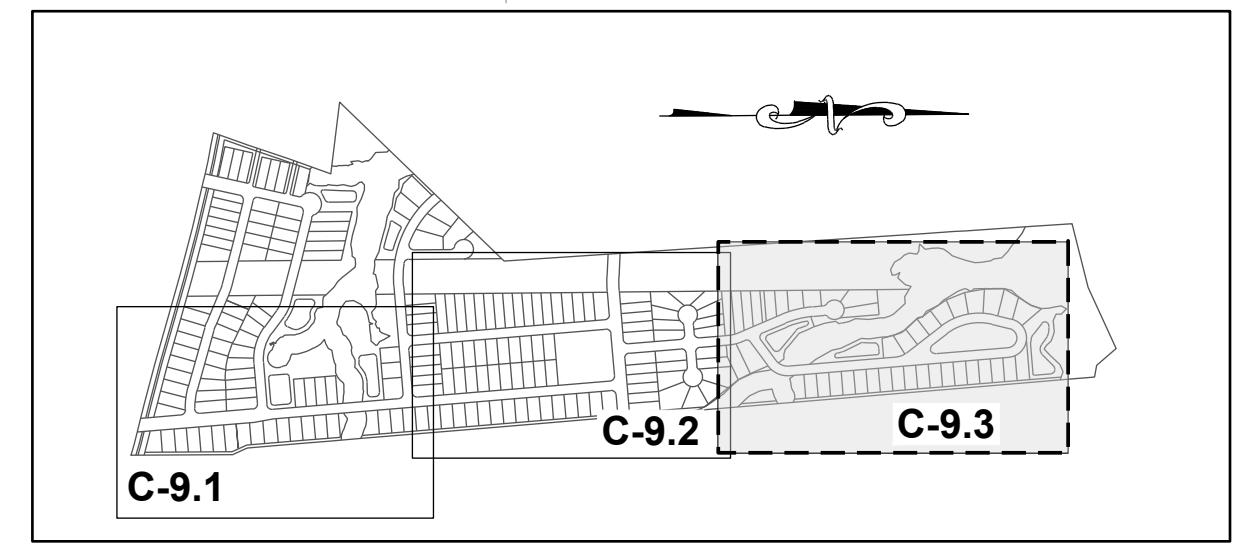
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STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL
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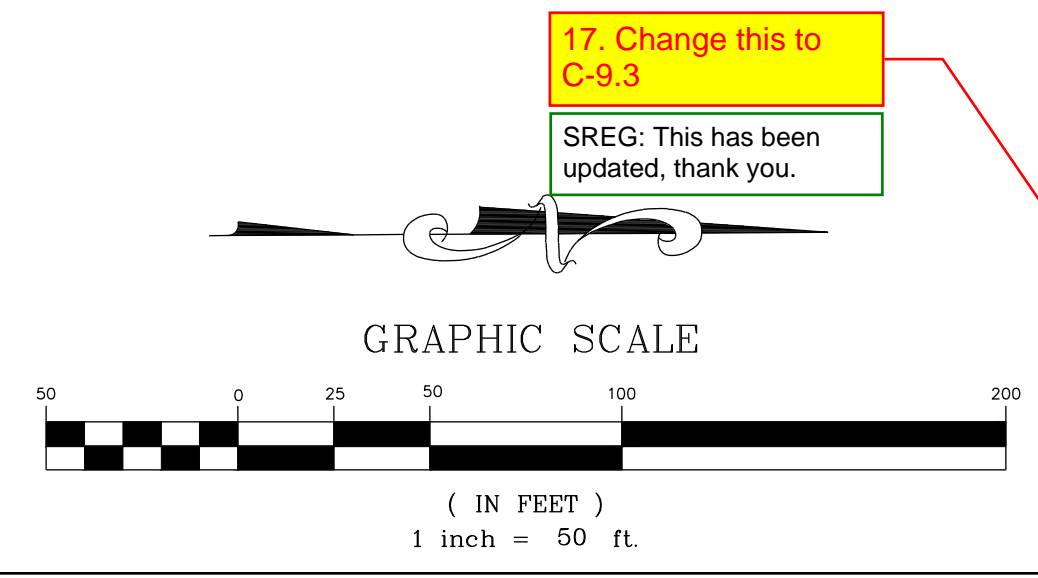
HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

FIRE PLAN III



SITE KEY PLAN

LEGEND:
SEE SHEET C-9.0 FOR LEGEND, LINE AND CURVE TABLES



17. Change this to C-9.3
SREG: This has been updated, thank you.

DRAWING SHEET
C-9.0

