

RESERVE @ MITCHELL MILL

CONSTRUCTION PLANS

TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

SITE INFORMATION:

LOCATION: 5109 MITCHELL MILL ROAD
 COUNTY: WAKE COUNTY
 PARENT PIN: 175751035
 DB/PG: DB 8659, PG 354
 ZONING: RM-CZ & NC-CZ
 TOTAL ACREAGE: 6,041,336 SF (138.69 AC)
 NC-CZ ZONE ACREAGE: 54.08 AC
 RESIDENTIAL ZONE RM-CZ: 84.61 AC
 MAXIMUM UNITS PERMITTED: 395 UNITS (134 TOWNHOMES)
 ZONING AND ANNEXATION: MA 22-06 & ANX22-03

BUILDING SETBACKS (MIN) RM-CZ CLUSTER OPTION

FRONT: 20'
 SIDE: 5'
 REAR: 20'
 CORNER: 10'

BUILDING SETBACKS (MIN) NC-CZ

FRONT: 15'
 SIDE: 10'
 REAR: 10'

TOWNHOME SETBACKS NC-CZ

FRONT: 20'
 SIDE (STREET FRONTAGE): 10'
 REAR: 20'
 BUILDING SEPARATION: 30'
 PARKING REQUIREMENT: 2.25 CARS PER UNIT
 SHOWN UNITS: 118
 REQUIRED PARKING: 248
 OFF-STREET PARKING: 265

RIGHT OF WAY & OTHER AREAS:

NATURAL WETLANDS: 1,215,431 SF (27.90 AC)

OVERALL & PERIMETER STANDARDS:

SITE PERIMETER BUFFER TYPE 2
 THOROUGHFARE BUFFER (JONESVILLE & MITCHELL MILL)

LOT ACREAGE:

NC ZONING DISTRICT

	DSF:	TOWNHOME:
TOTAL NUMBER PROPOSED LOTS:	83 LOTS	118 LOTS
MINIMUM PROPOSED LOT SIZE:	5,000 SF	2,000 SF
MAXIMUM PROPOSED LOT SIZE:	8,545 SF	2,131 SF
MINIMUM LOT WIDTH:	50'	
MINIMUM LOT LENGTH:	100'	
PROPOSED DENSITY:	4.41 UNITS/AC	

RM ZONE

	DSF:
TOTAL NUMBER PROPOSED LOTS:	189 LOTS
MINIMUM PROPOSED LOT SIZE:	5,000 SF
MAXIMUM PROPOSED LOT SIZE:	13,548 SF
MINIMUM LOT WIDTH:	50'
PROPOSED DENSITY:	2.23 UNITS/AC

OPEN SPACE BREAKDOWN:

SEE OPEN SPACE CHART PAGES C-6
 GREENWAY: 5,596 LF

IMPERVIOUS AREAS:

NC ZONING DISTRICT

BUA:	413,891 SF (9.50 AC)
ROADWAYS & SIDEWALKS:	404,587 SF (9.29 AC)
PONDS:	134,840 SF (3.09 AC)
TOTAL ON-SITE IMPERVIOUS AREA:	953,118 SF (21.88 AC)
TOTAL ON-SITE IMPERVIOUS PERCENT:	40.46%

RM-CZ ZONE

BUA:	625,597 SF (14.36 AC)
ROADWAYS & SIDEWALKS:	476,043 SF (10.93 AC)
PONDS:	145,831 SF (3.35 AC)
TOTAL ON-SITE IMPERVIOUS AREA:	1,247,471 SF (28.64 AC)
TOTAL ON-SITE IMPERVIOUS PERCENT:	33.85%



VICINITY MAP

1" = 600'

OWNER:

HOPPER COMMUNITIES
 CONTACT: BILL HARRELL
 BHARRELL@HOPPERCOMMUNITIES.COM

SURVEYOR:

THE TIMMONS GROUP
 5410 TRINITY ROAD, Suite 102 | RALEIGH, NC 27607
 TEL 919.866.4951

ENVIRONMENTAL CONSULTANT:

SOIL & ENVIRONMENTAL CONSULTANTS
 8412 FALLS OF NEUSE RD, SUITE 104
 RALEIGH, NC 27615

CIVIL ENGINEERING:

STRONGROCK ENGINEERING GROUP
 305 CHURCH AT NORTH HILLS ST, SUITE 1110
 RALEIGH, NC 27609
 INFORMATION@STRONGROCKGROUP.COM

FRIS MAP # 3720175700K
 PANEL # 1757
 EFFECTIVE DATE: 07/19/2022

RALEIGH WATER INSPECTIONS QUANTITIES TABLE

- Cover sheet (Subdivision and Site Plans)

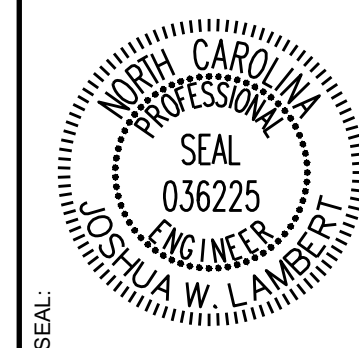
RALEIGH WATER INSPECTIONS QUANTITIES (SUBDIVISIONS AND SITE PLANS)

Phase Number(s)	PHASE 1	PHASE 2	PHASE 3
Number of Lot (s)			
Number of Units			
Public Water (LF)			
Public Sewer (LF)			
Public Force Main (LF)			
Private Sewer* (LF)			
Water Service Stubs (Quantity)			
Sewer Service Stubs (Quantity)			
Average Daily Flow per phase**			
COMMERCIAL PROJECTS WITH SINGLE WATER AND SEWER SERVICE			
Fire Service (Size)			
Domestic Meter Size			
Irrigation Meter Size			
Average Daily Flow per phase**			

*Sewer mains and manholes as part of a collection system
 **Entire Project Flow. Based on 75gpd per bedroom for residential (Apartments, single Family dwelling, townhouse, condos), or based on 15A NCAC 02T .0114 Wastewater Design Flow Rates for Commercial and Industrial.
 The meter size must match domestic service size (Exemption - 3/4" service tap with 5/8" meter)

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NO.	REVISIONS	DATE	BY
01			
02			
03			



STRONGROCK
 ENGINEERING GROUP
 STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166
 305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

PROJECT	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
STRONG ROCK PROJECT P-2166	AS SHOWN	JWL	SRG	JWL

RESERVE @ MITCHELL MILL
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
 CONSTRUCTION PLANS
 COVER SHEET

DRAWING SHEET
C-1.0



CONDITIONS OF APPROVAL:
 A WATER MODEL WILL BE REQUIRED TO BE COMPLETED BY THE PROJECT ENGINEER TO DEMONSTRATE THAT THE PROPOSED WATERLINE EXTENSION WILL PROVIDE ADEQUATE FIRE FLOW AND PRESSURE FOR THE PROPOSED DEVELOPMENT.

EXHIBIT D
MIXED-USE NEIGHBORHOOD CENTER CONDITIONAL ZONING
DISTRICT (NC-CZ) AND RESIDENTIAL MEDIUM DENSITY CONDITIONAL ZONING DISTRICT (RM-CZ) ZONING CONDITIONS

- Conditions Applicable to the entire property:
1. The subject property shall be developed generally in accordance with the sketch plan attached hereto as Exhibit 1 and incorporated herein as if fully set out.
2. The total number of dwellings on the subject property shall not exceed 305 dwelling units and no more than 134 of these dwelling units shall be permitted to be Dwellings, Single Family, Attached (Townhouse).
3. Minimum of 1500 sq ft of non-residential building area shall be permitted (issuance of a building permit) prior to permitting (issuance of a building permit) more than 107 dwelling units.
4. Affordable Housing:
a. Prior to the issuance of the first building permit for a dwelling unit, the property owner shall donate Sixty Thousand Dollars and No Cents (\$60,000.00) to Homes for Heroes.
b. Prior to the issuance of the 200th building permit, the property owner shall donate one (1) Dwelling, Single Family, Attached (Townhouse) to Passage Homes, CASA, Habitat for Humanity of Wake County or other similar organization providing homes to low-income people.
5. Pollinator Plantings:
At least twenty percent (20%) of the landscaping planted in common areas on the subject property shall utilize plant materials that are listed as Native Pollinator Plants on North Carolina Wildlife Federation (NCWF) or other resources for native plants recommended by the NCWF on their website, currently found at https://www.ncwf.org/habitat/landscape-ideas/. Where evergreen plantings or street trees are required by the Raleigh Land Development Ordinance as the same may be amended from time to time, pollinator plantings shall not be required. Nothing herein shall be construed to limit the plant materials permitted on individual residential lots. Compliance with this condition shall be demonstrated at construction infrastructure drawings for each phase.
6. Recreational Amenities:
The following recreational amenities shall be provided generally as shown on the attached Exhibit 1 as a part of the development of the subject property and dedicated to the Homeowner's Association except for those areas offered to and accepted by the Town of Rolesville:
a. A swimming pool and cabana, including changing rooms and restrooms shall be constructed prior to the issuance of the 150th building permit for a dwelling unit;
b. At least one fenced playground shall be constructed prior to the issuance of the 150th building permit for a dwelling unit;
c. At least one fenced dog park shall be constructed prior to the issuance of the 150th building permit for a dwelling unit;
d. Public greenway on a greenway easement dedicated to the Town of Rolesville with paved trails at least ten feet wide (10') shall be constructed generally as shown on the attached Exhibit 1;
e. A greenway trail head with at least four (4) parking spaces shall be constructed generally as shown on Exhibit 1 and offered to the Town of Rolesville for use as a greenway trail head prior to the issuance of the 200th building permit for a dwelling unit. The Town of Rolesville may accept or reject the offer of dedication in its sole discretion prior to the issuance of the 250th building permit. If the Town of Rolesville accepts dedication of this trailhead, the area dedicated to the Town of Rolesville shall be conserved to this project as active open space. If the Town of Rolesville does not accept or reject the dedication of this area in writing prior to issuance of the 250th building permit, it shall be dedicated to the homeowner's association.
f. At least one (1) community garden shall be provided prior to issuance of the 330th building permit for a dwelling unit; and
g. At least one (1) acre of undeveloped land in the area located at the northeast quadrant of the intersection of Jonesville Road and Mitchell Mill Road shall be offered to the Town of Rolesville generally as shown on the attached Exhibit 1 for

Date:
Signature: Print Name: Giny Wheeler
Date: 3-7-24
Signature: Print Name: Stephen Wheeler
Date: 3/7/2024
Signature: Print Name: Leigh Fowler
Date: 3/7/2024
Signature: Print Name: James Robert Fowler, III
Date: 3-7-24

- recreational uses prior to the issuance of the 150th building permit for a dwelling unit. The Town of Rolesville may accept or reject the offer of dedication in its sole discretion prior to the issuance of the 200th building permit. If the Town of Rolesville accepts dedication of this property, the area dedicated to the Town of Rolesville shall be conserved to this project as active open space. If the Town of Rolesville does not accept or reject the dedication of this area in writing prior to the issuance of the 200th building permit, it shall be dedicated to the homeowner's association.
7. Additional Driveway Access and Crosswalk to Commercial Area:
Prior to the issuance of the first building permit, the property owner shall apply to NCDOT to allow the installation of an additional driveway access and cross-walk across Jonesville Road from the property and Jonesville Road, both as generally shown as "Potential Additional Driveway and Cross Walk Connection Per Condition #7 of Zoning Conditions" on Exhibit 1. The application to NCDOT shall include a plan for the driveway connection and crosswalk drawn by an engineer and an update to the existing traffic impact analysis prepared by a traffic engineer. If NCDOT approves such a crosswalk and/or driveway access, the property owner shall install them in accordance with the requirements of NCDOT.
8. Transportation Improvements:
To address transportation impacts reasonably expected to be generated by the development, the following road improvements shall be installed in accordance with future phasing plans approved by the Town:
a. Jonesville Road:
i. Widen Jonesville Road along the site frontage between Site Access 1 and Mitchell Mill to the roadway ultimate cross section per Rolesville Community Transportation Plan, 2 lanes with two-way left turn lanes.
b. Mitchell Mill Road:
i. Widen one-half section along the site frontage to this roadway's ultimate cross section per the Rolesville Community Transportation Plan, 4-lane median divided.
c. Mitchell Mill Road and Jonesville Road/Pebbles Road:
i. Provide a southbound (Jonesville Road) left turn lane with at least 100 feet of storage and appropriate decal and taper; and
ii. Construct an eastbound (Mitchell Mill Road) left-turn lane with at least 100 feet of storage and appropriate decal and taper.
d. Jonesville Road and Site Access 1:
i. Construct the westbound approach (Site Access 1) with one ingress lane and one egress lane;
ii. Provide stop-control for westbound approach (Site Access 1); and
iii. Construct a southbound (Jonesville Road) left-turn lane with at least 100 feet of storage and appropriate decal and taper.
e. Jonesville Road and Site Access 2:
i. Construct the westbound approach (Site Access 2) with one ingress lane and one egress lane;
ii. Provide stop-control for westbound approach (Site Access 2); and
iii. Construct a southbound (Jonesville Road) left-turn lane with at least 100 feet of storage and appropriate decal and taper.
f. Jonesville Road and Site Access 3:
i. Construct the eastbound and westbound approaches (Site Access 3) with one ingress lane and one egress lane;
ii. Provide stop-control for eastbound and westbound approach (Site Access 3);
iii. Construct northbound (Jonesville Road) left-turn lane with at least 100 feet of storage and appropriate decal and taper;
iv. Construct northbound (Jonesville Road) right-turn lane with at least 100 feet of storage and appropriate decal and taper;
v. Construct a southbound (Jonesville Road) left-turn lane with at least 100 feet of storage and appropriate decal and taper; and
vi. Construct a southbound (Jonesville Road) right-turn lane with at least 100 feet of storage and appropriate decal and taper.
g. Jonesville Road and Site Access 4:
i. Construct the eastbound approach (Site Access 4) with one ingress lane and one egress lane;
ii. Provide stop-control for eastbound approach (Site Access 4);
iii. Provide a northbound (Jonesville Road) left-turn lane with at least 100 feet of storage and appropriate decal and taper; and
iv. Provide a southbound (Jonesville Road) right-turn lane with at least 100 feet of storage and appropriate decal and taper.
h. Mitchell Mill and Site Access 5:
i. Construct the southbound approach (Site Access 5) with one ingress lane and one egress lane;
ii. Provide stop-control for southbound approach (Site Access 5) restricted to right in, right-out operations unless left-turn access is approved by NCDOT; and
iii. Construct an exclusive westbound (Mitchell Mill Road) right-turn lane with at least 100 feet of storage and appropriate decal and taper.
i. Mitchell Mill and Site Access 6:
i. Construct the southbound approach (Site Access 6) with one ingress lane and

- one egress lane striped as an exclusive right-turn lane; and
ii. Provide stop-control for southbound approach (Site Access 6) restricted to right in, right-out operations.
j. Mitchell Mill and Site Access 7:
i. Construct the southbound approach (Site Access 7) with one ingress lane and one egress lane;
ii. Provide stop-control for southbound approach (Site Access 7); and
iii. Construct an exclusive eastbound (Mitchell Mill Road) left-turn lane with at least 100 feet of storage and appropriate decal and taper.
k. Mitchell Mill Road and Site Access 8:
i. Construct the southbound approach (Site Access 8) with one ingress lane and one egress lane striped as an exclusive right-turn lane;
ii. Provide stop-control for southbound approach (Site Access 8). This proposed intersection will be restricted to right-in/right-out operations; and
iii. Construct an exclusive westbound (Mitchell Mill Road) right-turn lane with at least 100 feet of storage and appropriate decal and taper.
l. Signal Analysis and Funding:
i. US 401 Bypass and Jonesville Road: Conduct a full signal warrant analysis prior to full build-out of the proposed development and install a traffic signal if warranted and approved by the Town and NCDOT. Nothing herein shall prohibit the property owner or developer from entering into cost-sharing agreements with others who may also benefit from a signal at this location.
ii. US 401 Bypass and Eastern U-turn Location: Conduct a full signal warrant analysis prior to full build-out of the proposed development and install a traffic signal if warranted and approved by the Town and NCDOT. Nothing herein shall prohibit the property owner or developer from entering into cost-sharing agreements with others who may also benefit from a signal at this location.
iii. Jonesville and Mitchell Mill Road: Conduct a full signal warrant analysis prior to full build-out of the proposed development and install a traffic signal if warranted and approved by the Town and NCDOT. Nothing herein shall prohibit the property owner or developer from entering into cost-sharing agreements with others who may also benefit from a signal at this location.
iv. If no traffic signal has been warranted and approved by the Town and NCDOT at any of the locations identified in Condition 8(i)-(iii) at full build-out of the proposed development (issuance of certificate of occupancy for the 300th dwelling unit and 50,000 square feet of non-residential uses), the property owner shall contribute Fifty Thousand Dollars (\$50,000.00) to the Town of Rolesville to be used by the Town of Rolesville to install a traffic light at any one of the locations identified in Condition 8(i)-(iii) above when warranted and approved by NCDOT.
Conditions Applicable to Dwelling, Single Family, Detached only:
9. All homes shall include either crawl space foundations or stem wall foundations. Any stem wall foundations shall be at least eighteen inches (18") in height across the front facade of the home and shall have brick or stone veneer on all sides facing a public street.
10. The minimum building square footage shall be 2,000 square feet.
Conditions Applicable to Dwellings, Single Family, Attached (Townhouse) only:
11. No Dwelling, Single Family, Attached (Townhouse) building shall exceed six (6) dwellings.
12. The minimum building square footage for townhouses shall be 1,200 square feet.
Conditions Applicable to the NC-CZ District only:
13. All uses permitted in the Neighborhood Center Mixed-Use district shall be permitted within the NC-CZ except Dwellings, Multiple Family (apartments) shall only be permitted in buildings with commercial uses located on the ground floor.
These zoning conditions have been voluntarily offered by the property owner. All property owners must sign each condition page. This page may be photocopied if additional space is needed.
Signature: Print Name: Dana Bright
Date:
Signature: Print Name: Randy Bright

Table with columns: No., DATE, REVISIONS. Includes drawing numbers: CONSTRUCTION INFRASTRUCTURE DRAWINGS CID-24-04, TOWN OF ROLESVILLE CID-24-04 V2, TOWN OF ROLESVILLE CID-24-04 V3.



STRONGROCK ENGINEERING GROUP
STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166
305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

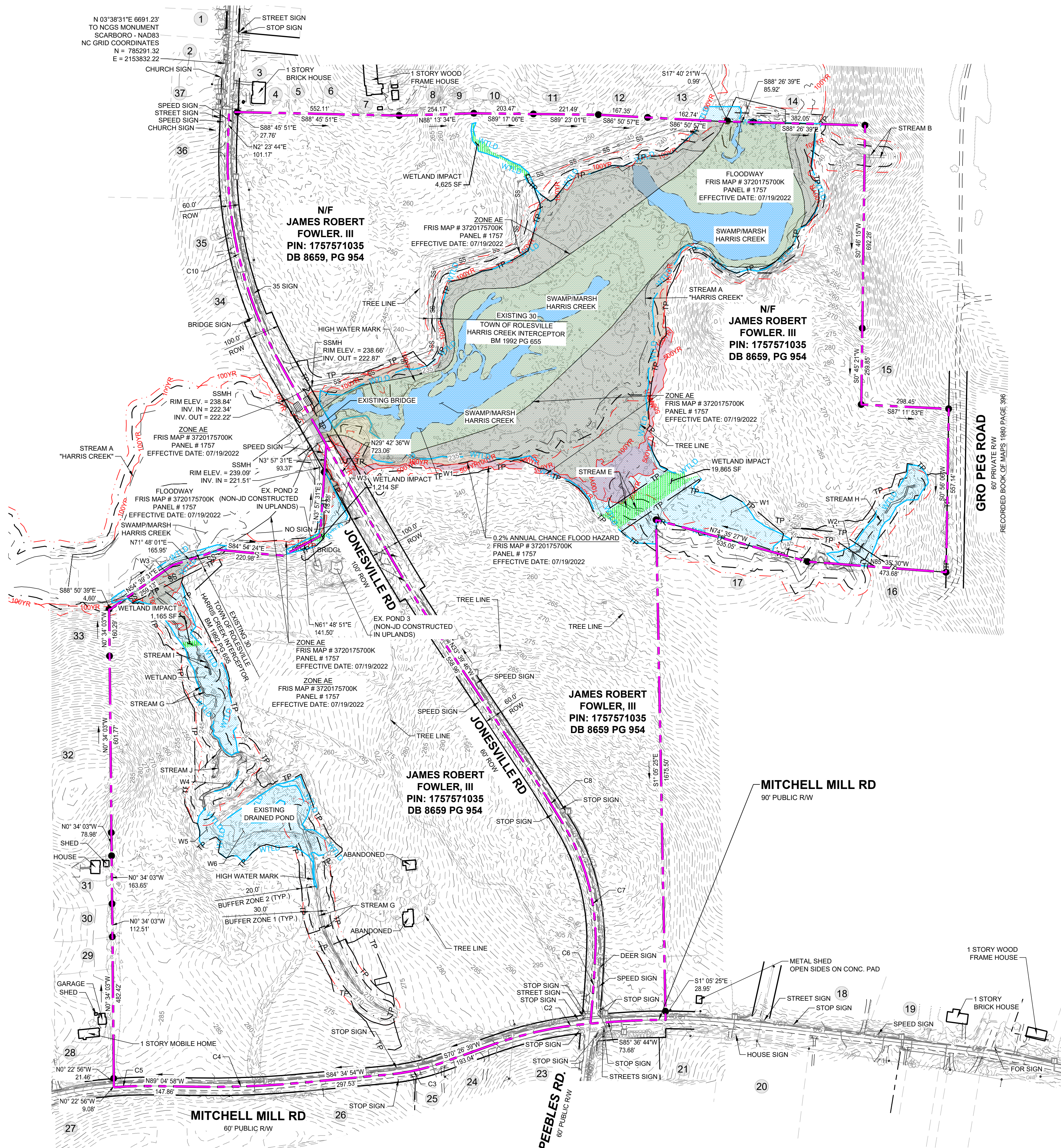
Table with columns: STRONG ROCK PROJECT PSP-24-03, NOT FOR CONSTRUCTION, SCALE AS SHOWN, DESIGNED BY JWL, DRAWN BY SRG, CHECKED BY JWL.

RESERVE @ MITCHELL MILL
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
CONSTRUCTION PLANS
ZONING CONDITION

DRAWING SHEET
C-1.1

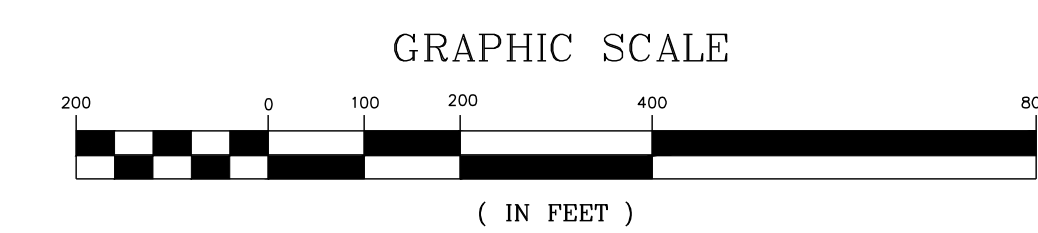
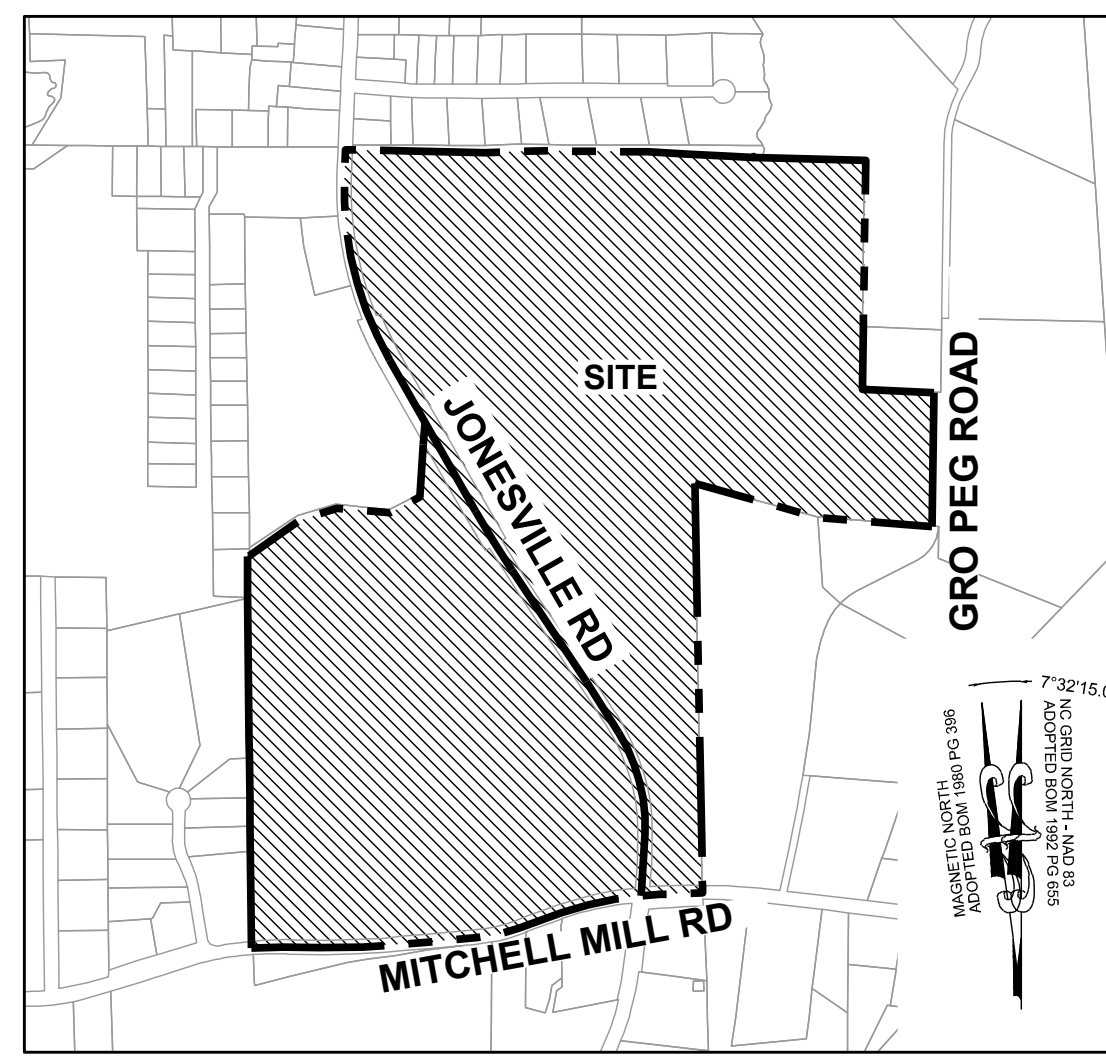
ADJOINER INFORMATION			
1	CHARLES E. FERRELL AND WIFE GRETTE LOUISE FERRELL PIN: 1757481951 DB 1813 PG 421 ZONING: R-30 (WC) USE: SF	20	CECIL L. GOODNIGHT AND WIFE, JUDY J. GOODNIGHT PIN: 1757650296 DB 5344 PG 819 ZONING: R-30 (WC) USE: SF
2	ABRAHAM T. BURNHAM AND KYLA L. BURNHAM PIN: 1757481832 DB 19140 PG 734 ZONING: R-30 (WC) USE: SF	21	CECIL L. GOODNIGHT AND WIFE, JUDY J. GOODNIGHT PIN: 1757641415 DB 5344 PG 819 ZONING: R-30 (WC) USE: SF
3	JOE L. GREEN PIN: 1757483799 DB 15-E PG 2691 ZONING: R-30 (WC) USE: SF	22	CHRISTOPHER GHOLSON AND WIFE, KELLY GAITHER GHOLSON PIN: 1757555081 DB 17555 PG 457 LOT 4 - BM 2018 PG 1333 ZONING: R-30 (WC) USE: SF
4	CHARLES ALFONSA JONES AND WIFE ALLIE V. JONES PIN: 1757484909 DB 2305 PG 673 ZONING: R-30 (WC) USE: SF	23	ABAHOR ELIAS AND SPOUSE, SUSAN ELIAS PIN: 1757553215 DB 17220 PG 2509 LOT 3 - BM 2018 PG 1333 ZONING: R-30 (WC) USE: SF
5	BENJAMIN FERRELL PIN: 1757485713 DB 1897 PG 465 ZONING: R-30 (WC) USE: SF	24	TODD KENDALL HONEYCUTT PIN: 1757551202 DB 13474 PG 1974 LOT 2 - BM 2018 PG 1333 ZONING: R-30 (WC) USE: SF
6	ALESHIA FERRELL & ARRON WALKER PIN: 1757486733 DB 6374 PG 89 BM 1996 PG 0524 ZONING: R-30 (WC) USE: SF	25	CURTIS L. HONEYCUTT AND WIFE TODD KENDALL PIN: 1757540996 DB 19269 PG 2474 LOT 1 - BM 2018 PG 1333 ZONING: R-30 (WC) USE: SF
7	CHRIST HOLINESS CHURCH #1 PIN: 1757487783 DB 2928 PG 328 ZONING: R-30 (WC) USE: CH	26	PHETIS JONES BRADSHER PIN: 1757349473 DB 15208 PG 2320 BM 2013 PG 889 ZONING: R-30 (WC) USE: FO
8	CHRIST HOLINESS CHURCH #1 PIN: 1757487783 DB 4321 PG 788 ZONING: R-30 (WC) USE: VA	27	PHETIS JONES BRADSHER PIN: 1757487783 DB 15208 PG 2320 ZONING: R-30 (WC) USE: FO
9	CHRIST HOLINESS CHURCH #1 PIN: 1757580784 DB 9467 PG 430 ZONING: R-30 (WC) USE: MO	28	PERR Y. ELWOOD RYAN PIN: 1757357582 DB 19292 PG 2780 ZONING: R-30 (WC) USE: MO
10	ALICIA BROWN & CARL T. JONES PIN: 1757682714 DB 16128 PG 183 ZONING: R-30 (WC) USE: SF	29	TOUTLOFF, KENNETH S. TOUTLOFF, BILLIE ANNE PIN: 1757357764 DB 9236 PG 2229 LOT 3 - BM 1990 PG 956 ZONING: R-30 (WC) USE: SF
11	RS RENTAL II LLC PIN: 1757584724 DB 18703 PG 2414 BM 1981 PG 894 ZONING: R-30 (WC) USE: SF	30	BERNARD MILLER PIN: 1757357685 DB 15416 PG 1651 LOT 4 - BM 1990 PG 956 ZONING: R-30 (WC) USE: SF
12	KAREN E. BASS PIN: 1757586704 DB 12560 PG 1626 BM 1994 PG 943 ZONING: R-30 (WC) USE: SF	31	MARCI E. HOLDEN PIN: 1757358908 DB 15599 PG 1003 LOT 5 - BM 1990 PG 956 ZONING: R-30 (WC) USE: SF
13	JAMES K. WILLIAMS PIN: 1757688784 DB 16784 PG 1013 BM 1989 PG 01474 ZONING: R-30 (WC) USE: VA	32	MEGAN KULAWIAK PIN: 1757367367 DB 16226 PG 1133 LOT 6 BM 1990 PG 00387 ZONING: R-30 (WC) USE: VA
14	GRO PEG PROPERTIES LLC PIN: 1757684897 DB 18359 PG 1707 LOT 5 - BM 1980 PG 00396 ZONING: R-30 (WC) USE: VA	33	KENNETH INVESTMENT LLC. PIN: 1757368816 DB 19248 PG 1884 ZONING: R-30 (WC) USE: VA
15	SCOTT & THERESA CARLE PIN: 1757675796 DB 14863 PG 3493 LOT 4A - BM 1980 PG 00396 ZONING: R-30 (WC) USE: VA	34	KENNETH INVESTMENT LLC. PIN: 1757471559 DB 19248 PG 1884 LOT - BM 2007 PG 01224 ZONING: R-30 (WC) USE: VA
16	GRO PEG PROPERTIES PIN: 1757664956 DB 19081 PG 2786 LOT 2A - BM 1982 PG 00581 ZONING: R-30 (WC) USE: VA	35	HENRY ALSTON PIN: 1757481976 DB 19248 PG 984 BM 1982 PG 721 ZONING: R-30 (WC) USE: SF
17	MT. CALVARY HOLINESS CHURCH OF WAKE CO. INC. PIN: 1757660324 DB 10124 PG 2778 LOT 1 - BM 2002 PG 991 ZONING: R-30 (WC) USE: VA	36	UNIVERSAL CHURCH OF PRAYER PIN: 1757388408 DB 19559 PG 1723 LOT - BM 2002 PG 00667 ZONING: R-30 (WC) USE: CH
18	G. ARCHIE UNDERHILL, JR. AND WIFE, TERESSA C. UNDERHILL PIN: 1757653765 DB 8443 PG 2129 BM 1994 PG 1357 ZONING: R-30 (WC) USE: SF	37	ROZELIA J. HARTSFIELD HEIRS PIN: 1757481740 DB 1821 PG 342 ZONING: R-30 (WC) USE: SF
19	GENADIUS MAC FREDDY AND WIFE, MATTIE P. FREDDY PIN: 1757656586 DB 1882 PG 342 ZONING: R-30 (WC) USE: SF		

LEGEND:	
SF:	SINGLE FAMILY
VA:	VACANT
MO:	MOBILE
AG:	AGRICULTURE
CH:	CHURCH

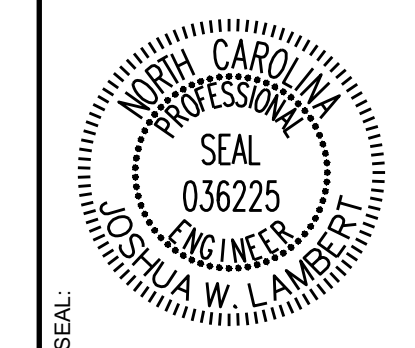


LEGEND:	
	MASTER PLAN BOUNDARY
	EXISTING ADJOINER PROPERTY LINE
	5' CONTOUR
	1' CONTOUR
	EXISTING INTERMITTENT STREAM
	EXISTING PERENNIAL STREAM
	EXISTING BUFFER ZONE 1
	EXISTING BUFFER ZONE 2
	500 YEAR FLOOD LINE
	100 YEAR FLOOD LINE
	EXISTING TREE
	NEW IRON PIPE
	EXISTING IRON PIPE
	EXISTING WETLAND
	FLOOD HAZARD
	FLOODZONE AE
	FLOODWAY
	SWAMP/MARSH HARRIS CREEK
	WETLAND IMPACTS

PARCEL CURVE TABLE				
CURVE	RADIUS	LENGTH	CHORD	BEARING
C1	2310.00'	177.66'	177.62'	S 85°36'44" W
C2	1293.60'	342.46'	341.46'	S 70°26'39" W
C3	713.00'	175.93'	175.49'	S 84°34'54" W
C4	3289.02'	363.69'	363.50'	N 89°04'58" W
C5	1415.00'	134.86'	134.81'	N 85°27'24" W
C6	4219.80'	259.16'	259.12'	N 02°03'26" E
C7	760.57'	443.75'	437.48'	N 31°22'17" W
C8	5980.51'	247.98'	249.97'	N 33°39'46" W
C9	4196.85'	289.52'	289.47'	N 29°42'36" E
C10	1444.00'	809.14'	798.60'	N 02°23'44" E



CONSTRUCTION INFRASTRUCTURE DRAWINGS	DATE	BY
CID-24-04	08/04/2024	
TOWN OF ROLESVILLE CID-24-04 V2	11/07/2024	
TOWN OF ROLESVILLE CID-24-04 V3	02/07/2024	



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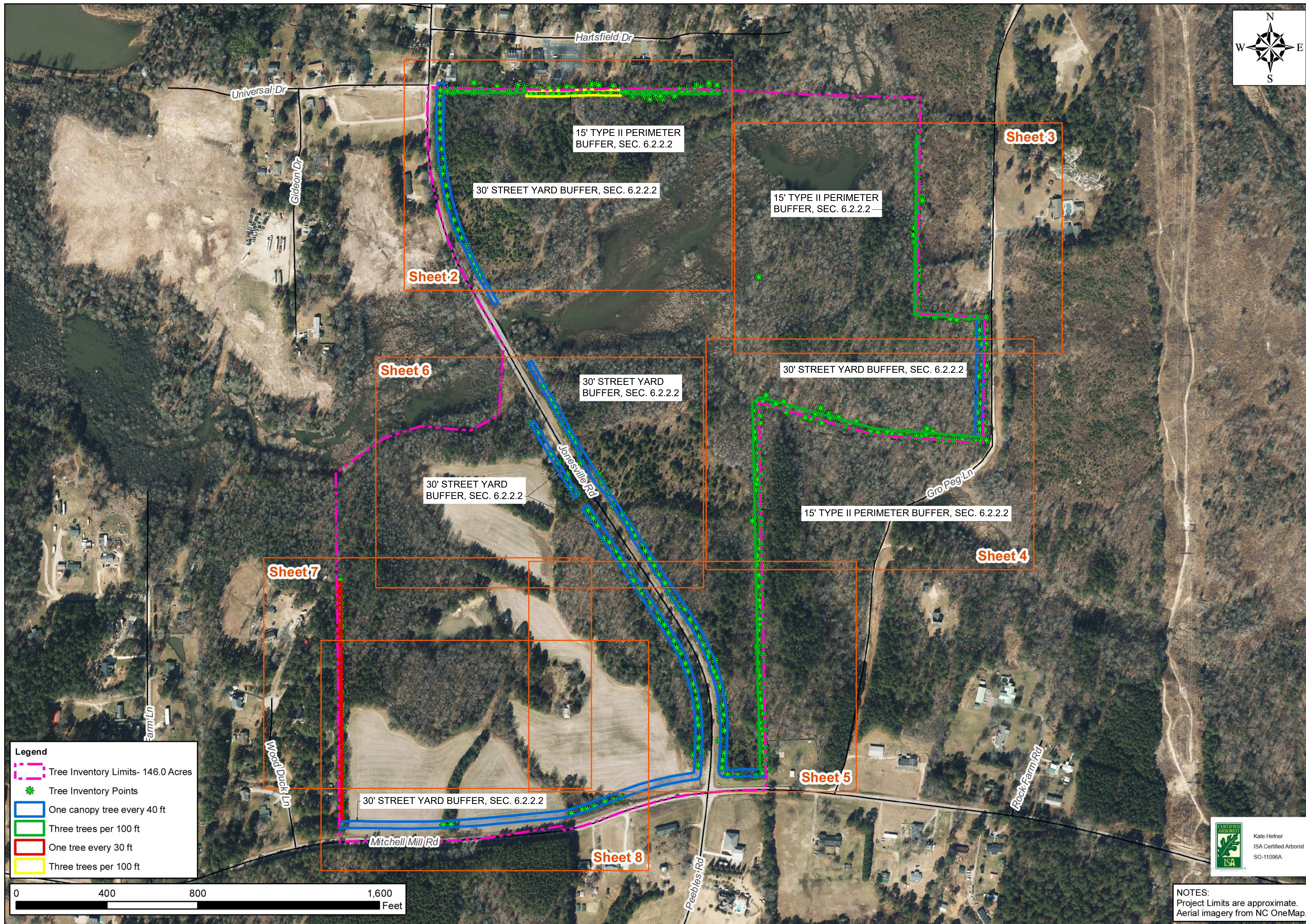
STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166
305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
PSP-24-03	AS SHOWN	JWL	SRG	JWL

RESERVE @ MITCHELL MILL
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
CONSTRUCTION PLANS
EXISTING CONDITIONS PLAN

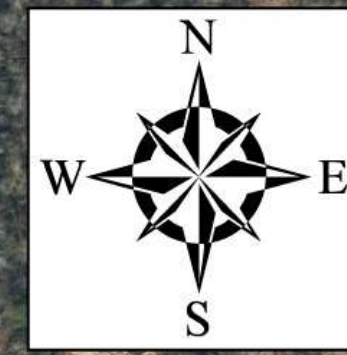
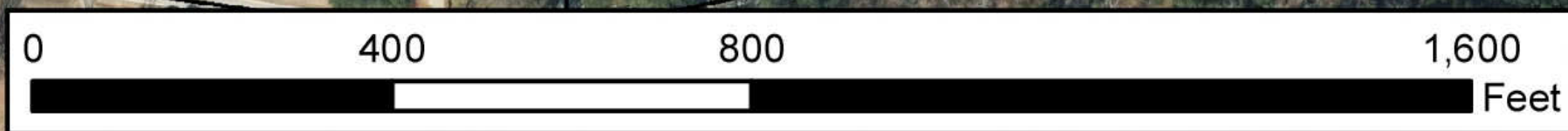
DRAWING SHEET
C-3.0

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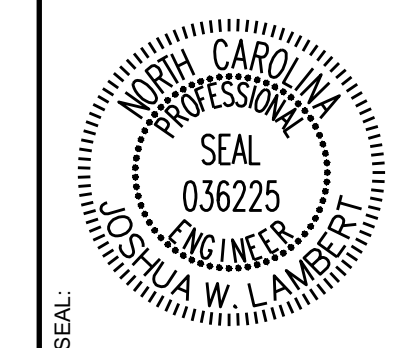


Legend

- Tree Inventory Limits- 146.0 Acres
- Tree Inventory Points
- One canopy tree every 40 ft
- Three trees per 100 ft
- One tree every 30 ft
- Three trees per 100 ft



NO.	REVISIONS	DATE	BY
01	CONSTRUCTION INFRASTRUCTURE DRAWINGS CD-24-04	08/04/2024	SRG
02	TOWN OF ROLESVILLE CD-24-04 V2	11/07/2024	SRG
03	TOWN OF ROLESVILLE CD-24-04 V3	02/07/2024	SRG



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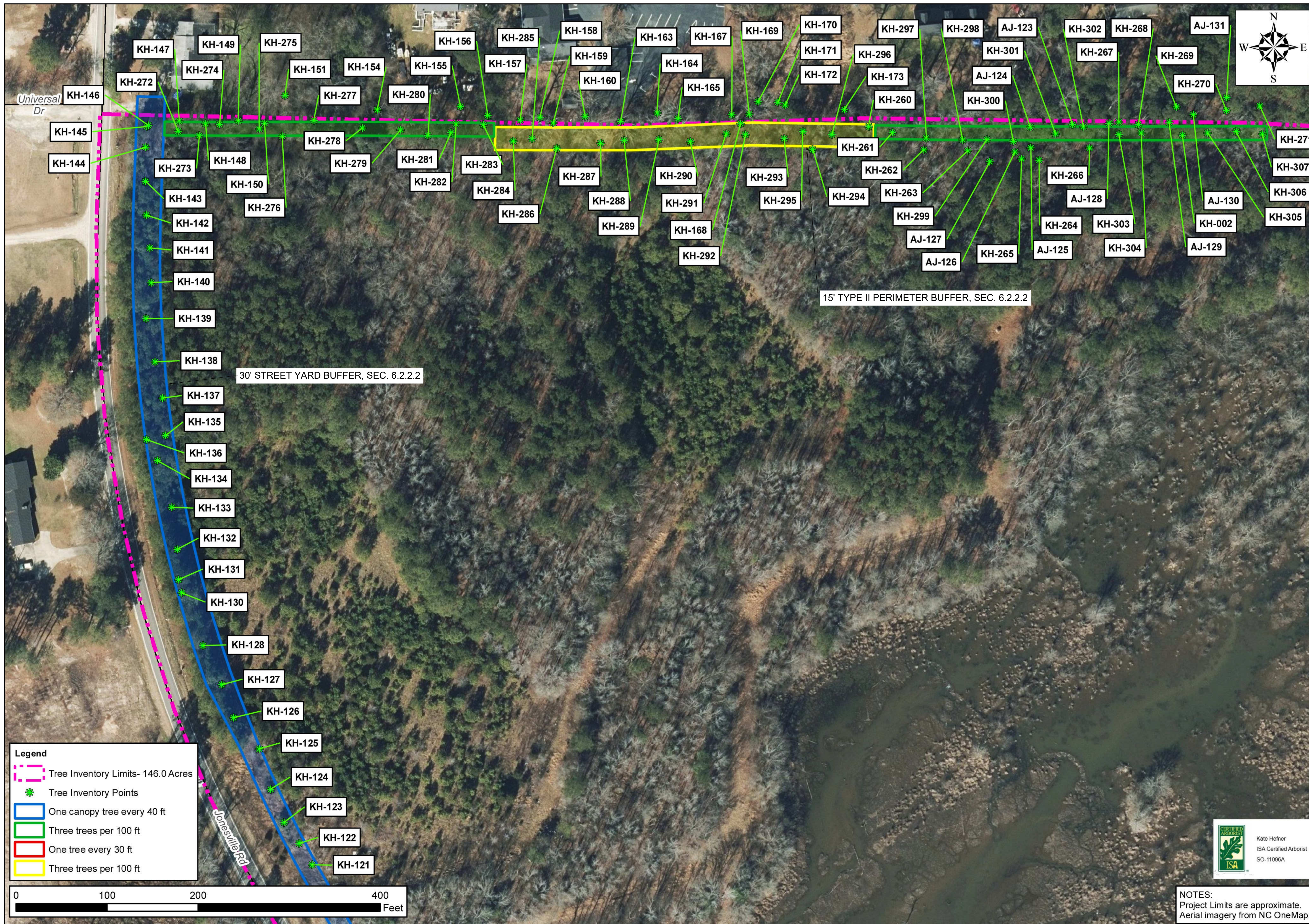
STRONG ROCK PROJECT	PSP-24-08
NOT FOR CONSTRUCTION	
SCALE	AS SHOWN
DESIGNED BY	JWL
DRAWN BY	SRG
CHECKED BY	JWL

RESERVE @ MITCHELL MILL
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
CONSTRUCTION PLANS
OVERALL TREE INVENTORY MAP



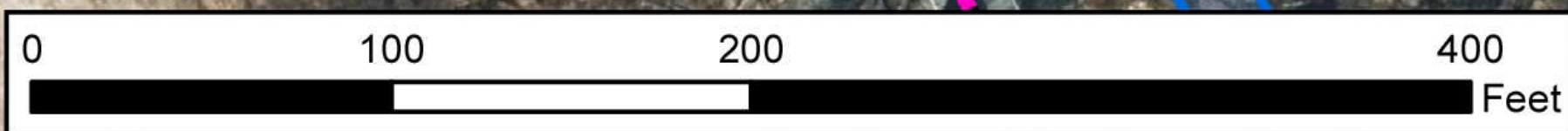
NOTES:
Project Limits are approximate.
Aerial imagery from NC OneMap.

DRAWING SHEET
C-3.1



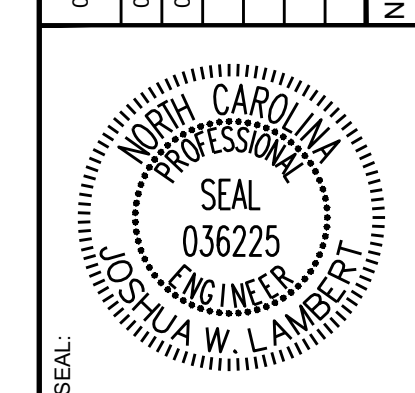
Legend

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- Three trees per 100 ft



NOTES:
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 Aerial imagery from NC OneMap.

NO.	REVISIONS	DATE	BY
01			
02			
03			



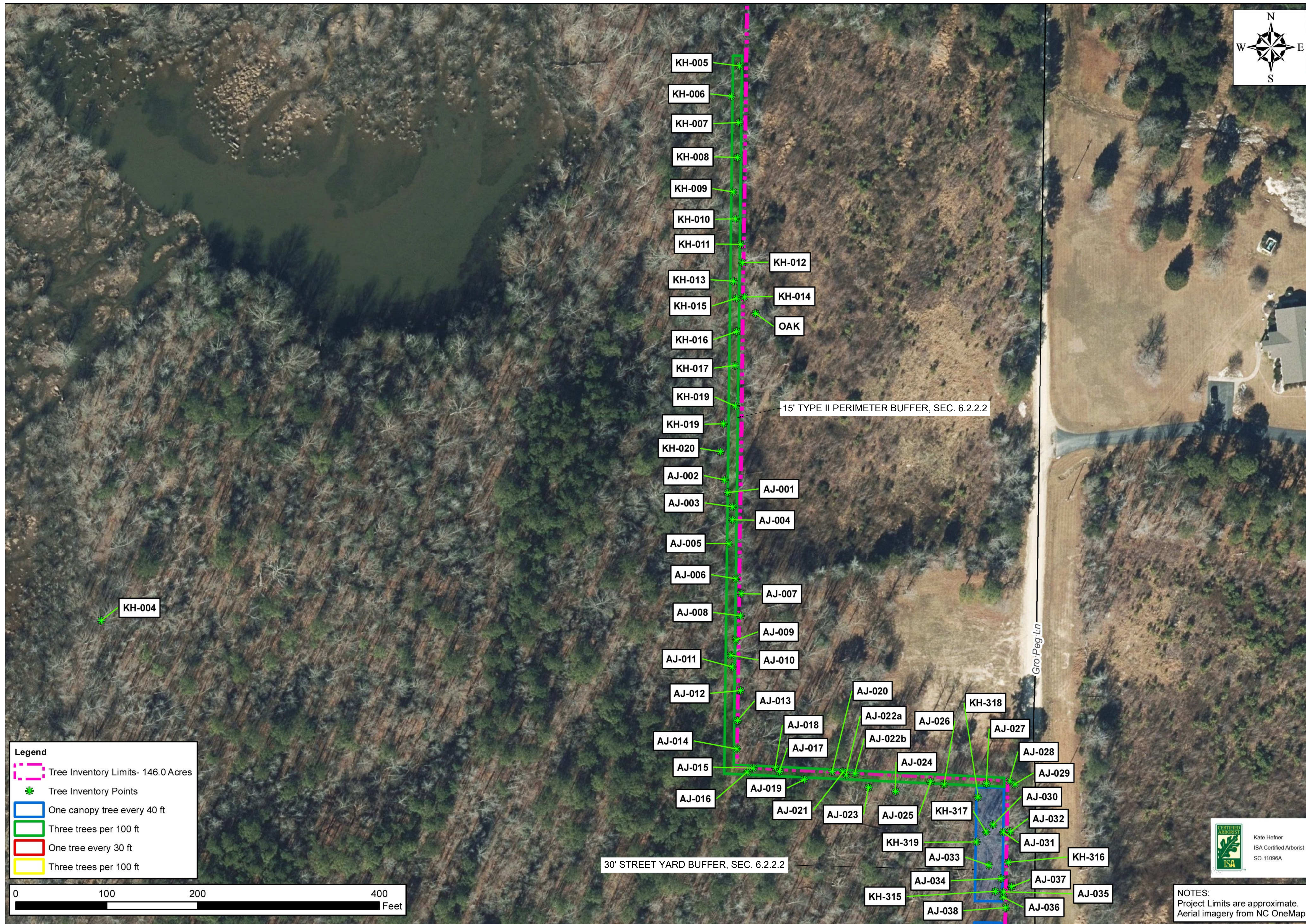
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STRONG ROCK PROJECT	DESIGNED BY	CHECKED BY
PSP-24-00	JWL	JWL
NOT FOR CONSTRUCTION	DRAWN BY	SRG
SCALE AS SHOWN		

RESERVE @ MITCHELL MILL
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
CONSTRUCTION PLANS
PARTIAL TREE INVENTORY MAP I

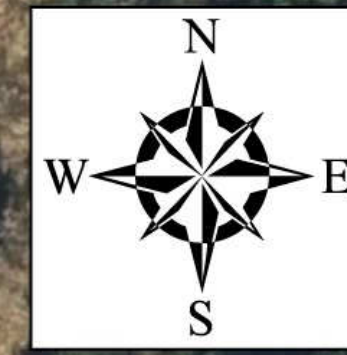
DRAWING SHEET
C-3.2

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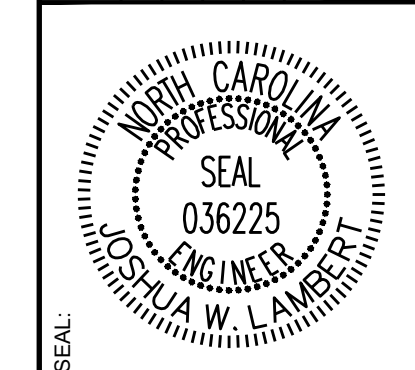


Legend

- Tree Inventory Limits- 146.0 Acres
- * Tree Inventory Points
- One canopy tree every 40 ft
- Three trees per 100 ft
- One tree every 30 ft
- Three trees per 100 ft



NO.	DATE	REVISIONS	BY
01	08/04/2024	CONSTRUCTION INFRASTRUCTURE DRAWINGS CID-24-04	
02	11/07/2024	TOWN OF ROLESVILLE CID-24-04 V2	
03	02/07/2024	TOWN OF ROLESVILLE CID-24-04 V3	



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STRONG ROCK PROJECT	PSP-24-08
NOT FOR CONSTRUCTION	
SCALE	AS SHOWN
DESIGNED BY	JWL
DRAWN BY	SRG
CHECKED BY	JWL

RESERVE @ MITCHELL MILL
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
CONSTRUCTION PLANS
PARTIAL TREE INVENTORY MAP II

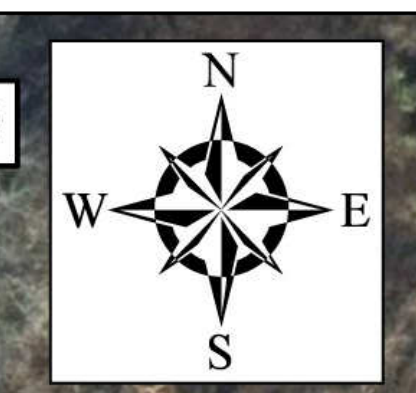


NOTES:
Project Limits are approximate.
Aerial imagery from NC OneMap.

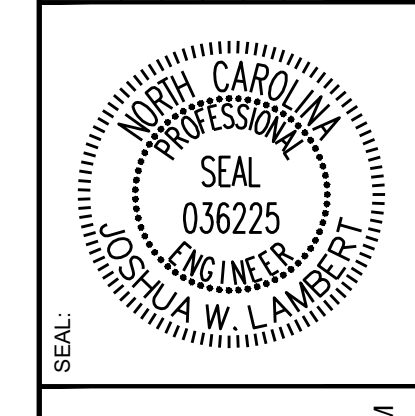


Legend

- Tree Inventory Limits- 146.0 Acres
- Tree Inventory Points
- One canopy tree every 40 ft
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- One tree every 30 ft
- Three trees per 100 ft



NO.	REVISIONS	DATE	BY
01			
02			
03			



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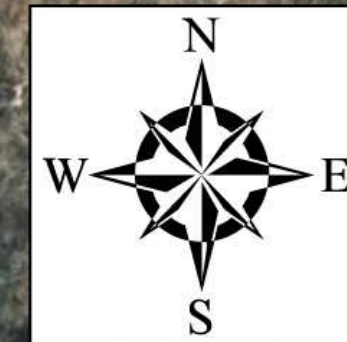
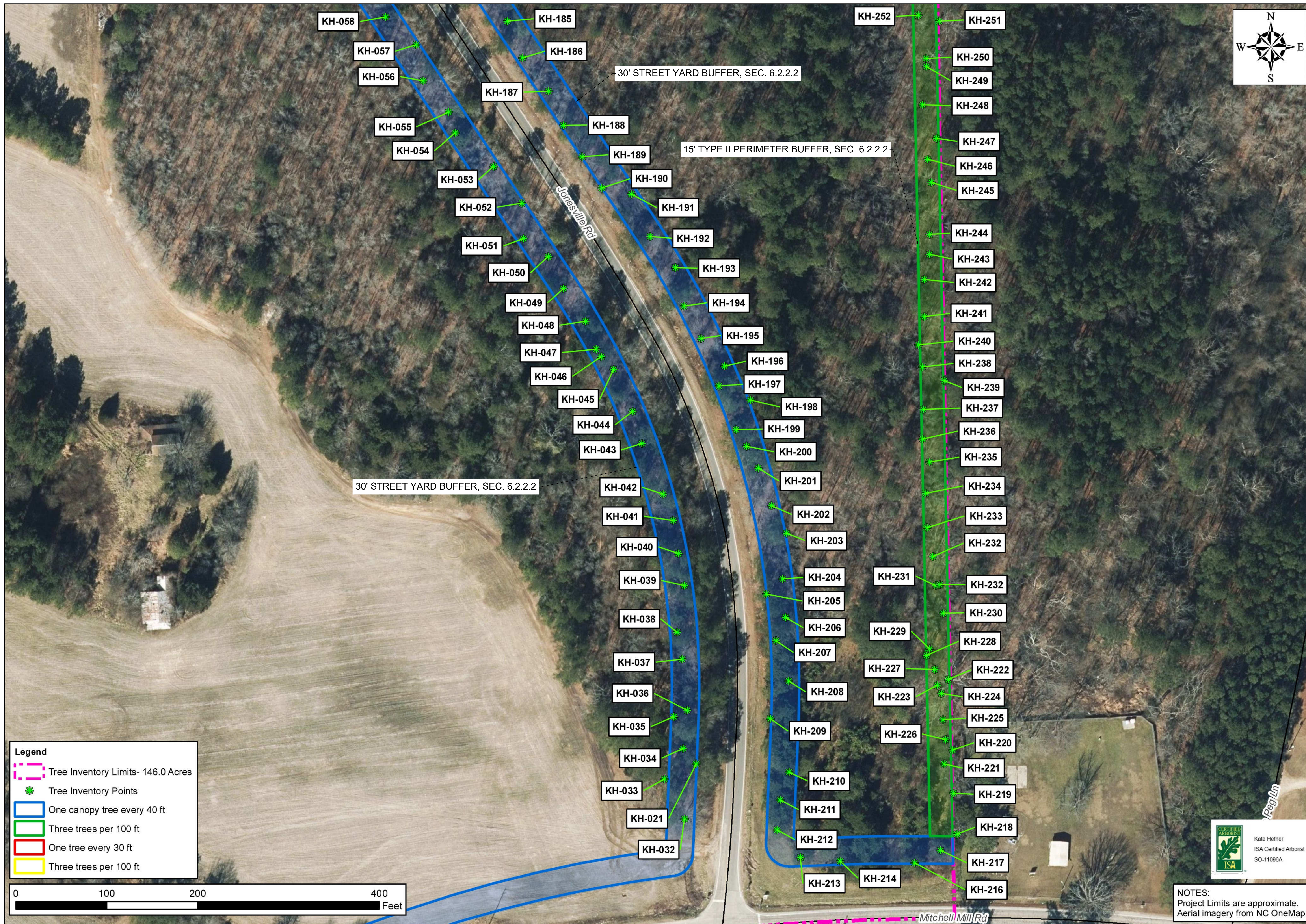
STRONG ROCK PROJECT	STRONG ROCK PROJECT
PSP-24-00	PSP-24-00
NOT FOR CONSTRUCTION	NOT FOR CONSTRUCTION
SCALE AS SHOWN	SCALE AS SHOWN
DESIGNED BY JWL	DESIGNED BY JWL
DRAWN BY SRG	DRAWN BY SRG
CHECKED BY JWL	CHECKED BY JWL

RESERVE @ MITCHELL MILL
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
CONSTRUCTION PLANS
PARTIAL TREE INVENTORY MAP III

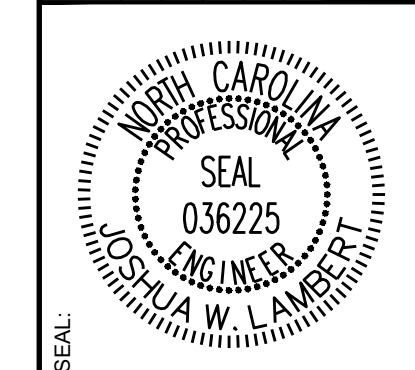
ISA Certified Arborist
Kate Helfner
ISA Certified Arborist
SO-11096A

NOTES:
Project Limits are approximate.
Aerial imagery from NC OneMap.

DRAWING SHEET
C-3.4



NO.	DATE	REVISIONS	BY
01	08/04/2024	CONSTRUCTION INFRASTRUCTURE DRAWINGS CID-24-04	
02	11/07/2024	TOWN OF ROLESVILLE CID-24-04 V2	
03	02/07/2024	TOWN OF ROLESVILLE CID-24-04 V3	



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STRONG ROCK PROJECT	PSP-24-08
NOT FOR CONSTRUCTION	
SCALE	AS SHOWN
DESIGNED BY	JWL
DRAWN BY	SRG
CHECKED BY	JWL

RESERVE @ MITCHELL MILL
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
CONSTRUCTION PLANS
PARTIAL TREE INVENTORY MAP IV

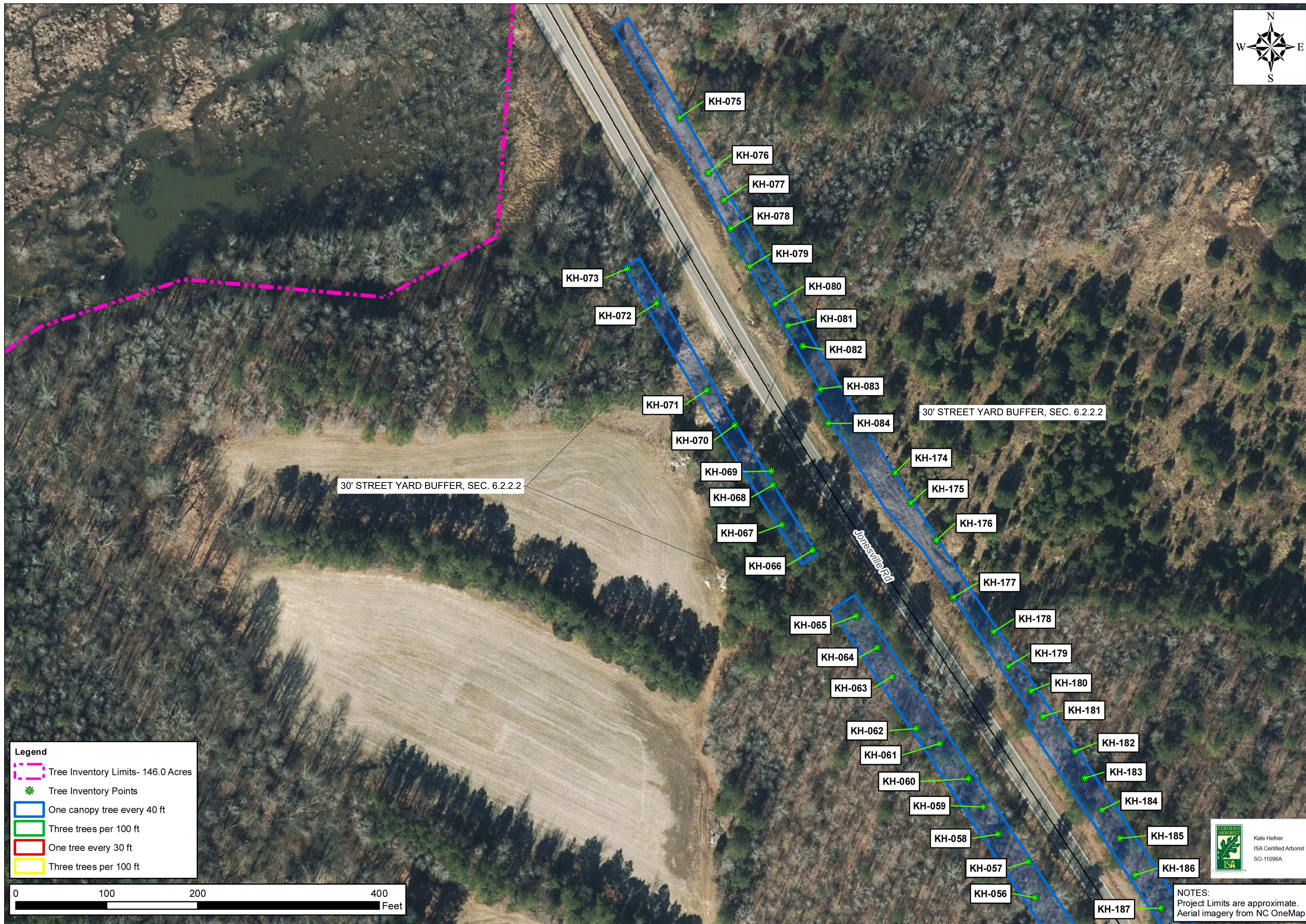


NOTES:
Project Limits are approximate.
Aerial imagery from NC OneMap.

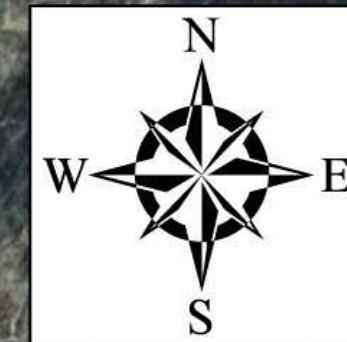
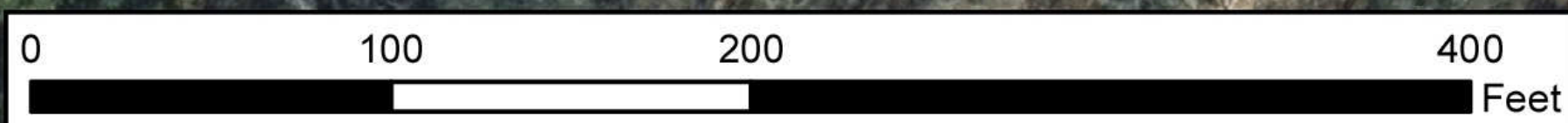
Legend

- Tree Inventory Limits- 146.0 Acres
- Tree Inventory Points
- One canopy tree every 40 ft
- Three trees per 100 ft
- One tree every 30 ft
- Three trees per 100 ft

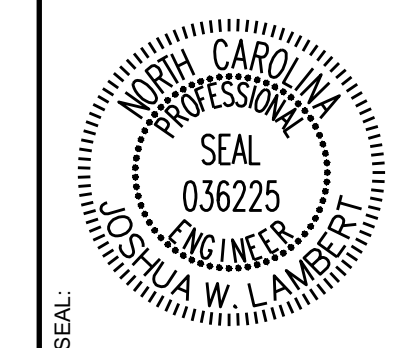




- Legend**
- Tree Inventory Limits- 146.0 Acres
 - * Tree Inventory Points
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 - Three trees per 100 ft
 - One tree every 30 ft
 - Three trees per 100 ft



NO.	REVISIONS	DATE	BY
01	CONSTRUCTION INFRASTRUCTURE DRAWINGS CID-24-04	08/04/2024	SRG
02	TOWN OF ROLESVILLE CID-24-04 V2	11/07/2024	SRG
03	TOWN OF ROLESVILLE CID-24-04 V3	02/07/2024	SRG



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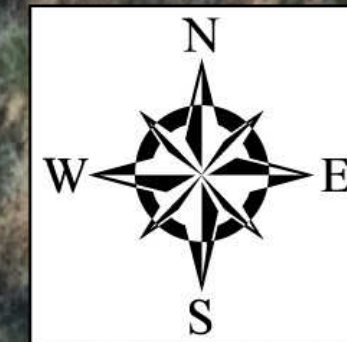
STRONG ROCK PROJECT	PSP-24-08
NOT FOR CONSTRUCTION	
SCALE	AS SHOWN
DESIGNED BY	JWL
DRAWN BY	SRG
CHECKED BY	JWL

RESERVE @ MITCHELL MILL
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
CONSTRUCTION PLANS
PARTIAL TREE INVENTORY MAP V



NOTES:
Project Limits are approximate.
Aerial imagery from NC OneMap.

DRAWING SHEET
C-3.6



- KH-112
- KH-111
- KH-110
- KH-109
- KH-108
- KH-107
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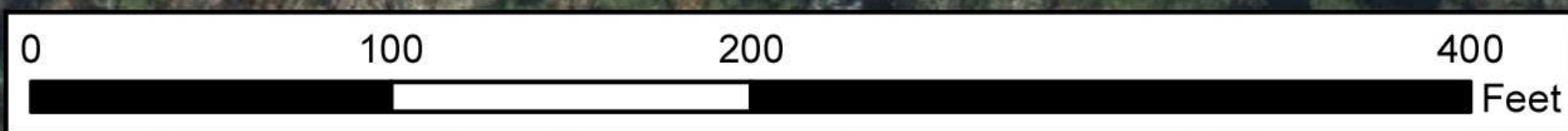
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30' STREET YARD BUFFER, SEC. 6.2.2.2

Mitchell Mill Rd

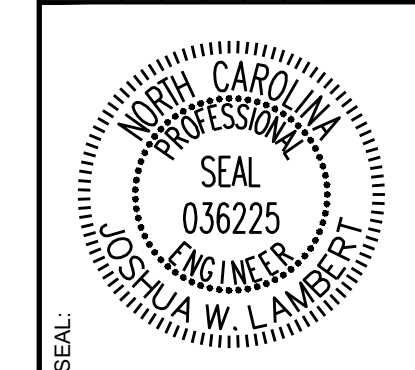
Legend

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NOTES:
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Aerial imagery from NC OneMap.

NO.	REVISIONS	DATE	BY
01	CONSTRUCTION INFRASTRUCTURE DRAWINGS CD-24-04	08/04/2024	SREG
02	TOWN OF ROLESVILLE CD-24-04 V2	11/07/2024	SREG
03	TOWN OF ROLESVILLE CD-24-04 V3	02/07/2024	SREG



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STRONG ROCK PROJECT	PSP-24-08
NOT FOR CONSTRUCTION	SCALE AS SHOWN
DESIGNED BY	JWL
DRAWN BY	SRG
CHECKED BY	JWL

RESERVE @ MITCHELL MILL
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
CONSTRUCTION PLANS
PARTIAL TREE INVENTORY MAP VII

DRAWING SHEET
C-3.8

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Tree Code	Botanical Name	DBH	Condition Overall
AJ-001	LITU	19"	Good
AJ-002	CATO	10"	Good
AJ-003	QUAL	10"	Good
AJ-004	JUVI	8"	Good
AJ-005	CATO	13"	Good
AJ-006	QURU	10"	Good
AJ-007	QURU	8"	Good
AJ-008	LIST	18"	Good
AJ-009	QUAL	8"	Good
AJ-010	QURU	14"	Good
AJ-011	QUAL	14"	Good
AJ-012	QUAL	12"	Good
AJ-013	CATO	8"	Good
AJ-014	ACRU	14"	Good
AJ-015	QUNI	5"	Good
AJ-016	LIST	4"	Good
AJ-017	LIST	4"	Good
AJ-018	PITA	16/18"	Good
AJ-019	ACRU	4"	Good
AJ-020	QUNI	10"	Good
AJ-021	LIST	16"	Good
AJ-022a	PITA	20"	Good
AJ-022b	PITA	20"	Good
AJ-023	ACRU	13"	Good
AJ-024	QUST	22"	Fair
AJ-025	LIST	7"	Good
AJ-026	PITA	17"	Good
AJ-027	QUNI	4"	Good
AJ-028	PITA	28"	Good
AJ-029	CATO	9"	Fair
AJ-030	QURU	20"	Good
AJ-031	LIST	19"	Good
AJ-032	CATO	12"	Good
AJ-033	LITU	27"	Good
AJ-034	LIST	18"	Good
AJ-035	LITU	23"	Good
AJ-036	PITA	20"	Good
AJ-037	ULAL	14"	Good
AJ-038	LITU	19"	Good
AJ-039	LIST	36"	Good
AJ-040	ACRU	22"	Good
AJ-041a	ACRU	15"	Good
AJ-041b	ACRU	18"	Good
AJ-042	LITU	22"	Good
AJ-043	LITU	18"	Good
AJ-044	PRSE	19"	Fair
AJ-045	LITU	19"	Good
AJ-046	LITU	17"	Good
AJ-047	QUVE	8"	Fair
AJ-048	LIST	8"	Fair
AJ-049	QUNI	17"	Good
AJ-050	QUAL	12"	Good
AJ-051	QUAL	12"	Good
AJ-052	QURU	12"	Good
AJ-053	QUAL	4"	Good
AJ-054	QUAL	32"	Good
AJ-055	OXAR	6"	Good
AJ-056	QURU	19"	Good
AJ-057	QUAL	13"	Good
AJ-058	LITU	17"	Good
AJ-059	LITU	24"	Good
AJ-060	QURU	32"	Good
AJ-061	ILOP	8"	Good
AJ-062	QURU	20"	Good

Tree Code	Botanical Name	DBH	Condition Overall
KH-132	PITA	5"	Good
KH-133	PITA	8"	Good
KH-134	PITA	14"	Good
KH-135	QUNI	7"	Good
KH-136	PITA	29"	Good
KH-137	PITA	11"	Good
KH-138	QUNI	5"	Good
KH-139	QUNI	4"	Fair
KH-140	PITA	8"	Good
KH-141	LIST	5"	Good
KH-142	PITA	14"	Good
KH-143	ULRU	10"	Good
KH-144	QUNI	8"	Good
KH-145	PITA	24"	Good
KH-146	QUNI	7"	Good
KH-147	QUNI	12"	Good
KH-148	QUNI	14"	Good
KH-149	ULRU	7"	Good
KH-150	LISI	3"	Fair
KH-151	ULRU	9"	Good
KH-154	MORU	10"	Fair
KH-155	ULRU	13"	Good
KH-156	PITA	31"	Good
KH-157	PRSE	9"	Good
KH-158	QURU	37"	Excellent
KH-159	LIST	8"	Good
KH-160	LITU	34"	Good
KH-163	QUAL	24"	Good
KH-164	QURU	23"	Good
KH-165	ILOP	9"	Good
KH-167	QUAL	21"	Good
KH-168	QUFA	21"	Good
KH-169	QUAL	22"	Good
KH-170	QURU	23"	Good
KH-171	PITA	21"	Good
KH-172	PITA	24"	Good
KH-173	LIST	9/8"	Fair
KH-174	PITA	5"	Good
KH-175	PITA	4"	Good
KH-176	PITA	6"	Good
KH-177	JUVI	8"	Good
KH-178	PITA	15"	Good
KH-179	QUNI	7"	Good
KH-180	QUNI	9"	Good
KH-181	QURU	8"	Good
KH-182	QUAL	8"	Good
KH-183	QUNI	6"	Good
KH-184	QUAL	8"	Good
KH-185	QUAL	8"	Good
KH-186	QUAL	13"	Good
KH-187	QUNI	10"	Good
KH-188	QUNI	5"	Good
KH-189	QUAL	13"	Good
KH-190	QUAL	10"	Good
KH-191	QUAL	14/13/12"	Good
KH-192	QUNI	8"	Good
KH-193	QUAL	4"	Good
KH-194	PRSE	6/5"	Good
KH-195	QUNI	7"	Good
KH-196	PRSE	7"	Good
KH-197	PITA	20"	Good
KH-198	PITA	14"	Good
KH-199	PITA	14"	Good
KH-200	PITA	20"	Good

Tree Code	Botanical Name	DBH	Condition Overall
AJ-063	LITU	12"	Good
AJ-064	QURU	19"	Good
AJ-065	LITU	16"	Good
AJ-066	OXAF	14"	Good
AJ-067	ACRU	4"	Good
AJ-068	ACRU	5"	Good
AJ-069	ACRU	10"	Good
AJ-070	ACRU	6"	Good
AJ-071	ACRU	6"	Good
AJ-072	PRSE	9"	Good
AJ-073	DVI	3"	Good
AJ-074	LITU	8"	Fair
AJ-075	ACRU	21"	Good
AJ-076	LITU	13"	Good
AJ-077	LIST	13"	Good
AJ-078	LIST	4"	Good
AJ-079	LITU	18"	Poor
AJ-080	LITU	25"	Good
AJ-081	PRSE	9"	Good
AJ-082	LITU	22"	Good
AJ-083	LITU	21"	Good
AJ-084	PLOC	41"	Good
AJ-086	ACRU	9"	Good
AJ-087	LITU	30"	Good
AJ-088	LIST	4"	Good
AJ-089	ACRU	18"	Good
AJ-090	ACRU	30"	Good
AJ-091	ACRU	30"	Good
AJ-092	PRSE	4"	Good
AJ-093	LIST	9"	Good
AJ-094	FRPE	22"	Good
AJ-095	LIST	21"	Good
AJ-096	LIST	18"	Good
AJ-097	LITU	19"	Good
AJ-098	PRSE	18"	Good
AJ-099	QUNI	4"	Good
AJ-100	ILOP	4"	Good
AJ-101	QUST	29"	Poor
AJ-102	QURU	18"	Good
AJ-103	LIST	6"	Good
AJ-104	QURU	19"	Good
AJ-105	QUNI	17"	Good
AJ-106	LIST	7"	Good
AJ-107	QURU	28"	Good
AJ-108	LIST	5"	Good
AJ-109	QUST	18"	Good
AJ-110	PRSE	6"	Good
AJ-111	LIST	14"	Good
AJ-112	PITA	21"	Good
AJ-113	QUPH	18"	Good
AJ-114	PITA	28"	Good
AJ-115	CACA	5"	Good
AJ-116	QUST	20"	Good
AJ-117	CACA	8"	Good
AJ-117	CACA	7"	Good
AJ-118	QUNI	16"	Good
AJ-123	PITA	23"	Good
AJ-124	PITA	25"	Good
AJ-125	PRSE	6"	Good
AJ-126	QUNI	7"	Good
AJ-127	QUNI	7"	Good
AJ-128	PITA	20"	Good
AJ-129	PITA	20"	Good
AJ-130	LITU	21"	Good
AJ-131	ULRU	8"	Good

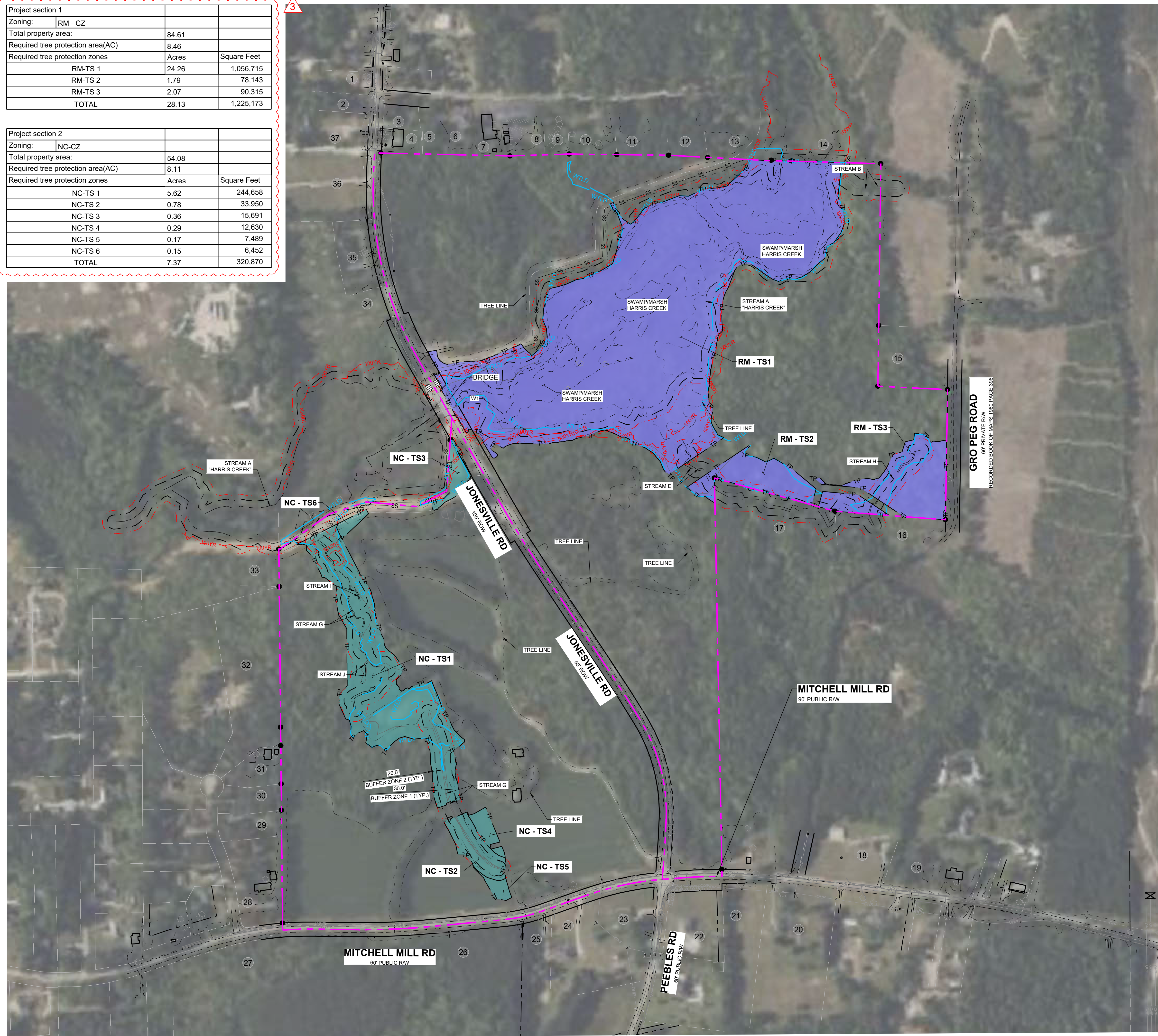
Tree Code	Botanical Name	DBH	Condition Overall
KH-201	QUNI	4/4"	Fair
KH-202	QUNI	7"	Good
KH-203	QUAL	9"	Good
KH-204	QUNI	8"	Good
KH-205	PITA	20"	Poor
KH-206	PRSE	11"	Fair
KH-207	PITA	20"	Good
KH-208	PITA	12"	Good
KH-209	PITA	15"	Good
KH-210	PITA	13"	Good
KH-211	PITA	12"	Good
KH-212	PITA	12"	Good
KH-213	PITA	16"	Good
KH-214	PITA	10"	Good
KH-216	PITA	14"	Good
KH-217	PITA	14"	Good
KH-218	ULRU	11"	Good
KH-219	QUNI	4"	Good
KH-220	ULRU	15"	Good
KH-221	JUVI	5"	Good
KH-222	QURU	68"	Good
KH-223	QURU	22"	Good
KH-224	QURU	25"	Good
KH-225	ULRU	10"	Good
KH-226	CATO	6"	Good
KH-227	QURU	11"	Good
KH-228	PITA	22"	Good
KH-229	QURU	13"	Good
KH-230	QUAL	16"	Good
KH-231	QURU	17"	Fair
KH-232	QURU	18"	Good
KH-232	QURU	20/11"	Good
KH-233	QURU	10"	Good
KH-234	QURU	10/7/7/7/7"	Fair
KH-235	QURU	8"	Good
KH-236	QUAL	9/7/7"	Good
KH-237	QURU	15"	Good
KH-238	QUAL	14/11"	Good
KH-239	PITA	26"	Good
KH-240	QUAL	11/11"	Good
KH-241	QURU	13/10/9"	Good
KH-242	QURU	6/4"	Good
KH-243	QUAL	3"	Good
KH-244	QUAL	12/10/9/7"	Good
KH-245	QUAL	18/10"	Good
KH-246	QUAL	7"	Good
KH-247	PITA	25"	Good
KH-248	QUAL	8"	Good
KH-249	QUAL	10"	Good
KH-250	QURU	24"	Good
KH-251	LITU	31/12"	Good
KH-252	QURU	7"	Good
KH-253	QURU	23"	Good
KH-254	QUNI	11"	Poor
KH-260	LIST	16"	Good
KH-261	LITU	22"	Good
KH-262	LIST	9"	Good
KH-263	QURU	17"	Good
KH-264	QUAL	8"	Good
KH-265	PITA	16"	Good
KH-266	QURU	14"	Good
KH-267	QUAL	11"	Good
KH-268	QUAL	12"	Good
KH-269	PITA	15"	Good

Tree Code	Botanical Name	DBH	Condition Overall
KH-002	PITA	30"	Good
KH-003	ACRU	31"	Good
KH-004	LITU	45"	Fair
KH-005	QUAL	7"	Good
KH-006	LIST	10"	Good
KH-007	LIST	6"	Good
KH-008	CATO	5"	Good
KH-009	JUVI	5"	Good
KH-010	QURU	4"	Good
KH-011	QURU	6"	Good
KH-012	QUAL	21"	Good
KH-014	QUAL	9"	Good
KH-015	QUPA	15"	Good
KH-016	CATO	10"	Good
KH-017	QUPA	10"	Good
KH-019	LIST	11"	Good
KH-020	QUNI	12"	Good
KH-021	PITA	40"	Excellent
KH-023	LIST	5"	Good
KH-024	LIST	8"	Good
KH-025	JUVI	30"	Good
KH-026	PRSE	6"	Good
KH-027	PITA	13"	Good
KH-028	PITA	13"	Good
KH-029	JUVI	5"	Good
KH-030	PRSE	4"	Good
KH-031	PLOR	3"	Fair
KH-032	DVI	18"	Good
KH-033	PITA	25"	Excellent
KH-034	PITA	18"	Excellent
KH-035	QUNI	29"	Good
KH-036	LIST	8"	Good
KH-037	ULRU	14"	Good
KH-038	PITA	17"	Good
KH-039	PITA	13"	Good
KH-040	PITA	16"	Good
KH-041	QUAL	6"	Good
KH-042	PITA	16"	Good
KH-043	ULRU	6"	Good
KH-044	QUNI	5"	Fair
KH-045	QUNI	10"	Good
KH-046	QUNI	6"	Good
KH-047	PITA	21"	Good
KH-048	PITA	21"	Good
KH-049	QUNI	5"	Good
KH-050	QUNI	21"	Good
KH-051	QURU	6"	Good
KH-052	LIST	8"	Good
KH-053	QUAL	8"	Good
KH-054	PITA	20"	Good
KH-055	QURU	8"	Good
KH-056	KOFL	3"	Good
KH-057	QUNI	5"	Good
KH-058	QUAL	10"	Good
KH-059	QUAL	5"	Good
KH-060	LIST	5"	Good
KH-061	QUNI	5"	Good
KH-062	QUAL	8"	Good
KH-063	QUNI	8"	Good
KH-064	QUAL	6"	Good
KH-065	PITA	10"	Good
KH-066	PITA	16"	Good

Tree Code	Botanical Name	DBH	Condition Overall
KH-270	PITA	15"	Good
KH-271	QURU	8"	Good
KH-272	PRSE	6"	Poor
KH-273	PRSE	7"	Fair
KH-274	ULRU	20"	Fair
KH-275	LISI	6"	Fair
KH-276	LISI	3"	Fair
KH-277	PITA	28"	Good
KH-278	ILOP	11"	Good
KH-279	PRSE	8"	Good
KH-280	QURU	13"	Good
KH-281	QUNI	12"	Poor
KH-282	PITA	25"	Good
KH-283	QUAL	16"	Good
KH-284	QUNI	20"	Good
KH-285	QUNI	8"	Poor
KH-286	LIST	8"	Good
KH-287	PRSE	5"	Good
KH-288	ILOP	5"	Good
KH-289	QUNI	4"	Good
KH-290	PRSE	4"	Good
KH-291	QUST	11"	Fair
KH-292	QUNI	4"	Good
KH-293	PITA		

Project section 1		
Zoning:	RM - CZ	
Total property area:	84.61	
Required tree protection area(AC)	8.46	
Required tree protection zones	Acres	Square Feet
RM-TS 1	24.26	1,056,715
RM-TS 2	1.79	78,143
RM-TS 3	2.07	90,315
TOTAL	28.13	1,225,173

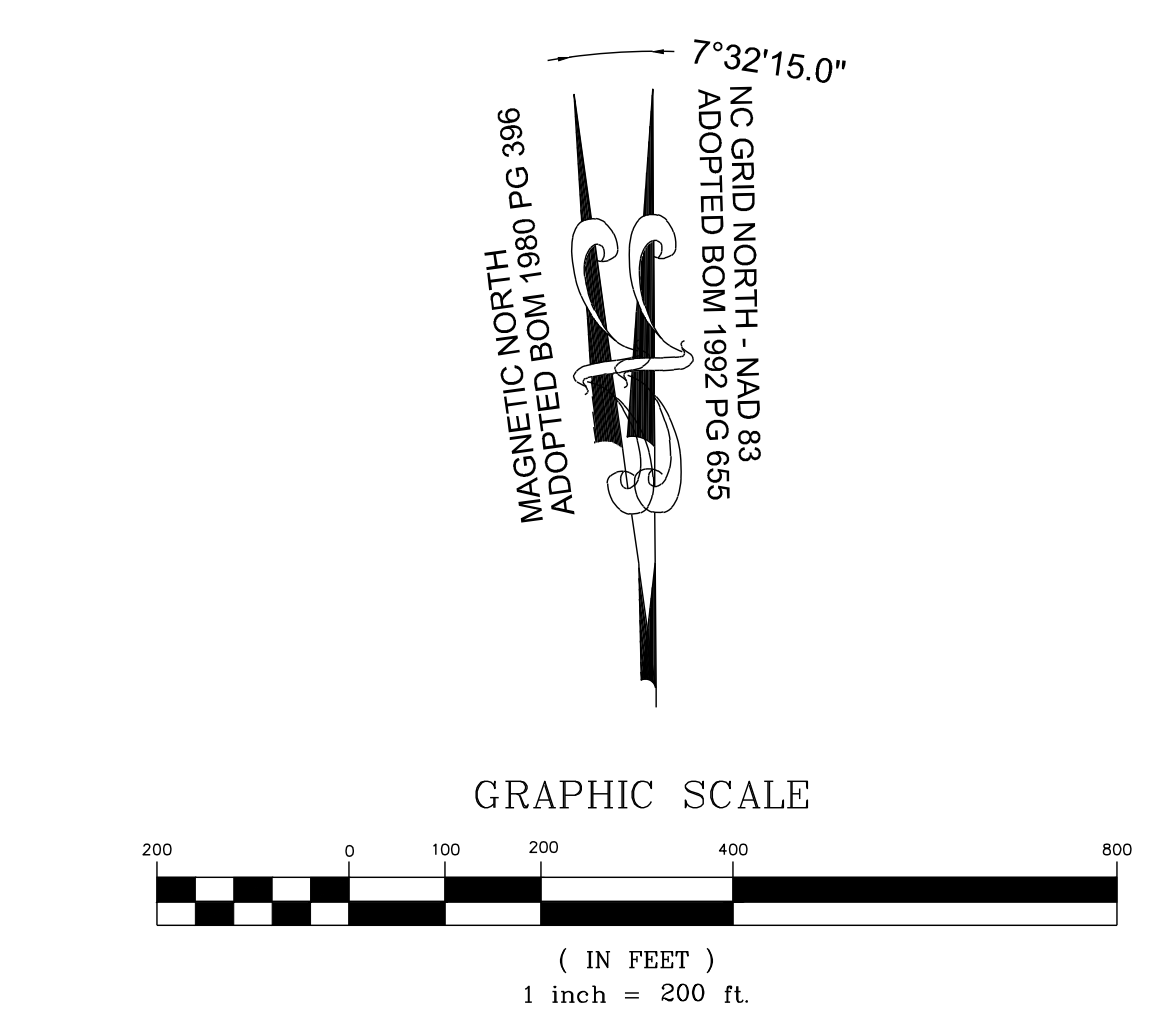
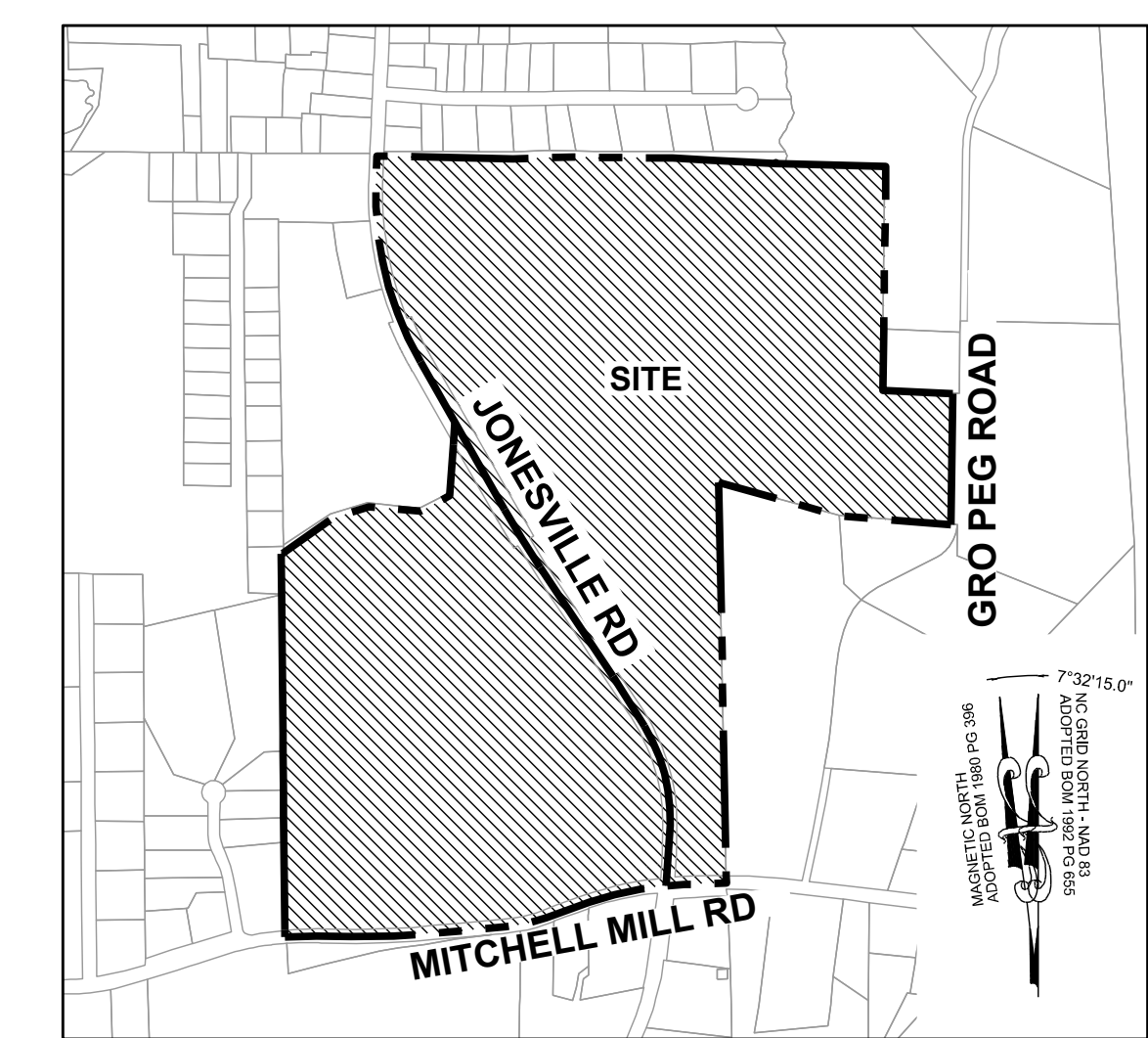
Project section 2		
Zoning:	NC-CZ	
Total property area:	54.08	
Required tree protection area(AC)	8.11	
Required tree protection zones	Acres	Square Feet
NC-TS 1	5.62	244,658
NC-TS 2	0.78	33,950
NC-TS 3	0.36	15,691
NC-TS 4	0.29	12,630
NC-TS 5	0.17	7,489
NC-TS 6	0.15	6,452
TOTAL	7.37	320,870



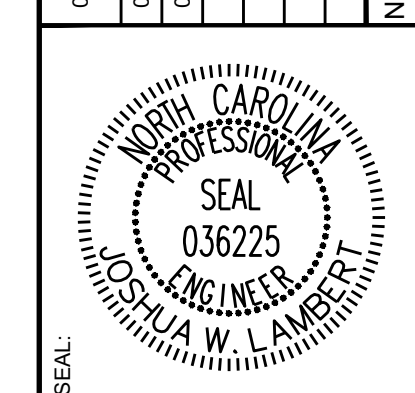
NOTES:
SEE SHEET C-3.0 FOR ADJACENT PROPERTY DETAILS

LEGEND:

- MASTER PLAN BOUNDARY
- EXISTING ADJOINER PROPERTY LINE
- EXISTING INTERMITTENT STREAM
- EXISTING PERENNIAL STREAM
- EXISTING BUFFER ZONE 1
- EXISTING BUFFER ZONE 2
- 500YR FLOOD LINE
- 100YR FLOOD LINE
- 100 YEAR FLOOD LINE
- SWAMP/MARSH HARRIS CREEK
- EXISTING TREE
- NEW IRON PIPE
- EXISTING IRON PIPE
- WTLD
- WTLD
- TP
- TP
- TP
- TP
- TP
- TP
- TREE PROTECTION AREA - NC ZONE
- TREE PROTECTION AREA - RM ZONE



CONSTRUCTION INFRASTRUCTURE DRAWINGS	DATE	BY
CID-24-04	08/04/2024	SREG
TOWN OF ROLESVILLE CID-24-04 V2	11/07/2024	SREG
TOWN OF ROLESVILLE CID-24-04 V3	02/07/2024	SREG



STRONGROCK
ENGINEERING GROUP

STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166
305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

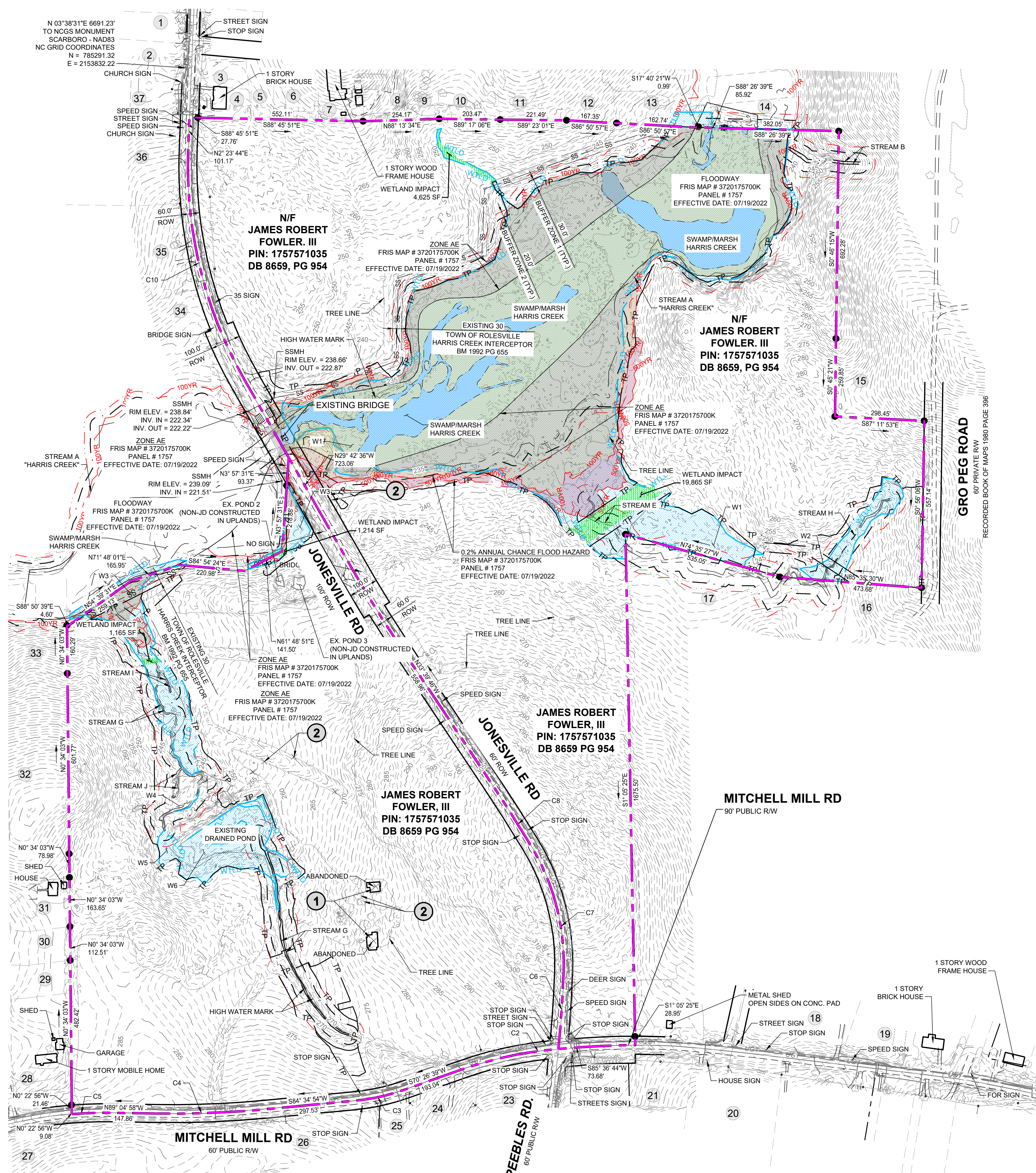
STRONG ROCK PROJECT	JWL
PSP-24-03	JWL
NOT FOR CONSTRUCTION	JWL
SCALE AS SHOWN	JWL
DESIGNED BY	JWL
DRAWN BY	SREG
CHECKED BY	JWL

RESERVE @ MITCHELL MILL
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
CONSTRUCTION PLANS
TREE PROTECTION PLAN

DRAWING SHEET
C-3.10

ADJOINER INFORMATION

1	CHARLES E. FERRELL AND WIFE GRETTA LOUISE FERRELL PIN: 1757481951 DB 1813 PG 421 ZONING: R-30 (WC) USE: SF	20	CECIL L. GOODNIGHT AND WIFE, JUDY J. GOODNIGHT PIN: 1757650296 DB 5344 PG 819 ZONING: R-30 (WC) USE: SF
2	ABRAHAM T. BURNHAM AND KYLA L. BURNHAM PIN: 1757481822 DB 19140 PG 734 ZONING: R-30 (WC) USE: SF	21	CECIL L. GOODNIGHT AND WIFE, JUDY J. GOODNIGHT PIN: 1757650296 DB 5344 PG 819 ZONING: R-30 (WC) USE: VA
3	JOE L. GREEN PIN: 1757483799 DB 15-E PG 2691 ZONING: R-30 (WC) USE: SF	22	CHRISTOPHER GHOLSON AND WIFE, KELLY GAITHER GHOLSON PIN: 1757556361 DB 17855 PG 457 LOT 4 - BM 2018 PG 1333 ZONING: R-30 (WC) USE: SF
4	CHARLES ALFONSA JONES AND WIFE ALLIE V. JONES PIN: 1757484699 DB 2305 PG 673 ZONING: R-30 (WC) USE: SF	23	ABAHOR ELIAS AND SPOUSE, SUSAN ELIAS PIN: 1757552515 DB 17220 PG 2509 LOT 3 - BM 2018 PG 1333 ZONING: R-30 (WC) USE: SF
5	BENJAMIN FERRELL PIN: 1757485713 DB 1697 PG 465 ZONING: R-30 (WC) USE: SF	24	TODD KENDALL HONEYCUTT PIN: 1757551202 DB 13474 PG 974 LOT 2 - BM 2018 PG 1333 ZONING: R-30 (WC) USE: SF
6	ALESHIA FERRELL & ARRON WALKER PIN: 1757486733 DB 6374 PG 89 BM 1996 PG 00524 ZONING: R-30 (WC) USE: SF	25	CURTIS L. HONEYCUTT AND WIFE TODD KENDALL PIN: 1757540996 DB 19269 PG 2474 LOT 1 - BM 2018 PG 1333 ZONING: R-30 (WC) USE: SF
7	CHRIST HOLINESS CHURCH #1 PIN: 1757487783 DB 2028 PG 328 ZONING: R-30 (WC) USE: CH	26	PHETIS JONES BRADSHER PIN: 1757348473 DB 15208 PG 2320 BM 2013 PG 968 ZONING: R-30 (WC) USE: FO
8	CHRIST HOLINESS CHURCH #1 PIN: 1757487783 DB 4321 PG 788 ZONING: R-30 (WC) USE: VA	27	PHETIS JONES BRADSHER PIN: 1757348473 DB 15208 PG 2320 ZONING: R-30 (WC) USE: FO
9	CHRIST HOLINESS CHURCH #1 PIN: 1757580764 DB 9467 PG 430 ZONING: R-30 (WC) USE: VA	28	PERR Y. ELWOOD RYAN PIN: 1757557582 DB 19292 PG 2780 ZONING: R-30 (WC) USE: WO
10	ALICIA BROWN & CARL T. JONES PIN: 1757582714 DB 16128 PG 183 ZONING: R-30 (WC) USE: SF	29	TOUUTOFF, KENNETH S. TOUUTOFF, BILLIE ANNE PIN: 1757357764 DB 9236 PG 2229 LOT 3 - BM 1990 PG 956 ZONING: R-30 (WC) USE: SF
11	RS RENTAL II LLC PIN: 1757584724 DB 18703 PG 2414 BM 1981 PG 894 ZONING: R-30 (WC) USE: SF	30	BERNARD MILLER PIN: 1757578655 DB 15416 PG 1651 LOT 4 - BM 1990 PG 956 ZONING: R-30 (WC) USE: SF
12	KAREN E. BASS PIN: 1757586704 DB 12560 PG 1626 BM 1984 PG 943 ZONING: R-30 (WC) USE: SF	31	MARCI L. HOLDEN PIN: 1757589808 DB 15599 PG 1003 LOT 5 - BM 1990 PG 956 ZONING: R-30 (WC) USE: SF
13	JAMES K. WILLIAMS PIN: 1757588784 DB 16784 PG 1013 BM 1989 PG 01474 ZONING: R-30 (WC) USE: VA	32	MEGAN KULAWIAK PIN: 1757367367 DB 16226 PG 1133 LOT 6 BM 1990 PG 00387 ZONING: R-30 (WC) USE: VA
14	GRO PEG PROPERTIES LLC PIN: 1757684897 DB 18359 PG 1707 LOT 5 - BM 1980 PG 00396 ZONING: R-30 (WC) USE: VA	33	KENNETH INVESTMENT LLC. PIN: 1757368816 DB 19248 PG 1884 ZONING: R-30 (WC) USE: VA
15	SCOTT & THERESA CARLE PIN: 1757675786 DB 14863 PG 2493 LOT 4A - BM 1980 PG 00396 ZONING: R-30 (WC) USE: VA	34	KENNETH INVESTMENT LLC PIN: 1757471559 DB 19248 PG 1884 LOT - BM 2007 PG 01224 ZONING: R-30 (WC) USE: VA
16	GRO PEG PROPERTIES PIN: 1757649596 DB 18081 PG 2785 LOT 2A - BM 1982 PG 00581 ZONING: R-30 (WC) USE: VA	35	HENRY ALSTON PIN: 1757481376 DB 19248 PG 984 BM 1982 PG 721 ZONING: R-30 (WC) USE: SF
17	MT CALVARY HOLINESS CHURCH OF WAKE CO. INC PIN: 1757660324 DB 10124 PG 2778 LOT 1 - BM 2002 PG 991 ZONING: R-30 (WC) USE: VA	36	UNIVERSAL CHURCH OF PRAYER PIN: 1757388408 DB 19559 PG 1723 LOT - BM 2002 PG 00867 ZONING: R-30 (WC) USE: CH
18	G. ARCHIE UNDERHILL, JR. AND WIFE, TERESSA C. UNDERHILL PIN: 1757653765 DB 8443 PG 2129 BM 1990 PG 1357 ZONING: R-30 (WC) USE: SF	37	ROZELIA J. HARTFIELD HEIRS PIN: 1757481740 DB 10-E PG 1220 ZONING: R-30 (WC) USE: VA
19	GENADIUS MAC PREDDY AND WIFE, MATTIE F. PREDDY PIN: 1757556586 DB 1882 PG 342 ZONING: R-30 (WC) USE: SF		



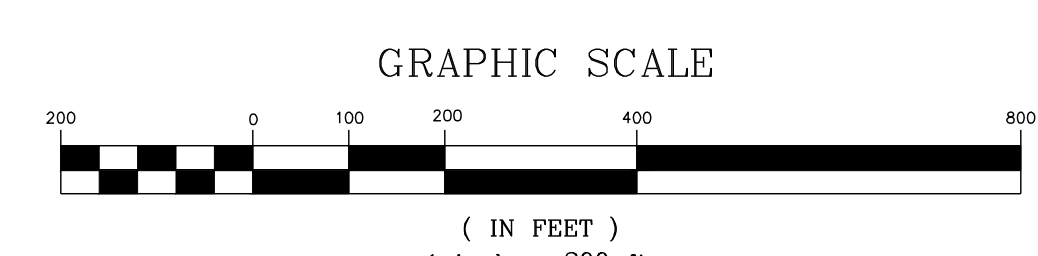
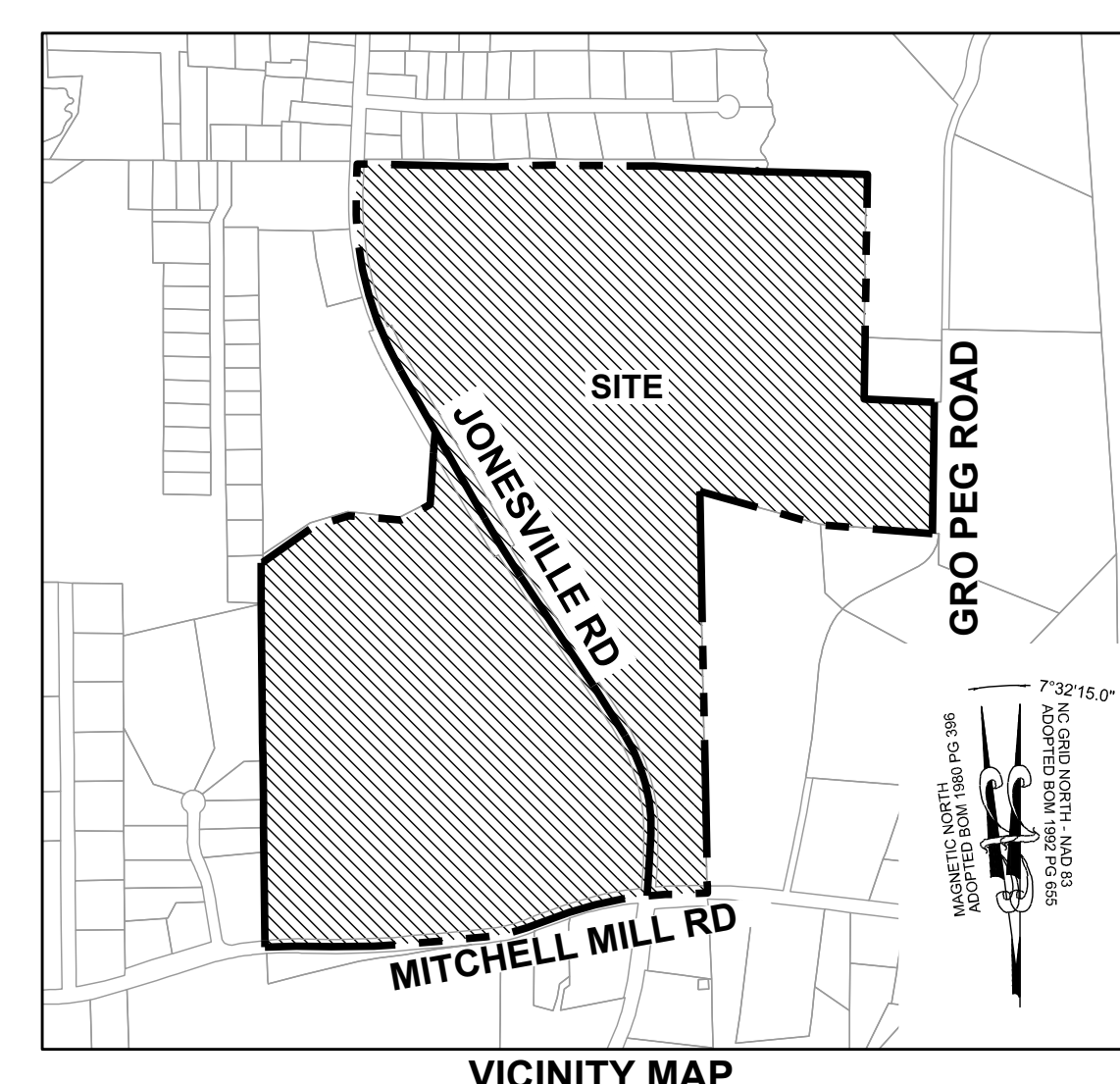
DEMOLITION KEYNOTES:
 ① EXISTING BUILDING TO BE REMOVED.
 ② EXISTING TREES TO BE REMOVED.

LEGEND:

- MASTER PLAN BOUNDARY
- EXISTING ADJOINER PROPERTY LINE
- 5' CONTOUR
- 1' CONTOUR
- EXISTING INTERMITTENT STREAM
- EXISTING PERENNIAL STREAM
- EXISTING BUFFER ZONE 1
- EXISTING BUFFER ZONE 2
- 500 YEAR FLOOD LINE
- 100 YEAR FLOOD LINE
- EXISTING TREE
- NEW IRON PIPE
- EXISTING IRON PIPE
- EXISTING WETLAND
- FLOOD HAZARD
- FLOODZONE AE
- FLOODWAY
- SWAMP/MARSH HARRIS CREEK
- WETLAND IMPACTS

PARCEL CURVE TABLE

CURVE	RADIUS	LENGTH	CHORD	BEARING
C1	2310.00'	177.66'	177.62'	S 85°36'44" W
C2	1293.60'	342.46'	341.46'	S 70°26'39" W
C3	713.00'	175.93'	175.49'	S 84°34'54" W
C4	3289.02'	363.69'	363.50'	N 89°04'58" W
C5	1415.00'	134.86'	134.81'	N 85°27'24" W
C6	4219.80'	259.16'	259.12'	N 02°03'26" E
C7	760.57'	443.75'	437.48'	N 31°22'17" W
C8	5980.51'	247.98'	249.97'	N 33°39'46" W
C9	4196.85'	289.52'	289.47'	N 29°42'36" W
C10	1444.00'	809.14'	798.60'	N 02°23'44" E



THIS PLANSET AND ANY ASSOCIATED DOCUMENTS ARE PRELIMINARY AND NOT AUTHORIZED FOR CONSTRUCTION UNTIL SIGNED, DATED, AND OFFICIALLY RELEASED FOR CONSTRUCTION BY THE ENGINEER OF RECORD.

CONSTRUCTION INFRASTRUCTURE DRAWINGS	DATE	BY
08/04/2024		
11/07/2024		
02/07/2024		

STRONGROCK ENGINEERING GROUP
 STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166
 305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
PSP-24-03	AS SHOWN	JWL	SRG	JWL

RESERVE @ MITCHELL MILL
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
 CONSTRUCTION PLANS
 DEMOLITION PLAN

DRAWING SHEET
C-4.0

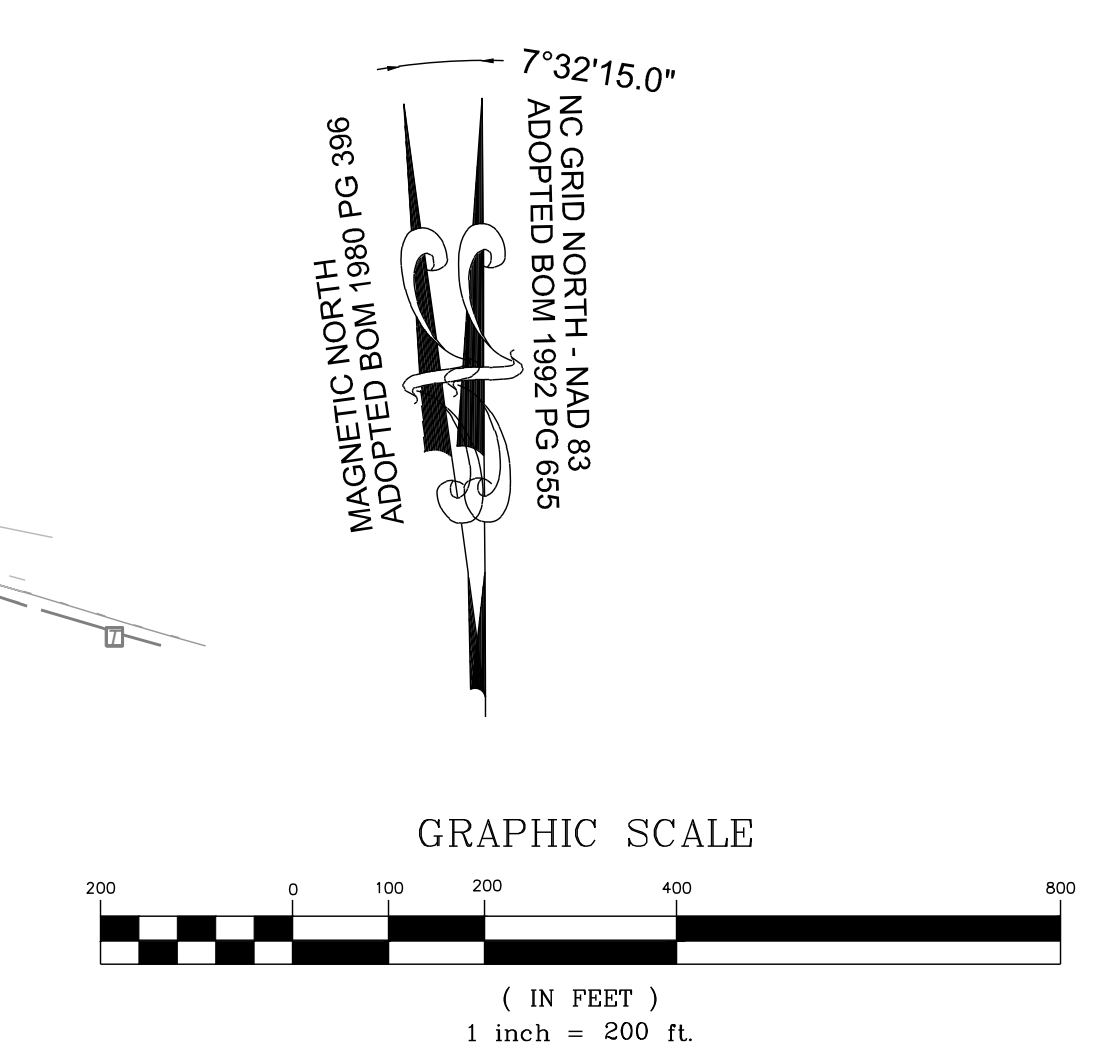


LEGEND:

	PHASE 1: 42.33 AC
	PHASE 2: 22.02 AC
	PHASE 3: 20.26 AC
	PHASE 4: 18.32 AC
	PHASE 5: 16.71 AC
	PHASE 6: 19.05 AC

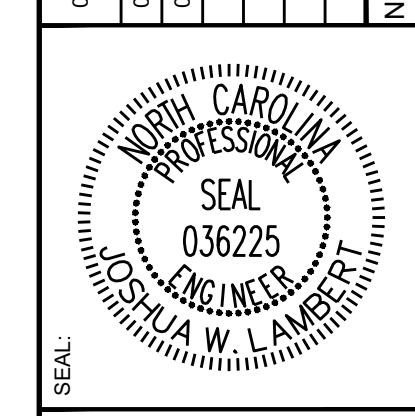
NOTES:
 SEE COVER SHEET FOR ALL SETBACK REQUIREMENTS
 SEE SHEET C-3.0 FOR ADJACENT PROPERTY DETAILS
 SEE SHEETS C-6 FOR OPEN SPACE INFORMATION

TOWNHOME NOTES:
 STATES INTERNAL TOWNHOME DRIVEWAYS ARE PRIVATE EASEMENTS AS PER CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT



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NO.	REVISIONS	DATE	BY
01	CONSTRUCTION INFRASTRUCTURE DRAWINGS CID-24-04	08/04/2024	SREG
02	TOWN OF ROLESVILLE CID-24-04 V2	11/07/2024	SREG
03	TOWN OF ROLESVILLE CID-24-04 V3	02/07/2024	SREG



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 ENGINEERING GROUP
 STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166
 305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT P-24-03	DESIGNED BY JWL	SRG
NOT FOR CONSTRUCTION	DRAWN BY SRG	JWL
SCALE AS SHOWN	CHECKED BY JWL	

RESERVE @ MITCHELL MILL
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
 CONSTRUCTION PLANS
 PHASING PLAN

DRAWING SHEET
C-5.0

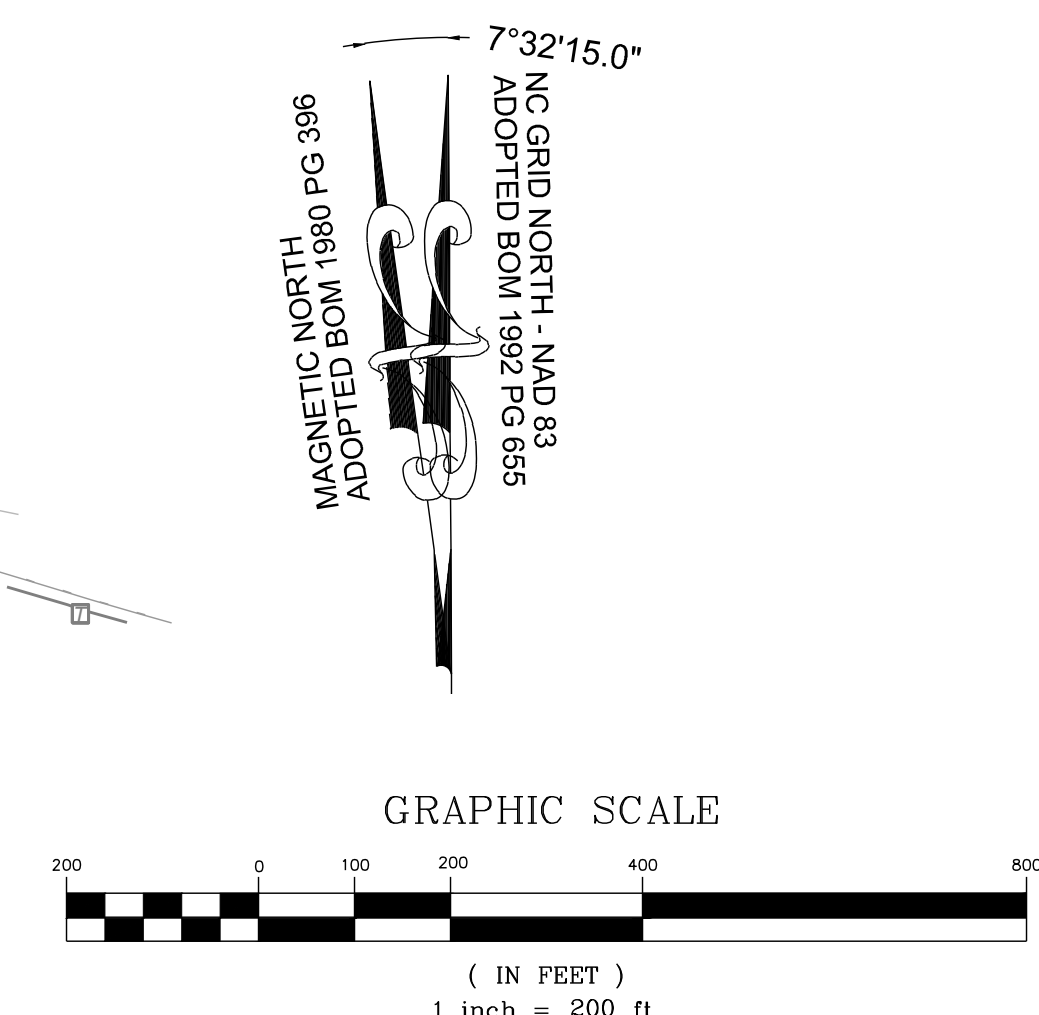


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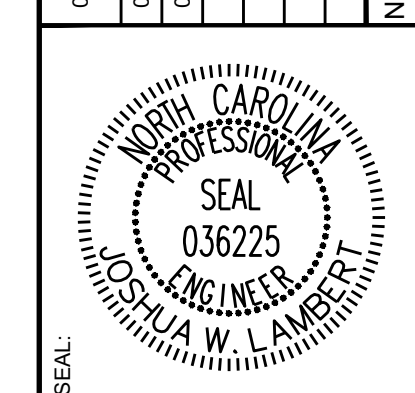
TOWNHOME NOTES:
 STATES INTERNAL TOWNHOME DRIVEWAYS ARE PRIVATE EASEMENTS AS PER CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT

NOTES:
 SEE COVER SHEET FOR ALL SETBACK REQUIREMENTS
 SEE SHEET C-3.0 FOR ADJACENT PROPERTY DETAILS



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NO.	REVISIONS	DATE	BY
01			
02			
03			



STRONGROCK
 ENGINEERING GROUP
 STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166
 305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	STRONG ROCK PROJECT	STRONG ROCK PROJECT	STRONG ROCK PROJECT
PSP-24-03	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL
			DRAWN BY SRG
			CHECKED BY JWL

RESERVE @ MITCHELL MILL
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
 CONSTRUCTION PLANS
 BLOCK AND LOT PLAN

DRAWING SHEET
C-5.1

LINE TABLE					
NAME	ROADWAY	LENGTH	DIRECTION	BEGIN STATION	END STATION
L1	SOUNDGARDEN COURT	28.00'	N19°46'28"W	22+38.85	22+66.85
L2	SOUNDGARDEN COURT	729.66'	N89°58'55"E	10+00.00	17+29.66
L3	SOUNDGARDEN COURT	211.22'	N70°13'32"E	20+27.63	22+38.85
L4	CORNELL GARDEN STREET	15.79'	N0°01'05"W	19+50.07	19+65.85
L5	CORNELL GARDEN STREET	491.62'	N85°38'58"E	10+00.00	14+91.62
L6	LIGHTNING BOLT LANE	1222.94'	N56°12'22"E	10+00.00	22+22.94
L7	LIGHTNING BOLT LANE	451.93'	S87°11'53"E	25+42.30	29+94.22
L8	UNPLUGGED AVENUE	348.89'	N56°12'22"E	11+76.90	15+25.79
L9	UNPLUGGED AVENUE	28.00'	N33°47'38"W	15+25.79	15+53.79
L10	UNPLUGGED AVENUE	176.90'	N33°46'39"W	10+00.00	11+76.90
L11	GIGATON STREET	68.95'	S1°05'25"E	18+43.12	19+12.07
L12	GIGATON STREET	70.05'	S32°03'33"E	12+05.00	12+75.05
L13	GIGATON STREET	406.86'	S33°46'39"W	13+05.04	17+11.90
L14	GIGATON STREET	175.00'	S33°46'39"E	10+00.00	11+75.00
L15	COUNTER STREET	103.46'	S33°47'38"E	10+00.00	11+03.46
L16	COUNTER STREET	530.88'	S1°05'25"E	12+34.74	17+65.61
L17	MONKEYWRENCH STREET	2.12'	S56°13'21"W	12+16.59	12+18.71
L18	MONKEYWRENCH STREET	85.37'	S88°54'35"W	10+00.00	10+85.37
L19	SUPERSONIC WAY	11.85'	N28°40'26"W	10+00.00	10+11.85
L20	SUPERSONIC WAY	258.23'	S89°18'50"E	13+94.68	16+52.91
L21	SUPERSONIC WAY	264.97'	N0°41'10"E	11+29.71	13+94.68
L22	PARACHUTE PLACE	61.73'	S28°40'26"E	10+00.00	10+61.73
L23	PARACHUTE PLACE	2.61'	N59°15'52"E	14+31.29	14+33.90
L24	PARACHUTE PLACE	4.68'	N2°48'07"E	16+60.56	16+65.24
L25	LUKIN LANE	434.34'	N0°41'10"E	10+00.00	14+34.34
L26	MCCREADY COURT	116.47'	S56°12'22"W	10+00.00	11+16.47
L27	MCCREADY COURT	351.71'	S79°05'59"W	12+40.34	15+92.05
L28	OCEANS COURT	115.42'	N14°39'30"W	10+00.00	11+15.42
L29	OCEANS COURT	17.18'	N2°10'11"W	11+91.71	12+08.88
L30	OCEANS COURT	288.95'	N23°37'43"W	13+24.99	16+13.93

LINE TABLE					
NAME	ROADWAY	LENGTH	DIRECTION	BEGIN STATION	END STATION
L31	OCEANS COURT	76.14'	N8°29'13"W	17+46.08	18+22.21
L32	OCEANS COURT	274.64'	N33°36'56"W	19+58.17	22+32.81
L33	OCEANS COURT	30.91'	N10°59'05"W	25+15.22	25+46.13
L34	OCEANS COURT	56.04'	N10°59'05"W	23+55.26	24+11.30
L35	OCEANS COURT	103.92'	N10°59'05"W	24+11.31	25+15.22
L36	BETTERMAN DRIVE	205.88'	S56°12'23"W	10+00.00	12+05.88
L37	BETTERMAN DRIVE	298.92'	S81°30'47"W	13+59.56	16+58.48
L38	VEDDER LANE	7.54'	N12°48'44"W	10+00.00	10+07.54
L39	VEDDER LANE	169.36'	N33°39'46"W	10+91.24	12+60.59
L40	EVEN FLOW LANE	398.73'	N60°00'00"E	10+00.00	13+98.73
L41	EVEN FLOW LANE	167.06'	N66°21'40"E	16+05.02	17+72.08
L42	YELLOW MOON COURT	282.58'	N89°36'34"E	10+00.00	12+82.58
L43	YELLOW MOON COURT	269.10'	N85°56'51"E	13+46.50	16+15.59
L44	YELLOW MOON COURT	28.00'	N4°03'09"W	16+15.60	16+43.59
L45	PENDULUM STREET	1364.52'	N0°23'26"W	10+00.00	23+64.52
L46	PENDULUM STREET	145.41'	S89°36'32"W	23+64.53	25+09.93
L47	MOOKIE ALLEY	22.33'	S12°40'02"E	10+00.00	10+22.33
L48	MOOKIE ALLEY	341.67'	S33°36'56"E	10+77.18	14+18.84
L49	MOOKIE ALLEY	125.34'	S23°26'24"E	14+45.48	15+70.82
L50	CAMERON SOUND ALLEY	20.01'	N56°23'04"E	10+00.00	10+20.01
L51	CAMERON SOUND ALLEY	225.68'	N81°30'47"E	10+85.80	13+11.48
L52	CAMERON SOUND ALLEY	163.72'	N56°21'23"E	13+77.34	15+41.05
L53	DARK MATTER ALLEY	16.09'	N56°23'04"E	10+00.00	10+16.09
L54	DARK MATTER ALLEY	303.00'	N79°05'59"E	10+75.57	13+78.57
L55	DARK MATTER ALLEY	111.56'	N56°23'04"E	14+38.04	15+49.60
L56	GUARANTEED ALLEY	355.03'	N58°06'55"E	11+75.08	15+30.10
L57	GUARANTEED ALLEY	120.13'	N79°05'59"E	10+00.00	11+20.13
L58	PEARL JAM ALLEY	22.86'	N33°38'37"W	10+00.00	10+22.86
L59	PEARL JAM ALLEY	32.89'	N25°36'48"W	10+43.89	10+76.78
L60	PEARL JAM ALLEY	192.60'	N33°36'56"W	10+97.73	12+90.33

CURVE TABLE									
NAME	ROADWAY	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD DIRECTION	BEGIN STATION	END STATION		
C1	SOUNDGARDEN COURT	230.00'	109.33'	108.30'	S76°24'01"E	17+29.66	18+38.99		
C2	SOUNDGARDEN COURT	230.00'	188.64'	183.39'	S86°16'43"E	18+38.99	20+27.63		
C3	FUTURE DAYS WAY	1250.00'	518.68'	514.96'	S11°25'57"E	10+00.00	15+18.68		
C4	CORNELL GARDEN STREET	400.00'	458.45'	433.76'	N32°48'56"E	14+91.62	19+50.06		
C5	LIGHTNING BOLT LANE	500.00'	319.36'	313.96'	N74°30'15"E	22+22.94	25+42.30		
C6	GIGATON STREET	230.00'	131.21'	129.44'	S17°26'02"E	17+11.90	18+43.12		
C7	GIGATON STREET	1000.00'	29.99'	29.99'	S32°55'06"E	11+75.00	12+04.99		
C8	GIGATON STREET	1000.00'	29.99'	29.99'	S32°55'06"E	12+75.05	13+05.04		
C9	COUNTER STREET	230.00'	131.28'	129.51'	S17°26'31"E	11+03.46	12+34.74		
C10	MONKEYWRENCH STREET	230.00'	131.21'	129.44'	S72°33'58"W	10+85.37	12+16.59		
C11	SUPERSONIC WAY	230.00'	117.86'	116.57'	N13°59'38"W	10+11.85	11+29.71		
C12	PARACHUTE PLACE	230.00'	369.56'	331.07'	S74°42'17"E	10+61.73	14+31.29		
C13	PARACHUTE PLACE	230.00'	228.68'	217.60'	N31°02'00"E	14+33.90	16+60.56		
C14	MCCREADY COURT	310.00'	123.87'	123.04'	S67°39'11"W	11+16.47	12+40.33		
C15	OCEANS COURT	350.00'	76.29'	76.14'	N8°24'51"W	11+15.42	11+91.71		
C16	OCEANS COURT	310.00'	116.10'	115.43'	N12°53'57"W	12+08.88	13+24.99		
C17	OCEANS COURT	500.00'	132.14'	131.75'	N16°03'28"W	16+13.93	17+46.07		
C18	OCEANS COURT	310.00'	135.96'	134.87'	N21°03'04"W	18+22.21	19+58.17		
C19	OCEANS COURT	310.00'	122.44'	121.65'	N22°18'00"W	22+32.81	23+55.26		
C20	BETTERMAN DRIVE	350.00'	153.67'	152.44'	S68°56'05"W	12+05.88	13+59.56		
C21	VEDDER LANE	230.00'	83.70'	83.24'	N23°14'15"W	10+07.54	10+91.24		
C22	EVEN FLOW LANE	500.00'	206.29'	204.83'	N78°10'50"E	13+98.73	16+05.02		
C23	YELLOW MOON COURT	1000.00'	63.91'	63.90'	N87°46'43"E	12+82.58	13+46.49		
C24	MOOKIE ALLEY	150.00'	54.84'	54.54'	S23°38'29"E	10+22.33	10+77.17		
C25	MOOKIE ALLEY	150.00'	26.64'	26.60'	S28°31'40"E	14+18.84	14+45.48		



TOWNHOME NOTES:
STATES INTERNAL TOWNHOME DRIVEWAYS ARE PRIVATE EASEMENTS AS PER CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT

NOTES:
SEE COVER SHEET FOR ALL SETBACK REQUIREMENTS
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CURVE TABLE									
NAME	ROADWAY	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD DIRECTION	BEGIN STATION	END STATION		
C26	CAMERON SOUND ALLEY	150.00'	65.79'	65.26'	N68°56'56"E	10+20.01	10+85.79		
C27	CAMERON SOUND ALLEY	150.00'	65.86'	65.33'	N68°56'05"E	13+11.48	13+77.34		
C28	DARK MATTER ALLEY	150.00'	59.47'	59.08'	N67°44'32"E	10+16.09	10+75.56		
C29	DARK MATTER ALLEY	150.00'	59.47'	59.08'	N67°44'32"E	13+78.57	14+38.03		
C30	GUARANTEED ALLEY	150.00'	54.94'	54.63'	N68°36'27"E	11+20.13	11+75.07		
C31	PEARL JAM ALLEY	150.00'	21.02'	21.01'	N29°37'42"W	10+22.86	10+43.89		
C32	PEARL JAM ALLEY	150.00'	20.95'	20.93'	N29°36'52"W	10+76.78	10+97.73		

GENERAL NOTES:

- ALL CONSTRUCTION SHALL CONFORM TO TOWN OF ROLESVILLE AND CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
- ROADS AND DRIVEWAYS SHALL COMPLY WITH NCDOT AND TOWN OF ROLESVILLE STANDARDS.
- SIGN PERMITS SHALL BE REQUIRED FOR ANY ENTRANCE SIGNAGE. PERMITS SHALL BE REQUIRED PRIOR TO FABRICATION OR INSTALLATION OF SIGNS. SIGNAGE SHALL BE RESTRICTED TO AN ON-SITE LOCATION.
- THE WATER AND SEWER SYSTEMS SHALL COMPLY WITH CITY OF RALEIGH STANDARDS.
- ALL DESIGN AND CONSTRUCTION METHODS SHALL COMPLY WITH WAKE COUNTY'S SEDIMENTATION AND EROSION CONTROL REGULATIONS. AN EROSION CONTROL PLAN SHALL BE APPROVED BY TOWN OF ROLESVILLE PRIOR TO ANY GRADING.
- CONSTRUCTION DRAWINGS SHALL BE SUBMITTED AND APPROVED BY TOWN OF ROLESVILLE AND CITY OF RALEIGH PRIOR TO CONSTRUCTION.
- ALL STREETS WITHIN THE SUBDIVISION WILL HAVE A POSTED SPEED LIMIT OF 25 MPH.
- RESTRICTIVE COVENANTS SHALL BE APPROVED AND RECORDED PRIOR TO RECORDING OF FINAL PLAT.
- STORMWATER CONTROL MEASURES SHALL BE CONTAINED IN AND ACCESSED VIA OPEN SPACE MAINTAINED AND OWNED BY THE HOMEOWNERS ASSOCIATION. A MAINTENANCE PLAN MUST BE DEVELOPED TO ADDRESS THE STORMWATER CONTROL MEASURES AND APPROVED BY TOWN OF ROLESVILLE.
- PRIVATE STORM DRAINAGE EASEMENTS SHALL BE MAINTAINED BY THE HOA.
- SUBDIVISION LOTS MUST BE LOTS OF RECORD PRIOR TO RECEIVING A BUILDING PERMIT.
- ALL RETAINING WALLS TO BE DESIGNED BY OTHERS.
- DETAILED DRAWINGS OF EACH AMENITY, THAT SHOWS COMPLIANCE WITH 6.2.1.G.5 AND 6.2.1.G.6, WILL BE PROVIDED IN A SUBSEQUENT SITE PLAN SUBMITTAL.
- DETAILED DRAWINGS OF THE COMMERCIAL AREA WILL BE PROVIDED IN A SUBSEQUENT SITE PLAN SUBMITTAL.

LEGEND:

- EXISTING PROPERTY LINE
- 500 YEAR FLOOD LINE
- 100 YEAR FLOOD LINE
- SIGN
- STOP BAR
- ROADWAY CENTER LINE
- PROPOSED PROPERTY LINE
- ROLESVILLE STANDARD VALLEY CURB
- STANDARD CURB & GUTTER
- GREENWAY
- CONCRETE SIDEWALK
- ASPHALT PAVEMENT
- POLLINATOR GARDEN
- ACTIVE & PASSIVE OPEN SPACE
- 30' STREET YARD BUFFER
- 15' TYPE II PERIMETER BUFFER
- OPEN SPACE
- EXISTING WETLAND
- FLOOD HAZARD
- FLOODZONE AE
- FLOODWAY
- SWAMP/MARSH HARRIS CREEK
- TREE PROTECTION FENCE
- GENERIC WOODEN PRIVACY FENCE
- FENCE PICKET FLAT-TOP FENCING

GRAPHIC SCALE
1 inch = 200 ft

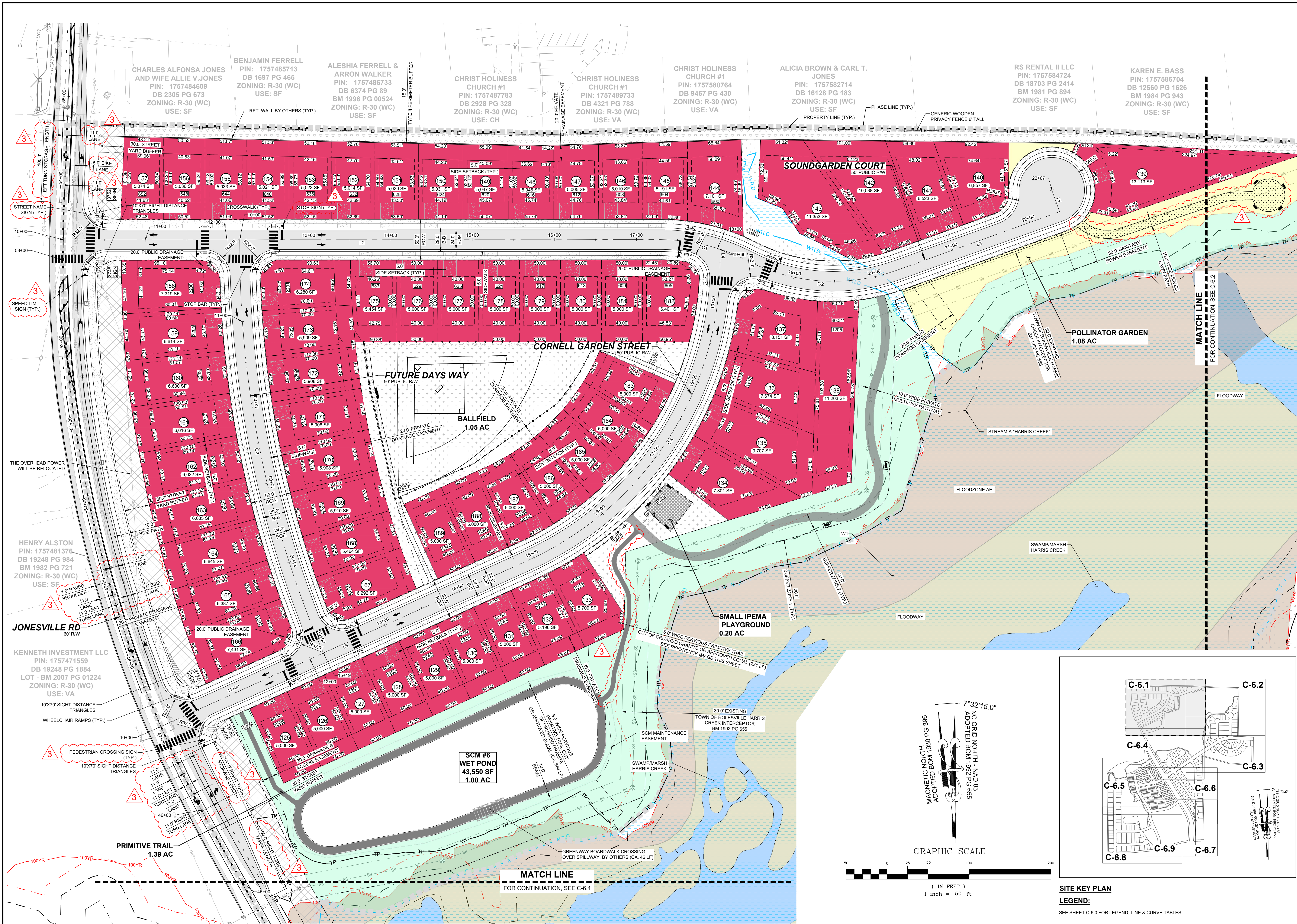
STRONGROCK ENGINEERING GROUP
STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166
305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

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TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
CONSTRUCTION PLANS
OVERALL SITE PLAN

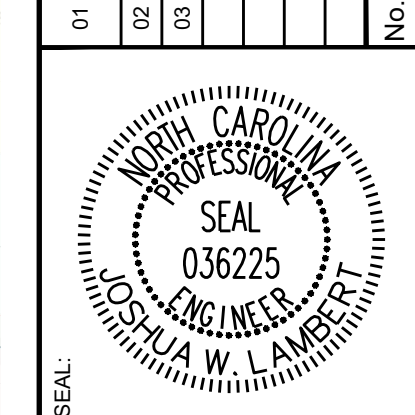
DRAWING SHEET C-6.0

18 OF 201

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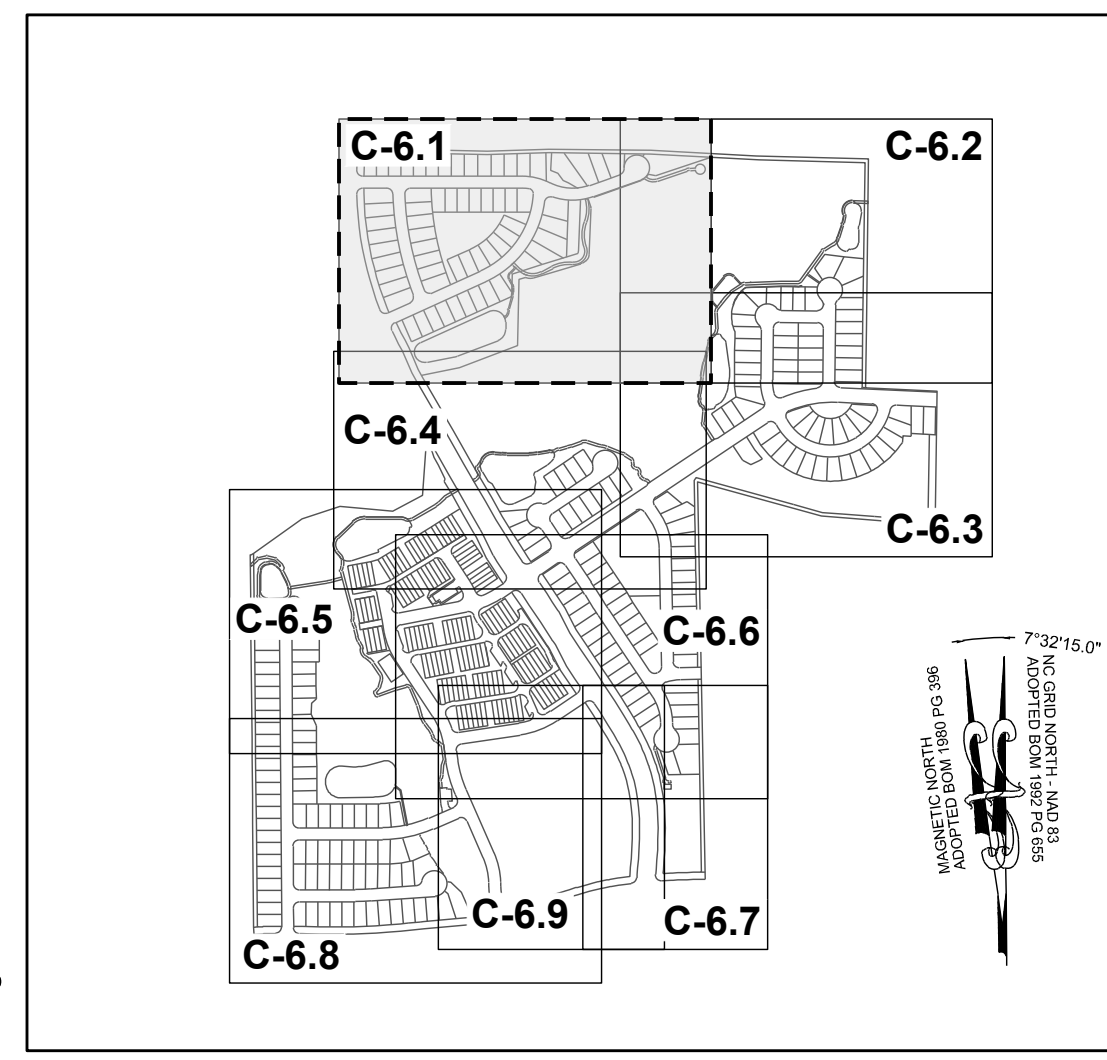
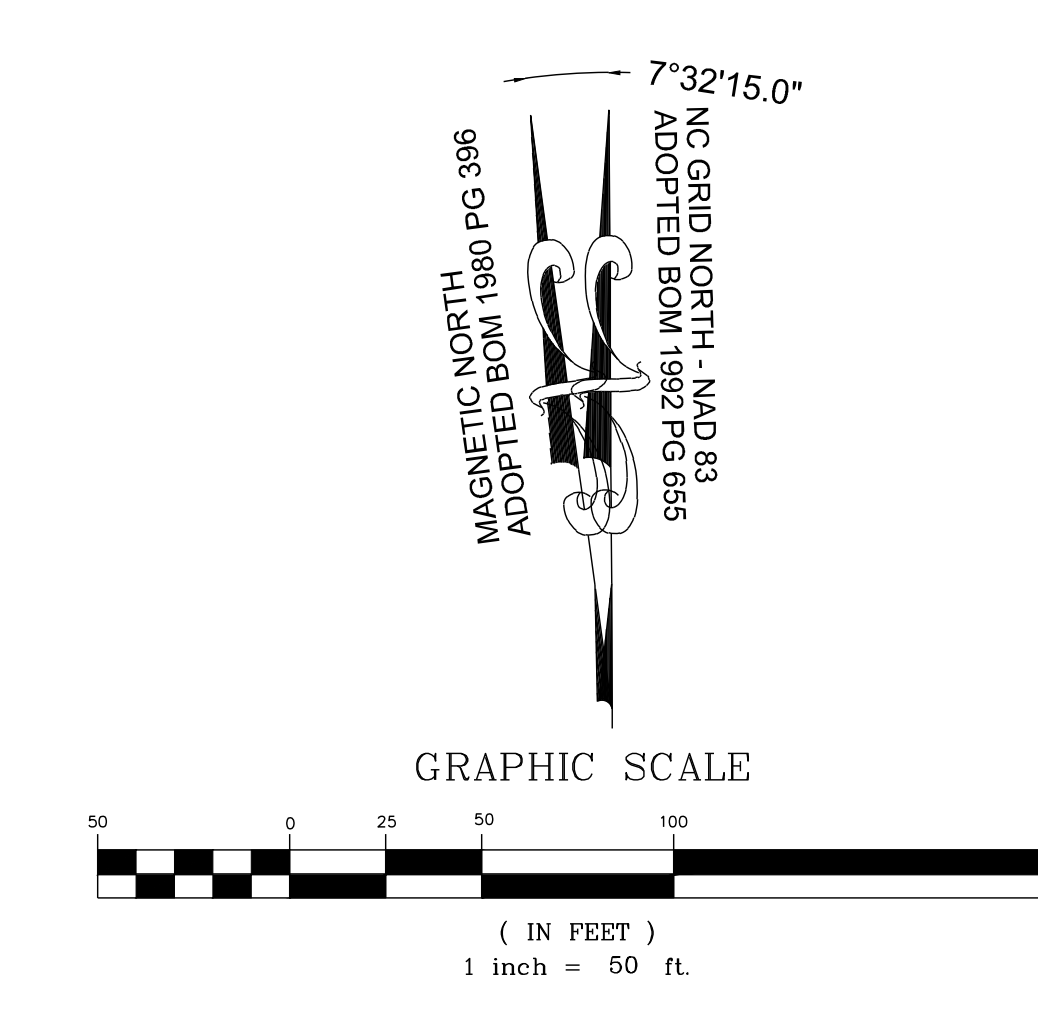
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PSP-24-03	PSP-24-03
NOT FOR CONSTRUCTION	NOT FOR CONSTRUCTION
SCALE AS SHOWN	SCALE AS SHOWN
DESIGNED BY JWL	DESIGNED BY JWL
DRAWN BY SRG	DRAWN BY SRG
CHECKED BY JWL	CHECKED BY JWL

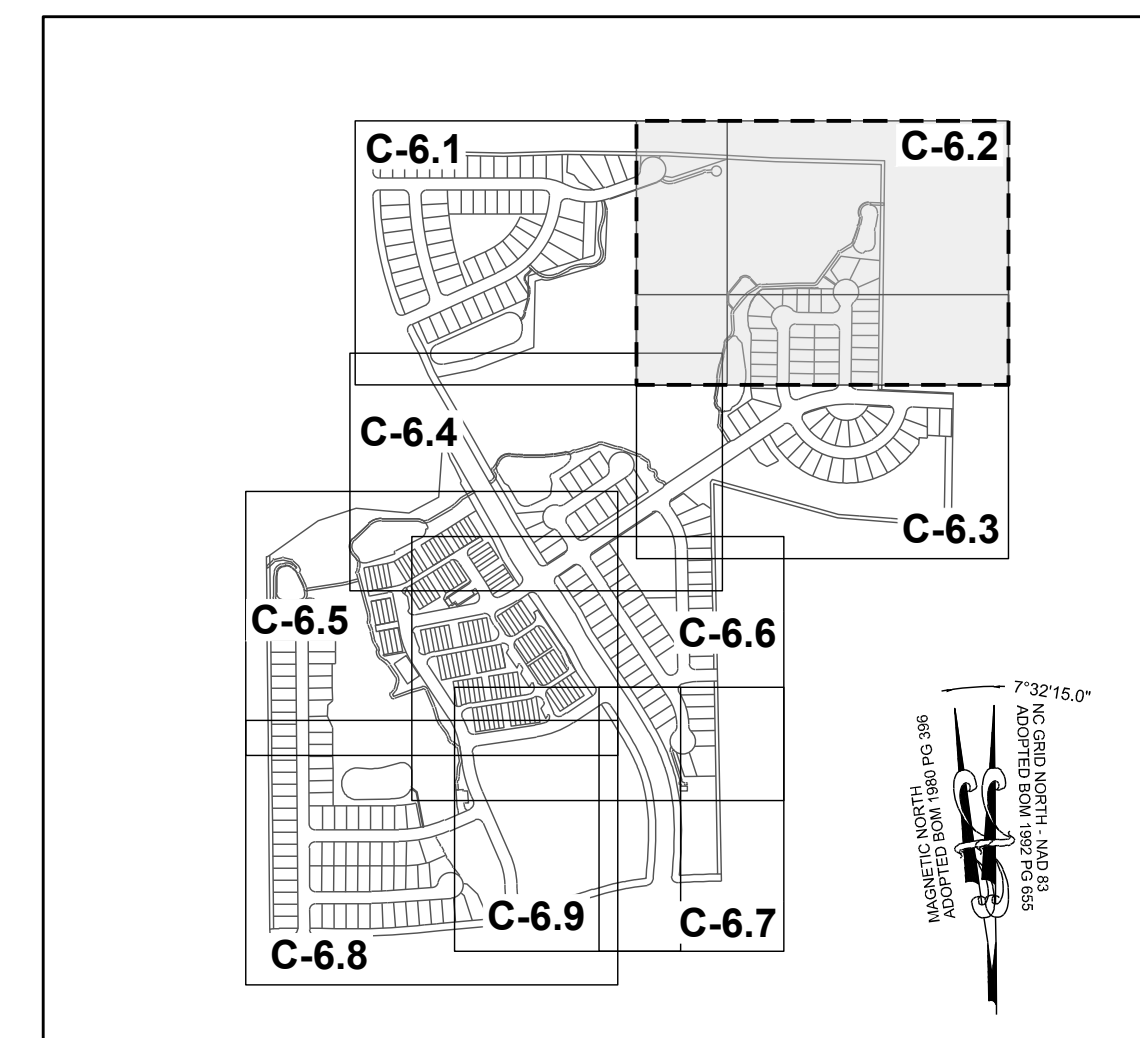
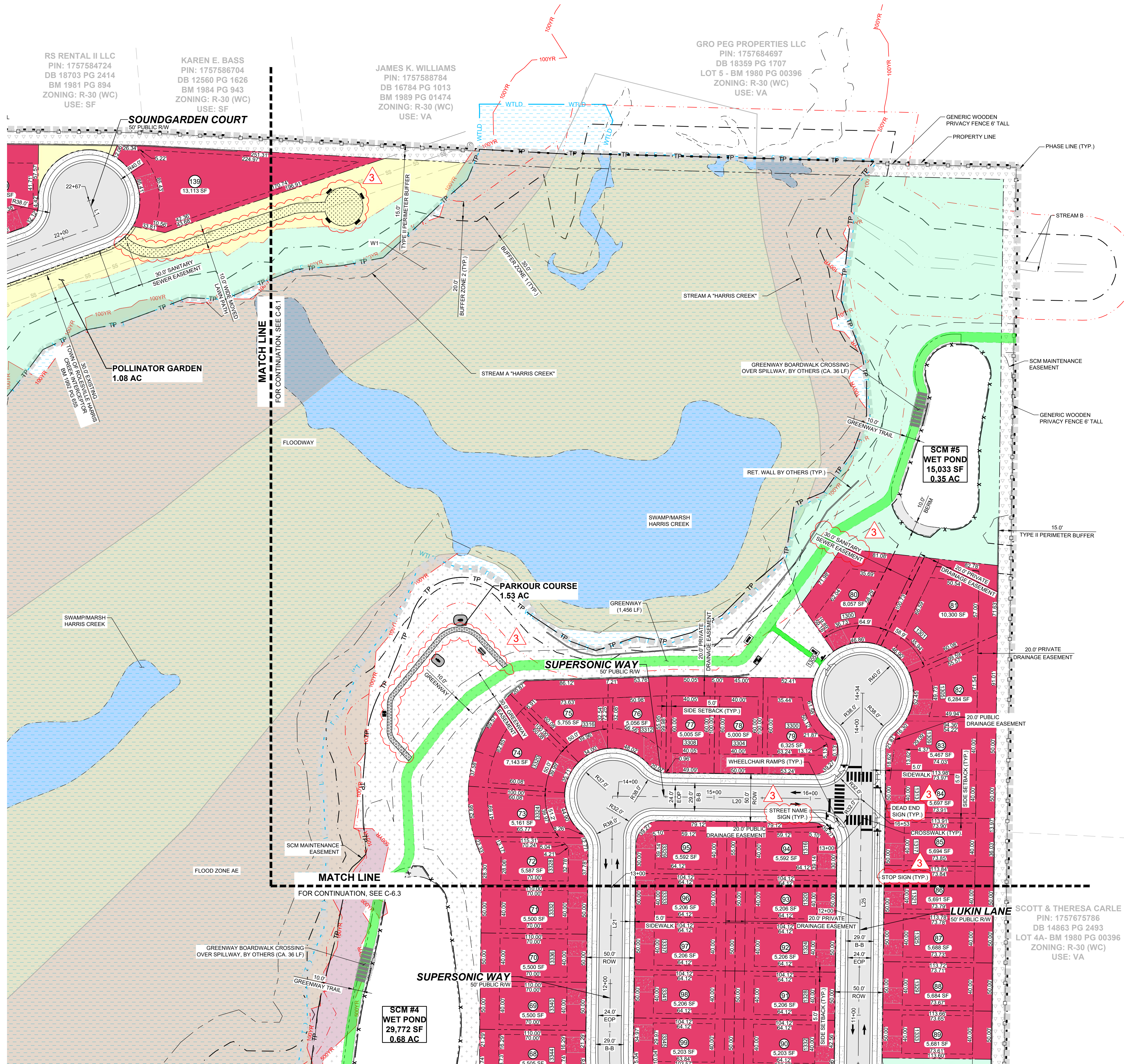
RESERVE @ MITCHELL MILL
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
CONSTRUCTION PLANS
PARTIAL SITE PLAN I

DRAWING SHEET
C-6.1

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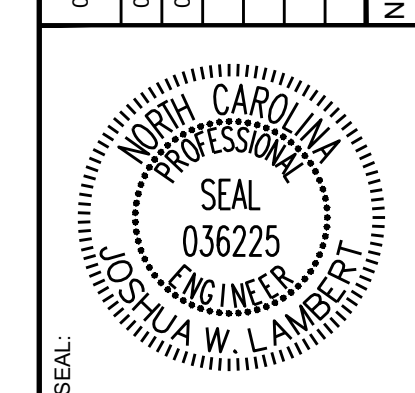


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SITE KEY PLAN
LEGEND:
 SEE SHEET C-6.0 FOR LEGEND, LINE & CURVE TABLES.

NO.	REVISIONS	DATE	BY
01			
02			
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 ENGINEERING GROUP

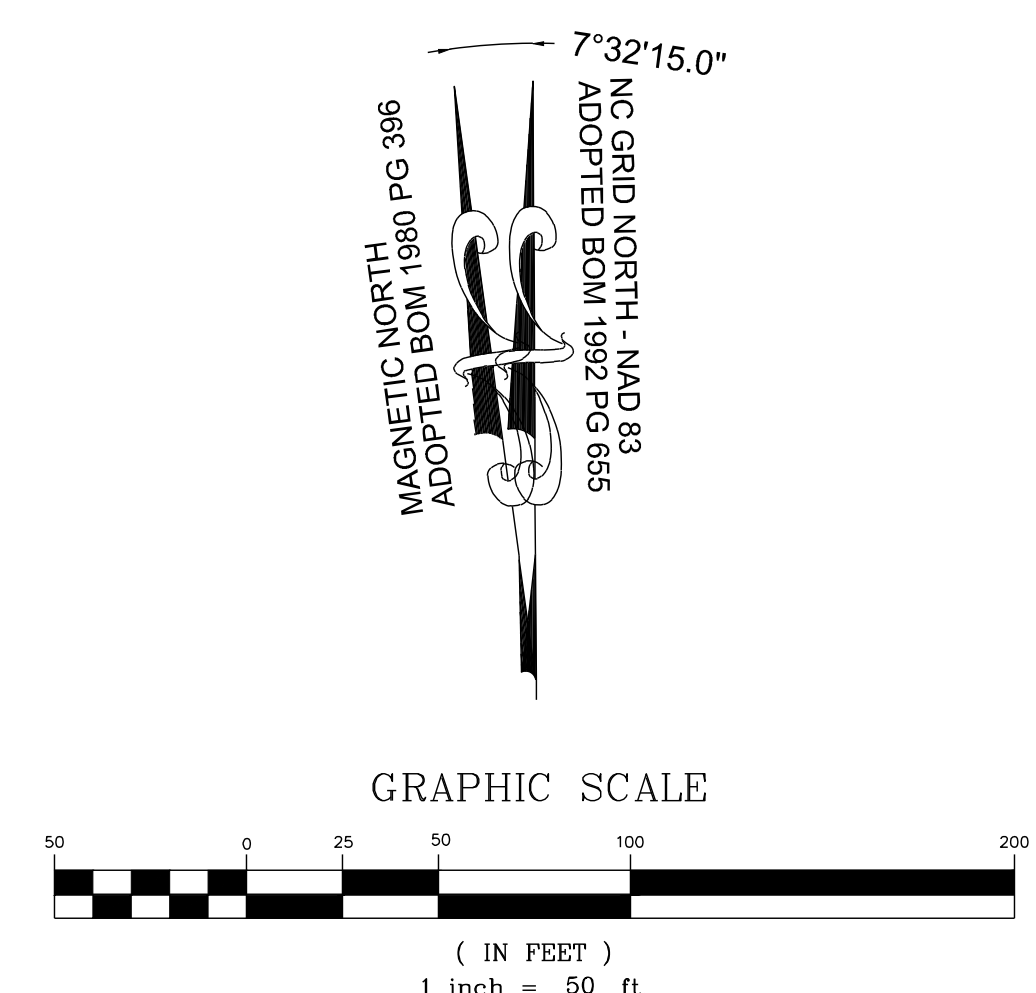
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STRONG ROCK PROJECT	PSP-24-03
NOT FOR CONSTRUCTION	
SCALE	AS SHOWN
DESIGNED BY	JWL
DRAWN BY	SRG
CHECKED BY	JWL

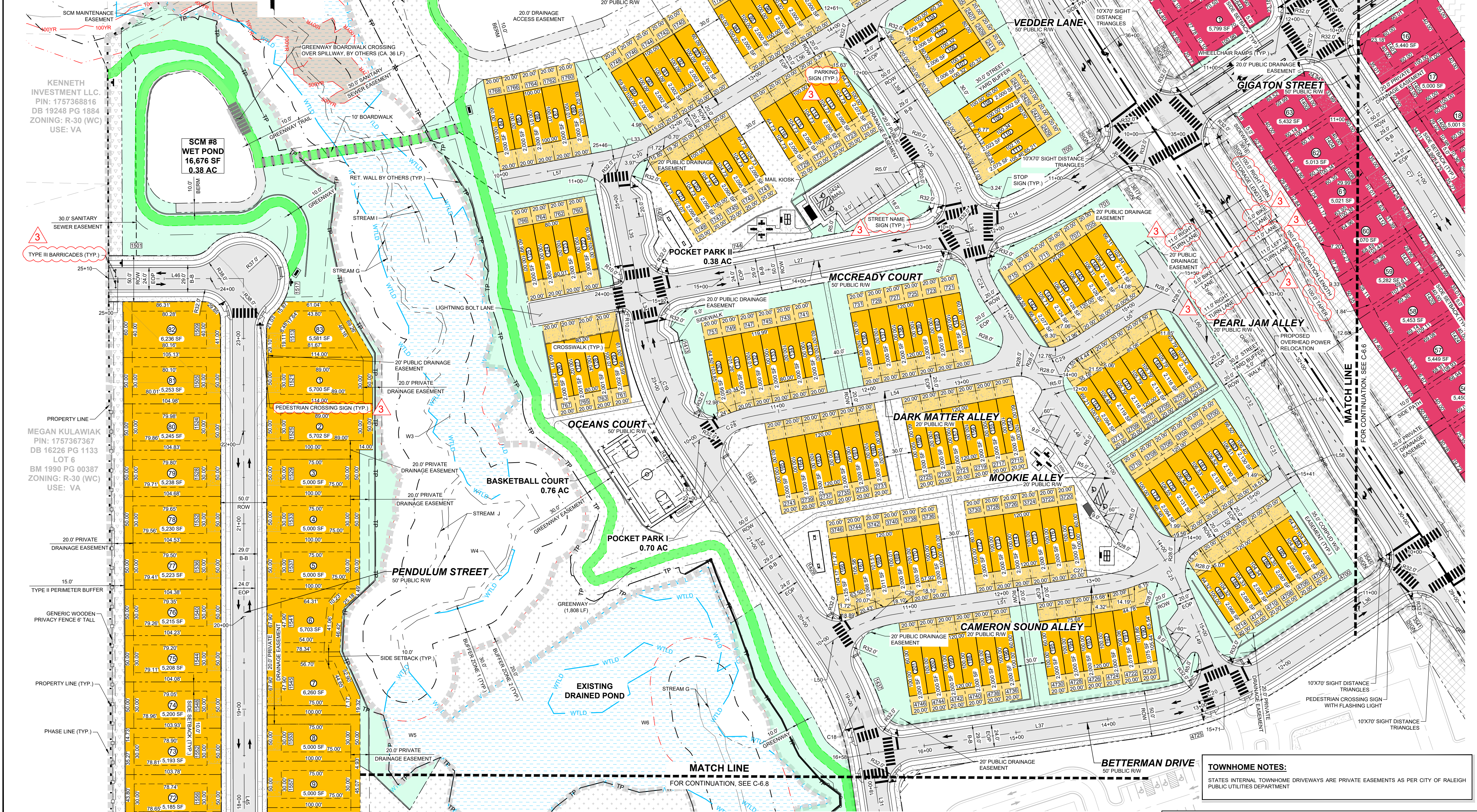
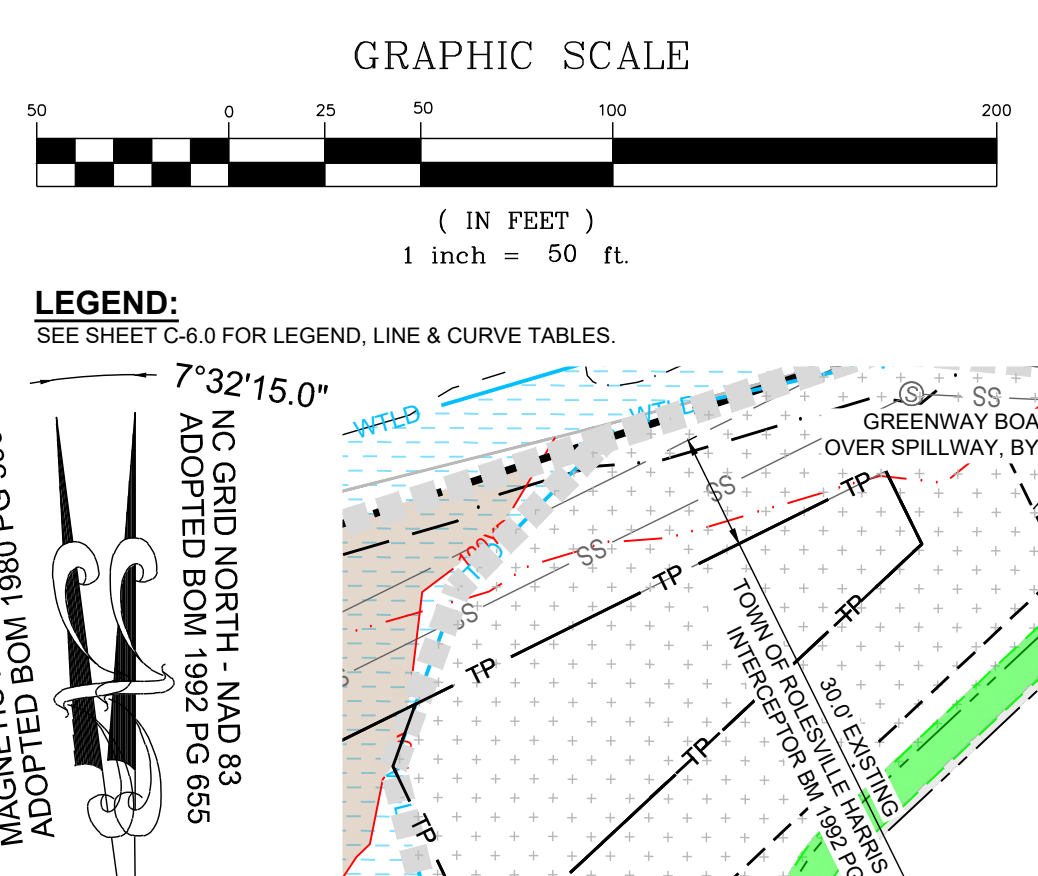
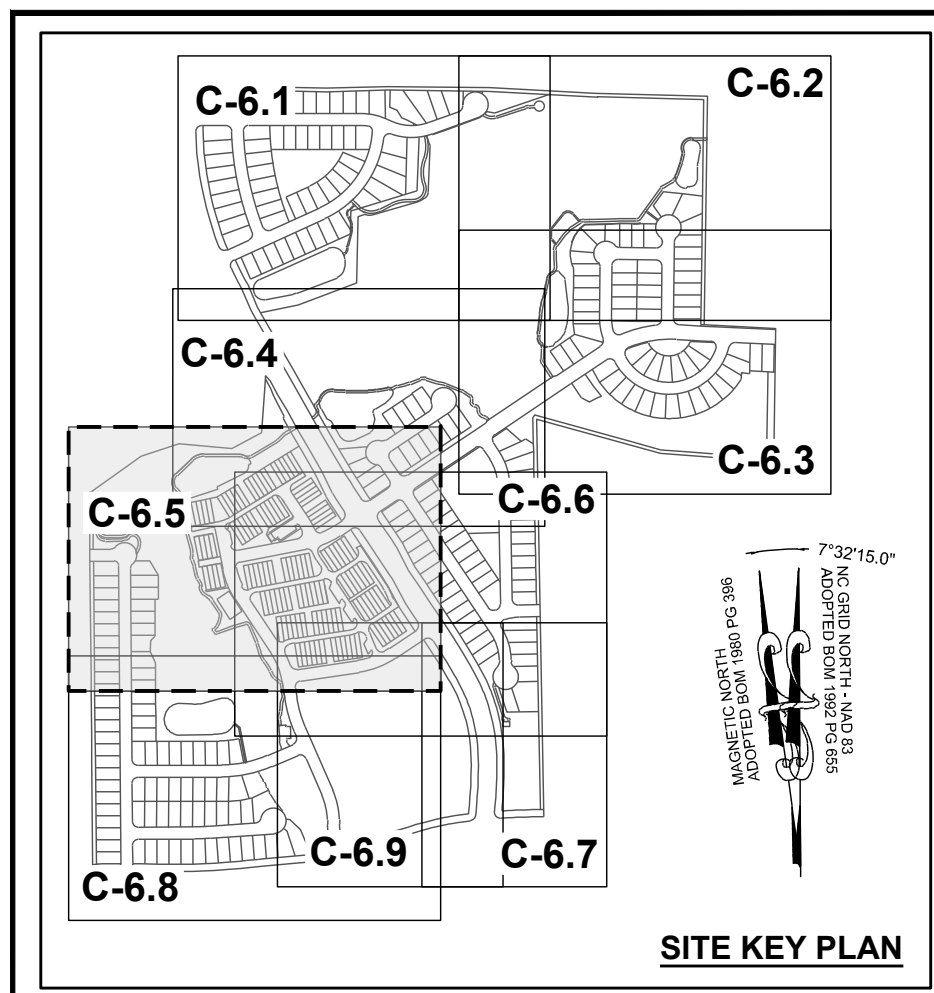
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 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
 CONSTRUCTION PLANS
 PARTIAL SITE PLAN II

DRAWING SHEET
C-6.2

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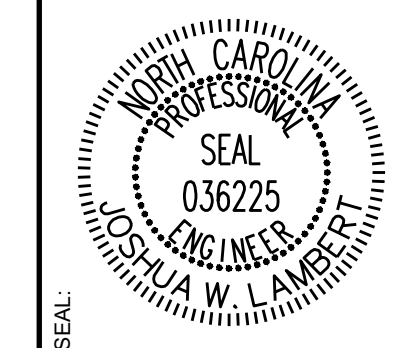


KENNETH INVESTMENT LLC.
PIN: 1757368816
DB 19248 PG 1884
ZONING: R-30 (WC)
USE: VA

MEGAN KULAWIAK
PIN: 1757367367
DB 16226 PG 1133
LOT 6
BM 1990 PG 00387
ZONING: R-30 (WC)
USE: VA

TOWNHOME NOTES:
STATES INTERNAL TOWNHOME DRIVEWAYS ARE PRIVATE EASEMENTS AS PER CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT

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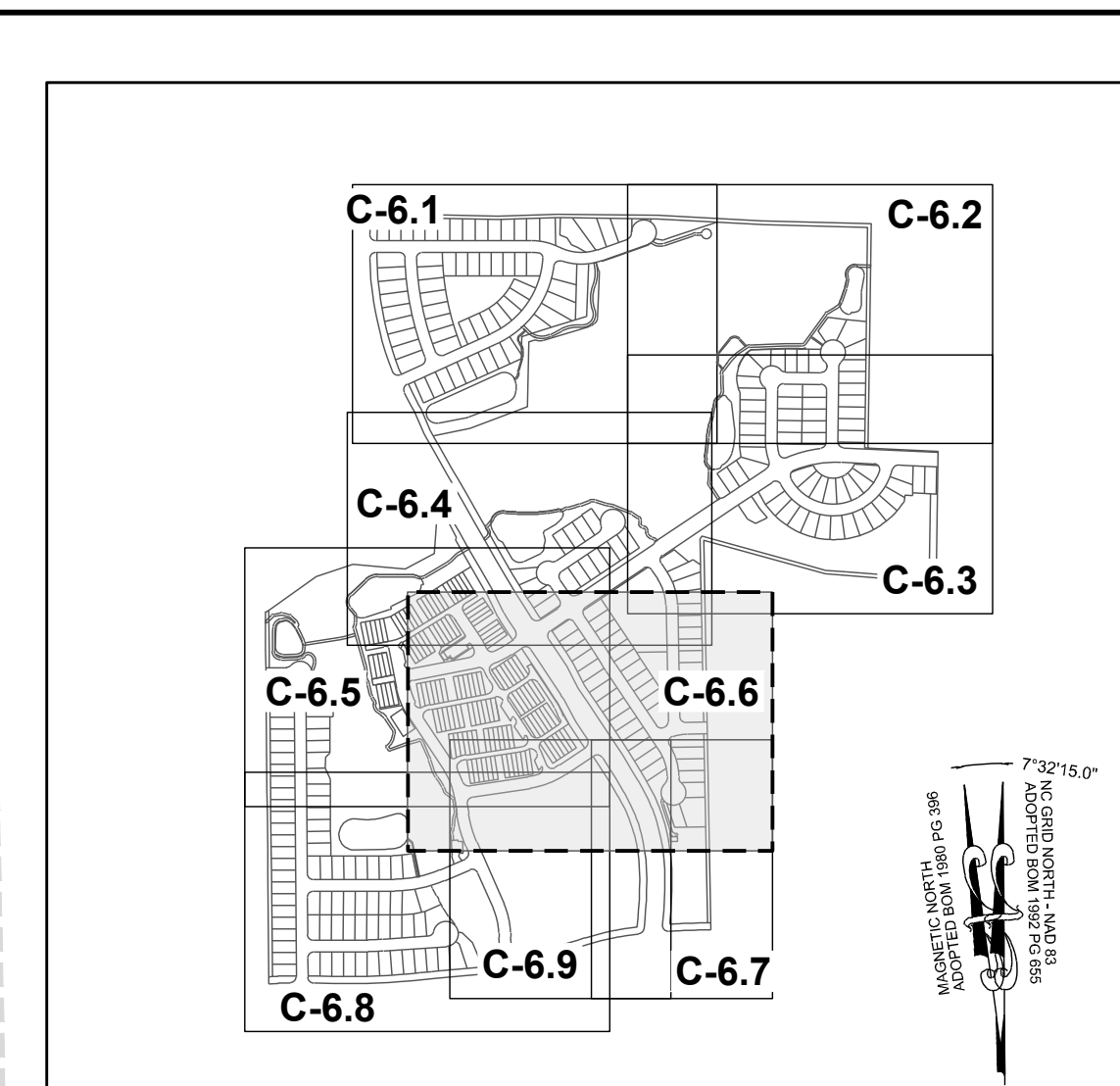
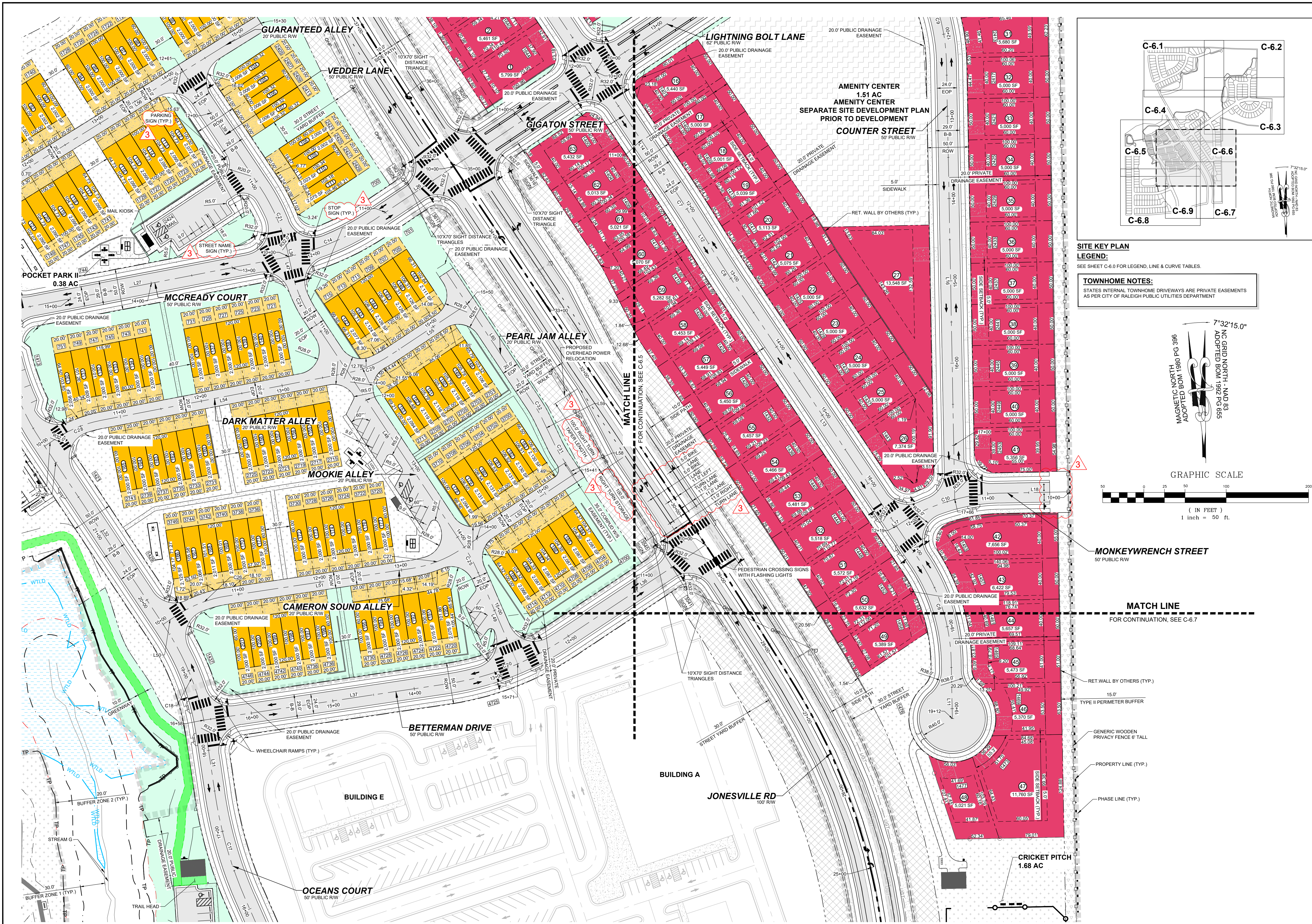
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TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

CONSTRUCTION PLANS
PARTIAL SITE PLAN V

DRAWING SHEET
C-6.5

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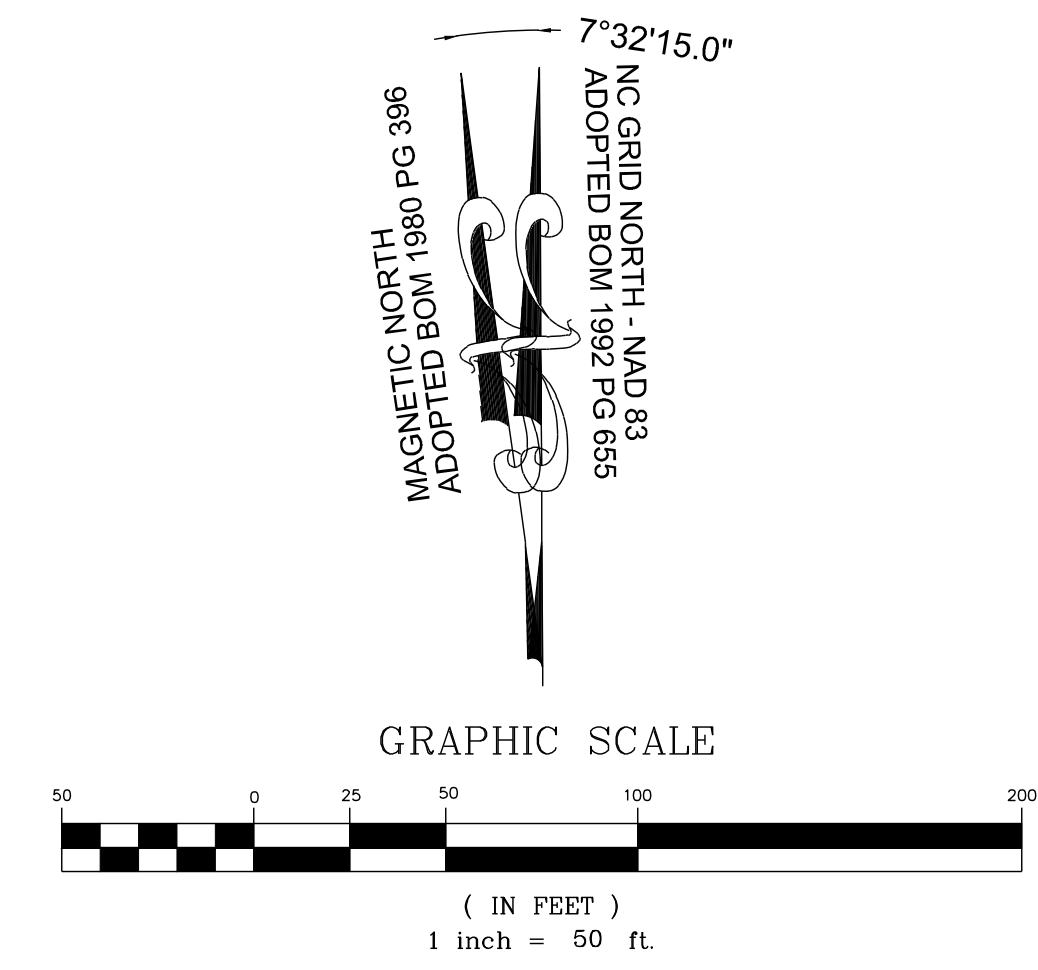
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SITE KEY PLAN

LEGEND:
SEE SHEET C-6.0 FOR LEGEND, LINE & CURVE TABLES.

TOWNHOME NOTES:
STATES INTERNAL TOWNHOME DRIVEWAYS ARE PRIVATE EASEMENTS AS PER CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT

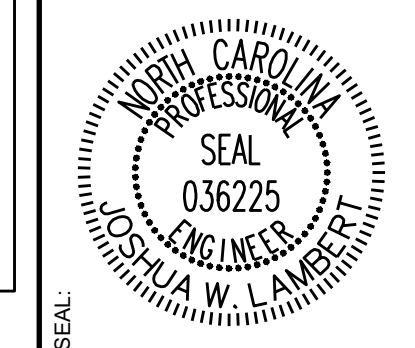


MONKEYWRENCH STREET
50' PUBLIC ROW

MATCH LINE
FOR CONTINUATION, SEE C-6.7

- RET WALL BY OTHERS (TYP.)
- 15.0' TYPE II PERIMETER BUFFER
- GENERIC WOODEN PRIVACY FENCE 6' TALL
- PROPERTY LINE (TYP.)
- PHASE LINE (TYP.)

NO.	REVISIONS	DATE	BY
01			
02			
03			



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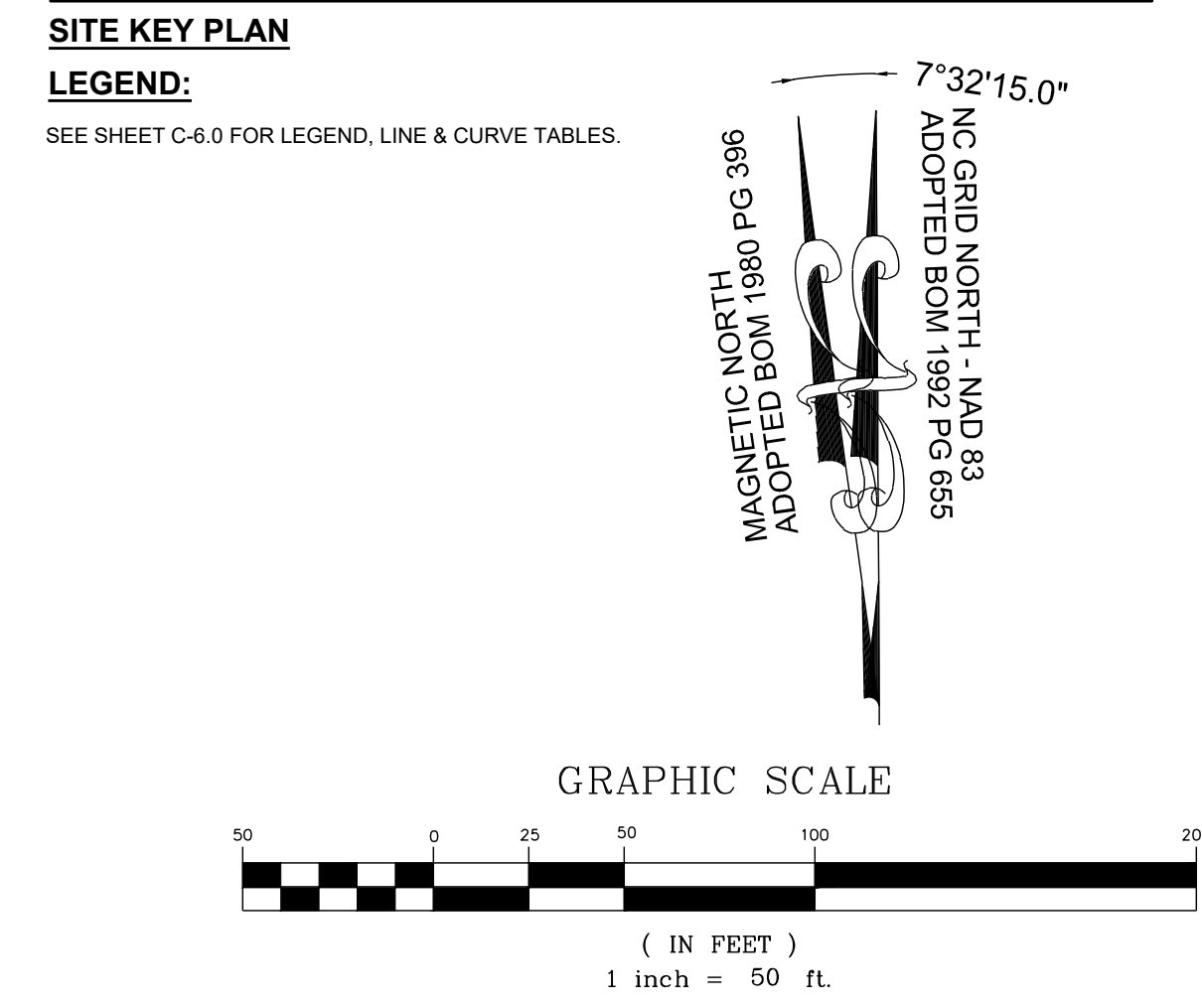
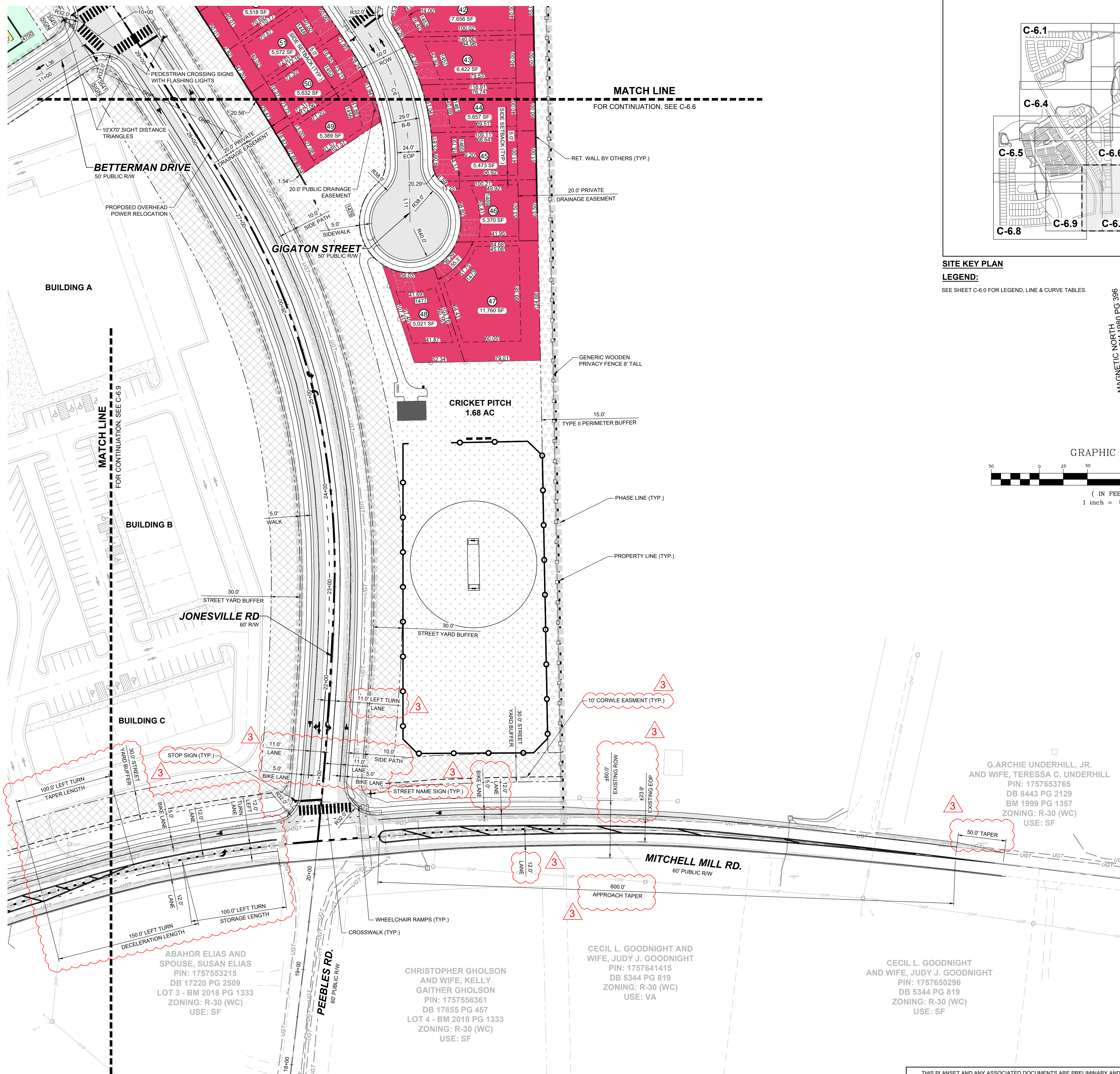
STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166
305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	STRONG ROCK PROJECT P-2166
NOT FOR CONSTRUCTION	SCALE AS SHOWN
DESIGNED BY	JWL
DRAWN BY	SRG
CHECKED BY	JWL

RESERVE @ MITCHELL MILL
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
CONSTRUCTION PLANS
PARTIAL SITE PLAN VI

DRAWING SHEET
C-6.6

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NO.	REVISIONS	DATE	BY
01			
02			
03			

SEAL:

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STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166
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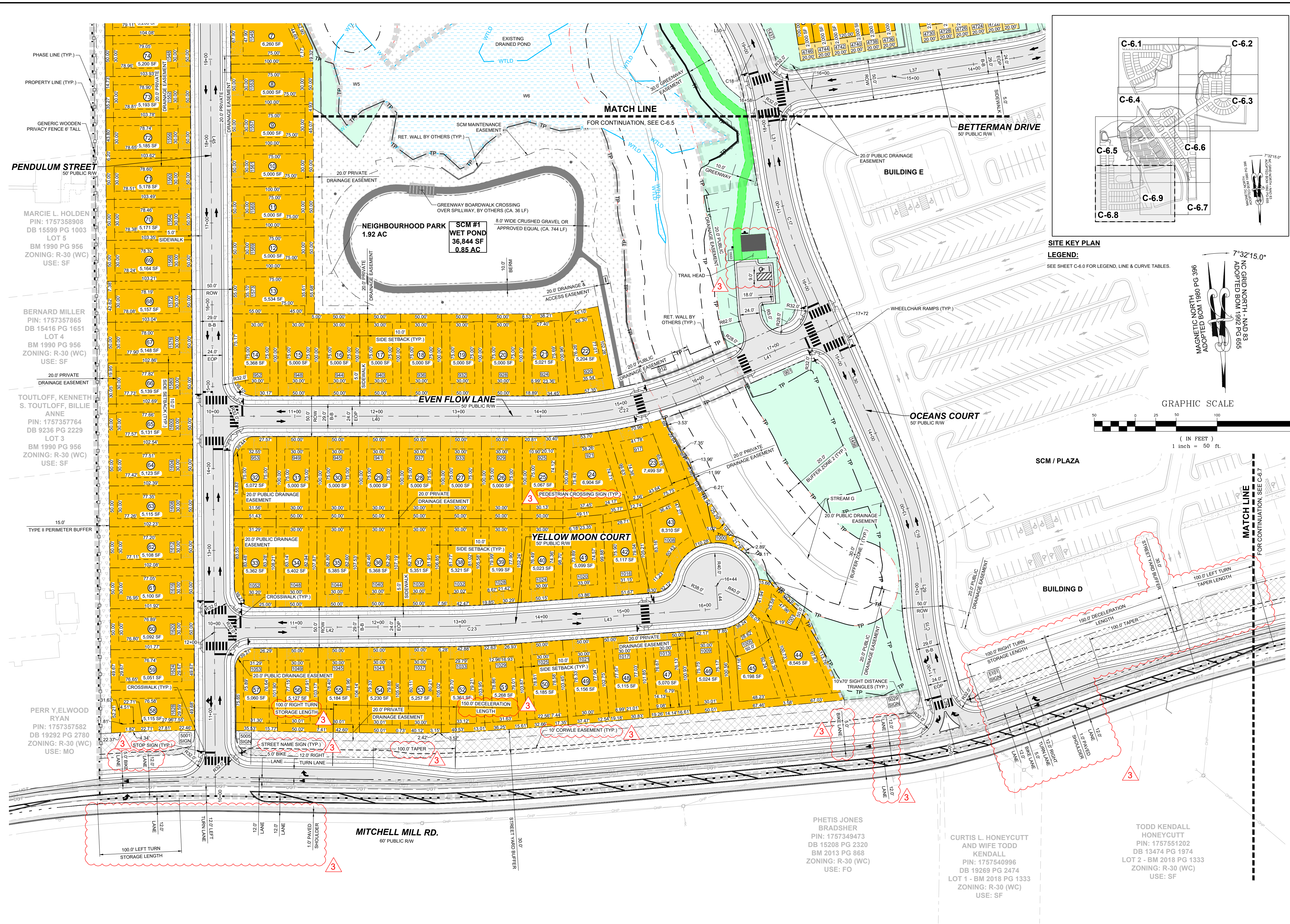
STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
PSP-24-03	NOT FOR CONSTRUCTION	AS SHOWN	JWL	SRG	JWL

RESERVE @ MITCHELL MILL
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
CONSTRUCTION PLANS
PARTIAL SITE PLAN VII

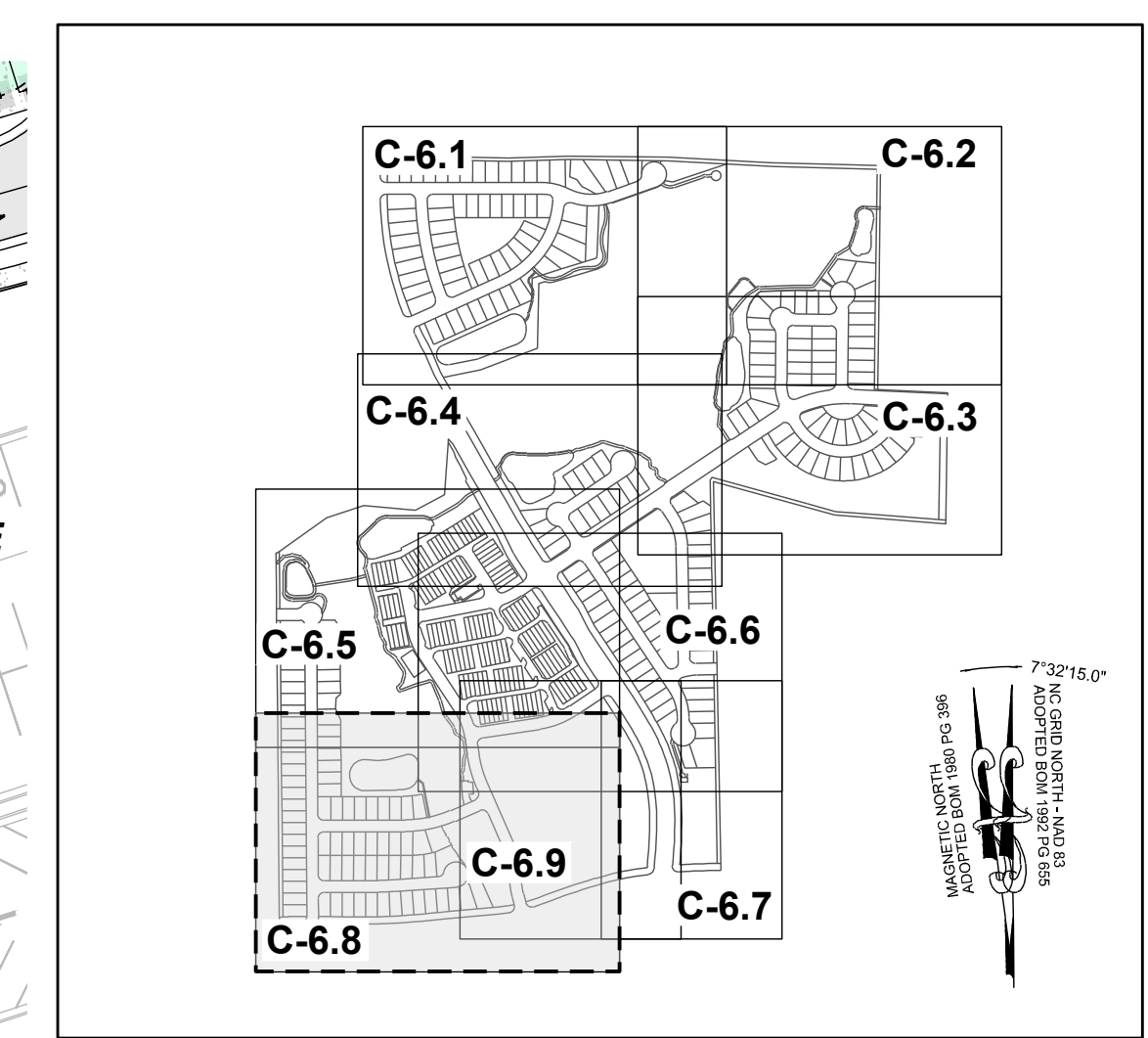
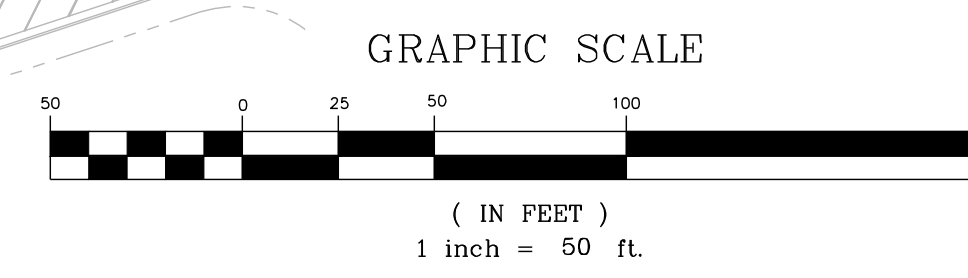
DRAWING SHEET
C-6.7

25 OF 201

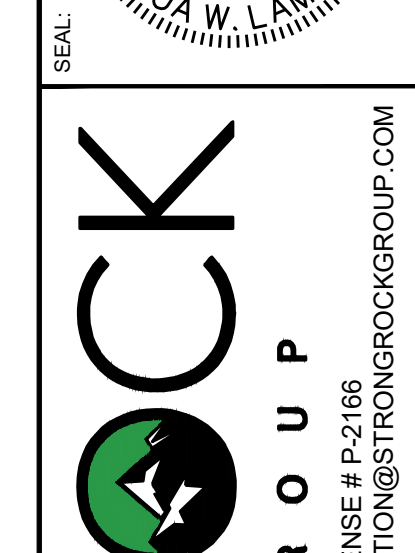
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SITE KEY PLAN
LEGEND:
 SEE SHEET C-6.0 FOR LEGEND, LINE & CURVE TABLES.



NO.	REVISIONS	DATE	BY
01			
02			
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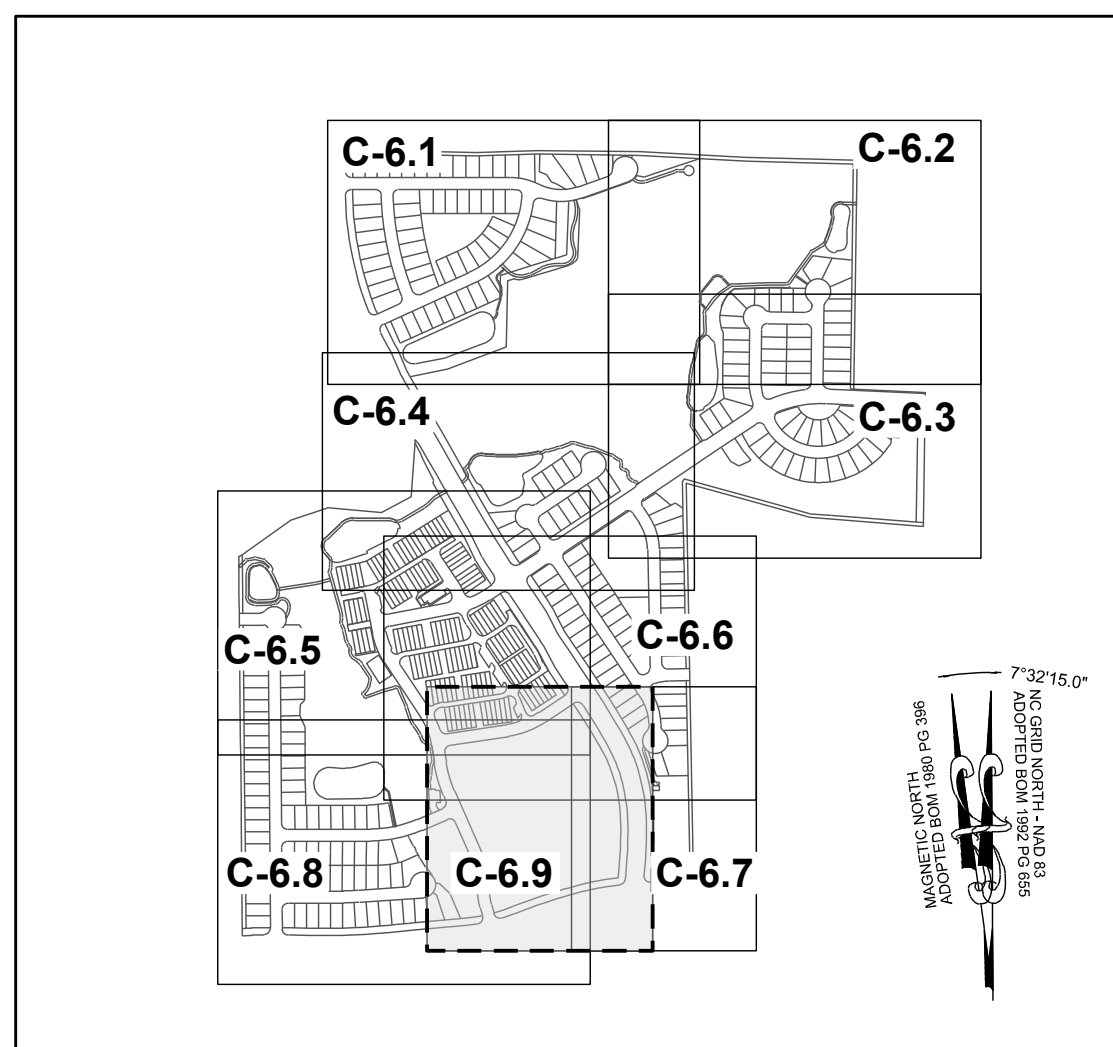
PROJECT	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
STRONG ROCK PROJECT P-2166	NOT FOR CONSTRUCTION	JWL	SRG	JWL

RESERVE @ MITCHELL MILL
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
 CONSTRUCTION PLANS
 PARTIAL SITE PLAN VIII

DRAWING SHEET
C-6.8

26 OF 201

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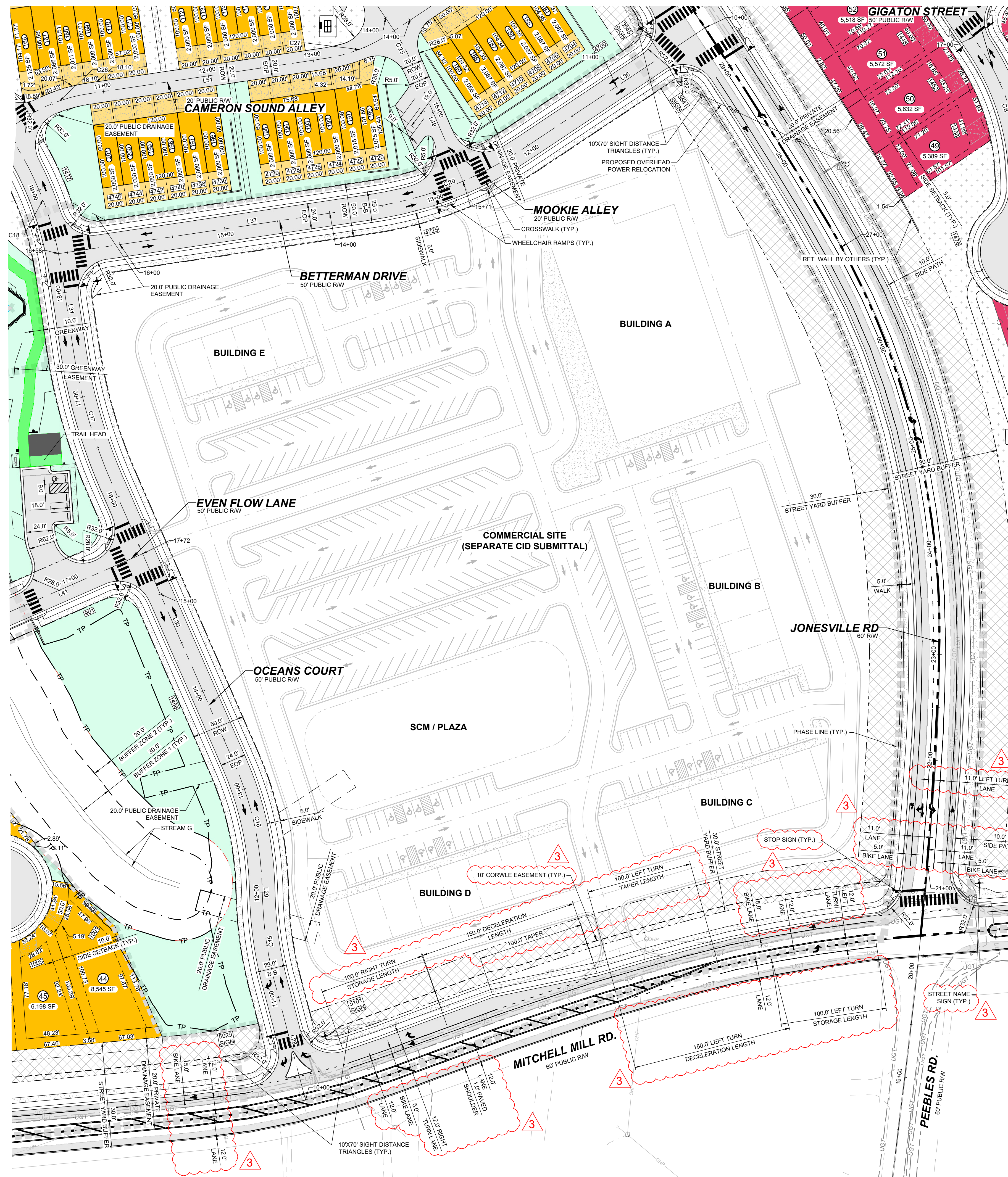
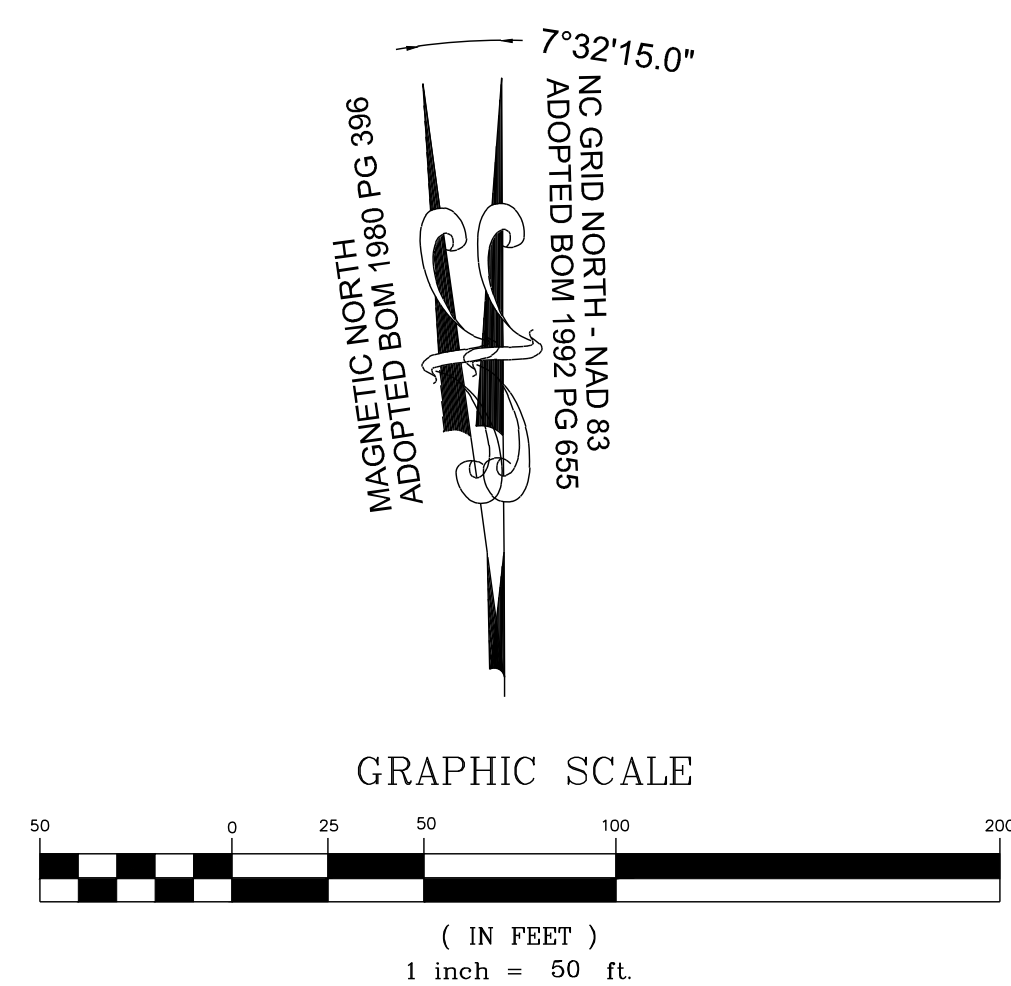
SITE KEY PLAN

LEGEND:

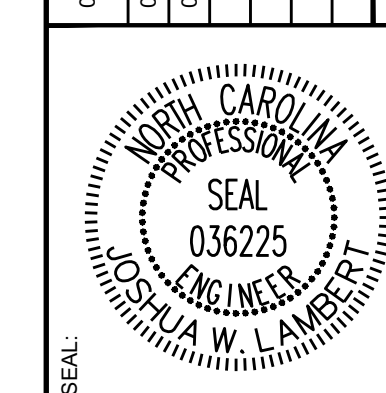
SEE SHEET C-6.0 FOR LEGEND, LINE & CURVE TABLES.

TOWNHOME NOTES:

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NO.	REVISIONS	DATE	BY
01			
02			
03			



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STRONG ROCK PROJECT	STRONG ROCK PROJECT
PSP-24-03	PSP-24-03
NOT FOR CONSTRUCTION	NOT FOR CONSTRUCTION
SCALE AS SHOWN	SCALE AS SHOWN
DESIGNED BY JWL	DESIGNED BY JWL
DRAWN BY SRG	DRAWN BY SRG
CHECKED BY JWL	CHECKED BY JWL

RESERVE @ MITCHELL MILL
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
CONSTRUCTION PLANS
PARTIAL SITE PLAN IX

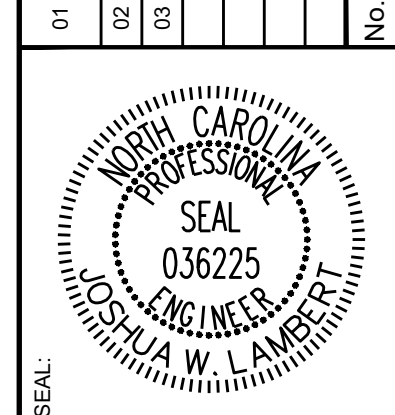
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NUMBER LOTS	LOT TYPE	PLAN 2268 "A" SLAB	PLAN 2396 "A" SLAB	PLAN 2525 "B" SLAB	PLAN 1984 "A" SLAB	PLAN 2097 "A" SLAB
1	SINGLE FAMILY 50' WIDE					
2	SINGLE FAMILY 50' WIDE	X	X	X	X	X
3	SINGLE FAMILY 50' WIDE	X				
4	SINGLE FAMILY 50' WIDE	X	X	X	X	X
5	SINGLE FAMILY 50' WIDE	X	X	X	X	X
6	SINGLE FAMILY 50' WIDE	X	X	X	X	X
7	SINGLE FAMILY 50' WIDE	X	X	X	X	X
8	SINGLE FAMILY 50' WIDE					
9	SINGLE FAMILY 50' WIDE	X	X	X	X	X
10	SINGLE FAMILY 50' WIDE	X	X	X	X	X
11	SINGLE FAMILY 50' WIDE	X	X	X	X	X
12	SINGLE FAMILY 50' WIDE	X	X	X	X	X
13	SINGLE FAMILY 50' WIDE	X	X	X	X	X
14	SINGLE FAMILY 50' WIDE	X	X	X	X	X
15	SINGLE FAMILY 50' WIDE	X	X	X	X	X
16	SINGLE FAMILY 50' WIDE	X	X	X	X	X
17	SINGLE FAMILY 50' WIDE	X	X	X	X	X
18	SINGLE FAMILY 50' WIDE	X	X	X	X	X
19	SINGLE FAMILY 50' WIDE	X	X	X	X	X
20	SINGLE FAMILY 50' WIDE	X	X	X	X	X
21	SINGLE FAMILY 50' WIDE	X	X	X	X	X
22	SINGLE FAMILY 50' WIDE	X	X	X	X	X
23	SINGLE FAMILY 50' WIDE	X	X	X	X	X
24	SINGLE FAMILY 50' WIDE	X	X	X	X	X
25	SINGLE FAMILY 50' WIDE	X	X	X	X	X
26	SINGLE FAMILY 50' WIDE					
27	SINGLE FAMILY 50' WIDE	X	X	X	X	X
28	SINGLE FAMILY 50' WIDE	X			X	
29	SINGLE FAMILY 50' WIDE	X	X	X	X	X
30	SINGLE FAMILY 50' WIDE	X	X	X	X	X
31	SINGLE FAMILY 50' WIDE	X	X	X	X	X
32	SINGLE FAMILY 50' WIDE	X	X	X	X	X
33	SINGLE FAMILY 50' WIDE	X	X	X	X	X
34	SINGLE FAMILY 50' WIDE	X	X	X	X	X
35	SINGLE FAMILY 50' WIDE	X	X	X	X	X
36	SINGLE FAMILY 50' WIDE	X	X	X	X	X
37	SINGLE FAMILY 50' WIDE	X	X	X	X	X
38	SINGLE FAMILY 50' WIDE	X	X	X	X	X
39	SINGLE FAMILY 50' WIDE	X	X	X	X	X
40	SINGLE FAMILY 50' WIDE	X	X	X	X	X
41	SINGLE FAMILY 50' WIDE	X	X	X	X	X
42	SINGLE FAMILY 50' WIDE	X	X	X	X	X
43	SINGLE FAMILY 50' WIDE	X	X	X	X	X
44	SINGLE FAMILY 50' WIDE	X	X	X	X	X
45	SINGLE FAMILY 50' WIDE	X	X	X	X	X
46	SINGLE FAMILY 50' WIDE					
47	SINGLE FAMILY 50' WIDE	X	X	X	X	X
48	SINGLE FAMILY 50' WIDE	X	X	X	X	X
49	SINGLE FAMILY 50' WIDE	X	X	X	X	X
50	SINGLE FAMILY 50' WIDE	X	X	X	X	X
51	SINGLE FAMILY 50' WIDE	X	X	X	X	X
52	SINGLE FAMILY 50' WIDE	X	X	X	X	X
53	SINGLE FAMILY 50' WIDE	X	X	X	X	X
54	SINGLE FAMILY 50' WIDE	X	X	X	X	X
55	SINGLE FAMILY 50' WIDE	X	X	X	X	X
56	SINGLE FAMILY 50' WIDE	X	X	X	X	X
57	SINGLE FAMILY 50' WIDE	X	X	X	X	X
58	SINGLE FAMILY 50' WIDE	X	X	X	X	X
59	SINGLE FAMILY 50' WIDE	X	X	X	X	X
60	SINGLE FAMILY 50' WIDE	X	X	X	X	X
61	SINGLE FAMILY 50' WIDE	X	X	X	X	X
62	SINGLE FAMILY 50' WIDE	X	X	X	X	X
63	SINGLE FAMILY 50' WIDE	X	X	X	X	X
64	SINGLE FAMILY 50' WIDE	X	X	X	X	X
65	SINGLE FAMILY 50' WIDE	X	X	X	X	X

NUMBER LOTS	LOT TYPE	PLAN 2268 "A" SLAB	PLAN 2396 "A" SLAB	PLAN 2525 "B" SLAB	PLAN 1984 "A" SLAB	PLAN 2097 "A" SLAB
66	SINGLE FAMILY 50' WIDE	X	X	X	X	X
67	SINGLE FAMILY 50' WIDE	X	X	X	X	X
68	SINGLE FAMILY 50' WIDE	X	X	X	X	X
69	SINGLE FAMILY 50' WIDE	X	X	X	X	X
70	SINGLE FAMILY 50' WIDE	X	X	X	X	X
71	SINGLE FAMILY 50' WIDE	X	X	X	X	X
72	SINGLE FAMILY 50' WIDE	X	X	X	X	X
73	SINGLE FAMILY 50' WIDE					
74	SINGLE FAMILY 50' WIDE	X	X	X	X	X
75	SINGLE FAMILY 50' WIDE					
76	SINGLE FAMILY 50' WIDE					
77	SINGLE FAMILY 50' WIDE	X	X	X	X	X
78	SINGLE FAMILY 50' WIDE	X	X	X	X	X
79	SINGLE FAMILY 50' WIDE	X	X	X	X	X
80	SINGLE FAMILY 50' WIDE	X	X	X	X	X
81	SINGLE FAMILY 50' WIDE	X	X	X	X	X
82	SINGLE FAMILY 50' WIDE	X				
83	SINGLE FAMILY 50' WIDE	X	X	X	X	X
84	SINGLE FAMILY 50' WIDE	X	X	X	X	X
85	SINGLE FAMILY 50' WIDE	X	X	X	X	X
86	SINGLE FAMILY 50' WIDE	X	X	X	X	X
87	SINGLE FAMILY 50' WIDE	X	X	X	X	X
88	SINGLE FAMILY 50' WIDE	X	X	X	X	X
89	SINGLE FAMILY 50' WIDE	X	X	X	X	X
90	SINGLE FAMILY 50' WIDE	X	X	X	X	X
91	SINGLE FAMILY 50' WIDE	X	X	X	X	X
92	SINGLE FAMILY 50' WIDE	X	X	X	X	X
93	SINGLE FAMILY 50' WIDE	X	X	X	X	X
94	SINGLE FAMILY 50' WIDE	X	X	X	X	X
95	SINGLE FAMILY 50' WIDE	X	X	X	X	X
96	SINGLE FAMILY 50' WIDE	X	X	X	X	X
97	SINGLE FAMILY 50' WIDE	X	X	X	X	X
98	SINGLE FAMILY 50' WIDE	X	X	X	X	X
99	SINGLE FAMILY 50' WIDE	X	X	X	X	X
100	SINGLE FAMILY 50' WIDE					
101	SINGLE FAMILY 50' WIDE					
102	SINGLE FAMILY 50' WIDE					
103	SINGLE FAMILY 50' WIDE					
104	SINGLE FAMILY 50' WIDE					
105	SINGLE FAMILY 50' WIDE					
106	SINGLE FAMILY 50' WIDE					
107	SINGLE FAMILY 50' WIDE					
108	SINGLE FAMILY 50' WIDE	X	X	X	X	X
109	SINGLE FAMILY 50' WIDE	X	X	X	X	X
110	SINGLE FAMILY 50' WIDE	X				
111	SINGLE FAMILY 50' WIDE					
112	SINGLE FAMILY 50' WIDE	X	X	X	X	X
113	SINGLE FAMILY 50' WIDE	X	X	X	X	X
114	SINGLE FAMILY 50' WIDE	X	X	X	X	X
115	SINGLE FAMILY 50' WIDE	X	X	X	X	X
116	SINGLE FAMILY 50' WIDE	X	X	X	X	X
117	SINGLE FAMILY 50' WIDE	X	X	X	X	X
118	SINGLE FAMILY 50' WIDE	X	X	X	X	X
119	SINGLE FAMILY 50' WIDE	X	X	X	X	X
120	SINGLE FAMILY 50' WIDE	X	X	X	X	X
121	SINGLE FAMILY 50' WIDE	X	X	X	X	X
122	SINGLE FAMILY 50' WIDE	X	X	X	X	X
123	SINGLE FAMILY 50' WIDE	X	X	X	X	X
124	SINGLE FAMILY 50' WIDE					
125	SINGLE FAMILY 50' WIDE					
126	SINGLE FAMILY 50' WIDE	X	X	X	X	X
127	SINGLE FAMILY 50' WIDE	X	X	X	X	X
128	SINGLE FAMILY 50' WIDE	X	X	X	X	X
129	SINGLE FAMILY 50' WIDE	X	X	X	X	X
130	SINGLE FAMILY 50' WIDE	X	X	X	X	X

NUMBER LOTS	LOT TYPE	PLAN 2268 "A" SLAB	PLAN 2396 "A" SLAB	PLAN 2525 "B" SLAB	PLAN 1984 "A" SLAB	PLAN 2097 "A" SLAB
131	SINGLE FAMILY 50' WIDE	X	X	X	X	X
132	SINGLE FAMILY 50' WIDE	X	X	X	X	X
133	SINGLE FAMILY 50' WIDE	X	X	X	X	X
134	SINGLE FAMILY 50' WIDE	X	X	X	X	X
135	SINGLE FAMILY 50' WIDE	X	X	X	X	X
136	SINGLE FAMILY 50' WIDE	X	X	X	X	X
137	SINGLE FAMILY 50' WIDE	X	X	X	X	X
138	SINGLE FAMILY 50' WIDE	X	X	X	X	X
139	SINGLE FAMILY 50' WIDE	X	X	X	X	X
140	SINGLE FAMILY 50' WIDE	X	X	X	X	X
141	SINGLE FAMILY 50' WIDE	X	X	X	X	X
142	SINGLE FAMILY 50' WIDE	X	X	X	X	X
143	SINGLE FAMILY 50' WIDE	X	X	X	X	X
144	SINGLE FAMILY 50' WIDE	X	X	X	X	X
145	SINGLE FAMILY 50' WIDE	X	X	X	X	X
146	SINGLE FAMILY 50' WIDE	X	X	X	X	X
147	SINGLE FAMILY 50' WIDE	X	X	X	X	X
148	SINGLE FAMILY 50' WIDE	X	X	X	X	X
149	SINGLE FAMILY 50' WIDE	X	X	X	X	X
150	SINGLE FAMILY 50' WIDE	X	X	X	X	X
151	SINGLE FAMILY 50' WIDE	X	X	X	X	X
152	SINGLE FAMILY 50' WIDE	X	X	X	X	X
153	SINGLE FAMILY 50' WIDE	X	X	X	X	X
154	SINGLE FAMILY 50' WIDE	X	X	X	X	X
155	SINGLE FAMILY 50' WIDE	X	X	X	X	X
156	SINGLE FAMILY 50' WIDE	X	X	X	X	X
157	SINGLE FAMILY 50' WIDE	X	X	X	X	X
158	SINGLE FAMILY 50' WIDE	X	X	X	X	X
159	SINGLE FAMILY 50' WIDE	X	X	X	X	X
160	SINGLE FAMILY 50' WIDE	X	X	X	X	X
161	SINGLE FAMILY 50' WIDE	X	X	X	X	X
162	SINGLE FAMILY 50' WIDE	X	X	X	X	X
163	SINGLE FAMILY 50' WIDE	X	X	X	X	X
164	SINGLE FAMILY 50' WIDE	X	X	X	X	X
165	SINGLE FAMILY 50' WIDE	X	X	X	X	X
166	SINGLE FAMILY 50' WIDE	X	X	X	X	X
167	SINGLE FAMILY 50' WIDE	X	X	X	X	X
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169	SINGLE FAMILY 50' WIDE	X	X	X	X	X
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171	SINGLE FAMILY 50' WIDE	X	X	X	X	X
172	SINGLE FAMILY 50' WIDE	X	X	X	X	X
173	SINGLE FAMILY 50' WIDE	X	X	X	X	X
174	SINGLE FAMILY 50' WIDE	X	X	X	X	X
175	SINGLE FAMILY 50' WIDE	X	X	X	X	X
176	SINGLE FAMILY 50' WIDE	X	X	X	X	X
177	SINGLE FAMILY 50' WIDE	X	X	X	X	X
178	SINGLE FAMILY 50' WIDE	X	X	X	X	X
179	SINGLE FAMILY 50' WIDE	X	X	X	X	X
180	SINGLE FAMILY 50' WIDE	X	X	X	X	X
181	SINGLE FAMILY 50' WIDE	X	X	X	X	X
182	SINGLE FAMILY 50' WIDE	X	X	X	X	X
183	SINGLE FAMILY 50' WIDE	X	X	X	X	X
184	SINGLE FAMILY 50' WIDE	X	X	X	X	X
185	SINGLE FAMILY 50' WIDE	X	X	X	X	X
186	SINGLE FAMILY 50' WIDE	X	X	X	X	X

CONSTRUCTION INFRASTRUCTURE DRAWINGS CID-24-04	08/04/2024	SRG
TOWN OF ROLESVILLE CID-24-04 V2	11/07/2024	SRG
TOWN OF ROLESVILLE CID-24-04 V3	02/07/2024	SRG
01	02	03
No.		
REVISIONS	DATE	BY



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ENGINEERING GROUP
STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166
305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT PSP-24-03	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL
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RESERVE @ MITCHELL MILL
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
CONSTRUCTION PLANS
SITE TABLES - RM ZONE

DRAWING SHEET
C-6.12



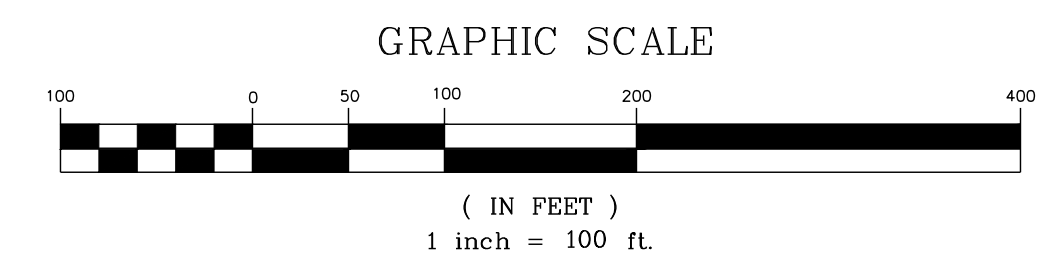
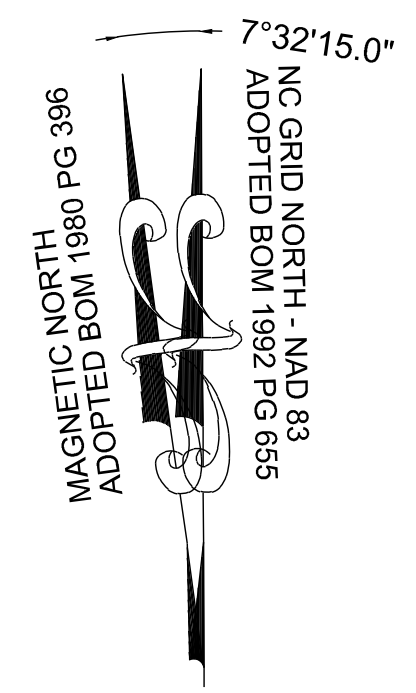
NC-CZ LAND USE CHART					
	UDO SECTION	REQUIRED		PROPOSED	
		SF	AC	SF	AC
TOTAL AREA				2,355,725	54.08
< 7% RESIDENTIAL USE REQUIREMENT	6.2.1.D.2	1,649,008	37.86 % (<75%)	1,072,062	24.81 (45.5%)
15% COMMERCIAL USE REQUIREMENT	3.4.3.D.1	353,359	8.11% (15%)	369,542	8.48 (15.7%)
15% OPEN SPACE REQUIREMENT	6.2.1.D.1	353,359	8.11% (15%)	882,078	20.25 (37.44%)

NC-CZ OPEN SPACE BREAKDOWN						
	SECTION	PHASE	REQUIRED		ACTUAL	
			SF	AC	SF	AC
TOTAL PROPERTY AREA	SECTION 6.2.1.D.2	PHASE 4	119,696	2.75	344,530	7.91
		PHASE 5	109,170	2.51	344,217	7.90
		PHASE 6	124,493	2.86	193,330	4.44
		TOTAL NC-CZ AREA		353,359	8.11 (15%)	882,078

LEGEND:

- MASTER PLAN BOUNDARY
- EXISTING ADJOINER PROPERTY LINE
- EXISTING INTERMITTENT STREAM
- EXISTING PERENNIAL STREAM
- EXISTING BUFFER ZONE 1
- EXISTING BUFFER ZONE 2
- 500YR FLOOD LINE
- 100YR FLOOD LINE
- OPEN SPACE
- COMMERCIAL ZONE
- WTLD
- EXISTING WETLAND

- NOTES:**
- DETAILED DRAWINGS OF EACH AMENITY, THAT SHOWS COMPLIANCE WITH 6.2.1.G.5 AND 6.2.1.G.6, WILL BE PROVIDED IN A SUBSEQUENT SITE PLAN SUBMITTAL
 - DETAILED DRAWINGS OF THE COMMERCIAL AREA WILL BE PROVIDED IN A SUBSEQUENT SITE PLAN SUBMITTAL

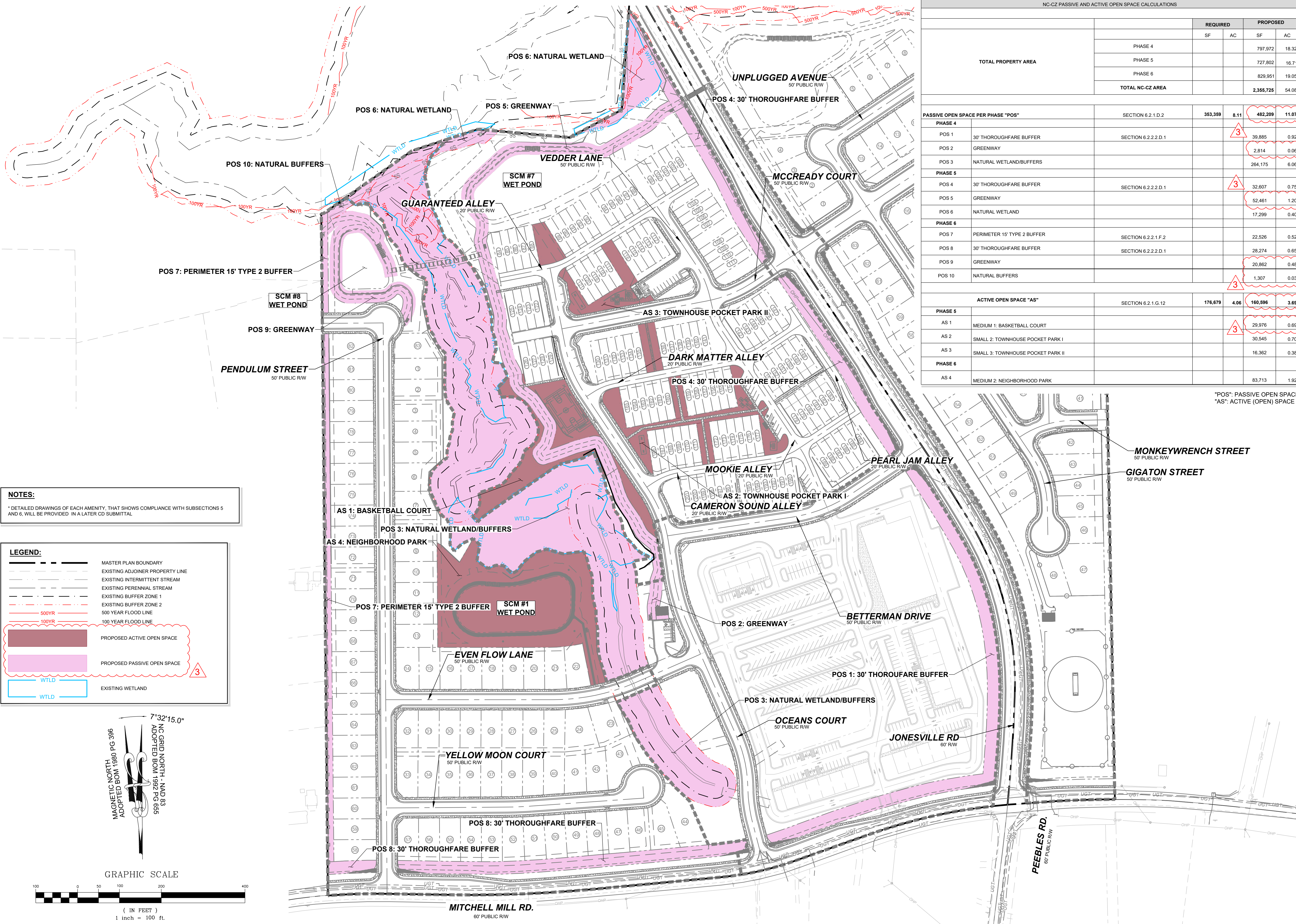


NO.	REVISIONS	DATE	BY
01			
02			
03			

STRONGROCK ENGINEERING GROUP
 PROFESSIONAL SEAL
 036225
 W. L. AMBERG
 STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166
 INFORMATION@STRONGROCKGROUP.COM
 305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609

RESERVE @ MITCHELL MILL
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
CONSTRUCTION PLANS
OVERALL OPEN SPACE NC-CZ
 DRAWING SHEET
C-7.0
31 OF 201

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NC-CZ PASSIVE AND ACTIVE OPEN SPACE CALCULATIONS					
		REQUIRED		PROPOSED	
		SF	AC	SF	AC
TOTAL PROPERTY AREA					
	PHASE 4			797,972	18.32
	PHASE 5			727,802	16.71
	PHASE 6			829,951	19.05
	TOTAL NC-CZ AREA			2,355,725	54.08
PASSIVE OPEN SPACE PER PHASE "POS"		SECTION 6.2.1.D.2	353,359	8.11	482,209
PHASE 4					
POS 1	30' THOROUGHFARE BUFFER	SECTION 6.2.2.2.D.1			39,885
POS 2	GREENWAY				2,814
POS 3	NATURAL WETLAND/BUFFERS				264,175
PHASE 5					
POS 4	30' THOROUGHFARE BUFFER	SECTION 6.2.2.2.D.1			32,607
POS 5	GREENWAY				52,461
POS 6	NATURAL WETLAND				17,299
PHASE 6					
POS 7	PERIMETER 15' TYPE 2 BUFFER	SECTION 6.2.2.1.F.2			22,526
POS 8	30' THOROUGHFARE BUFFER	SECTION 6.2.2.2.D.1			28,274
POS 9	GREENWAY				20,862
POS 10	NATURAL BUFFERS				1,307
ACTIVE OPEN SPACE "AS"		SECTION 6.2.1.G.12	176,679	4.06	160,596
PHASE 5					
AS 1	MEDIUM 1: BASKETBALL COURT				29,976
AS 2	SMALL 2: TOWNHOUSE POCKET PARK I				30,545
AS 3	SMALL 3: TOWNHOUSE POCKET PARK II				16,362
PHASE 6					
AS 4	MEDIUM 2: NEIGHBORHOOD PARK				83,713

"POS": PASSIVE OPEN SPACE
 "AS": ACTIVE (OPEN) SPACE

NOTES:
 * DETAILED DRAWINGS OF EACH AMENITY, THAT SHOWS COMPLIANCE WITH SUBSECTIONS 5 AND 6, WILL BE PROVIDED IN A LATER CD SUBMITTAL

LEGEND:

- MASTER PLAN BOUNDARY
- - - EXISTING ADJOINER PROPERTY LINE
- - - EXISTING INTERMITTENT STREAM
- - - EXISTING PERENNIAL STREAM
- - - EXISTING BUFFER ZONE 1
- - - EXISTING BUFFER ZONE 2
- - - 500YR FLOOD LINE
- - - 100YR FLOOD LINE
- █ PROPOSED ACTIVE OPEN SPACE
- █ PROPOSED PASSIVE OPEN SPACE
- WTLD EXISTING WETLAND

GRAPHIC SCALE
 (IN FEET)
 1 inch = 100 ft.

MAGNETIC NORTH 1980 PG 396
 ADOPTED BOM 1980 PG 396
 NORTH AND 89
 ADOPTED BOM 1992 PG 0365

7°32'15.0"

NO.	REVISIONS	DATE	BY
01			
02			
03			

STRONGROCK
 ENGINEERING GROUP

STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166
 305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
PSP-24-03		AS SHOWN	JWL	SRG	JWL

RESERVE @ MITCHELL MILL
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
 CONSTRUCTION PLANS
 PASSIVE & ACTIVE OPEN SPACE
 NC-CZ ZONE

DRAWING SHEET
C-7.1

THIS PLANSET AND ANY ASSOCIATED DOCUMENTS ARE PRELIMINARY AND NOT AUTHORIZED FOR CONSTRUCTION UNTIL SIGNED, DATED, AND OFFICIALLY RELEASED FOR CONSTRUCTION BY THE ENGINEER OF RECORD.

LEGEND:

	MASTER PLAN BOUNDARY
	EXISTING ADJOINER PROPERTY LINE
	EXISTING INTERMITTENT STREAM
	EXISTING PERENNIAL STREAM
	EXISTING BUFFER ZONE 1
	EXISTING BUFFER ZONE 2
	500YR 500 YEAR FLOOD LINE
	100YR 100 YEAR FLOOD LINE
	OPEN SPACE CLUSTER OPTION
	WTLD
	EXISTING WETLAND

RM-CZ LAND USE CHART

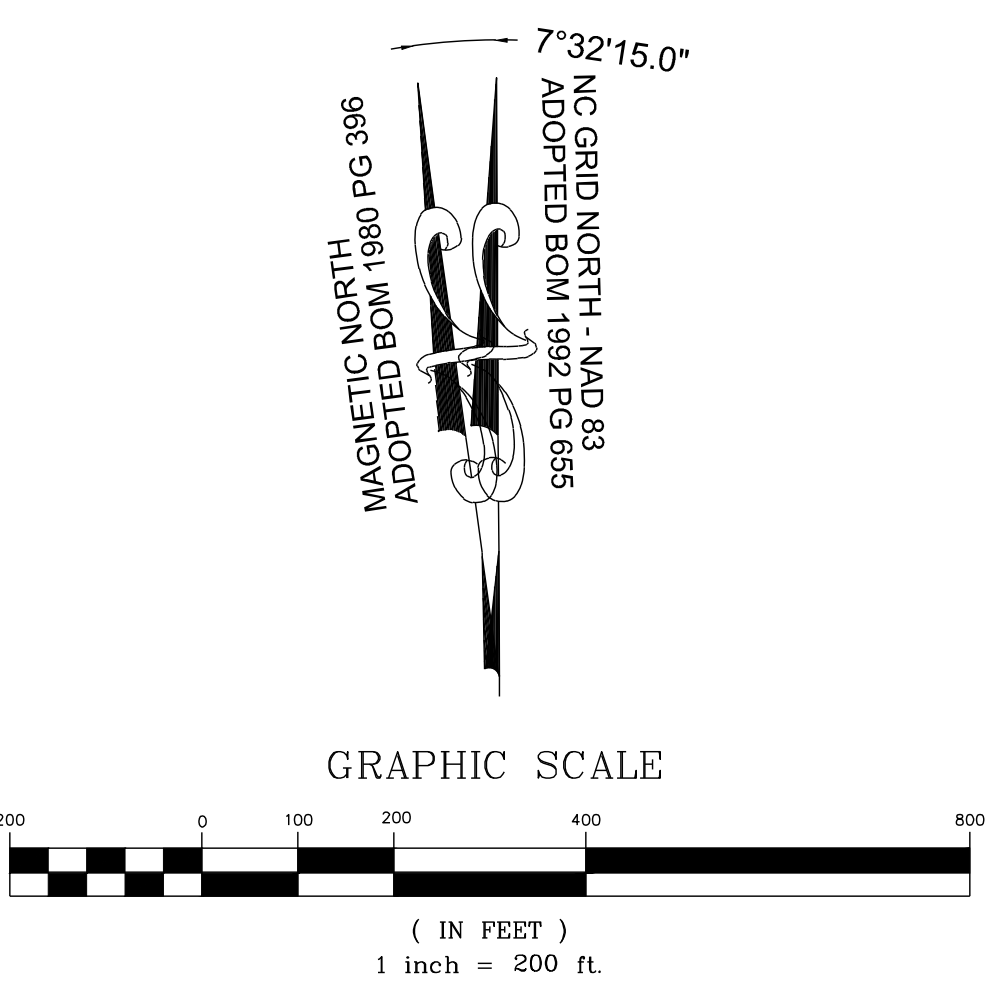
UDO SECTION	PROPOSED	
	SF	AC
TOTAL AREA	3,685,612	84.61
40% OPTION REQUIREMENT	3.1.B.1 1,474,245	33.84 (40.0%)
PROPOSED OPEN SPACE	2,107,864	48.39 (57.2%)

RM-CZ OPEN SPACE BREAKDOWN

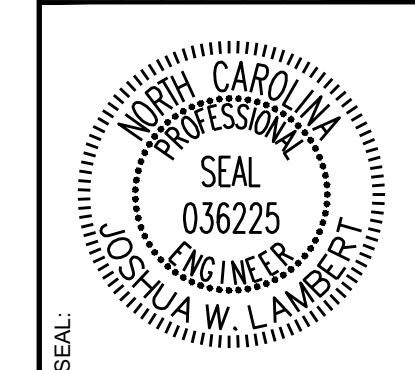
	PHASE	REQUIRED	ACTUAL	
			SF	AC
TOTAL PROPERTY AREA	PHASE 1	1,990,258	45.69	
	PHASE 2	899,949	20.66	
	PHASE 3	795,405	18.28	
	TOTAL RM-CZ AREA		3,685,612	84.61
OPEN SPACE	UDO SECTION 3.1.B.1	PHASE 1	1,506,087	34.58
		PHASE 2	359,980	8.26
		PHASE 3	318,162	7.30
		TOTAL	1,474,245	33.84 (40%)
		PROPOSED	2,107,864	48.39 (57.2%)

NOTES:

1. DETAILED DRAWINGS OF EACH AMENITY, THAT SHOWS COMPLIANCE WITH SUBSECTIONS 5 AND 6, WILL BE PROVIDED IN A LATER CD SUBMITTAL.
2. ALL PROPOSED OPEN SPACE SHALL BE OWNED BY THE HOA.
3. IT IS INCLUDED AS A PORTION OF ALL THE THREE PHASES OF DEVELOPMENT YET AS OPEN SPACE IS NOT DEVELOPED DURING THE THAT SPECIFIC PHASE



NO.	DATE	REVISIONS	BY
01	08/04/2024	CONSTRUCTION INFRASTRUCTURE DRAWINGS CID-24-04	
02	11/07/2024	TOWN OF ROLESVILLE CID-24-04 V2	
03	02/07/2024	TOWN OF ROLESVILLE CID-24-04 V3	



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305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT PSP-24-03	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL
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RESERVE @ MITCHELL MILL
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
CONSTRUCTION PLANS
OVERALL OPEN SPACE RM-CZ

DRAWING SHEET
C-7.2

33 OF 201

THIS PLANSET AND ANY ASSOCIATED DOCUMENTS ARE PRELIMINARY AND NOT AUTHORIZED FOR CONSTRUCTION UNTIL SIGNED, DATED, AND OFFICIALLY RELEASED FOR CONSTRUCTION BY THE ENGINEER OF RECORD.

RM-CZ PASSIVE AND ACTIVE OPEN SPACE CALCULATIONS						
		REQUIRED			PROPOSED	
		SF	AC	PERCENT	SF	AC
TOTAL PROPERTY AREA	PHASE 1				1,990,258	45.69
	PHASE 2				899,949	20.66
	PHASE 3				795,405	18.28
	TOTAL RM-CZ AREA				3,685,612	84.61
OPEN SPACE	PASSIVE	6.2.1.D.1	442,273.44	10.15	12%	
	ACTIVE	6.2.1.G.12	221,136.72	5.08	6%	
PASSIVE OPEN SPACE PER PHASE "POS"						
PHASE 1						
POS 1	GREENWAY				26,869	0.62 (0.7%)
POS 2	NATURAL AREAS				1,163,923	26.72 (31.6%)
PHASE 2						
POS 3	GREENWAY				45,046	1.03 (1.2%)
POS 4	LAWN AND NATURAL AREA				39,881	0.92 (1.1%)
POS 5	LAWN AND NATURAL AREA				36,042	0.83 (1.0%)
PHASE 3						
POS 6	POLLINATOR GARDEN				47,045	1.08 (1.3%)
POS 7	PRIMITIVE TRAIL				60,548	1.39 (1.6%)
TOTAL PROPOSED PASSIVE OPEN SPACE	SECTION 6.2.1.D.1	442,273.00	10.15	12%	1,419,354	32.58 (38.5%)
ACTIVE OPEN SPACE "AS"						
PHASE 1						
AS 1	CRICKET PITCH				73,374	1.68 (2.0%)
AS 2	AMENITY CENTER				65,780	1.51 (1.8%)
PHASE 2						
AS 3	SMALL IPEMA PLAYGROUND				9,855	0.23 (0.3%)
AS 4	PARKOUR COURSE				66,647	1.53 (1.8%)
PHASE 3						
AS 5	SMALL IPEMA PLAYGROUND				8,742	0.20 (0.2%)
AS 6	BALLFIELD				45,842	1.05 (1.2%)
TOTALS PHASES 1, 2 & 3	SECTION 6.2.1.G.12	221,173.00	5.08	6%	270,240	6.40 (7.6%)

POS: PASSIVE OPEN SPACE
 AS: ACTIVE (OPEN) SPACE

LEGEND:

- MASTER PLAN BOUNDARY
- EXISTING ADJOINER PROPERTY LINE
- EXISTING INTERMITTENT STREAM
- EXISTING PERENNIAL STREAM
- EXISTING BUFFER ZONE 1
- EXISTING BUFFER ZONE 2
- 500YR FLOOD LINE
- 100YR FLOOD LINE
- ACTIVE OPEN SPACE
- PASSIVE OPEN SPACE
- WTLD
- WTLD

NOTES:

* DETAILED DRAWINGS OF EACH AMENITY, THAT SHOWS COMPLIANCE WITH SUBSECTIONS 5 AND 6, WILL BE PROVIDED IN A LATER CD SUBMITTAL.

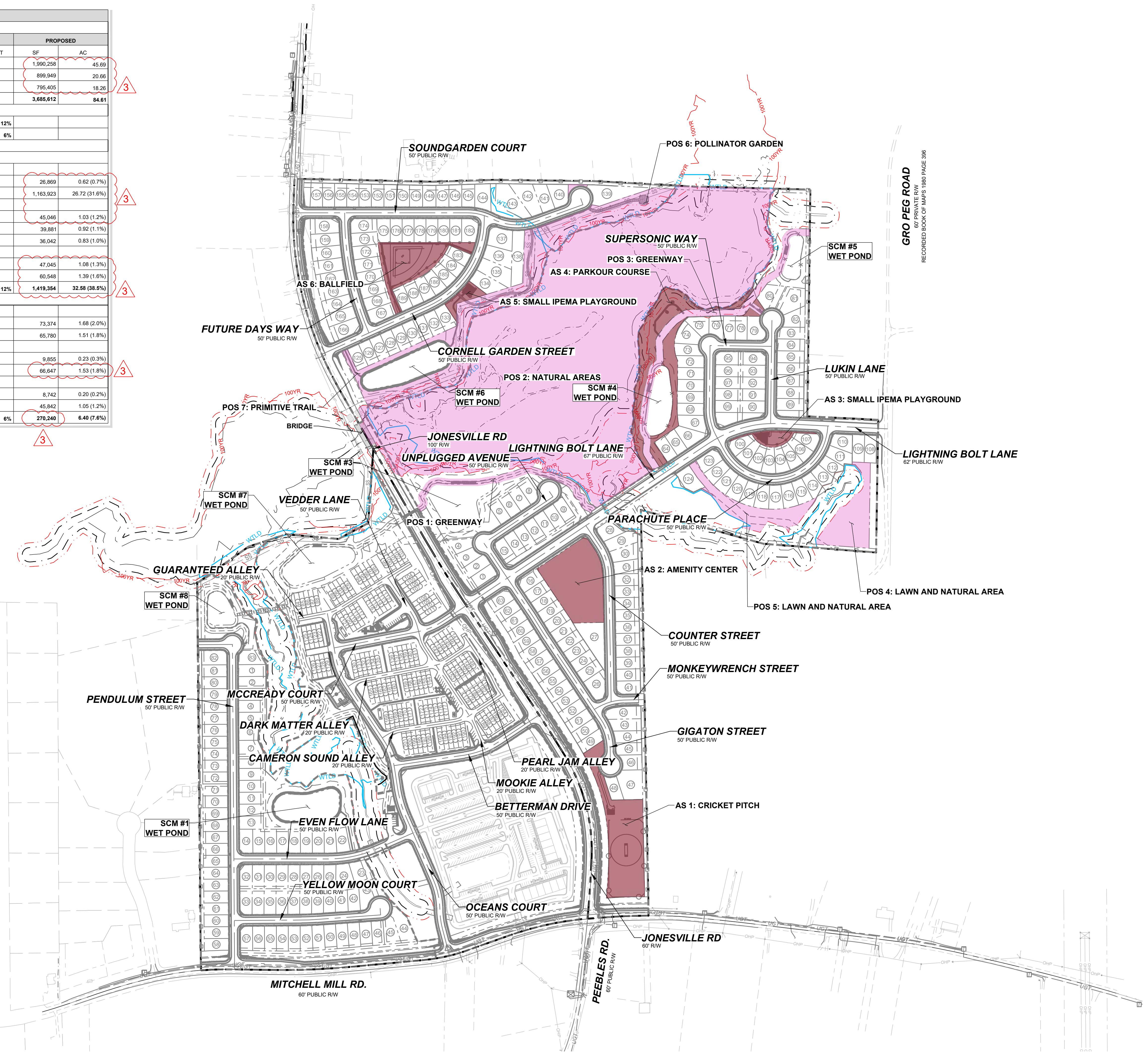
MAGNETIC NORTH
 ADOPTED BOM 1980 PG 396

7°32'15.0"

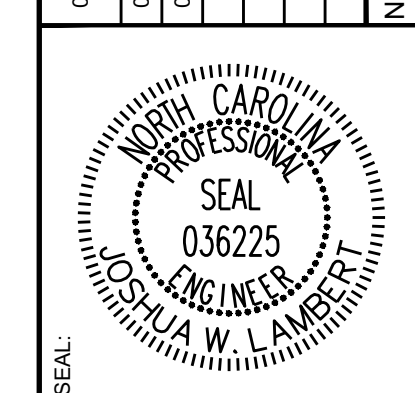
NG GRID NORTH - NAD 83
 ADOPTED BOM 1992 PG 655

GRAPHIC SCALE

(IN FEET)
 1 inch = 200 ft.



NO.	REVISIONS	DATE	BY
01			
02			
03			



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 ENGINEERING GROUP

STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166
 305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
PSP-24-03	AS SHOWN	JWL	SRG	JWL

RESERVE @ MITCHELL MILL
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
 CONSTRUCTION PLANS
 PASSIVE & ACTIVE OPEN SPACE
 RM-CZ ZONE

DRAWING SHEET
C-7.3

THIS PLANSET AND ANY ASSOCIATED DOCUMENTS ARE PRELIMINARY AND NOT AUTHORIZED FOR CONSTRUCTION UNTIL SIGNED, DATED, AND OFFICIALLY RELEASED FOR CONSTRUCTION BY THE ENGINEER OF RECORD.

UTILITY NOTES

- 1. ALL UTILITY DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES (CORPUD) STANDARDS AND SPECIFICATIONS. UTILITY DESIGN SHALL ALSO MEET FIRE FLOW REQUIREMENTS OF NCF.
2. UTILITY SIZES AND LOCATIONS ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY AND ARE SUBJECT TO CHANGE BASED ON FINAL DESIGN AND CONSTRUCTION DRAWING APPROVAL. THIS SHALL INCLUDE BUT NOT LIMITED TO FIRE HYDRANT LOCATIONS.
3. ANY EXISTING WATER AND SEWER LINES TO BE USED AS PART OF THE FINAL DESIGN OF THE PROJECT, SHALL BE LOCATED BY SURVEY, TESTED BY A LICENSED CONTRACTOR AND APPROVED BY THE CITY OF RALEIGH INSPECTOR PRIOR TO SUBMITTAL OF CONSTRUCTION DRAWINGS.
4. AS PART OF CONSTRUCTION DRAWING SUBMITTAL, FIRE FLOW CALCULATIONS SHALL BE PROVIDED SHOWING COMPLIANCE WITH NCF. PROJECT MAY BE DEVELOPED IN PHASES AND ALL PHASES SHALL BE REQUIRED TO MEET THE MINIMUM REQUIRED FIRE FLOWS PER OCCUPANCY PROPOSED IN EACH PHASE.
5. AN APPROVED WATER SUPPLY FOR FIRE SUPPRESSION (TEMPORARY OR PERMANENT) SHALL BE PROVIDED AS SOON AS COMBUSTIBLE MATERIALS ARRIVE ON SITE.
6. UTILITY CONSTRUCTION APPROVAL IS REQUIRED FOR THIS PROJECT. PLANS TO BE PREPARED BY NC PROFESSIONAL ENGINEER.
7. RIGHT OF WAY AND/OR EASEMENT DEDICATION PLAT IS REQUIRED FOR THIS PROJECT (PRIOR TO CITY ACCEPTANCE OF UTILITIES).
8. ALL NECESSARY WETLAND, RIPARIAN BUFFER AND FLOODPLAIN PERMITS FROM USACE, NCDWQ & FEMA SHALL BE OBTAINED PRIOR TO CONSTRUCTION.
9. PROJECT SHALL EXTEND PUBLIC WATER MAINS ALONG ALL INTERIOR AND ABUTTING RIGHT OF WAYS OF DEVELOPMENT.
10. FIRE HYDRANT ASSEMBLIES SHALL BE INSTALLED AT EVERY INTERSECTION AND AT 500' (RESIDENTIAL) MAX INTERVALS ALONG SITE FRONTAGE.
11. ALL MAINS UP TO 12 INCHES IN SIZE SHALL BE DESIGNED WITH A BLOW-OFF ASSEMBLY THE SAME SIZE AS THE DIAMETER OF THE PIPE.
12. ALL WATER MAINS SHALL BE PRESSURE CLASS OR THICKNESS CLASS DUCTILE IRON PIPE DESIGNED IN ACCORDANCE WITH AWWA STANDARD C-150.
13. PROJECT SHALL EXTEND PUBLIC GRAVITY SEWER TO PERIPHERY OF DEVELOPMENT BASED ON NATURAL TOPOGRAPHY.
14. ALL CITY OF RALEIGH SANITARY SEWER EASEMENTS SHALL BE A MINIMUM OF 30 FEET.
15. THE SANITARY SEWER DESIGN SHALL BE EVALUATED DURING THE CONSTRUCTION DRAWING REVIEW TO ENSURE ADJACENT PROPERTIES HAVE ACCESS TO SANITARY SEWER WHERE FEASIBLE AND IN COMPLIANCE WITH THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT STANDARDS AND SPECIFICATIONS.
16. ALL OFF-SITE EASEMENTS SHALL BE ACQUIRED BY THE DEVELOPER. THESE OFF-SITE EASEMENTS SHALL BE RECORDED BY MAP AND BY DEED OF EASEMENT PRIOR TO CONSTRUCTION APPROVAL. THE EASEMENTS SHALL BE DEDICATED TO THE CITY OF RALEIGH AND ENTITLED "CITY OF RALEIGH SANITARY SEWER EASEMENT".
17. MAINTAIN APPROPRIATE COVER AND SEPARATION ON UTILITIES AND LABEL IN PROFILES; ANY UTILITY CROSSINGS ARE SUBJECT TO MINIMUM REQUIREMENTS.
18. CONSTRUCTION APPROVAL WILL BE REQUIRED FOR ANY EXTENSIONS OF PUBLIC WATER OR SEWER MAINS.
19. PLAT RECORDATION REQUIRED AFTER CONSTRUCTION APPROVAL PRIOR TO BUILDING PERMIT.
20. DOT ENCROACHMENT AGREEMENT REQUIRED.
21. PRIVATE WATER SERVICES SIZED 3/4" - 2" SHOULD BE TYPE "K" SOFT COPPER AND IN ACCORDANCE WITH PU HANDBOOK, APP. B. STANDARD WATER DETAIL W-23 AND W-25. IF WATER METERS CANNOT BE LOCATED WITHIN THE RIGHT-OF-WAY THEY MUST BE WITHIN RECORDED "CITY OF RALEIGH WATERLINE EASEMENTS".

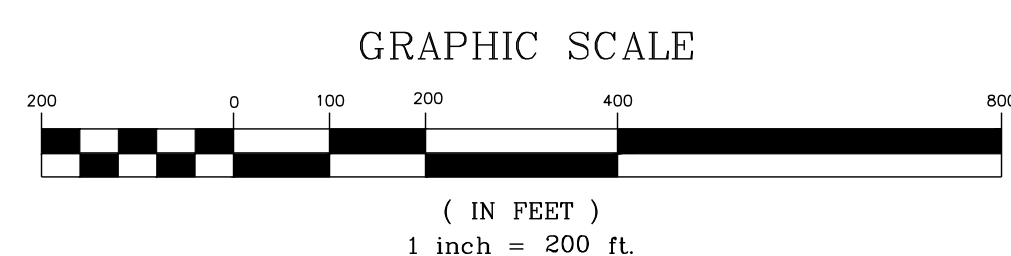
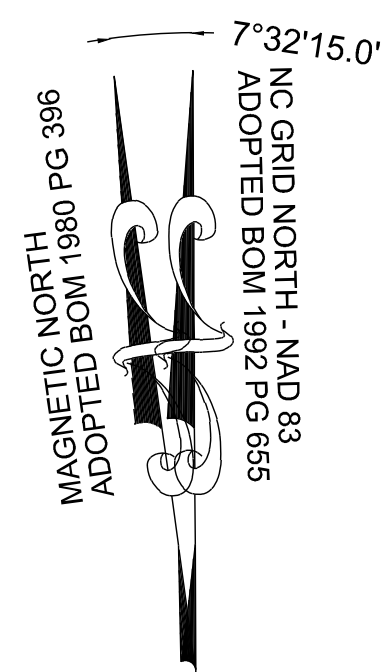
CORPUD STANDARD UTILITY NOTES:

STANDARD UTILITY NOTES (AS APPLICABLE):

- 1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
2. UTILITY SEPARATION REQUIREMENTS:
a) A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
b) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
c) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, PVC MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
d) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS PVC MATERIAL IS SPECIFIED FOR SANITARY SEWER.
e) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS. MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY PVC MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
f) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
5. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
6. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
7. INSTALL 3/4" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
8. INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
9. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
10. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
11. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
12. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
13. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE CONTROLLED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

LEGEND:

- W WATER LINE
SS SANITARY SEWER LINE
WATER METER / SERVICE
SANITARY CLEANOUT / SERVICE
FIRE HYDRANT ASSEMBLY
GATE VALVE
TEE
CROSS
BLOW OFF VALVE
SANITARY MANHOLE

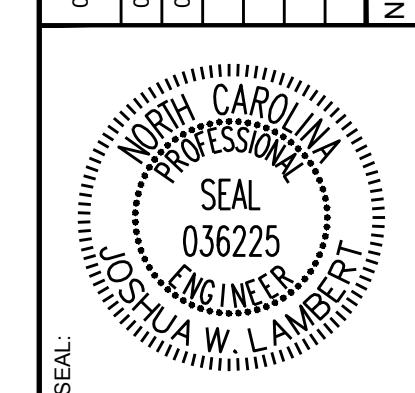


NOTES: SEE SHEET C-3.0 FOR ADJACENT PROPERTY DETAILS

TOWNHOME NOTES: STATES INTERNAL TOWNHOME DRIVEWAYS ARE PRIVATE EASEMENTS AS PER CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT

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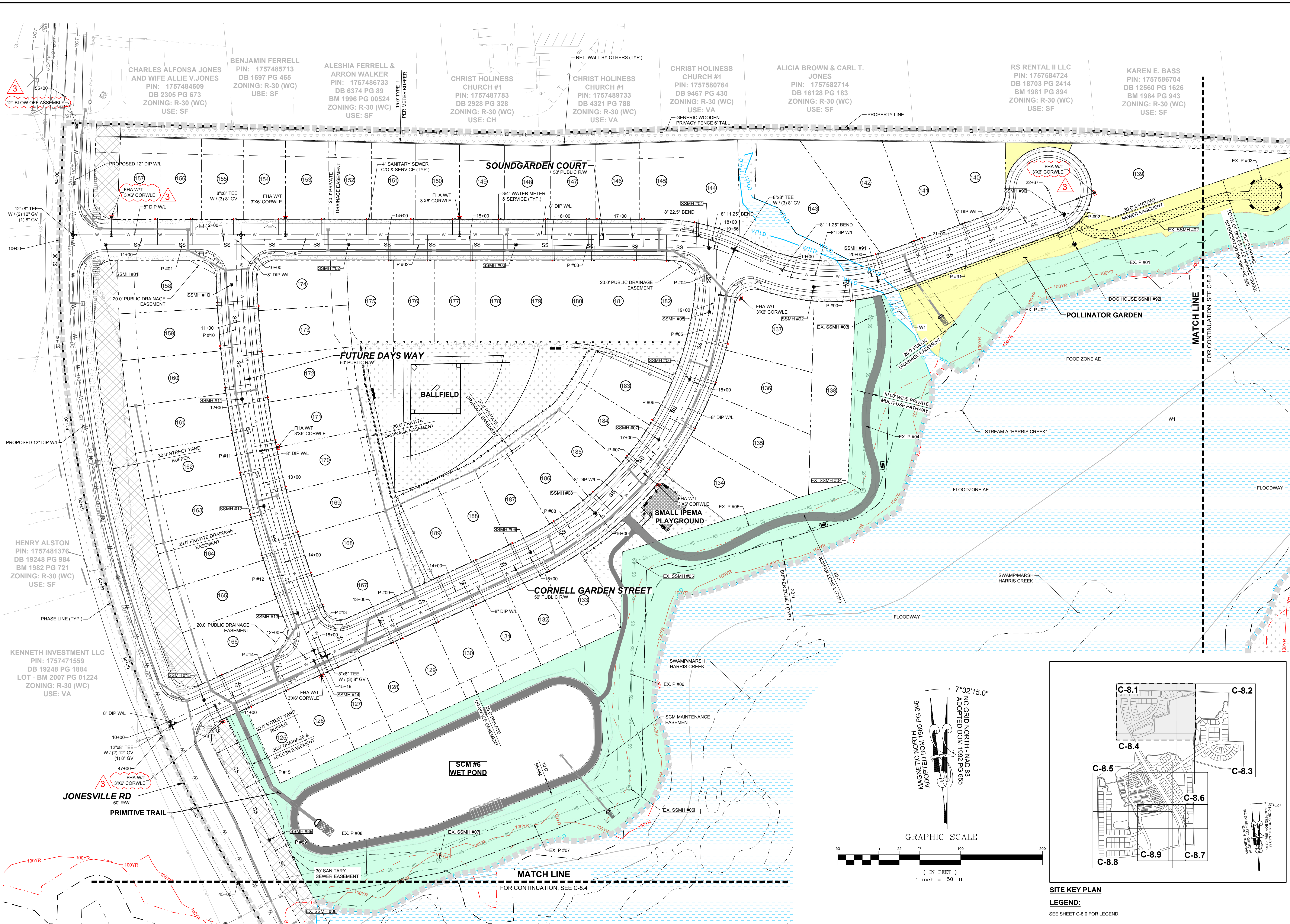
Table with columns: No., DATE, REVISIONS. Includes drawing dates: 08/04/2024, 11/07/2024, 02/07/2024.



STRONGROCK ENGINEERING GROUP logo and contact information: STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166, 305 CHURCH AT NORTH HILLS STREET, SUITE 110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

RESERVE @ MITCHELL MILL TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA CONSTRUCTION PLANS OVERALL UTILITY PLAN

DRAWING SHEET C-8.0



CHARLES ALFONSA JONES AND WIFE ALLIE V. JONES
 PIN: 1757484609
 DB 2305 PG 673
 ZONING: R-30 (WC)
 USE: SF

BENJAMIN FERRELL
 PIN: 1757485713
 DB 1697 PG 465
 ZONING: R-30 (WC)
 USE: SF

ALESIA FERRELL & ARRON WALKER
 PIN: 1757486733
 DB 6374 PG 89
 BM 1996 PG 00524
 ZONING: R-30 (WC)
 USE: SF

CHRIST HOLINESS CHURCH #1
 PIN: 1757487783
 DB 2928 PG 328
 ZONING: R-30 (WC)
 USE: CH

CHRIST HOLINESS CHURCH #1
 PIN: 1757489733
 DB 4321 PG 788
 ZONING: R-30 (WC)
 USE: VA

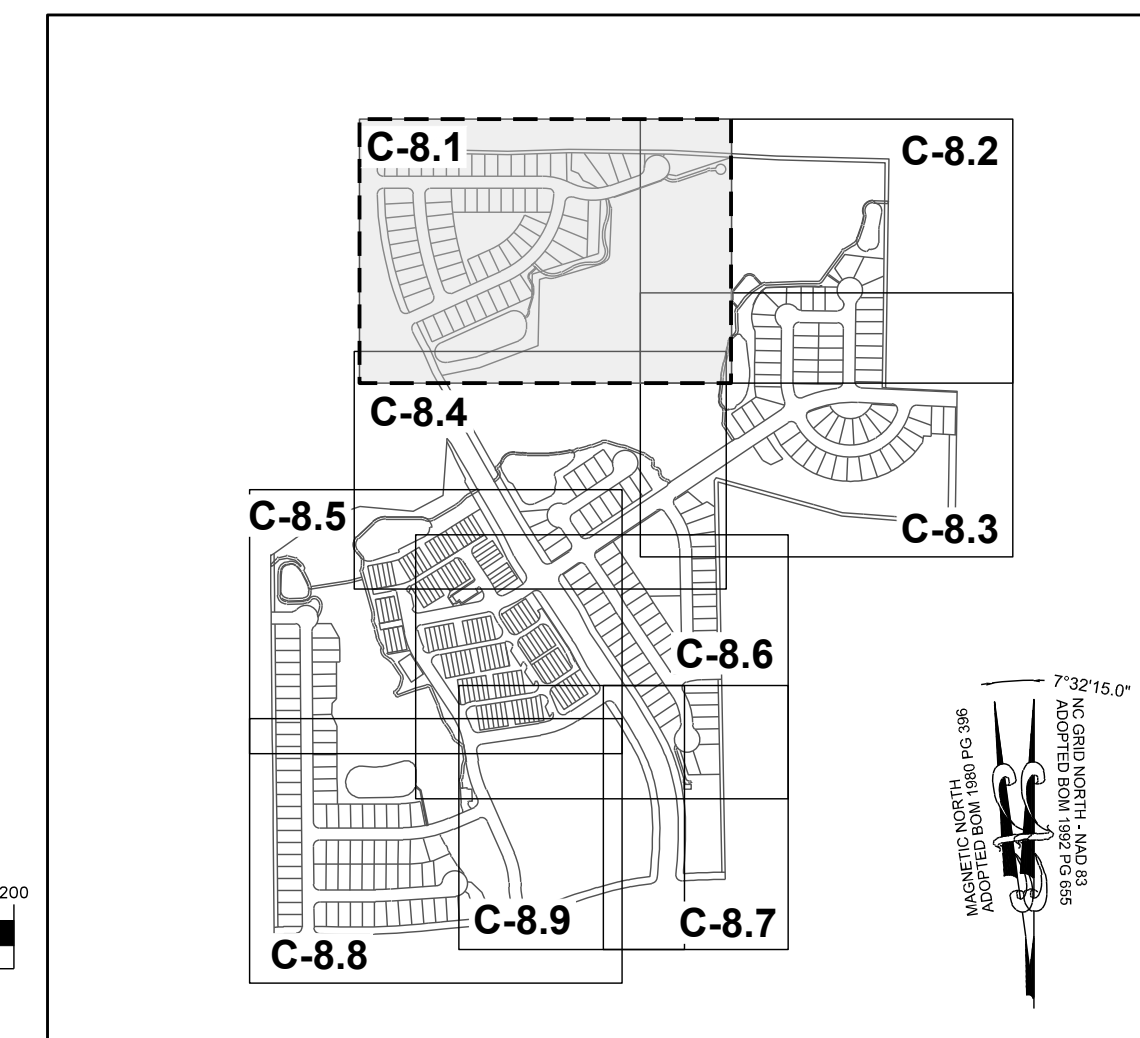
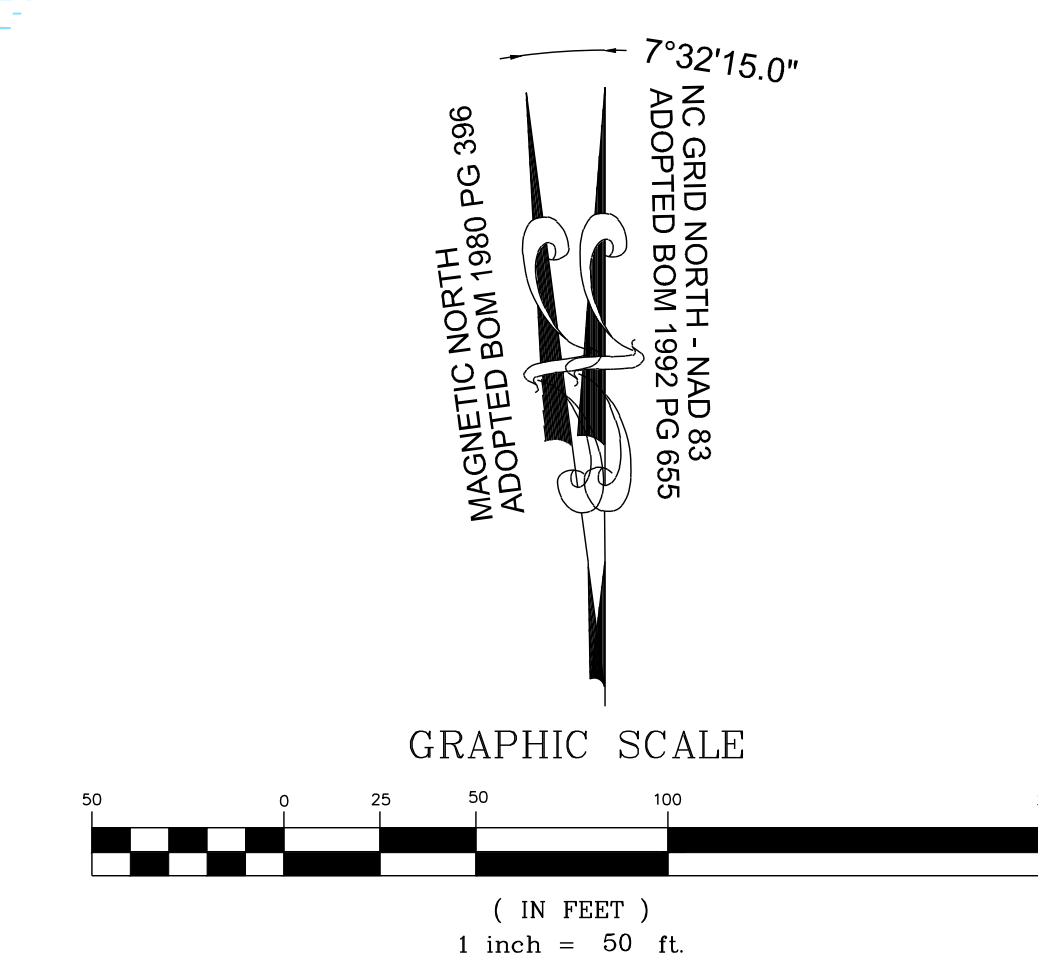
ALICIA BROWN & CARL T. JONES
 PIN: 1757582714
 DB 16128 PG 183
 ZONING: R-30 (WC)
 USE: SF

RS RENTAL II LLC
 PIN: 1757584724
 DB 18703 PG 2414
 BM 1981 PG 894
 ZONING: R-30 (WC)
 USE: SF

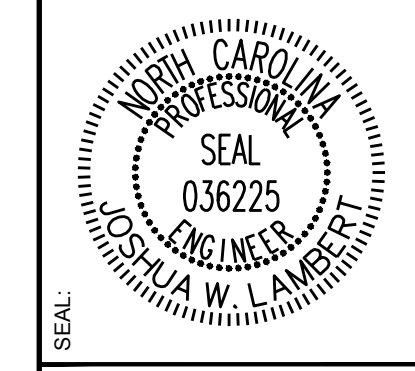
KAREN E. BASS
 PIN: 1757586704
 DB 12560 PG 1626
 BM 1984 PG 943
 ZONING: R-30 (WC)
 USE: SF

HENRY ALSTON
 PIN: 1757481376
 DB 19248 PG 984
 BM 1982 PG 721
 ZONING: R-30 (WC)
 USE: SF

KENNETH INVESTMENT LLC
 PIN: 1757471559
 DB 19248 PG 1884
 LOT - BM 2007 PG 01224
 ZONING: R-30 (WC)
 USE: VA



NO.	REVISIONS	DATE	BY
01			
02			
03			



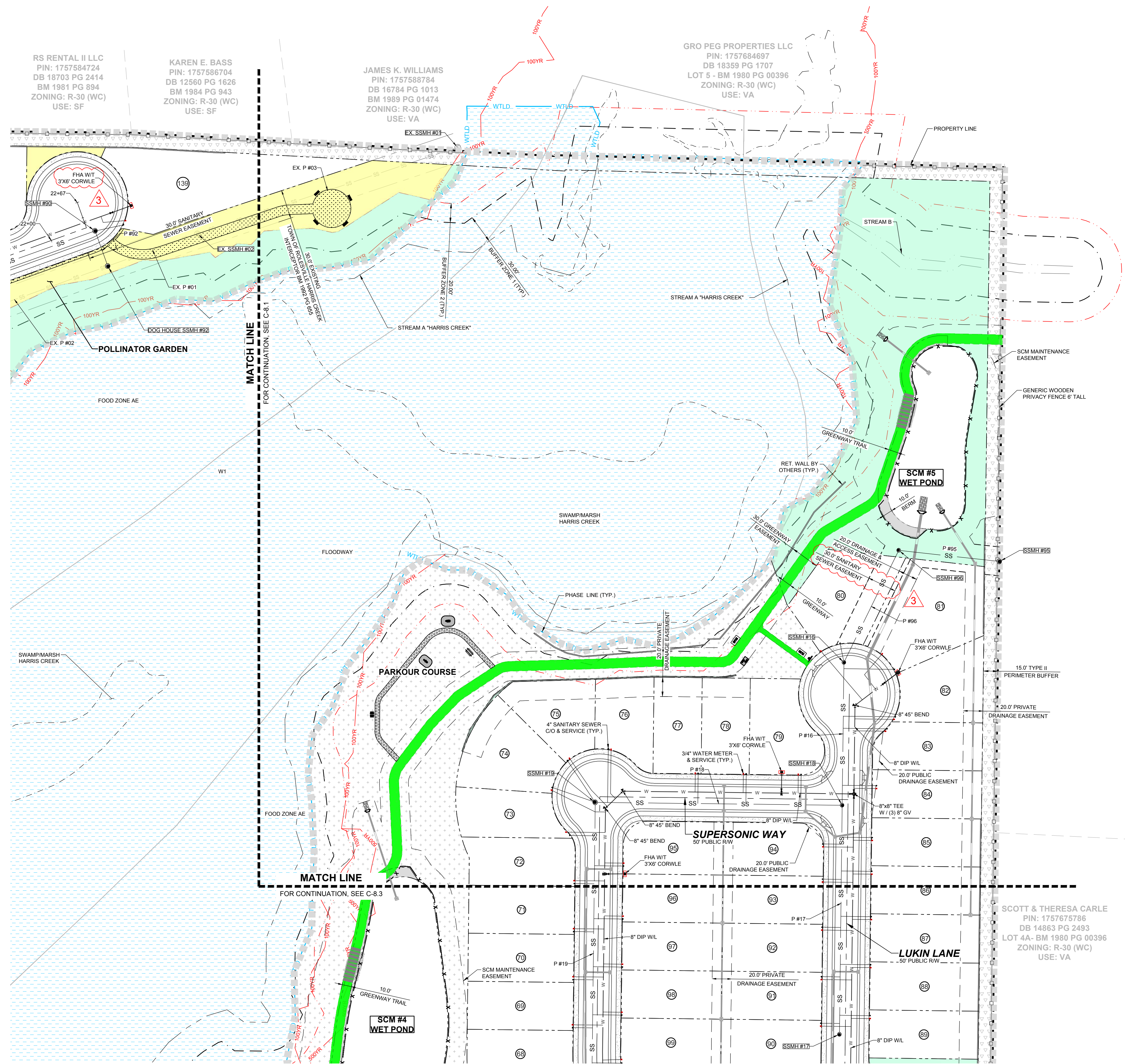
STRONGROCK
 ENGINEERING GROUP
 STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166
 305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	STRONG ROCK PROJECT
PSP-24-00	NOT FOR CONSTRUCTION
SCALE	AS SHOWN
DESIGNED BY	JWL
DRAWN BY	SRG
CHECKED BY	JWL

RESERVE @ MITCHELL MILL
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
 CONSTRUCTION PLANS
 PARTIAL UTILITY PLAN I

DRAWING SHEET
C-8.1

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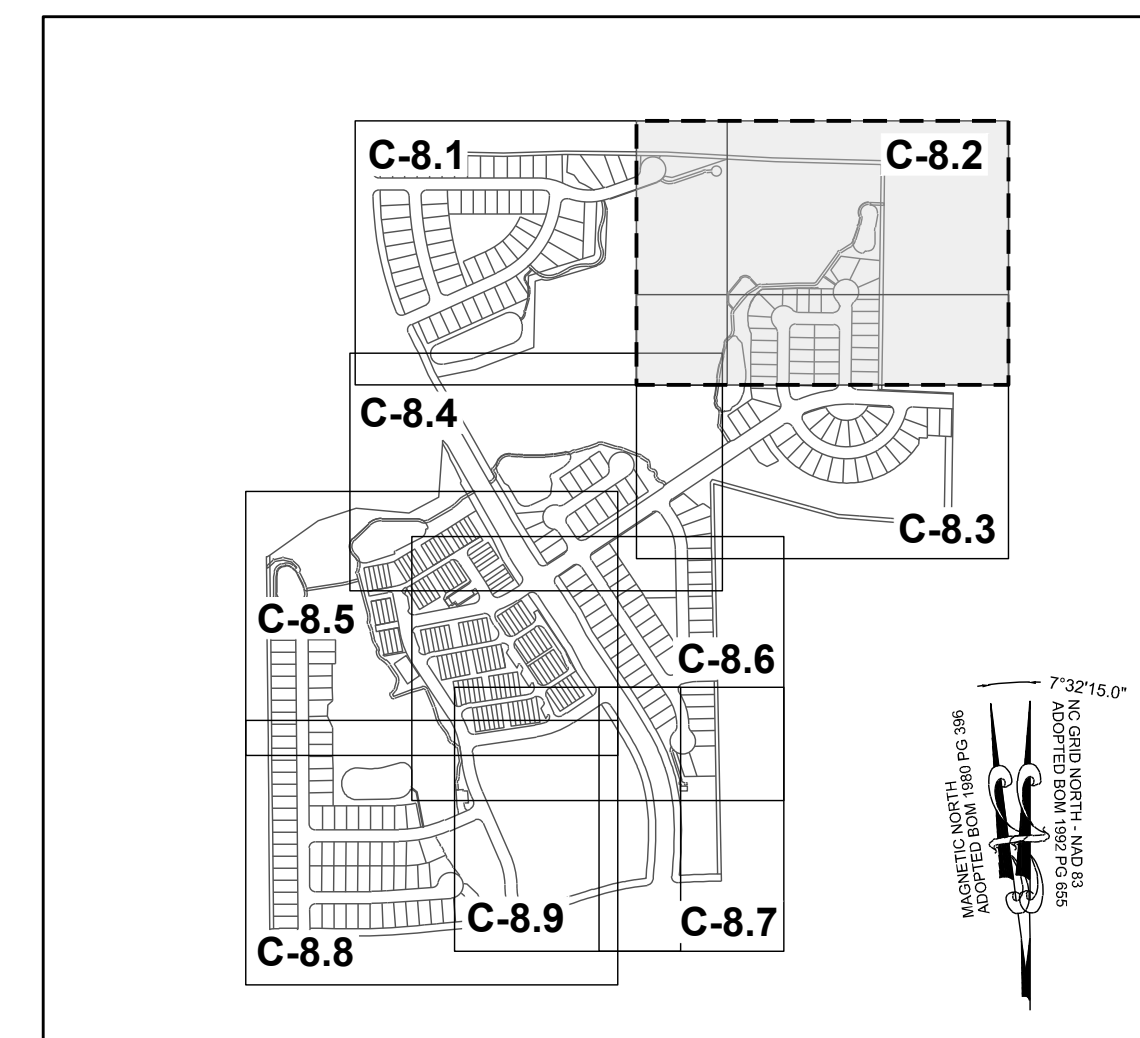
RS RENTAL II LLC
 PIN: 1757584724
 DB 18703 PG 2414
 BM 1981 PG 894
 ZONING: R-30 (WC)
 USE: SF

KAREN E. BASS
 PIN: 1757586704
 DB 12560 PG 1626
 BM 1984 PG 943
 ZONING: R-30 (WC)
 USE: SF

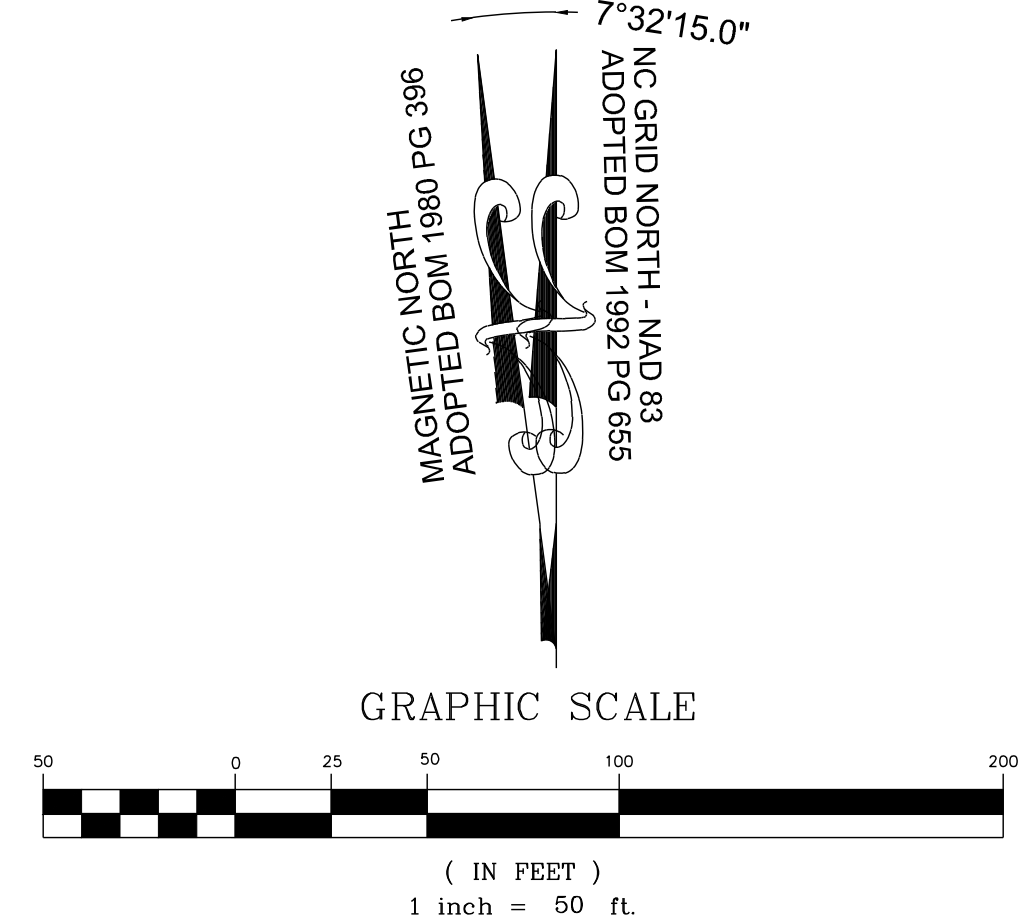
JAMES K. WILLIAMS
 PIN: 1757588784
 DB 16784 PG 1013
 BM 1989 PG 01474
 ZONING: R-30 (WC)
 USE: VA

GRO PEG PROPERTIES LLC
 PIN: 1757684697
 DB 18359 PG 1707
 LOT 5 - BM 1980 PG 00396
 ZONING: R-30 (WC)
 USE: VA

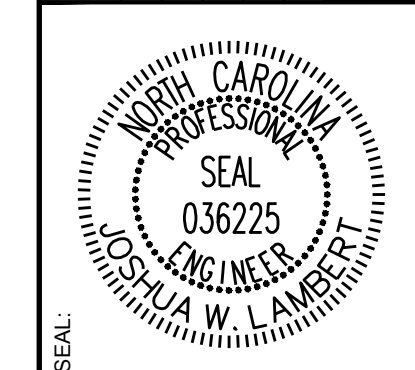
SCOTT & THERESA CARLE
 PIN: 1757675786
 DB 14863 PG 2493
 LOT 4A - BM 1980 PG 00396
 ZONING: R-30 (WC)
 USE: VA



SITE KEY PLAN
LEGEND:
 SEE SHEET C-8.0 FOR LEGEND.



NO.	REVISIONS	DATE	BY
01			
02			
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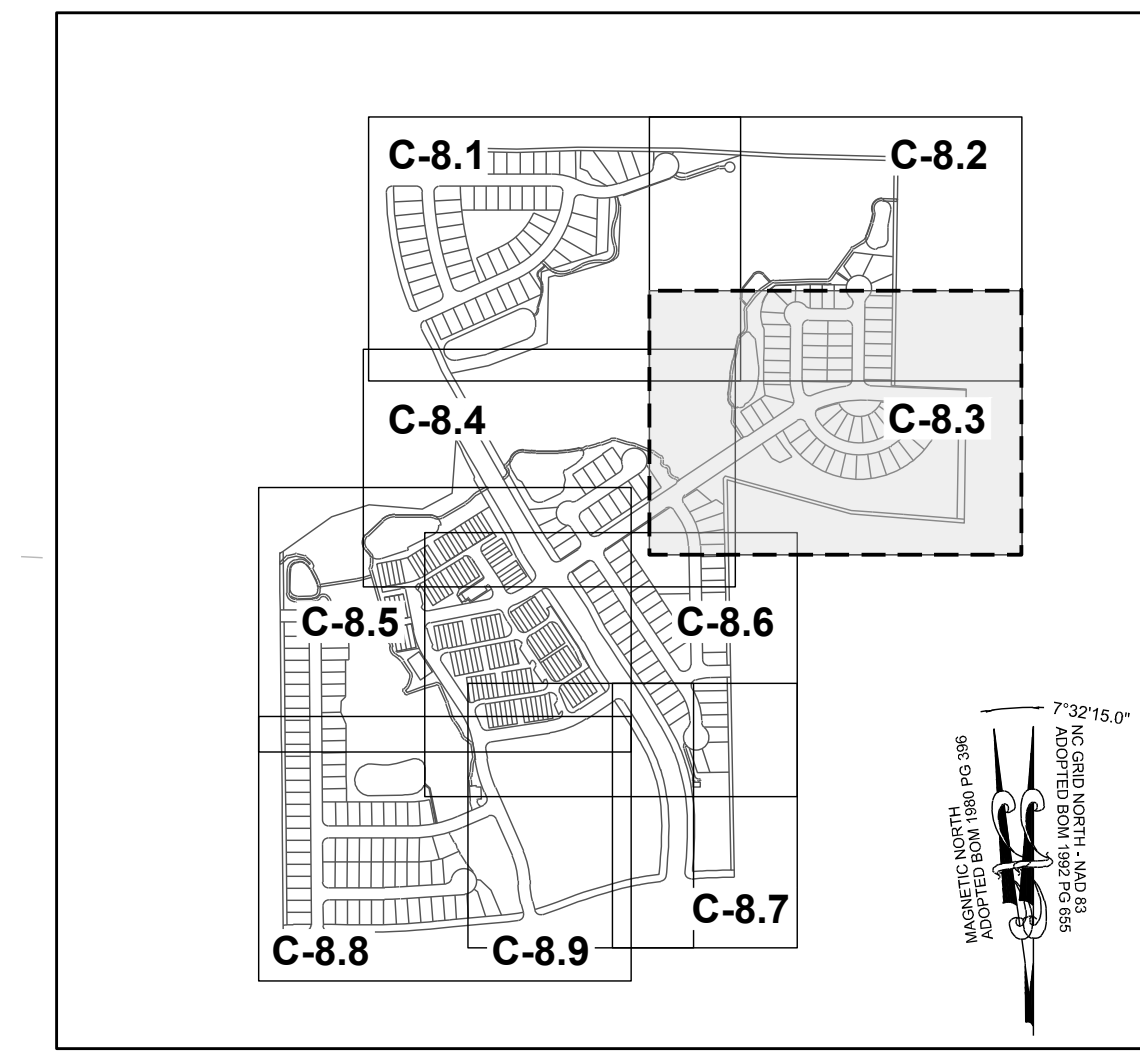
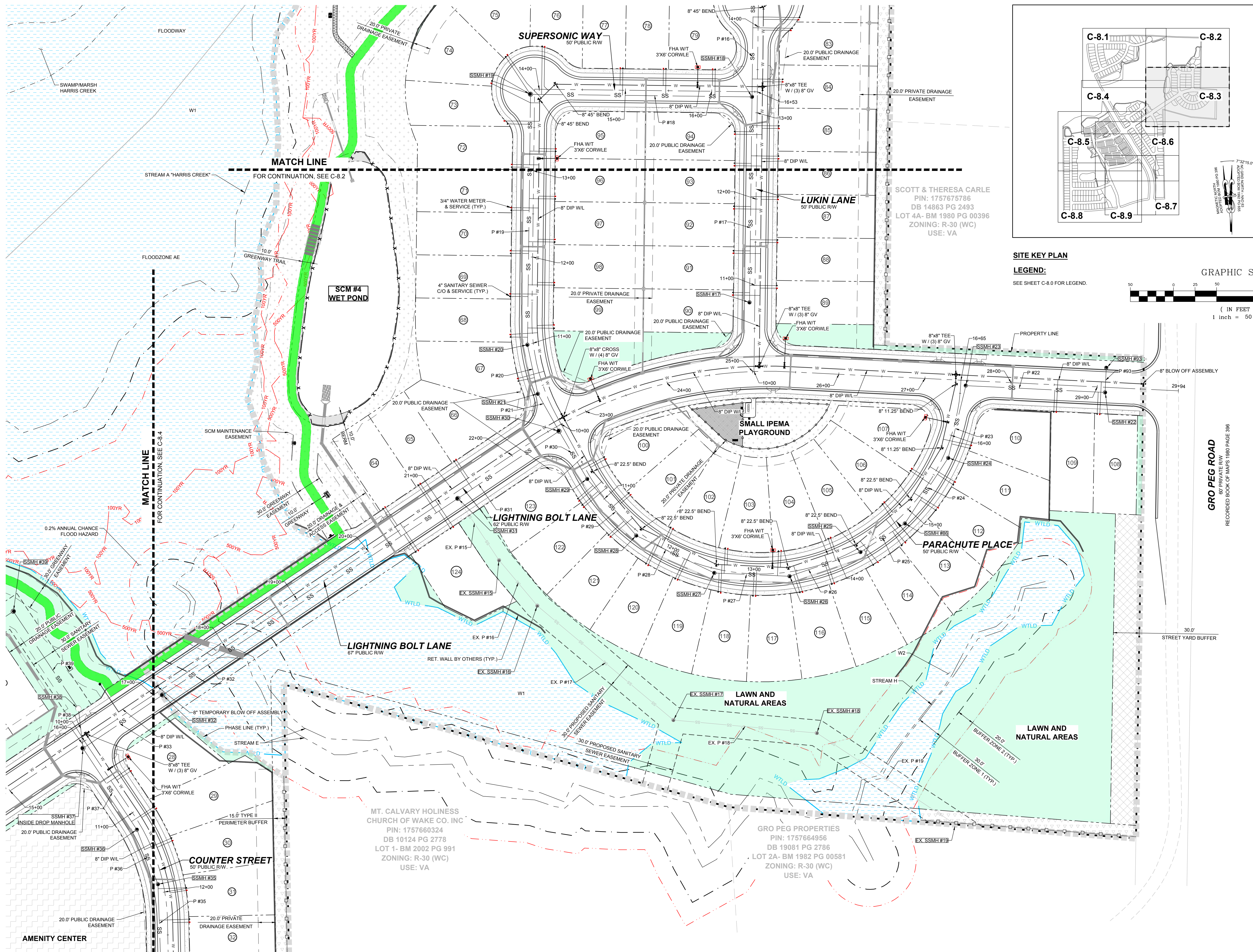
STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166
 305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	PSP-24-00
NOT FOR CONSTRUCTION	
SCALE	AS SHOWN
DESIGNED BY	JWL
DRAWN BY	SRG
CHECKED BY	JWL

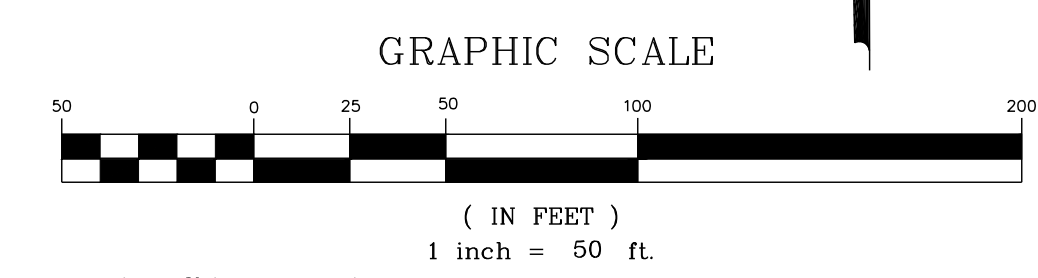
RESERVE @ MITCHELL MILL
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
 CONSTRUCTION PLANS
 PARTIAL UTILITY PLAN II

DRAWING SHEET
C-8.2

THIS PLANSET AND ANY ASSOCIATED DOCUMENTS ARE PRELIMINARY AND NOT AUTHORIZED FOR CONSTRUCTION UNTIL SIGNED, DATED, AND OFFICIALLY RELEASED FOR CONSTRUCTION BY THE ENGINEER OF RECORD.

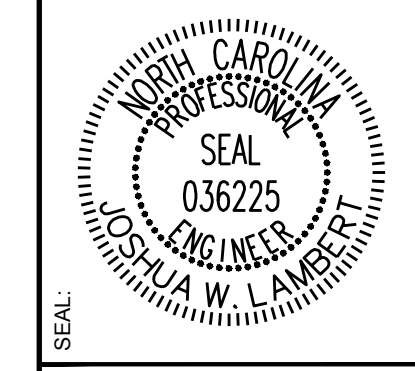


SITE KEY PLAN
LEGEND:
 SEE SHEET C-8.0 FOR LEGEND.



MAGNETIC NORTH 1980 PG 396
 ADOPTED BOM 1992 PG 655
 7°32'15.0"

NO.	REVISIONS	DATE	BY
01			
02			
03			



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 STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166
 305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
PSP-24-03	AS SHOWN	JWL	SRG	JWL

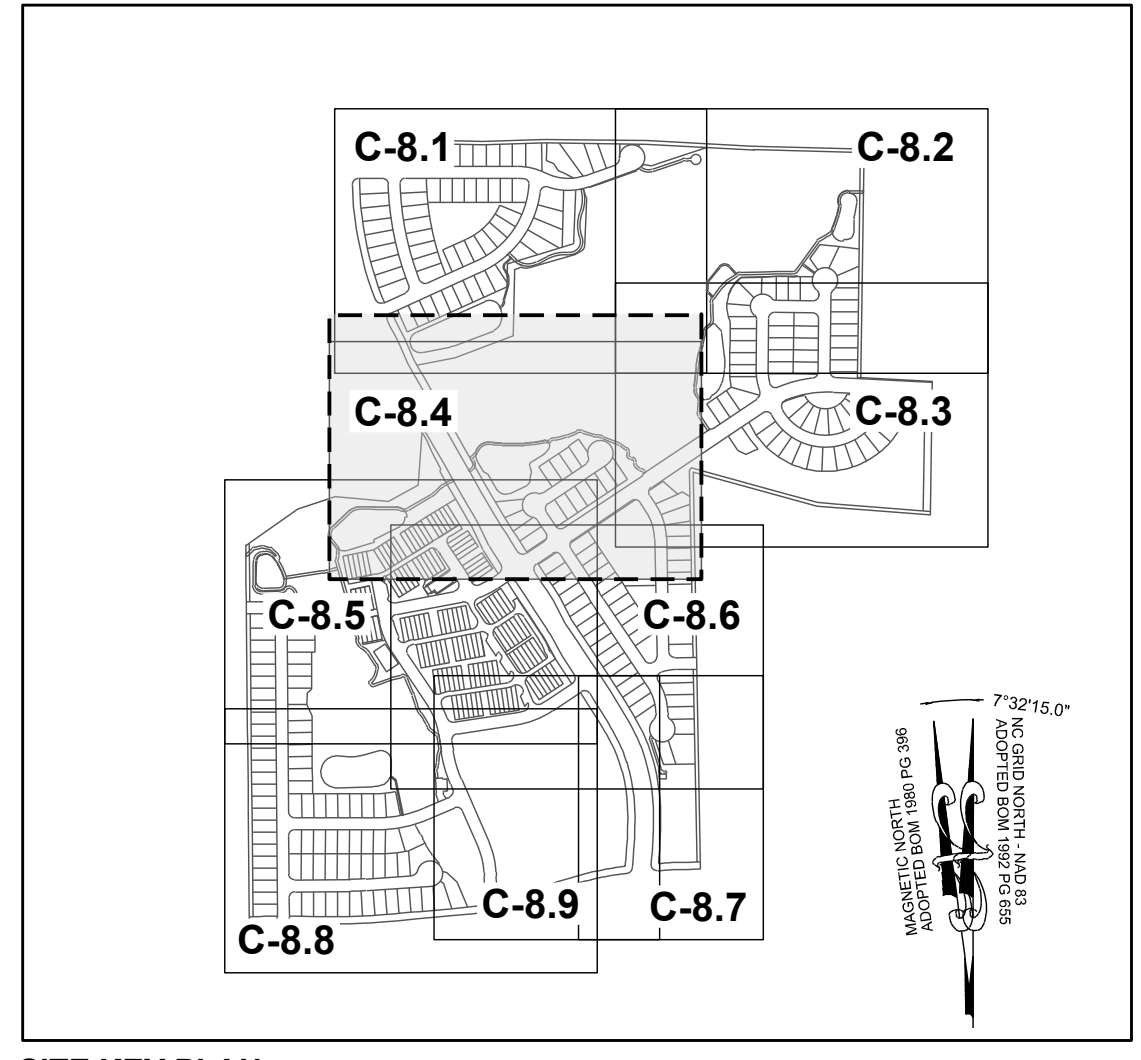
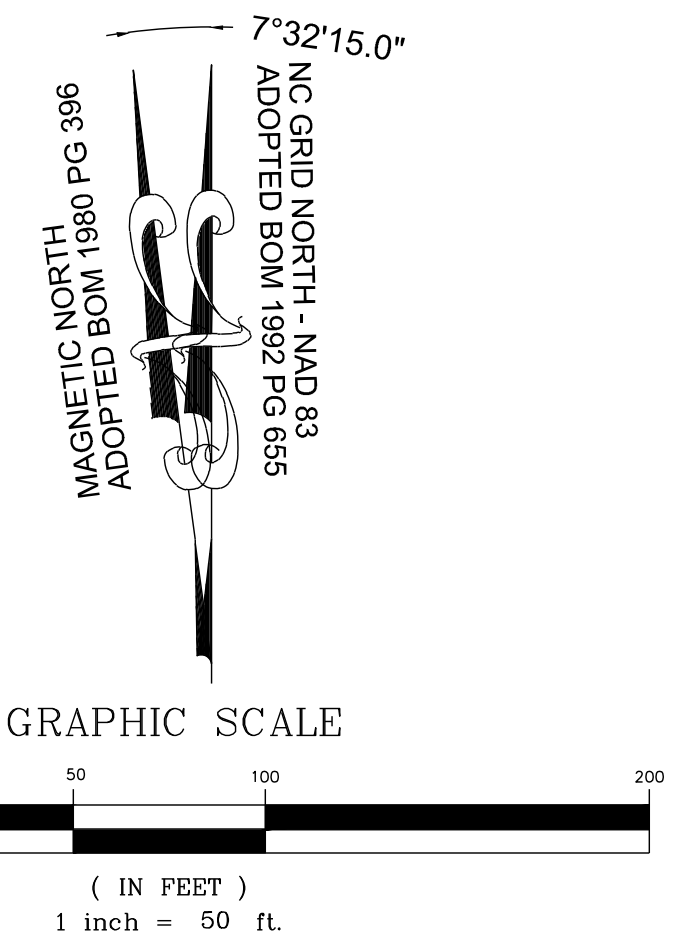
RESERVE @ MITCHELL MILL
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
 CONSTRUCTION PLANS
 PARTIAL UTILITY PLAN III

DRAWING SHEET
C-8.3

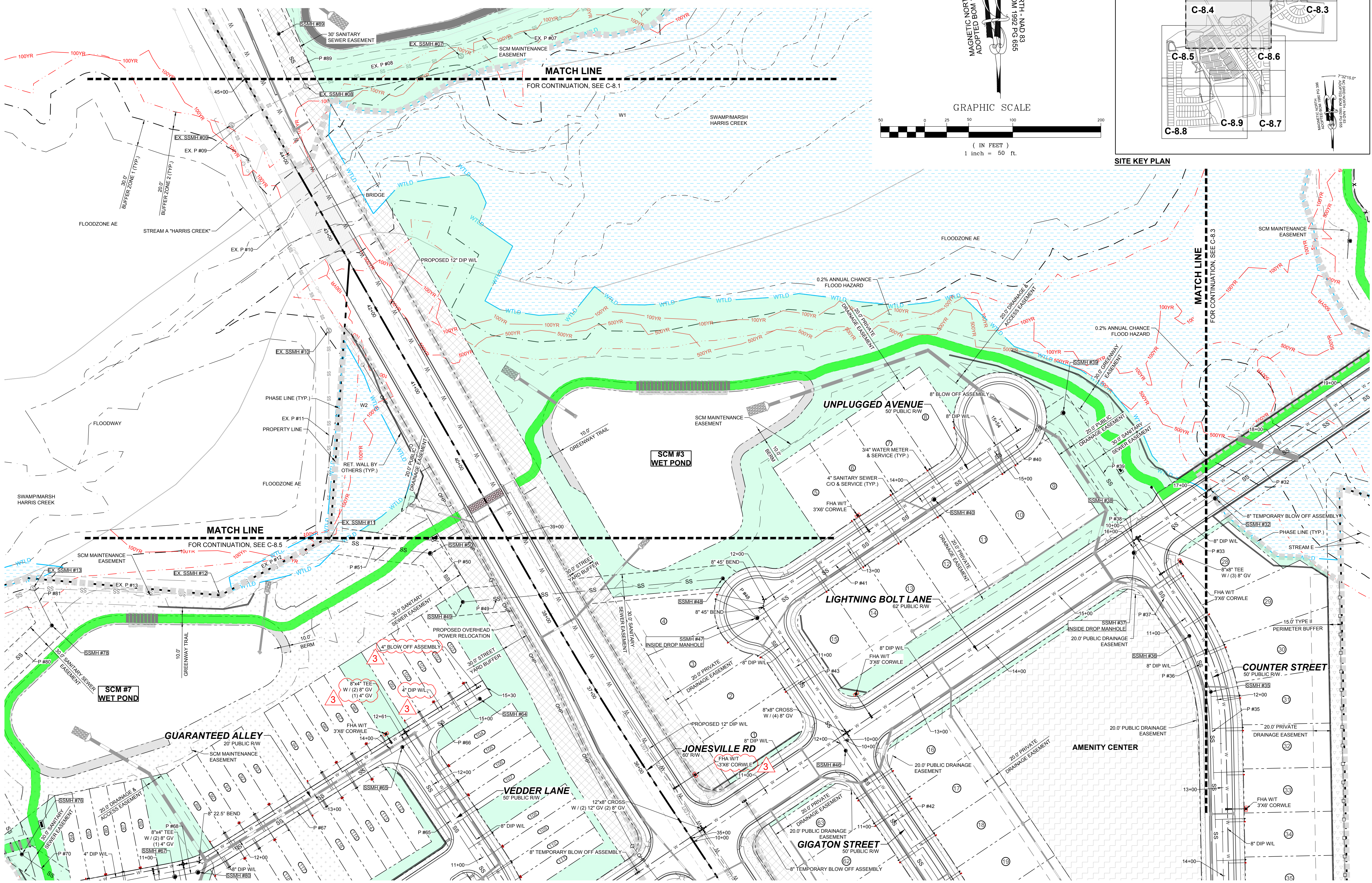
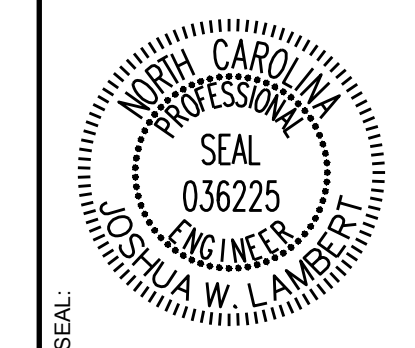
THIS PLANSET AND ANY ASSOCIATED DOCUMENTS ARE PRELIMINARY AND NOT AUTHORIZED FOR CONSTRUCTION UNTIL SIGNED, DATED, AND OFFICIALLY RELEASED FOR CONSTRUCTION BY THE ENGINEER OF RECORD.

TOWNHOME NOTES:
STATES INTERNAL TOWNHOME DRIVEWAYS ARE PRIVATE EASEMENTS AS PER CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT

LEGEND:
SEE SHEET C-8.0 FOR LEGEND.



NO.	REVISIONS	DATE	BY
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STRONG ROCK PROJECT	STRONG ROCK PROJECT
PSP-25-03	NOT FOR CONSTRUCTION
SCALE	AS SHOWN
DESIGNED BY	JWL
DRAWN BY	SRG
CHECKED BY	JWL

RESERVE @ MITCHELL MILL
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
CONSTRUCTION PLANS
PARTIAL UTILITY PLAN VI

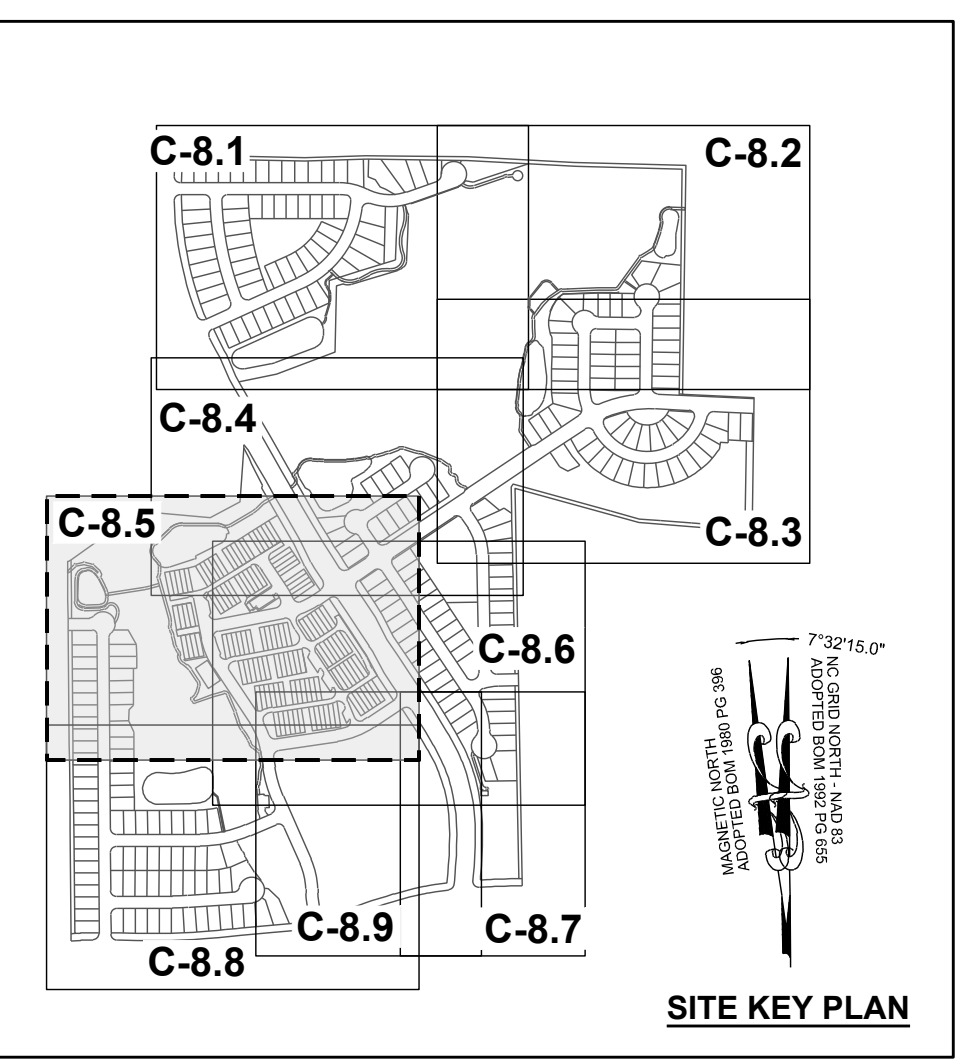
DRAWING SHEET
C-8.4

THIS PLANSET AND ANY ASSOCIATED DOCUMENTS ARE PRELIMINARY AND NOT AUTHORIZED FOR CONSTRUCTION UNTIL SIGNED, DATED, AND OFFICIALLY RELEASED FOR CONSTRUCTION BY THE ENGINEER OF RECORD.

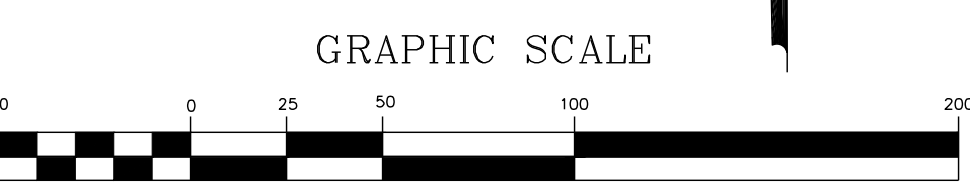
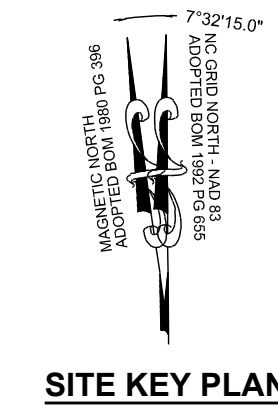
TOWNHOME NOTES:
STATES INTERNAL TOWNHOME DRIVEWAYS ARE PRIVATE EASEMENTS AS PER CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT

KENNETH INVESTMENT LLC
PIN: 1757368816
DB 19248 PG 1884
ZONING: R-30 (WC)
USE: VA

MEGAN KULAWIAK
PIN: 1757367367
DB 16226 PG 1133
LOT 6
BM 1990 PG 00387
ZONING: R-30 (WC)
USE: VA



LEGEND:
SEE SHEET C-8.0 FOR LEGEND.



NO.	REVISIONS	DATE	BY
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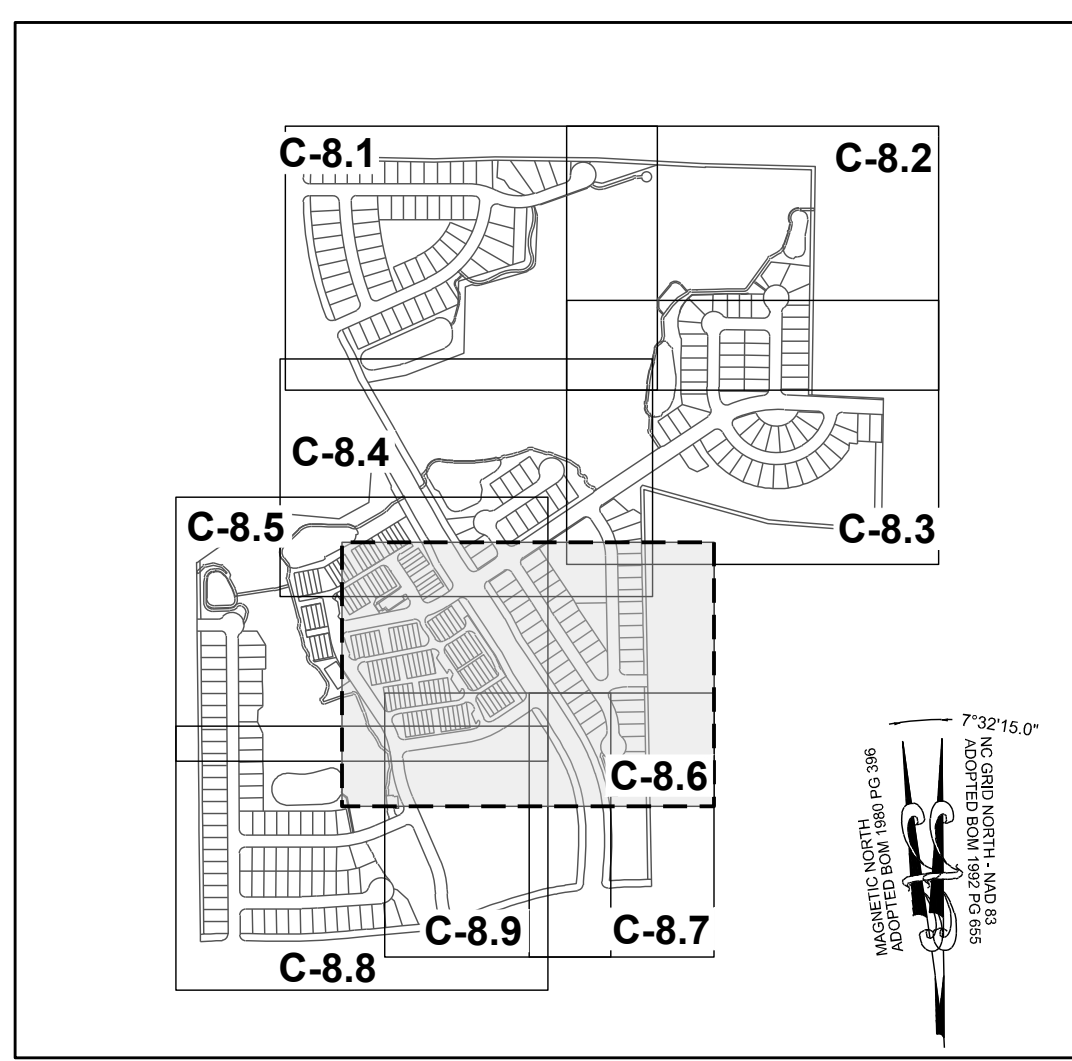
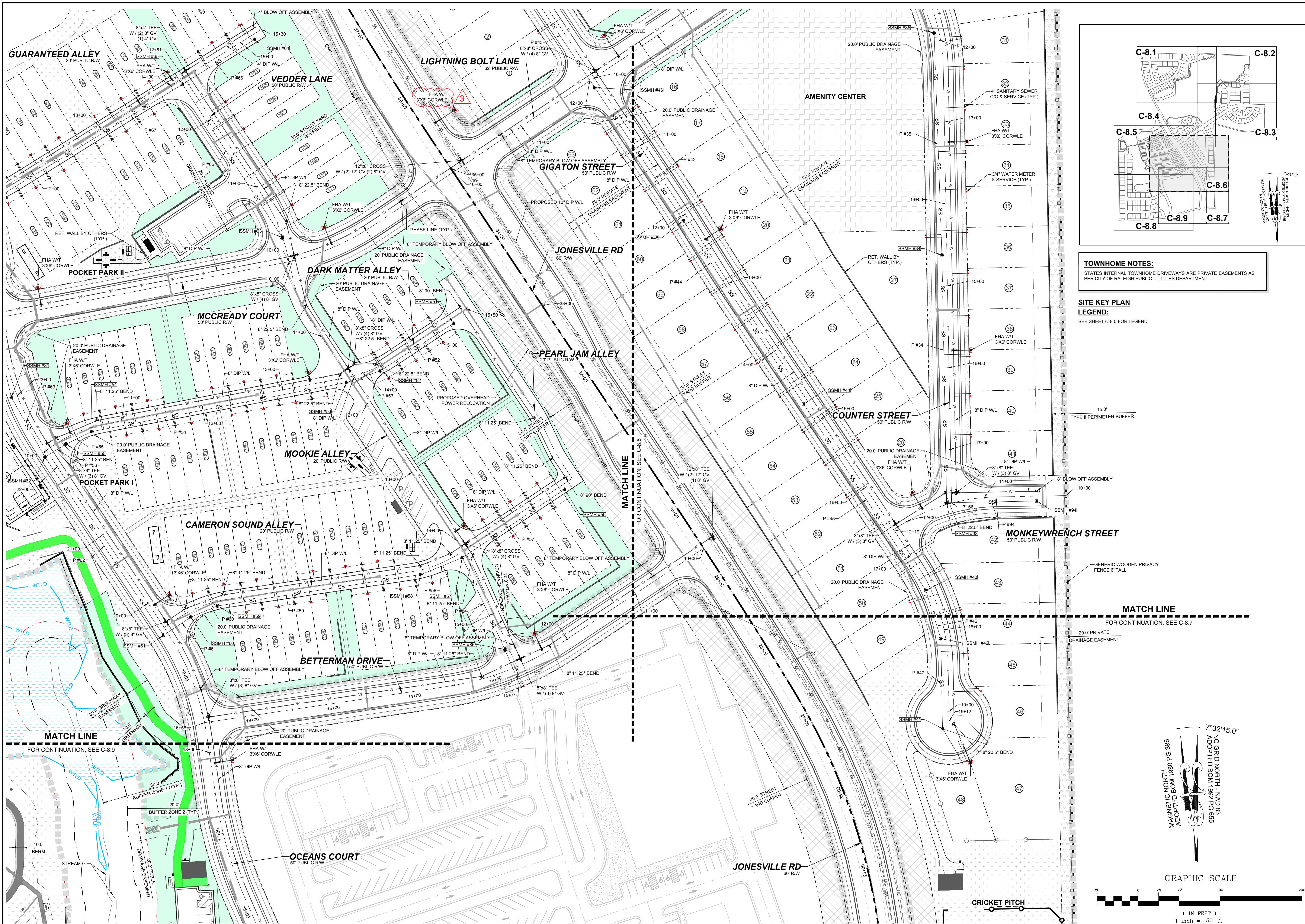
STRONGROCK
ENGINEERING GROUP

RESERVE @ MITCHELL MILL
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
CONSTRUCTION PLANS
PARTIAL UTILITY PLAN V

STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166
305 CHURCH AT NORTH HILLS STREET, SUITE 110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT PSP-24-03	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	SRG	DRAWN BY JWL	CHECKED BY JWL
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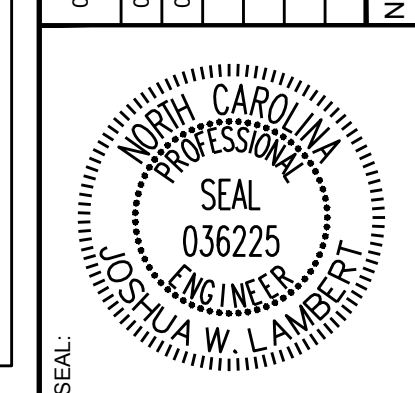
THIS PLANSET AND ANY ASSOCIATED DOCUMENTS ARE PRELIMINARY AND NOT AUTHORIZED FOR CONSTRUCTION UNTIL SIGNED, DATED, AND OFFICIALLY RELEASED FOR CONSTRUCTION BY THE ENGINEER OF RECORD.



TOWNHOME NOTES:
 STATES INTERNAL TOWNHOME DRIVEWAYS ARE PRIVATE EASEMENTS AS PER CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT

SITE KEY PLAN LEGEND:
 SEE SHEET C-8.0 FOR LEGEND.

NO.	REVISIONS	DATE	BY
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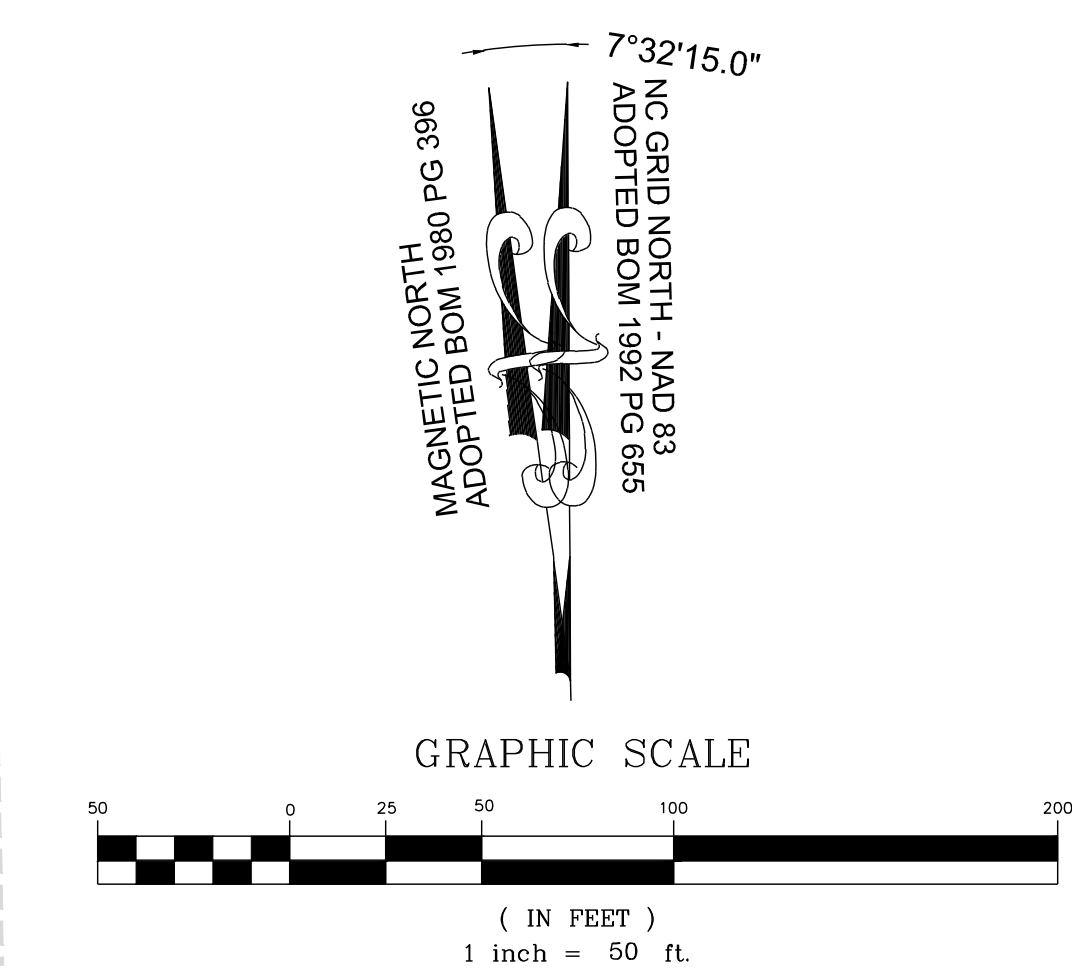


STRONGROCK ENGINEERING GROUP
 STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166
 305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

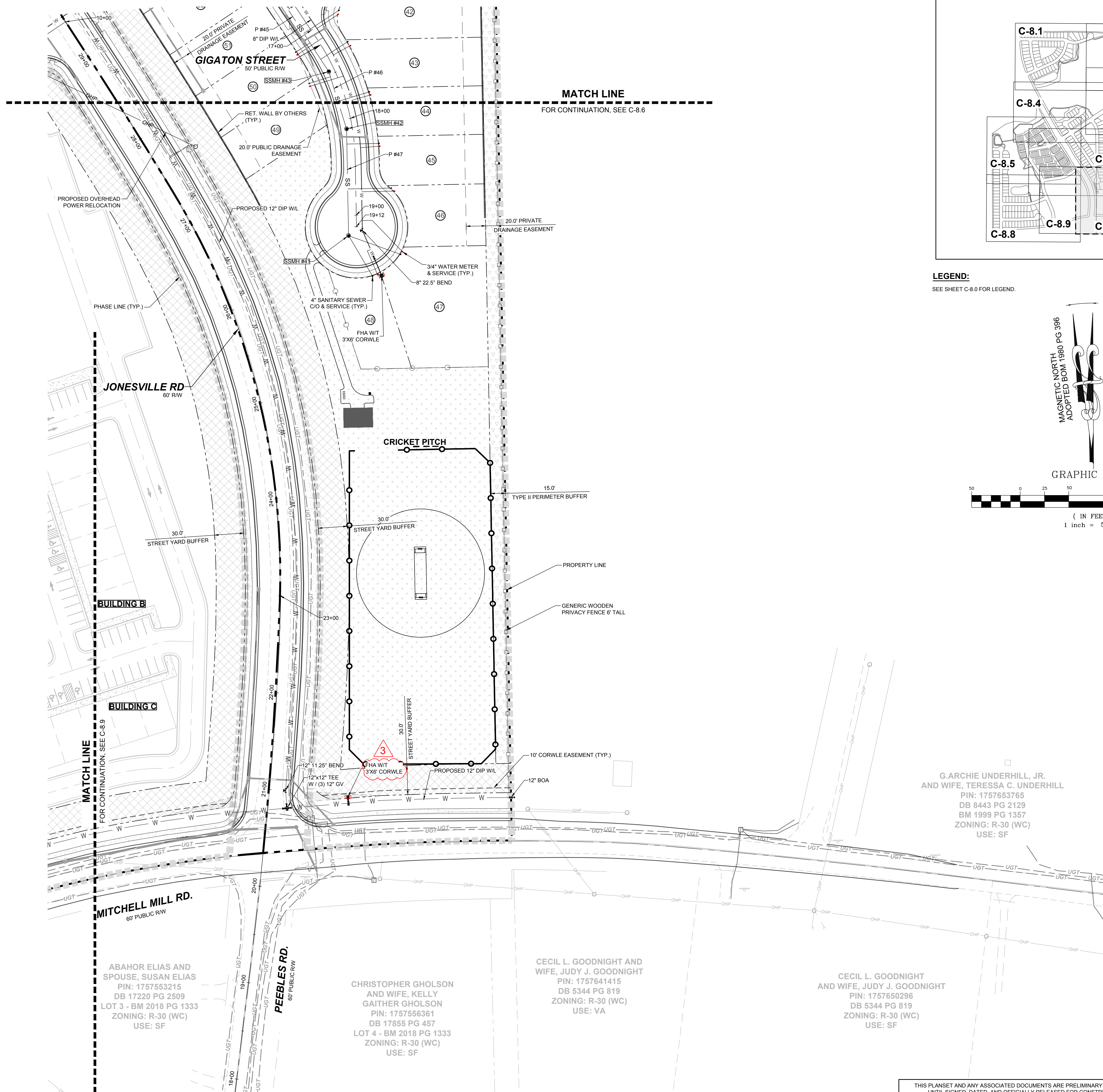
STRONG ROCK PROJECT	STRONG ROCK PROJECT PSP-24-03
NOT FOR CONSTRUCTION	
SCALE	AS SHOWN
DESIGNED BY	JWL
DRAWN BY	SRG
CHECKED BY	JWL

RESERVE @ MITCHELL MILL
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
CONSTRUCTION PLANS
PARTIAL UTILITY PLAN VI

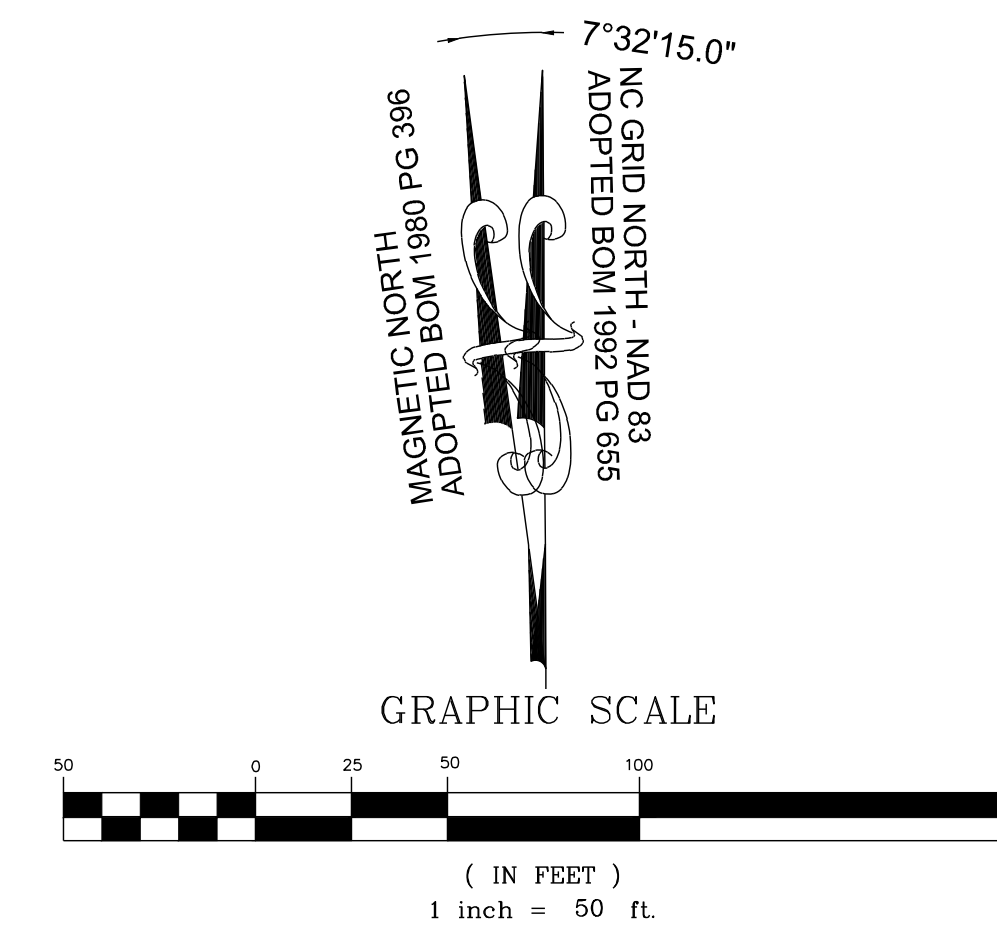
DRAWING SHEET
C-8.6



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LEGEND:
SEE SHEET C-8.0 FOR LEGEND.



G. ARCHIE UNDERHILL, JR.
AND WIFE, TERESSA C. UNDERHILL
PIN: 1757653765
DB 8443 PG 2129
BM 1999 PG 1357
ZONING: R-30 (WC)
USE: SF

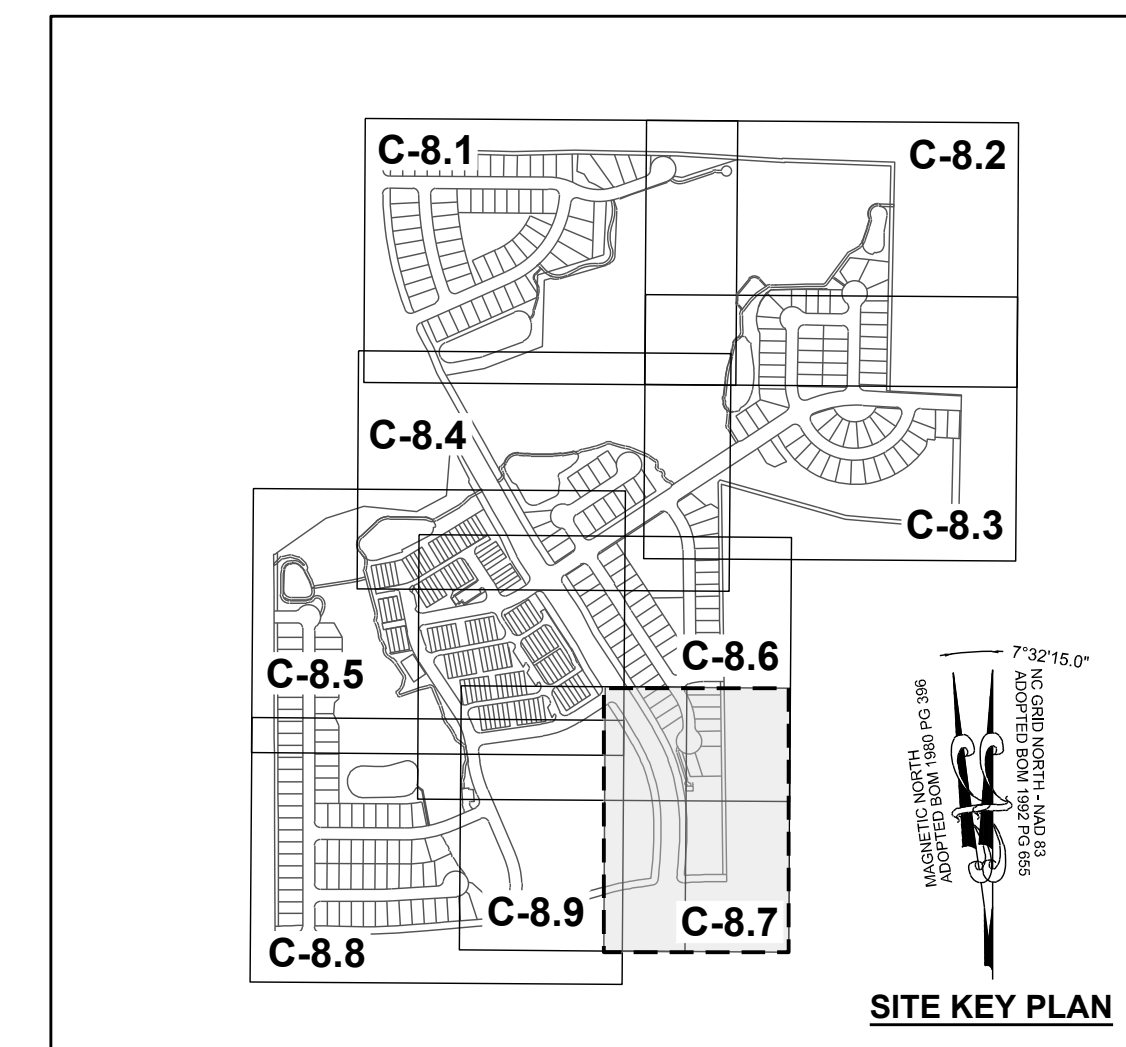
ABAHOR ELIAS AND
SPOUSE, SUSAN ELIAS
PIN: 1757653215
DB 17220 PG 2509
LOT 3 - BM 2018 PG 1333
ZONING: R-30 (WC)
USE: SF

CHRISTOPHER GHOLSON
AND WIFE, KELLY
GAITHER GHOLSON
PIN: 1757556361
DB 17855 PG 457
LOT 4 - BM 2018 PG 1333
ZONING: R-30 (WC)
USE: SF

CECIL L. GOODNIGHT AND
WIFE, JUDY J. GOODNIGHT
PIN: 1757641415
DB 5344 PG 819
ZONING: R-30 (WC)
USE: VA

CECIL L. GOODNIGHT
AND WIFE, JUDY J. GOODNIGHT
PIN: 1757650296
DB 5344 PG 819
ZONING: R-30 (WC)
USE: SF

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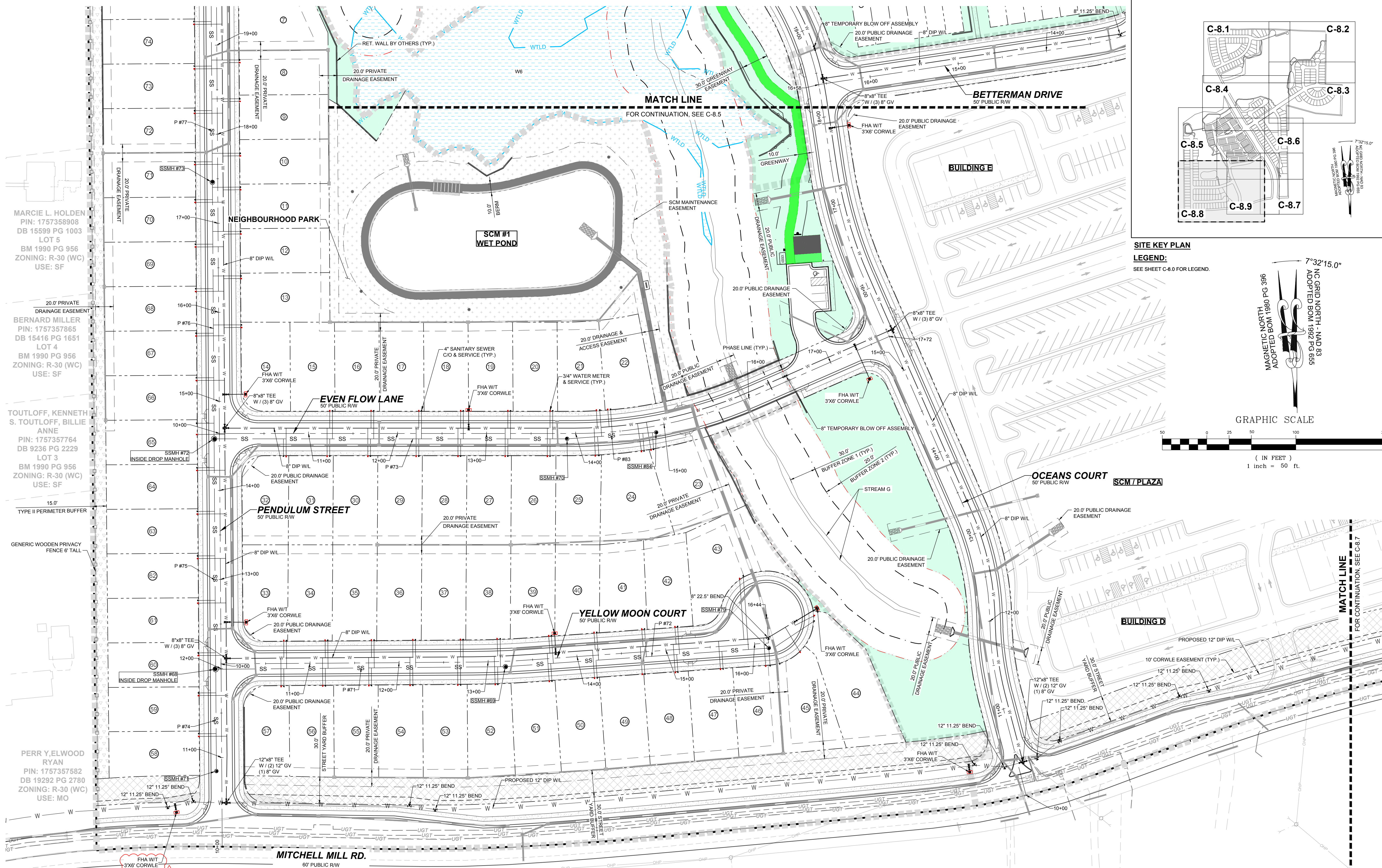
STRONGROCK
ENGINEERING GROUP

STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166
305 CHURCH AT NORTH HILLS STREET, SUITE 110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	PSP-24-03
NOT FOR CONSTRUCTION	
SCALE	AS SHOWN
DESIGNED BY	JWL
DRAWN BY	SRG
CHECKED BY	JWL

RESERVE @ MITCHELL MILL
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
CONSTRUCTION PLANS
PARTIAL UTILITY PLAN VII

DRAWING SHEET
C-8.7



MARCI L. HOLDEN
PIN: 1757358908
DB 15599 PG 1003
LOT 5
BM 1990 PG 956
ZONING: R-30 (WC)
USE: SF

BERNARD MILLER
PIN: 1757357865
DB 15416 PG 1651
LOT 4
BM 1990 PG 956
ZONING: R-30 (WC)
USE: SF

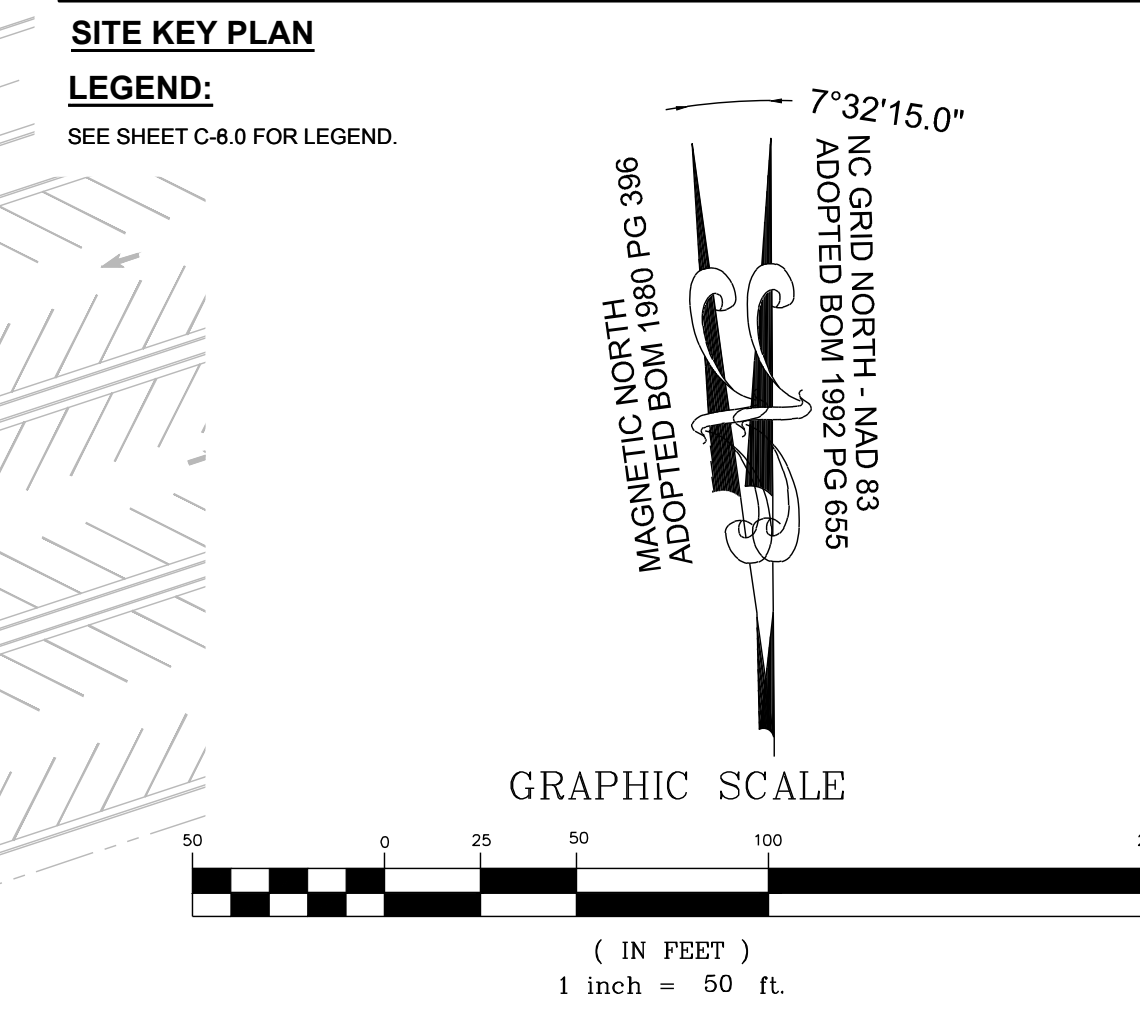
TOUTLOFF, KENNETH S.
S. TOUTLOFF, BILLIE ANNE
PIN: 1757357764
DB 9236 PG 2229
LOT 3
BM 1990 PG 956
ZONING: R-30 (WC)
USE: SF

PERR Y. ELWOOD RYAN
PIN: 1757357582
DB 19292 PG 2780
ZONING: R-30 (WC)
USE: MO

PHETIS JONES BRADSHAW
PIN: 1757349473
DB 15208 PG 2320
BM 2013 PG 868
ZONING: R-30 (WC)
USE: FO

CURTIS L. HONEYCUTT AND WIFE TODD KENDALL
PIN: 1757540996
DB 19269 PG 2474
LOT 1 - BM 2018 PG 1333
ZONING: R-30 (WC)
USE: SF

TODD KENDALL HONEYCUTT
PIN: 1757551202
DB 13474 PG 1974
LOT 2 - BM 2018 PG 1333
ZONING: R-30 (WC)
USE: SF



NO.	REVISIONS	DATE	BY
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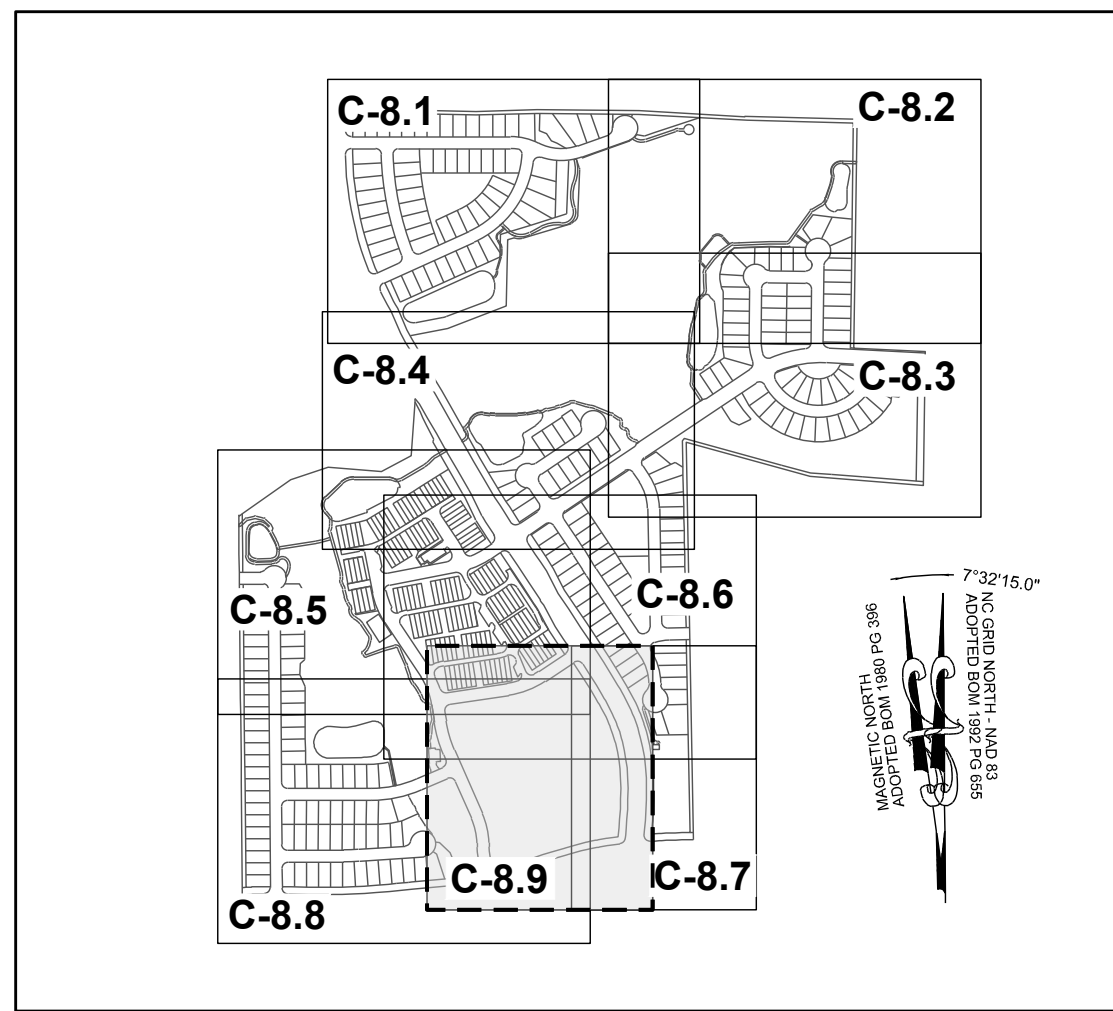
STRONGROCK ENGINEERING GROUP
 STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166
 305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
PSP-24-03	AS SHOWN	JWL	SRG	JWL

RESERVE @ MITCHELL MILL
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
 CONSTRUCTION PLANS
 PARTIAL UTILITY PLAN VIII

DRAWING SHEET
C-8.8

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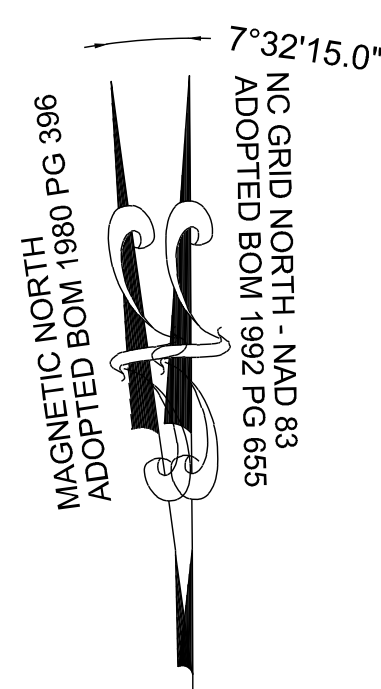
SITE KEY PLAN

LEGEND:

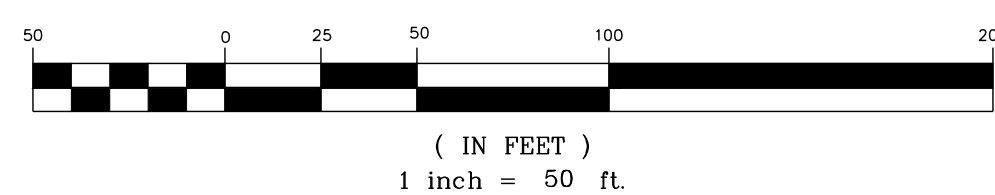
SEE SHEET C-8.0 FOR LEGEND.

TOWNHOME NOTES:

STATES INTERNAL TOWNHOME DRIVEWAYS ARE PRIVATE EASEMENTS AS PER CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT

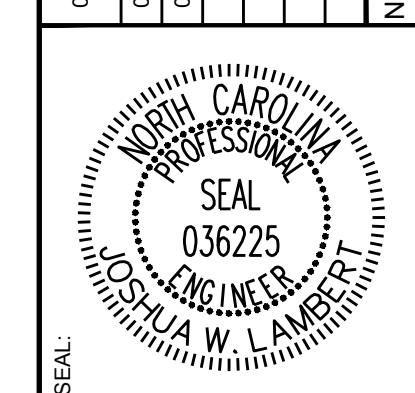


GRAPHIC SCALE



ABAHOR ELIAS AND SPOUSE, SUSAN ELIAS
 PIN: 1757553215
 DB 17220 PG 2509
 LOT 3 - BM 2018 PG 1333
 ZONING: R-30 (WC)
 USE: SF

NO.	REVISIONS	DATE	BY
01			
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 ENGINEERING GROUP

STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2766
 305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	PSP-24-03
NOT FOR CONSTRUCTION	
SCALE	AS SHOWN
DESIGNED BY	JWL
DRAWN BY	SRG
CHECKED BY	JWL

RESERVE @ MITCHELL MILL
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
 CONSTRUCTION PLANS
 PARTIAL UTILITY PLAN IX

DRAWING SHEET
C-8.9

THIS PLANSET AND ANY ASSOCIATED DOCUMENTS ARE PRELIMINARY AND NOT AUTHORIZED FOR CONSTRUCTION UNTIL SIGNED, DATED, AND OFFICIALLY RELEASED FOR CONSTRUCTION BY THE ENGINEER OF RECORD.

PIPE TABLE						
PIPE NO	TYPE	SIZE	LF	INV. IN	INV. OUT	GRADE
P #01	PVC - SDR 26	8"	296	250.65	249.00	0.56%
P #02	PVC - SDR 26	8"	205	248.80	245.88	1.42%
P #03	PVC - SDR 26	8"	235	245.68	241.67	1.71%
P #04	PVC - SDR 26	8"	78	241.47	241.07	0.50%
P #05	PVC - SDR 26	8"	86	240.87	240.45	0.50%
P #06	PVC - SDR 26	8"	83	240.25	239.83	0.50%
P #07	PVC - SDR 26	8"	119	239.63	239.04	0.50%
P #08	PVC - SDR 26	8"	92	238.84	238.38	0.50%
P #09	PVC - SDR 26	8"	291	238.18	236.72	0.50%
P #10	PVC - SDR 26	8"	140	248.31	245.86	1.74%
P #11	PVC - SDR 26	8"	134	245.66	243.24	1.82%
P #12	PVC - SDR 26	8"	137	243.04	240.46	1.88%
P #13	PVC - SDR 26	8"	50	240.26	238.32	3.92%
P #14	PVC - SDR 26	8"	147	236.52	232.20	2.95%
P #15	PVC - SDR 26	8"	189	232.00	231.06	0.50%
P #16	PVC - SDR 26	8"	149	252.30	251.55	0.50%
P #17	PVC - SDR 26	8"	238	257.50	252.35	2.16%
P #18	PVC - SDR 26	8"	257	251.35	250.07	0.50%
P #19	PVC - SDR 26	8"	290	249.87	248.42	0.50%
P #20	PVC - SDR 26	8"	58	248.22	247.27	1.63%
P #21	PVC - SDR 26	8"	50	247.07	244.88	4.39%
P #22	PVC - SDR 26	8"	162	280.30	273.28	4.34%
P #23	PVC - SDR 26	8"	86	273.08	269.38	4.28%
P #24	PVC - SDR 26	8"	91	269.18	264.25	5.41%
P #25	PVC - SDR 26	8"	61	264.05	261.79	3.69%

PIPE TABLE						
PIPE NO	TYPE	SIZE	LF	INV. IN	INV. OUT	GRADE
P #26	PVC - SDR 26	8"	87	261.59	258.03	4.10%
P #27	PVC - SDR 26	8"	87	257.83	254.34	4.00%
P #28	PVC - SDR 26	8"	100	254.14	250.06	4.06%
P #29	PVC - SDR 26	8"	87	249.86	246.67	3.68%
P #30	PVC - SDR 26	8"	64	246.47	244.08	3.71%
P #31	PVC - SDR 26	8"	141	243.88	238.40	3.89%
P #32	PVC - SDR 26	8"	411	237.00	233.82	0.77%
P #33	PVC - SDR 26	8"	111	233.62	233.06	0.50%
P #34	PVC - SDR 26	8"	302	280.60	266.00	4.83%
P #35	PVC - SDR 26	8"	272	265.80	247.30	6.81%
P #36	PVC - SDR 26	8"	68	247.10	246.29	1.20%
P #37	PVC - SDR 26	8"	113	246.09	243.37	2.40%
P #38	PVC - SDR 26	8"	46	232.86	232.63	0.50%
P #39	PVC - SDR 26	8"	136	232.43	231.75	0.50%
P #40	DIP	8"	176	231.55	230.67	0.50%
P #41	DIP	8"	242	230.47	229.26	0.50%
P #42	PVC - SDR 26	8"	195	265.89	257.18	4.46%
P #43	PVC - SDR 26	8"	181	256.98	252.00	2.75%
P #44	PVC - SDR 26	8"	268	283.26	266.09	6.41%
P #45	PVC - SDR 26	8"	272	291.54	283.46	2.97%
P #46	PVC - SDR 26	8"	62	295.03	291.74	5.34%
P #47	PVC - SDR 26	8"	110	300.67	295.23	4.95%
P #48	DIP	8"	59	229.06	228.77	0.50%
P #49	DIP	8"	296	228.57	227.08	0.50%
P #50	DIP	8"	66	226.88	226.55	0.50%

PIPE TABLE						
PIPE NO	TYPE	SIZE	LF	INV. IN	INV. OUT	GRADE
P #51	DIP	8"	116	226.35	225.77	0.50%
P #52	PVC - SDR 26	8"	106	274.39	267.70	6.29%
P #53	PVC - SDR 26	8"	44	267.50	265.70	4.13%
P #54	PVC - SDR 26	8"	317	265.50	250.00	4.89%
P #55	PVC - SDR 26	8"	35	249.80	248.70	3.15%
P #56	PVC - SDR 26	8"	30	248.50	247.00	4.94%
P #57	PVC - SDR 26	8"	150	282.50	277.83	3.12%
P #58	PVC - SDR 26	8"	55	277.63	277.35	0.50%
P #59	PVC - SDR 26	8"	251	277.15	262.38	5.88%
P #60	PVC - SDR 26	8"	35	262.18	259.82	6.67%
P #61	PVC - SDR 26	8"	40	259.62	258.06	3.91%
P #62	PVC - SDR 26	8"	261	257.86	247.00	4.15%
P #63	PVC - SDR 26	8"	84	246.80	246.38	0.50%
P #64	PVC - SDR 26	8"	92	246.18	245.04	1.24%
P #65	PVC - SDR 26	8"	223	257.34	246.07	5.05%
P #66	PVC - SDR 26	8"	104	249.34	245.46	3.75%
P #67	PVC - SDR 26	8"	272	245.26	238.67	2.42%
P #68	PVC - SDR 26	8"	27	238.47	238.33	0.50%
P #69	PVC - SDR 26	8"	110	238.13	237.59	0.50%
P #70	PVC - SDR 26	8"	80	237.39	234.98	3.00%
P #71	DIP	8"	325	266.33	264.70	0.50%
P #72	DIP	8"	297	269.44	266.53	0.98%
P #73	PVC - SDR 26	8"	396	268.46	266.42	0.51%
P #74	PVC - SDR 26	8"	114	284.30	279.97	3.79%
P #75	DIP	8"	259	264.50	262.54	0.76%

PIPE TABLE						
PIPE NO	TYPE	SIZE	LF	INV. IN	INV. OUT	GRADE
P #76	PVC - SDR 26	8"	288	262.34	257.90	1.54%
P #77	PVC - SDR 26	8"	223	257.70	256.59	0.50%
P #78	PVC - SDR 26	8"	390	256.39	252.88	0.90%
P #79	PVC - SDR 35	8"	172	234.78	231.63	1.83%
P #80	PVC - SDR 35	8"	157	231.43	230.65	0.50%
P #81	PVC - SDR 35	8"	47	230.45	230.21	0.50%
P #82	PVC - SDR 26	8"	124	252.88	251.20	1.19%
P #83	DIP	8"	100	270.63	268.66	1.97%
P #84	PVC - SDR 26	8"	124	288.94	279.75	7.42%
P #85	DIP	8"	226	251.00	230.01	9.29%
P #86	PVC - SDR 35	8"	44	227.51	225.98	3.49%
P #87	PVC - SDR 26	8"	148	242.54	240.63	1.29%
P #88	DIP	8"	107	243.86	242.74	1.06%
P #89	PVC - SDR 26	8"	67	230.86	230.52	0.50%
P #90	PVC - SDR 26	8"	79	241.28	236.89	5.55%
P #91	PVC - SDR 26	8"	240	236.69	234.18	1.05%
P #92	PVC - SDR 26	8"	39	233.98	233.77	0.54%
P #93	PVC - SDR 26	8"	29	281.03	280.50	1.85%
P #94	PVC - SDR 26	8"	110	282.61	280.80	1.64%
P #95	PVC - SDR 35	8"	105	253.87	253.35	0.50%
P #96	PVC - SDR 35	8"	130	253.15	252.50	0.50%

SSMH TABLE					
SSMH NO	SIZE	TOP	INV. IN	INV. OUT	DEPTH
DOG HOUSE SSMH #92	5'	243.62	231.47 E 233.77 N	231.27 W	12.34
SSMH #01	4'	259.56		250.65 E	8.91
SSMH #02	4'	257.52	249.00 W	248.80 E	8.72
SSMH #03	4'	254.41	245.88 W	245.68 E	8.73
SSMH #04	4'	251.08	241.67 W	241.47 S	9.61
SSMH #05	4'	251.23	241.07 N	240.87 S	10.36
SSMH #06	4'	250.79	240.45 N	240.25 SW	10.54
SSMH #07	4'	250.33	239.83 NE	239.63 SW	10.70
SSMH #08	4'	249.73	239.04 NE	238.84 SW	10.90
SSMH #09	4'	249.17	238.38 NE	238.18 SW	10.99
SSMH #10	4'	257.32		248.31 S	9.04
SSMH #11	4'	254.36	245.86 N	245.66 S	8.72
SSMH #12	4'	251.55	243.24 N	243.04 S	8.51
SSMH #13	4'	248.59	240.46 N	240.26 SE	8.33
SSMH #14	4'	247.54	236.72 NE 238.32 NW	236.52 SW	11.02
SSMH #15	4'	242.27	232.20 NE	232.00 SE	10.27
SSMH #16	4'	260.65	252.50 NE	252.30 S	8.37
SSMH #17	4'	266.14		257.50 N	8.67
SSMH #18	4'	262.32	251.55 N 252.35 S	251.35 W	10.99
SSMH #19	5'	264.02	250.07 E	249.87 S	14.16
SSMH #20	4'	258.98	248.42 N	248.22 S	10.76
SSMH #21	4'	257.78	247.27 N	247.07 SE	10.72
SSMH #22	4'	286.97	280.50 N	280.30 W	6.67
SSMH #23	4'	281.12	273.28 E	273.08 S	8.04
SSMH #24	4'	276.93	269.38 N	269.18 SW	7.75

SSMH TABLE					
SSMH NO	SIZE	TOP	INV. IN	INV. OUT	DEPTH
SSMH #25	4'	269.80	261.79 NE	261.59 W	8.21
SSMH #26	4'	265.66	258.03 E	257.83 W	7.84
SSMH #27	4'	261.73	254.34 E	254.14 NW	7.59
SSMH #28	4'	259.10	250.06 SE	249.86 NW	9.24
SSMH #29	4'	258.03	246.67 SE	246.47 NW	11.57
SSMH #30	5'	257.42	244.08 SE 244.88 NW	243.88 SW	13.56
SSMH #31	5'	251.45	238.40 NE 237.20 SE	237.00 SW	14.96
SSMH #32	5'	252.01	233.82 NE	233.62 SW	18.42
SSMH #33	5'	293.58	280.80 E	280.60 N	13.00
SSMH #34	4'	275.02	266.00 S	265.80 N	9.22
SSMH #35	4'	257.27	247.30 S	247.10 N	10.19
SSMH #36	4'	255.01	246.29 S	246.09 NW	8.92
SSMH #37 INSIDE DROP MANHOLE	6'	252.77	233.06 NE 243.37 SE	232.86 N	19.91
SSMH #38	6'	252.80	232.63 S	232.43 NW	20.40
SSMH #39	5'	249.15	231.75 SE	231.55 SW	17.60
SSMH #40	6'	251.25	230.67 NE	230.47 SW	20.78
SSMH #41	4'	309.41		300.67 N	8.74
SSMH #42	4'	304.09	295.23 S	295.03 N	9.06
SSMH #43	4'	300.93	291.74 S	291.54 NW	9.40
SSMH #44	4'	291.87	283.46 SE	283.26 NW	8.60
SSMH #45	4'	276.79	266.09 SE	265.89 NW	10.93
SSMH #46	4'	268.95	257.18 SE	256.98 NW	11.99
SSMH #47 INSIDE DROP MANHOLE	6'	260.92	252.00 SE 229.26 NE	229.06 NW	31.86
SSMH #48	6'	258.62	228.77 SE	228.57 W	30.06
SSMH #49	6'	254.61	227.08 E	226.88 NW	27.72

SSMH TABLE					
SSMH NO	SIZE	TOP	INV. IN	INV. OUT	DEPTH
SSMH #50	6'	249.96	226.55 SE	226.35 W	23.61
SSMH #51	4'	284.10		274.39 SW	9.71
SSMH #52	4'	277.48	267.70 NE	267.50 W	9.98
SSMH #53	4'	275.81	265.70 E	265.50 W	10.31
SSMH #54	4'	259.69	250.00 E	249.80 SW	9.89
SSMH #55	4'	258.97	248.70 NE	248.50 SW	10.47
SSMH #56	4'	290.90		282.50 SW	8.41
SSMH #57	4'	289.12	277.83 NE 279.75 SE	277.63 W	11.51
SSMH #58	4'	287.06	277.35 E	277.15 W	9.91
SSMH #59	4'	271.17	262.38 E	262.18 SW	8.99
SSMH #60	4'	269.99	259.82 NE	259.62 SW	10.37
SSMH #61	4'	269.27	258.06 NE	257.86 NW	11.41
SSMH #62	4'	258.56	247.00 NE 247.00 SE	246.80 NW	11.76
SSMH #63	5'	269.95		257.34 NW	12.60
SSMH #64	4'	258.00		249.34 SW	8.66
SSMH #65	4'	257.19	246.07 SE 245.46 NE	245.26 SW	11.93
SSMH #66	5'	253.09	237.59 E	237.39 NW	15.70
SSMH #67	5'	252.48	238.33 E 240.63 S	238.13 W	14.35
SSMH #68 INSIDE DROP MANHOLE	6'	285.66	264.70 E 279.97 S	264.50 N	21.18
SSMH #69	5'	278.65	266.53 E	266.33 W	12.33
SSMH #70	4'	275.96	268.66 E	268.46 W	7.50
SSMH #71	4'	289.99		284.30 N	5.71
SSMH #72 INSIDE DROP MANHOLE					

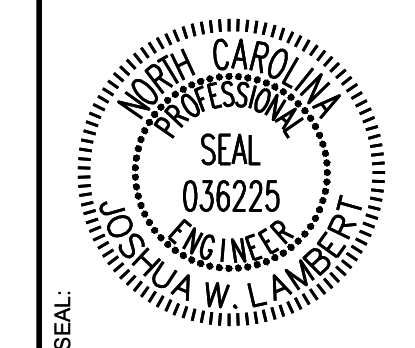


TOWNHOME NOTES:
STATES INTERNAL TOWNHOME DRIVEWAYS ARE PRIVATE EASEMENTS AS PER CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT

LEGEND:

- WATER LINE
- FIRE HYDRANT ASSEMBLY
- GATE VALVE
- TEE
- BLOW OFF VALVE

NO.	REVISIONS	DATE	BY
01			
02			
03			



STRONGROCK
ENGINEERING GROUP

STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166
305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	PSP-24-00
NOT FOR CONSTRUCTION	
SCALE	AS SHOWN
DESIGNED BY	JWL
DRAWN BY	SRG
CHECKED BY	JWL

RESERVE @ MITCHELL MILL
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
CONSTRUCTION PLANS
OFF-SITE UTILITY PLAN

DRAWING SHEET
C-8.11

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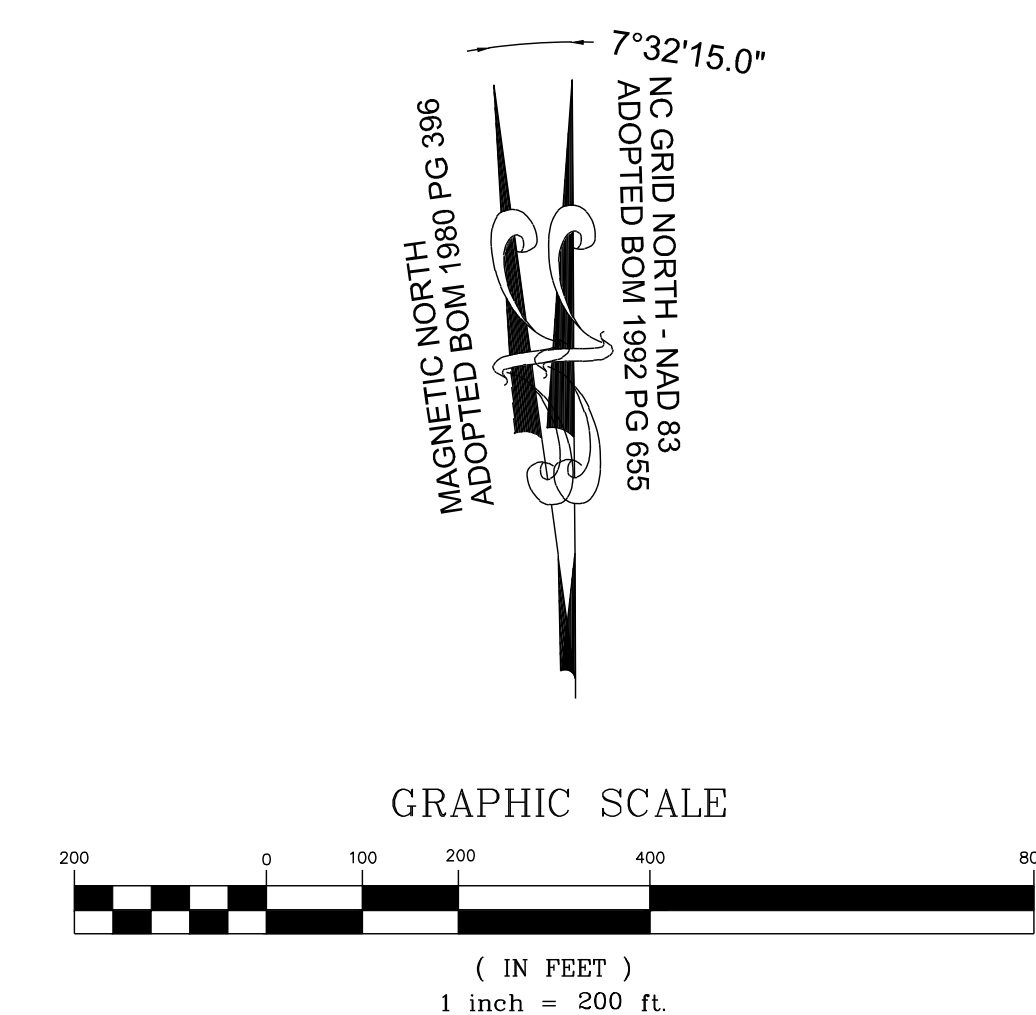


NOTES:
SEE SHEET C-3.0 FOR ADJACENT PROPERTY DETAILS

TOWNHOME NOTES:
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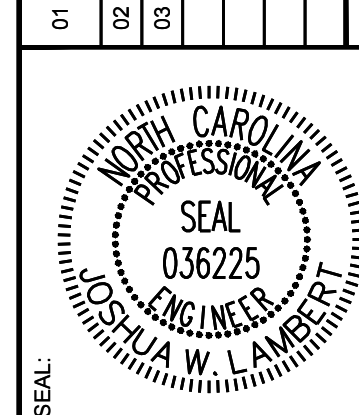
LEGEND:

	STORM DRAIN LINE
	FLARED END SECTION
	CATCH BASIN
	STORM DRAIN MANHOLE
	EX. MAJOR CONTOURS
	EX. MINOR CONTOURS
	PROP. MAJOR CONTOURS
	PROP. MINOR CONTOURS



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NO.	REVISIONS	DATE	BY
01			
02			
03			



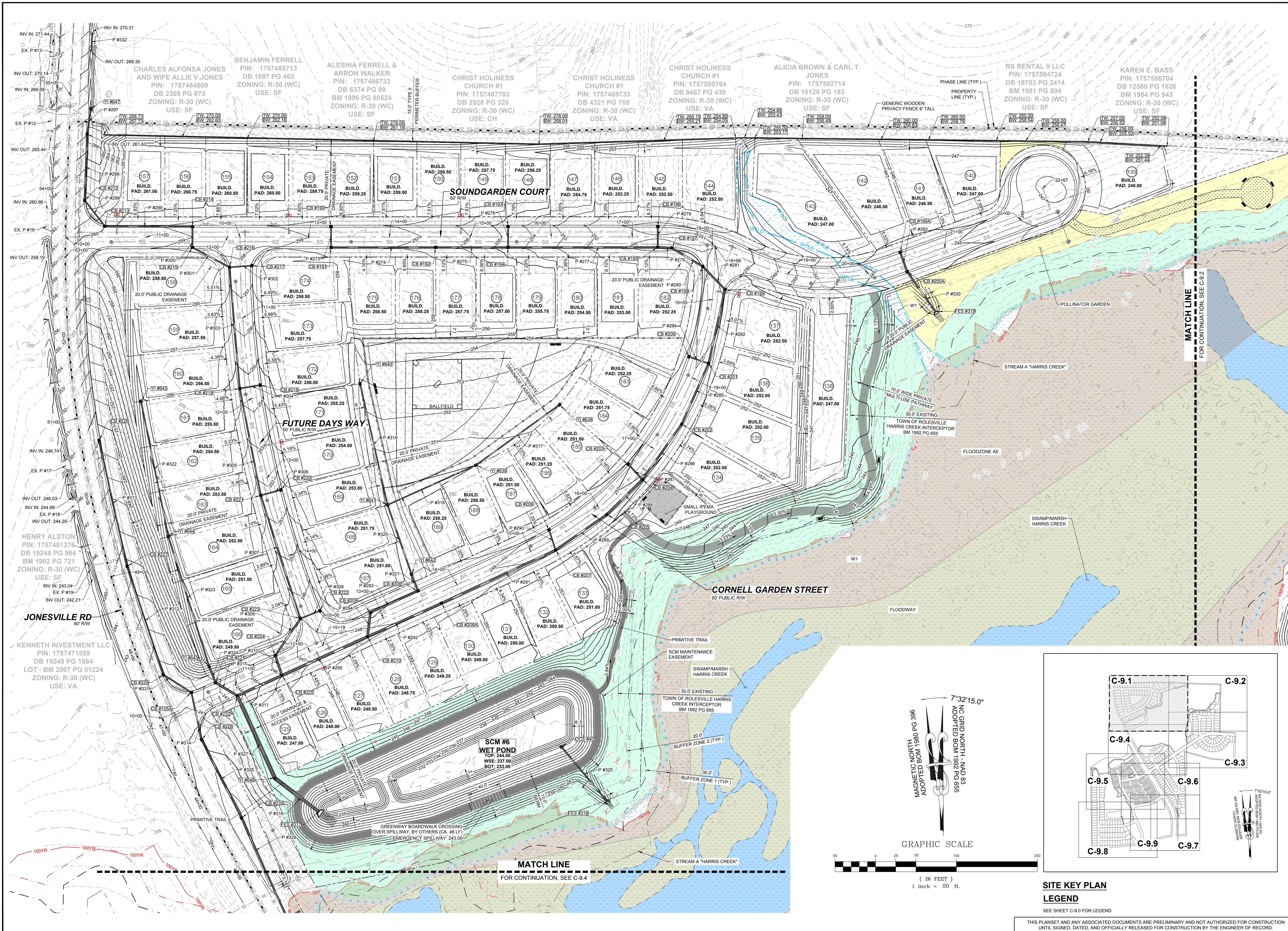
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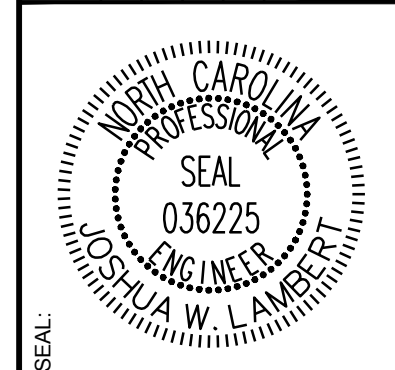
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PSP-24-03	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL
			DRAWN BY SRG
			CHECKED BY JWL

RESERVE @ MITCHELL MILL
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
CONSTRUCTION PLANS
OVERALL GRADING AND DRAINAGE PLAN

DRAWING SHEET
C-9.0



NO.	REVISIONS	DATE	BY
01	CONSTRUCTION INFRASTRUCTURE DRAWINGS CD-34-94	08/04/2024	SREG
02	TOWN OF ROLESVILLE CD-34-94 V2	11/01/2024	SREG
03	TOWN OF ROLESVILLE CD-34-94 V3	02/01/2024	SREG



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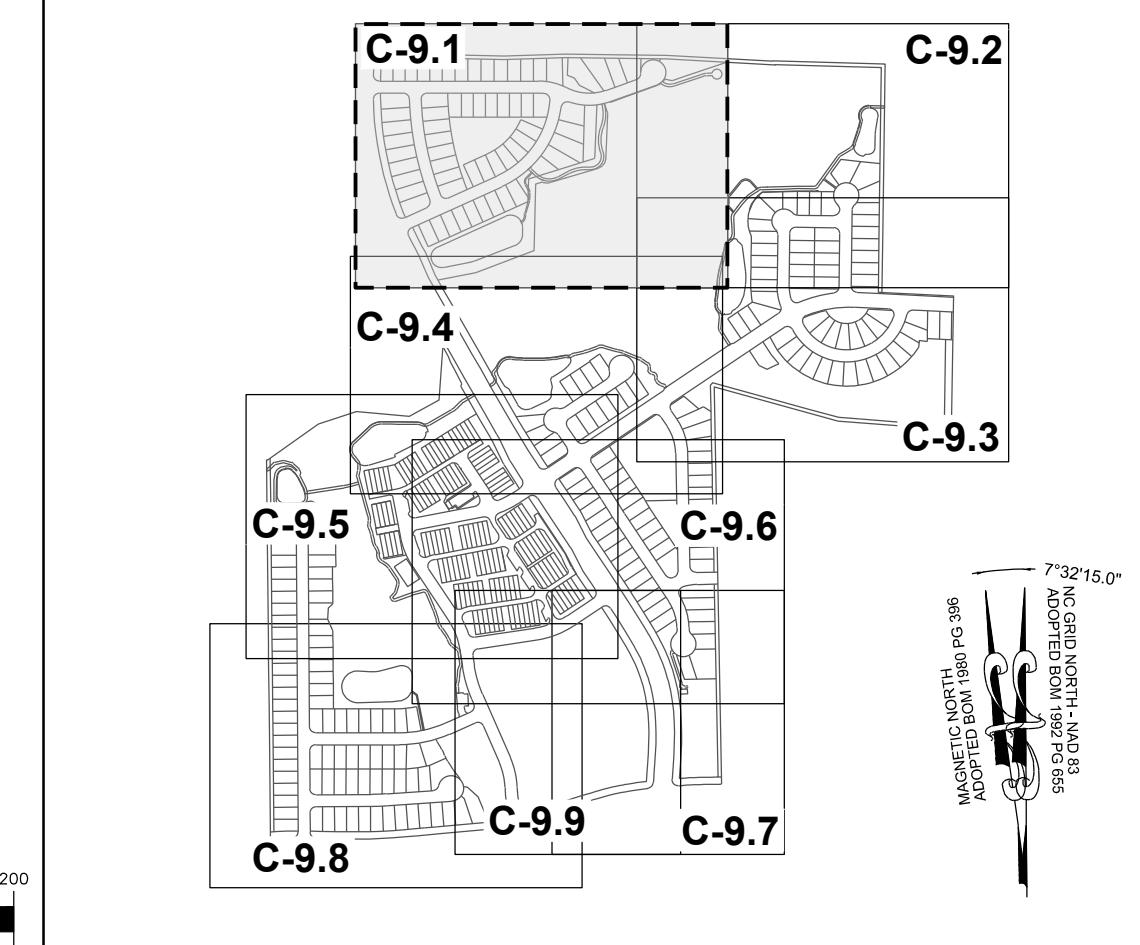
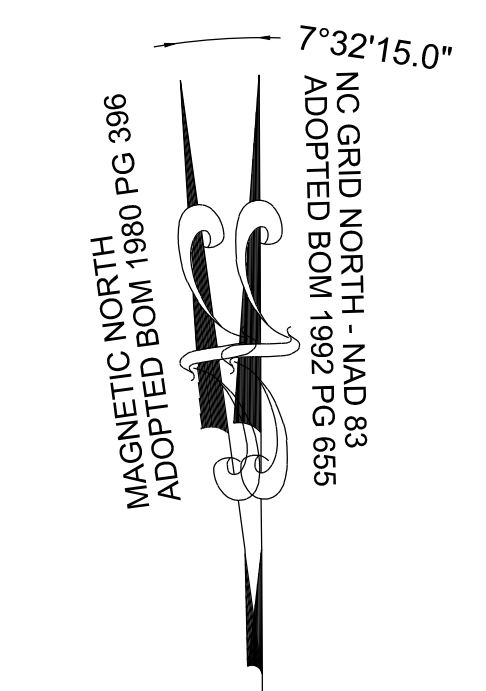
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305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT PSP-23-03	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL
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TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
CONSTRUCTION PLANS
PARTIAL GRADING AND DRAINAGE PLAN I

DRAWING SHEET
C-9.1

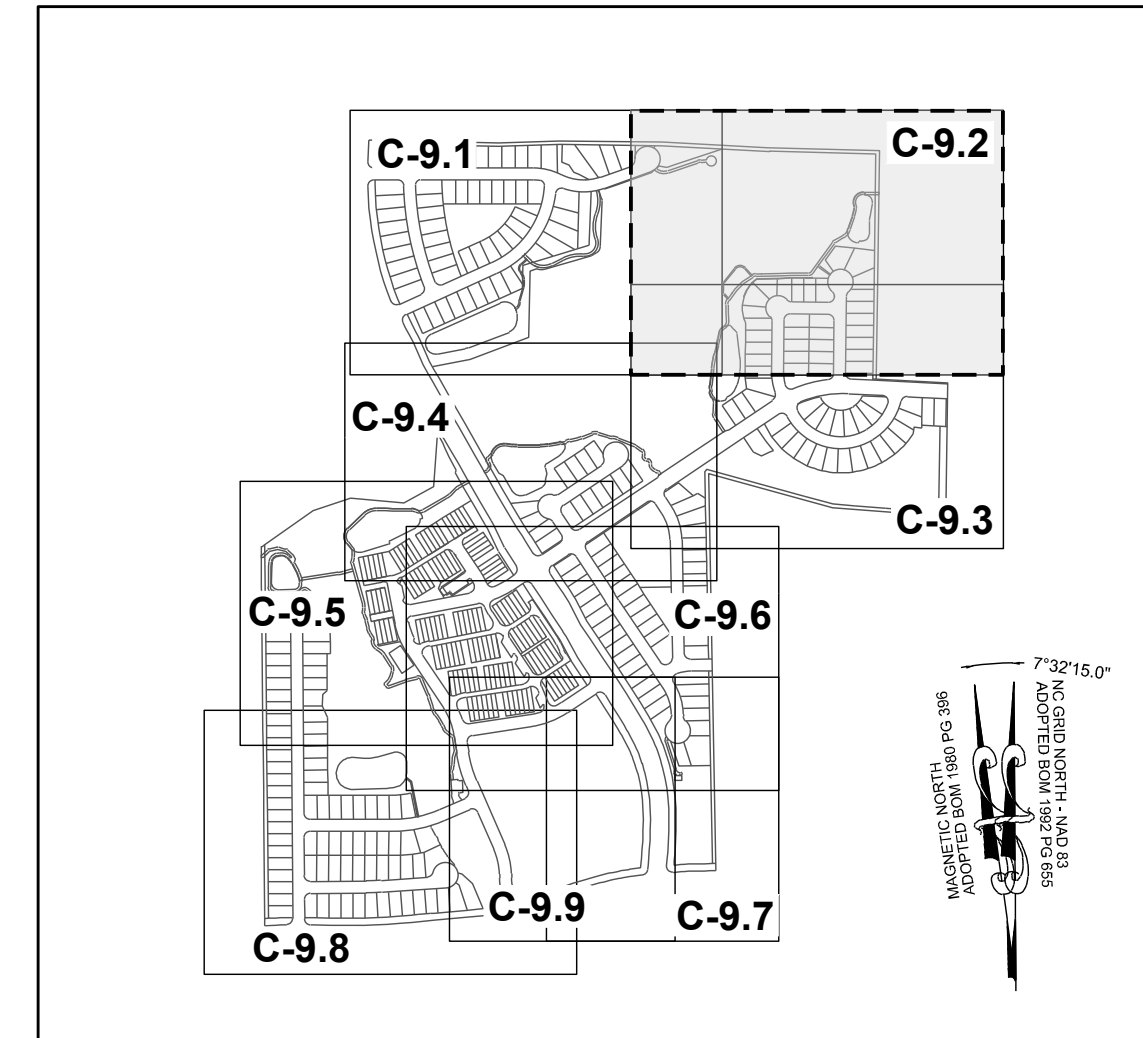
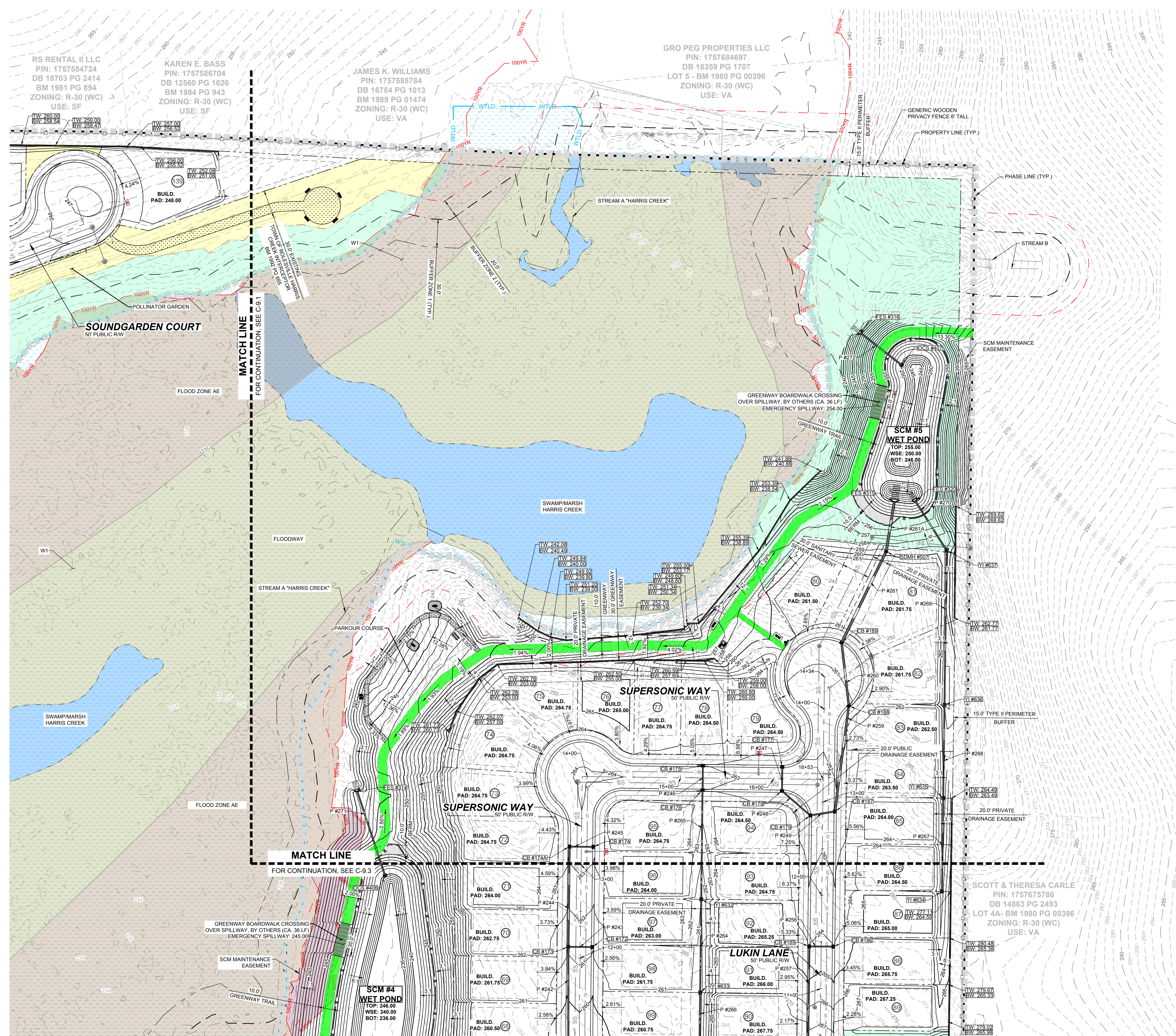
48 OF 201



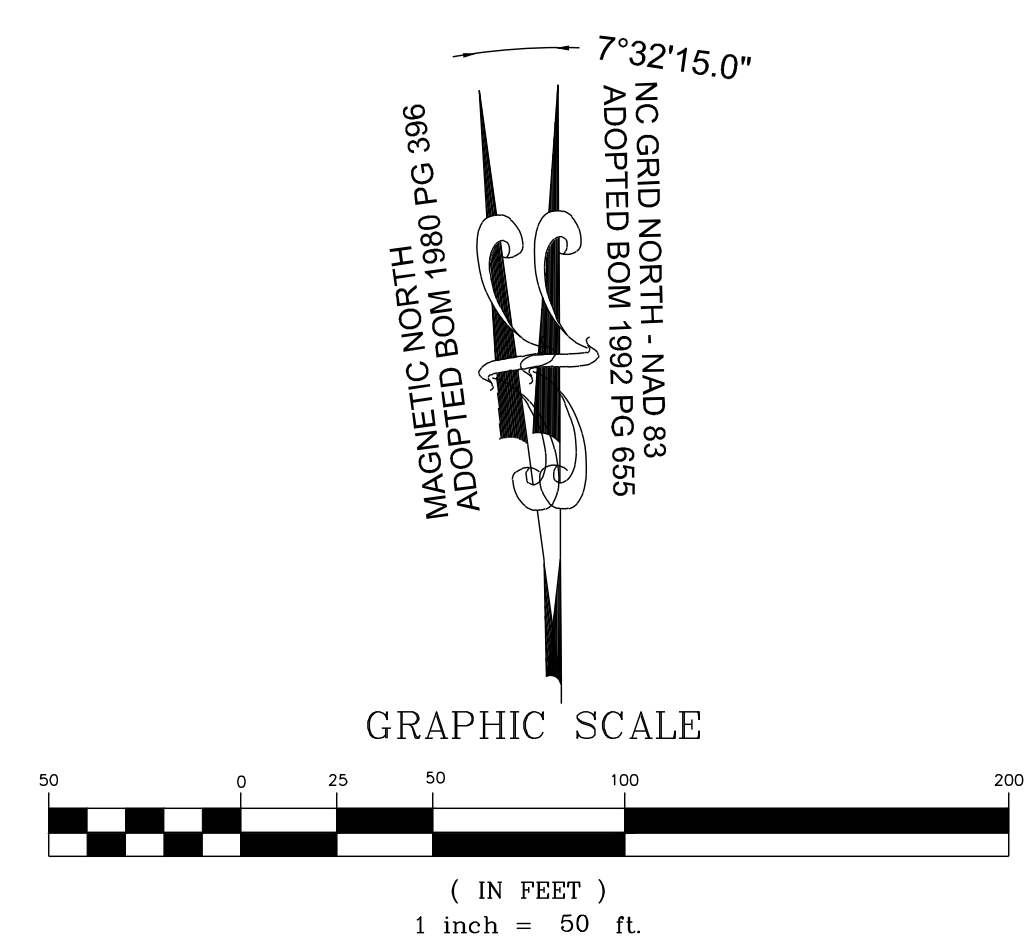
SITE KEY PLAN
LEGEND

SEE SHEET C-9.0 FOR LEGEND

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SITE KEY PLAN
LEGEND
 SEE SHEET C-9.0 FOR LEGEND



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RS RENTAL II LLC
 PIN: 1757584724
 DB 18703 PG 2414
 BM 1981 PG 894
 ZONING: R-30 (WC)
 USE: SF

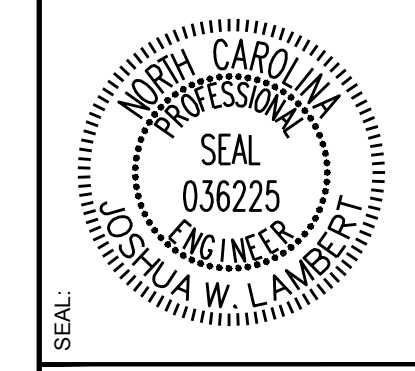
KAREN E. BASS
 PIN: 1757586704
 DB 12560 PG 1626
 BM 1984 PG 943
 ZONING: R-30 (WC)
 USE: SF

JAMES K. WILLIAMS
 PIN: 1757588784
 DB 16784 PG 1013
 BM 1989 PG 01474
 ZONING: R-30 (WC)
 USE: VA

GRO PEG PROPERTIES LLC
 PIN: 1757684697
 DB 18359 PG 1707
 LOT 5 - BM 1980 PG 00396
 ZONING: R-30 (WC)
 USE: VA

SCOTT & THERESA CARLE
 PIN: 1757675786
 DB 14863 PG 2493
 LOT 4A - BM 1980 PG 00396
 ZONING: R-30 (WC)
 USE: VA

NO.	REVISIONS	DATE	BY
01	CONSTRUCTION INFRASTRUCTURE DRAWINGS	08/04/2024	SRG
02	TOWN OF ROLESVILLE CID-24-04 V2	11/07/2024	SRG
03	TOWN OF ROLESVILLE CID-24-04 V3	02/07/2024	SRG



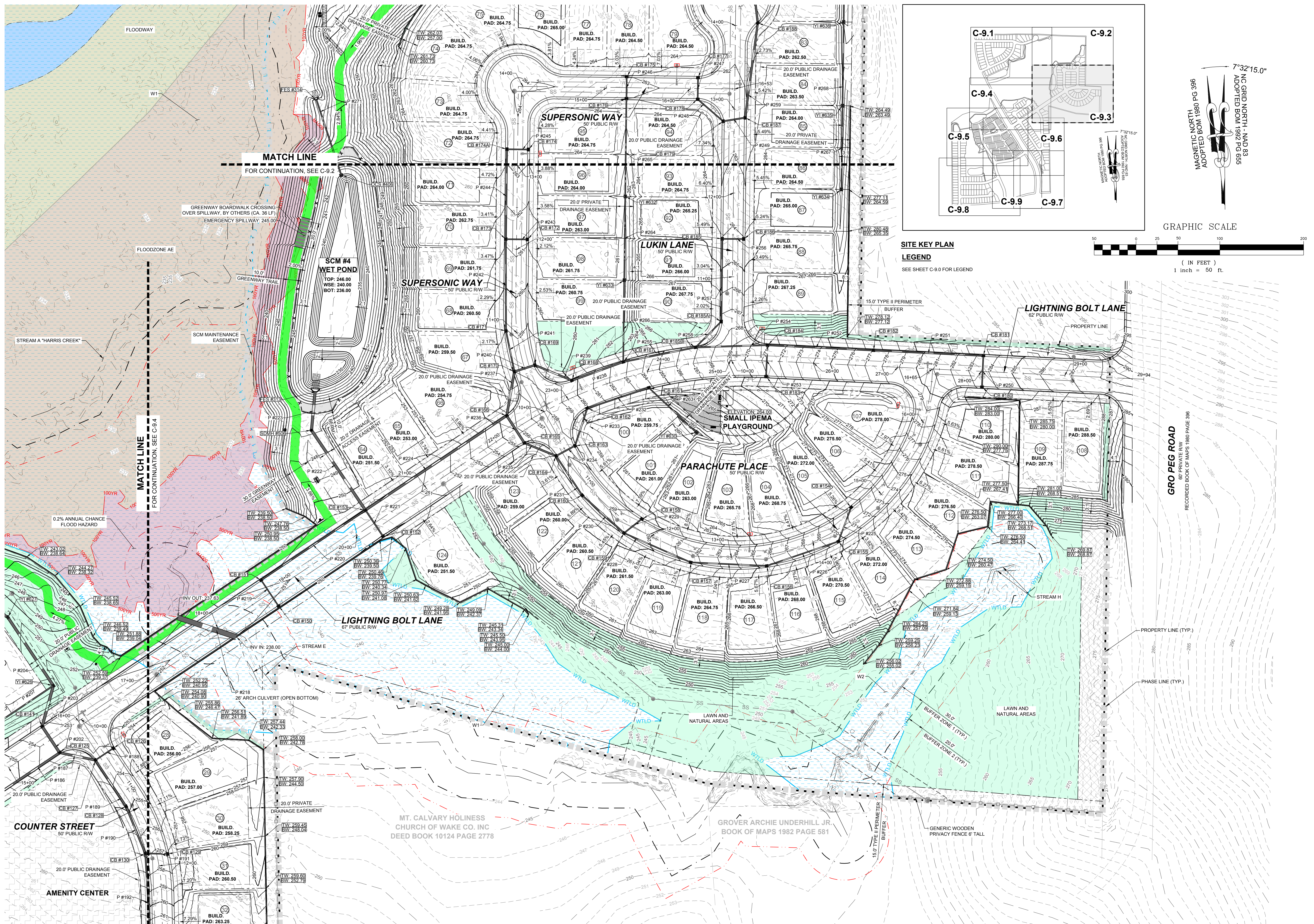
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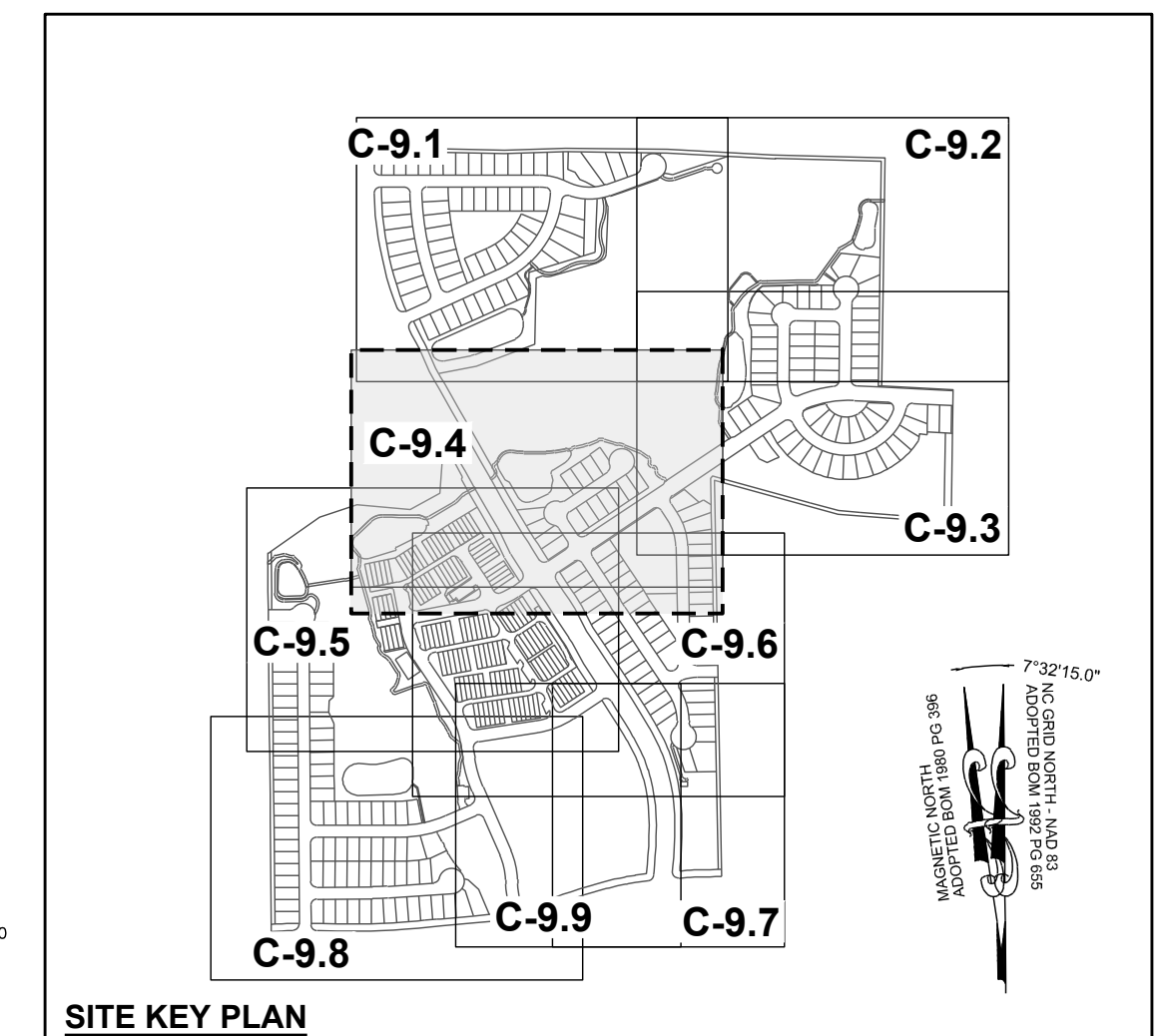
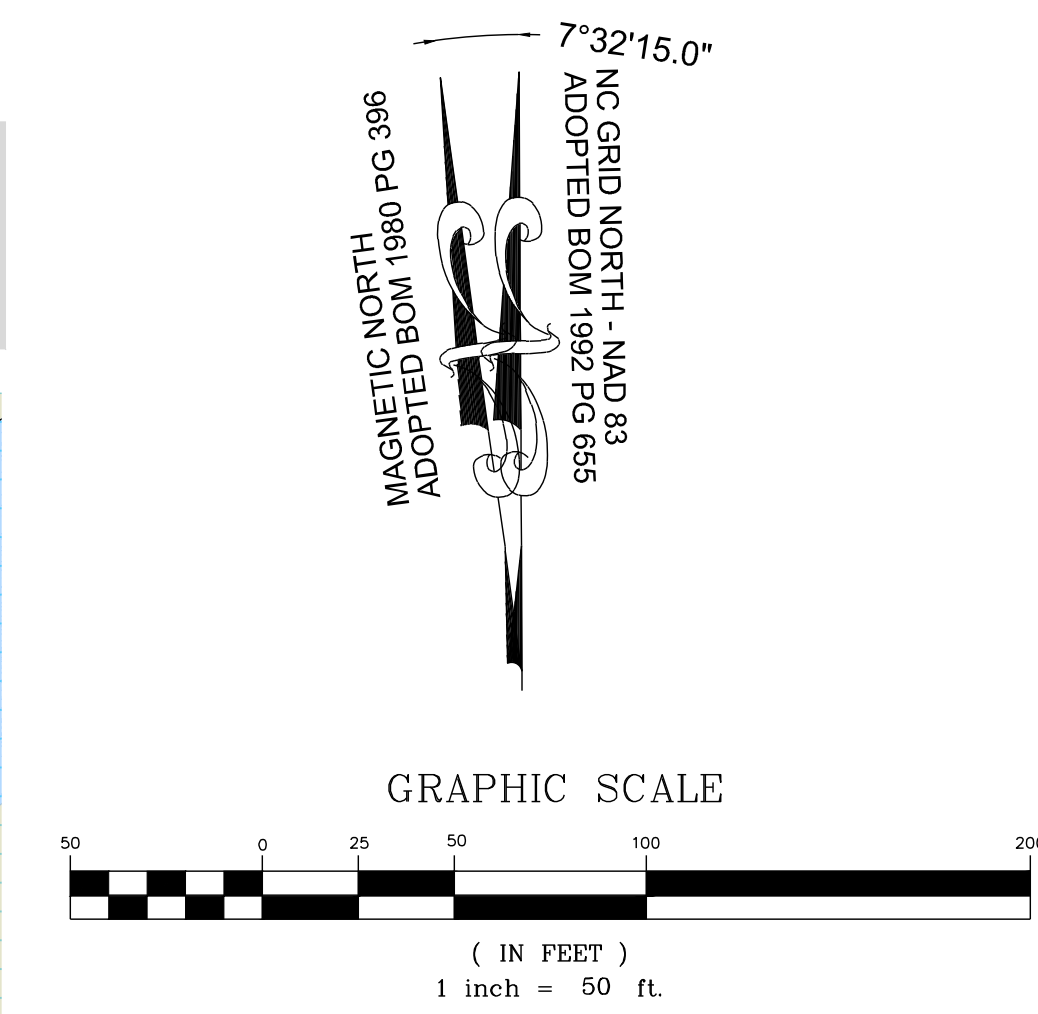
STRONG ROCK PROJECT	STRONG ROCK PROJECT	STRONG ROCK PROJECT	STRONG ROCK PROJECT
PSP-24-00	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL
			DRAWN BY SRG
			CHECKED BY JWL

RESERVE @ MITCHELL MILL
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
 CONSTRUCTION PLANS
 PARTIAL GRADING AND DRAINAGE PLAN II

DRAWING SHEET
C-9.2

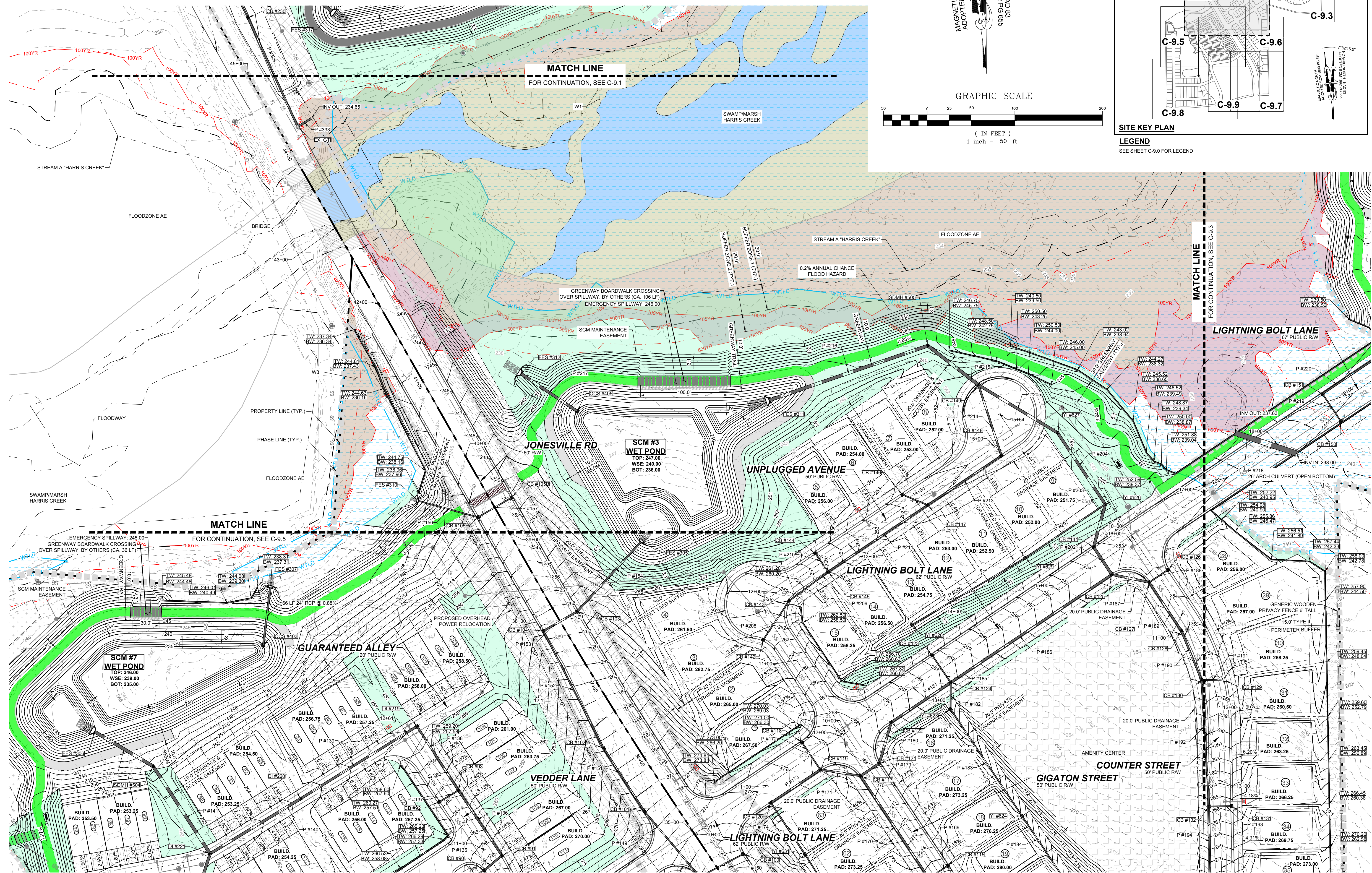
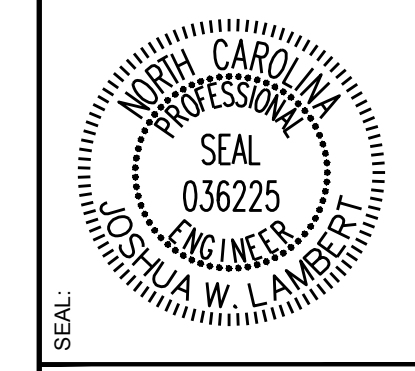


TOWNHOME NOTES:
STATES INTERNAL TOWNHOME DRIVEWAYS ARE PRIVATE EASEMENTS AS PER CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT



LEGEND
SEE SHEET C-9.9 FOR LEGEND

NO.	REVISIONS	DATE	BY
01			
02			
03			



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PSP-25-00	PSP-25-00	PSP-25-00	PSP-25-00
NOT FOR CONSTRUCTION	NOT FOR CONSTRUCTION	NOT FOR CONSTRUCTION	NOT FOR CONSTRUCTION
SCALE AS SHOWN	SCALE AS SHOWN	SCALE AS SHOWN	SCALE AS SHOWN
DESIGNED BY JWL	DESIGNED BY JWL	DESIGNED BY JWL	DESIGNED BY JWL
DRAWN BY SRG	DRAWN BY SRG	DRAWN BY SRG	DRAWN BY SRG
CHECKED BY JWL	CHECKED BY JWL	CHECKED BY JWL	CHECKED BY JWL

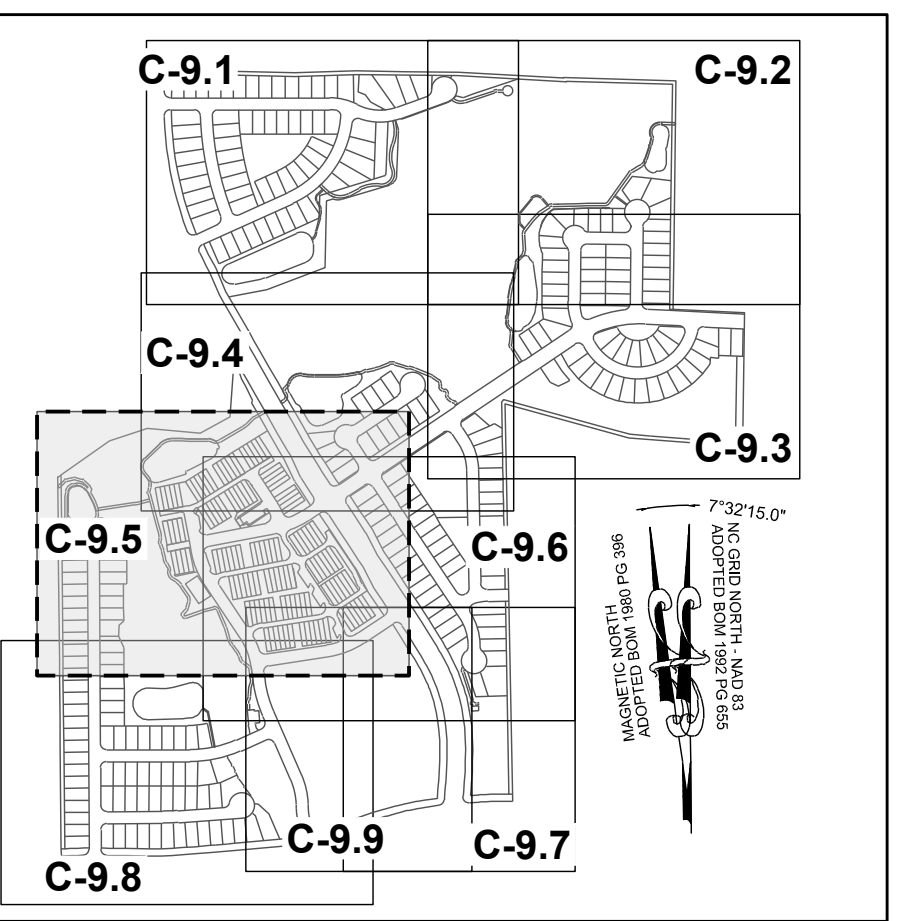
RESERVE @ MITCHELL MILL
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

CONSTRUCTION PLANS
PARTIAL GRADING AND DRAINAGE PLAN IV

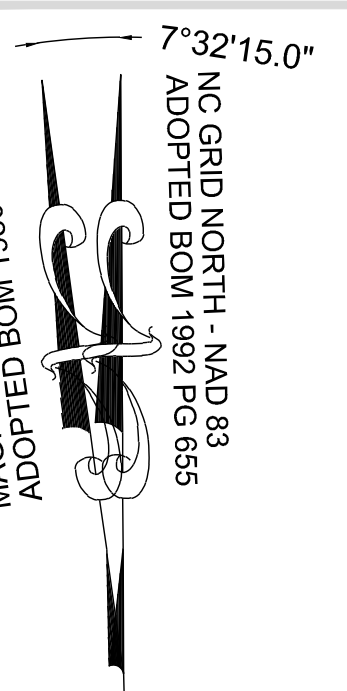
DRAWING SHEET
C-9.4

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TOWNHOME NOTES:
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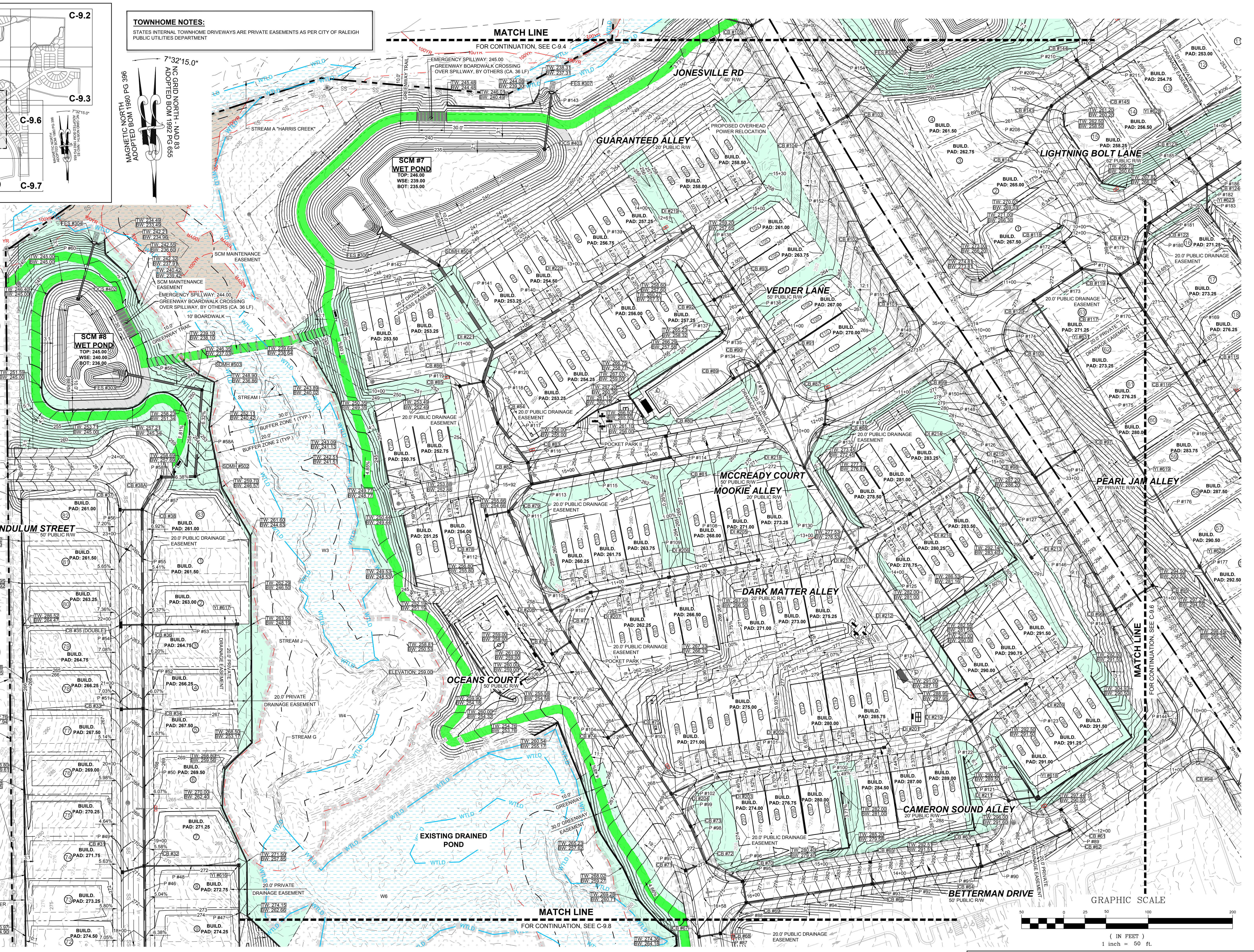


SITE KEY PLAN
LEGEND
SEE SHEET C-9.0 FOR LEGEND

KENNETH INVESTMENT LLC.
PIN: 1757368816
DB 19248 PG 1884
ZONING: R-30 (WC)
USE: VA

MEGAN KULAWIAK
PIN: 1757367367
DB 16226 PG 1133
LOT 6
BM 1990 PG 00387
ZONING: R-30 (WC)
USE: VA

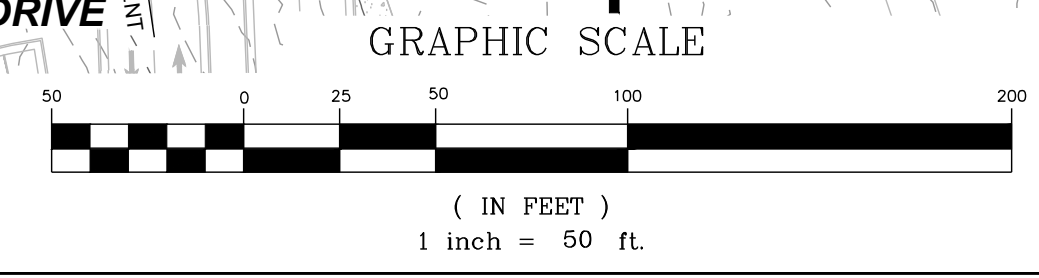
PHASE LINE (TYP.)
PROPERTY LINE (TYP.)
GENERIC WOODEN PRIVATE FENCE 6' TALL
TYPE II PERIMETER BUFFER



MATCH LINE
FOR CONTINUATION, SEE C-9.4

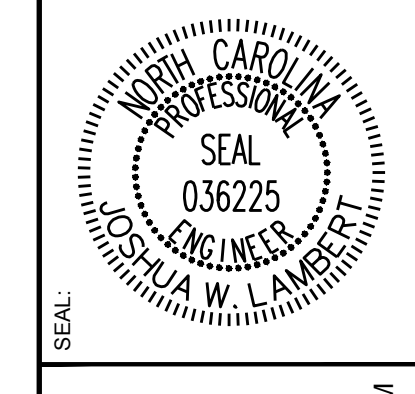
MATCH LINE
FOR CONTINUATION, SEE C-9.8

MATCH LINE
FOR CONTINUATION, SEE C-9.6



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NO.	REVISIONS	DATE	BY
01	CONSTRUCTION INFRASTRUCTURE DRAWINGS	08/04/2024	SREG
02	TOWN OF ROLESVILLE CID-24-04 V2	11/01/2024	SREG
03	TOWN OF ROLESVILLE CID-24-04 V3	02/01/2024	SREG



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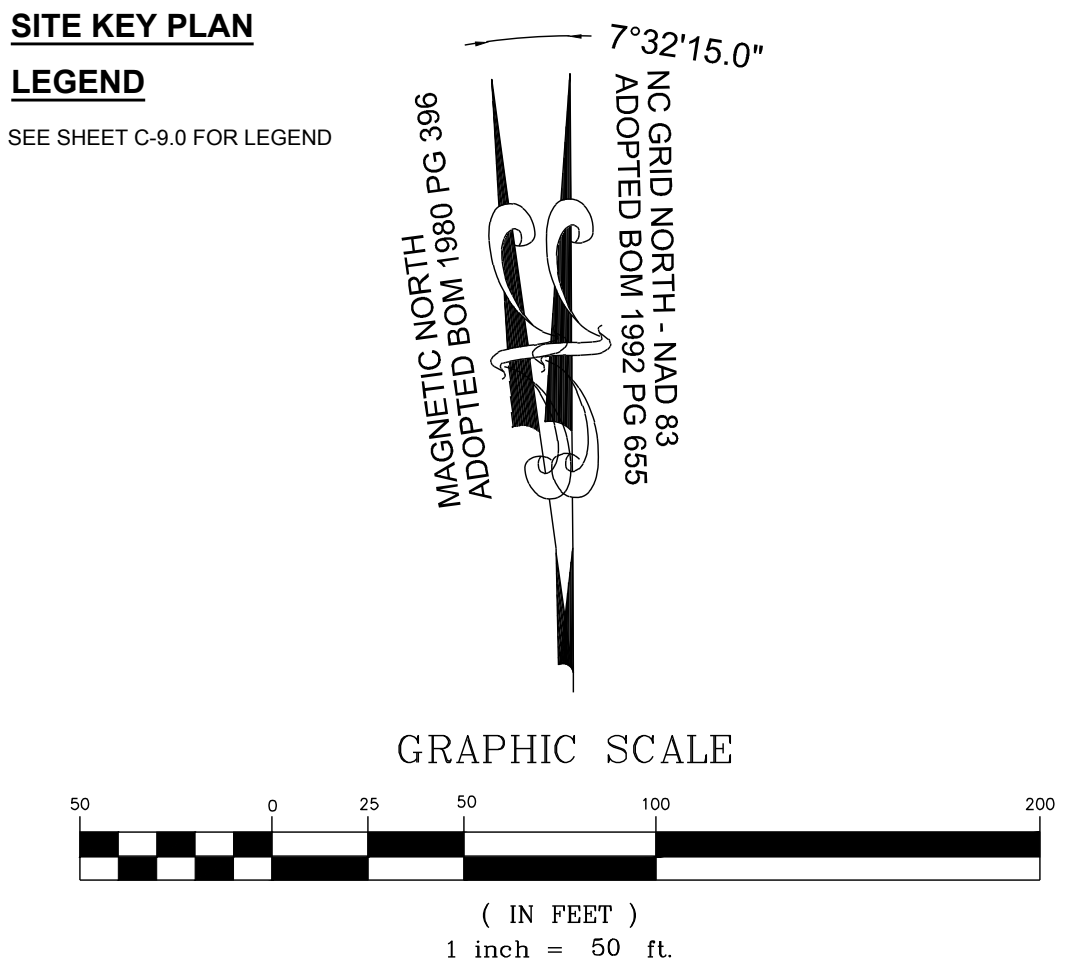
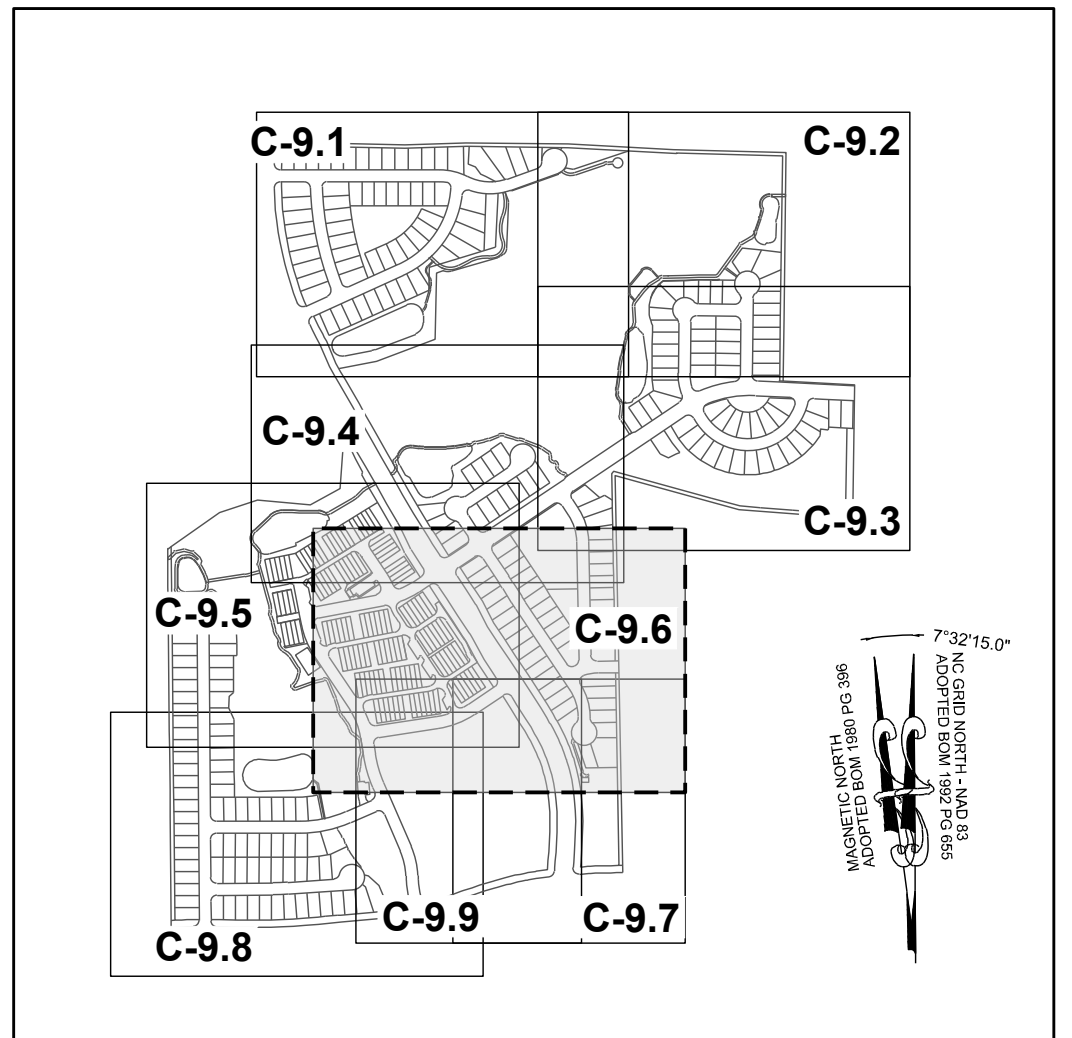
STRONG ROCK PROJECT	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
PSP-24-03	AS SHOWN	JWL	SREG	JWL

RESERVE @ MITCHELL MILL
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
CONSTRUCTION PLANS
PARTIAL GRADING AND DRAINAGE PLAN V

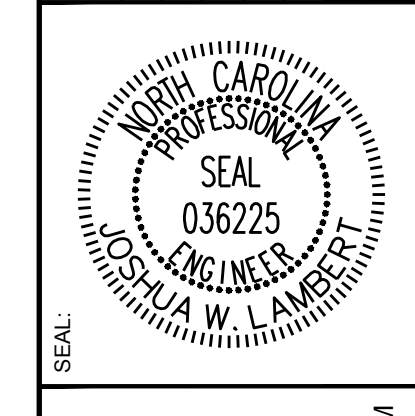
DRAWING SHEET
C-9.5
52 OF 201



TOWNHOME NOTES:
 STATES INTERNAL TOWNHOME DRIVEWAYS ARE PRIVATE EASEMENTS AS PER CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT



NO.	REVISIONS	DATE	BY
01			
02			
03			



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 ENGINEERING GROUP

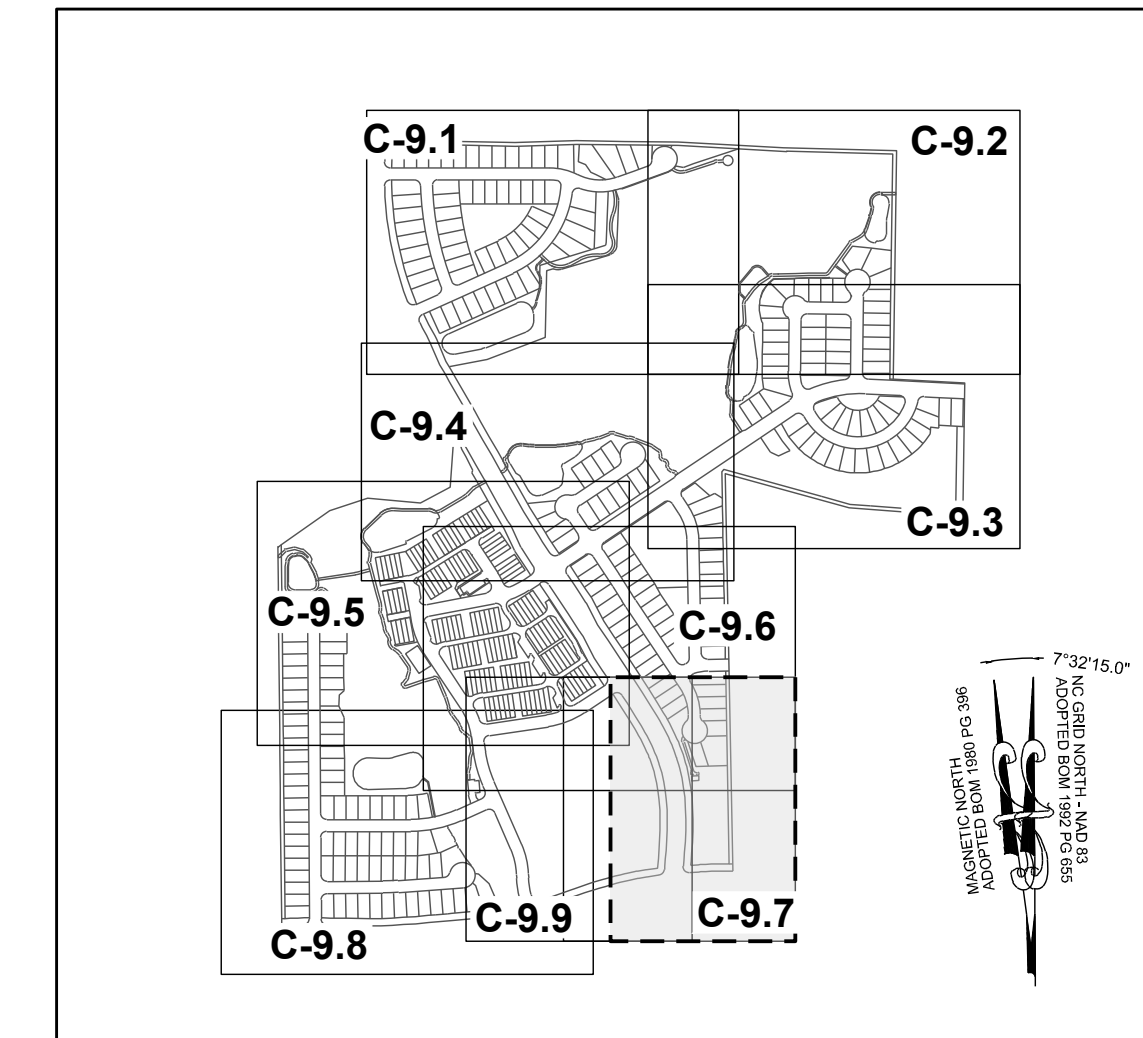
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 305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
PSP-24-03	AS SHOWN	JWL	SRG	JWL

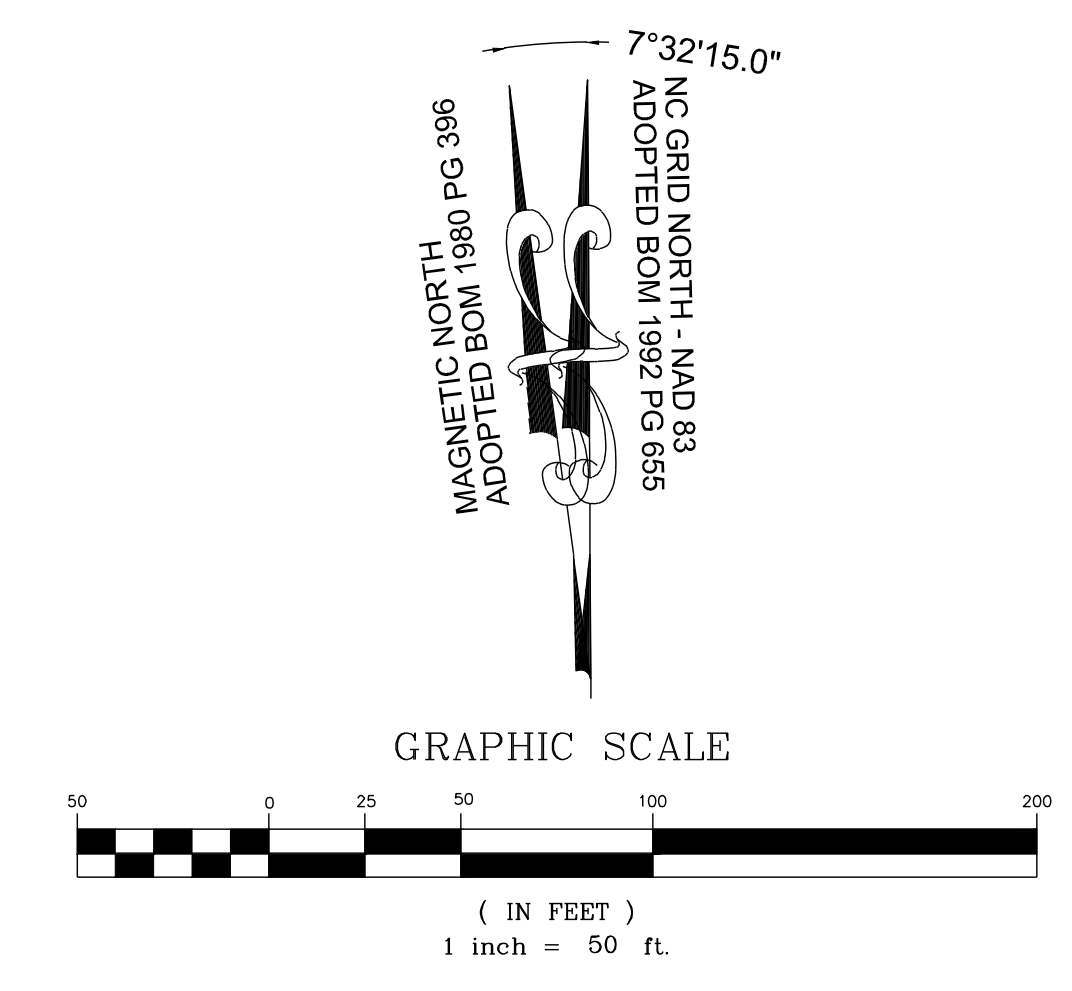
RESERVE @ MITCHELL MILL
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
 CONSTRUCTION PLANS
 PARTIAL GRADING AND
 DRAINAGE PLAN VI

DRAWING SHEET
C-9.6

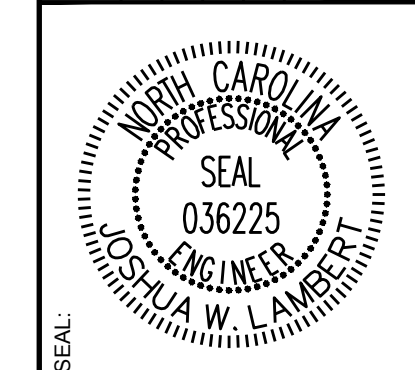
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SITE KEY PLAN
LEGEND
 SEE SHEET C-9.0 FOR LEGEND



NO.	REVISIONS	DATE	BY
01			
02			
03			



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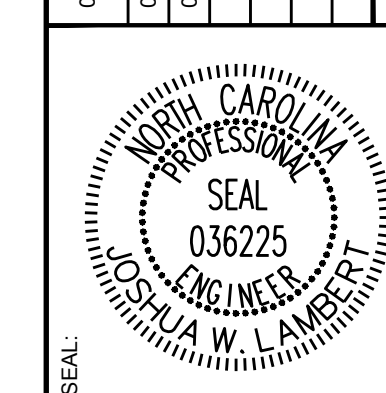
STRONG ROCK PROJECT	STRONG ROCK PROJECT
PSP-24-00	PSP-24-00
NOT FOR CONSTRUCTION	NOT FOR CONSTRUCTION
SCALE AS SHOWN	SCALE AS SHOWN
DESIGNED BY JWL	DESIGNED BY JWL
DRAWN BY SRG	DRAWN BY SRG
CHECKED BY JWL	CHECKED BY JWL

RESERVE @ MITCHELL MILL
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
 CONSTRUCTION PLANS
 PARTIAL GRADING AND DRAINAGE PLAN VII

DRAWING SHEET
C-9.7

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NO.	REVISIONS	DATE	BY
01			
02			
03			



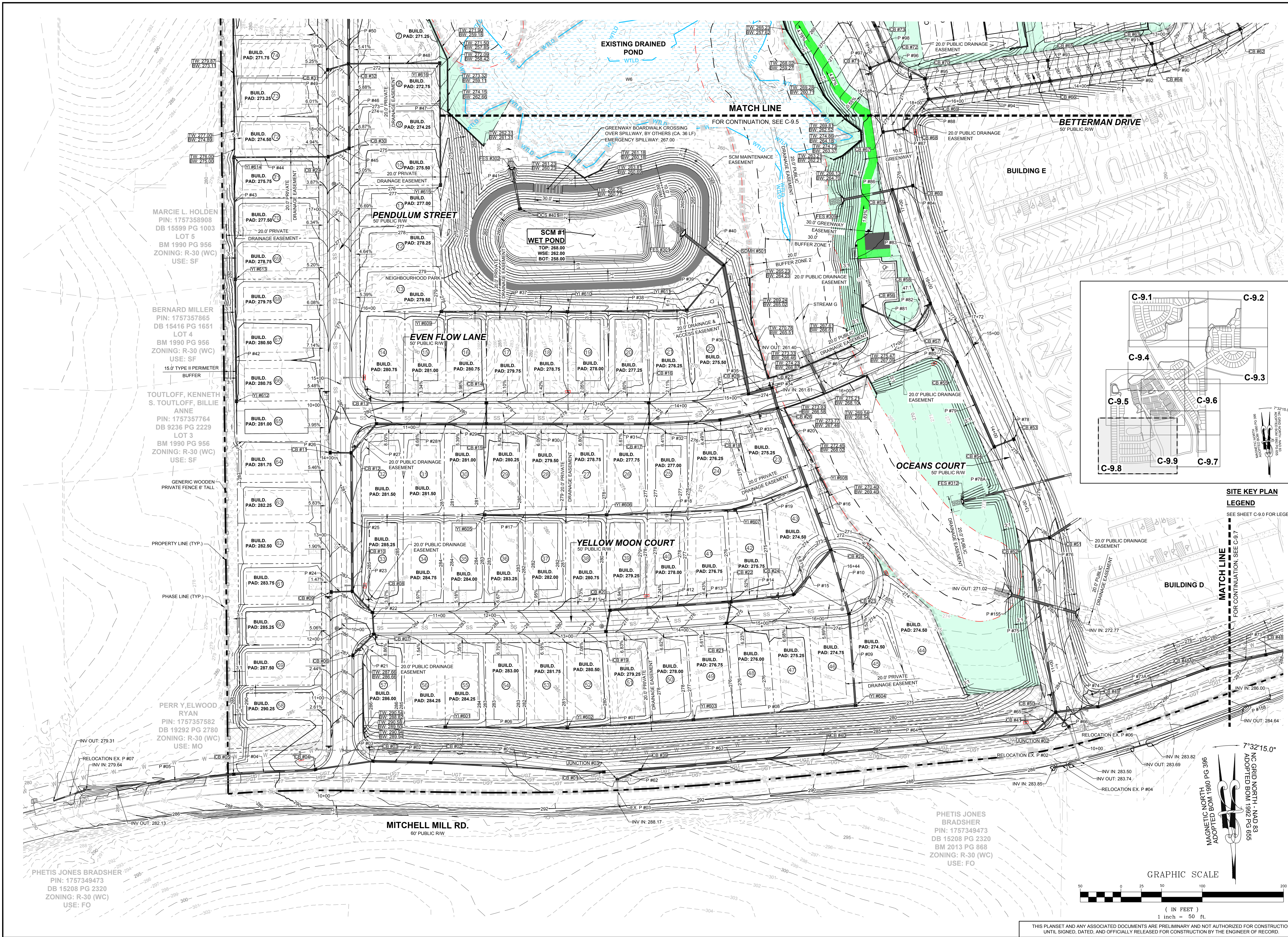
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STRONG ROCK PROJECT	STRONG ROCK PROJECT	STRONG ROCK PROJECT	STRONG ROCK PROJECT
PSP-24-03	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL
			SRG
			DRAWN BY
			CHECKED BY JWL

RESERVE @ MITCHELL MILL
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
CONSTRUCTION PLANS
PARTIAL GRADING AND DRAINAGE PLAN VIII

DRAWING SHEET
C-9.8



MARCIE L. HOLDEN
PIN: 1757358908
DB 15599 PG 1003
LOT 5
BM 1990 PG 956
ZONING: R-30 (WC)
USE: SF

BERNARD MILLER
PIN: 1757357865
DB 15416 PG 1651
LOT 4
BM 1990 PG 956
ZONING: R-30 (WC)
USE: SF

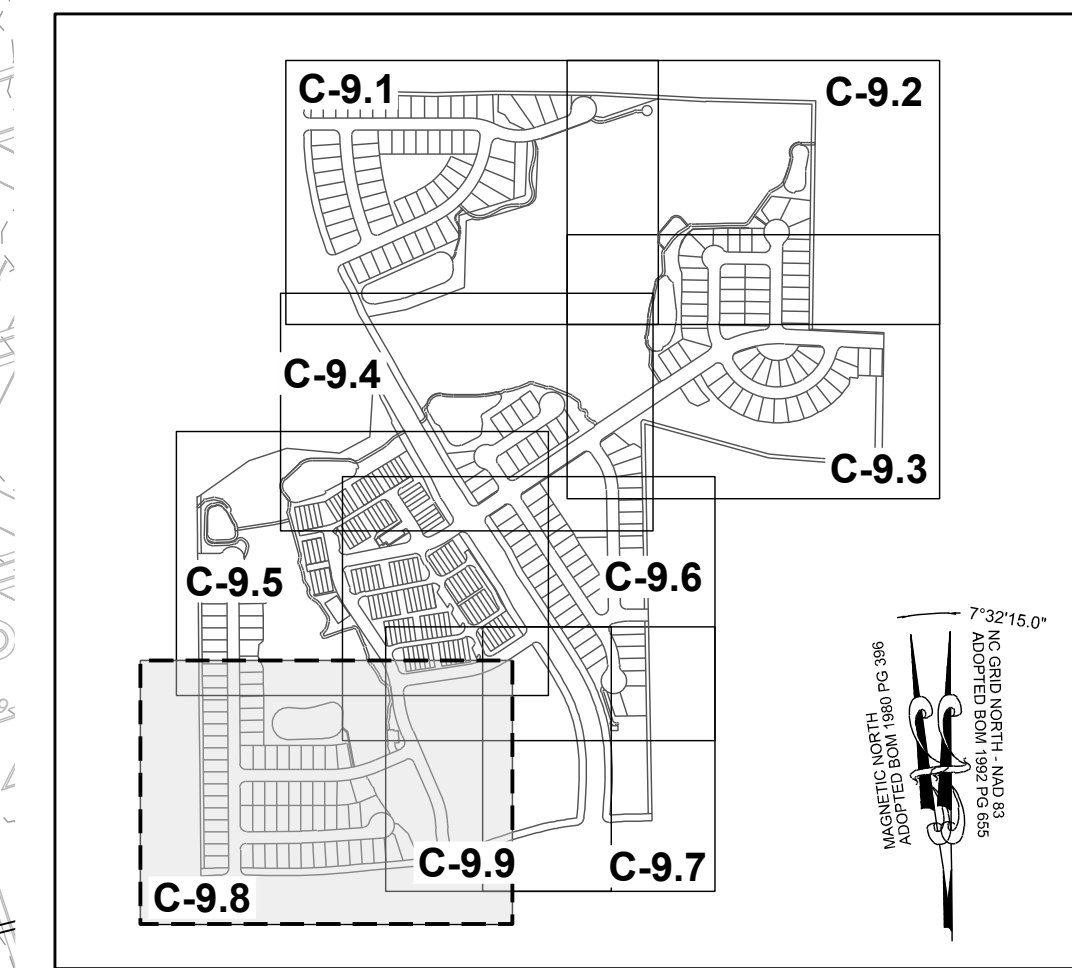
TOUTLOFF, KENNETH S.
PIN: 1757357764
DB 9236 PG 2229
LOT 3
BM 1990 PG 956
ZONING: R-30 (WC)
USE: SF

GENERIC WOODEN PRIVATE FENCE 6' TALL

PERR Y, ELWOOD RYAN
PIN: 1757357582
DB 19292 PG 2780
ZONING: R-30 (WC)
USE: MO

PHETIS JONES BRADSHER
PIN: 1757349473
DB 15208 PG 2320
ZONING: R-30 (WC)
USE: FO

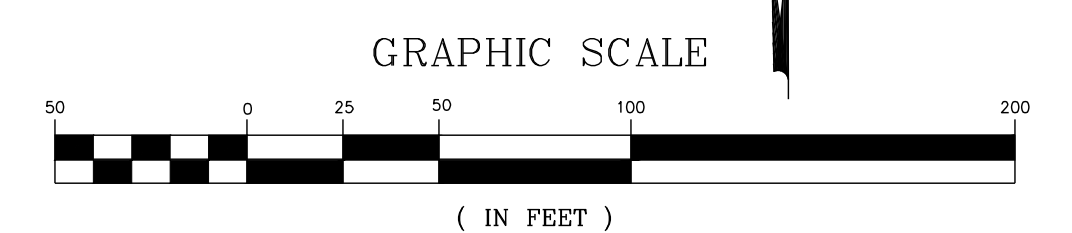
PHETIS JONES BRADSHER
PIN: 1757349473
DB 15208 PG 2320
BM 2013 PG 868
ZONING: R-30 (WC)
USE: FO



SITE KEY PLAN LEGEND
SEE SHEET C-9.0 FOR LEGEND

MATCH LINE
FOR CONTINUATION, SEE C-9.7

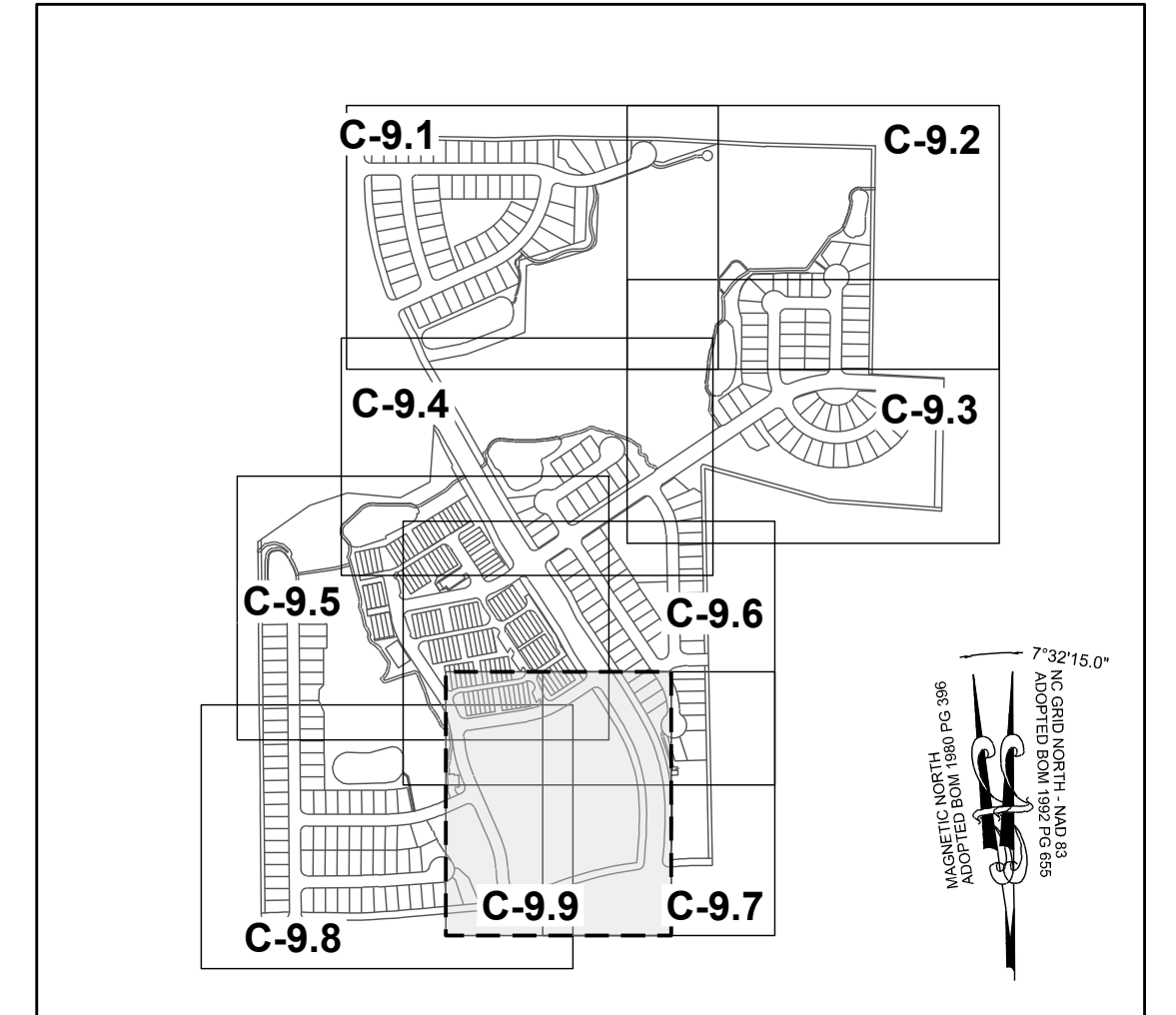
MATCH LINE
FOR CONTINUATION, SEE C-9.5



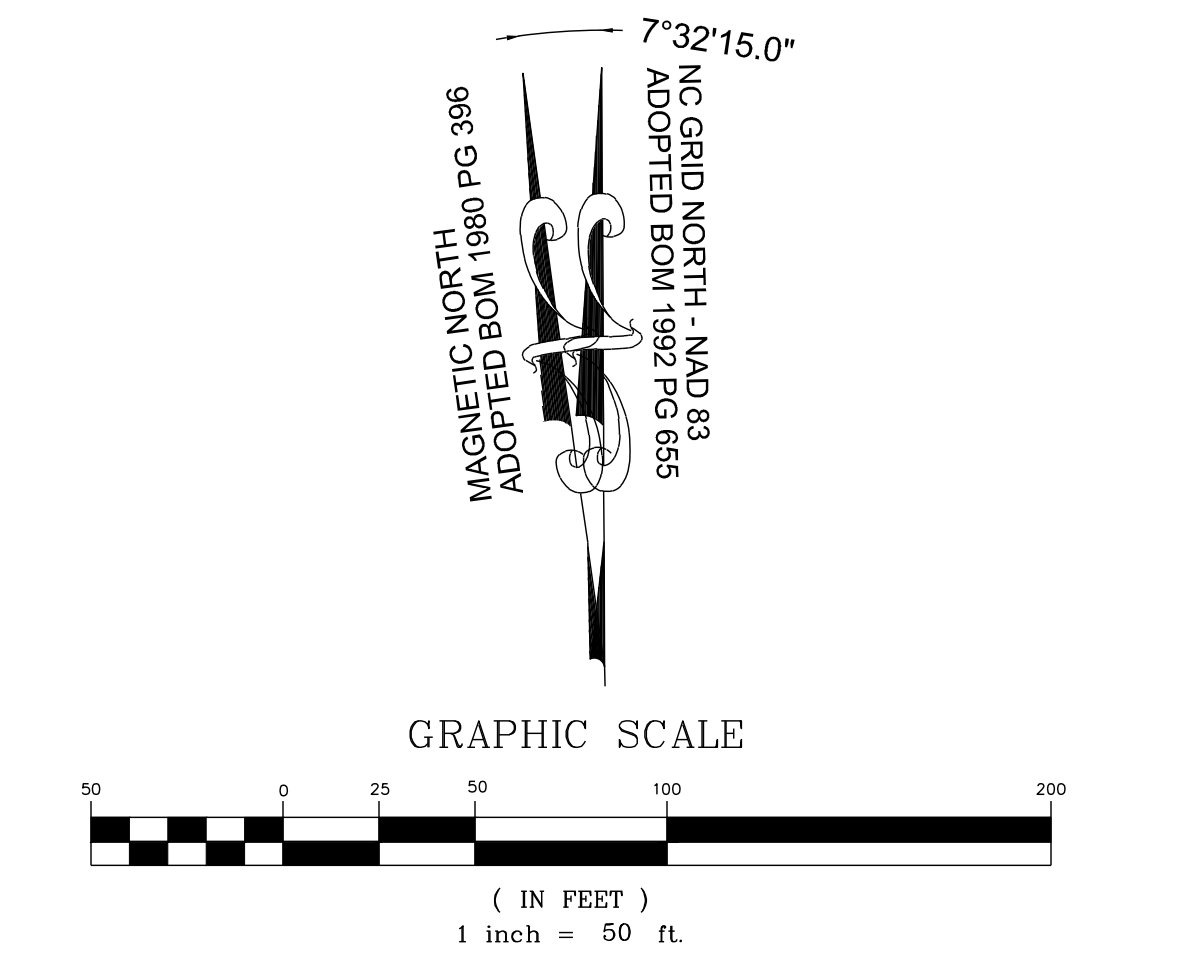
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TOWNHOME NOTES:
 STATES INTERNAL TOWNHOME DRIVEWAYS ARE PRIVATE EASEMENTS AS PER CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT

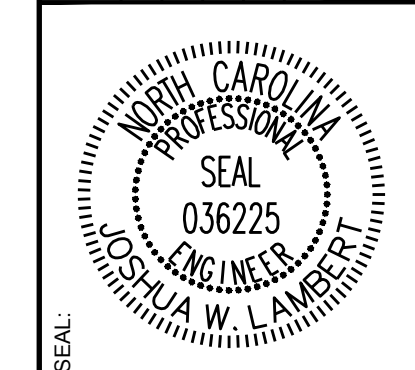


SITE KEY PLAN
LEGEND
 SEE SHEET C-9.0 FOR LEGEND



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NO.	REVISIONS	DATE	BY
01	CONSTRUCTION INFRASTRUCTURE DRAWINGS CID-24-04	08/04/2024	SREG
02	TOWN OF ROLESVILLE CID-24-04 V2	11/07/2024	SREG
03	TOWN OF ROLESVILLE CID-24-04 V3	02/07/2024	SREG



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 305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT P-2166	DESIGNED BY JWL	CHECKED BY JWL
NOT FOR CONSTRUCTION	DRAWN BY SRG	
SCALE AS SHOWN		

RESERVE @ MITCHELL MILL
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
 CONSTRUCTION PLANS
 PARTIAL GRADING AND DRAINAGE PLAN IX

DRAWING SHEET
C-9.9

PIPE TABLE with columns: PIPE NO, TYPE, SIZE, LF, INV. IN, INV. OUT, GRADE. Rows include EX. P #01 to P #05 and EXTENSION EX. P #01 to P #05.

PIPE TABLE with columns: PIPE NO, TYPE, SIZE, LF, INV. IN, INV. OUT, GRADE. Rows include P #06 to P #25.

PIPE TABLE with columns: PIPE NO, TYPE, SIZE, LF, INV. IN, INV. OUT, GRADE. Rows include P #26 to P #45.

PIPE TABLE with columns: PIPE NO, TYPE, SIZE, LF, INV. IN, INV. OUT, GRADE. Rows include P #46 to P #64.

PIPE TABLE with columns: PIPE NO, TYPE, SIZE, LF, INV. IN, INV. OUT, GRADE. Rows include P #65 to P #82.

PIPE TABLE with columns: PIPE NO, TYPE, SIZE, LF, INV. IN, INV. OUT, GRADE. Rows include P #83 to P #103.

PIPE TABLE with columns: PIPE NO, TYPE, SIZE, LF, INV. IN, INV. OUT, GRADE. Rows include P #104 to P #123.

PIPE TABLE with columns: PIPE NO, TYPE, SIZE, LF, INV. IN, INV. OUT, GRADE. Rows include P #124 to P #143.

PIPE TABLE with columns: PIPE NO, TYPE, SIZE, LF, INV. IN, INV. OUT, GRADE. Rows include P #144 to P #164.

PIPE TABLE with columns: PIPE NO, TYPE, SIZE, LF, INV. IN, INV. OUT, GRADE. Rows include P #165 to P #184.

PIPE TABLE with columns: PIPE NO, TYPE, SIZE, LF, INV. IN, INV. OUT, GRADE. Rows include P #185 to P #204.

PIPE TABLE with columns: PIPE NO, TYPE, SIZE, LF, INV. IN, INV. OUT, GRADE. Rows include P #205 to P #224.

PIPE TABLE with columns: PIPE NO, TYPE, SIZE, LF, INV. IN, INV. OUT, GRADE. Rows include P #225 to P #244.

PIPE TABLE with columns: PIPE NO, TYPE, SIZE, LF, INV. IN, INV. OUT, GRADE. Rows include P #245 to P #264.

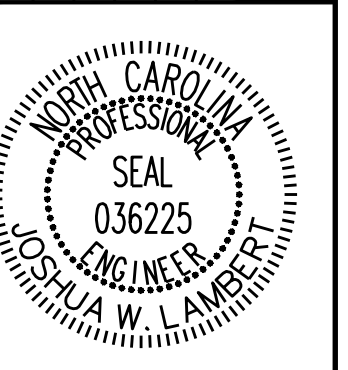
PIPE TABLE with columns: PIPE NO, TYPE, SIZE, LF, INV. IN, INV. OUT, GRADE. Rows include P #265 to P #284.

PIPE TABLE with columns: PIPE NO, TYPE, SIZE, LF, INV. IN, INV. OUT, GRADE. Rows include P #285 to P #304.

PIPE TABLE with columns: PIPE NO, TYPE, SIZE, LF, INV. IN, INV. OUT, GRADE. Rows include P #305 to P #324.

PIPE TABLE with columns: PIPE NO, TYPE, SIZE, LF, INV. IN, INV. OUT, GRADE. Rows include P #325 to P #333 and RELOCATION EX. P #02 to P #07.

Table with columns: DATE, REVISIONS, NO. Includes dates 08/04/2024, 11/07/2024, 02/07/2024.



STRONGROCK ENGINEERING GROUP logo and contact information: 305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

Table with columns: STRONG ROCK PROJECT, NOT FOR CONSTRUCTION, SCALE, DESIGNED BY, DRAWN BY, CHECKED BY.

RESERVE @ MITCHELL MILL TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA CONSTRUCTION PLANS STORM DRAINAGE TABLES

CATCH BASIN TABLE with columns CB NO, SIZE, TOP, INV. IN, INV. OUT. Rows include CB #01 through CB #20.

CATCH BASIN TABLE with columns CB NO, SIZE, TOP, INV. IN, INV. OUT. Rows include CB #21 through CB #39.

CATCH BASIN TABLE with columns CB NO, SIZE, TOP, INV. IN, INV. OUT. Rows include CB #40 through CB #58.

CATCH BASIN TABLE with columns CB NO, SIZE, TOP, INV. IN, INV. OUT. Rows include CB #59 through CB #78.

CATCH BASIN TABLE with columns CB NO, SIZE, TOP, INV. IN, INV. OUT. Rows include CB #79 through CB #98.

CATCH BASIN TABLE with columns CB NO, SIZE, TOP, INV. IN, INV. OUT. Rows include CB #99 through CB #116.

CATCH BASIN TABLE with columns CB NO, SIZE, TOP, INV. IN, INV. OUT. Rows include CB #117 through CB #136.

CATCH BASIN TABLE with columns CB NO, SIZE, TOP, INV. IN, INV. OUT. Rows include CB #137 through CB #156.

CATCH BASIN TABLE with columns CB NO, SIZE, TOP, INV. IN, INV. OUT. Rows include CB #157 through CB #175.

CATCH BASIN TABLE with columns CB NO, SIZE, TOP, INV. IN, INV. OUT. Rows include CB #176 through CB #193.

CATCH BASIN TABLE with columns CB NO, SIZE, TOP, INV. IN, INV. OUT. Rows include CB #194 through CB #210.

CATCH BASIN TABLE with columns CB NO, SIZE, TOP, INV. IN, INV. OUT. Rows include CB #211 through CB #230.

CATCH BASIN TABLE with columns CB NO, SIZE, TOP, INV. IN, INV. OUT. Rows include CB #231 through CB #232.

OCS TABLE with columns OCS NO, SIZE, TOP, INV. OUT. Rows include OCS #401 through OCS #408.

DROP INLET TABLE with columns DI NO, SIZE, TOP, INV. IN, INV. OUT. Rows include DI #201 through DI #221.

FES TABLE with columns FES NO, SIZE, TOP, INV. IN, INV. OUT. Rows include FES #301 through FES #311.

FES TABLE with columns FES NO, SIZE, TOP, INV. IN, INV. OUT. Rows include FES #312 through FES #321.

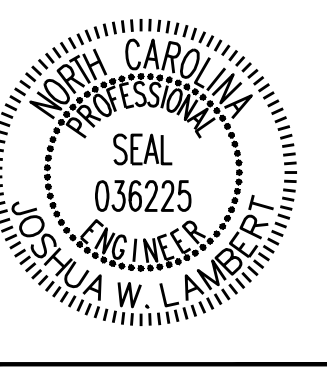
YARD INLET TABLE with columns YI NO, SIZE, TOP, INV. IN, INV. OUT. Rows include YI #601 through YI #616.

YARD INLET TABLE with columns YI NO, SIZE, TOP, INV. IN, INV. OUT. Rows include YI #617 through YI #632.

YARD INLET TABLE with columns YI NO, SIZE, TOP, INV. IN, INV. OUT. Rows include YI #633 through YI #647.

SDMH TABLE with columns SDMH NO, SIZE, TOP, INV. IN, INV. OUT. Rows include JUNCTION #01 through SDMH #507.

CONSTRUCTION INFRASTRUCTURE DRAWINGS table with columns for drawing ID, date, and revision.



STRONG ROCK PROJECT table with columns for project name, scale, and design status.

RESERVE @ MITCHELL MILL TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA CONSTRUCTION PLANS

DRAWING SHEET C-9.11

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