

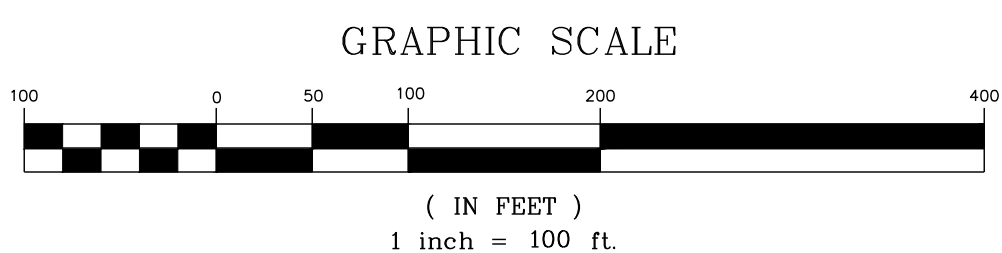
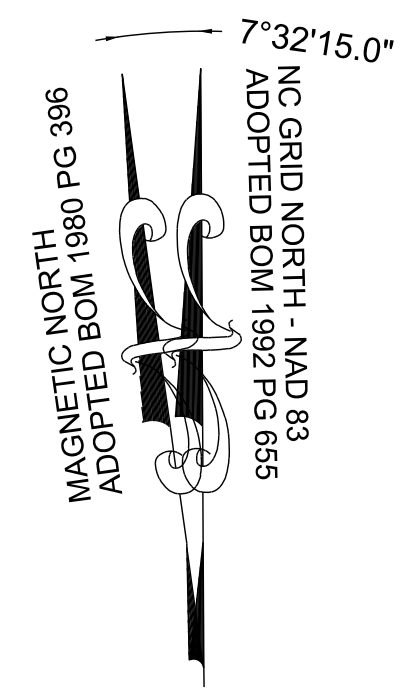
NC-CZ LAND USE CHART					
UDO SECTION	REQUIRED		PROPOSED		
	SF	AC	SF	AC	
TOTAL AREA			2,355,725	54.08	
< 75% RESIDENTIAL USE REQUIREMENT	6.2.1.D.2	1,649,008	37.86 % (<75%)	1,072,062	24.61 (45.5%)
15% COMMERCIAL USE REQUIREMENT	3.4.3.D.1	353,359	8.11% (15%)	369,542	8.48 (15.7%)
15% OPEN SPACE REQUIREMENT	6.2.1.D.1	353,359	8.11% (15%)	887,346	20.37 (37.7%)

NC-CZ OPEN SPACE BREAKDOWN						
TOTAL PROPERTY AREA	SECTION 6.2.1.D.2		REQUIRED		ACTUAL	
			SF	AC	SF	AC
	PHASE 4		119,696	2.75	344,530	7.91
	PHASE 5		109,170	2.51	344,217	7.90
	PHASE 6		124,493	2.86	198,599	4.56
TOTAL NC-CZ AREA			353,359	8.11 (15%)	887,346	20.37 (37.7%)

LEGEND:

- MASTER PLAN BOUNDARY
- - - EXISTING ADJOINER PROPERTY LINE
- - - EXISTING INTERMITTENT STREAM
- - - EXISTING PERENNIAL STREAM
- - - EXISTING BUFFER ZONE 1
- - - EXISTING BUFFER ZONE 2
- 500YR 500 YEAR FLOOD LINE
- 100YR 100 YEAR FLOOD LINE
- OPEN SPACE
- COMMERCIAL ZONE
- WTLD EXISTING WETLAND

- NOTES:**
- DETAILED DRAWINGS OF EACH AMENITY, THAT SHOWS COMPLIANCE WITH 6.2.1.G.5 AND 6.2.1.G.6, WILL BE PROVIDED IN A SUBSEQUENT SITE PLAN SUBMITTAL
 - DETAILED DRAWINGS OF THE COMMERCIAL AREA WILL BE PROVIDED IN A SUBSEQUENT SITE PLAN SUBMITTAL

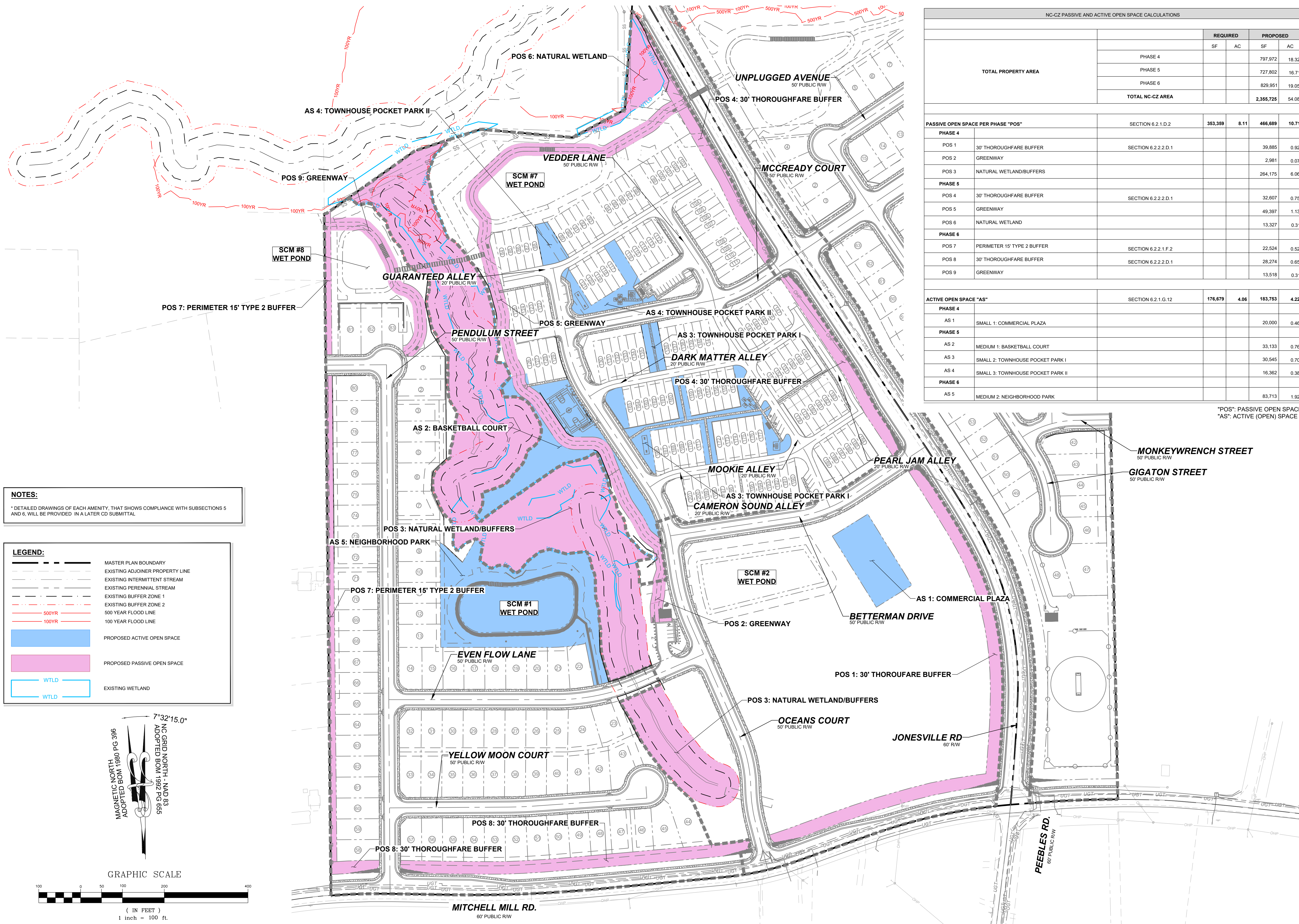


NO.	REVISIONS	DATE	BY
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 PROFESSIONAL SEAL
 036225
 J.W. LAMBERT
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 INFORMATION@STRONGROCKGROUP.COM
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RESERVE @ MITCHELL MILL
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
 CONSTRUCTION PLANS
 OVERALL OPEN SPACE NC-CZ
 DRAWING SHEET
C-7.0
 31 OF 176

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NC-CZ PASSIVE AND ACTIVE OPEN SPACE CALCULATIONS					
		REQUIRED		PROPOSED	
		SF	AC	SF	AC
TOTAL PROPERTY AREA					
	PHASE 4			797,972	18.32
	PHASE 5			727,802	16.71
	PHASE 6			829,951	19.05
	TOTAL NC-CZ AREA			2,355,725	54.08

PASSIVE OPEN SPACE PER PHASE "POS"						
PHASE	POS	SECTION	REQUIRED SF	REQUIRED AC	PROPOSED SF	PROPOSED AC
PHASE 4		SECTION 6.2.1.D.2	353,359	8.11	466,689	10.71
	POS 1	SECTION 6.2.2.2.D.1			39,885	0.92
	POS 2				2,981	0.07
	POS 3				264,175	6.06
PHASE 5		SECTION 6.2.2.2.D.1			32,607	0.75
	POS 4				49,397	1.13
	POS 5				13,327	0.31
PHASE 6		SECTION 6.2.2.1.F.2			22,524	0.52
	POS 7	SECTION 6.2.2.2.D.1			28,274	0.65
	POS 8				13,518	0.31
	POS 9					

ACTIVE OPEN SPACE "AS"						
PHASE	AS	SECTION	REQUIRED SF	REQUIRED AC	PROPOSED SF	PROPOSED AC
PHASE 4		SECTION 6.2.1.G.12	176,679	4.06	183,753	4.22
	AS 1				20,000	0.46
PHASE 5					33,133	0.76
	AS 2				30,545	0.70
	AS 3				16,362	0.38
PHASE 6					83,713	1.92
	AS 4					
	AS 5					

POS: PASSIVE OPEN SPACE
 AS: ACTIVE (OPEN) SPACE

NOTES:
 * DETAILED DRAWINGS OF EACH AMENITY, THAT SHOWS COMPLIANCE WITH SUBSECTIONS 5 AND 6, WILL BE PROVIDED IN A LATER CD SUBMITTAL

LEGEND:

- MASTER PLAN BOUNDARY
- - - EXISTING ADJOINER PROPERTY LINE
- - - EXISTING INTERMITTENT STREAM
- - - EXISTING PERENNIAL STREAM
- - - EXISTING BUFFER ZONE 1
- - - EXISTING BUFFER ZONE 2
- - - 500YR FLOOD LINE
- - - 100YR FLOOD LINE
- PROPOSED ACTIVE OPEN SPACE
- PROPOSED PASSIVE OPEN SPACE
- WTLD EXISTING WETLAND
- WTLD EXISTING WETLAND

MAGNETIC NORTH 1980 PG 396
 ADOPTED BOM 1980 PG 396
 NORTH AND 89
 ADOPTED BOM 1992 PG 3665

7°32'15.0"

GRAPHIC SCALE
 (IN FEET)
 1 inch = 100 ft.

NO.	REVISIONS	DATE	BY
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STRONGROCK
 ENGINEERING GROUP

SEAL: NORTH CAROLINA PROFESSIONAL ENGINEER
 036225
 JUSTIA W. LAMBERT

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 305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT
 P-2766-03
 NOT FOR CONSTRUCTION
 SCALE AS SHOWN
 DESIGNED BY JWL
 DRAWN BY SRG
 CHECKED BY JWL

RESERVE @ MITCHELL MILL
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
 CONSTRUCTION PLANS
 PASSIVE & ACTIVE OPEN SPACE
 NC-CZ ZONE

DRAWING SHEET
C-7.1

LEGEND:

	MASTER PLAN BOUNDARY
	EXISTING ADJOINER PROPERTY LINE
	EXISTING INTERMITTENT STREAM
	EXISTING PERENNIAL STREAM
	EXISTING BUFFER ZONE 1
	EXISTING BUFFER ZONE 2
	500YR 500 YEAR FLOOD LINE
	100YR 100 YEAR FLOOD LINE
	OPEN SPACE CLUSTER OPTION
	WTLD
	EXISTING WETLAND

RM-CZ LAND USE CHART

UDO SECTION	PROPOSED	
	SF	AC
TOTAL AREA	3,685,612	84.61
40% OPTION REQUIREMENT	1,474,245	33.84 (40.0%)
PROPOSED OPEN SPACE	2,107,864	48.39 (57.2%)

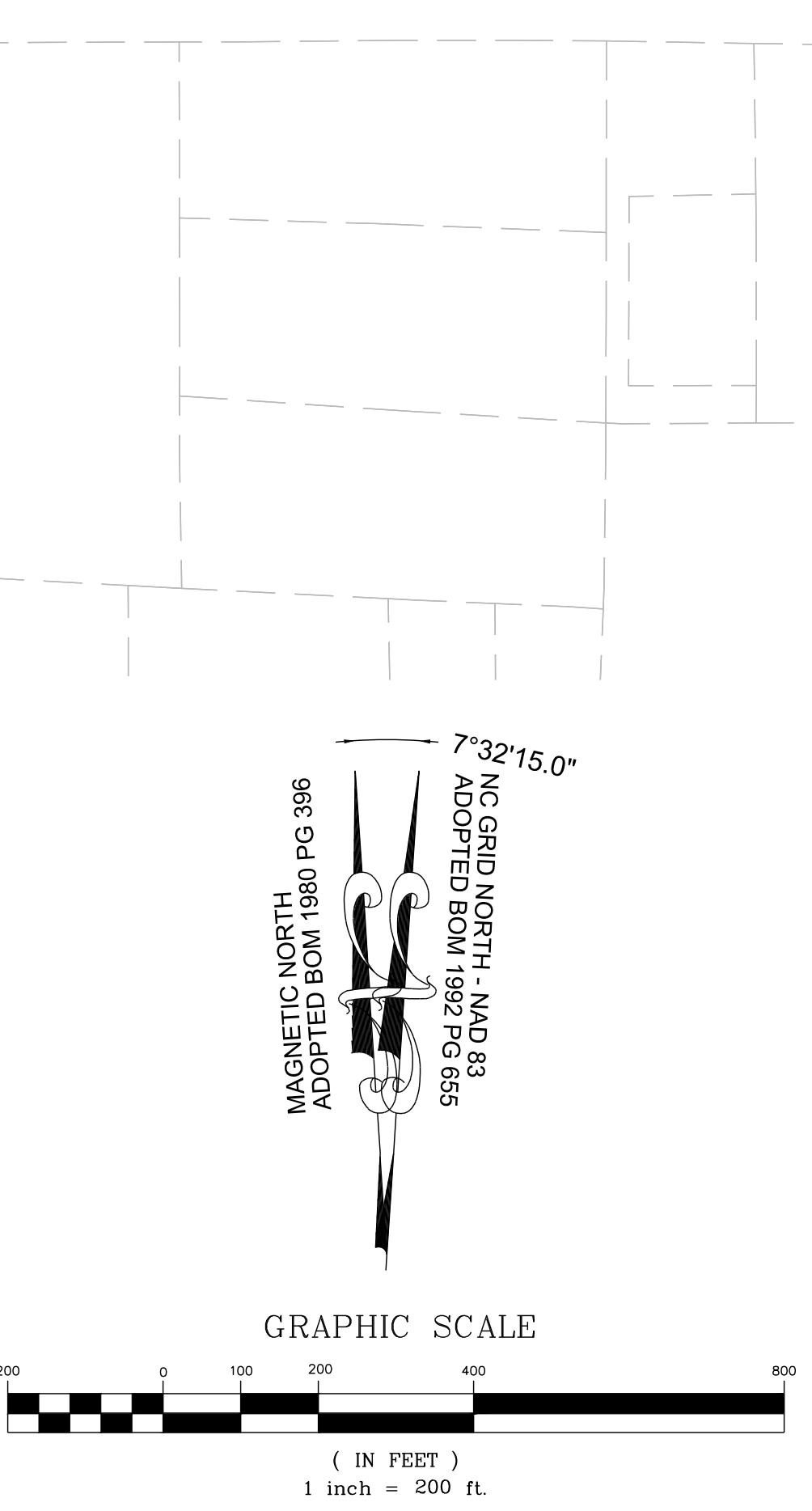
RM-CZ OPEN SPACE BREAKDOWN

TOTAL PROPERTY AREA	PHASE	SF	AC	ACTUAL	
				SF	AC
TOTAL RM-CZ AREA	PHASE 1	1,843,914	42.33		
	PHASE 2	959,283	22.02		
	PHASE 3	882,415	20.26		
	TOTAL RM-CZ AREA	3,685,612	84.61		

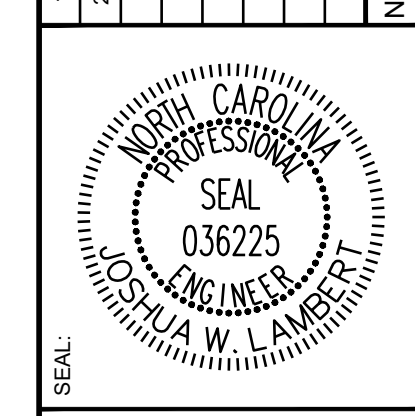
OPEN SPACE	UDO SECTION 3.1.B.1	PHASE	REQUIRED		PROPOSED	
			SF	AC	SF	AC
TOTAL	3.1.B.1	PHASE 1	737,566	16.93	1,360,054	31.22
		PHASE 2	383,713	8.81	442,983	10.17
		PHASE 3	352,966	8.10	304,827	7.00
		TOTAL	1,474,245	33.84 (40%)	2,107,864	48.39 (57.2%)

NOTES:

- DETAILED DRAWINGS OF EACH AMENITY, THAT SHOWS COMPLIANCE WITH SUBSECTIONS 5 AND 6, WILL BE PROVIDED IN A LATER CD SUBMITTAL
- ALL PROPOSED OPEN SPACE SHALL BE OWNED BY THE HOA
- IT IS INCLUDED AS A PORTION OF ALL THE THREE PHASES OF DEVELOPMENT YET AS OPEN SPACE IS NOT DEVELOPED DURING THE THAT SPECIFIC PHASE



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ENGINEERING GROUP

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STRONG ROCK PROJECT	STRONG ROCK PROJECT
PSP-24-03	PSP-24-03
NOT FOR CONSTRUCTION	NOT FOR CONSTRUCTION
SCALE AS SHOWN	SCALE AS SHOWN
DESIGNED BY JWL	DESIGNED BY JWL
DRAWN BY SRG	DRAWN BY SRG
CHECKED BY JWL	CHECKED BY JWL

RESERVE @ MITCHELL MILL
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
CONSTRUCTION PLANS
OVERALL OPEN SPACE RM-CZ

DRAWING SHEET
C-7.2

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RM-CZ PASSIVE AND ACTIVE OPEN SPACE CALCULATIONS						
	PHASE	REQUIRED			PROPOSED	
		SF	AC	PERCENT	SF	AC
TOTAL PROPERTY AREA	PHASE 1				1,843,914	42.33
	PHASE 2				959,283	22.02
	PHASE 3				882,415	20.26
	TOTAL RM-CZ AREA				3,685,612	84.61
OPEN SPACE						
	PASSIVE	6.2.1.D.1	442,273	10.15	12%	
	ACTIVE	6.2.1.G.12	221,173	5.08	6%	
PASSIVE OPEN SPACE PER PHASE "POS"						
PHASE 1						
POS 1	GREENWAY				26,891	0.62 (0.7%)
POS 2	NATURAL AREAS				1,017,551	23.36 (27.6%)
PHASE 2						
POS 3	GREENWAY				48,030	1.10 (1.3%)
POS 4	LAWN AND NATURAL AREA				39,881	0.92 (1.1%)
POS 5	LAWN AND NATURAL AREA				36,042	0.83 (1.0%)
PHASE 3						
POS 6	POLLINATOR GARDEN				79,675	1.83 (2.2%)
POS 7	PRIMITIVE TRAIL				67,570	1.55 (1.8%)
TOTAL PROPOSED PASSIVE OPEN SPACE	SECTION 6.2.1.D.1	442,273	10.15	12%	1,315,640	30.20 (35.7%)
ACTIVE OPEN SPACE "AS"						
PHASE 1						
AS 1	CRICKET PITCH				73,374	1.68 (2.0%)
AS 2	AMENITY CENTER				65,780	1.51 (1.8%)
PHASE 2						
AS 3	SMALL IPEMA PLAYGROUND				9,855	0.23 (0.3%)
AS 4	PARKOUR COURSE				74,829	1.72 (2.0%)
PHASE 3						
AS 5	SMALL IPEMA PLAYGROUND				8,742	0.20 (0.2%)
AS 6	BALLFIELD				45,842	1.05 (1.2%)
TOTALS PHASES 1, 2 & 3	SECTION 6.2.1.G.12	221,173	5.08	6%	278,421	6.39 (7.6%)

POS: PASSIVE OPEN SPACE
 AS: ACTIVE (OPEN) SPACE

LEGEND:

- MASTER PLAN BOUNDARY
- EXISTING ADJOINER PROPERTY LINE
- EXISTING INTERMITTENT STREAM
- EXISTING PERENNIAL STREAM
- EXISTING BUFFER ZONE 1
- EXISTING BUFFER ZONE 2
- 500 YEAR FLOOD LINE
- 100 YEAR FLOOD LINE
- PASSIVE OPEN SPACE
- ACTIVE OPEN SPACE
- WTLD --- EXISTING WETLAND

NOTES:

* DETAILED DRAWINGS OF EACH AMENITY, THAT SHOWS COMPLIANCE WITH SUBSECTIONS 5 AND 6, WILL BE PROVIDED IN A LATER CD SUBMITTAL.

MAGNETIC NORTH
 ADOPTED BOM 1980 PG 396

7°32'15.0"
 NC GRID NORTH - NAD 83
 ADOPTED BOM 1992 PG 695

GRAPHIC SCALE
 0 100 200 400 800
 (IN FEET)
 1 inch = 200 ft.



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 ENGINEERING GROUP

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STRONG ROCK PROJECT
 PSP-24-03
 NOT FOR CONSTRUCTION
 SCALE AS SHOWN
 DESIGNED BY JWL
 SRG
 DRAWN BY JWL
 CHECKED BY JWL

RESERVE @ MITCHELL MILL
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
 CONSTRUCTION PLANS
PASSIVE & ACTIVE OPEN SPACE
RM-CZ ZONE

DRAWING SHEET
C-7.3

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UTILITY NOTES

- 1. ALL UTILITY DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES (CORPUD) STANDARDS AND SPECIFICATIONS. UTILITY DESIGN SHALL ALSO MEET FIRE FLOW REQUIREMENTS OF NCFC.
2. UTILITY SIZES AND LOCATIONS ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY AND ARE SUBJECT TO CHANGE BASED ON FINAL DESIGN AND CONSTRUCTION DRAWING APPROVAL. THIS SHALL INCLUDE BUT NOT LIMITED TO FIRE HYDRANT LOCATIONS.
3. ANY EXISTING WATER AND SEWER LINES TO BE USED AS PART OF THE FINAL DESIGN OF THE PROJECT, SHALL BE LOCATED BY SURVEY, TESTED BY A LICENSED CONTRACTOR AND APPROVED BY THE CITY OF RALEIGH INSPECTOR PRIOR TO SUBMITTAL OF CONSTRUCTION DRAWINGS.
4. AS PART OF CONSTRUCTION DRAWING SUBMITTAL, FIRE FLOW CALCULATIONS SHALL BE PROVIDED SHOWING COMPLIANCE WITH NCFC. PROJECT MAY BE DEVELOPED IN PHASES AND ALL PHASES SHALL BE REQUIRED TO MEET THE MINIMUM REQUIRED FIRE FLOWS PER OCCUPANCY PROPOSED IN EACH PHASE.
5. AN APPROVED WATER SUPPLY FOR FIRE SUPPRESSION (TEMPORARY OR PERMANENT) SHALL BE PROVIDED AS SOON AS COMBUSTIBLE MATERIALS ARRIVE ON SITE.
6. UTILITY CONSTRUCTION APPROVAL IS REQUIRED FOR THIS PROJECT, PLANS TO BE PREPARED BY NC PROFESSIONAL ENGINEER.
7. RIGHT OF WAY AND/OR EASEMENT DEDICATION PLAT IS REQUIRED FOR THIS PROJECT (PRIOR TO CITY ACCEPTANCE OF UTILITIES).
8. ALL NECESSARY WETLAND, RIPARIAN BUFFER AND FLOODPLAIN PERMITS FROM USACE, NCDWQ & FEMA SHALL BE OBTAINED PRIOR TO CONSTRUCTION.
9. PROJECT SHALL EXTEND PUBLIC WATER MAINS ALONG ALL INTERIOR AND ABUTTING RIGHT OF WAYS OF DEVELOPMENT.
10. FIRE HYDRANT ASSEMBLIES SHALL BE INSTALLED AT EVERY INTERSECTION AND AT 500' (RESIDENTIAL) MAX INTERVALS ALONG SITE FRONTAGE.
11. ALL MAINS UP TO 12 INCHES IN SIZE SHALL BE DESIGNED WITH A BLOW-OFF ASSEMBLY THE SAME SIZE AS THE DIAMETER OF THE PIPE.
12. ALL WATER MAINS SHALL BE PRESSURE CLASS OR THICKNESS CLASS DUCTILE IRON PIPE DESIGNED IN ACCORDANCE WITH AWWA STANDARD C-150.
13. PROJECT SHALL EXTEND PUBLIC GRAVITY SEWER TO PERIPHERY OF DEVELOPMENT BASED ON NATURAL TOPOGRAPHY.
14. ALL CITY OF RALEIGH SANITARY SEWER EASEMENTS SHALL BE A MINIMUM OF 30 FEET.
15. THE SANITARY SEWER DESIGN SHALL BE EVALUATED DURING THE CONSTRUCTION DRAWING REVIEW TO ENSURE ADJACENT PROPERTIES HAVE ACCESS TO SANITARY SEWER WHERE FEASIBLE AND IN COMPLIANCE WITH THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT STANDARDS AND SPECIFICATIONS.
16. ALL OFF-SITE EASEMENTS SHALL BE ACQUIRED BY THE DEVELOPER. THESE OFF-SITE EASEMENTS SHALL BE RECORDED BY MAP AND BY DEED OF EASEMENT PRIOR TO CONSTRUCTION APPROVAL. THE EASEMENTS SHALL BE DEDICATED TO THE CITY OF RALEIGH AND ENTITLED "CITY OF RALEIGH SANITARY SEWER EASEMENT".
17. MAINTAIN APPROPRIATE COVER AND SEPARATION ON UTILITIES AND LABEL IN PROFILES; ANY UTILITY CROSSINGS ARE SUBJECT TO MINIMUM REQUIREMENTS.
18. CONSTRUCTION APPROVAL WILL BE REQUIRED FOR ANY EXTENSIONS OF PUBLIC WATER OR SEWER MAINS.
19. PLAT RECORDATION REQUIRED AFTER CONSTRUCTION APPROVAL PRIOR TO BUILDING PERMIT.
20. DOT ENCROACHMENT AGREEMENT REQUIRED.
21. PRIVATE WATER SERVICES SIZED 3/4" - 2" SHOULD BE TYPE "K" SOFT COPPER AND IN ACCORDANCE WITH PU HANDBOOK, APP. B. STANDARD WATER DETAIL W-23 AND W-25. IF WATER METERS CANNOT BE LOCATED WITHIN THE RIGHT-OF-WAY THEY MUST BE WITHIN RECORDED "CITY OF RALEIGH WATERLINE EASEMENTS".

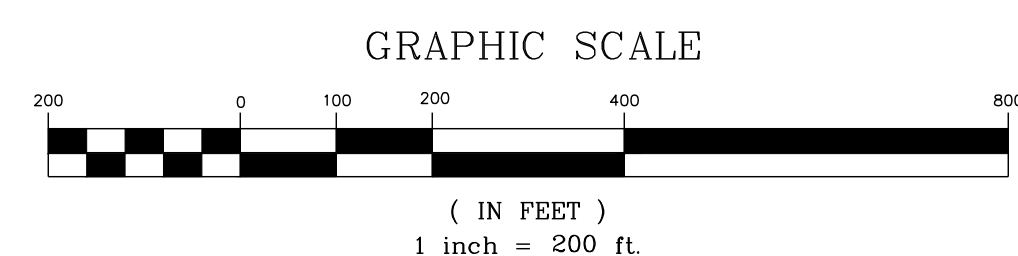
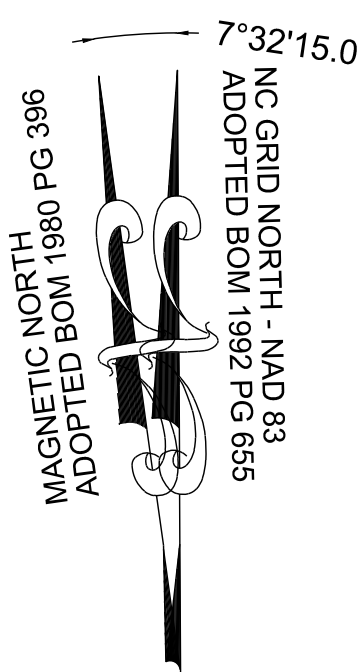
CORPUD STANDARD UTILITY NOTES:

STANDARD UTILITY NOTES (AS APPLICABLE):

- 1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
2. UTILITY SEPARATION REQUIREMENTS:
a) A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
b) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
c) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, PVC MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
d) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS PVC MATERIAL IS SPECIFIED FOR SANITARY SEWER.
e) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS. MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY PVC MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
f) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
5. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
6. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
7. INSTALL 3/4" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'x2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
8. INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
9. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
10. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
11. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
12. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
13. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

LEGEND:

- W WATER LINE
SS SANITARY SEWER LINE
Water Meter / Service
Sanitary Cleanout / Service
Fire Hydrant Assembly
Gate Valve
TEE
CROSS
BLOW OFF VALVE
SANITARY MANHOLE

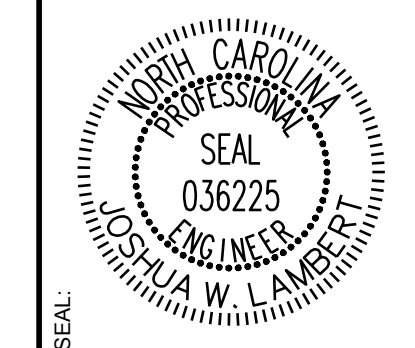


NOTES: SEE SHEET C-3.0 FOR ADJACENT PROPERTY DETAILS

TOWNHOME NOTES: STATES INTERNAL TOWNHOME DRIVEWAYS ARE PRIVATE EASEMENTS AS PER CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT

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Table with columns: No., REVISIONS, DATE, BY. Contains revision history.

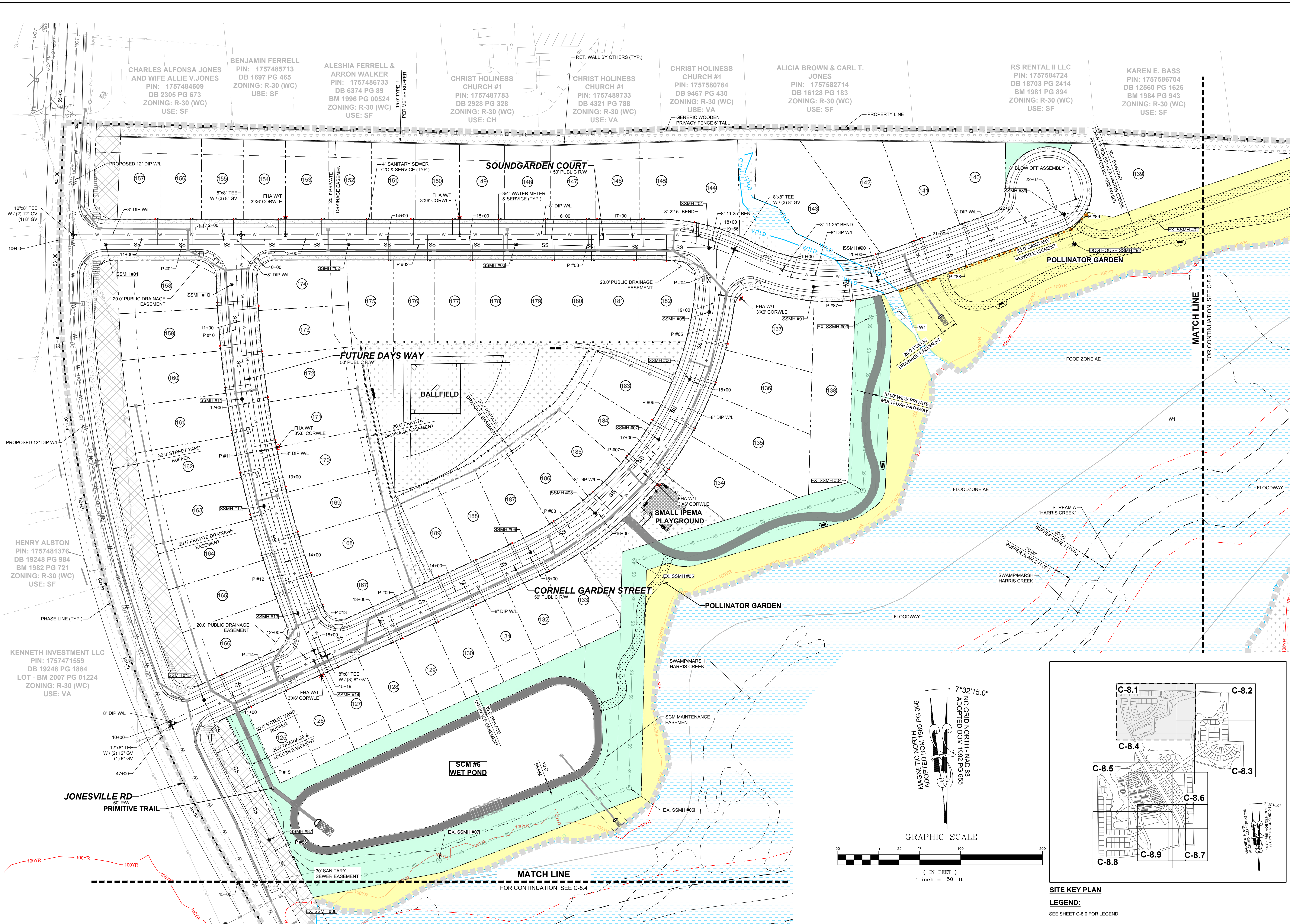


STRONGROCK ENGINEERING GROUP logo and contact information: STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166 | 305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

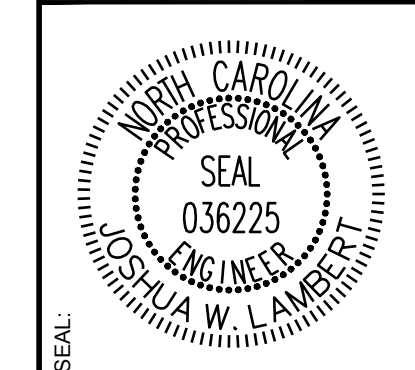
Table with columns: STRONG ROCK PROJECT, NOT FOR CONSTRUCTION, SCALE, DESIGNED BY, DRAWN BY, CHECKED BY. Contains project identification details.

RESERVE @ MITCHELL MILL TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA CONSTRUCTION PLANS OVERALL UTILITY PLAN

DRAWING SHEET C-8.0



NO.	REVISIONS	DATE	BY
1			
2			



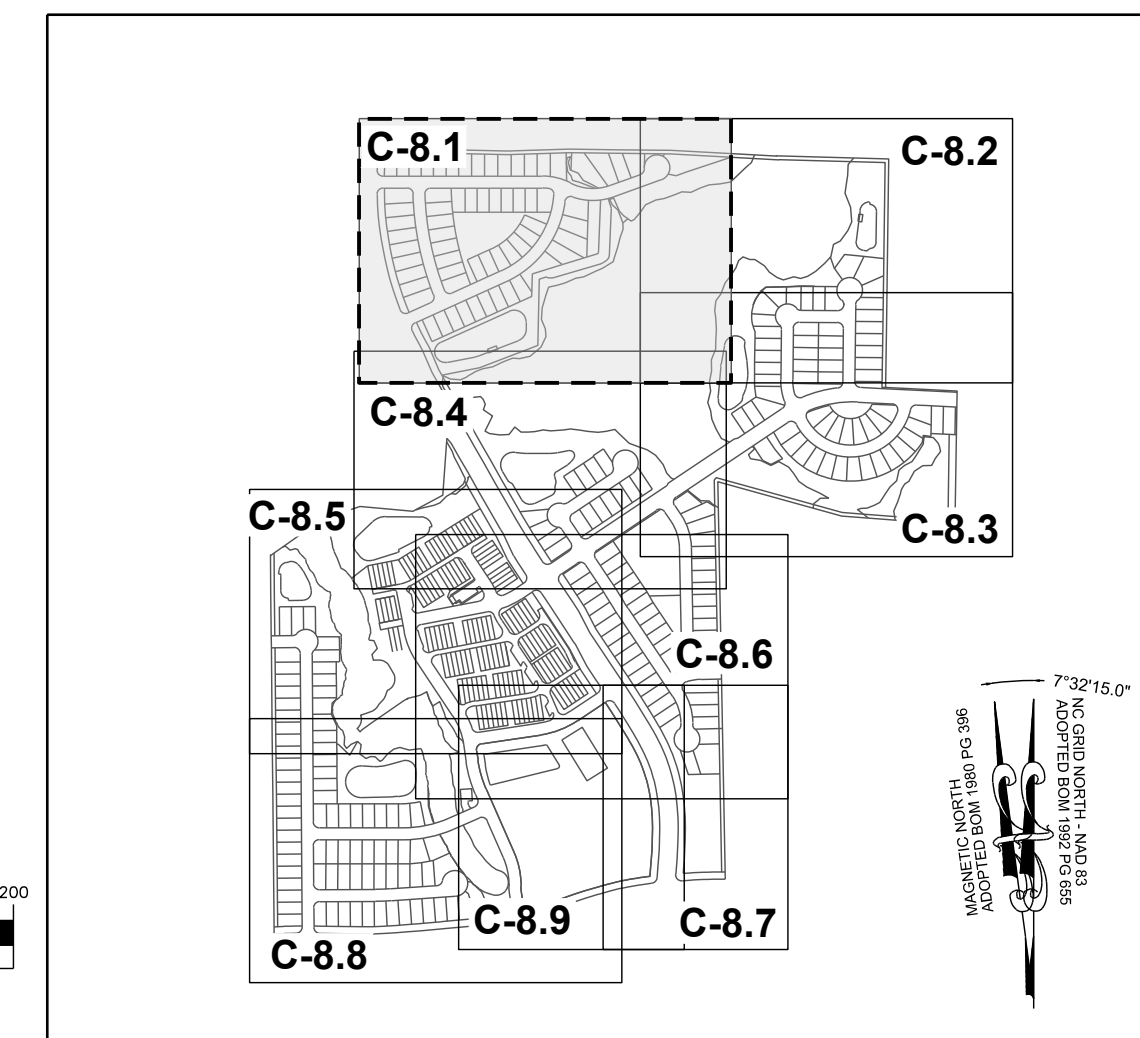
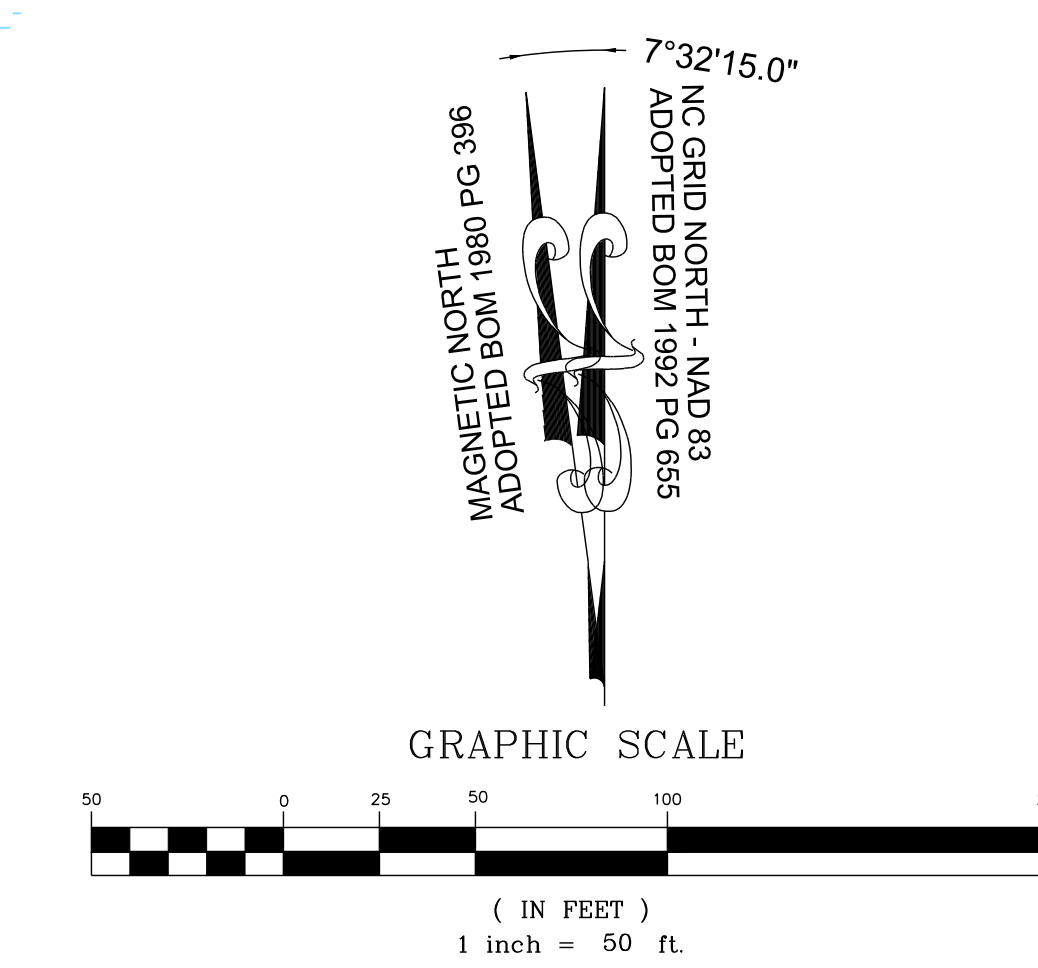
STRONGROCK
ENGINEERING GROUP

STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166
305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

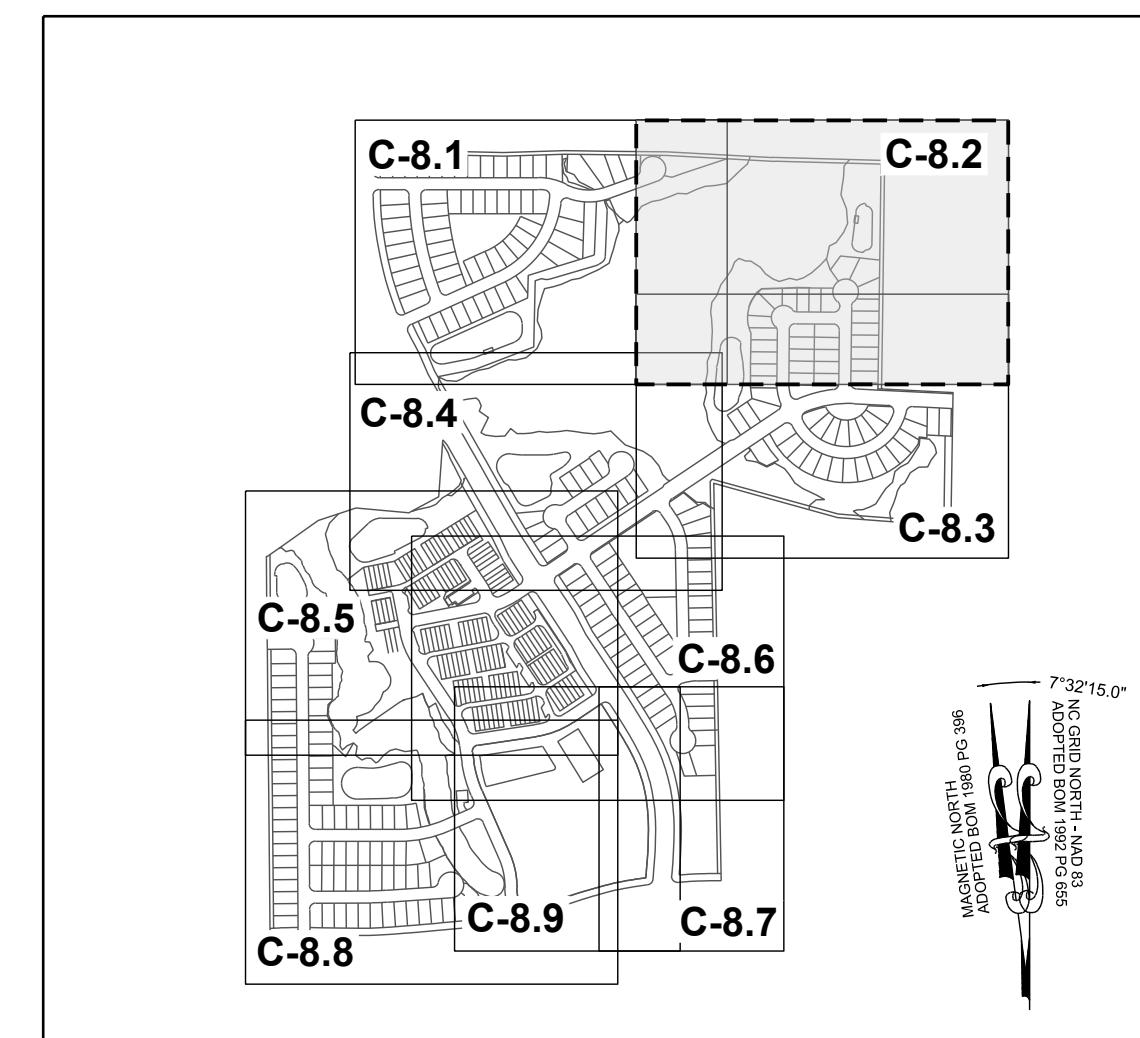
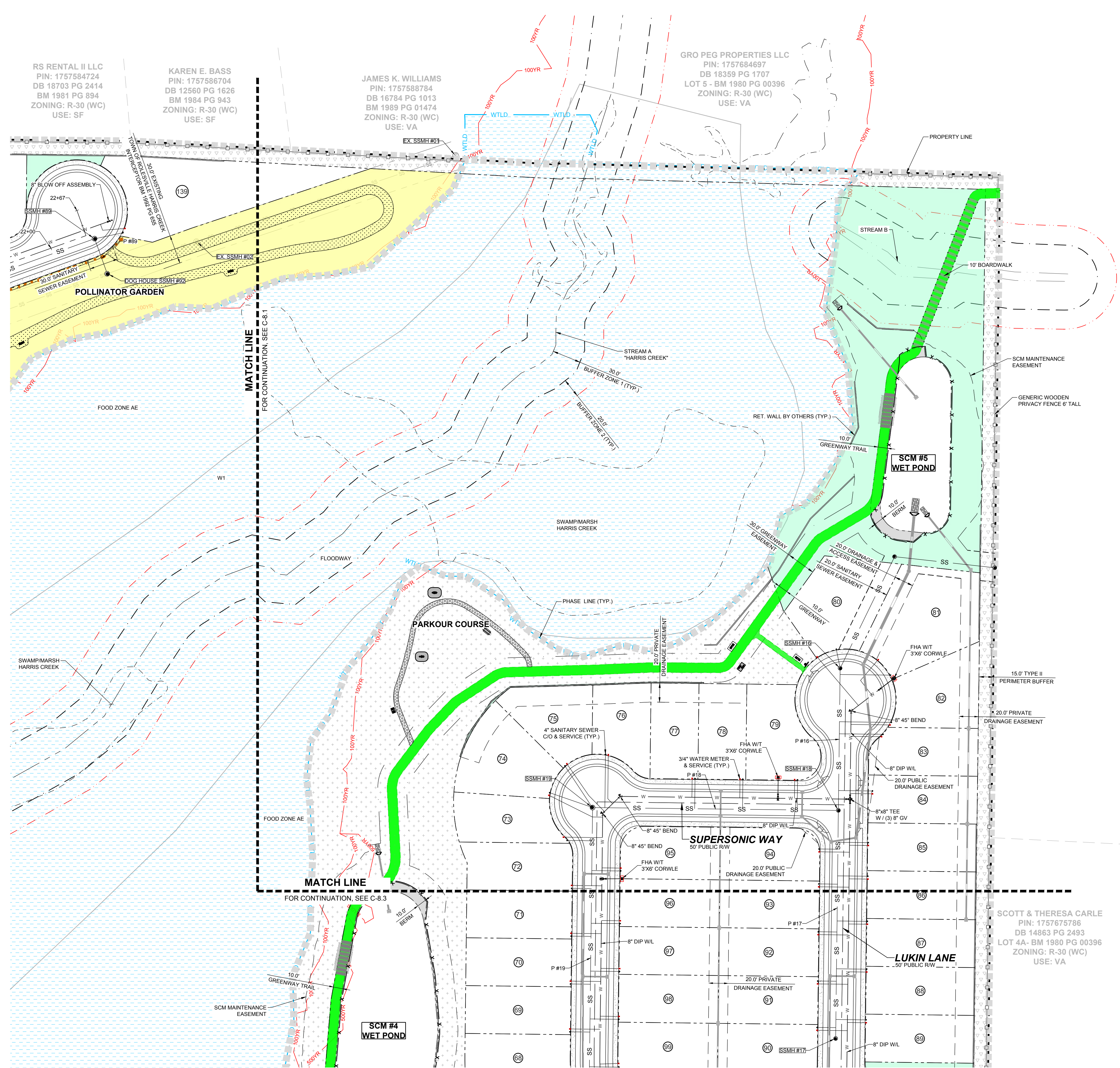
STRONG ROCK PROJECT	STRONG ROCK PROJECT	STRONG ROCK PROJECT	STRONG ROCK PROJECT
PSP-24-03	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL
			DRAWN BY SRG
			CHECKED BY JWL

RESERVE @ MITCHELL MILL
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
CONSTRUCTION PLANS
PARTIAL UTILITY PLAN I

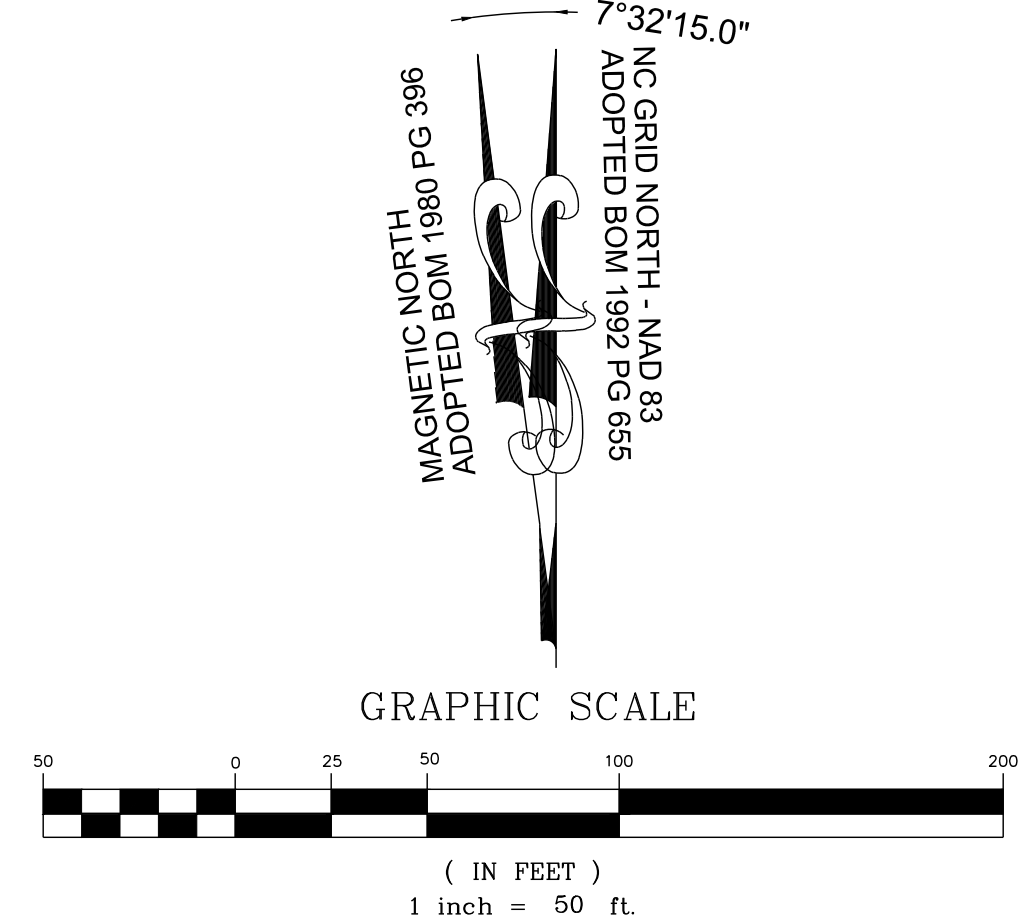
DRAWING SHEET
C-8.1



THIS PLANSET AND ANY ASSOCIATED DOCUMENTS ARE PRELIMINARY AND NOT AUTHORIZED FOR CONSTRUCTION UNTIL SIGNED, DATED, AND OFFICIALLY RELEASED FOR CONSTRUCTION BY THE ENGINEER OF RECORD.



SITE KEY PLAN
LEGEND:
 SEE SHEET C-8.0 FOR LEGEND.



NO.	REVISIONS	DATE	BY
1			
2			

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 ENGINEERING GROUP
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 305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

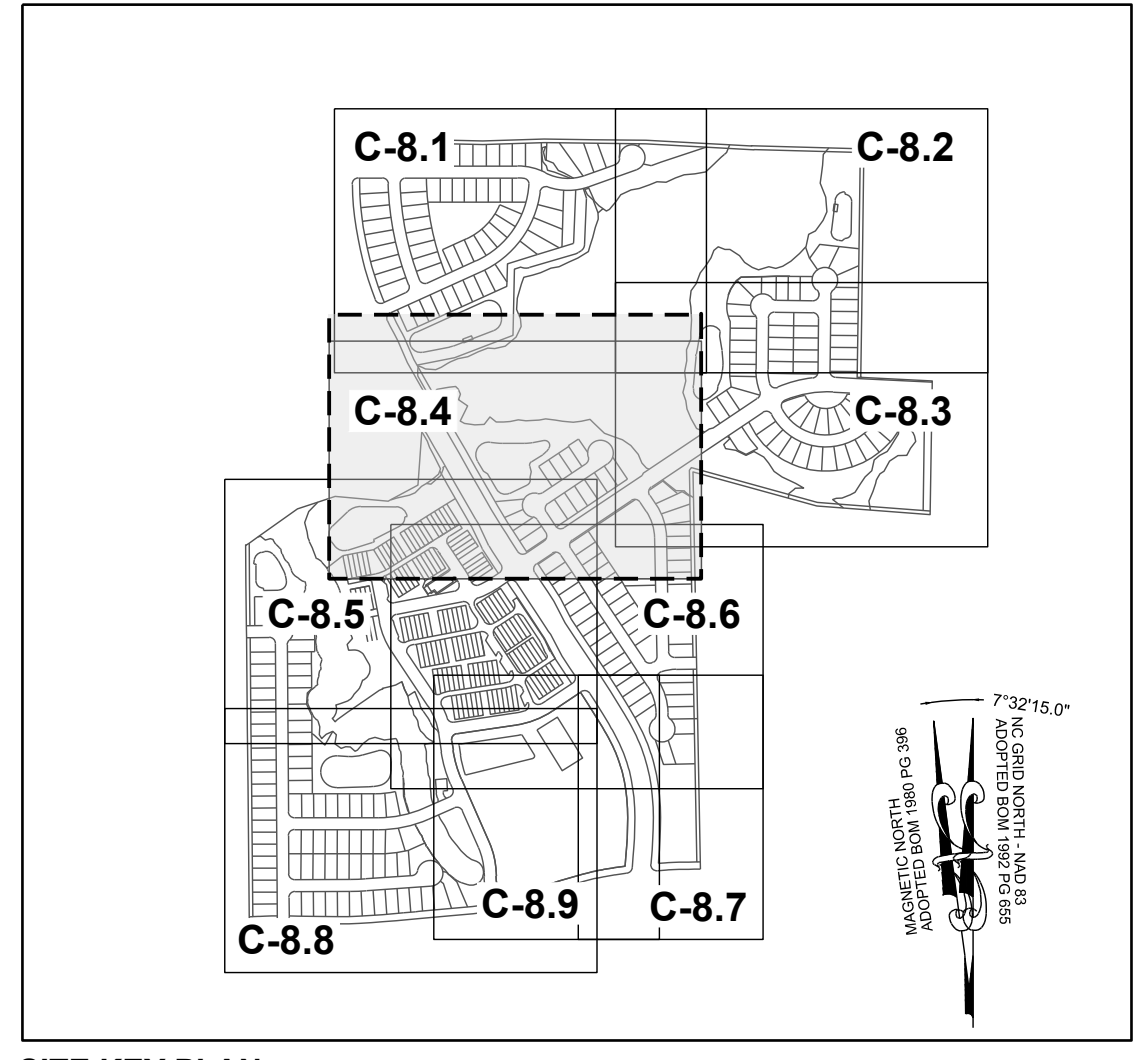
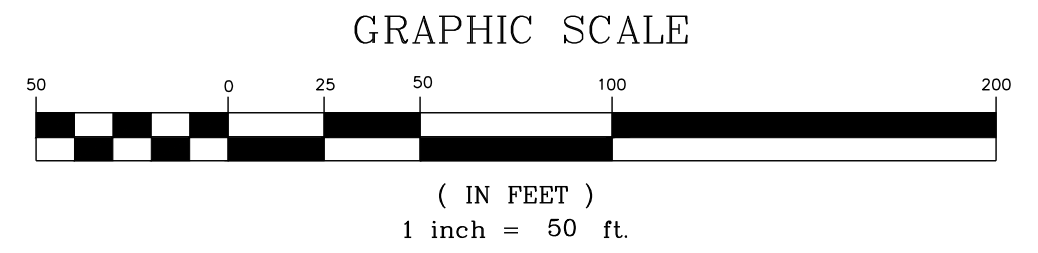
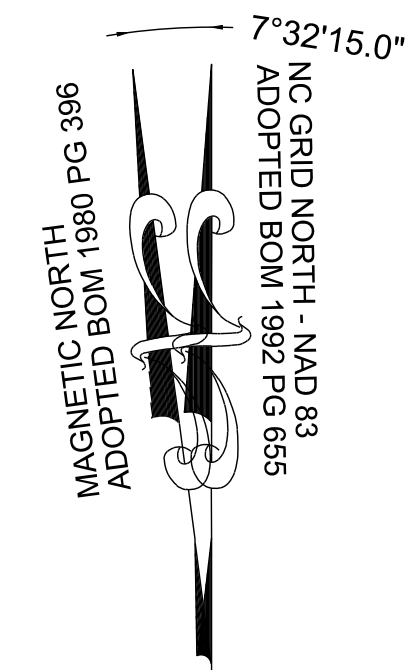
RESERVE @ MITCHELL MILL
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
CONSTRUCTION PLANS
PARTIAL UTILITY PLAN II

DRAWING SHEET
C-8.2

THIS PLANSET AND ANY ASSOCIATED DOCUMENTS ARE PRELIMINARY AND NOT AUTHORIZED FOR CONSTRUCTION UNTIL SIGNED, DATED, AND OFFICIALLY RELEASED FOR CONSTRUCTION BY THE ENGINEER OF RECORD.

TOWNHOME NOTES:
STATES INTERNAL TOWNHOME DRIVEWAYS ARE PRIVATE EASEMENTS AS PER CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT

LEGEND:
SEE SHEET C-8.0 FOR LEGEND.



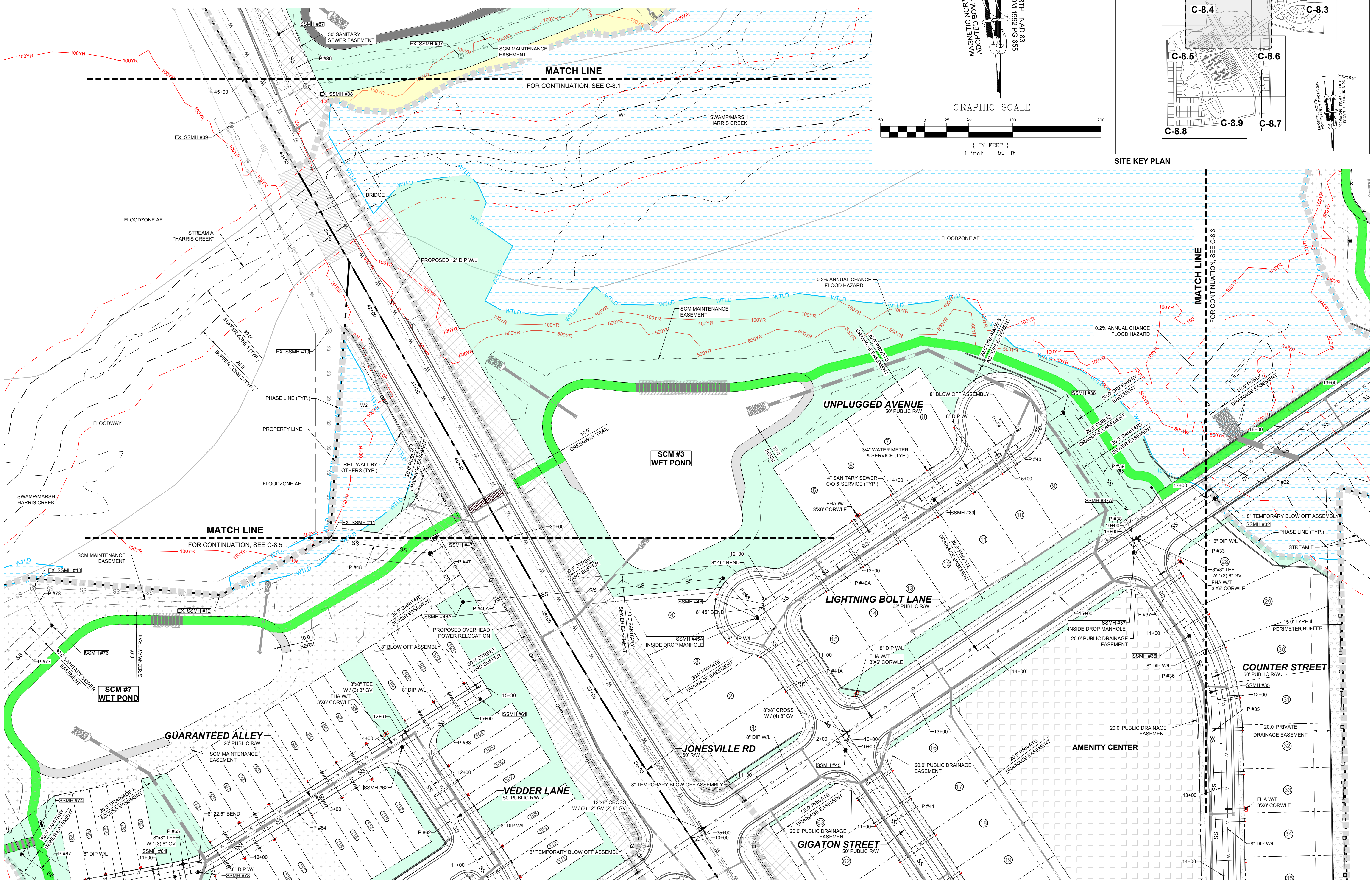
1	CONSTRUCTION INFRASTRUCTURE DRAWINGS CDD-24-04	BY
2	TOWN OF ROLESVILLE CDD-V2-24-04	DATE
NO.		REVISIONS
No.		DATE

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 STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166
 305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	STRONG ROCK PROJECT PSP-24-03	DESIGNED BY	JWL	CHECKED BY	JWL
NOT FOR CONSTRUCTION	SCALE	AS SHOWN	SRG	DRAWN BY	JWL

RESERVE @ MITCHELL MILL
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
CONSTRUCTION PLANS
PARTIAL UTILITY PLAN VI

DRAWING SHEET
C-8.4

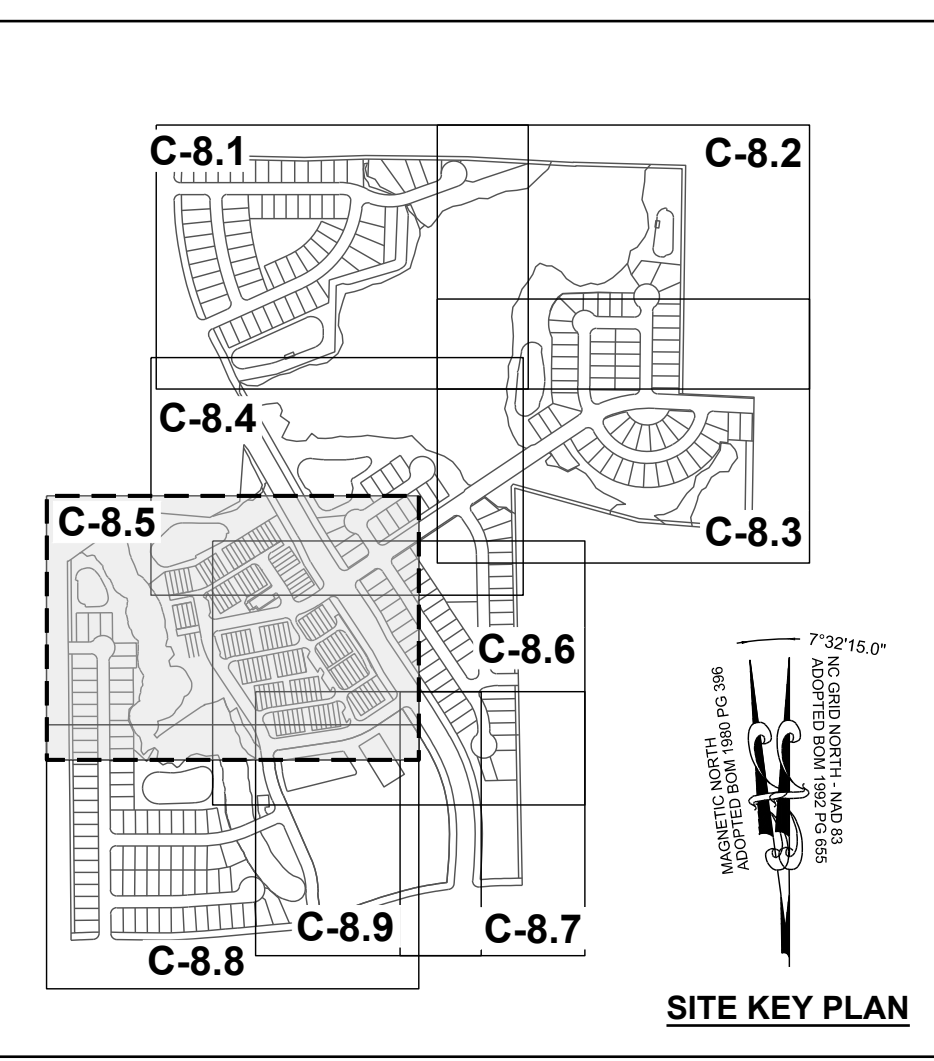
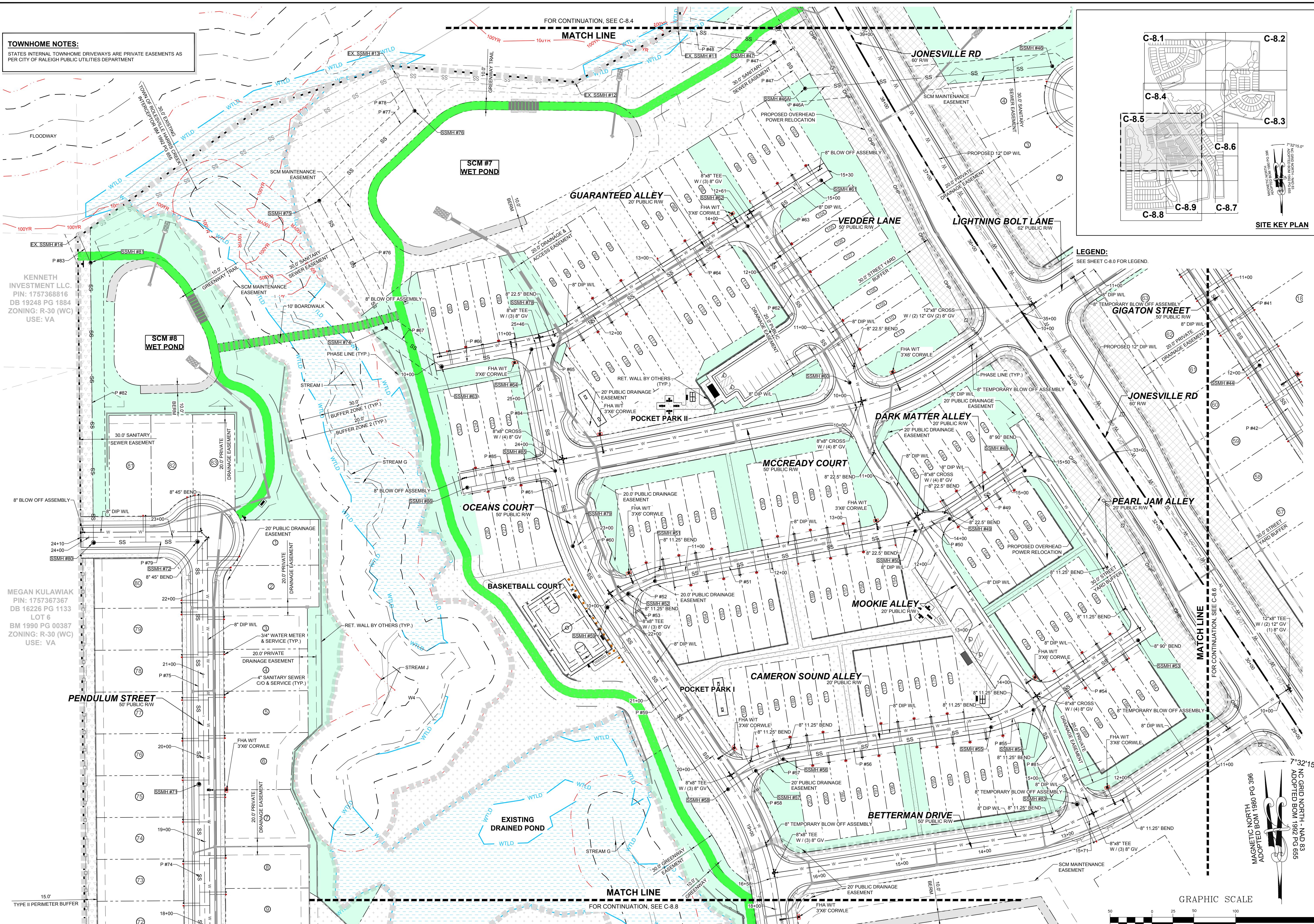


THIS PLANSET AND ANY ASSOCIATED DOCUMENTS ARE PRELIMINARY AND NOT AUTHORIZED FOR CONSTRUCTION UNTIL SIGNED, DATED, AND OFFICIALLY RELEASED FOR CONSTRUCTION BY THE ENGINEER OF RECORD.

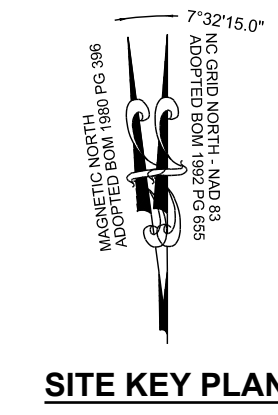
TOWNHOME NOTES:
STATES INTERNAL TOWNHOME DRIVEWAYS ARE PRIVATE EASEMENTS AS PER CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT

KENNETH INVESTMENT LLC
PIN: 1757368816
DB 19248 PG 1884
ZONING: R-30 (WC)
USE: VA

MEGAN KULAWIAK
PIN: 1757367367
DB 16226 PG 1133
LOT 6
BM 1990 PG 00387
ZONING: R-30 (WC)
USE: VA

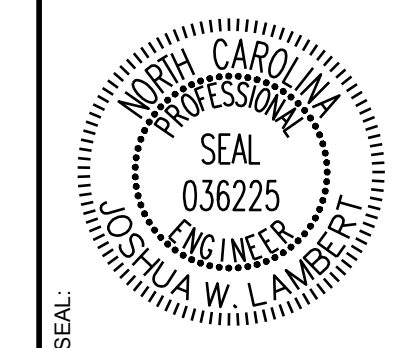


LEGEND:
SEE SHEET C-8.0 FOR LEGEND.



GRAPHIC SCALE
(IN FEET)
1 inch = 50 ft.

NO.	REVISIONS	DATE	BY
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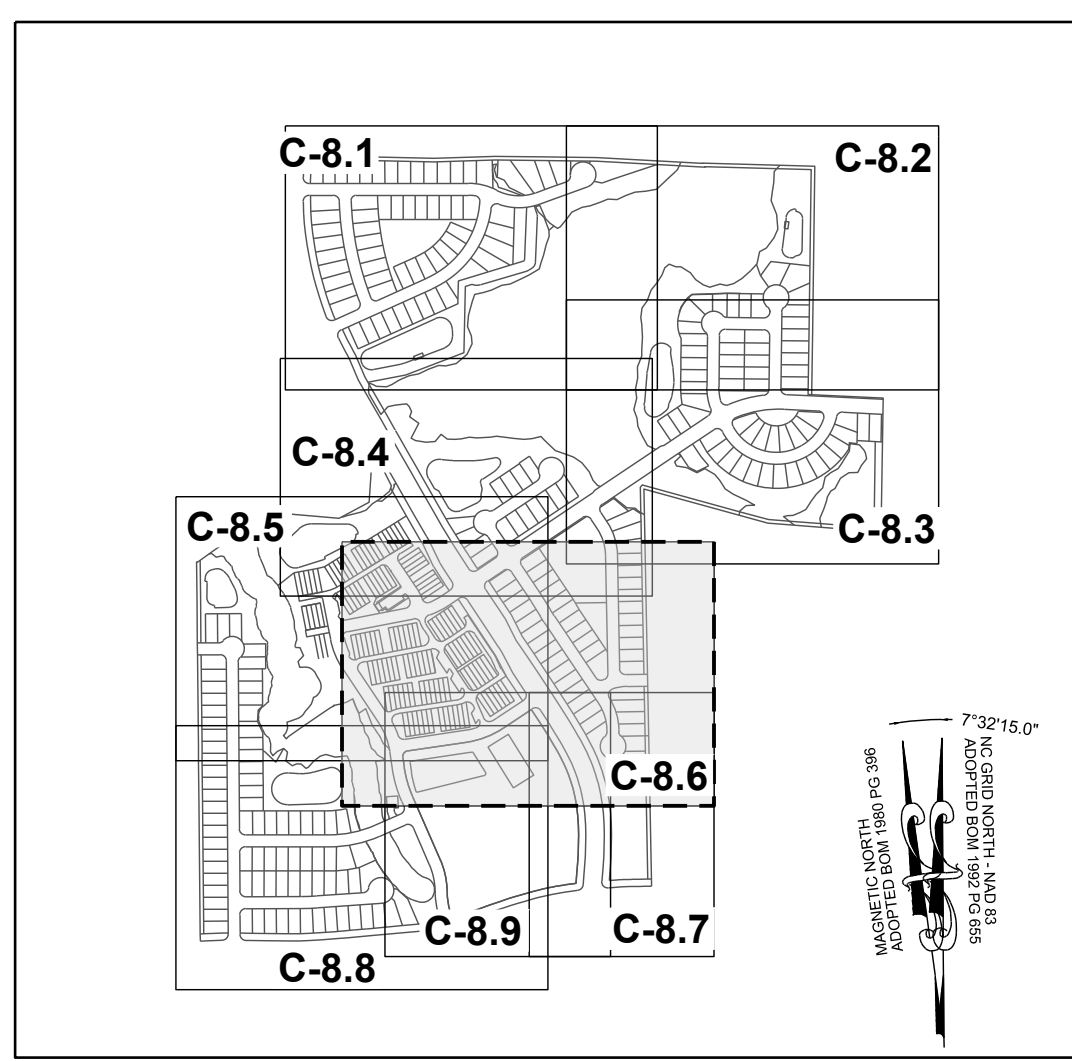
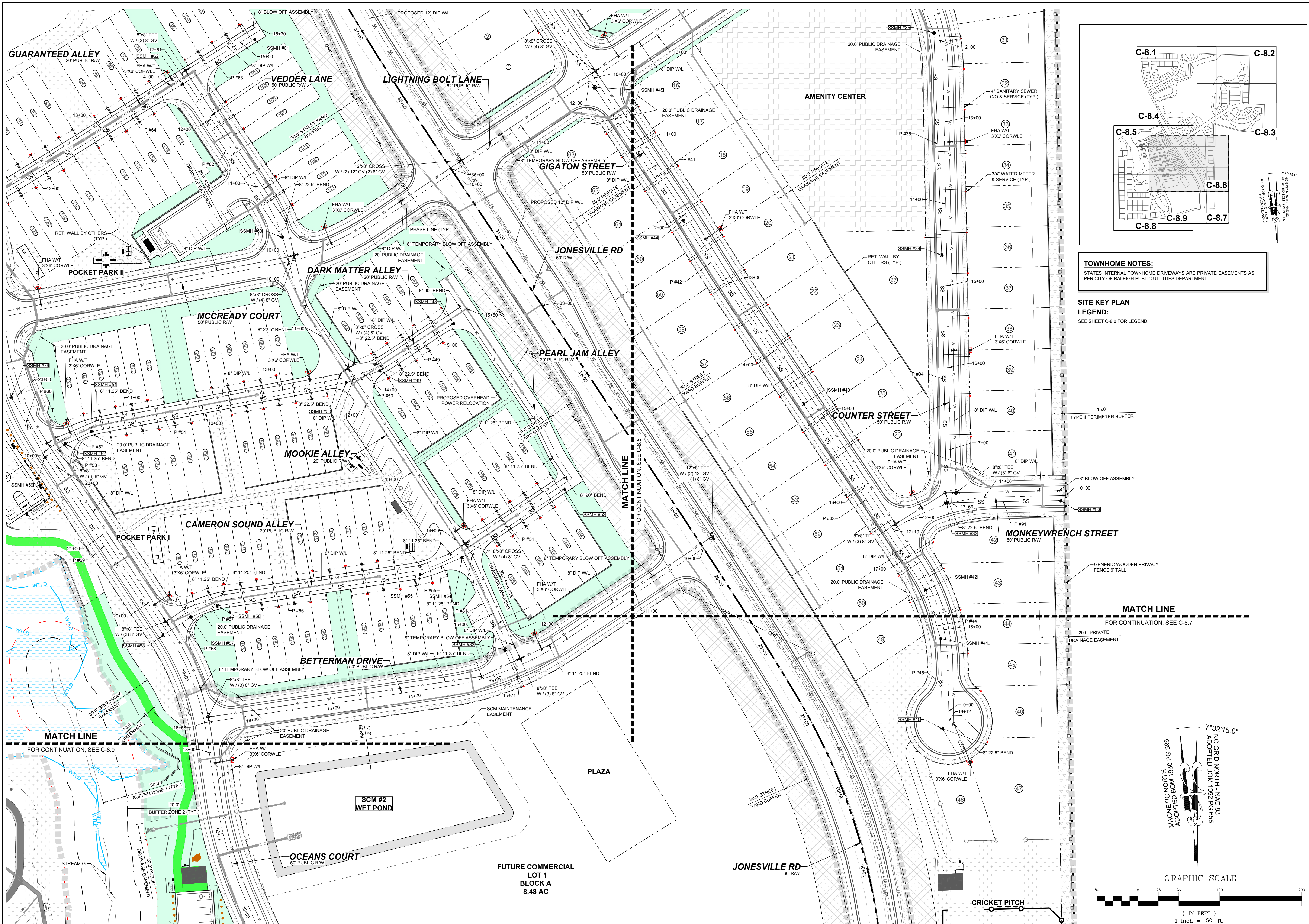
STRONGROCK ENGINEERING GROUP
PARTIAL UTILITY PLAN V

STRONG ROCK PROJECT
PSP-24-03
NOT FOR CONSTRUCTION
SCALE AS SHOWN
DESIGNED BY JWL
DRAWN BY SRG
CHECKED BY JWL

RESERVE @ MITCHELL MILL
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
CONSTRUCTION PLANS

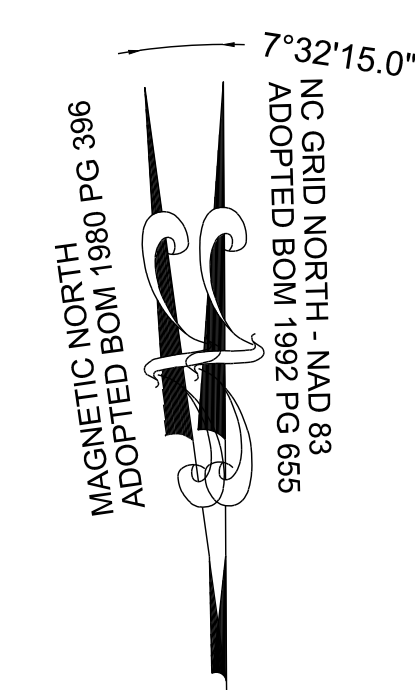
DRAWING SHEET
C-8.5

THIS PLANSET AND ANY ASSOCIATED DOCUMENTS ARE PRELIMINARY AND NOT AUTHORIZED FOR CONSTRUCTION UNTIL SIGNED, DATED, AND OFFICIALLY RELEASED FOR CONSTRUCTION BY THE ENGINEER OF RECORD.



TOWNHOME NOTES:
 STATES INTERNAL TOWNHOME DRIVEWAYS ARE PRIVATE EASEMENTS AS PER CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT

SITE KEY PLAN LEGEND:
 SEE SHEET C-8.0 FOR LEGEND.



NO.	REVISIONS	DATE	BY
1	CONSTRUCTION INFRASTRUCTURE DRAWINGS CDD-214-04		
2	TOWN OF RALEIGH DATE 02-28-04		



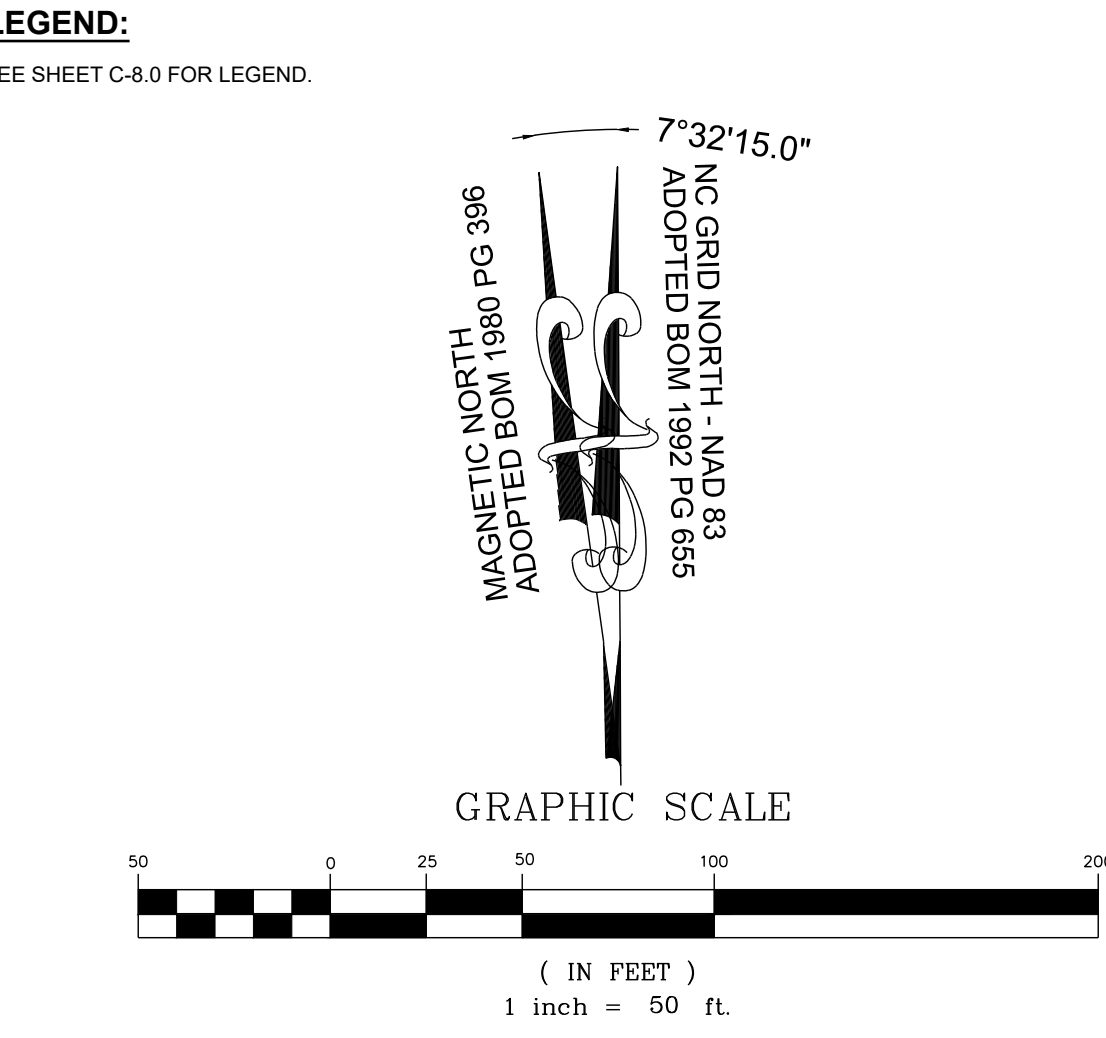
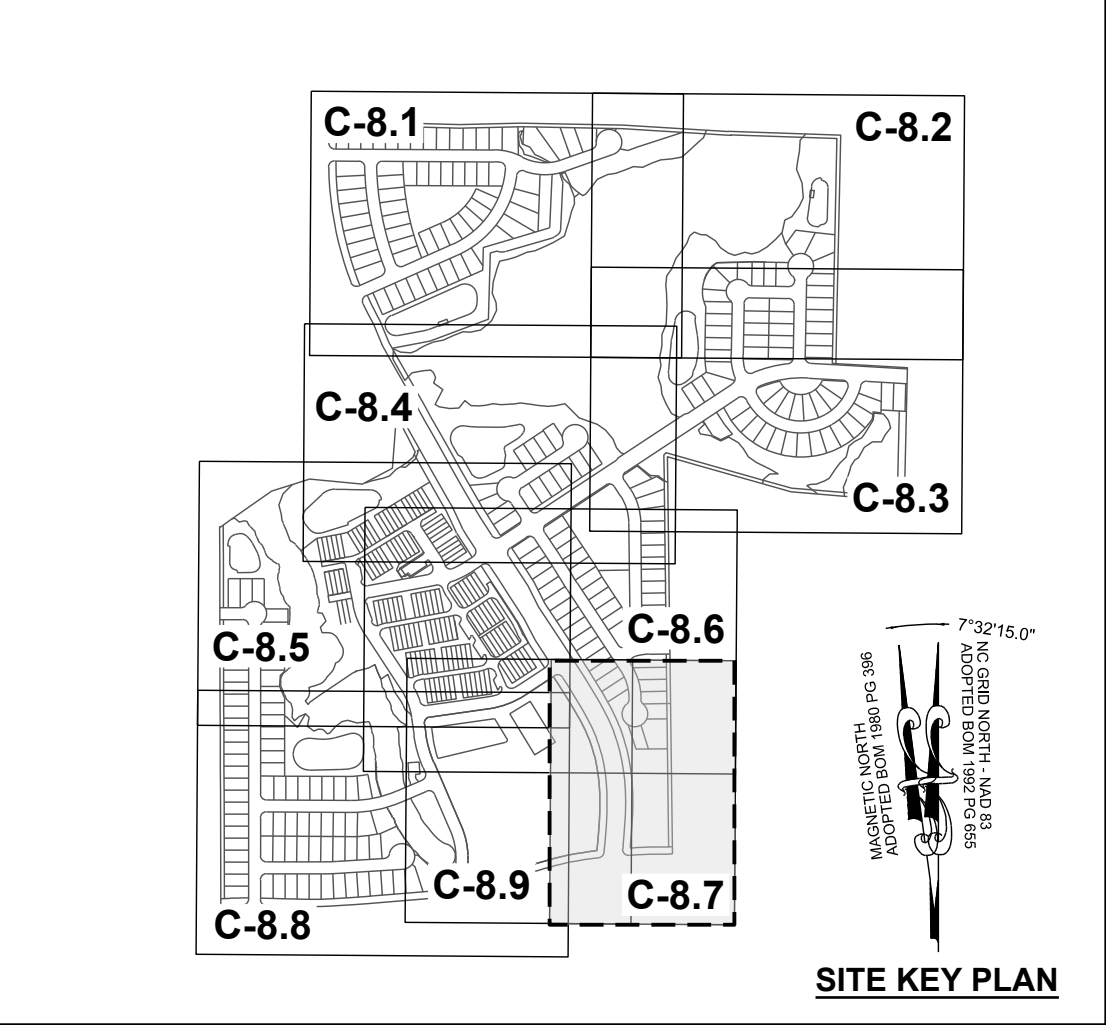
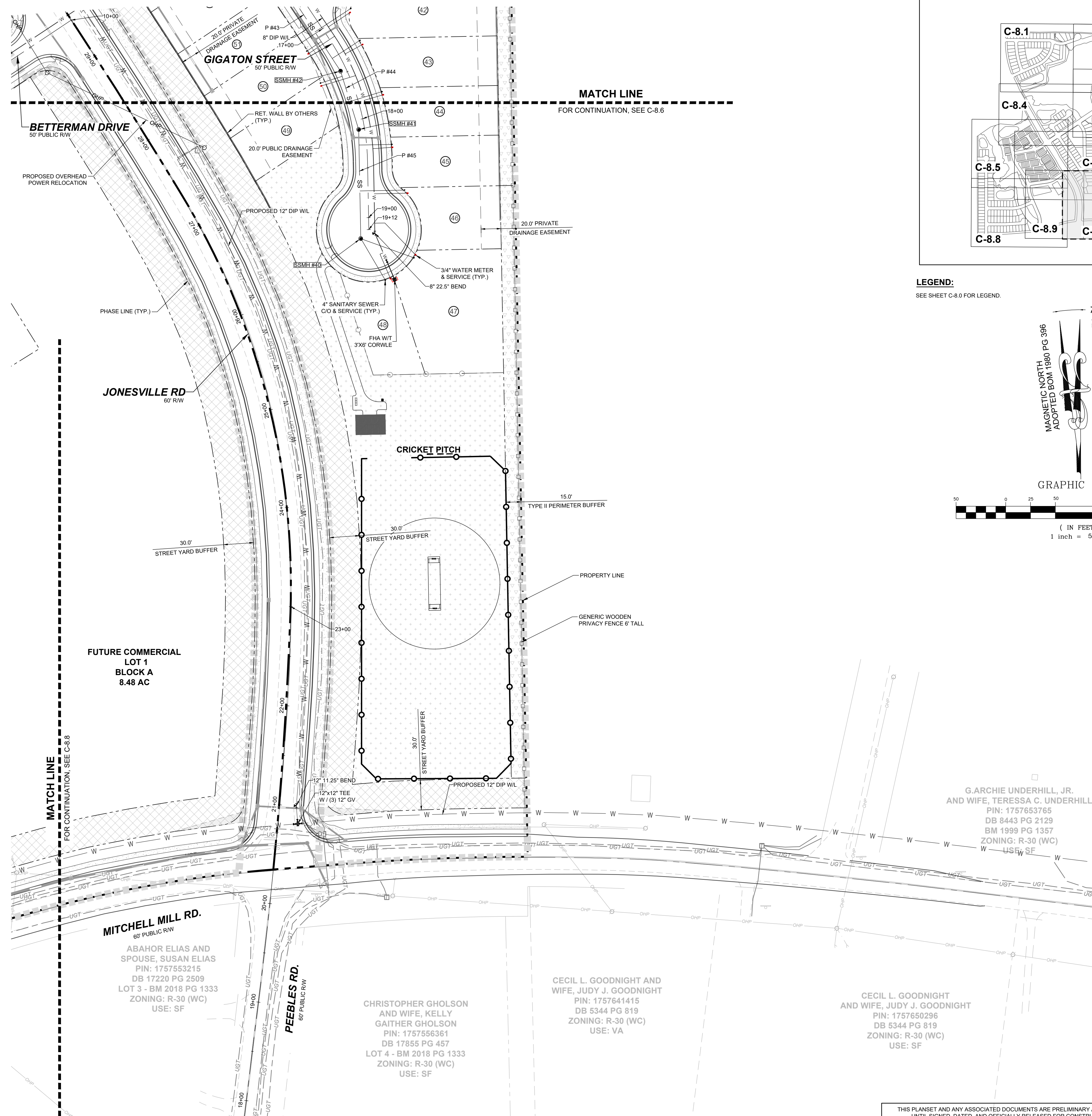
STRONGROCK ENGINEERING GROUP
 STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166
 305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	PSP-22-03
NOT FOR CONSTRUCTION	
SCALE	AS SHOWN
DESIGNED BY	JWL
DRAWN BY	SRG
CHECKED BY	JWL

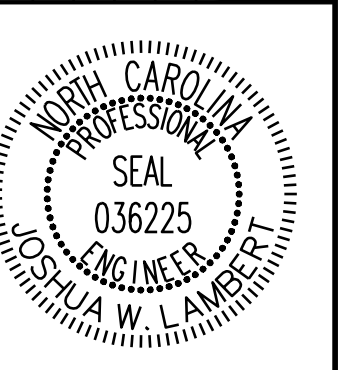
RESERVE @ MITCHELL MILL
 TOWN OF RALEIGH, WAKE COUNTY, NORTH CAROLINA
CONSTRUCTION PLANS
PARTIAL UTILITY PLAN VI

DRAWING SHEET
C-8.6

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NO.	REVISIONS	DATE	BY
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STRONGROCK
ENGINEERING GROUP

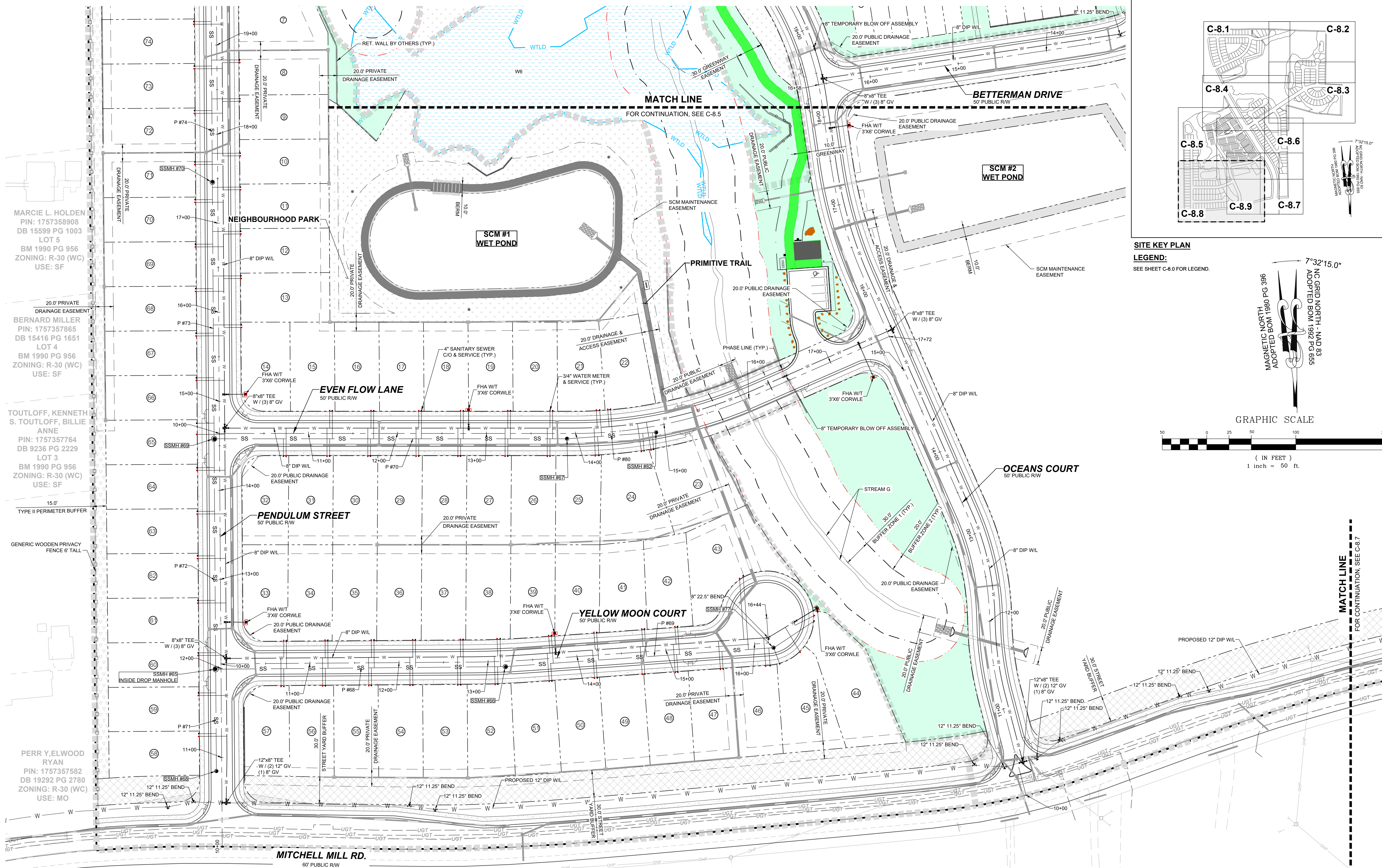
STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166
305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	PSP-24-03
NOT FOR CONSTRUCTION	
SCALE	AS SHOWN
DESIGNED BY	JWL
DRAWN BY	SRG
CHECKED BY	JWL

RESERVE @ MITCHELL MILL
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
CONSTRUCTION PLANS
PARTIAL UTILITY PLAN VII

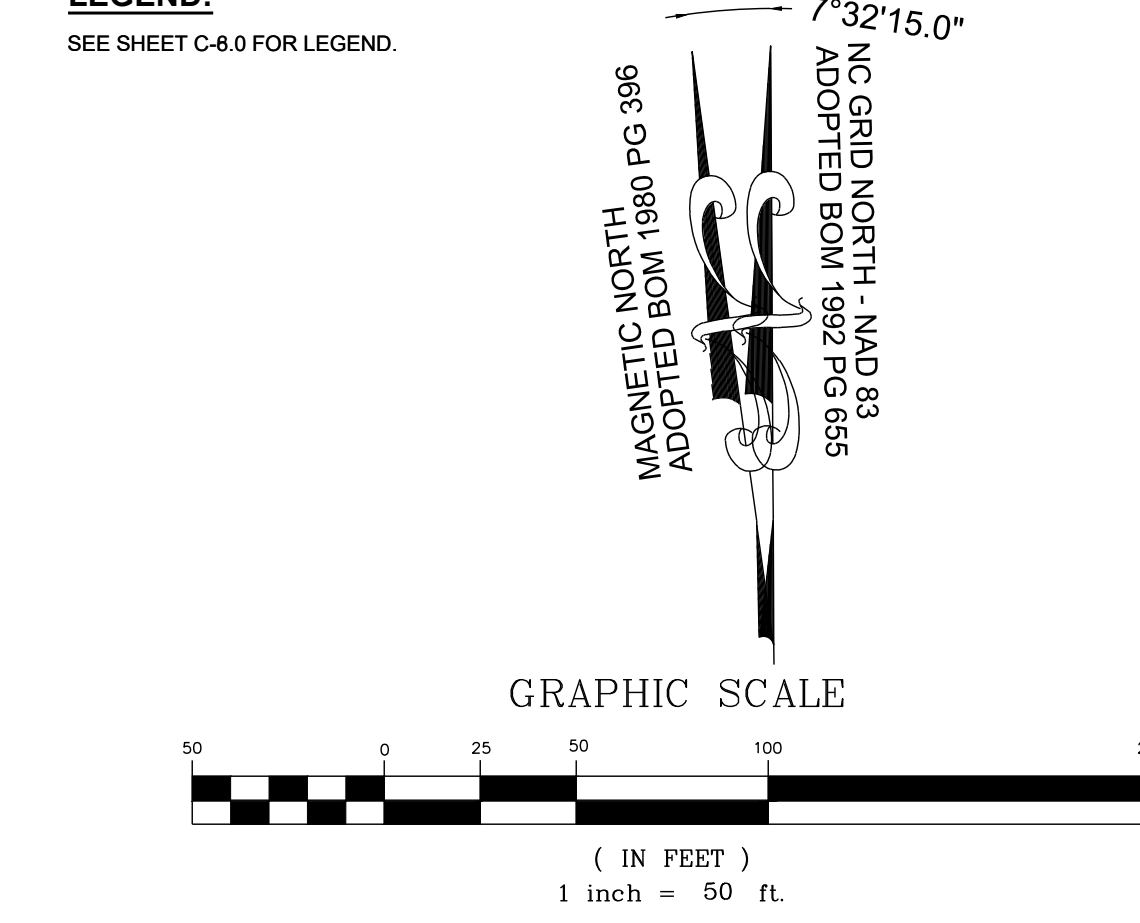
DRAWING SHEET
C-8.7

THIS PLANSET AND ANY ASSOCIATED DOCUMENTS ARE PRELIMINARY AND NOT AUTHORIZED FOR CONSTRUCTION UNTIL SIGNED, DATED, AND OFFICIALLY RELEASED FOR CONSTRUCTION BY THE ENGINEER OF RECORD.



SITE KEY PLAN

LEGEND:
SEE SHEET C-8.0 FOR LEGEND.



MARCI L. HOLDEN
PIN: 1757358908
DB 15599 PG 1003
LOT 5
BM 1990 PG 956
ZONING: R-30 (WC)
USE: SF

BERNARD MILLER
PIN: 1757357865
DB 15416 PG 1651
LOT 4
BM 1990 PG 956
ZONING: R-30 (WC)
USE: SF

TOUTLOFF, KENNETH
S. TOUTLOFF, BILLIE
ANNE
PIN: 1757357764
DB 9236 PG 2229
LOT 3
BM 1990 PG 956
ZONING: R-30 (WC)
USE: SF

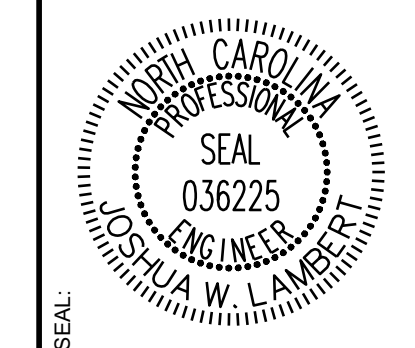
PERR Y. ELWOOD
RYAN
PIN: 1757357582
DB 19292 PG 2780
ZONING: R-30 (WC)
USE: MO

PHETIS JONES
BRADSHER
PIN: 1757349473
DB 15208 PG 2320
BM 2013 PG 868
ZONING: R-30 (WC)
USE: FO

CURTIS L. HONEYCUTT
AND WIFE TODD
KENDALL
PIN: 1757540996
DB 13474 PG 1974
LOT 1 - BM 2018 PG 1333
ZONING: R-30 (WC)
USE: SF

TODD KENDALL
HONEYCUTT
PIN: 1757551202
DB 13474 PG 1974
LOT 2 - BM 2018 PG 1333
ZONING: R-30 (WC)
USE: SF

NO.	REVISIONS	DATE	BY
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STRONGROCK
ENGINEERING GROUP

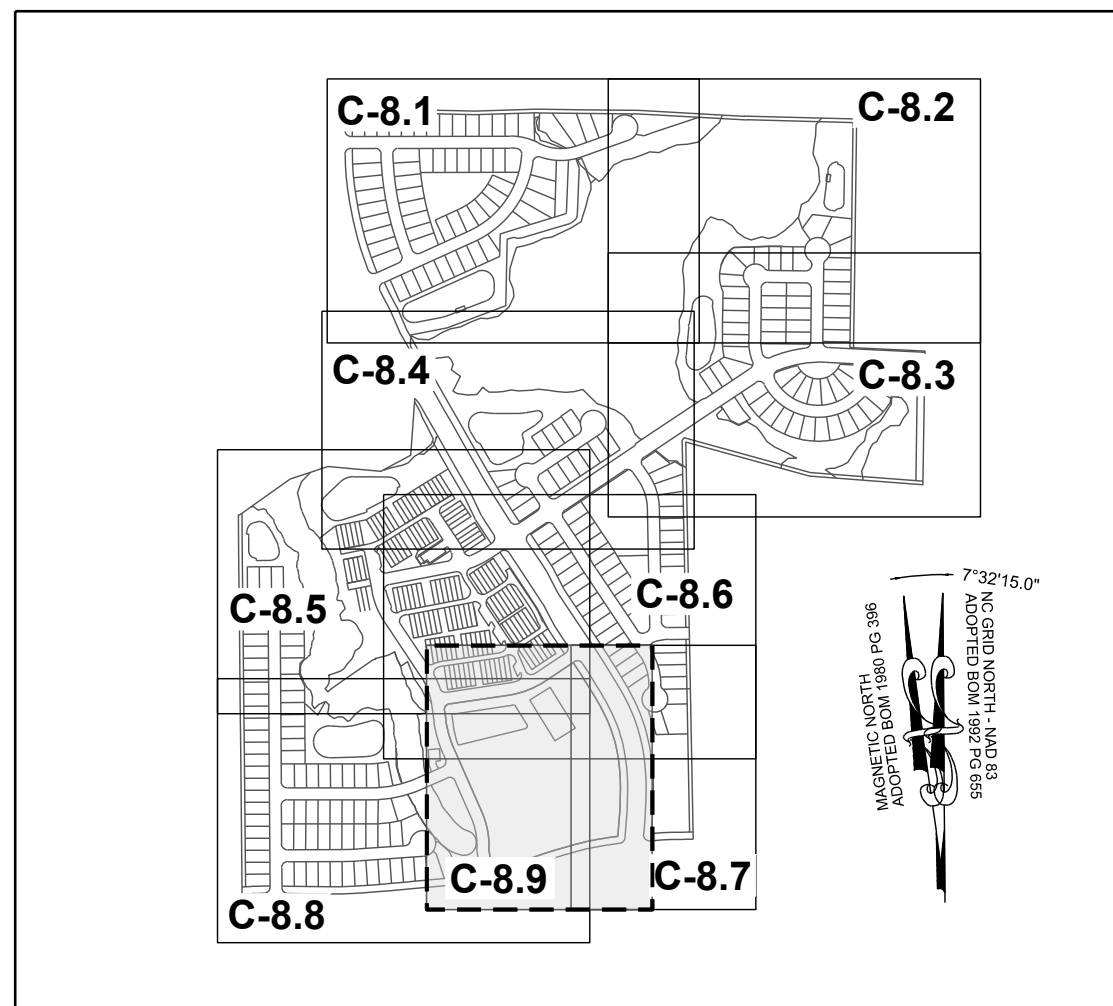
STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2766
305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
PSP-24-03	AS SHOWN	JWL	SRG	JWL

RESERVE @ MITCHELL MILL
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
CONSTRUCTION PLANS
PARTIAL UTILITY PLAN VIII

DRAWING SHEET
C-8.8

THIS PLANSET AND ANY ASSOCIATED DOCUMENTS ARE PRELIMINARY AND NOT AUTHORIZED FOR CONSTRUCTION UNTIL SIGNED, DATED, AND OFFICIALLY RELEASED FOR CONSTRUCTION BY THE ENGINEER OF RECORD.



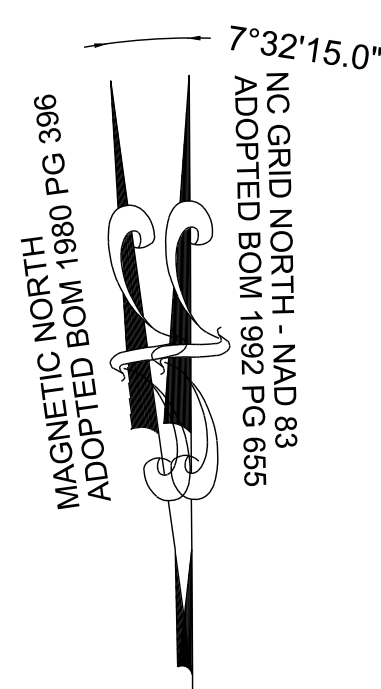
SITE KEY PLAN

LEGEND:

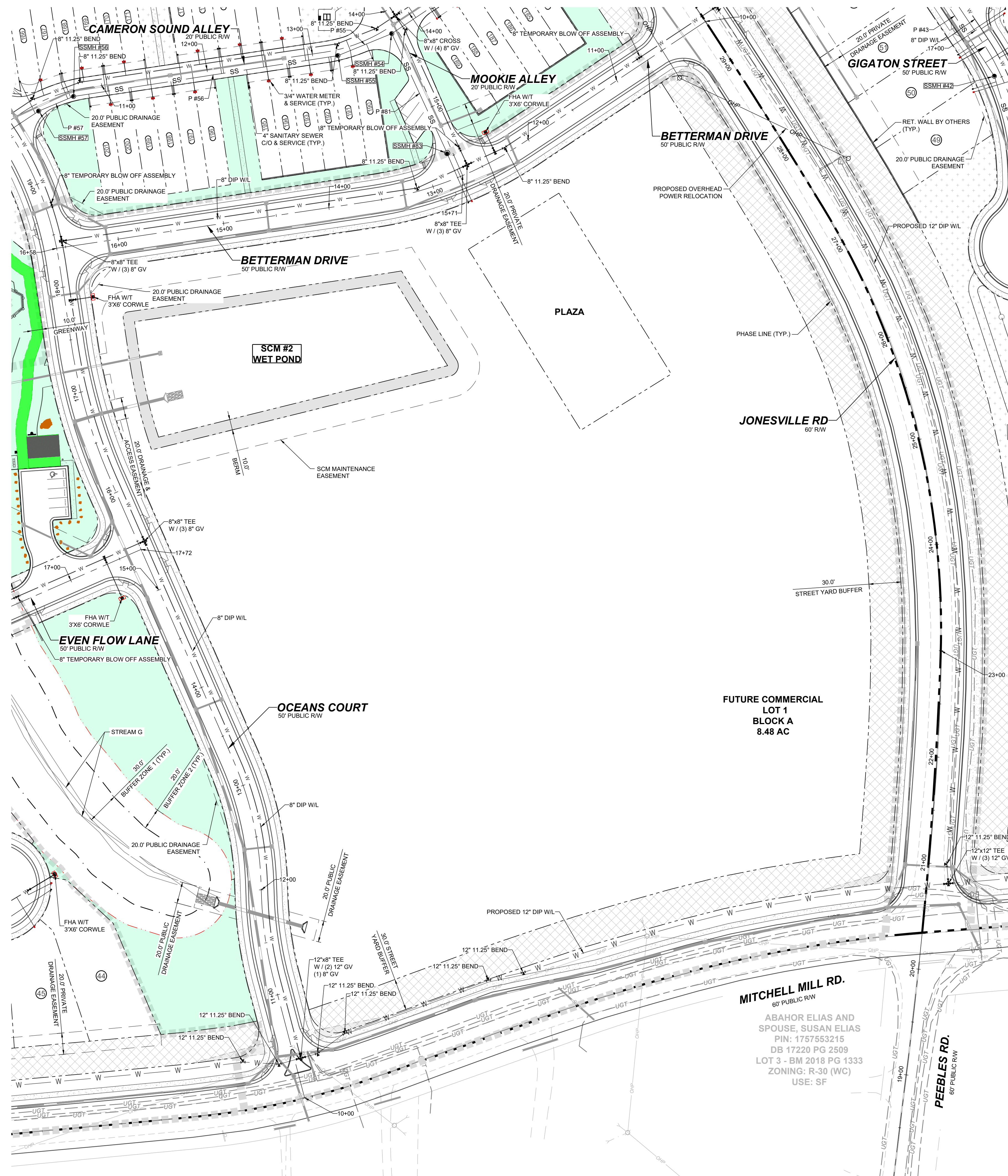
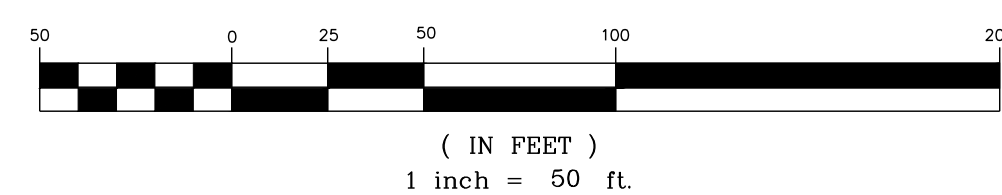
SEE SHEET C-8.0 FOR LEGEND.

TOWNHOME NOTES:

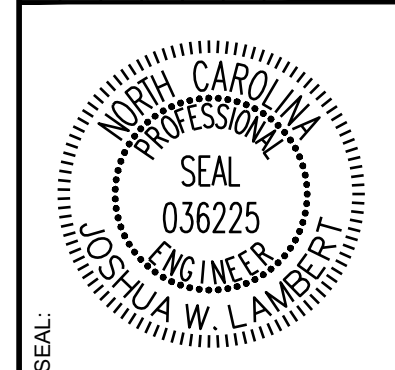
STATES INTERNAL TOWNHOME DRIVEWAYS ARE PRIVATE EASEMENTS AS PER CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT



GRAPHIC SCALE



NO.	REVISIONS	DATE	BY
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STRONGROCK
ENGINEERING GROUP

STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2766
305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	PSP-24-03
NOT FOR CONSTRUCTION	
SCALE	AS SHOWN
DESIGNED BY	JWL
DRAWN BY	SRG
CHECKED BY	JWL

RESERVE @ MITCHELL MILL
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
CONSTRUCTION PLANS
PARTIAL UTILITY PLAN IX

DRAWING SHEET
C-8.9

THIS PLANSET AND ANY ASSOCIATED DOCUMENTS ARE PRELIMINARY AND NOT AUTHORIZED FOR CONSTRUCTION UNTIL SIGNED, DATED, AND OFFICIALLY RELEASED FOR CONSTRUCTION BY THE ENGINEER OF RECORD.

PIPE TABLE						
PIPE NO	TYPE	SIZE	LF	INV. IN	INV. OUT	GRADE
P #01	PVC - SDR 26	8"	296	250.76	249.28	0.50%
P #02	PVC - SDR 26	8"	205	249.08	247.04	1.00%
P #03	PVC - SDR 26	8"	235	246.84	241.98	2.06%
P #04	PVC - SDR 26	8"	78	241.78	241.39	0.50%
P #05	PVC - SDR 26	8"	86	241.19	240.76	0.50%
P #06	PVC - SDR 26	8"	83	240.56	240.15	0.50%
P #07	PVC - SDR 26	8"	119	239.95	239.35	0.50%
P #08	PVC - SDR 26	8"	92	239.15	238.69	0.50%
P #09	PVC - SDR 26	8"	291	238.49	237.04	0.50%
P #10	PVC - SDR 26	8"	140	251.59	245.70	4.20%
P #11	PVC - SDR 26	8"	134	245.50	242.15	2.51%
P #12	PVC - SDR 26	8"	137	241.95	239.69	1.65%
P #13	PVC - SDR 26	8"	50	239.49	238.32	2.35%
P #14	PVC - SDR 26	8"	147	236.84	231.80	3.44%
P #15	PVC - SDR 26	8"	189	231.60	230.66	0.50%
P #16	PVC - SDR 26	8"	149	252.05	251.31	0.50%
P #17	PVC - SDR 26	8"	238	257.50	253.26	1.78%
P #18	PVC - SDR 26	8"	257	251.11	249.82	0.50%
P #19	PVC - SDR 26	8"	290	249.62	248.17	0.50%
P #20	PVC - SDR 26	8"	58	247.97	247.68	0.50%
P #21	PVC - SDR 26	8"	50	247.48	247.23	0.50%
P #22	PVC - SDR 26	8"	162	277.78	272.52	3.26%
P #23	PVC - SDR 26	8"	86	272.32	267.42	5.68%
P #24	PVC - SDR 26	8"	91	267.22	261.08	6.74%
P #25	PVC - SDR 26	8"	61	260.88	258.23	4.32%

PIPE TABLE						
PIPE NO	TYPE	SIZE	LF	INV. IN	INV. OUT	GRADE
P #26	PVC - SDR 26	8"	87	258.03	256.45	1.82%
P #27	PVC - SDR 26	8"	87	256.25	253.00	3.73%
P #28	PVC - SDR 26	8"	100	252.80	250.80	1.99%
P #29	PVC - SDR 26	8"	87	250.60	249.16	1.66%
P #30	PVC - SDR 26	8"	64	248.96	246.64	3.62%
P #31	PVC - SDR 26	8"	141	246.44	237.20	6.55%
P #32	PVC - SDR 26	8"	411	237.00	233.15	0.94%
P #33	PVC - SDR 26	8"	111	232.95	232.39	0.50%
P #34	PVC - SDR 26	8"	302	279.47	265.29	4.69%
P #35	PVC - SDR 26	8"	272	262.79	247.30	5.70%
P #36	PVC - SDR 26	8"	68	247.10	246.76	0.50%
P #37	PVC - SDR 26	8"	113	246.56	245.00	1.38%
P #38	PVC - SDR 26	8"	46	232.19	231.96	0.50%
P #39	PVC - SDR 26	8"	136	231.76	231.08	0.50%
P #40	DIP	8"	176	230.88	230.00	0.50%
P #40A	DIP	8"	242	229.80	228.59	0.50%
P #41	PVC - SDR 26	8"	195	267.30	256.90	5.33%
P #41A	PVC - SDR 26	8"	181	256.70	248.86	4.32%
P #42	PVC - SDR 26	8"	268	282.70	267.50	5.68%
P #43	PVC - SDR 26	8"	272	294.38	282.90	4.22%
P #44	PVC - SDR 26	8"	62	298.77	294.58	6.79%
P #45	PVC - SDR 26	8"	110	304.02	298.97	4.60%
P #46	DIP	8"	59	228.39	228.10	0.50%
P #46A	DIP	8"	296	227.90	226.42	0.50%
P #47	DIP	8"	66	226.22	225.89	0.50%

PIPE TABLE						
PIPE NO	TYPE	SIZE	LF	INV. IN	INV. OUT	GRADE
P #48	DIP	8"	116	225.69	225.11	0.50%
P #49	PVC - SDR 26	8"	106	268.24	260.79	7.00%
P #50	PVC - SDR 26	8"	44	258.29	256.66	3.75%
P #51	PVC - SDR 26	8"	317	256.46	245.37	3.50%
P #52	PVC - SDR 26	8"	35	245.17	245.00	0.50%
P #53	PVC - SDR 26	8"	30	244.80	244.64	0.50%
P #54	PVC - SDR 26	8"	150	281.01	274.73	4.19%
P #55	PVC - SDR 26	8"	55	274.53	273.38	2.10%
P #56	PVC - SDR 26	8"	251	273.18	263.91	3.69%
P #57	PVC - SDR 26	8"	35	263.71	260.70	8.49%
P #58	PVC - SDR 26	8"	40	260.50	259.36	2.86%
P #59	PVC - SDR 26	8"	261	259.16	246.50	4.84%
P #60	PVC - SDR 26	8"	84	244.44	242.20	2.68%
P #61	PVC - SDR 26	8"	92	242.00	240.90	1.19%
P #62	PVC - SDR 26	8"	223	250.21	243.44	3.03%
P #63	PVC - SDR 26	8"	104	245.48	243.44	1.98%
P #64	PVC - SDR 26	8"	272	243.24	237.63	2.06%
P #65	PVC - SDR 26	8"	27	237.43	236.33	4.15%
P #66	PVC - SDR 26	8"	110	236.13	235.58	0.50%
P #67	PVC - SDR 26	8"	80	235.38	234.98	0.50%
P #68	DIP	8"	325	263.14	261.51	0.50%
P #69	PVC - SDR 26	8"	302	264.85	263.34	0.50%
P #70	DIP	8"	396	264.77	262.21	0.65%
P #71	PVC - SDR 26	8"	114	284.29	277.76	5.71%
P #72	DIP	8"	259	261.31	260.02	0.50%

PIPE TABLE						
PIPE NO	TYPE	SIZE	LF	INV. IN	INV. OUT	GRADE
P #73	DIP	8"	288	259.82	258.38	0.50%
P #74	PVC - SDR 26	8"	223	258.18	257.07	0.50%
P #75	PVC - SDR 26	8"	290	256.87	255.42	0.50%
P #76	PVC - SDR 35	8"	172	234.78	231.63	1.83%
P #77	PVC - SDR 35	8"	157	231.43	230.65	0.50%
P #78	PVC - SDR 35	8"	47	230.45	230.21	0.50%
P #79	PVC - SDR 26	8"	124	255.22	254.60	0.50%
P #80	PVC - SDR 26	8"	100	265.48	264.97	0.50%
P #81	PVC - SDR 26	8"	124	276.77	274.93	1.49%
P #82	DIP	8"	334	254.40	229.01	7.59%
P #83	PVC - SDR 35	8"	36	227.51	225.98	4.23%
P #84	PVC - SDR 26	8"	148	240.70	236.33	2.96%
P #85	PVC - SDR 26	8"	107	243.08	242.30	0.73%
P #86	PVC - SDR 26	8"	67	230.46	230.12	0.50%
P #87	PVC - SDR 26	8"	79	240.66	236.99	4.64%
P #88	PVC - SDR 26	8"	240	236.79	234.18	1.09%
P #89	PVC - SDR 26	8"	39	233.98	233.79	0.50%
P #90	PVC - SDR 26	8"	42	280.08	277.98	5.00%
P #91	PVC - SDR 26	8"	139	280.37	279.67	0.50%
P #92	PVC - SDR 26	8"	105	253.63	253.10	0.50%
P #93	PVC - SDR 26	8"	130	252.90	252.25	0.50%

SSMH TABLE					
SSMH NO	SIZE	TOP	INV. IN	INV. OUT	DEPTH
DOG HOUSE SSMH #92	5'	243.62	231.47 E 233.79 N	231.27 W	12.34
SSMH #01	4'	259.64		250.76 E	8.88
SSMH #02	4'	257.52	249.28 W	249.08 E	8.44
SSMH #03	4'	255.62	247.04 W	246.84 E	8.78
SSMH #04	4'	250.81	241.98 W	241.78 S	9.03
SSMH #05	4'	251.21	241.39 N	241.19 S	10.02
SSMH #06	4'	250.79	240.76 N	240.56 SW	10.23
SSMH #07	4'	250.33	240.15 NE	239.95 SW	10.38
SSMH #08	4'	249.73	239.35 NE	239.15 SW	10.58
SSMH #09	4'	249.17	238.69 NE	238.49 SW	10.68
SSMH #10	4'	257.33		251.59 S	5.77
SSMH #11	4'	254.40	245.70 N	245.50 S	8.92
SSMH #12	4'	251.62	242.15 N	241.95 S	9.66
SSMH #13	4'	248.69	239.69 N	239.49 SE	9.21
SSMH #14	4'	247.66	237.04 NE 238.32 NW	236.84 SW	10.82
SSMH #15	4'	242.27	231.80 NE	231.60 SE	10.67
SSMH #16	4'	260.65	252.25 NE	252.05 S	8.62
SSMH #17	4'	265.86		257.50 N	8.39
SSMH #18	4'	262.32	251.31 N 253.26 S	251.11 W	11.23
SSMH #19	5'	264.15	249.82 E	249.62 S	14.53
SSMH #20	4'	257.86	248.17 N	247.97 S	9.89
SSMH #21	4'	256.43	247.68 N	247.48 SE	8.95
SSMH #22	4'	286.97	277.98 N	277.78 W	9.19
SSMH #23	4'	279.55	272.52 E	272.32 S	7.23
SSMH #24	4'	274.48	267.42 N	267.22 SW	7.26

SSMH TABLE					
SSMH NO	SIZE	TOP	INV. IN	INV. OUT	DEPTH
SSMH #25	4'	265.51	258.23 NE	258.03 W	7.48
SSMH #26	4'	262.13	256.45 E	256.25 W	5.89
SSMH #27	4'	260.47	253.00 E	252.80 NW	7.67
SSMH #28	4'	258.56	250.80 SE	250.60 NW	7.95
SSMH #29	4'	256.92	249.16 SE	248.96 NW	7.96
SSMH #30	4'	256.07	246.64 SE 247.23 NW	246.44 SW	9.66
SSMH #31	5'	251.80	237.20 NE 237.20 SE	237.00 SW	15.31
SSMH #32	5'	252.01	233.15 NE	232.95 SW	19.08
SSMH #33	5'	296.53	279.67 E	279.47 N	17.08
SSMH #34	4'	273.76	265.29 S	262.79 N	10.97
SSMH #35	4'	256.83	247.30 S	247.10 N	9.76
SSMH #36	4'	254.96	246.76 S	246.56 NW	8.40
SSMH #37 INSIDE DROP MANHOLE	6'	252.66	232.39 NE 245.00 SE	232.19 N	20.47
SSMH #37A	6'	252.49	231.96 S	231.76 NW	20.76
SSMH #38	5'	247.80	231.08 SE	230.88 SW	16.92
SSMH #39	6'	251.21	230.00 NE	229.80 SW	21.41
SSMH #40	4'	311.84		304.02 N	7.82
SSMH #41	4'	306.80	298.97 S	298.77 N	8.04
SSMH #42	4'	303.66	294.58 S	294.38 NW	9.30
SSMH #43	4'	292.93	282.90 SE	282.70 NW	10.23
SSMH #44	4'	276.65	267.50 SE	267.30 NW	9.38
SSMH #45	5'	269.46	256.90 SE	256.70 NW	12.78
SSMH #45A INSIDE DROP MANHOLE	6'	257.61	248.86 SE 228.59 NE	228.39 NW	29.22
SSMH #46	6'	255.99	228.10 SE	227.90 W	28.09
SSMH #46A	6'	252.21	226.42 E	226.22 NW	25.99

SSMH TABLE					
SSMH NO	SIZE	TOP	INV. IN	INV. OUT	DEPTH
SSMH #47	6'	249.33	225.89 SE	225.69 W	23.64
SSMH #48	4'	276.94		268.24 SW	8.70
SSMH #49	4'	269.59	260.79 NE	258.29 W	11.30
SSMH #50	4'	266.71	256.66 E	256.46 W	10.25
SSMH #51	4'	257.07	245.37 E	245.17 SW	11.90
SSMH #52	5'	256.95	245.00 NE	244.80 SW	12.15
SSMH #53	4'	286.96		281.01 SW	5.95
SSMH #54	4'	282.54	274.73 NE 274.93 SE	274.53 W	8.04
SSMH #55	4'	280.40	273.38 E	273.18 W	7.22
SSMH #56	4'	272.28	263.91 E	263.71 SW	8.56
SSMH #57	4'	271.19	260.70 NE	260.50 SW	10.69
SSMH #58	4'	270.44	259.36 NE	259.16 NW	11.28
SSMH #59	5'	256.67	244.64 NE 246.50 SE	244.44 NW	12.22
SSMH #60	4'	261.29		250.21 NW	11.08
SSMH #61	4'	254.27		245.48 SW	8.79
SSMH #62	4'	252.21	243.44 SE 243.44 NE	243.24 SW	8.98
SSMH #63	5'	248.22	235.58 E	235.38 NW	12.84
SSMH #64	4'	247.68	236.33 E 236.33 S	236.13 W	11.55
SSMH #65 INSIDE DROP MANHOLE	6'	284.31	261.51 E 277.76 S	261.31 N	23.02
SSMH #66	5'	278.65	263.34 E	263.14 W	15.51
SSMH #67	4'	275.45	264.97 E	264.77 W	10.68
SSMH #68	4'	289.85		284.29 N	5.58
SSMH #69					

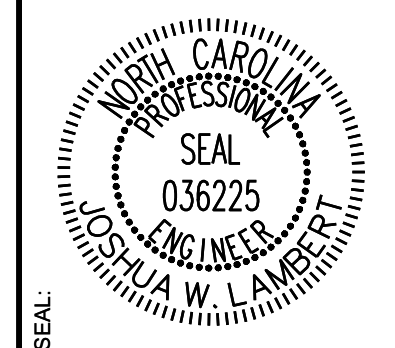


TOWNHOME NOTES:
STATES INTERNAL TOWNHOME DRIVEWAYS ARE PRIVATE EASEMENTS AS PER CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT

LEGEND:

- WATER LINE
- FIRE HYDRANT ASSEMBLY
- GATE VALVE
- TEE
- BLOW OFF VALVE

NO.	REVISIONS	DATE	BY
1			
2			



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ENGINEERING GROUP

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305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	STRONG ROCK PROJECT
PSP-24-08	PSP-24-08
NOT FOR CONSTRUCTION	NOT FOR CONSTRUCTION
SCALE AS SHOWN	SCALE AS SHOWN
DESIGNED BY JWL	DESIGNED BY JWL
DRAWN BY SRG	DRAWN BY SRG
CHECKED BY JWL	CHECKED BY JWL

RESERVE @ MITCHELL MILL
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
CONSTRUCTION PLANS
OFF-SITE UTILITY PLAN

DRAWING SHEET
C-8.11

MAGNETIC NORTH ADOPTED BOM 1980 PG 396

NC GRID NORTH - NAD 83 ADOPTED BOM 1982 PG 655

7°32'15.0"

GRAPHIC SCALE

(IN FEET)
1 inch = 400 ft.

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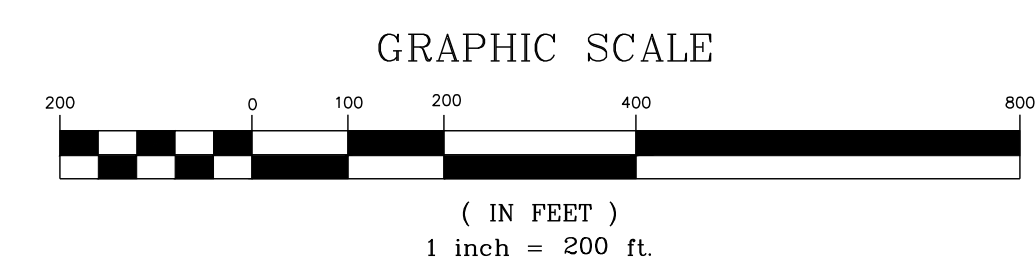
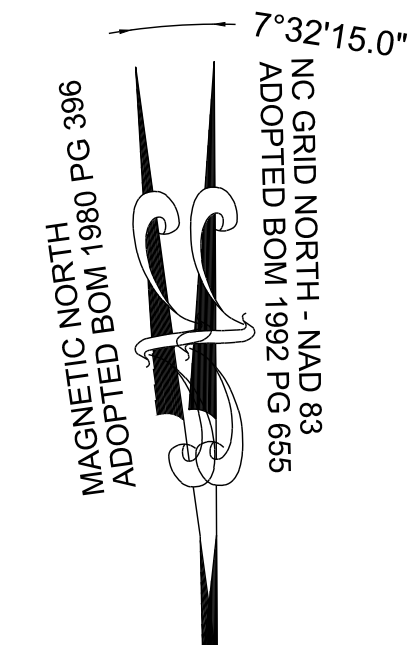


NOTES:
SEE SHEET C-3.0 FOR ADJACENT PROPERTY DETAILS

TOWNHOME NOTES:
STATES INTERNAL TOWNHOME DRIVEWAYS ARE PRIVATE EASEMENTS AS PER CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT

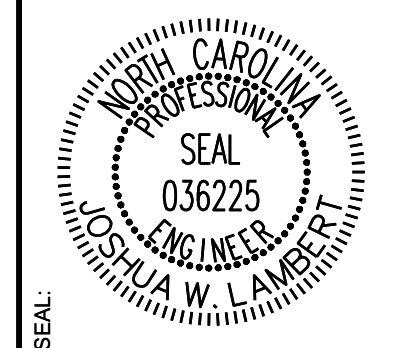
LEGEND:

	STORM DRAIN LINE
	FLARED END SECTION
	CATCH BASIN
	STORM DRAIN MANHOLE
	EX. MAJOR CONTOURS
	EX. MINOR CONTOURS
	PROP. MAJOR CONTOURS
	PROP. MINOR CONTOURS



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No.	REVISIONS	DATE	BY
1			
2			



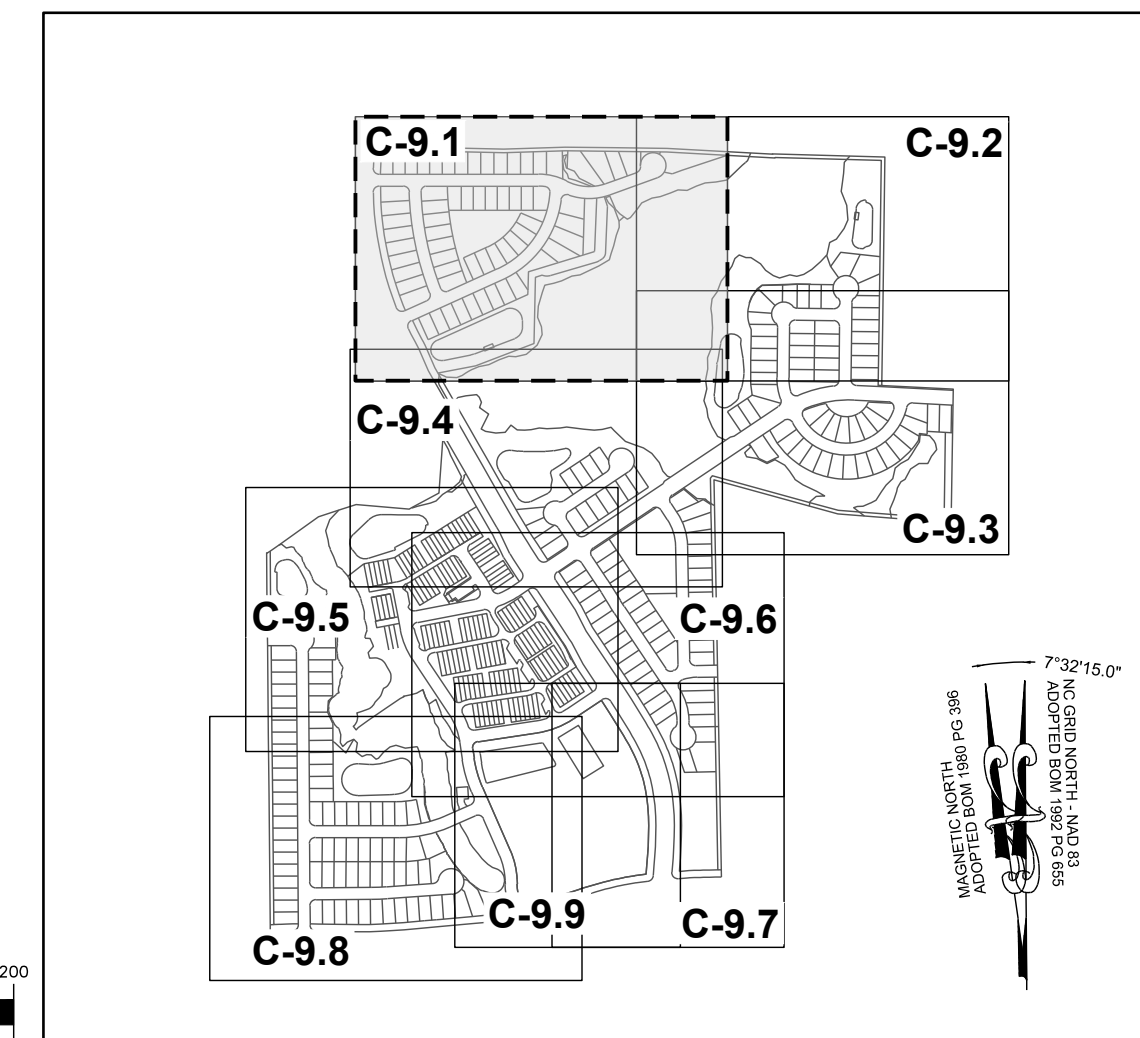
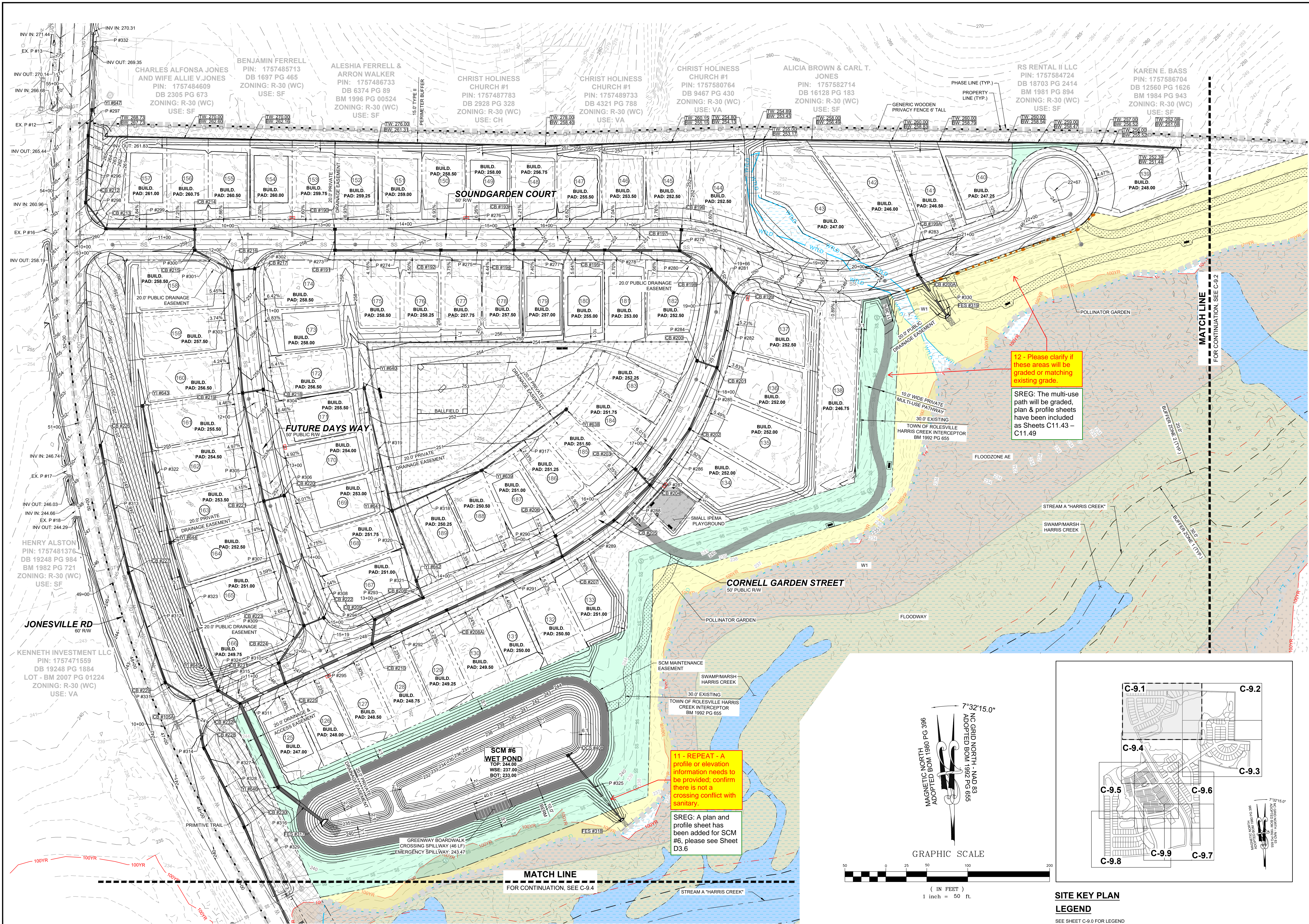
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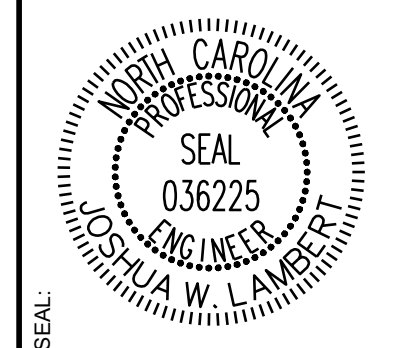
STRONG ROCK PROJECT	STRONG ROCK PROJECT
PSP-24-03	PSP-24-03
NOT FOR CONSTRUCTION	NOT FOR CONSTRUCTION
SCALE AS SHOWN	SCALE AS SHOWN
DESIGNED BY JWL	DESIGNED BY JWL
DRAWN BY SRG	DRAWN BY SRG
CHECKED BY JWL	CHECKED BY JWL

RESERVE @ MITCHELL MILL
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
CONSTRUCTION PLANS
OVERALL GRADING AND DRAINAGE PLAN

DRAWING SHEET
C-9.0



NO.	REVISIONS	DATE	BY
1			
2			



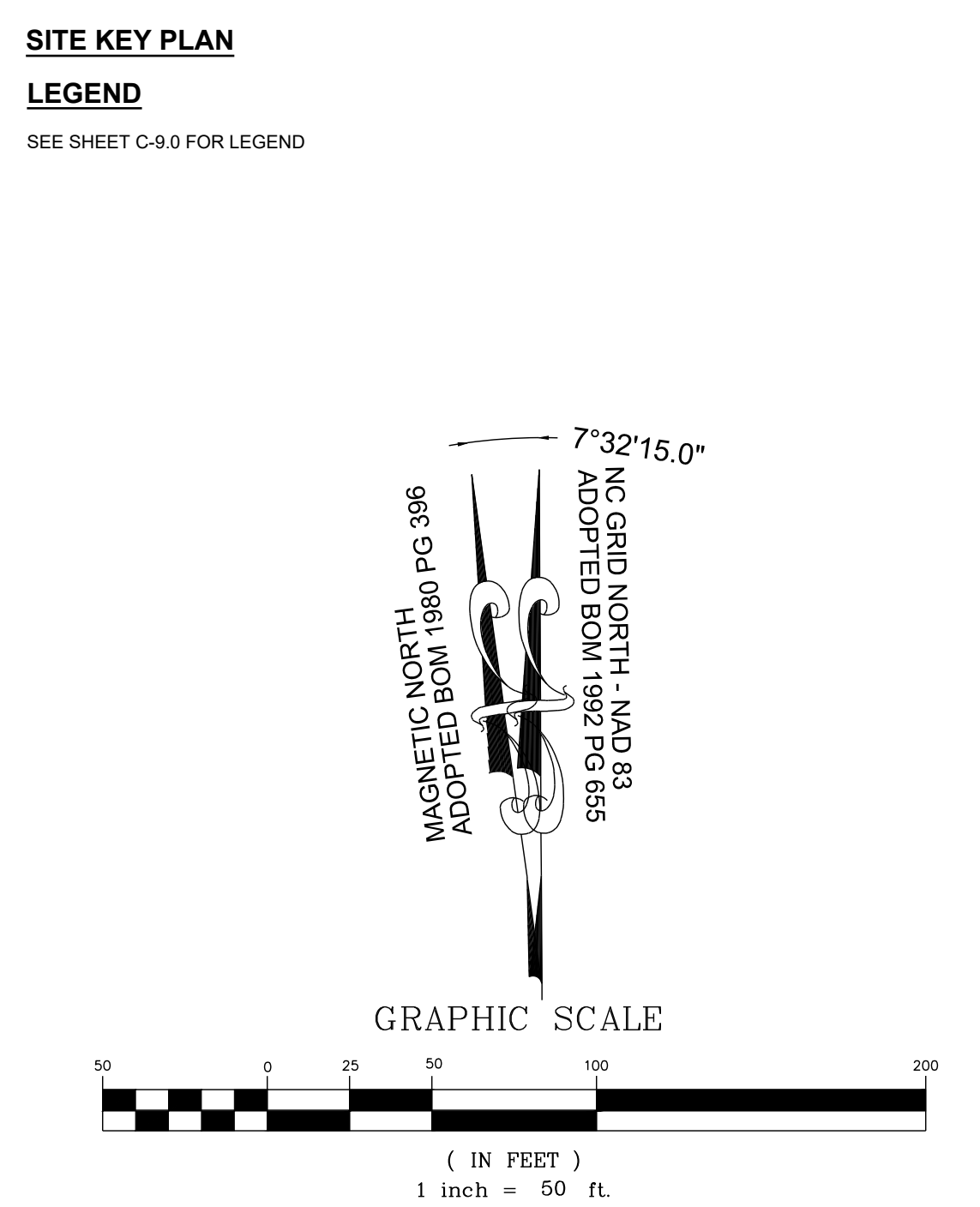
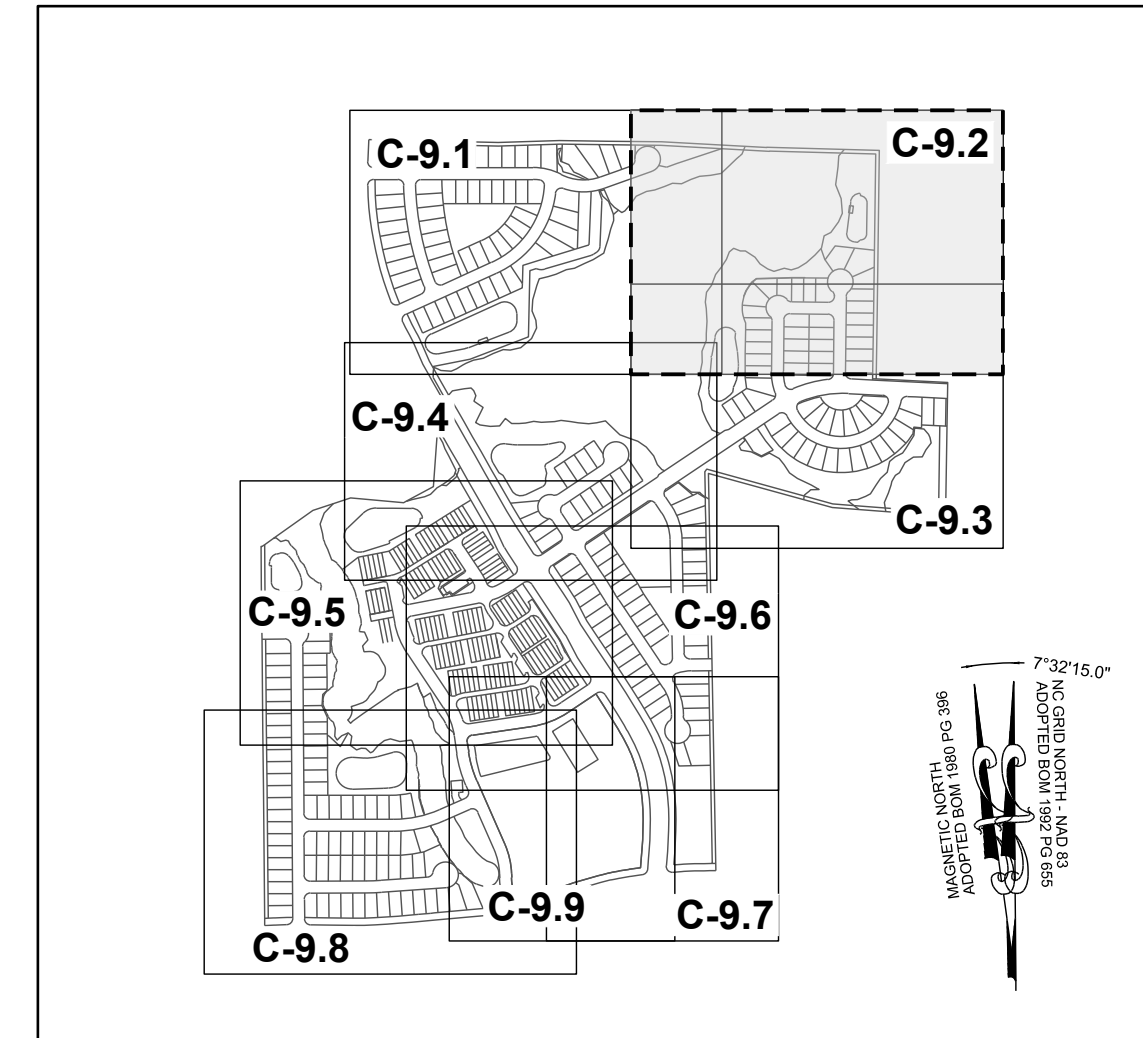
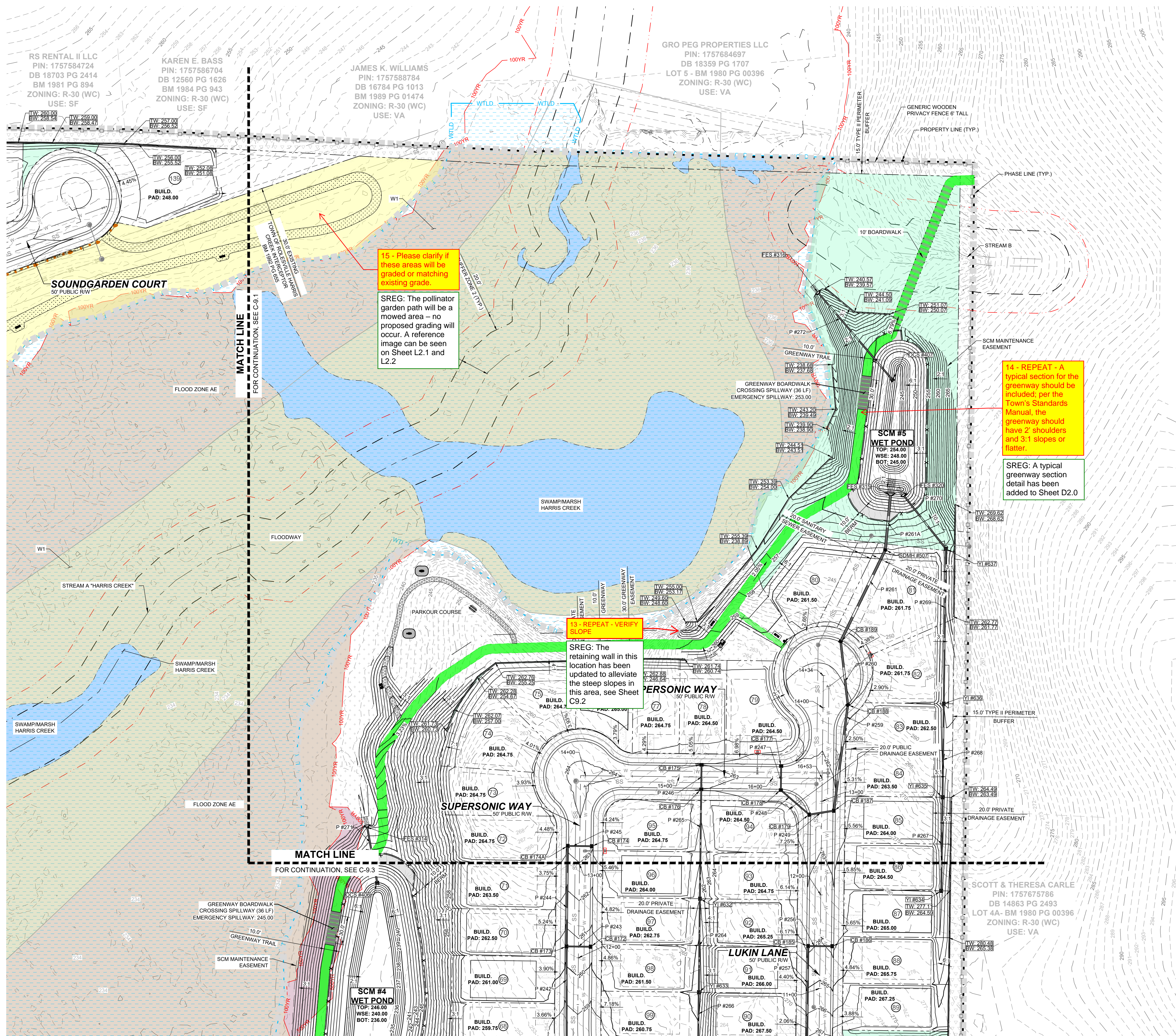
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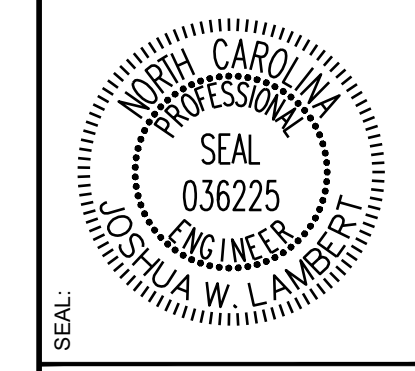
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PSP-24-03	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL
			DRAWN BY SRG
			CHECKED BY JWL

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TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
CONSTRUCTION PLANS
PARTIAL GRADING AND DRAINAGE PLAN I

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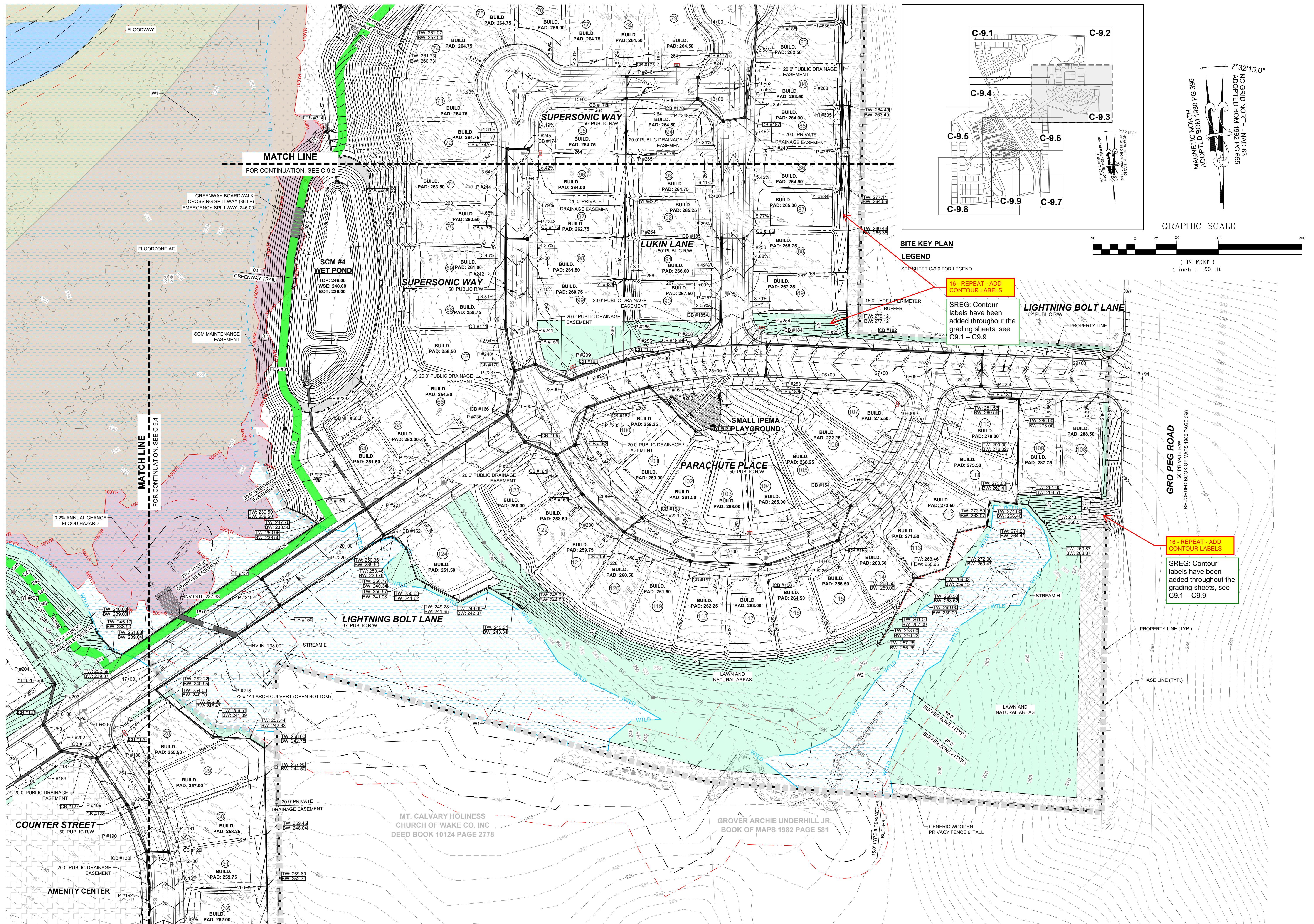
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NOT FOR CONSTRUCTION	
SCALE	AS SHOWN
DESIGNED BY	JWL
DRAWN BY	SRG
CHECKED BY	JWL

RESERVE @ MITCHELL MILL
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CONSTRUCTION PLANS
PARTIAL GRADING AND DRAINAGE PLAN II

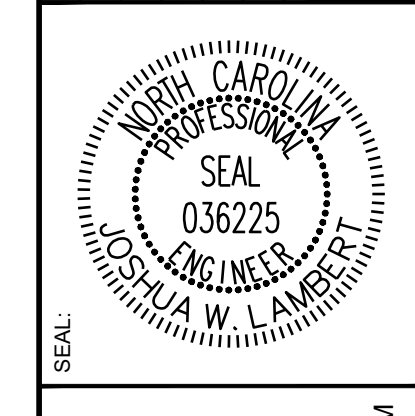
DRAWING SHEET
C-9.2

49 OF 176

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NO.	REVISIONS	DATE	BY
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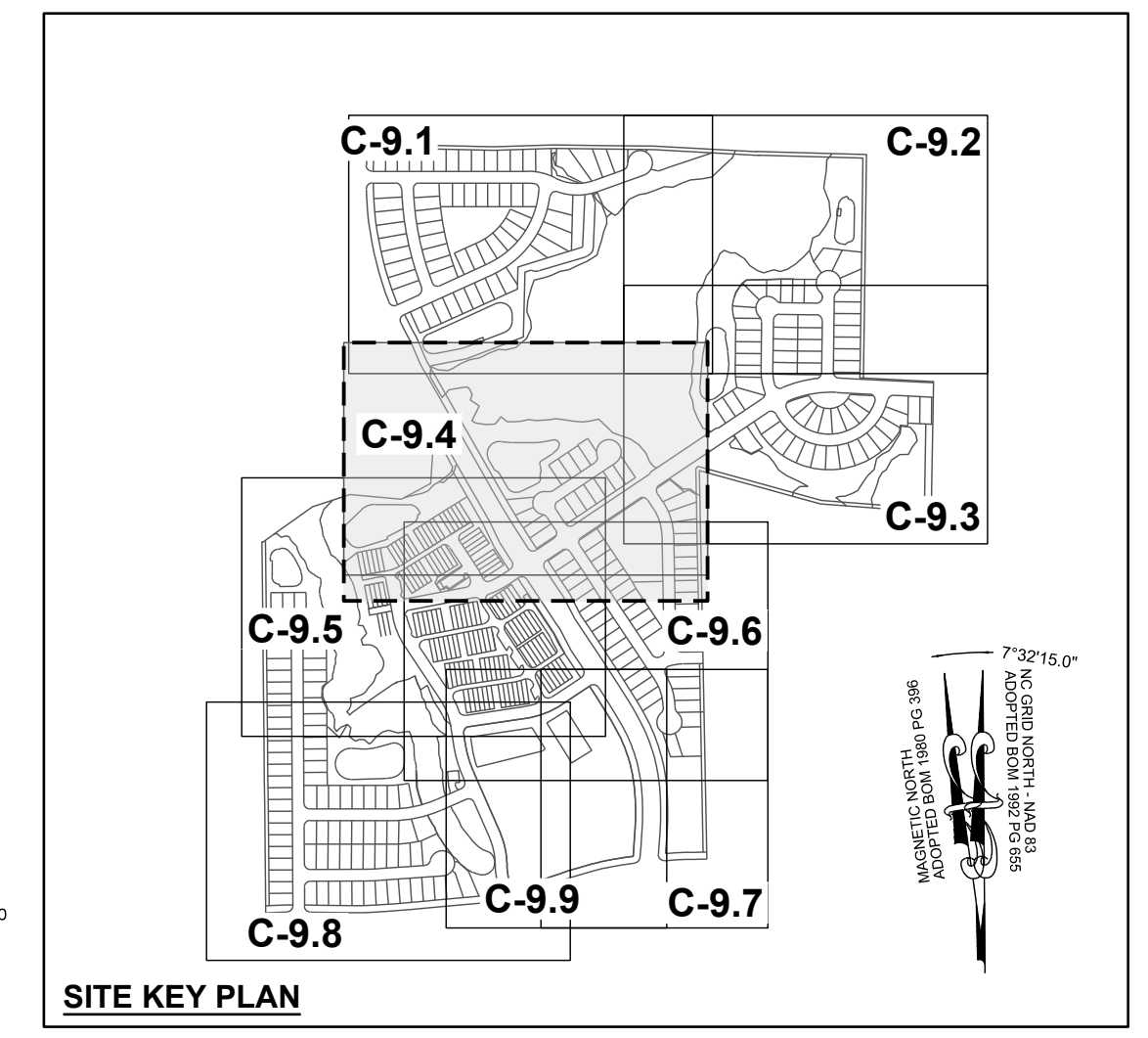
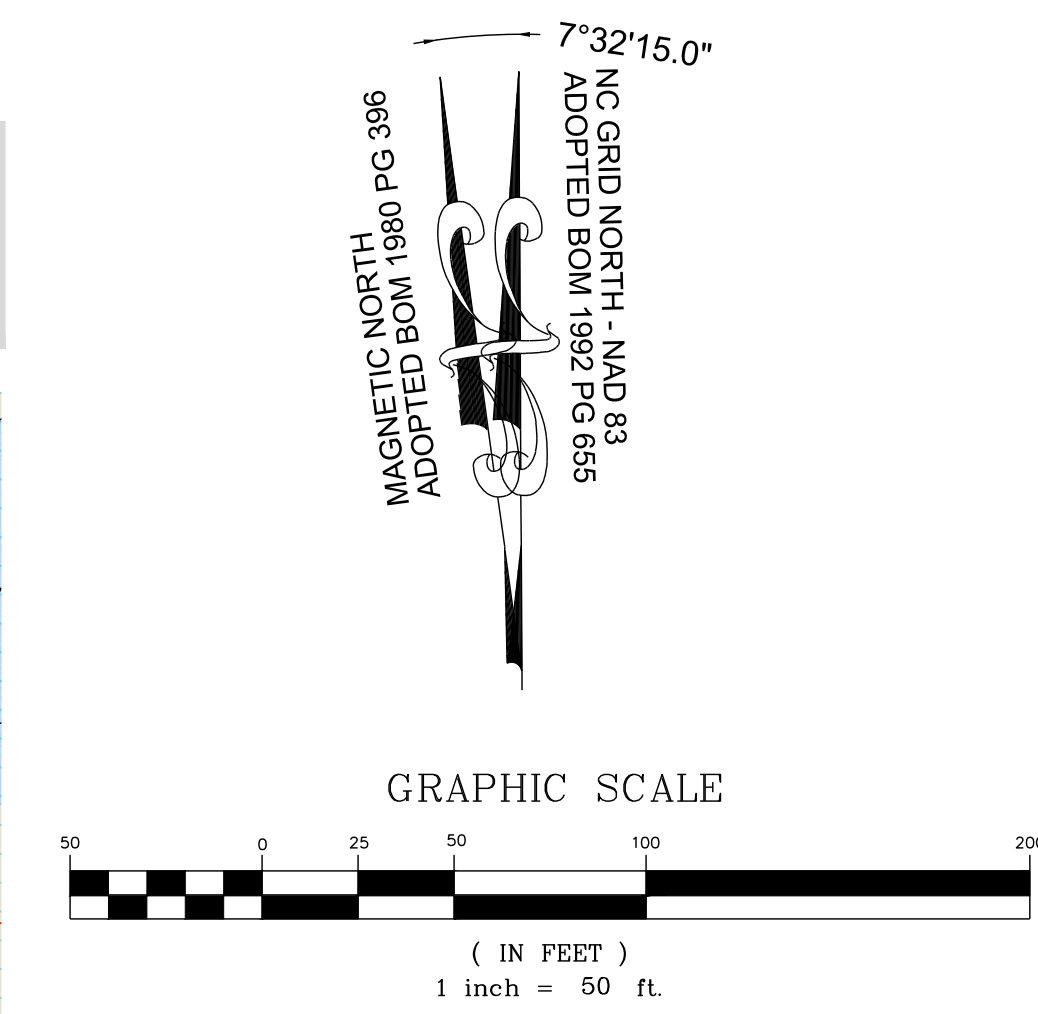
STRONG ROCK PROJECT	STRONG ROCK PROJECT
PSP-24-03	NOT FOR CONSTRUCTION
SCALE	AS SHOWN
DESIGNED BY	JWL
DRAWN BY	SRG
CHECKED BY	JWL

RESERVE @ MITCHELL MILL
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
 CONSTRUCTION PLANS
 PARTIAL GRADING AND DRAINAGE PLAN III

DRAWING SHEET
C-9.3

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TOWNHOME NOTES:
STATES INTERNAL TOWNHOME DRIVEWAYS ARE PRIVATE EASEMENTS AS PER CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT



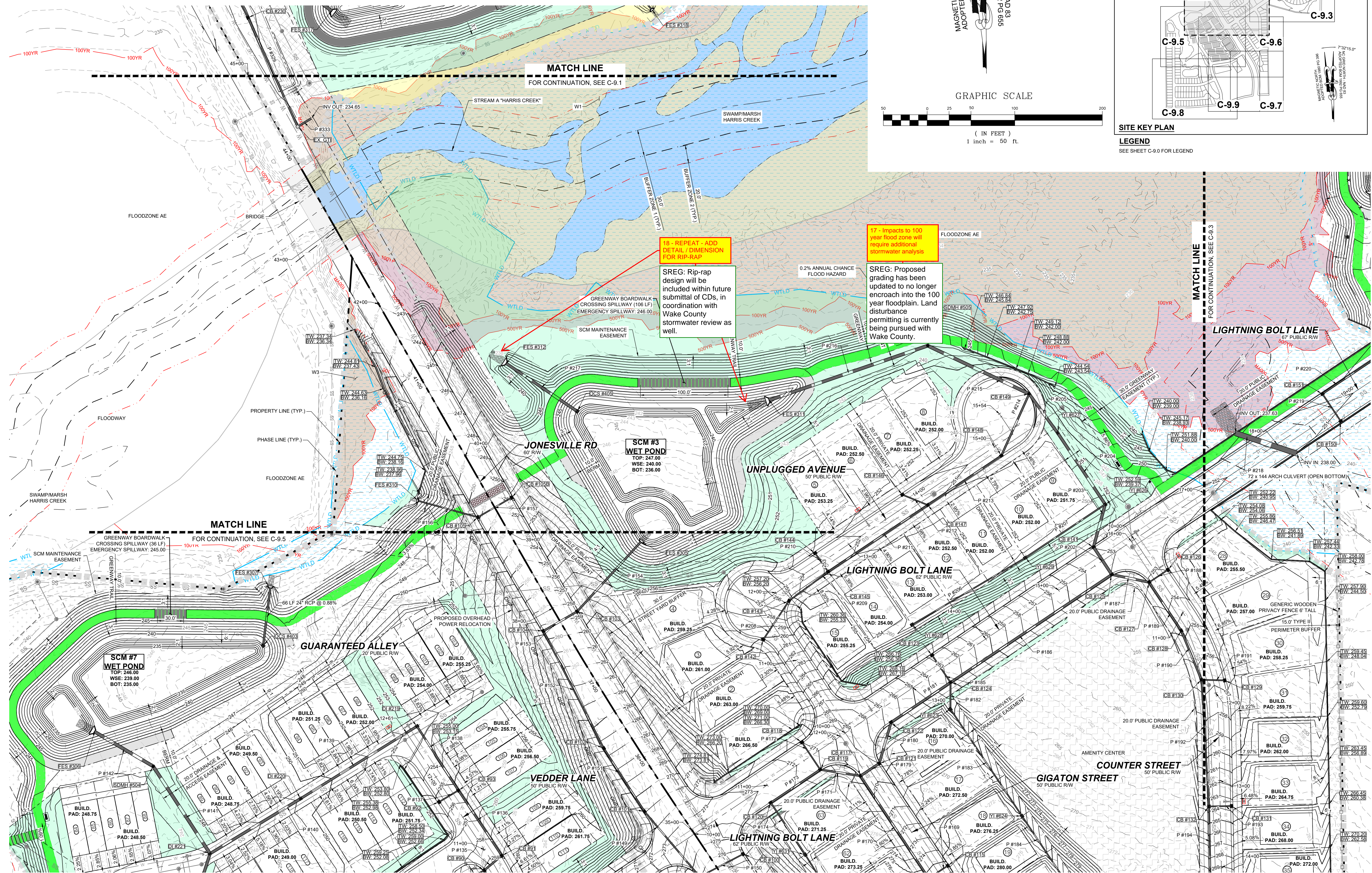
LEGEND
SEE SHEET C-9.0 FOR LEGEND

1	CONSTRUCTION INFRASTRUCTURE DRAWINGS CDD-24-04	DATE	BY
2	TOWN OF RALEIGH CDD-24-04	REVISIONS	
SEAL:		NO.	

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STRONG ROCK PROJECT	STRONG ROCK PROJECT P-24-03	SCALE	AS SHOWN	DESIGNED BY	JWL	DRAWN BY	SRG	CHECKED BY	JWL
NOT FOR CONSTRUCTION									
DRAWING SHEET									
C-9.4									
51 OF 176									



18 - REPEAT - ADD DETAIL 1/ DIMENSION FOR RIP-RAP
SREG: Rip-rap design will be included within future submittal of CDs, in coordination with Wake County stormwater review as well.

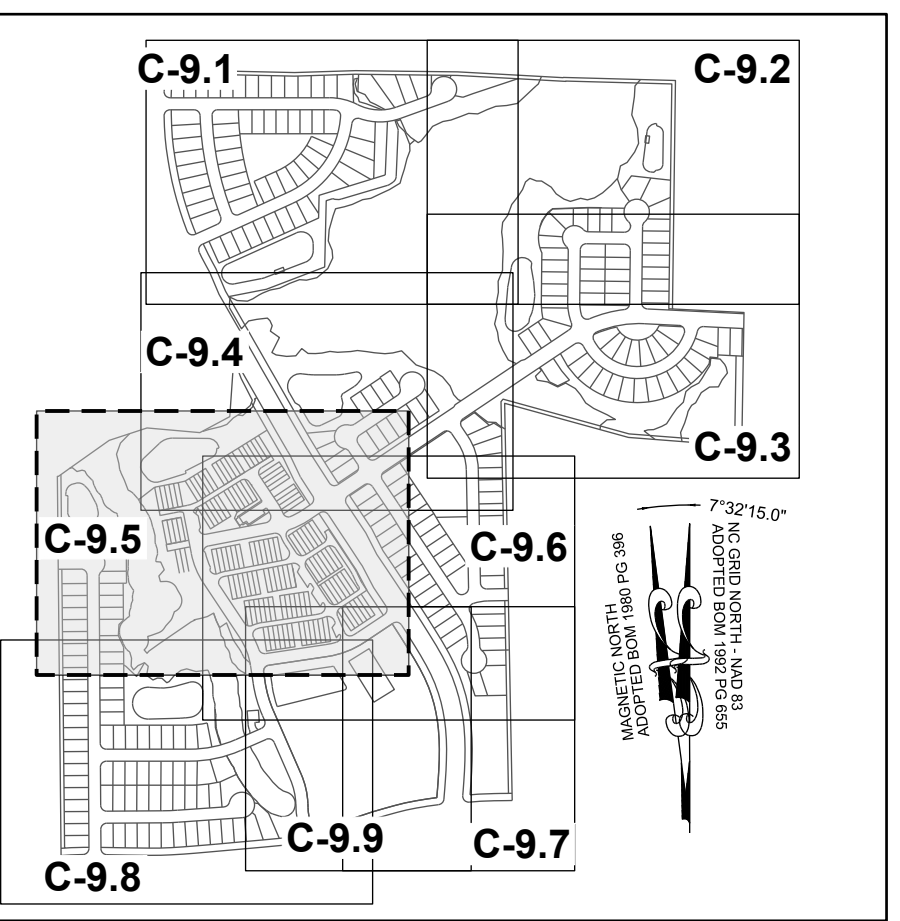
17 - Impacts to 100 year flood zone will require additional stormwater analysis
SREG: Proposed grading has been updated to no longer encroach into the 100 year floodplain. Land disturbance permitting is currently being pursued with Wake County.

MATCH LINE
FOR CONTINUATION, SEE C-9.1

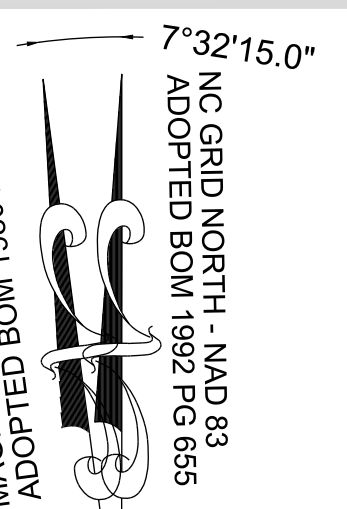
MATCH LINE
FOR CONTINUATION, SEE C-9.5

MATCH LINE
FOR CONTINUATION, SEE C-9.3

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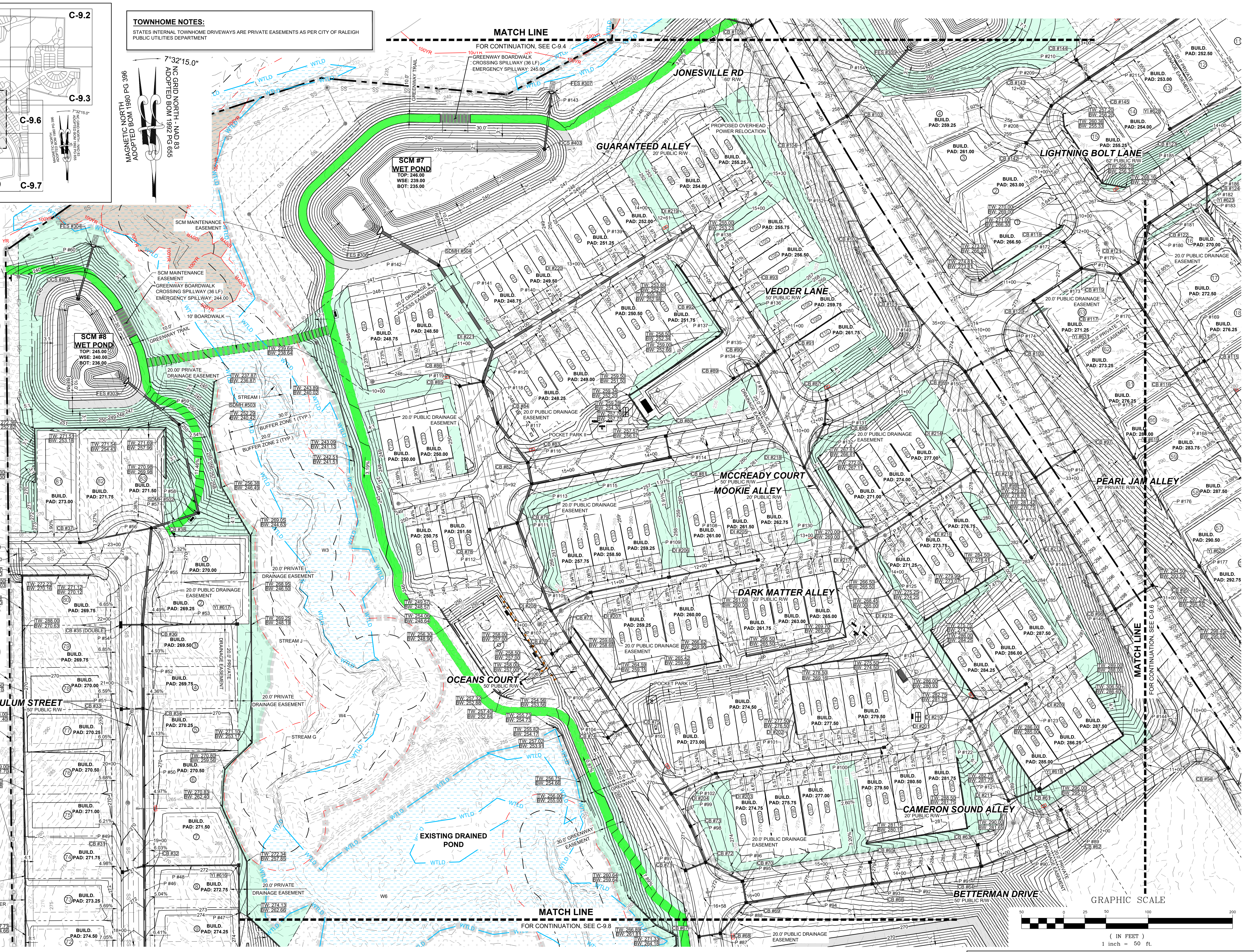


SITE KEY PLAN
LEGEND
SEE SHEET C-9.0 FOR LEGEND

KENNETH INVESTMENT LLC.
PIN: 1757368816
DB 19248 PG 1884
ZONING: R-30 (WC)
USE: VA

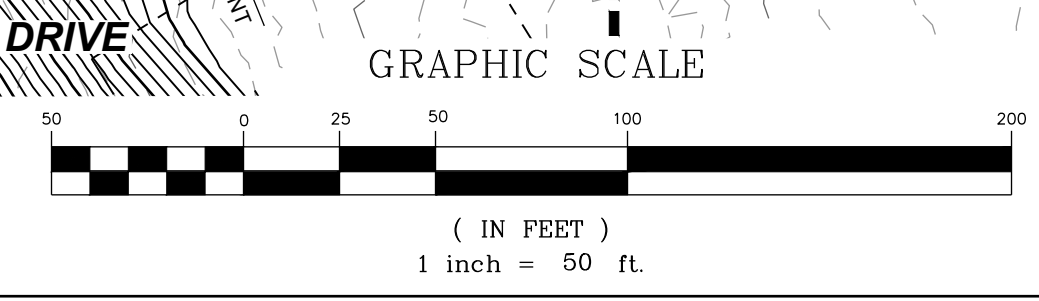
MEGAN KULAWIAK
PIN: 1757367367
DB 16226 PG 1133
LOT 6
BM 1990 PG 00387
ZONING: R-30 (WC)
USE: VA

PENDULUM STREET
50' PUBLIC R/W



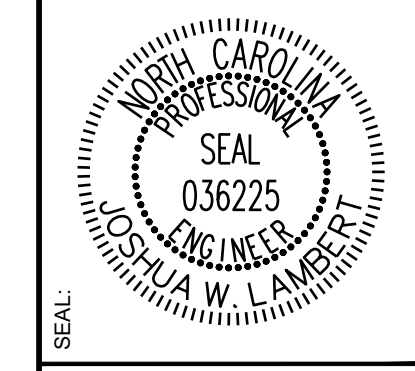
MATCH LINE
FOR CONTINUATION, SEE C-9.8

MATCH LINE
FOR CONTINUATION, SEE C-9.6



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NO.	REVISIONS	DATE	BY
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2			



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STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
PSP-25-03		AS SHOWN	JWL	SRG	JWL

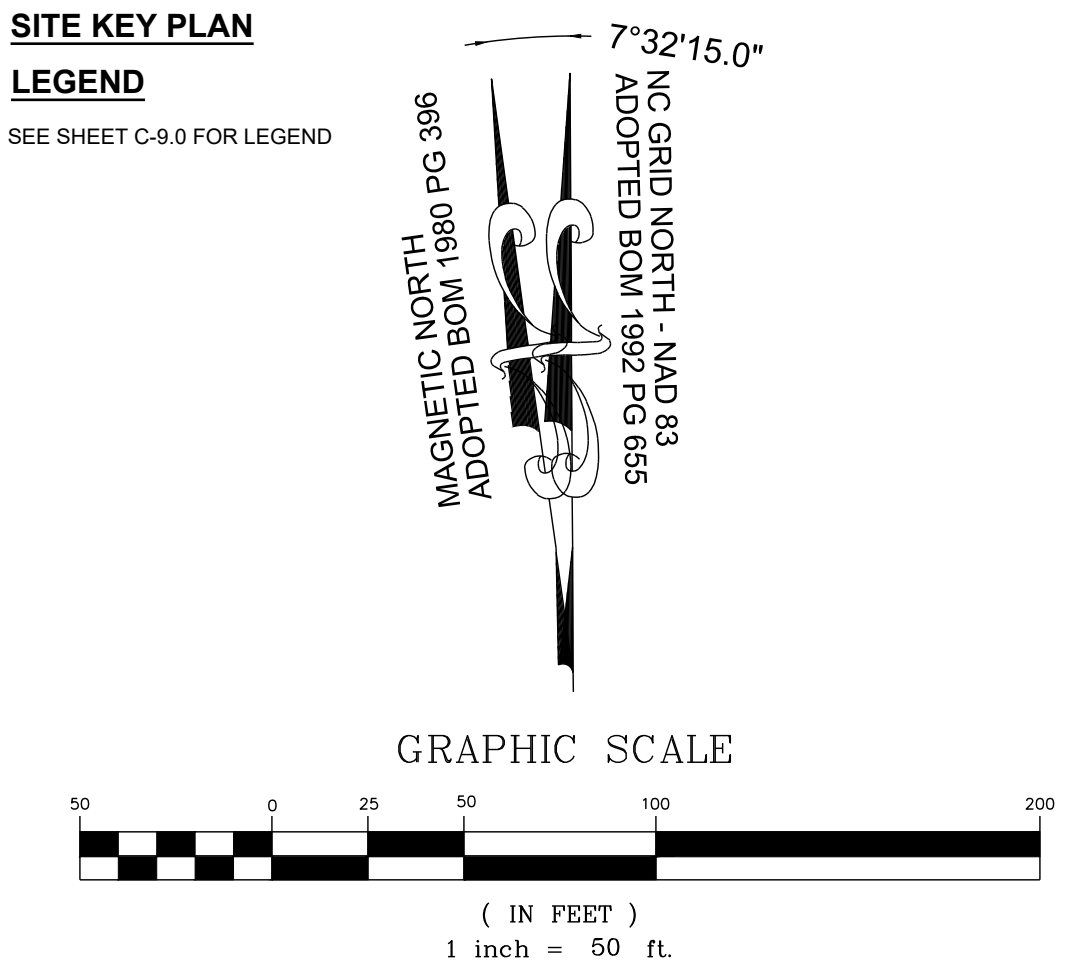
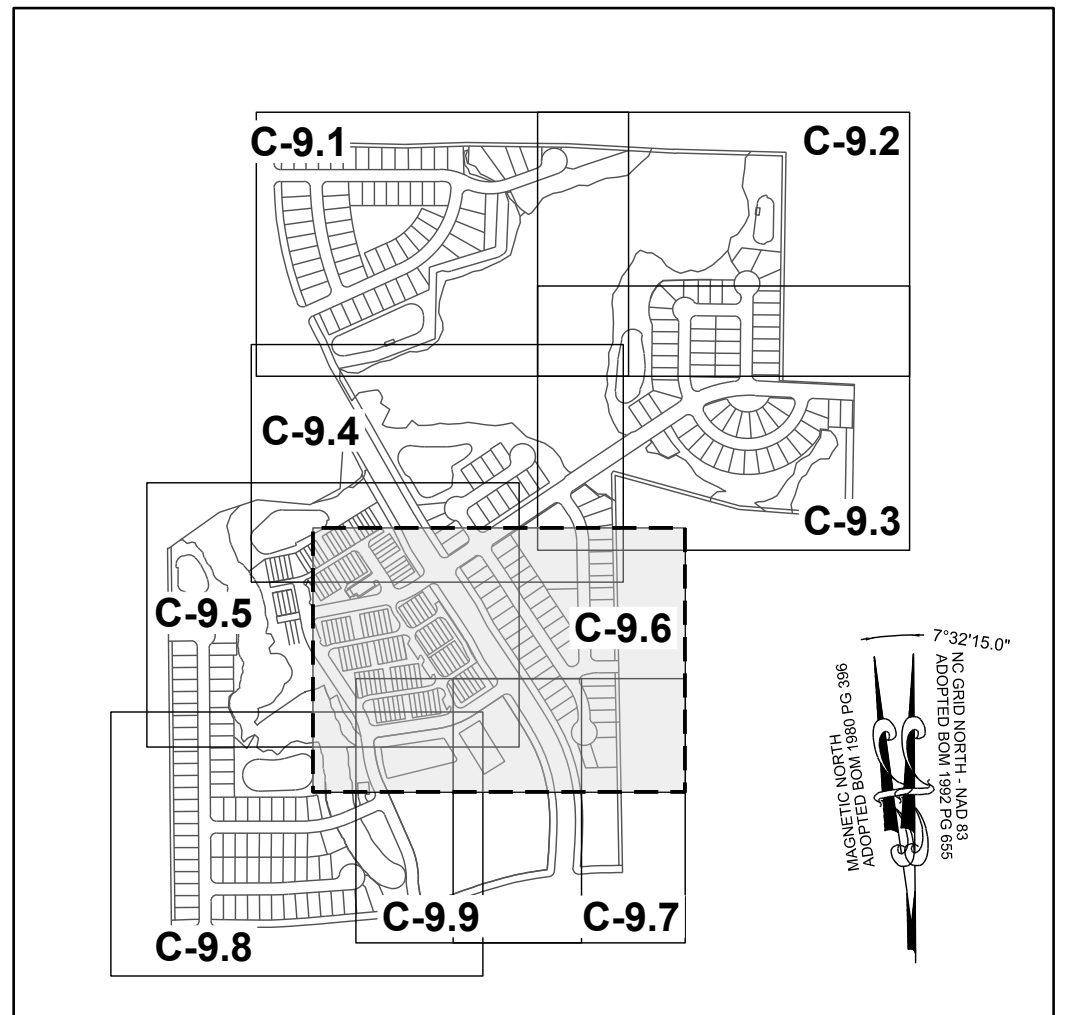
RESERVE @ MITCHELL MILL
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
CONSTRUCTION PLANS
PARTIAL GRADING AND DRAINAGE PLAN V

DRAWING SHEET
C-9.5

52 OF 176



TOWNHOME NOTES:
STATES INTERNAL TOWNHOME DRIVEWAYS ARE PRIVATE EASEMENTS AS PER CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT

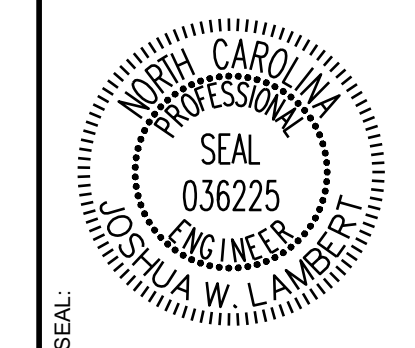


MATCH LINE
FOR CONTINUATION, SEE C-9.7

MATCH LINE
FOR CONTINUATION, SEE C-9.8

- GENERIC WOODEN PRIVATE FENCE 6' TALL
- 15.0' TYPE II PERIMETER BUFFER
- PROPERTY LINE (TYP.)
- PHASE LINE (TYP.)

NO.	REVISIONS	DATE	BY
1			
2			

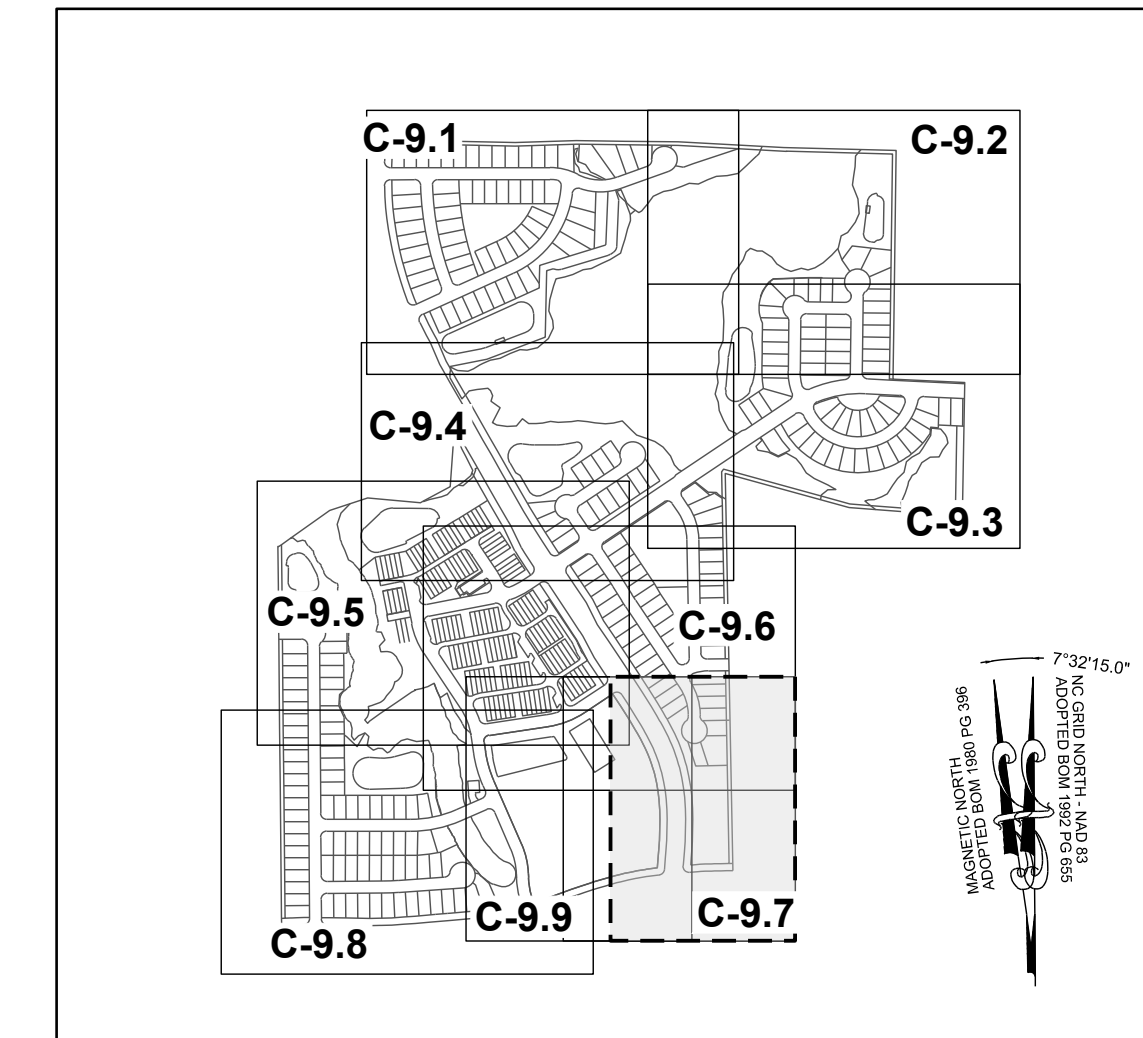
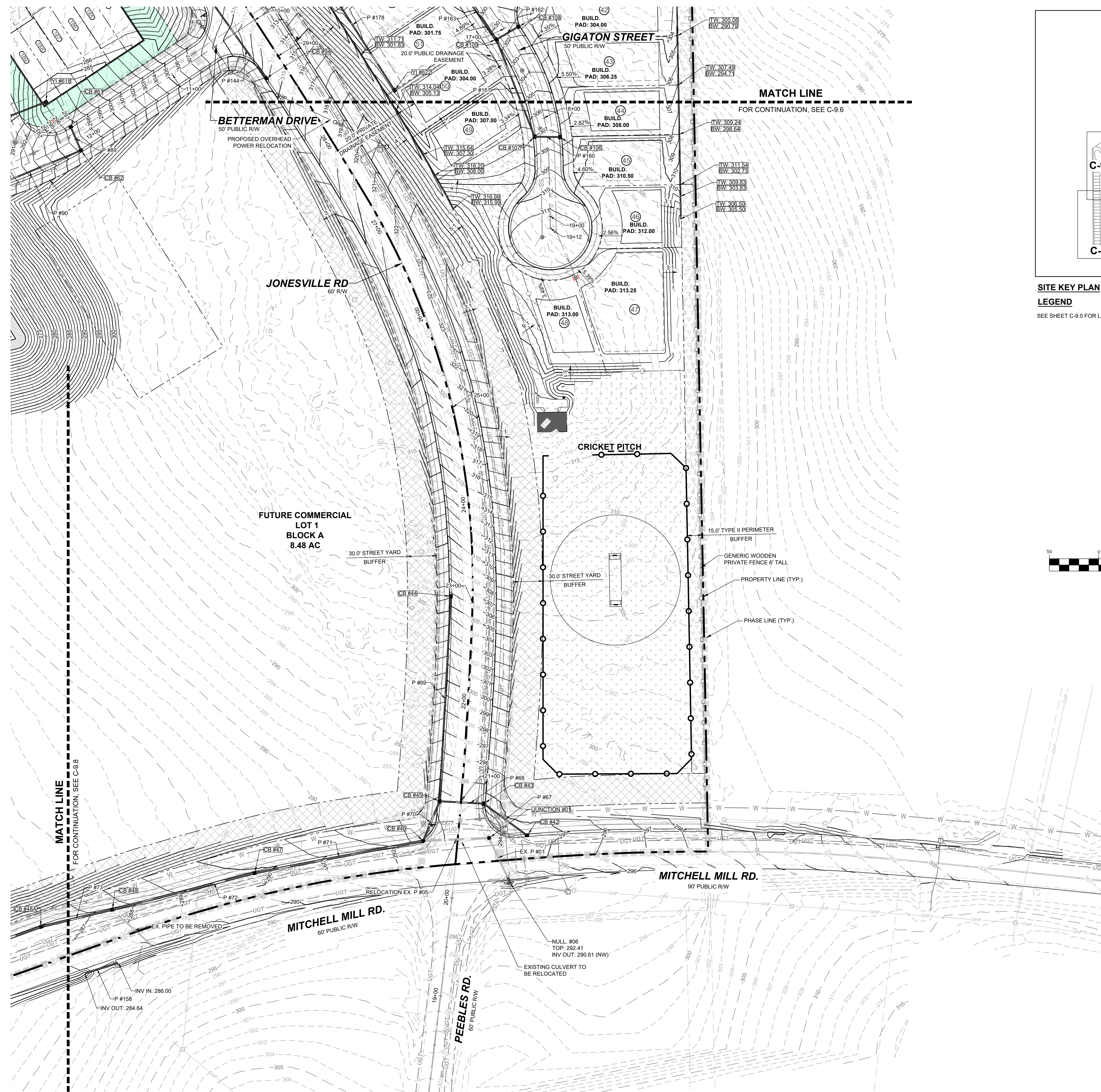


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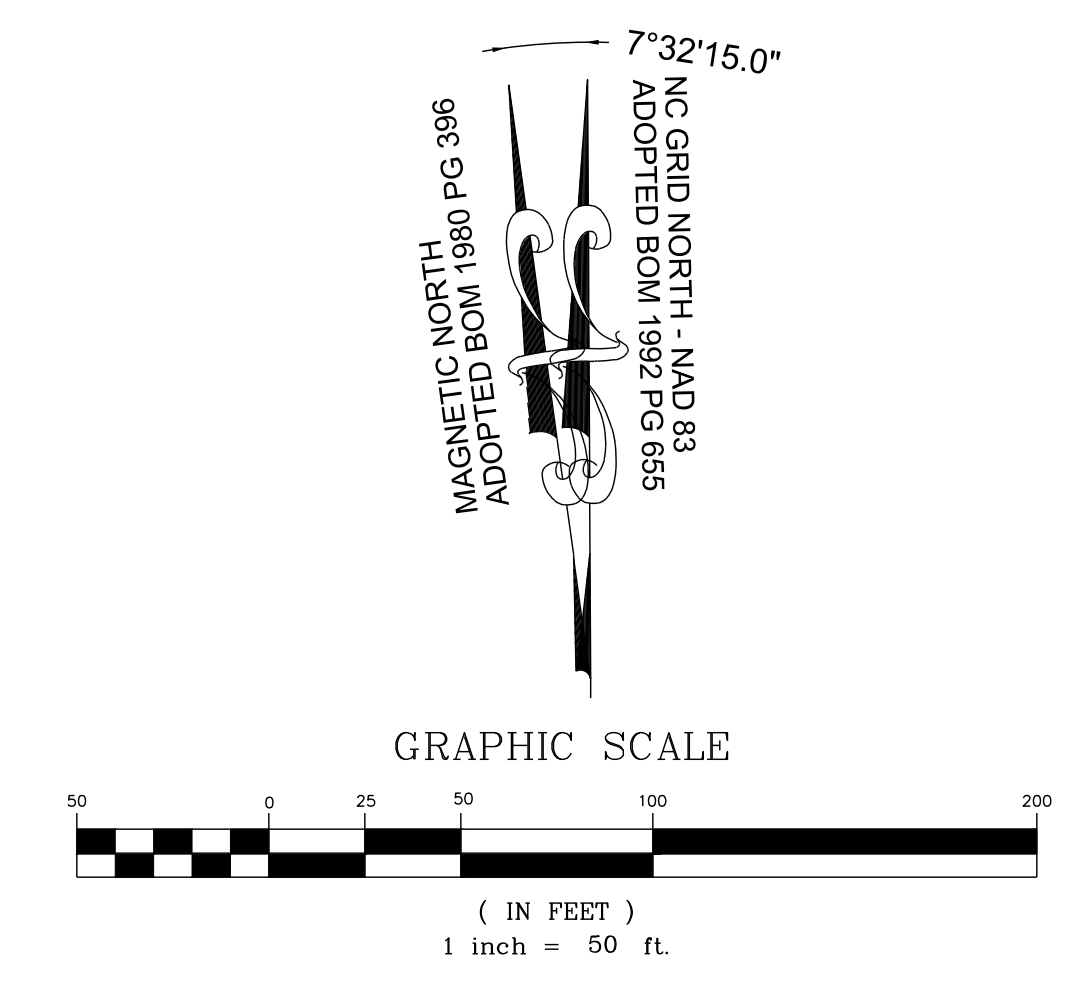
STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
PSP-24-03		AS SHOWN	JWL	SRG	JWL

RESERVE @ MITCHELL MILL
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
CONSTRUCTION PLANS
PARTIAL GRADING AND DRAINAGE PLAN VI

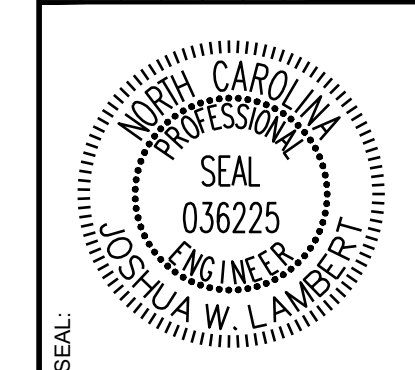
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SITE KEY PLAN
LEGEND
 SEE SHEET C-9.0 FOR LEGEND



NO.	REVISIONS	DATE	BY
1			
2			



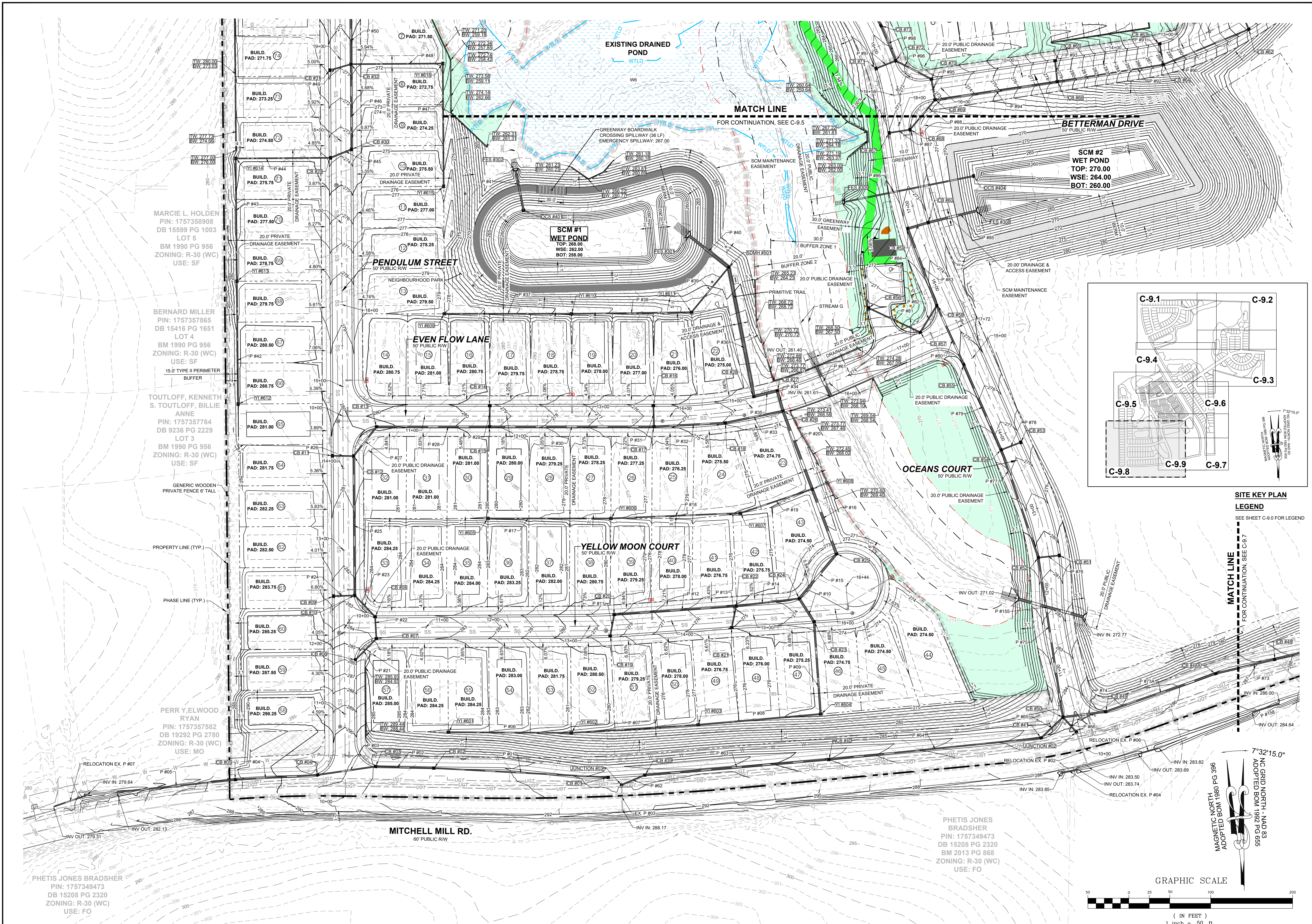
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 ENGINEERING GROUP
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STRONG ROCK PROJECT	STRONG ROCK PROJECT
PSP-24-03	PSP-24-03
NOT FOR CONSTRUCTION	NOT FOR CONSTRUCTION
SCALE AS SHOWN	SCALE AS SHOWN
DESIGNED BY JWL	DESIGNED BY JWL
DRAWN BY SRG	DRAWN BY SRG
CHECKED BY JWL	CHECKED BY JWL

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 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
 CONSTRUCTION PLANS
 PARTIAL GRADING AND DRAINAGE PLAN VII

DRAWING SHEET
C-9.7

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MARCIE L. HOLDEN
 PIN: 1757358908
 DB 15599 PG 1003
 LOT 5
 BM 1990 PG 956
 ZONING: R-30 (WC)
 USE: SF

BERNARD MILLER
 PIN: 1757357865
 DB 15416 PG 1651
 LOT 4
 BM 1990 PG 956
 ZONING: R-30 (WC)
 USE: SF

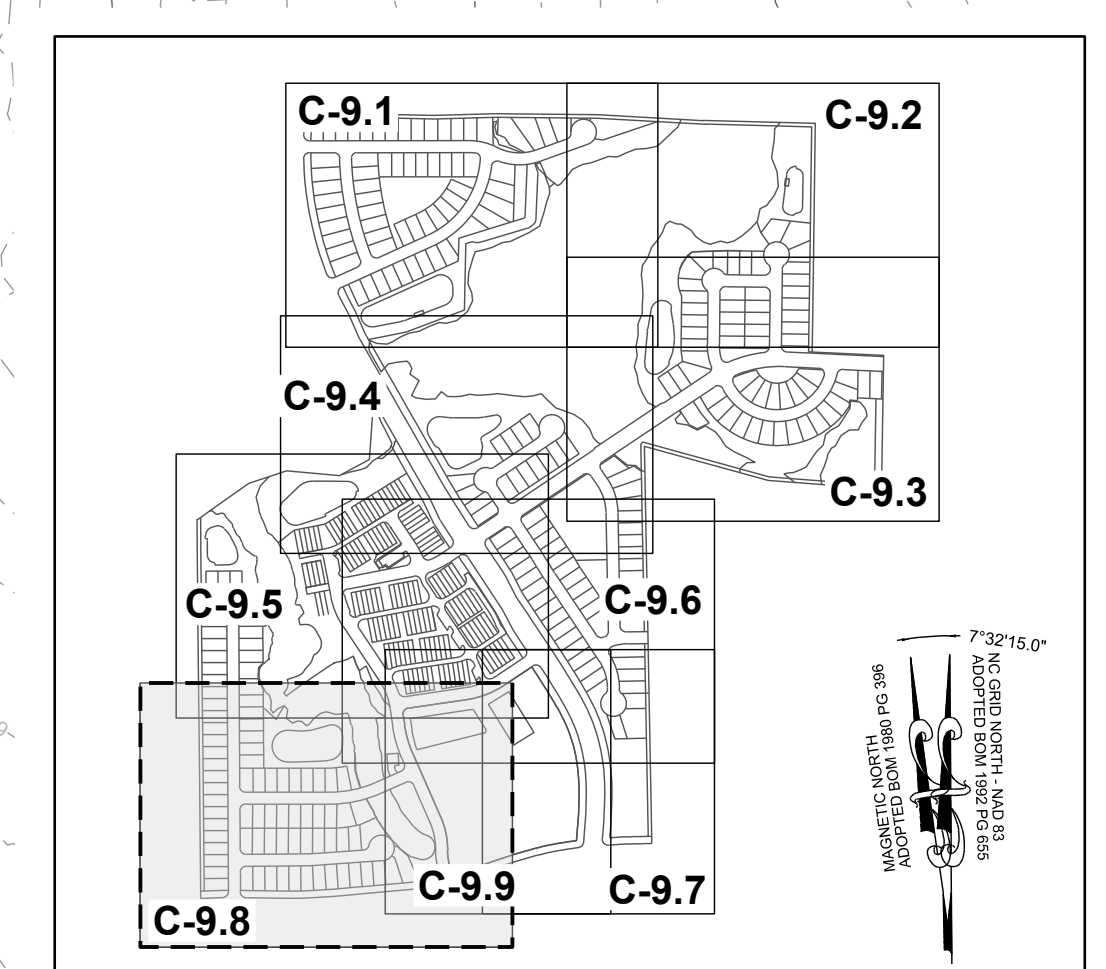
TOUTLOFF, KENNETH
 S. TOUTLOFF, BILLIE
 ANNE
 PIN: 1757357764
 DB 9236 PG 2229
 LOT 3
 BM 1990 PG 956
 ZONING: R-30 (WC)
 USE: SF

GENERIC WOODEN
 PRIVATE FENCE 6' TALL

PERR Y,ELWOOD
 RYAN
 PIN: 1757357582
 DB 19292 PG 2780
 ZONING: R-30 (WC)
 USE: MO

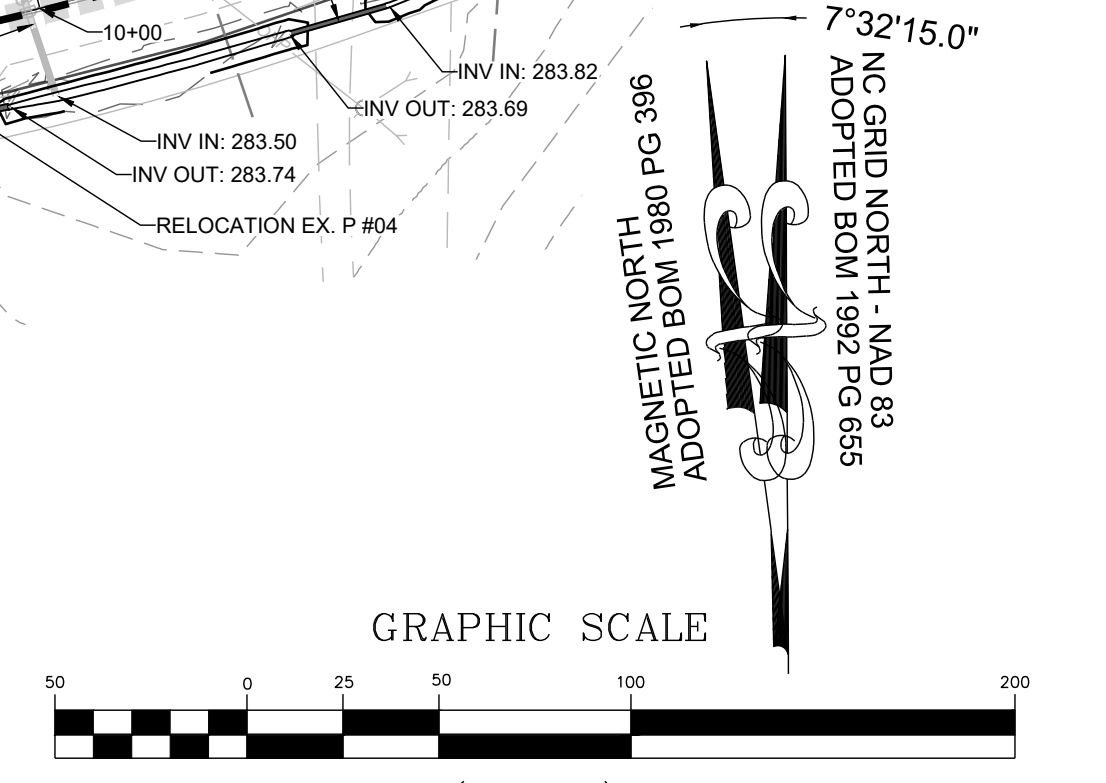
PHETIS JONES BRADSHER
 PIN: 1757349473
 DB 15208 PG 2320
 ZONING: R-30 (WC)
 USE: FO

PHETIS JONES
 BRADSHER
 PIN: 1757349473
 DB 15208 PG 2320
 BM 2013 PG 868
 ZONING: R-30 (WC)
 USE: FO



SITE KEY PLAN
LEGEND
 SEE SHEET C-9.0 FOR LEGEND

MATCH LINE
 FOR CONTINUATION, SEE C-9.7



NO.	REVISIONS	DATE	BY
1	CONSTRUCTION INFRASTRUCTURE DRAWINGS CDD-10-04		
2	TOWN OF ROLESVILLE CDD-10-24-04	11/01/2024	



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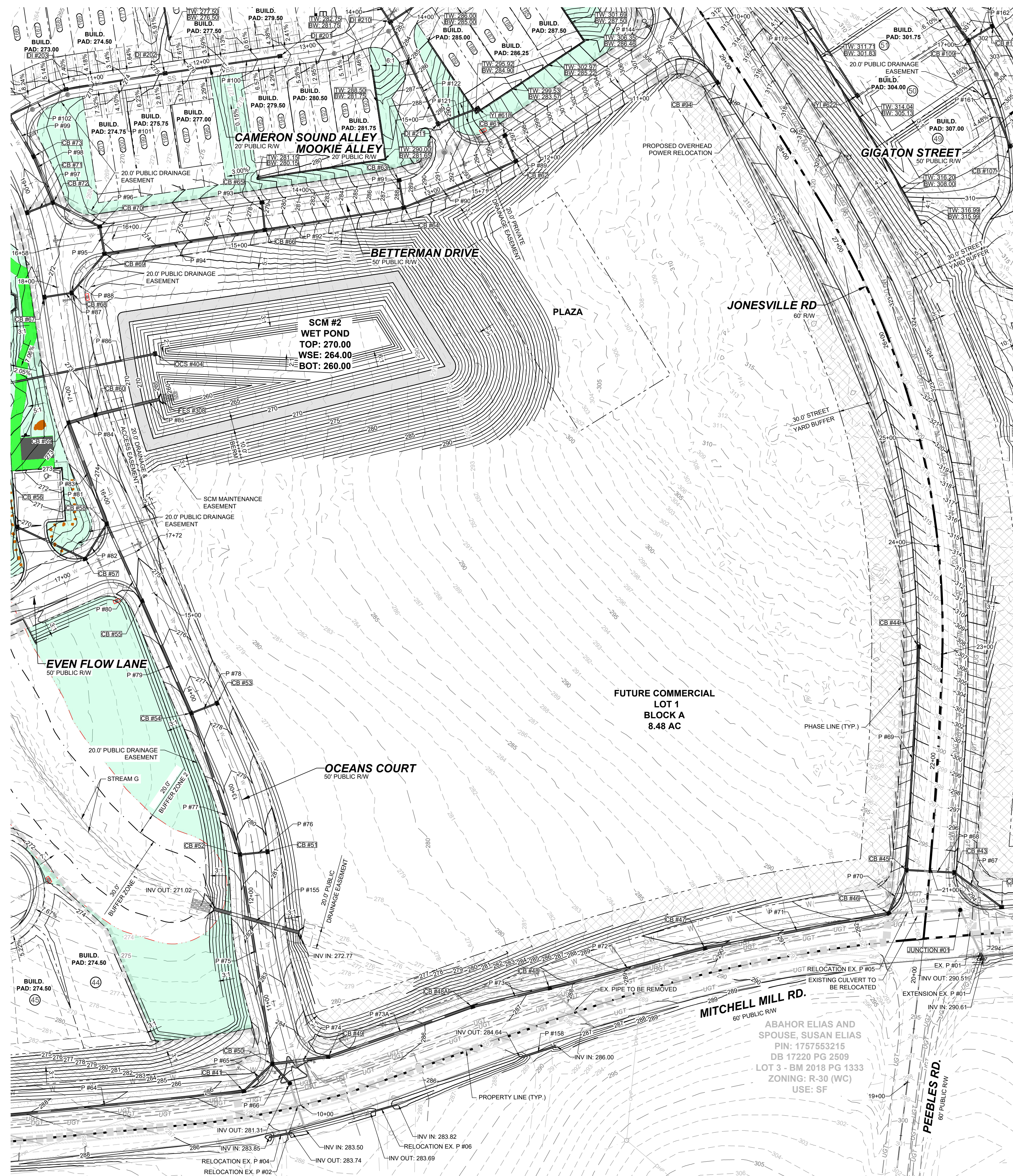
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 305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	STRONG ROCK PROJECT
PSP-24-03	PSP-24-03
NOT FOR CONSTRUCTION	NOT FOR CONSTRUCTION
SCALE AS SHOWN	SCALE AS SHOWN
DESIGNED BY JWL	DESIGNED BY JWL
DRAWN BY SRG	DRAWN BY SRG
CHECKED BY JWL	CHECKED BY JWL

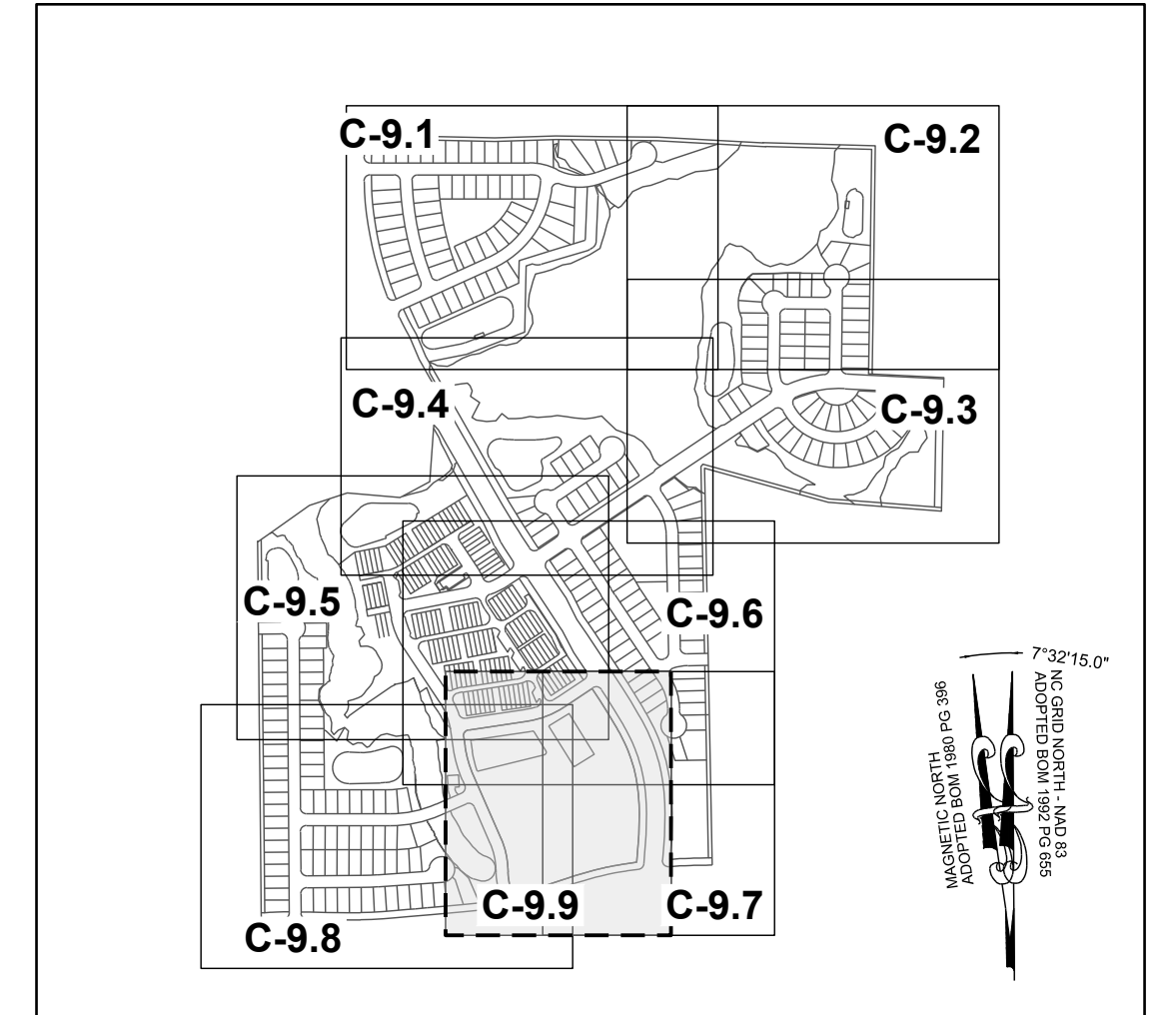
RESERVE @ MITCHELL MILL
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
 CONSTRUCTION PLANS
 PARTIAL GRADING AND
 DRAINAGE PLAN VIII

DRAWING SHEET
C-9.8

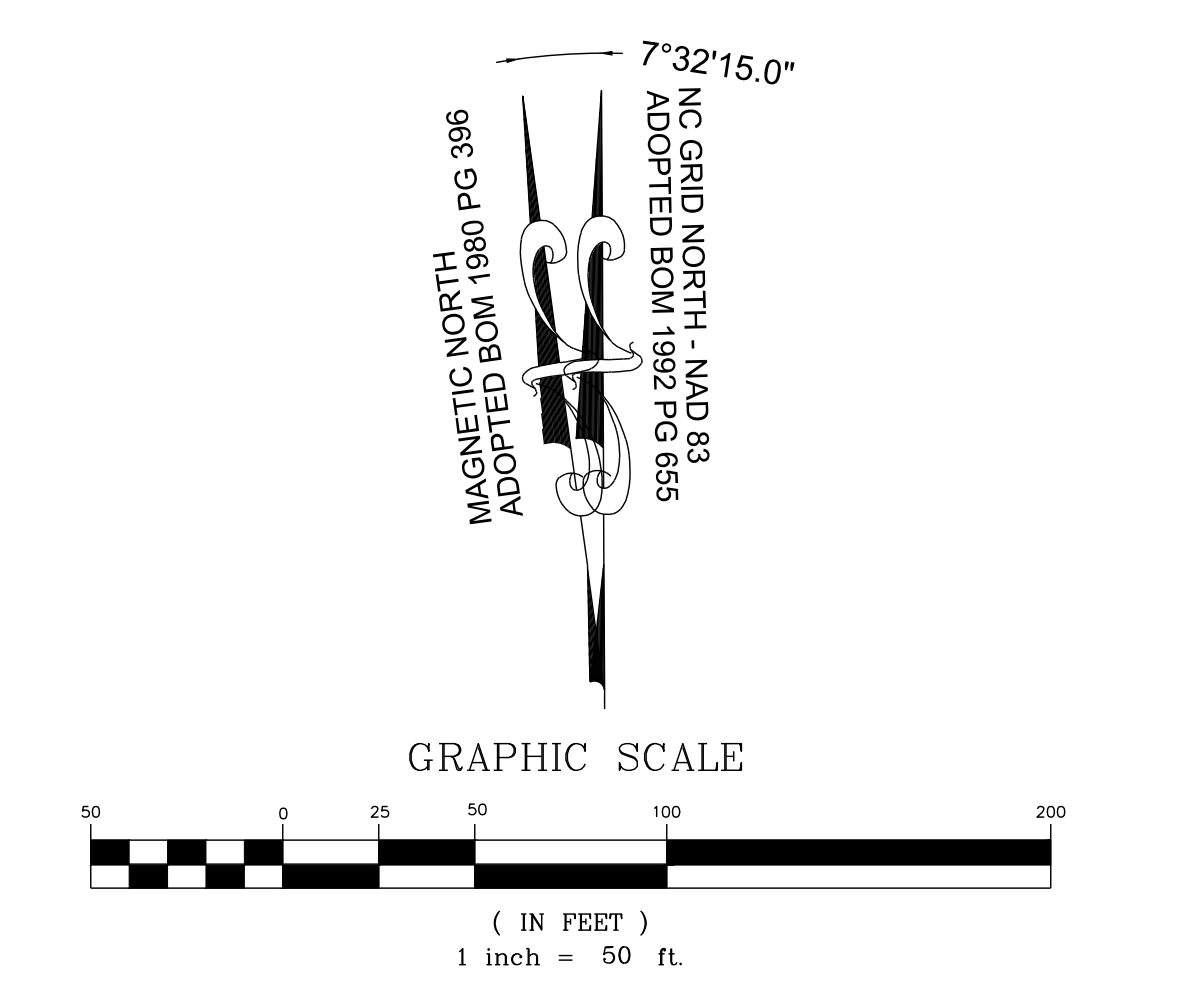
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TOWNHOME NOTES:
 STATES INTERNAL TOWNHOME DRIVEWAYS ARE PRIVATE EASEMENTS AS PER CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT

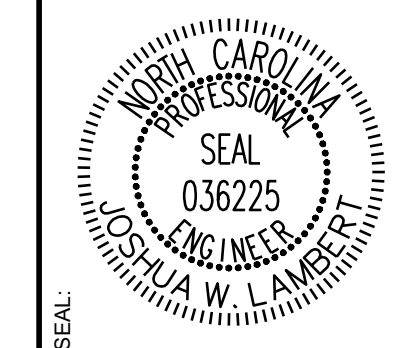


SITE KEY PLAN
LEGEND
 SEE SHEET C-9.0 FOR LEGEND



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NO.	REVISIONS	DATE	BY
1	CONSTRUCTION INFRASTRUCTURE DRAWINGS CDD-20-04		
2	TOWN OF ROLESVILLE CDD V2-24-04		



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 305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	STRONG ROCK PROJECT	STRONG ROCK PROJECT	STRONG ROCK PROJECT	STRONG ROCK PROJECT	STRONG ROCK PROJECT
PSP-24-03	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL

RESERVE @ MITCHELL MILL
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
 CONSTRUCTION PLANS
 PARTIAL GRADING AND DRAINAGE PLAN IX

DRAWING SHEET
C-9.9

PIPE TABLE with columns: PIPE NO, TYPE, SIZE, LF, INV. IN, INV. OUT, GRADE. Rows include EX. P #01 to P #05 and EXTENSION EX. P #01 to P #05.

PIPE TABLE with columns: PIPE NO, TYPE, SIZE, LF, INV. IN, INV. OUT, GRADE. Rows include P #06 to P #25.

PIPE TABLE with columns: PIPE NO, TYPE, SIZE, LF, INV. IN, INV. OUT, GRADE. Rows include P #26 to P #45.

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PIPE TABLE with columns: PIPE NO, TYPE, SIZE, LF, INV. IN, INV. OUT, GRADE. Rows include P #66 to P #84.

PIPE TABLE with columns: PIPE NO, TYPE, SIZE, LF, INV. IN, INV. OUT, GRADE. Rows include P #85 to P #104.

PIPE TABLE with columns: PIPE NO, TYPE, SIZE, LF, INV. IN, INV. OUT, GRADE. Rows include P #105 to P #124.

PIPE TABLE with columns: PIPE NO, TYPE, SIZE, LF, INV. IN, INV. OUT, GRADE. Rows include P #125 to P #144.

PIPE TABLE with columns: PIPE NO, TYPE, SIZE, LF, INV. IN, INV. OUT, GRADE. Rows include P #145 to P #165.

PIPE TABLE with columns: PIPE NO, TYPE, SIZE, LF, INV. IN, INV. OUT, GRADE. Rows include P #166 to P #185.

PIPE TABLE with columns: PIPE NO, TYPE, SIZE, LF, INV. IN, INV. OUT, GRADE. Rows include P #186 to P #205.

PIPE TABLE with columns: PIPE NO, TYPE, SIZE, LF, INV. IN, INV. OUT, GRADE. Rows include P #206 to P #225.

PIPE TABLE with columns: PIPE NO, TYPE, SIZE, LF, INV. IN, INV. OUT, GRADE. Rows include P #226 to P #245.

PIPE TABLE with columns: PIPE NO, TYPE, SIZE, LF, INV. IN, INV. OUT, GRADE. Rows include P #246 to P #265.

PIPE TABLE with columns: PIPE NO, TYPE, SIZE, LF, INV. IN, INV. OUT, GRADE. Rows include P #266 to P #285.

PIPE TABLE with columns: PIPE NO, TYPE, SIZE, LF, INV. IN, INV. OUT, GRADE. Rows include P #286 to P #305.

PIPE TABLE with columns: PIPE NO, TYPE, SIZE, LF, INV. IN, INV. OUT, GRADE. Rows include P #306 to P #325.

PIPE TABLE with columns: PIPE NO, TYPE, SIZE, LF, INV. IN, INV. OUT, GRADE. Rows include P #327 to P #332 and RELOCATION EX. P #02 to P #07.

Revision table with columns: No., Description, Date.

Professional Engineer Seal for Mitchell Mill, North Carolina, License # 036225, dated 11/01/2024.

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CATCH BASIN TABLE with columns CB NO, SIZE, TOP, INV. IN, INV. OUT. Rows include CB #01 to CB #20 with various dimensions and elevations.

CATCH BASIN TABLE with columns CB NO, SIZE, TOP, INV. IN, INV. OUT. Rows include CB #21 to CB #40 with various dimensions and elevations.

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CATCH BASIN TABLE with columns CB NO, SIZE, TOP, INV. IN, INV. OUT. Rows include CB #197 to CB #216 with various dimensions and elevations.

CATCH BASIN TABLE with columns CB NO, SIZE, TOP, INV. IN, INV. OUT. Rows include CB #217 to CB #236 with various dimensions and elevations.

CATCH BASIN TABLE with columns CB NO, SIZE, TOP, INV. IN, INV. OUT. Rows include CB #237 to CB #239 with various dimensions and elevations.

OCS TABLE with columns OCS NO, SIZE, TOP, INV. IN, INV. OUT. Rows include OCS #401 to OCS #408 with various dimensions and elevations.

DROP INLET TABLE with columns DI NO, SIZE, TOP, INV. IN, INV. OUT. Rows include DI #201 to DI #221 with various dimensions and elevations.

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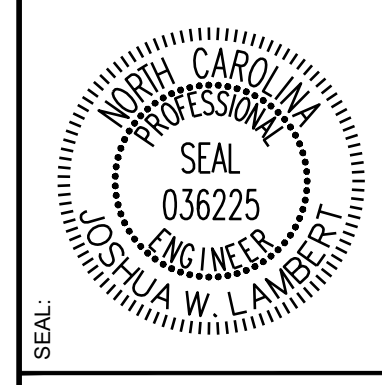
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YARD INLET TABLE with columns YI NO, SIZE, TOP, INV. IN, INV. OUT. Rows include YI #601 to YI #616 with various dimensions and elevations.

YARD INLET TABLE with columns YI NO, SIZE, TOP, INV. IN, INV. OUT. Rows include YI #617 to YI #632 with various dimensions and elevations.

SDMH TABLE with columns SDMH NO, SIZE, TOP, INV. IN, INV. OUT. Rows include JUNCTION #01 to SDMH #506 with various dimensions and elevations.

Project information table including CONSTRUCTION INFRASTRUCTURE DRAWINGS, SHEET NO., and REVISIONS table.



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Project metadata table including STRONG ROCK PROJECT, PIP-24-03, NOT FOR CONSTRUCTION, SCALE, AS SHOWN, DESIGNED BY, DRAWN BY, and CHECKED BY.

RESERVE @ MITCHELL MILL TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA CONSTRUCTION PLANS STORM DRAINAGE TABLES

DRAWING SHEET C-9.11 58 OF 176

OFFSITE SPOIL NOTE:

- IF AN OFFSITE SOIL SPOIL OR BORROW SITE IS UTILIZED, THEN THE DISTURBED AREA FOR THE SPOIL/BORROW SITE MUST BE INCLUDED IN THE LAND-DISTURBANCE PLAN AND PERMIT UNLESS THE SPOIL/BORROW SITE ALREADY HAS A SEPARATE LAND-DISTURBANCE PERMIT.

STAGE 1 SPECIFIC SEQUENCE:

- INSTALL CONSTRUCTION ENTRANCE, SILT FENCING, SILT FENCE OUTLETS, DIVERSION DITCHES, AND SKIMMER BASINS AS SHOWN ON APPROVED STAGE 1 EROSION CONTROL PLAN. CLEAR AND GRADE ONLY AREAS NECESSARY TO INSTALL THESE EROSION AND SEDIMENT CONTROL DEVICES. INSTALL SILT FENCE OUTLETS AT LOW POINTS IN THE SILT FENCING AS NEEDED TO PREVENT BLOWOUTS.
- STABILIZE ALL DISTURBED AREAS DOWNSTREAM OF SEDIMENT BASINS AND OTHER CRITICAL EROSION CONTROL AREAS IMMEDIATELY UPON INSTALLATION. ONCE APPROVED, BEGIN CLEARING AND GRADING REMAINDER OF THE SITE. MAINTAIN EROSION CONTROL DEVICES AS NEEDED. INSTALL DIVERSION DITCHES AS SHOWN ON THE STAGE 1 EROSION CONTROL PLANS. MAINTAIN DIVERSION DITCHES AS SITE IS BROUGHT TO FINAL GRADE IN ORDER TO DIVERT AS MUCH RUNOFF INTO SEDIMENT BASINS AS POSSIBLE.
- STABILIZE GRADED AREAS AS THEY ARE CLEARED. TEMPORARILY SEED AND MULCH DENUDEED AREAS PER THE WAKE COUNTY UNIFIED DEVELOPMENT ORDINANCE SEC. 12.10.4(B). ONCE FINAL GRADE HAS BEEN ACHIEVED, PAVE OR PERMANENTLY SEED ALL AREAS AND SLOPES PER NCDENR'S EROSION SEDIMENT CONTROL PLANNING AND DESIGN MANUAL VERSION 6/06, SECTION 6.10 AND 6.11.
- MAINTAIN EROSION CONTROL MEASURES WEEKLY AND AFTER EACH RAIN EVENT THROUGHOUT CONSTRUCTION.

STAGE 2 SPECIFIC SEQUENCE:

- AFTER CONTRACTOR HAS COMPLETED ROUGH GRADING OPERATIONS:
 - CONTRACTOR SHALL STABILIZE HOUSE LOTS EXCLUDING THE 60' WIDE LOTS WHICH MUST REMAIN UNDISTURBED WITH TEMPORARY SEEDING. REFER TO SEEDING DETAILS.
 - CONTRACTOR SHALL PERMANENTLY STABILIZE ALL SLOPES AND/OR OTHER AREAS THAT ARE AT FINAL GRADE.
 - COMPLETE OUTSTANDING RETAINING WALL CONSTRUCTION AND STABILIZE UPSLOPE.
- INSTALL UTILITIES, INCLUDING STORM NETWORK. CONTRACTOR SHALL ONLY EXCAVATE THE AMOUNT OF TRENCH TO ALLOW FOR ONE DAY OF PIPE INSTALLATION.
- CONTRACTOR SHALL USE BERMS, DIVERSIONS, AND PIPE INLET PROTECTION TO PREVENT SEDIMENT RUNOFF FROM ENTERING THE STORM SYSTEM.
- INSTALL INLET PROTECTION ON ALL COMPLETED STORM STRUCTURES
- UPON APPROVAL OF PERMANENT STABILIZATION, REMOVE BALANCE OF EROSION CONTROL MEASURES, GRADE AND STABILIZE REMAINDER OF SITE.
- WITH APPROVAL OF EROSION CONTROL INSPECTOR, REMOVE THE REMAINDER OF THE EROSION CONTROL DEVICES.

EROSION CONTROL NARRATIVE:

- THE PURPOSE OF THIS PLAN IS TO DEVELOP A XXX LOT RESIDENTIAL SUBDIVISION. LAND DISTURBANCE WILL BE KEPT TO THE MINIMUM AMOUNT NEEDED TO INSTALL THE INFRASTRUCTURE, STORMWATER DEVICES AND ROUGH GRADED LOTS SHOWN ON THE PLANS.
- EROSION SHALL BE CONTROLLED BY USING A COMBINATION OF TEMPORARY AND PERMANENT STABILIZATION MEASURES THROUGHOUT THE SITE. IN GENERAL STRIPPING OF VEGETATION, REGRADING OR OTHER DEVELOPMENT IS TO BE DONE IN SUCH A WAY THAT WILL MINIMIZE EROSION. EROSION AND SEDIMENT WILL BE CONTROLLED BY SILT FENCE, DIVERSION DITCHES, DAMS, SEDIMENT/SKIMMER BASINS, INLET AND OUTLET PROTECTION, SLOPE DRAINS AND EROSION CONTROL MATTING. CONSTRUCTION ENTRANCES WILL PROVIDE ACCESS TO THE SITE. THE AMOUNT OF DISTURBED AREA AND THE DURATION OF EXPOSURE WILL BE KEPT TO A PRACTICAL MINIMUM AND PERMANENT VEGETATION AND SCMS WILL BE INSTALLED AS SOON AS POSSIBLE TO PREVENT EROSION.

REQUIRED TOWN OF KNIGHTDALE SCM BASIN REMOVAL SEQUENCE:

- SCHEDULE A SITE MEETING WITH THE TOWN OF KNIGHTDALE EROSION CONTROL INSPECTOR TO DETERMINE IF A BASIN CAN BE REMOVED. INSTALL SILT FENCING OR OTHER TEMPORARY EROSION CONTROL MEASURES AS NEEDED PRIOR TO REMOVAL OF THE BASIN.
- CONTACT NCDEQ - RALEIGH REGIONAL OFFICE (919) 791-4200 TO DETERMINE THE DIVISION OF ENERGY, MINERAL AND LAND RESOURCES CONTACT PERSON TO RECEIVE DEWATERING NOTIFICATIONS. AT LEAST 10 DAYS PRIOR TO BEGINNING DEWATERING ACTIVITY, SEND EMAIL TO NCDEQ-DEMLR CONTACT PERSON AND COPY ENVIRONMENTAL CONSULTANT THAT MET YOU ON SITE. THE EMAIL SHOULD INCLUDE EASC JURISDICTION, TOWN OF KNIGHTDALE, TOK PROJECT NAME, NUMBER, AND LOCATION (CITY/TOWN), ENVIRONMENTAL CONSULTANT NAME, AND ADDRESS THE FOLLOWING: A) REASON FOR CONVERSION, B) BASIN #, C) DEWATERING METHOD, AND D) ALL OTHER NECESSARY INFO FROM PART II, SECTION G, ITEM 4 OF THE NCG01. (KEEP EMAIL FOR YOUR NPDES MONITORING DOCUMENTATION).
- AFTER RECEIVING POSITIVE CONFIRMATION FROM NCDEQ-DEMLR THAT YOU MAY REMOVE THE BASIN OR ON > DAY 11, WHICHEVER IS SOONER, REMOVE BASIN(S) AND ASSOCIATED TEMPORARY DIVERSION DITCHES. IF PIPES NEED TO BE EXTENDED, PERFORM THIS OPERATION AT THIS TIME. FINE GRADE AREA IN PREPARATION FOR SEEDING.
- PERFORM SEEDBED PREPARATION, SEED, MULCH AND ANCHOR ANY RESULTING BARE AREAS IMMEDIATELY USING NON-CLUMPING TURF GRASS (CENTIPEDE / HYBRID BERMUDA).
- INSTALL VELOCITY DISSIPATORS AND/OR LEVEL SPREADERS AS REQUIRED ON THE EROSION CONTROL PLAN.
- WHEN SITE IS FULLY STABILIZED, CALL EROSION CONTROL INSPECTOR FOR APPROVAL OF REMOVING REMAINING TEMPORARY EROSION CONTROL MEASURES AND ADVICE ON WHEN SITE CAN BE ISSUED A CERTIFICATE OF COMPLETION. NOTE: A MEETING SHOULD ALSO BE SCHEDULED WITH THE EROSION CONTROL INSPECTOR AND STORMWATER TECHNICIAN TO DETERMINE WHEN A BASIN MAY BE CONVERTED FOR STORMWATER USE.

EROSION CONTROL NOTES:

- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST TOWN OF ROLESVILLE STANDARDS, SPECIFICATIONS AND DETAILS.
- GRADING AND EROSION CONTROL METHODS SHALL ADHERE TO THE TOWN OF ROLESVILLE SOIL AND EROSION CONTROL STANDARDS AND SPECIFICATIONS.
- GRADING AND EROSION CONTROL METHODS SHALL ADHERE TO THE NORTH CAROLINA DEPARTMENT OF NATURAL RESOURCES DIVISION OF WATER QUALITY (DWQ) STANDARDS AND SPECIFICATIONS. WHERE DIFFERENT FROM WAKE COUNTY STANDARDS, THE MORE STRINGENT METHOD SHALL BE APPLIED.
- FAILURE TO FOLLOW THE APPROVED PLAN SEQUENCE AND DETAILS COULD SUBJECT THE FINANCIALLY RESPONSIBLE PARTY TO FINES AND PENALTIES ISSUED BY EITHER THE WAKE COUNTY EROSION CONTROL DEPARTMENT OR THE DWQ.
- CONTRACTOR SHALL SEED AND STABILIZE ALL STEEP SLOPES (GREATER THAN 2H:1V) WITHIN 7 DAYS, 10 DAYS FOR MODERATE SLOPES (3H:1V OR GREATER) AND WITHIN 14 CALENDAR DAYS EVERYWHERE ELSE (STATE LAW 2009-486).
- FOR ANY LAND-DISTURBING ACTIVITY WHERE GRADING ACTIVITIES HAVE BEEN COMPLETED, TEMPORARY OR PERMANENT GROUND COVER SUFFICIENT TO RESTRAIN EROSION SHALL BE PROVIDED AS SOON AS PRACTICAL, BUT IN NO CASE LATER THAN SEVEN (7) DAYS AFTER COMPLETING THE WORK. STABILIZATION IS THE BEST FORM OF EROSION CONTROL. TEMPORARY SEEDING IS NECESSARY TO ACHIEVE EROSION CONTROL ON LARGE DENUDEED AREAS AND WHEN SPECIFICALLY REQUIRED AS PART OF THE CONSTRUCTION SEQUENCE ON THE PLAN.
- NO DEBRIS SHALL BE TRACKED ONTO PUBLIC RIGHT OF WAY. IF THE SITUATION OCCURS WHERE MUD, ROCK AND DEBRIS IS TRACKED ONTO PAVEMENT, THE CONTRACTOR SHALL CLEAN THE PAVEMENT AND INSTALL ADDITIONAL MEASURES TO PREVENT THE FUTURE OCCURRENCE.
- THE EROSION CONTROL INSPECTOR MAY REQUIRE ADDITIONAL FIELD MEASURES AS NECESSARY TO PROVIDE ADEQUATE PROTECTION FROM RECEIVING WATER COURSES.
- EROSION AND SEDIMENT CONTROL DEVICES MUST BE INSTALLED AND INSPECTED PRIOR TO ANY GRADING ON SITE. THE CONTRACTOR SHALL CALL FOR AN INSPECTION BY NCDEQ ONCE INITIAL MEASURES ARE IN PLACE. (SEE CONSTRUCTION SEQUENCES)
- CONTRACTOR SHALL INSPECT ALL SEDIMENT EROSION CONTROL DEVICES AFTER EACH STORM EVENT. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE HALF THE CAPACITY OF THE DEVICE.
- A COPY OF THE APPROVED EROSION CONTROL PLAN MUST BE ON FILE AT THE JOB SITE AT ALL TIMES.
- CONSTRUCTION, MAINTENANCE, AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE GRADING CONTRACTOR UNLESS OTHERWISE NOTED.
- ANY GRADING BEYOND THE DENUDEED LIMITS SHOWN ON THE PLAN IS A VIOLATION OF THE CITY/COUNTY EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
- ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY A REPRESENTATIVE OF THE CITY/COUNTY ENGINEERING DEPARTMENT AND ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- PROTECTION OF EXISTING VEGETATION: AT THE START OF GRADING INVOLVING THE STRIPPING OF TOPSOIL OR LOWERING OF EXISTING GRADE AROUND A TREE, A CLEAN, SHARP, VERTICAL CUT SHALL BE MADE AT THE EDGE OF THE TREE SAVE AREA AT THE SAME TIME AS OTHER EROSION CONTROL MEASURES ARE INSTALLED. THE TREE PROTECTION FENCING SHALL BE INSTALLED ON THE SIDE OF THE CUT FARTHEST AWAY FROM THE TREE TRUNK AND SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION IN THE VICINITY OF THE TREES IS COMPLETE. NO STORAGE OF MATERIALS, FILL, OR EQUIPMENT AND NO TRESPASSING SHALL BE ALLOWED WITHIN THE BOUNDARY OF THE PROTECTED AREA AND SHALL BE POSTED ON THE PROTECTION FENCE. A PROTECTION FENCE CONSTRUCTED OF MATERIAL RESISTANT TO DEGRADATION BY SUN, WIND, AND MOISTURE FOR THE DURATION OF THE CONSTRUCTION, SHALL BE INSTALLED AT THE SAME TIME AS THE EROSION CONTROL MEASURES AND SHALL BE IN PLACE UNTIL ALL CONSTRUCTION IN THE VICINITY OF THE TREES IS COMPLETE.
- A CONSTRUCTION SEQUENCE HAS BEEN PROVIDED. INSTALLATION OF ALL PROPOSED SEDIMENTATION & EROSION CONTROL MEASURES IN THE SEQUENCE(S) PROVIDED AND MAINTENANCE OF THOSE DEVICES IS REQUIRED. THE CONTRACTOR MAY BE ALLOWED, WITH PRIOR APPROVAL FROM THE OWNER, TO COORDINATE CHANGES TO THE PLAN WITH THE ON-SITE SEDIMENTATION & EROSION CONTROL INSPECTOR AND THE ENGINEER.
- PROVIDE INLET PROTECTION AROUND ALL SITE STORM INLETS. PROTECT OPEN PIPES UNDER CONSTRUCTION WITH EITHER PLYWOOD OR WITH MESH AND GRAVEL WEIRS. RUNOFF SHALL NOT BE ALLOWED IN ANY OPEN TRENCH.
- CONTRACTOR WILL FIELD LOCATE SILT FENCE OUTLETS AT LOW POINTS IN SILT FENCE AS REQUIRED TO PROVIDE RELIEF FROM CONCENTRATED FLOWS AND PONDING.
- TEMPORARY DIVERSIONS SHALL BE MAINTAINED DAILY BY CONTRACTOR SO THAT THEY ARE FUNCTIONAL AT THE END OF EACH WORKDAY AND WHEN STOPPING WORK FOR RAIN.
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- DISTURBANCE OUTSIDE OF THE SITE PROPERTY LIMITS OR PUBLIC RIGHT-OF-WAY SHALL ONLY BE AS ALLOWED BY SIGNED GRADING AGREEMENTS AND/OR EASEMENTS BETWEEN THE DEVELOPER AND THE OFFSITE PROPERTY OWNER.
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN SAFE OPEN ACCESS TO ALL PROPERTIES ALONG ADJACENT PROPERTIES DURING CONSTRUCTION PERIOD FOR IMPROVEMENTS.
- SLOPES GREATER THAN 3:1 AND/OR GREATER THAN 10' IN VERTICAL DIFFERENCE SHALL BE INSTALLED WITH ROLLED EROSION CONTROL PRODUCT IMMEDIATELY UPON INSTALLATION.

TOK SCM PLANTING NOTES:


- THE DAM STRUCTURE, INCLUDING FRONT AND BACK EMBANKMENT SLOPES, OF THE POND SHALL BE VEGETATED WITH NON-CLUMPING TURF GRASS OR SOD. (CENTIPEDE/HYBRID-BERMUDA) 90% GERMINATION OF NON-CLUMPING TURF WILL BE REQUIRED PRIOR TO FINAL CERTIFICATION FROM THE TOWN.
- THE VEGETATED SHELF SHALL BE PLANTED WITH A MINIMUM OF THREE DIVERSE SPECIES OF HERBACEOUS, NATIVE VEGETATION AT A MINIMUM DENSITY OF 50 PLANTS PER 200 FEET OF SHELF AREA.
- CONTRACTOR TO WORK WITH SOILS SCIENTIST TO ENSURE SOILS ARE ADEQUATE TO SUPPORT PROPER ESTABLISHMENT AND GROWTH OF THE AQUATIC PLANTINGS. CONTRACTOR TO AMEND SOILS AND INSTALL SOILS IN PLANT, SHRUB, AND TREE AREAS PER DETAILS, SOIL SPECIFICATIONS, NCDENR SPECIFICATION, AND SOIL SCIENTIST RECOMMENDATIONS.
- ALL AQUATIC PLANTINGS ARE TO BE INSTALLED DURING THE APPROPRIATE TIME OF YEAR TO ENSURE SURVIVABILITY. (LAST SPRING FROST AND THE FIRST FALL FROST).
- ALL DISTURBED AREAS AROUND THE OUTSIDE OF THE DEVICE SHALL BE SEEDED WITH A LAWN AREA SEED MIX (PER SEEDING SPECIFICATIONS) NATIVE GRASSES, LEGUMES, CLOVERS, AND WILDFLOWERS.
- IF THE DEVICE WAS USED DURING CONSTRUCTION AS A SEDIMENT BASIN OR TRAP, THE BASIN MUST BE CLEANED OUT, GRADED, APPROPRIATE AREAS COVERED WITH 4" OF TOPSOIL AS SPECIFIED IN NOTE #2 ABOVE, AND VEGETATED WITHIN 14 DAYS OF THE COMPLETION OF CONSTRUCTION.
- CONTRACTOR SHALL WATER ALL VEGETATION AND GRASS ON A WEEKLY BASIS AS NEEDED TO ENSURE GRASS AND PLANT SURVIVAL UNTIL AFTER THE SCM IS CERTIFIED AND ACCEPTED BY THE TOWN.

GENERAL SEQUENCE:

- ENFORCEMENT NOTE 1:** FAILURE TO FOLLOW THIS CONSTRUCTION SEQUENCE MAY RESULT IN LOCAL ENFORCEMENT ACTIONS, INCLUDING BUT NOT LIMITED TO CIVIL PENALTIES TO \$5000 PER VIOLATION PER DAY, INJUNCTIVE RELIEF, CRIMINAL PENALTIES, AND PERMIT REVOCATION. ADDITIONALLY, OFF-SITE SEDIMENTATION MAY RESULT IN RESTORATION REQUIREMENTS.
- ENFORCEMENT NOTE 2:** IF THE WAKE COUNTY S&E STAFF DETERMINES THAT EXCESSIVE SEDIMENT IS LEAVING THE SITE, A REVISED SEDIMENTATION AND EROSION CONTROL PLAN MAY BE REQUIRED, WITH ASSOCIATED REQUIREMENTS FOR ADDITIONAL S&E MEASURES.
- CONSTRUCTION SEQUENCE**
- SCHEDULE AND HOLD A PRE-CONSTRUCTION CONFERENCE PRIOR TO BEGINNING ANY LAND-DISTURBING ACTIVITIES. THIS CONFERENCE SHOULD BE ATTENDED BY A REPRESENTATIVE OF THE FINANCIALLY RESPONSIBLE PARTY AND/OR THE GENERAL CONTRACTOR, GRADING SUB-CONTRACTOR, EROSION CONTROL SUB-CONTRACTOR AND THE WAKE COUNTY S&E OFFICE.
 - OBTAIN LAND DISTURBING PERMIT AND PLACARD, AND POST THE PLACARD ON SITE.
 - OBTAIN AN APPROVED (STAMPED) S&E CONTROL PLAN AND KEEP IT ON SITE, EITHER IN THE INSPECTION BOX, CONSTRUCTION OFFICE OR WITH THE CONTRACTOR.
 - INSTALL CONSTRUCTION EGRESS/EXITS, SILT FENCING, SEDIMENT TRAPS/BASINS, DIVERSION DITCHES, TEMPORARY PIPES, CLEAR WATER DIVERSIONS, CHECK DAMS, AND OTHER INITIAL EROSION CONTROL MEASURES AS SPECIFIED IN THE PLAN (PHASE 1). REMOVE ONLY TREES AND GROUND COVER NECESSARY TO INSTALL THESE DEVICES.
 - IF A STOCKPILE IS NECESSARY DUE TO EXCAVATION OF THE SEDIMENT TRAP/BASIN, PLACE A DOUBLE ROW OF SILT FENCE 10 FEET APART. TREES AND GROUND COVER MAY BE REMOVED ONLY AS NECESSARY FOR THIS STOCKPILE. IF MATERIAL IS GOING TO BE HAULED OFF-SITE, A SEPARATE EROSION CONTROL PERMIT MUST BE OBTAINED FOR THE DESTINATION OF THE MATERIAL.
 - PROVIDE TEMPORARY GROUND COVER FOR DIVERSION DITCHES AND SEDIMENT TRAPS/BASINS WITHIN 3 DAYS OF COMPLETION.
 - NOTIFY THE WAKE COUNTY S&E SITE INSPECTOR AFTER MEASURES HAVE BEEN INSTALLED AND PROJECT HAS STARTED.
 - BEGIN CLEARING, GRUBBING AND GRADING OF SITE IN ACCORDANCE WITH THE APPROVED S&E CONTROL PLAN.
 - FOR ANY LAND-DISTURBING ACTIVITY WHERE GRADING ACTIVITIES HAVE BEEN COMPLETED, TEMPORARY OR PERMANENT GROUND COVER SUFFICIENT TO RESTRAIN EROSION SHALL BE PROVIDED AS SOON AS PRACTICAL, BUT IN NO CASE LATER THAN SEVEN (7) DAYS AFTER COMPLETING THE WORK. STABILIZATION IS THE BEST FORM OF EROSION CONTROL. TEMPORARY SEEDING IS NECESSARY TO ACHIEVE EROSION CONTROL ON LARGE DENUDEED AREAS AND ESPECIALLY WHEN SPECIFICALLY REQUIRED AS PART OF THE CONSTRUCTION SEQUENCE ON THE PLAN.
 - REMOVE ALL EROSION CONTROL MEASURES AFTER THE WAKE COUNTY S&E OFFICE APPROVAL OF PERMANENT STABILIZATION.

LIMITS OF DISTURBANCE: 4,014,648 SF (92.16 AC)

SRG		SRG		BY	
09/01/2024		11/01/2024		DATE	
CONSTRUCTION INFRASTRUCTURE DRAWINGS CDD-24-04		TOWN OF ROLESVILLE CDD-10-24-04		REVISIONS	
1	2				No.



STRONGROCK ENGINEERING GROUP
 STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166
 305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	SRG	DRAWN BY	CHECKED BY JWL
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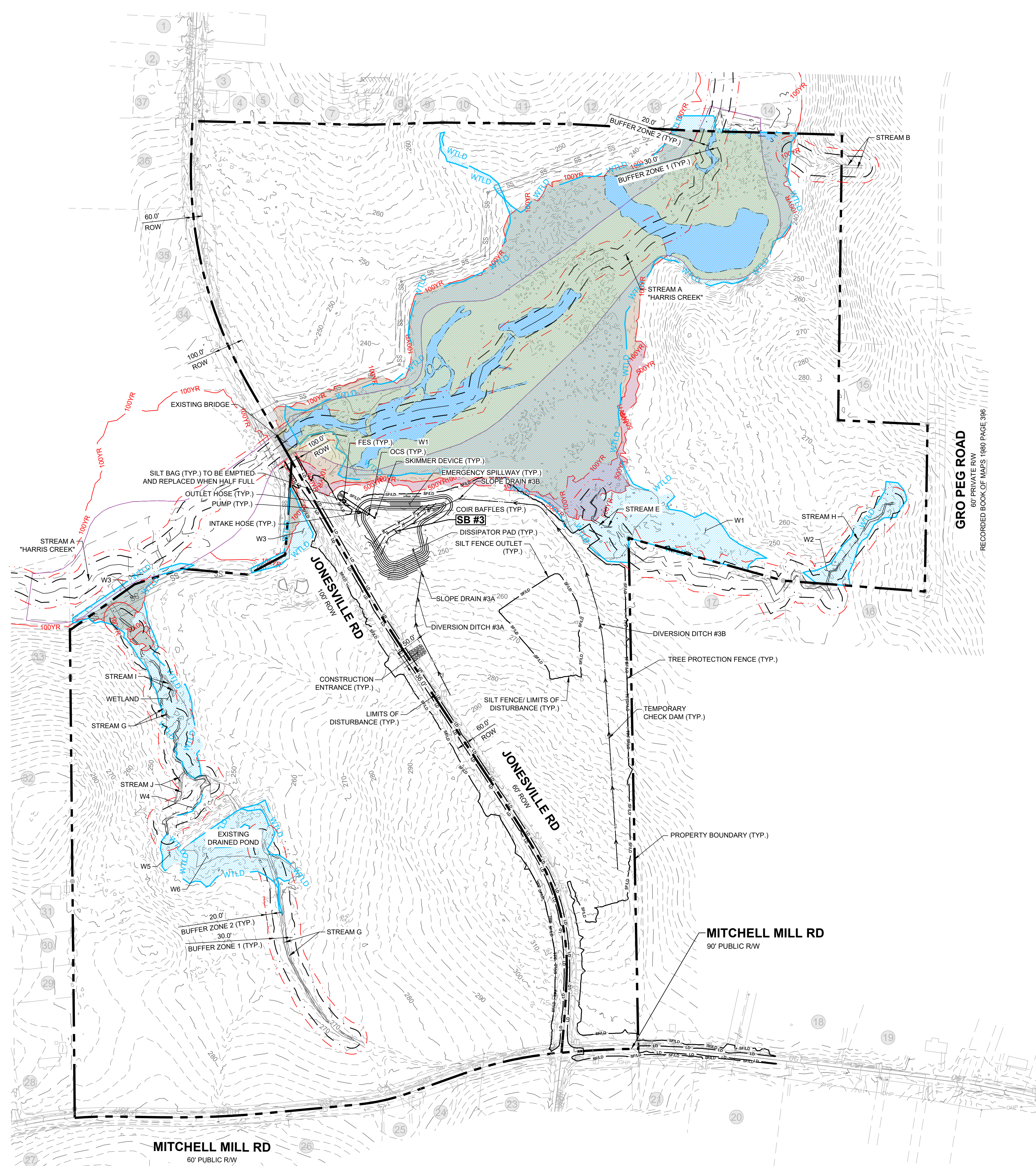
HILLS AT HARRIS CREEK
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
CONSTRUCTION PLANS
EROSION CONTROL NOTES

DRAWING SHEET
C-10.0
59 OF 176

ADJOINER INFORMATION

1	CHARLES E. FERRELL AND WIFE GRETTE LOUISE FERRELL PIN: 1757481951 DB 1813 PG 421 ZONING: R-30 (WC) USE: SF	20	CECIL L. GOODNIGHT AND WIFE JUDY J. GOODNIGHT PIN: 1757650296 DB 5344 PG 819 ZONING: R-30 (WC) USE: SF
2	ABRAHAM T. BURNHAM AND KYLA L. BURNHAM PIN: 1757481832 DB 1940 PG 734 ZONING: R-30 (WC) USE: SF	21	CECIL L. GOODNIGHT AND WIFE JUDY J. GOODNIGHT PIN: 1757641415 DB 5344 PG 819 ZONING: R-30 (WC) USE: VA
3	JOE L. GREEN PIN: 1757483799 DB 15-E PG 2091 ZONING: R-30 (WC) USE: SF	22	CHRISTOPHER GHOLSON AND WIFE KELLY GAITHER GHOLSON PIN: 1757555361 DB 17855 PG 457 LOT 4 - BM 2018 PG 1333 ZONING: R-30 (WC) USE: SF
4	CHARLES ALFONSA JONES AND WIFE ALLIE V. JONES PIN: 1757484609 DB 2305 PG 673 ZONING: R-30 (WC) USE: SF	23	ABAHOR ELIAS AND SPOUSE SUSAN ELIAS PIN: 1757553215 DB 1722 PG 2989 LOT 3 - BM 2018 PG 1333 ZONING: R-30 (WC) USE: SF
5	BENJAMIN FERRELL PIN: 1757485713 DB 1497 PG 465 ZONING: R-30 (WC) USE: SF	24	TODD KENDALL HONEYCUTT PIN: 1757551202 DB 13474 PG 1974 LOT 2 - BM 2018 PG 1333 ZONING: R-30 (WC) USE: SF
6	ALESIA FERRELL & ARRON WALKER PIN: 1757486733 DB 674 PG 89 BM 1996 PG 00524 ZONING: R-30 (WC) USE: SF	25	CURTIS L. HONEYCUTT AND WIFE TODD KENDALL PIN: 1757540996 DB 15289 PG 2474 LOT 1 - BM 2018 PG 1333 ZONING: R-30 (WC) USE: SF
7	CHRIST HOLINESS CHURCH #1 PIN: 1757487783 DB 2928 PG 328 ZONING: R-30 (WC) USE: CH	26	PHETIS JONES BRADSHER PIN: 1757349473 DB 15208 PG 2320 BM 2013 PG 868 ZONING: R-30 (WC) USE: FO
8	CHRIST HOLINESS CHURCH #1 PIN: 1757489733 DB 4321 PG 786 ZONING: R-30 (WC) USE: VA	27	PHETIS JONES BRADSHER PIN: 1757349473 DB 15208 PG 2320 ZONING: R-30 (WC) USE: FO
9	CHRIST HOLINESS CHURCH #1 PIN: 1757580764 DB 8467 PG 430 ZONING: R-30 (WC) USE: VA	28	PERR Y. ELWOOD RYAN PIN: 1757580764 DB 8467 PG 430 ZONING: R-30 (WC) USE: MO
10	ALICIA BROWN & CARL T. JONES PIN: 1757582714 DB 10128 PG 153 ZONING: R-30 (WC) USE: SF	29	TOUTLOFF, KENNETH S. TOUTLOFF, BILLIE ANNE PIN: 1757537674 DB 9236 PG 2229 LOT 3 - BM 1990 PG 956 ZONING: R-30 (WC) USE: SF
11	RS RENTAL II LLC PIN: 1757584724 DB 18703 PG 2414 BM 1991 PG 894 ZONING: R-30 (WC) USE: SF	30	BERNARD MILLER PIN: 1757357865 DB 15416 PG 1651 LOT 4 - BM 1990 PG 956 ZONING: R-30 (WC) USE: SF
12	KAREN E. BASS PIN: 1757585704 DB 12560 PG 1626 BM 1984 PG 943 ZONING: R-30 (WC) USE: SF	31	MARCIE L. HOLDEN PIN: 1757358908 DB 15539 PG 1000 LOT 5 - BM 1990 PG 956 ZONING: R-30 (WC) USE: SF
13	JAMES K. WILLIAMS PIN: 1757585784 DB 16784 PG 1013 BM 1989 PG 01474 ZONING: R-30 (WC) USE: VA	32	MEGAN KULAWIAK PIN: 1757367367 DB 16226 PG 1133 LOT 6 BM 1989 PG 00387 ZONING: R-30 (WC) USE: VA
14	GRO PEG PROPERTIES LLC PIN: 1757584897 DB 18359 PG 1707 LOT 5 - BM 1980 PG 00396 ZONING: R-30 (WC) USE: VA	33	KENNETH INVESTMENT LLC PIN: 1757368816 DB 19248 PG 1884 ZONING: R-30 (WC) USE: VA
15	SCOTT & THERESA CARLE PIN: 1757578786 DB 14863 PG 2493 LOT 4A - BM 1980 PG 00396 ZONING: R-30 (WC) USE: VA	34	KENNETH INVESTMENT LLC PIN: 1757471559 DB 19248 PG 1884 LOT - BM 2007 PG 01224 ZONING: R-30 (WC) USE: VA
16	GRO PEG PROPERTIES PIN: 1757664956 DB 19081 PG 2786 LOT 2A - BM 1982 PG 00581 ZONING: R-30 (WC) USE: VA	35	HENRY ALSTON PIN: 1757481376 DB 19248 PG 984 BM 1982 PG 721 ZONING: R-30 (WC) USE: SF
17	MT. CALVARY HOLINESS CHURCH OF WAKE CO. INC PIN: 1757566034 DB 10124 PG 2778 LOT 1 - BM 2002 PG 991 ZONING: R-30 (WC) USE: VA	36	UNIVERSAL CHURCH OF PRAYER PIN: 1757368408 DB 19559 PG 1723 LOT 1 - BM 2002 PG 00667 ZONING: R-30 (WC) USE: CH
18	G. ARCHIE UNDERHILL, JR. AND WIFE, TERESSA C. UNDERHILL PIN: 1757653765 DB 8443 PG 0129 BM 1999 PG 1357 ZONING: R-30 (WC) USE: SF	37	ROZELIA J. HARTSFIELD HEIRS PIN: 1757481740 DB 10-E PG 1220 ZONING: R-30 (WC) USE: VA
19	GENADIUS MAC FREDDY AND WIFE, MATTIE F. FREDDY PIN: 1757656586 DB 1882 PG 342 ZONING: R-30 (WC) USE: SF		

NOTE:
EROSION CONTROL NOTES: SEE SHEET C-10.0



LEGEND:

- EXISTING ADJOINER PROPERTY LINE
- - - EXISTING EDGE OF PAVEMENT
- - - EX. MAJOR CONTOURS
- - - EX. MINOR CONTOURS
- - - SILT FENCE/LIMITS OF DISTURBANCE
- - - TREE PROTECTION LINE
- - - TEMPORARY DITCH
- - - BAFFLES
- - - TEMPORARY SLOPE DRAIN
- - - TEMPORARY SKIMMER
- - - SILT FENCE OUTLET
- - - CHECK DAM
- - - DISSIPATOR PAD
- - - CONSTRUCTION ENTRANCE
- - - EXISTING WETLAND

1	CONSTRUCTION INFRASTRUCTURE DRAWINGS CDD-24-04	NO.	DATE
2	TOWN OF ROLESVILLE CDD V2-24-04	REVISIONS	

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 305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

Professional Engineer Seal: JUSTIN W. L. AMBERG, No. 036225

STRONG ROCK PROJECT PSP-24-03
 NOT FOR CONSTRUCTION
 SCALE AS SHOWN
 DESIGNED BY JWL
 DRAWN BY SRG
 CHECKED BY JWL

RESERVE @ MITCHELL MILL
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
 CONSTRUCTION PLANS
 EROSION CONTROL PLAN
 OVERALL PHASE 1 - STAGE 1

DRAWING SHEET
C-10.1

60 OF 176

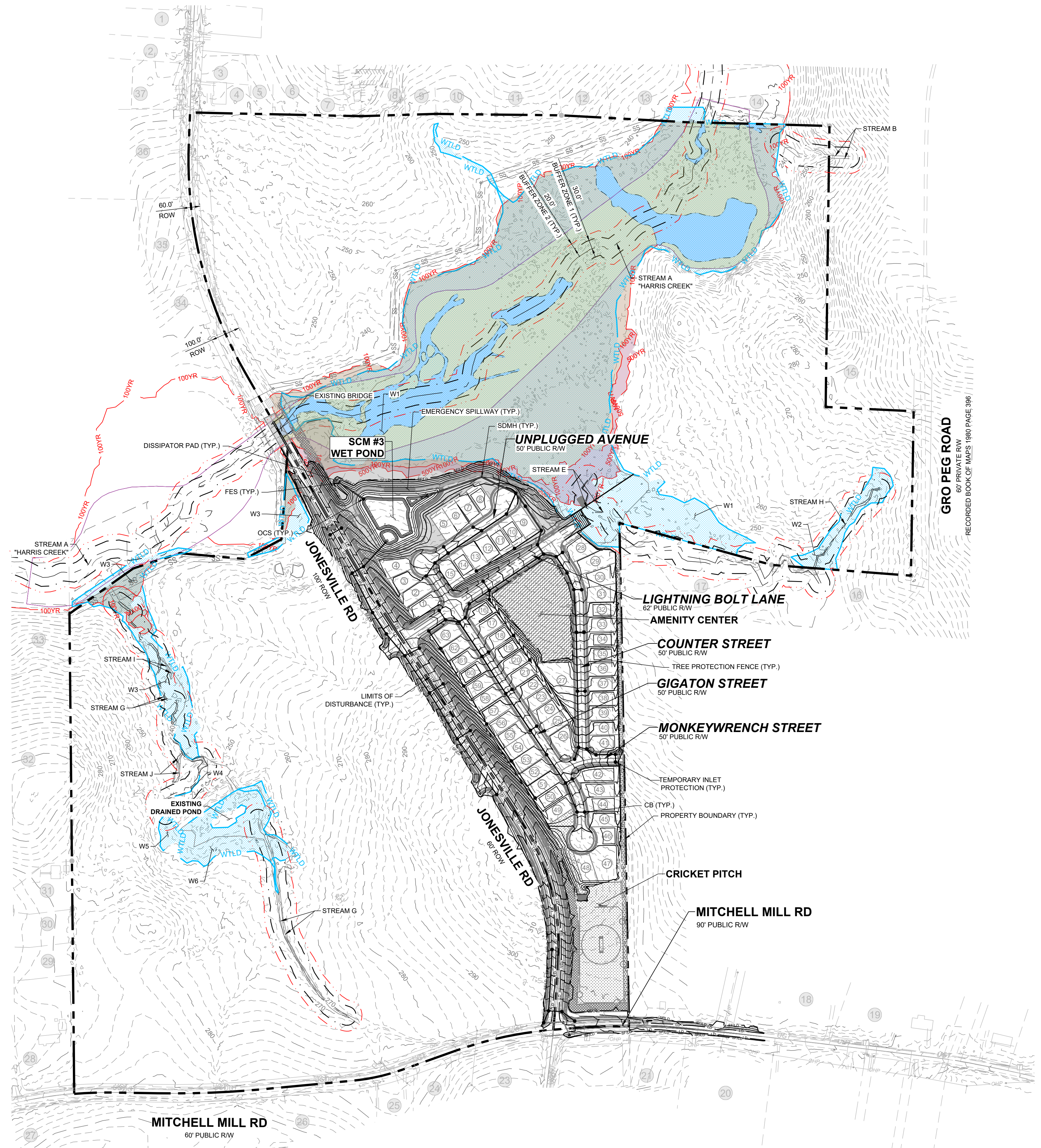
MAGNETIC NORTH 1980 PG 396
 ADOPTED BOM 1980 PG 396

7°32'15.0"
 GRID NORTH - NAD 83
 ADOPTED BOM 1993 PG 655

GRAPHIC SCALE
 (IN FEET)
 1 inch = 200 ft

THIS PLANSET AND ANY ASSOCIATED DOCUMENTS ARE PRELIMINARY AND NOT AUTHORIZED FOR CONSTRUCTION UNTIL SIGNED, DATED, AND OFFICIALLY RELEASED FOR CONSTRUCTION BY THE ENGINEER OF RECORD.

ADJOINER INFORMATION		
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19	GENADIUS MAC FREDDY AND WIFE, MATTIE F. FREDDY PIN: 1757656586 DB 1882 PG 342 ZONING: R-30 (WC) USE: SF	



LEGEND:

---	EXISTING ADJOINER PROPERTY LINE
---	EXISTING EDGE OF PAVEMENT
---	EX. MAJOR CONTOURS
---	EX. MINOR CONTOURS
---	PROP. MAJOR CONTOURS
---	PROP. MINOR CONTOURS
---	STANDARD CURB & GUTTER
---	PROPOSED STORM DRAIN LINE
---	PROPOSED LOT LINE
---	SILT FENCE/LIMITS OF DISTURBANCE
---	LIMITS OF DISTURBANCE
---	SANITARY SEWER LINE
---	SANITARY MANHOLE
---	INLET PROTECTION
---	TEMPORARY SKIMMER
---	SILT FENCE OUTLET
---	DISSIPATOR PAD
---	EXISTING WETLAND

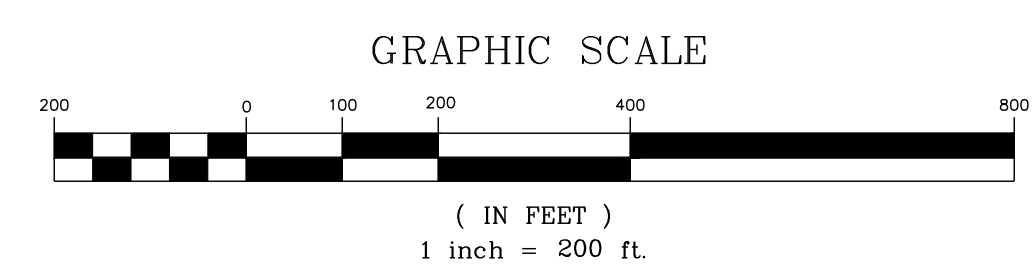
NO.	REVISIONS	DATE
1		
2		

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 305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM
 STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166

STRONG ROCK PROJECT	STRONG ROCK PROJECT
PSP-24-03	PSP-24-03
NOT FOR CONSTRUCTION	NOT FOR CONSTRUCTION
SCALE AS SHOWN	SCALE AS SHOWN
DESIGNED BY JWL	DESIGNED BY JWL
DRAWN BY SRG	DRAWN BY SRG
CHECKED BY JWL	CHECKED BY JWL

RESERVE @ MITCHELL MILL
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
CONSTRUCTION PLANS
EROSION CONTROL PLAN OVERALL
PHASE 1 - STAGE 2 & 3

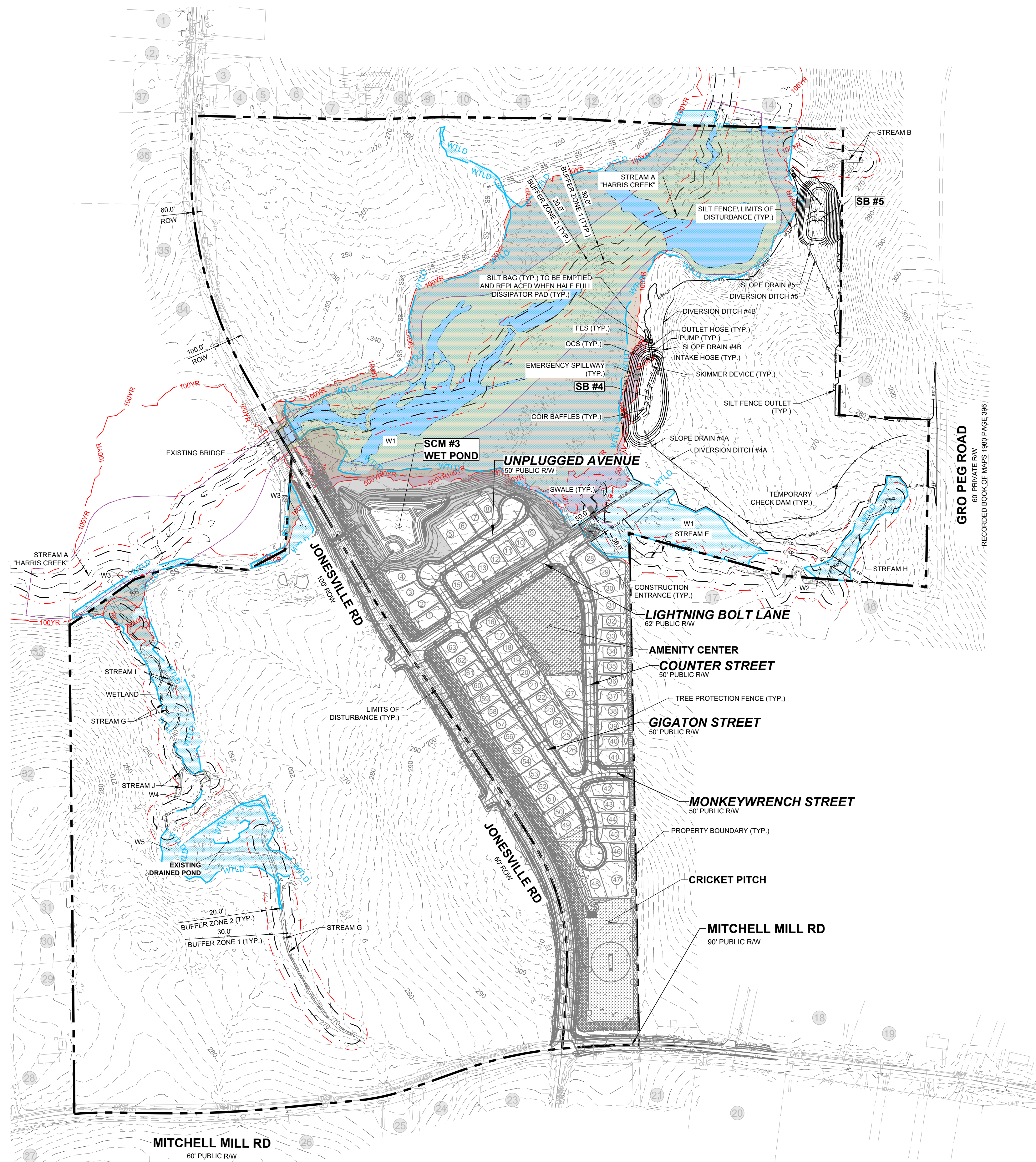
NOTE:
 EROSION CONTROL NOTES: SEE SHEET C-10.0



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12	KAREN E. BASS PIN: 1757686704 DB 12580 PG 1626 BM 1984 PG 343 ZONING: R-30 (WC) USE: SF	31	MARCI L. HOLDEN PIN: 1757358908 DB 15599 PG 1003 LOT 5 - BM 1990 PG 956 ZONING: R-30 (WC) USE: SF
13	JAMES K. WILLIAMS PIN: 1757688784 DB 16784 PG 1013 BM 1980 PG 01474 ZONING: R-30 (WC) USE: VA	32	MEGAN KULAWIAK PIN: 1757307367 DB 16226 PG 1133 LOT 6 BM 1990 PG 00387 ZONING: R-30 (WC) USE: VA
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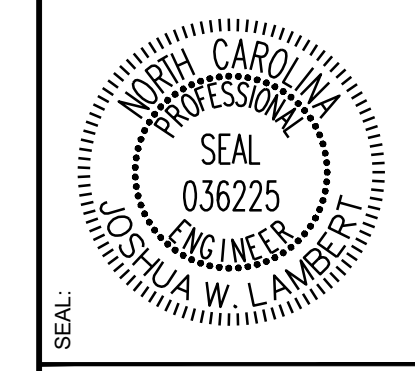
NOTE:
EROSION CONTROL NOTES: SEE SHEET C-10.0



LEGEND:

- EXISTING ADJOINER PROPERTY LINE
- - - EXISTING EDGE OF PAVEMENT
- - - 300 EX. MAJOR CONTOURS
- - - EX. MINOR CONTOURS
- SILT FENCE/LIMITS OF DISTURBANCE
- LD LIMITS OF DISTURBANCE
- TPF TREE PROTECTION LINE
- TEMPORARY DITCH
- BARRIERS
- TEMPORARY SLOPE DRAIN
- TEMPORARY SKIMMER
- SILT FENCE OUTLET
- CHECK DAM
- DISSIPATOR PAD
- CONSTRUCTION ENTRANCE
- EXISTING WETLAND

NO.	REVISIONS	DATE	BY
1			
2			

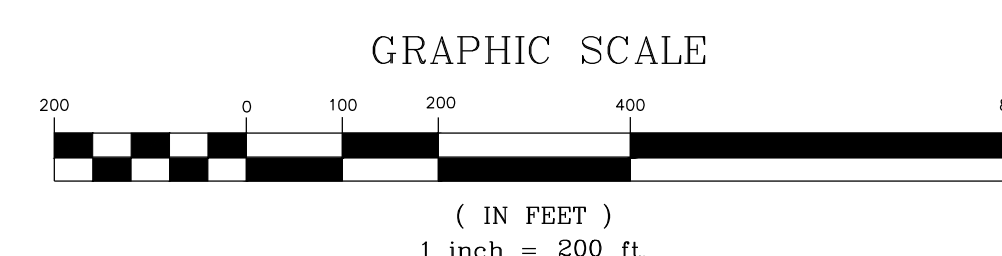


STRONGROCK
ENGINEERING GROUP

STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166
305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
PSP-24-03		AS SHOWN	JWL	SRG	JWL

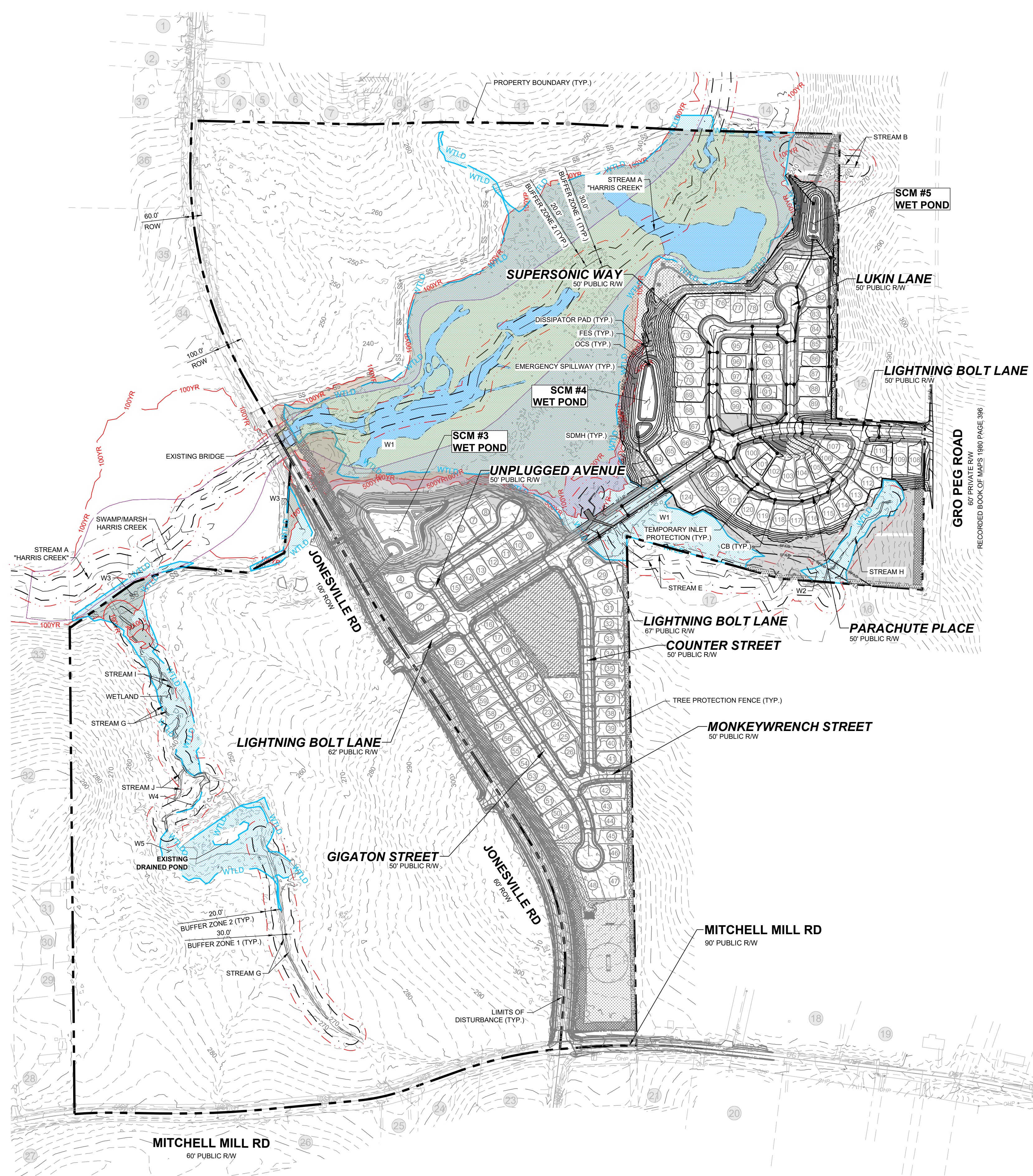
RESERVE @ MITCHELL MILL
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
CONSTRUCTION PLANS
EROSION CONTROL PLAN
OVERALL PHASE 2 - STAGE 1



THIS PLANSET AND ANY ASSOCIATED DOCUMENTS ARE PRELIMINARY AND NOT AUTHORIZED FOR CONSTRUCTION UNTIL SIGNED, DATED, AND OFFICIALLY RELEASED FOR CONSTRUCTION BY THE ENGINEER OF RECORD.

ADJOINER INFORMATION			
1	CHARLES E. FERRELL AND WIFE GRETTE LOUISE FERRELL PIN: 1757481951 DB 1813 PG 421 ZONING: R-30 (WC) USE: SF	20	CECIL L. GOODNIGHT AND WIFE JUDY J. GOODNIGHT PIN: 1757650296 DB 5344 PG 819 ZONING: R-30 (WC) USE: SF
2	ABRAHAM T. BURNHAM AND KYLA L. BURNHAM PIN: 1757481832 DB 1940 PG 734 ZONING: R-30 (WC) USE: SF	21	CECIL L. GOODNIGHT AND WIFE JUDY J. GOODNIGHT PIN: 1757641415 DB 5344 PG 819 ZONING: R-30 (WC) USE: VA
3	JOE L. GREEN PIN: 1757483799 DB 15-E PG 2691 ZONING: R-30 (WC) USE: SF	22	CHRISTOPHER GHOLSON AND WIFE KELLY GAITHER GHOLSON PIN: 1757555381 DB 17855 PG 457 LOT 4 - BM 2018 PG 1333 ZONING: R-30 (WC) USE: SF
4	CHARLES ALFONSA JONES AND WIFE ALLIE V. JONES PIN: 1757484609 DB 2305 PG 673 ZONING: R-30 (WC) USE: SF	23	ABAHOR ELIAS AND SPOUSE SUSAN ELIAS PIN: 1757553215 DB 17220 PG 2989 LOT 3 - BM 2018 PG 1333 ZONING: R-30 (WC) USE: SF
5	BENJAMIN FERRELL PIN: 1757485713 DB 1897 PG 465 ZONING: R-30 (WC) USE: SF	24	TODD KENDALL HONEYCUTT PIN: 1757551202 DB 13474 PG 1974 LOT 2 - BM 2018 PG 1333 ZONING: R-30 (WC) USE: SF
6	ALESIA FERRELL & ARRON WALKER PIN: 1757486733 DB 674 PG 89 BM 1996 PG 00524 ZONING: R-30 (WC) USE: SF	25	CURTIS L. HONEYCUTT AND WIFE TODD KENDALL PIN: 1757540996 DB 15289 PG 2474 LOT 1 - BM 2018 PG 1333 ZONING: R-30 (WC) USE: SF
7	CHRIST HOLINESS CHURCH #1 PIN: 1757487783 DB 2928 PG 328 ZONING: R-30 (WC) USE: CH	26	PHETIS JONES BRADSHER PIN: 1757349473 DB 15208 PG 2320 BM 2013 PG 868 ZONING: R-30 (WC) USE: FO
8	CHRIST HOLINESS CHURCH #1 PIN: 1757489733 DB 4321 PG 786 ZONING: R-30 (WC) USE: VA	27	PHETIS JONES BRADSHER PIN: 1757349473 DB 15208 PG 2320 ZONING: R-30 (WC) USE: FO
9	CHRIST HOLINESS CHURCH #1 PIN: 1757580764 DB 8467 PG 430 ZONING: R-30 (WC) USE: VA	28	PERR Y. ELWOOD RYAN PIN: 1757378267 DB 19292 PG 2780 ZONING: R-30 (WC) USE: MO
10	ALICIA BROWN & CARL T. JONES PIN: 1757582714 DB 10128 PG 153 ZONING: R-30 (WC) USE: SF	29	TOUTLOFF, KENNETH S. TOUTLOFF, BILLIE ANNE PIN: 1757357764 DB 9236 PG 2229 LOT 3 - BM 1990 PG 956 ZONING: R-30 (WC) USE: SF
11	RS RENTAL II LLC PIN: 1757584724 DB 18703 PG 2414 BM 1991 PG 958 ZONING: R-30 (WC) USE: SF	30	BERNARD MILLER PIN: 1757357865 DB 15416 PG 1651 LOT 4 - BM 1990 PG 958 ZONING: R-30 (WC) USE: SF
12	KAREN E. BASS PIN: 1757585704 DB 12560 PG 1628 BM 1984 PG 943 ZONING: R-30 (WC) USE: SF	31	MARCIE L. HOLDEN PIN: 1757358908 DB 15539 PG 1000 LOT 5 - BM 1990 PG 956 ZONING: R-30 (WC) USE: SF
13	JAMES K. WILLIAMS PIN: 1757585784 DB 16784 PG 1013 BM 1989 PG 01474 ZONING: R-30 (WC) USE: VA	32	MEGAN KULAWIAK PIN: 1757367387 DB 16226 PG 1133 LOT 6 BM 1989 PG 00387 ZONING: R-30 (WC) USE: VA
14	GRO PEG PROPERTIES LLC PIN: 1757684897 DB 18359 PG 1707 LOT 5 - BM 1980 PG 00396 ZONING: R-30 (WC) USE: VA	33	KENNETH INVESTMENT LLC PIN: 1757368816 DB 19248 PG 1884 ZONING: R-30 (WC) USE: VA
15	SCOTT & THERESA CARLE PIN: 1757678786 DB 14863 PG 2493 LOT 4A - BM 1980 PG 00396 ZONING: R-30 (WC) USE: VA	34	KENNETH INVESTMENT LLC PIN: 1757471559 DB 19248 PG 1884 LOT - BM 2007 PG 01224 ZONING: R-30 (WC) USE: VA
16	GRO PEG PROPERTIES PIN: 1757664956 DB 19081 PG 2786 LOT 2A - BM 1982 PG 00581 ZONING: R-30 (WC) USE: VA	35	HENRY ALSTON PIN: 1757481376 DB 19248 PG 984 BM 1982 PG 721 ZONING: R-30 (WC) USE: SF
17	MT. CALVARY HOLINESS CHURCH OF WAKE CO. INC PIN: 1757660324 DB 10124 PG 2778 LOT 1 - BM 2002 PG 991 ZONING: R-30 (WC) USE: CH	36	UNIVERSAL CHURCH OF PRAYER PIN: 1757388408 DB 19559 PG 1723 LOT - BM 2002 PG 00667 ZONING: R-30 (WC) USE: CH
18	G. ARCHIE UNDERHILL, JR. AND WIFE, TERESSA C. UNDERHILL PIN: 1757663765 DB 8443 PG 2129 BM 1999 PG 1357 ZONING: R-30 (WC) USE: SF	37	ROZELIA J. HARTSFIELD HEIRS UNDERHILL PIN: 1757481740 DB 10-E PG 1220 ZONING: R-30 (WC) USE: VA
19	GENADIUS MAC FREDDY AND WIFE, MATTIE F. FREDDY PIN: 1757656586 DB 1882 PG 342 ZONING: R-30 (WC) USE: SF		

NOTE:
EROSION CONTROL NOTES: SEE SHEET C-10.0



LEGEND:

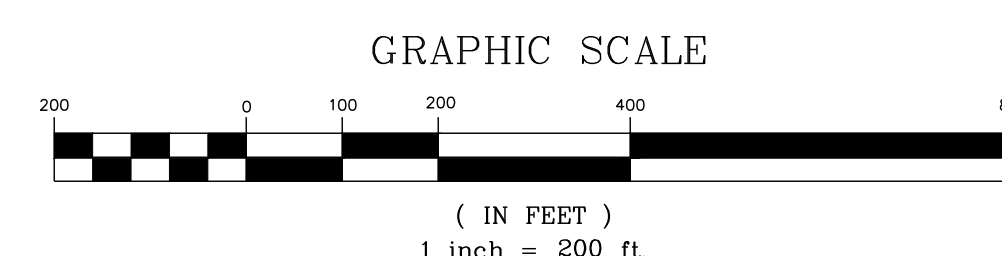
- EXISTING ADJOINER PROPERTY LINE
- - - EXISTING EDGE OF PAVEMENT
- EX. MAJOR CONTOURS
- EX. MINOR CONTOURS
- PROP. MAJOR CONTOURS
- PROP. MINOR CONTOURS
- STANDARD CURB & GUTTER
- PROPOSED STORM DRAIN LINE
- PROPOSED LOT LINE
- SILT FENCE/LIMITS OF DISTURBANCE
- LIMITS OF DISTURBANCE
- SANITARY SEWER LINE
- SANITARY MANHOLE
- INLET PROTECTION
- TEMPORARY SKIMMER
- SILT FENCE OUTLET
- DISSIPATOR PAD
- EXISTING WETLAND

NO.	REVISIONS	DATE	BY
1			
2			

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PHASE 2 - STAGE 2 & 3



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