THE JOEL FUND



1ST SUBMITTAL TO TOWN OF ROLESVILLE FOR REVIEW: SEPTEMBER 18, 2024 2ND SUBMITTAL TO TOWN OF ROLESVILLE FOR REVIEW: DECEMBER 2, 2024

DRAWING INDEX

- C-0.0 COVER
- **EXISTING CONDITIONS & DEMOLITION PLAN**

- SITE PLAN
- UTILITY & DRAINAGE PLAN
- EC-1.3 EROSION CONTROL DETAILS III
- LANDSCAPE PLAN

SITE DETAILS SITE DETAILS UTILITY DETAILS EC-1.0 EROSION CONTROL PLAN EC-1.1 EROSION CONTROL DETAILS I EC-1.2 EROSION CONTROL DETAILS II

LANDSCAPE DETAILS

Civil Engineer:

The Curry Engineering Group, PLLC NC License # P-0799 PO Box 2018 205 S. Fuquay Ave Fuquay-Varina, NC 27526 919.552.0849 (o) **Contact: Andy Petty, PE** andy@curryeng.com

Surveyor:

James W. Nipper Land Surveying 5707 Hilltop Road Raleigh, North Carolina, 27603 Phone: 919-917-7080 **Contact: James Nipper** Email: nippersurveying@gmail.com

Land Owner:

The Joel Fund 822 S White St Ste 116 Wake Forrest, NC 27587 **Contact: Brooke Dickhart** Email: brooke@joelfund.org



The General Commercial (GC) District Permits 48 total Zoning Uses – 40 are Permitted By-right, while 8 Require a Special Use Permit approval by Town BOC The Property shall be governed by the below modified list of Permitted Uses - Prohibiting 20 and thereby Permitting 24 By-right, and 4 by Special Use Permit PERMITTED -Neighborhood Retail Sales & Service Funeral Home Permitted by Special Use Permit – 4 Retail Sales & Service Shopping Center 1. The proposed General Commercial Conditional Zoning (GC-GZ) District shall allow Principal Uses per Exhibit A (Uses Permitted, Uses by Special Use Permit, Uses 2. No more than seven (7) upper-story dwelling units shall be permitted on the Property. 3. Nonresidential uses shall not be less than 5,000 square feet of gross floor area, and shall not exceed 30,000 square feet of gross floor area. 4. Altraffic impact analysis shall be required for a Site Development Plan that includes at least 20,000 square feet of gross floor area of Office and Medical Uses as defined in LDO 5. No demolition permit for the existing home at 113 W. Young Street (PIN 1769-01-4840) (Deed Book 16593, Page 1043, Wake County Registry) shall be filed within 365 days following approval of REZ-23-07. 6. Prior to the submittal of a demolition permit for the removal of the single-family home at 113 W. Young Street (PIN 1769-01-4840), the Development shall document the existing structure through photographs and detailed exterior elevation drawings. The Development shall send the documentation to the Town of Rolesville Planning Department and Board of Commissioners. Prior to the demolition, the Development will allow any non-profit entity, individual, or for-profit entity to relocate any of the existing single-family home at no cost to the Development and without payment to the Development, so long as the party relocating the single family home is solely responsible for the relocation, including, without limitation, securing all permits and approvals required by law. The Development will provide general public notice in the News & Observer of the offer for relocation. Public notice shall occur at least 180 days prior to the scheduled demolition of the single-family home. Prior to demolition of the single-family home that has not been relocated within 30 days prior to demolition, and after the Development has removed any items or building materials for its reuse, the Development will allow the Town of Rolesville or any local organization at least 15 days to remove items of historic significance and building materials-

REZ-23-07 / 111, 113, 115 W. Young Street --- LDO Table 5.1 Permitted Principal Use Table

PROFESSIONAL'S SEAL PRELIMINARY FOR REVIEW ONLY

VICINITY MAP

115 W YOUNG STREET

ROLESVILLE, NC 27571

GC-CZ - GENERAL COMMERCIAL

REZ-23-07 APPROVED ON 05/07/2024

CONDITIONAL ZONING PER

PROFESSIONAL OFFICE

1 VAN ACCESSIBLE H/C

7,673 SQ FT (0.18 AC) 8,438 SQ FT (0.19 AC)

1,325 SQ FT

5 STANDARD

5+1= 6 PARKS

3 PARKS

WAKE COUNTY

019630/02036

SITE INFORMATION:

PARENT PIN

ACREAGE:

BUILDING SETBACK MINIMUMS:

STREET YARD BUFFER

OFF-STREET PARKING

PROVIDED PARKING:

IMPERVIOUS AREAS:

TOTAL EXISTING IMPERVIOUS:

TOTAL PROPOSED IMPERVIOUS:

REVISIONS
TOWN OF ROLESVILLE COMMENTS

FOR REVIEW ONLY

NOT FOR CONSTRUCTION

HORZ. SCALE:

ORIG. SHEET SIZE: 24 x 36

TOTAL PARKS:

COMMERCIAL SPECIFICATION:

REQUIRED PARKING:

BLDG SQ FT:

BUILDING DATA: PROPOSED USE:

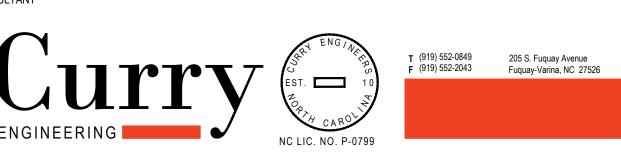
DB/PG:

ZONING:

SIDE:

REAR:



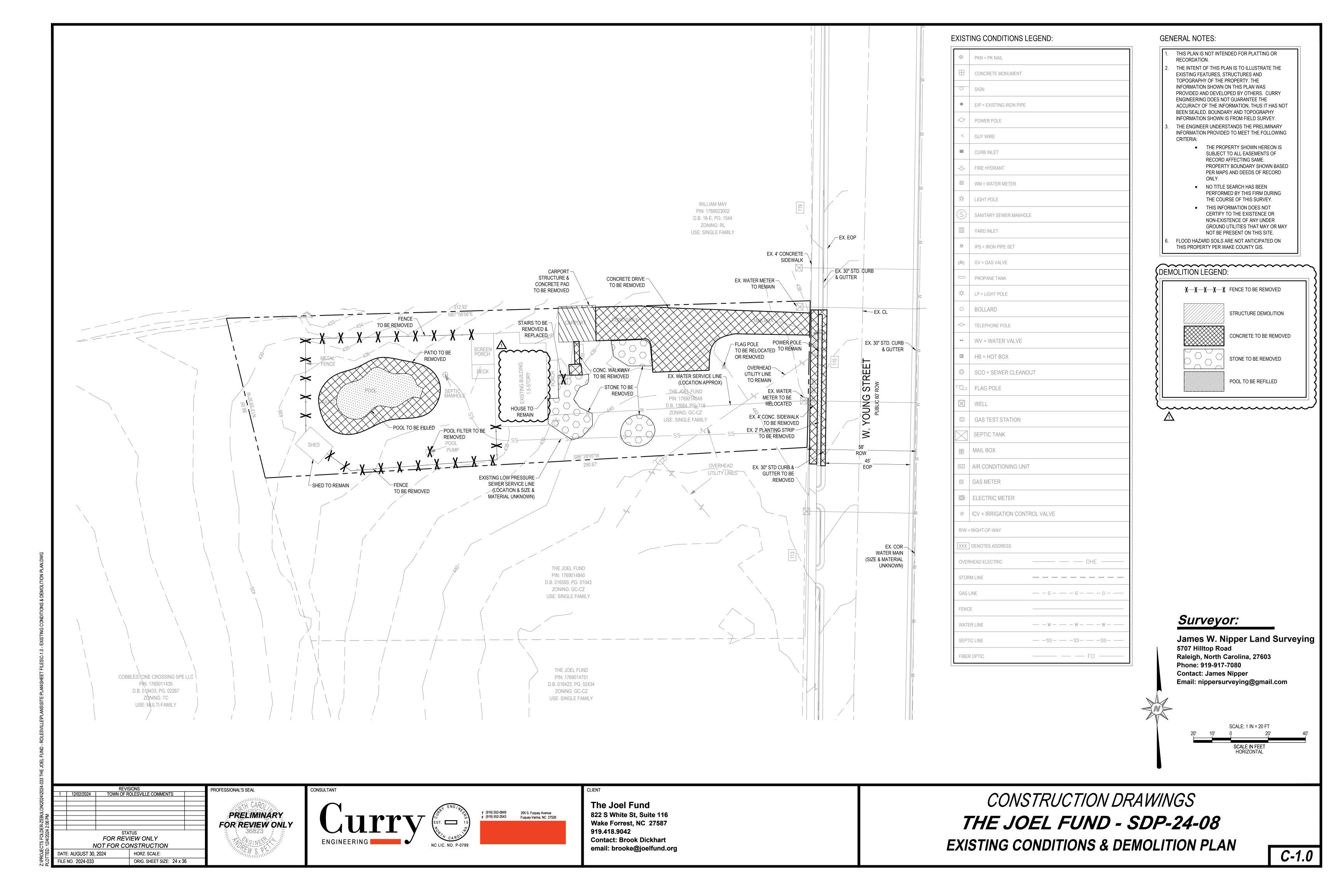


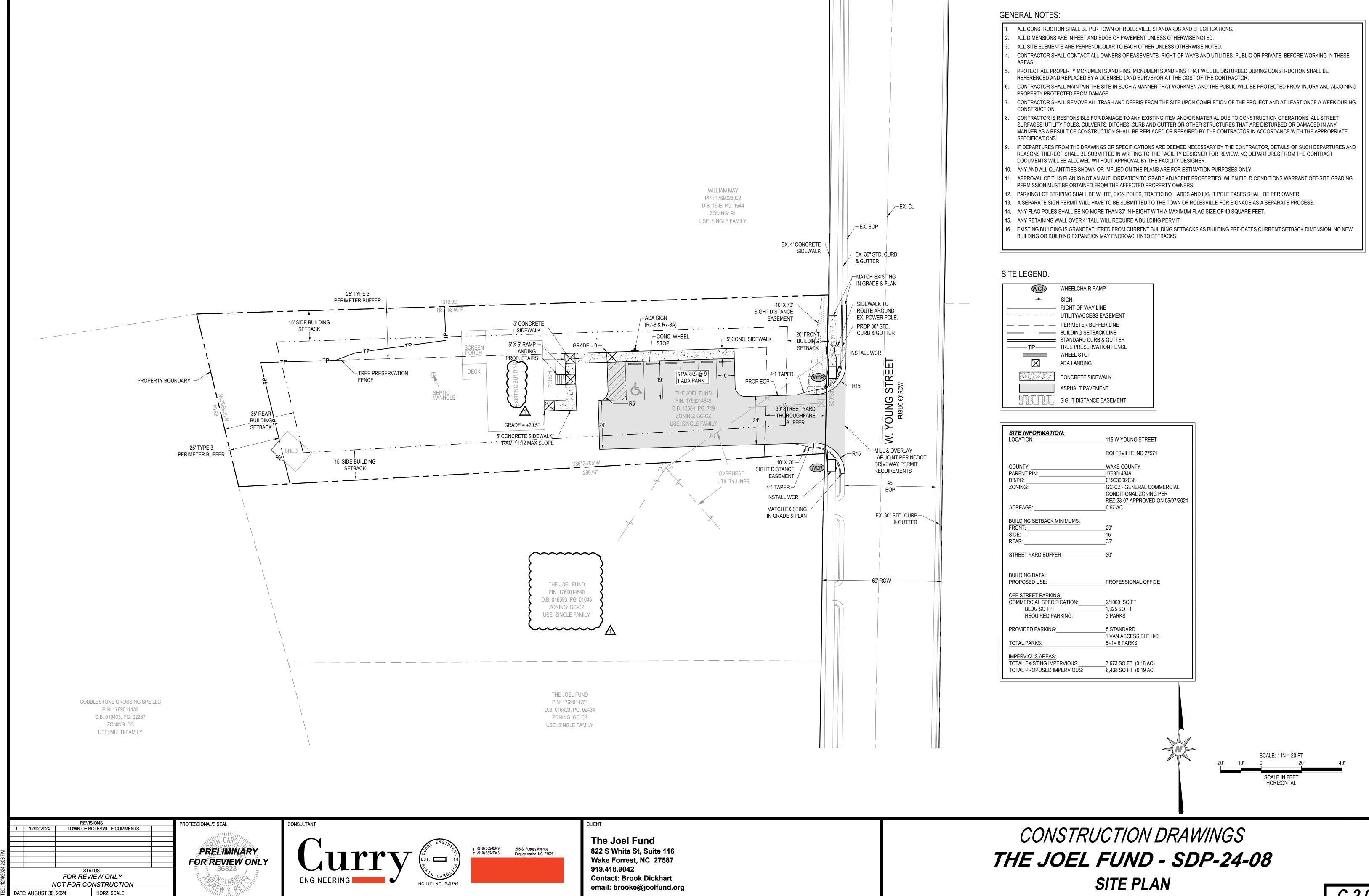
The Joel Fund 822 S White St, Suite 116 Wake Forrest, NC 27587 919.418.9042 **Contact: Brook Dickhart** email: brooke@joelfund.org

CONSTRUCTION DRAWINGS THE JOEL FUND - SDP-24-08 COVER

DATE: AUGUST 30, 2024

FILE NO. 2024-033

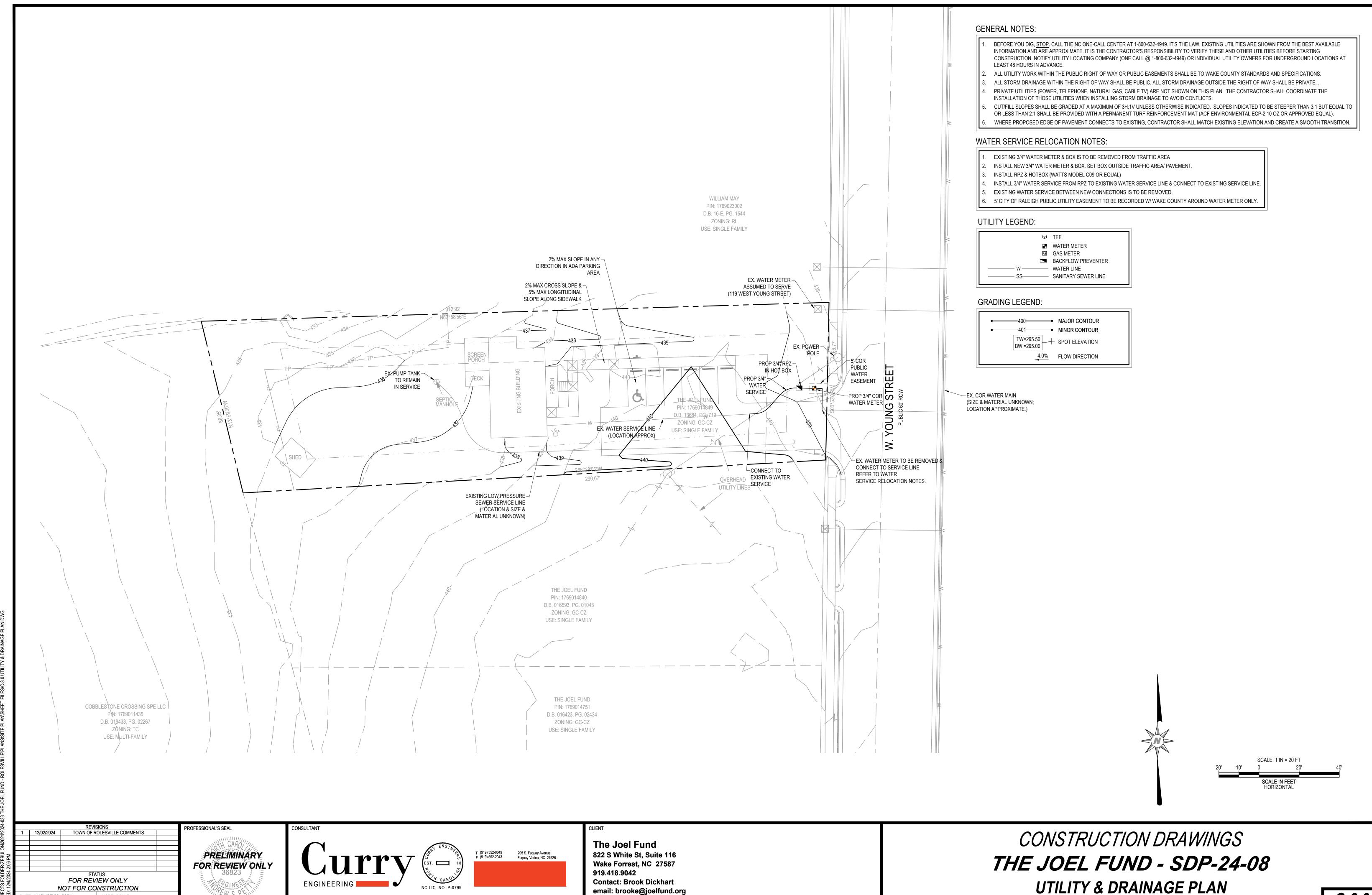




FILE NO. 2024-033

ORIG. SHEET SIZE: 24 x 36

C-2.0

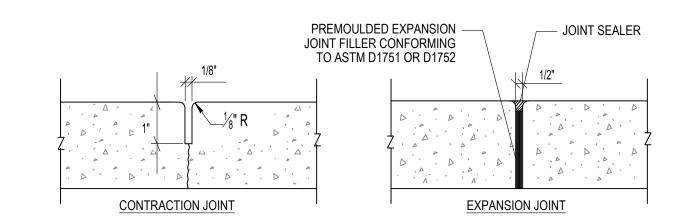


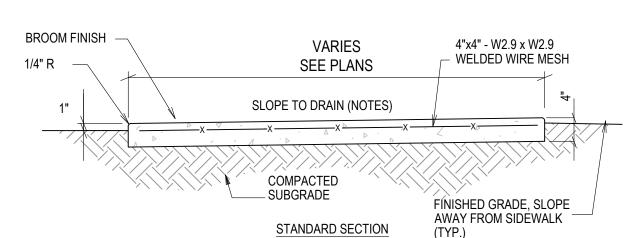
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FILE NO. 2024-033

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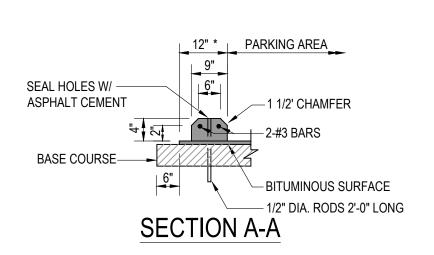
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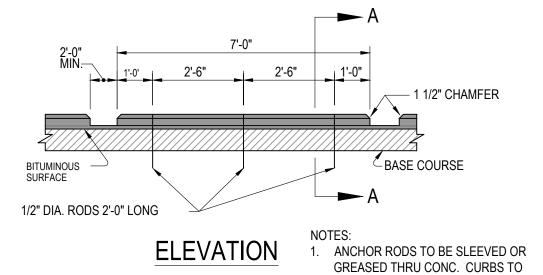




- MINIMUM 3000 PSI CONCRETE. MINIMUM CROSS SLOPE IS 2%. MINIMUM LONGITUDINAL SLOPE IS 0.5% (1% PREFERRED). MAXIMUM CONTRACTOR JOINT SPACING IS 5'. MAXIMUM EXPANSION JOINT SPACING IS 40' WELDED WIRE MESH (WWM) SHALL BE PLACED IN THE UPPER ONE THIRD OF THE SLAB. NO WWM
- SHALL BE VISABLE AT THE SURFACE. DOWELS SHALL BE PLACED IN THE CENTER OF THE SLAB. DOWELS THAT ARE PLACED INTO DRILLED CONCRETE SHALL BE INSTALLED WITH BONDING MATERIAL COMPACTED SUBGRADE SHALL BE COMPACTED TO MODIFIDED PROCTOR 90% MAX. DRY DENSITY AT

CONCRETE SIDEWALK DETAILS C-4.0 / SCALE: NTS





PERMIT RELOCATION OF CURBS.

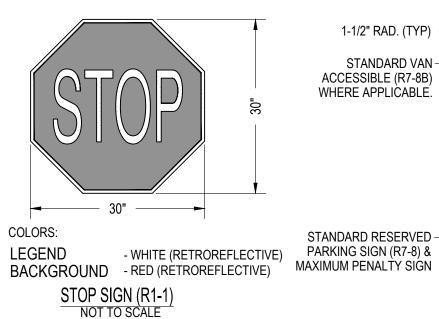
2. PLACE WHEELSTOPS 2.5' FROM CURB

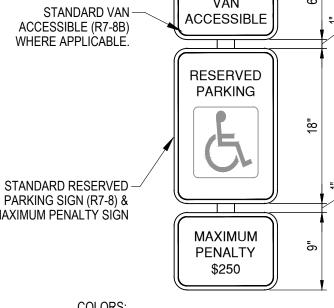


C-4.0 SCALE: NTS



COLORS: LEGEND - BLACK (RETROREFLECTIVE) BACKGROUND - YELLOW (RETROREFLECTIVE) PEDESTRIAN CROSSING (W11A-2) NOT TO SCALE





COLORS: LEGEND - BLACK BACKGROUND - WHITE (RETROFLECTIVE) SPEED LIMIT SIGN (R2-1) NOT TO SCALE

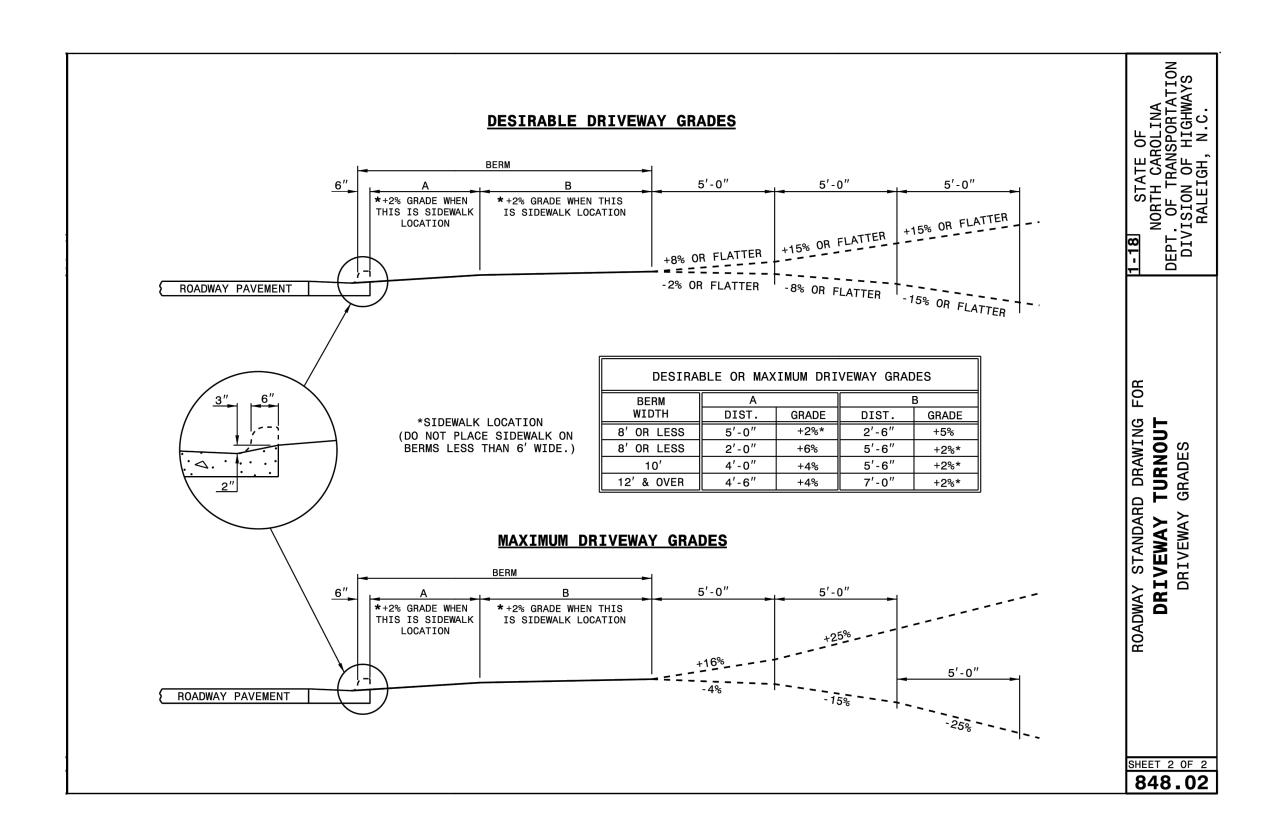


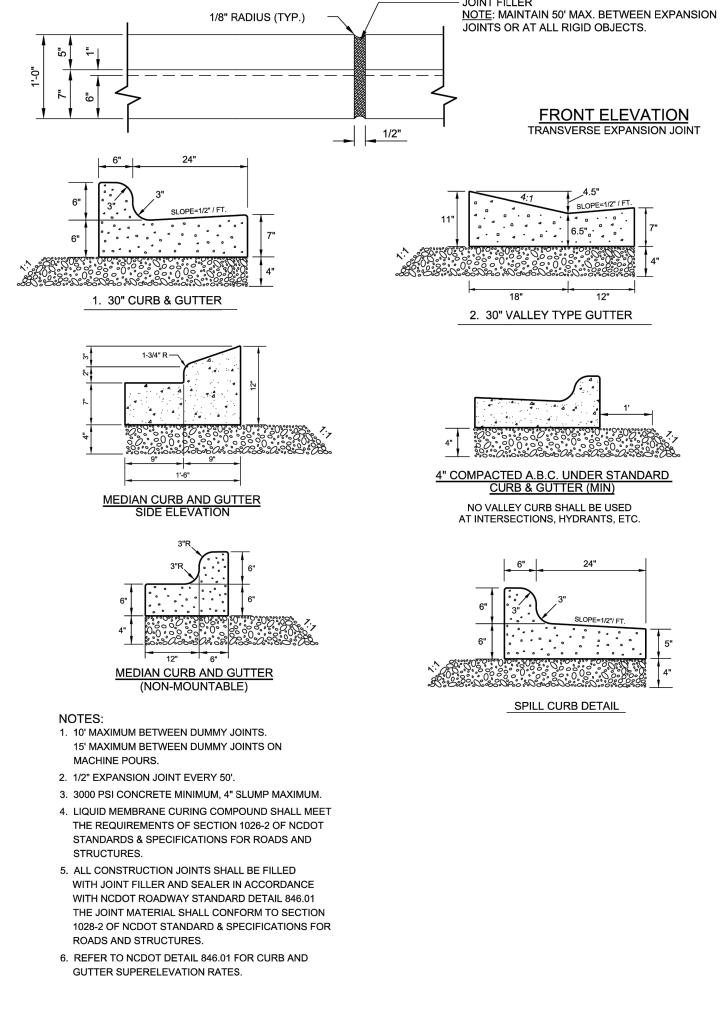
ACCESSIBLITY PARKING SIGN (R7-8) NOT TO SCALE MUTCD STANDARD SIGN DESIGNATION SHOW AS (X-1)

6. ALL MOUNTING HARDWARE SHALL BE GALVANIZED.

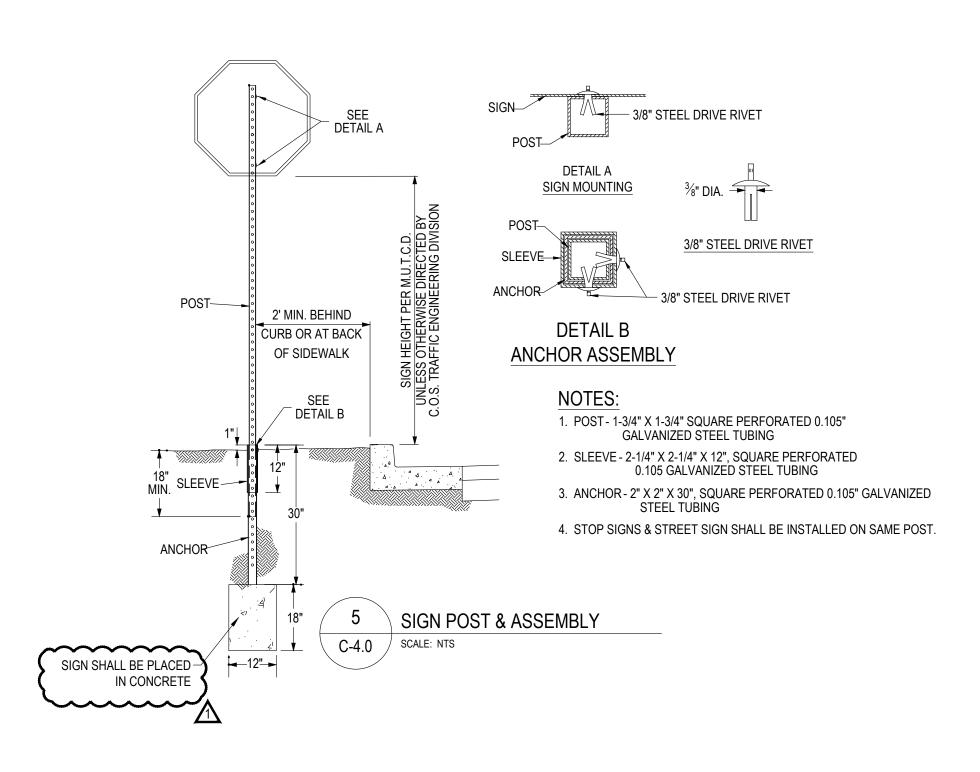
MOUNTING HEIGHT - 60" FROM BOTTOM OF SIGN TO PAVEMENT IN NON-PEDISTRIAN AREAS AND 84" IN PEDISTRIAN AREAS. ALL SIGN SHALL BE MOUNTED TO 3LB "U-CHANNEL" POST. ALL ROAD WAY SIGNAGE SHALL BE HIGH INTENSITY SHEETING SIGNS SHALL MEET THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). SIGNS SHALL BE FABRICATED FROM ALUMINUM ALLOY SHEETS.

PARKING & STREET SIGNAGE C-4.0 SCALE: NTS

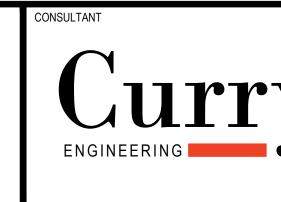


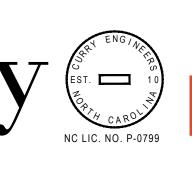


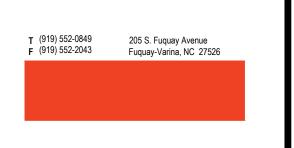




REVISIONS
TOWN OF ROLESVILLE COMMENTS PROFESSIONAL'S SEAL PRELIMINARY FOR REVIEW ONLY FOR REVIEW ONLY NOT FOR CONSTRUCTION DATE: AUGUST 30, 2024 HORZ. SCALE: FILE NO. 2024-033 ORIG. SHEET SIZE: 24 x 36

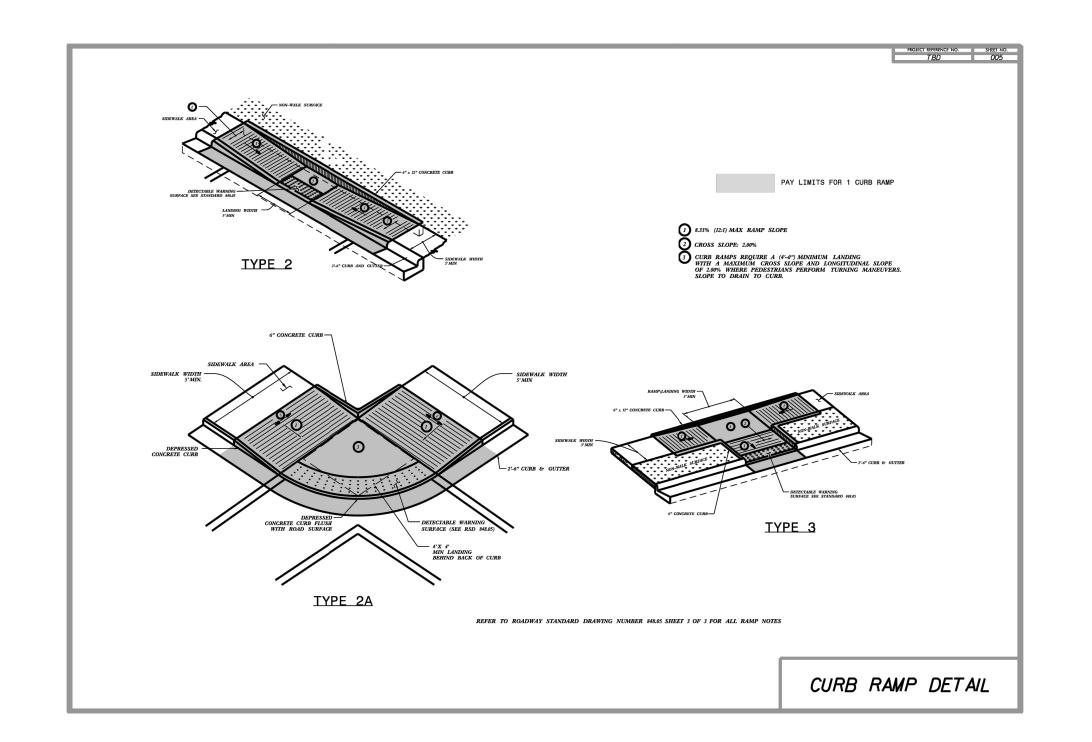


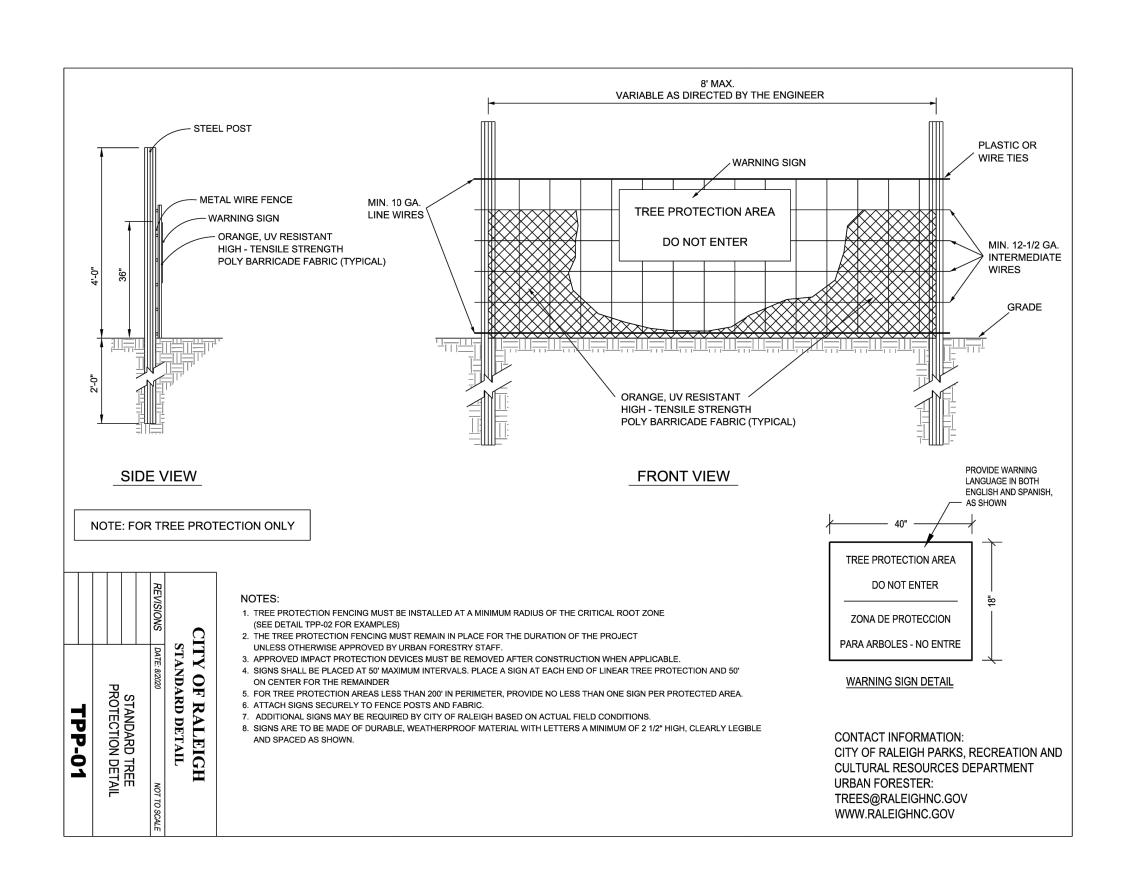


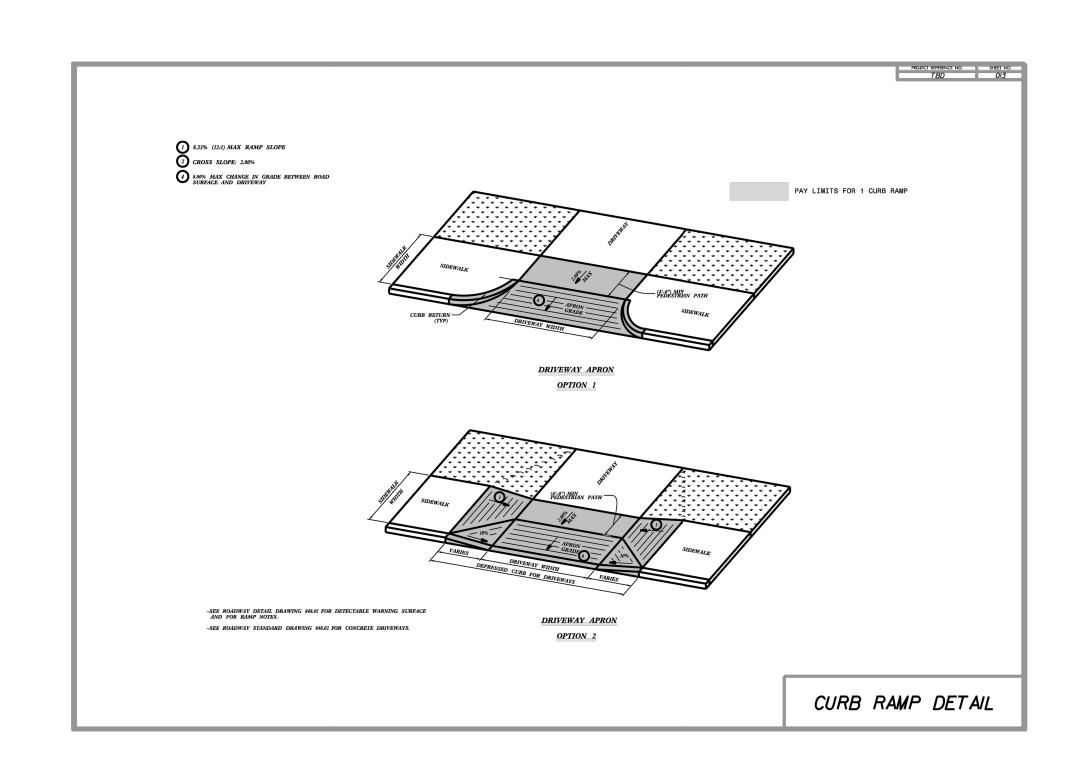


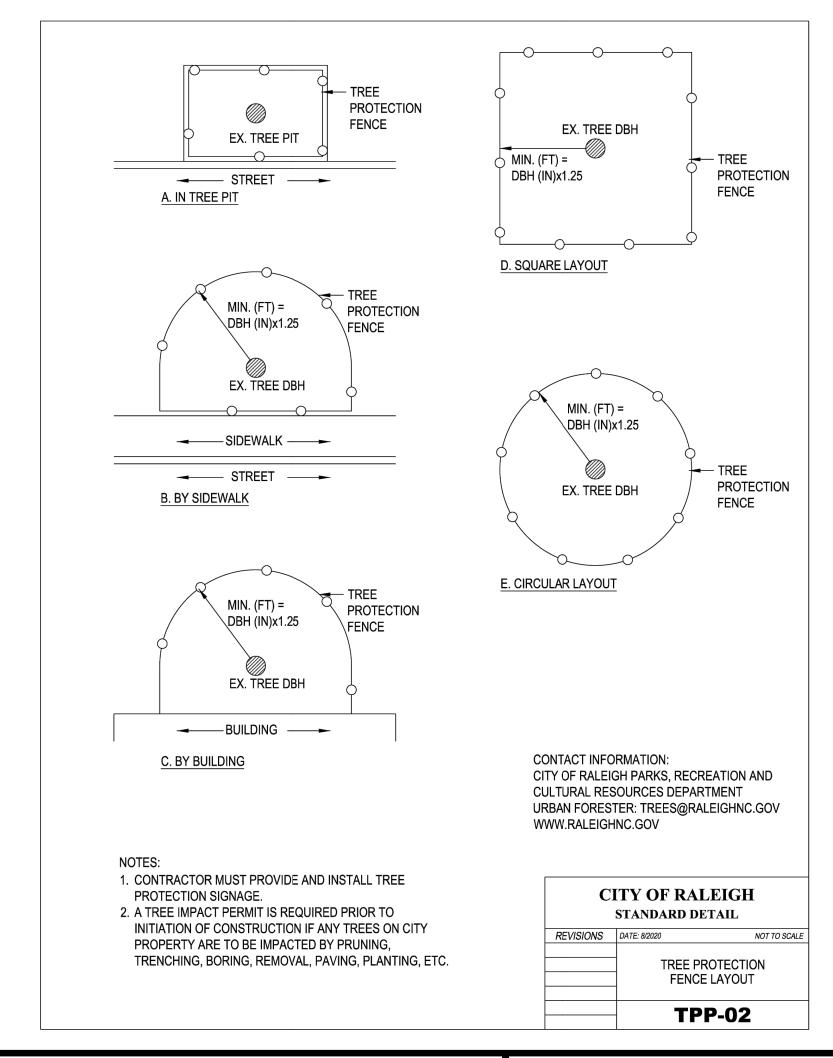
The Joel Fund 822 S White St, Suite 116 Wake Forrest, NC 27587 919.418.9042 **Contact: Brook Dickhart** email: brooke@joelfund.org

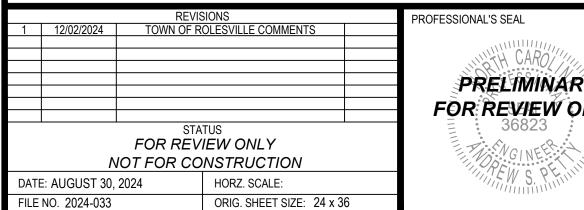
CONSTRUCTION DRAWINGS THE JOEL FUND - SDP-24-08 SITE DETAILS











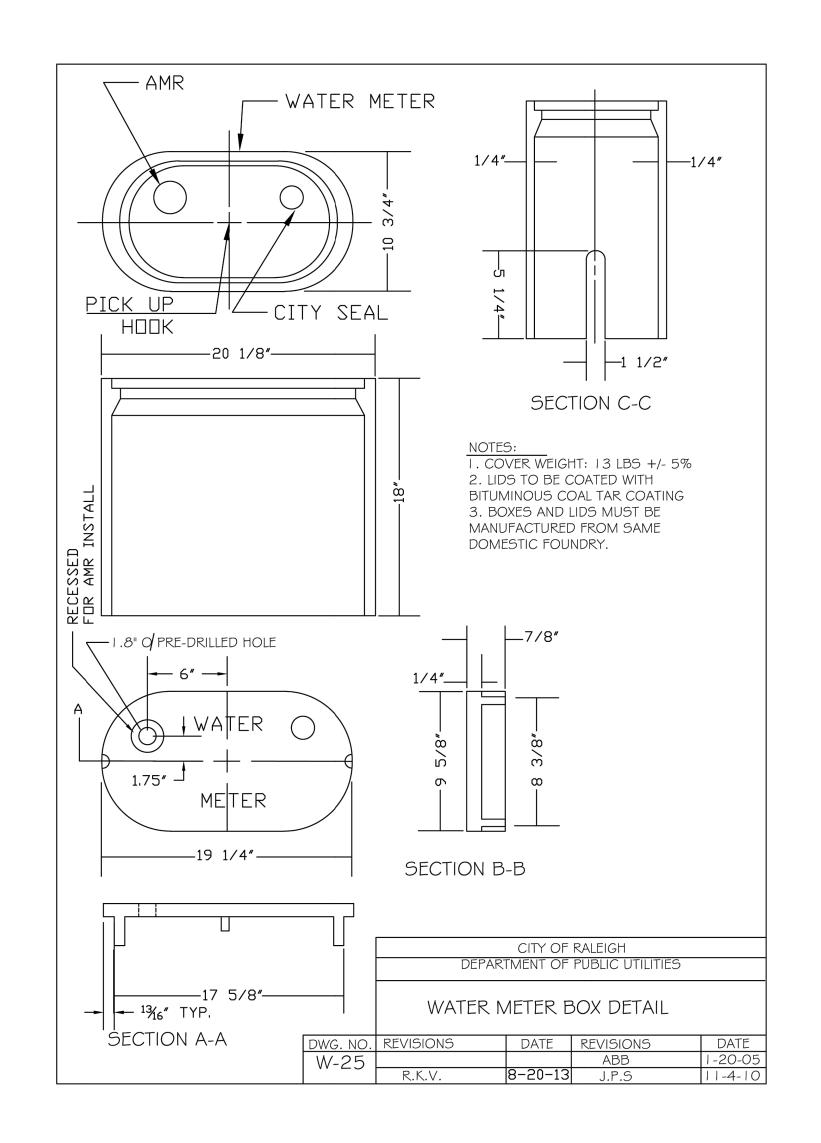
PRELIMINARY FOR REVIEW ONLY

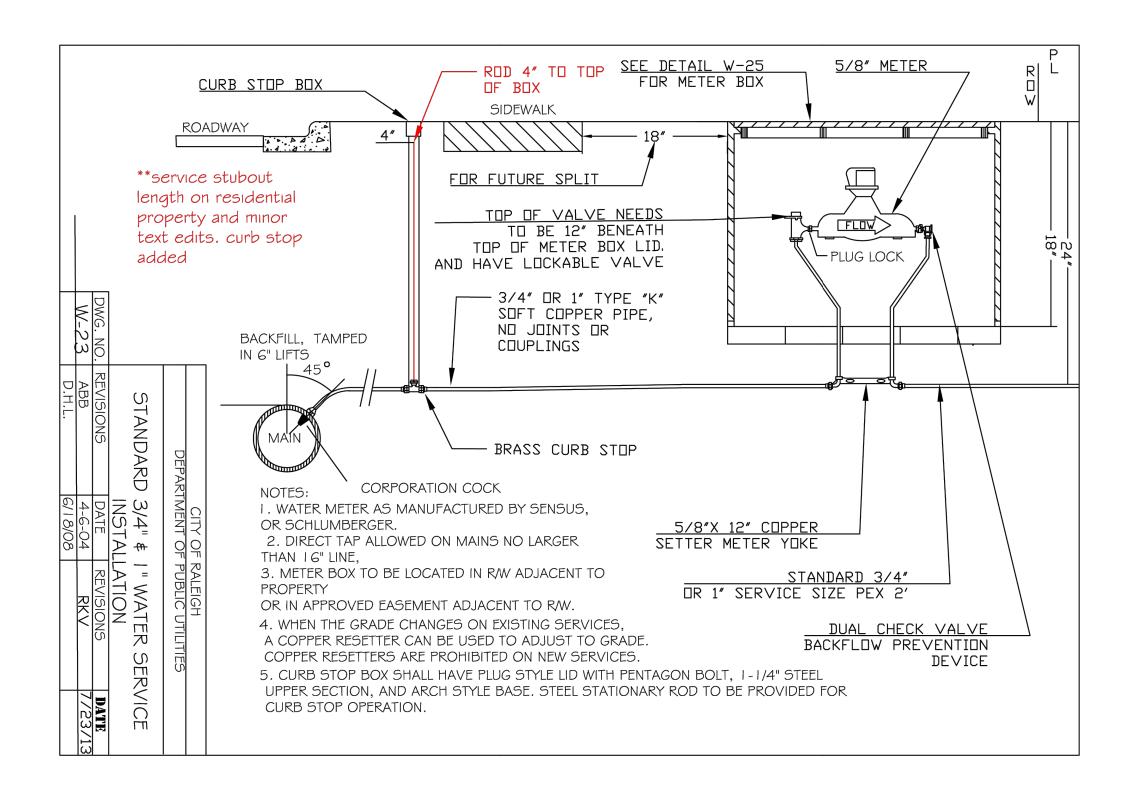


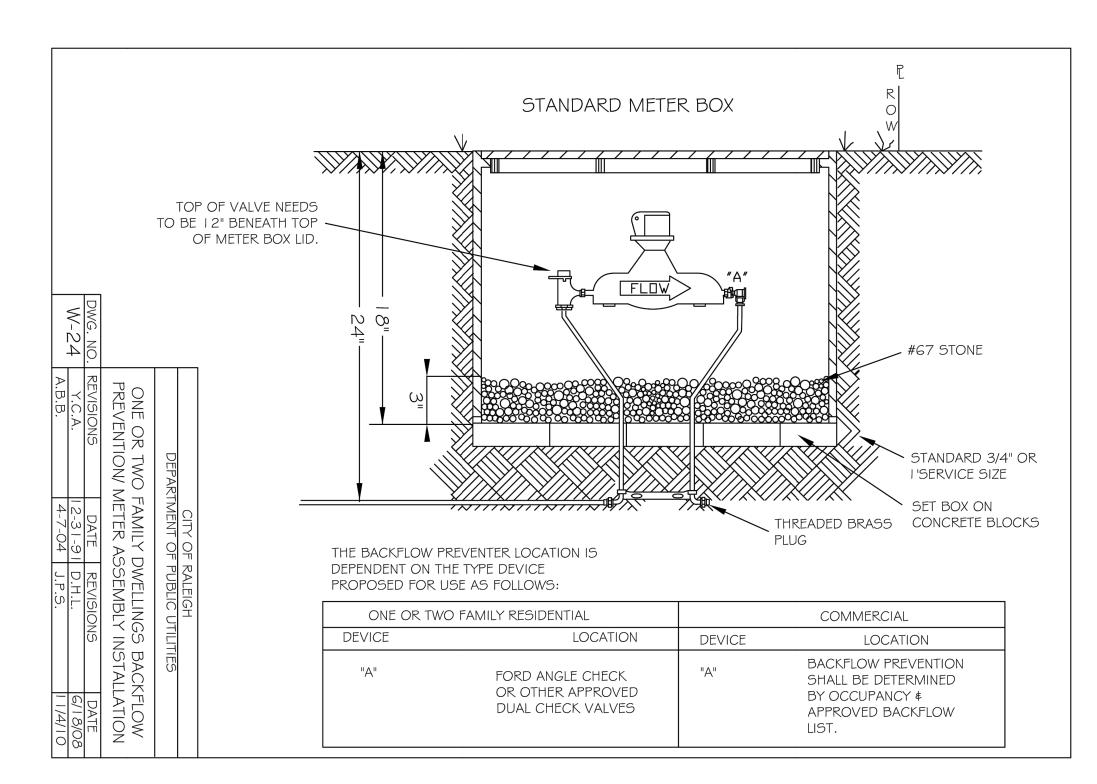
205 S. Fuquay Avenue Fuquay-Varina, NC 27526

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CONSTRUCTION DRAWINGS THE JOEL FUND - SDP-24-08 SITE DETAILS







REVISIONS

1 12/02/2024 TOWN OF ROLESVILLE COMMENTS

PROFESSIONAL'S SEAL

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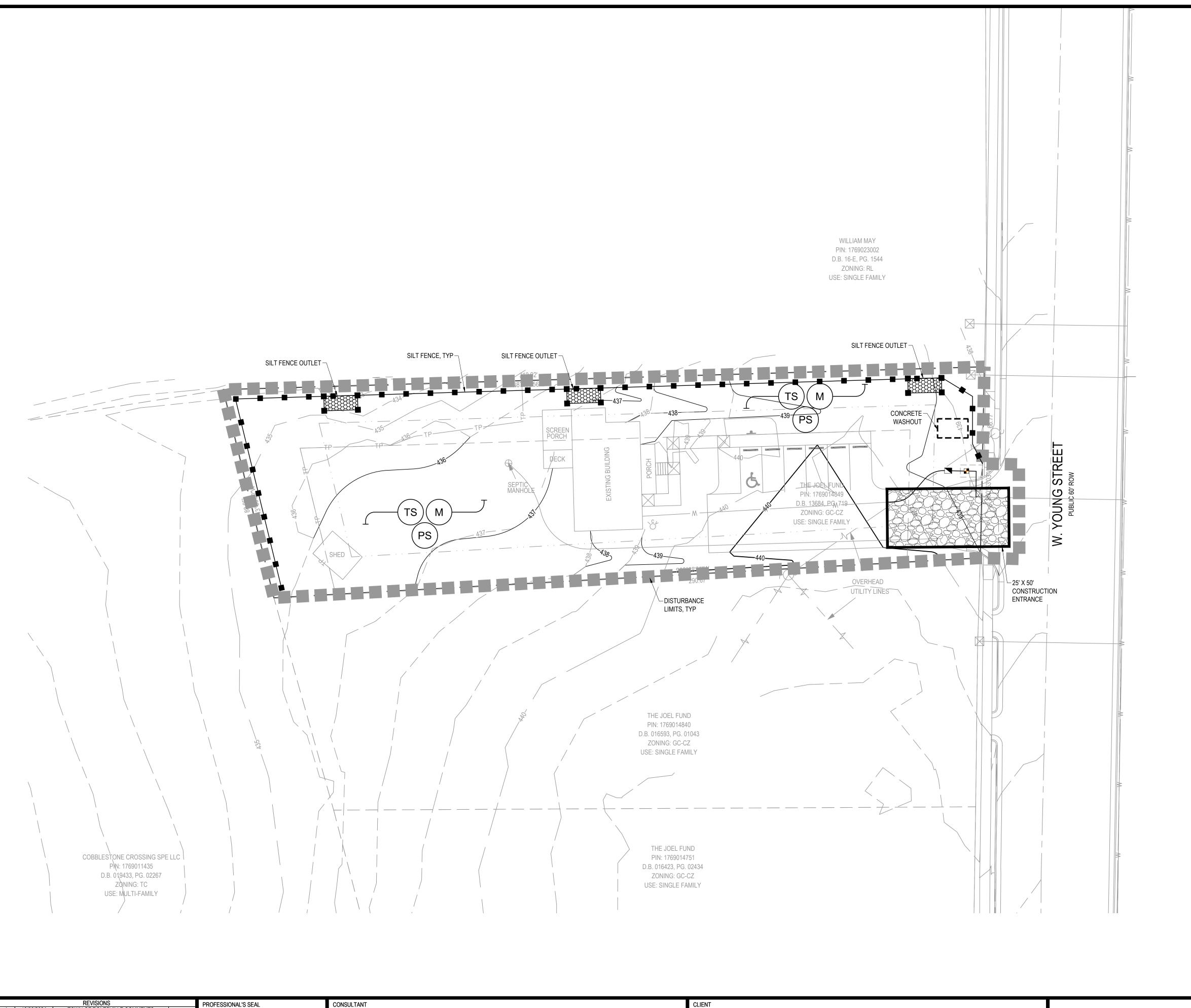


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CONSTRUCTION DRAWINGS

THE JOEL FUND - SDP-24-08

UTILITY DETAILS



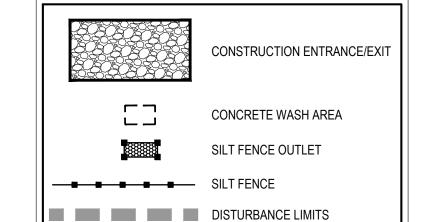
NOTE

- THE SILT FENCE, AND LIMITS OF DISTURBANCE SHOWN ON THIS PLAN ARE GRAPHICAL REPRESENTATION OF THE ACTUAL EROSION CONTROL MEASURES THAT SHALL BE INSTALLED UNDER THIS PROJECT. DUE TO SCALE OF THIS DRAWING, THESE MEASURES ARE GRAPHICALLY DEPICTED AND MAY BE BEYOND WHERE THEY ACTUALLY WILL BE INSTALLED IN THE FILED.
- 2. THE WORK ASSOCIATED WITH THIS PERMIT INCLUDES CLEARING AND GRUBBING AND INFRASTRUCTURE INSTALLATION. MASS GRADING OF LOTS IS NOT PROGRAMMED.
- 3. TOTAL DISTURBED AREA = 0.58 AC
- 4. REFER TO DETAIL SHEET EC-1.1 FOR CONSTRUCTION SEQUENCE, EROSION CONTROL NARRATIVE, MAINTENANCE NOTES, STABILIZATION INSTRUCTIONS & EROSION CONTROL DETAILS.
- 5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT WAKE COUNTY STANDARDS AND REGULATIONS.
- SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
 THERE SHALL BE NO DISTURBANCE OUTSIDE THE LIMITS SHOWN ON THIS PLAN WITHOUT AN APPROVED PLAN AMENDMENT BY WAKE
- COUNTY S&EC.

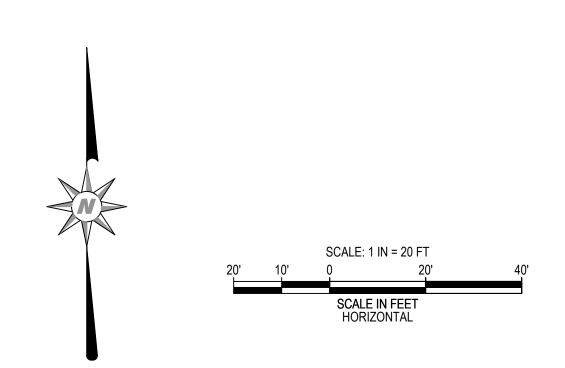
 8. ALL DISTURBED AREAS SHALL BE SEEDED PER STABILIZATION TABLE.

 9. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SELE-INSPECTION.
- 9. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SELF-INSPECTION

UTILITY LEGEND:



NPDES STABILIZATION TABLE							
SITE AREA DESCRIPTION	STABILIZATION	TIMEFRAME EXCEPTIONS					
Perimeter dikes, swales, ditches and slopes	7 days	None					
High Quality Water (HQW) Zones	7 days	None					
Slopes steeper than 3:1	7 days	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed.					
Slopes 3:1 or flatter	14 days	7 days for slopes greater than 50' in length					
All other areas with slopes fatter than 4:1	14 days	None, except for perimeters and HQW Zones					



CONSTRUCTION DRAWINGS
THE JOEL FUND - SDP-24-08
EROSION CONTROL PLAN

ORIG. SHEET SIZE: 24 x 36

FILE NO. 2024-033



T (919) 552-0849 205 S. Fuquay Avenue F (919) 552-2043 Fuquay-Varina, NC 27526 The Joel Fund

919.418.9042

822 S White St, Suite 116

Wake Forrest, NC 27587

Contact: Brook Dickhart

email: brooke@joelfund.org

- THE CONTRACTOR SHALL AT A MINIMUM IMPLEMENT THE CONTRACTOR'S REQUIREMENTS OUTLINED BELOW AND THOSE MEASURES SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN. IN ADDITION THE CONTRACTOR SHALL UNDERTAKE ADDITIONAL MEASURES REQUIRED TO BE IN COMPLIANCE WITH APPLICABLE PERMIT CONDITIONS AND STATE WATER QUALITY STANDARDS.
- ANY GRADING BEYOND THE DENUDED LIMITS SHOWN IN THE PLAN IS A VIOLATION OF THE NORTH CAROLINA SEDIMENTATION CONTROL LAW & IS SUBJECT TO A FINE. GRADING MORE THAN 1 ACRE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION OF THE THE NORTH CAROLINA SEDIMENTATION CONTROL LAW AND WAKE
- COUNTY & IS SUBJECT TO A FINE. ALL EROSION CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH ALL WAKE COUNTY & NCDENR STANDARDS AND SPECIFICATIONS.
- CONSTRUCTION ENTRANCES SHALL BE MAINTAINED THROUGHOUT THE ENTIRE CONSTRUCTION PROJECT. A MINIMUM OF ONE CONSTRUCTION ENTRANCE SHALL BE INSTALLED AND UTILIZED. THIS ENTRANCE SHALL BE BETWEEN THE LIMITS OF DISTURBANCE AND ANY ROAD RIGHT OF WAY.
- ADJACENT PROPERTIES AND RIGHT-OF-WAY SHALL BE KEPT FREE OF MUD AND/OR SEDIMENT-LADEN RUNOFF
-). THE EROSION CONTROL MEASURES SHOWN ON THIS PLAN ARE RECOMMENDED AS A MINIMUM IN ORDER TO CONTROL RUN-OFF. IT IS POSSIBLE THAT MORE STRINGENT MEASURES MAY BE NEEDED AS DETERMINED BY THE CONTRACTOR, PROJECT ENGINEER, AND/OR EROSION CONTROL INSPECTOR. IF IT IS DETERMINED THAT ADDITIONAL RUN-OFF CONTROL IS NEEDED, SUCH MEASURES SHALL BE INSTALLED IMMEDIATELY.
- SHOULD MAINTENANCE ISSUES ARISE, PLEASE CONTACT BROOKE DICKHART AT (919) 247-9333
- 12. CONTRACTOR SHALL LOCATE AND VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING WORK.

EROSION & SEDIMENT CONTROL NARRATIVE

THE PURPOSE OF THIS PROJECT IS TO CLEAR & GRUB AND CONSTRUCT INFRASTRUCTURE FOR 1 SINGLE FAMILY RESIDENTIAL LOT. THE PROPERTY IS PRIVATELY OWNED. SEE OWNER INFORMATION ON EXISTING CONDITIONS PLAN. THE SITE IS CURRENTLY UNDEVELOPED.

THE MAXIMUM FILL WILL BE APPROX. 2 FEET. THIS PROJECT WILL INVOLVE REMOVAL OF TOPSOIL TO CREATE RESIDENTIAL ROADWAY AND INFRASTRUCTURE. THE DISTURBANCE AREA DOES NOT INCLUDE MASS GRADING OF LOTS.

THE PROJECT IS SCHEDULED TO BEGIN CONSTRUCTION IN WINTER 2025 WITH PROJECT COMPLETION AND FINAL STABILIZATION BY FALL 2025. THE EROSION AND SEDIMENT CONTROL PROGRAM FOR THIS PROJECT WILL INCLUDE THE INSTALLATION OF A SUITABLE CONSTRUCTION ENTRANCE, TEMPORARY SILT FENCING, AND SILT FENCE OUTLETS.

ADJACENT PROPERTY OWNERS ARE NOTED ON THE EXISTING CONDITIONS PLAN.

THE SOILS AT THIS SITE ARE PREDOMINATELY URBAN LAND & COMPLEX. SOILS ARE MOSTLY WELL DRAINED WITH Ksat RANGES FROM MODERATELY HIGH TO HIGH. SLOPES ARE LARGELY BETWEEN 2 TO 6% UP TO 10%.

REQUIRED WAKE COUNTY CONSTRUCTION SEQUENCE:

- SCHEDULE A PRECONSTRUCTION CONFERENCE WITH THE ENVIRONMENTAL CONSULTANT, CHARLES PHILLIPS AT 919-604-2156. OBTAIN A LAND-DISTURBING PERMIT.
- CLEAR THE AREA NEEDED TO CONSTRUCT THE PROPOSED CONSTRUCTION ENTRANCES.
- CONSTRUCT THE ENTRANCE AS SHOWN ON THE PLANS. MAINTAIN THE CONSTRUCTION ENTRANCE DAILY TO ENSURE THAT MUD AND SILT WILL NOT BE TRACKED ONTO THE PAVED SURFACE. IF MUD IS TRACKED ONTO THE SURFACE, IT IS TO BE REMOVED IMMEDIATELY.
- CLEAR THE AREA NEEDED TO CONSTRUCT THE REMAINDER OF PERIMETER EROSION CONTROL MEASURES INCLUDING SILT FENCE, AND OTHER MEASURES AS SHOWN ON THE APPROVED PLAN.
- NOTE THAT SEDIMENT BASINS ARE NOT PROPOSED FOR THIS DISTURBANCE. CONTRACTOR SHALL IMMEDIATELY STABILIZE ROADWAY DITCHES UPON GRADING. SEE
- NOTES ON EROSION CONTROL SHEETS FOR ADDITIONAL INFORMATION. CALL CHARLES PHILLIPS FOR AN ONSITE INSPECTION BY THE ENVIRONMENTAL CONSULTANT TO OBTAIN A CERTIFICATE OF COMPLIANCE.
- BEGIN CLEARING AND GRUBBING. MAINTAIN DEVICES AS NEEDED.
- ROUGH GRADE ALL ROADWAYS.
- STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISH GRADE WITH VEGETATION, PAVING, DITCH LININGS, ETC. SEED AND MULCH DENUDED AREAS WITHIN 7 OR 14 DAYS OF COMPLETION OF ANY PHASE OF CONSTRUCTION.
- WHEN CONSTRUCTION IS COMPLETE AND ALL AREAS ARE STABILIZED COMPLETELY, CALL CHARLES PHILLIPS FOR AN INSPECTION BY THE ENVIRONMENTAL
- IF SITE IS APPROVED, REMOVE SILT FENCE, ETC., AND SEED OUT OR STABILIZE ANY RESULTING BARE AREAS, ALL REMAINING PERMANENT EROSION CONTROL DEVICES, SUCH AS VELOCITY DISSIPATORS, SHOULD NOW BE INSTALLED. EXISTING STORM DRAINAGE SYSTEM SHALL BE CLEANED OF ANY SEDIMENT
- WHEN VEGETATION HAS BECOME ESTABLISHED, CALL FOR A FINAL SITE INSPECTION BY THE ENVIRONMENTAL CONSULTANT, CHARLES PHILLIPS. OBTAIN A

DUST CONTROL

VEGETATIVE COVER

FOR DISTURBED AREAS NOT SUBJECT TO TRAFFIC, VEGETATION PROVIDES THE MOST PRACTICAL METHOD OF DUST CONTROL.

WHEN PROPERLY APPLIED, MULCH OFFERS A FAST, EFFECTIVE MEANS OF CONTROLLING DUST.

MAINTENANCE

MAINTAIN DUST CONTROL MEASURES THROUGH DRY WEATHER PERIODS UNTIL ALL DISTURBED AREAS HAVE BEEN STABILIZED.

STOCKPILE NOTES

MAINTENANCE REQUIREMENTS

- SEEDING OR COVERING STOCKPILES WITH TARPS OR MULCH IS REQUIRED AND WILL REDUCE EROSION PROBLEMS. TARPS SHOULD BE KEYED IN AT THE TOP OF THE SLOPE TO KEEP WATER FROM RUNNING UNDERNEATH THE PLASTIC
- IF A STOCKPILE IS TO REMAIN FOR FUTURE USE AFTER THE PROJECT IS COMPLETE (BUILDERS, ETC.), THE FINANCIAL RESPONSIBLE PARTY MUST NOTIFY WAKE COUNTY OF A NEW RESPONSIBLE PARTY FOR THAT STOCKPILE.
- C. THE APPROVED PLAN SHALL PROVIDE FOR THE USE OF STAGED SEEDING AND
- MULCHING ON A CONTINUAL BASIS WHILE THE STOCKPILE IS IN USE. ESTABLISH AND MAINTAIN A VEGETATIVE BUFFER AT THE TOE OF THE SLOPE (WHERE

SEDIMENT & EROSION CONTROLS

IT IS THE CONTRACTORS RESPONSIBILITY TO IMPLEMENT THE EROSION AND SEDIMENT CONTROLS AS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN. IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THESE CONTROLS ARE PROPERLY INSTALLED, MAINTAINED AND FUNCTIONING PROPERLY TO PREVENT POLLUTED WATER FROM LEAVING THE PROJECT SITE. THE CONTRACTOR WILL ADJUST THE EROSION CONTROLS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN AND ADD ADDITIONAL CONTROL MEASURES, AS REQUIRED, TO ENSURE THE SITE MEETS ALL FEDERAL, STATE AND LOCAL EROSION AND SEDIMENT CONTROL REQUIREMENTS. ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES BE TO THE STANDARDS OF THE NC DEPT. OF ENVIRONMENTAL MANAGEMENT - LAND QUALITY SECTION, AND THE WAKE COUNTY LAND DEVELOPMENT CODE, LATEST EDITION.

SILT FENCE (SEDIMENT FENCE): SILT FENCE CAN BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION. SILT FENCES SHALL BE PROVIDED WHERE SHOWN AND AS NEEDED ON THE SITE PLAN. THESE BARRIERS SHALL BE USED TO CONTAIN SEDIMENT.

- SILT FENCE OUTLET: GRAVEL SILT FENCE OUTLETS SHALL BE PROVIDED WHERE SHOWN AND AS NEEDED ON THE SITE PLAN. THESE OUTLETS SHALL BE LOCATED AT ALL LOW POINTS IN A RUN OF SILT FENCE AND USED TO DISCHARGE "CLEAN WATER" OFF-SITE.
- CONSTRUCTION ENTRANCE: CONSTRUCTION TRAFFIC SHALL BE LIMITED TO STABILIZED AREAS. AT A MINIMUM, A TEMPORARY GRAVEL CONSTRUCTION ENTRANCE SHALL BE PROVIDED AS SHOWN ON THIS DRAWING. VEHICLE WHEELS SHALL BE CLEAN WHEN LEAVING THE SITE TO PREVENT THE TRACKING OF MUD ON PAVED ROADS.

TEMPORARY SEEDING: DISTURBED AREAS THAT ARE NOT ANTICIPATED TO BE BROUGHT TO FINAL GRADE FOR A PERIOD OF MORE THAN 7 OR 14 CALENDAR DAYS MUST RECEIVE TEMPORARY SEEDING (SEE NPDES TABLE). A QUICK GROWING GRASS SPECIES, WHICH WILL PROVIDE AN EARLY COVER DURING THE SEASON IN WHICH IT IS PLANTED AND WILL NOT LATER COMPETE WITH THE PERMANENT GRASSING, SHOULD BE USED. TEMPORARY SEEDING SHALL BE PER WAKE COUNTY REQUIREMENTS.

- TEMPORARY GRASSING: THE SEEDED OR SEEDED AND MULCHED AREA(S) SHALL BE ROLLED AND WATERED OR HYDROMULCHED OR OTHER SUITABLE METHODS IF REQUIRED TO ASSURE OPTIMUM GROWING CONDITIONS FOR THE ESTABLISHMENT OF A GOOD GRASS COVER.
- TEMPORARY REGRASSING: IF, AFTER 14 DAYS FROM SEEDING, THE TEMPORARY GRASSED AREAS HAVE NOT ATTAINED A MINIMUM OF 75 PERCENT GOOD GRASS COVER, THE AREA WILL BE REWORKED AND ADDITIONAL SEED APPLIED SUFFICIENT TO ESTABLISH THE DESIRED VEGETATIVE COVER. RESEED AND MULCH BARE SPOTS LARGER
- PERMANENT SEEDING: ALL AREAS WHICH HAVE BEEN DISTURBED BY CONSTRUCTION WILL, AS A MINIMUM, BE SEEDED. PERMANENT SEEDING SHALL BE PER WAKE COUNTY REQUIREMENTS. IF GROWTH IS NOT ESTABLISHED BY FINAL PROJECT INSPECTION, CONTINUE SPECIFIED ATTENTION UNTIL THE STAND OF GRASS IS ACCEPTABLE.

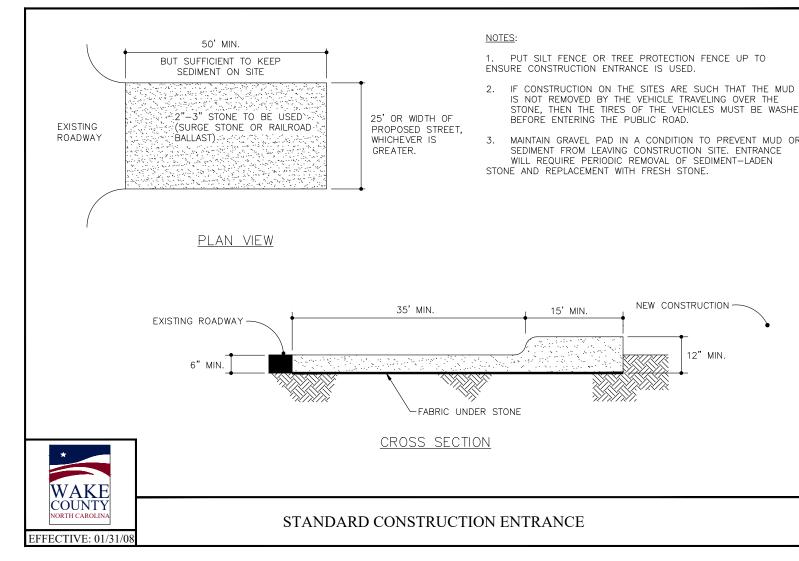
STOCKPILING MATERIAL: NO EXCAVATED MATERIAL SHALL BE STOCKPILED IN SUCH A MANNER AS TO DIRECT RUNOFF DIRECTLY OFF THE PROJECT SITE INTO ANY ADJACENT WATER BODY OR STORM WATER COLLECTION FACILITY. PER NCDWQ CONSTRUCTION GENERAL PERMIT REVISED AUGUST 4, 2011 ALL EARTHEN MATERIAL STOCKPILES MUST BE LOCATED 50' FROM STORM DRAINS AND STREAMS UNLESS NO OTHER REASONABLE ALTERNATIVE IS AVAILABLE.

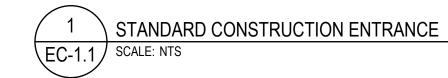
- RIP-RAP OUTLET PROTECTION: ALL RIP-RAP SHALL BE INSTALLED WITH FILTER FABRIC BENEATH.
- SOIL DISPOSAL: DISPOSE OF ALL STOCKPILED MATERIAL TO AN APPROVED PERMITTED WAKE COUNTY DISPOSAL SITE.
- DEWATERING: ALL TRENCH/PIT DEWATERING MUST DISCHARGE TO AN APPROVED S&EC MEASURE OR SILT SACK PRIOR TO LEAVING THE SITE.
- PERMANENT EROSION CONTROL: THE EROSION CONTROL FACILITIES OF THE PROJECT SHOULD BE DESIGNED TO MINIMIZE THE IMPACT ON THE OFFSITE FACILITIES.

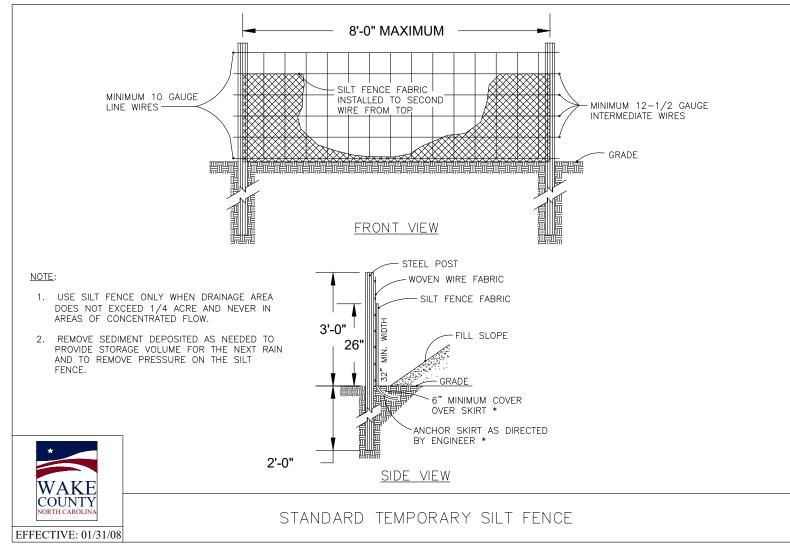
MAINTENANCE/INSPECTION PROCEDURES

THE FOLLOWING ARE INSPECTION AND MAINTENANCE PRACTICES THAT WILL BE USED TO MAINTAIN EROSION AND SEDIMENT CONTROLS.

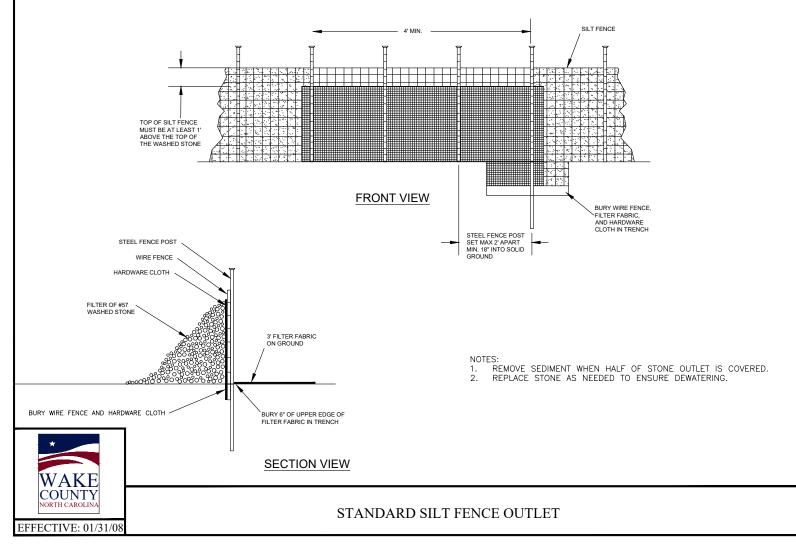
- ALL CONTROL MEASURES WILL BE INSPECTED BY THE SUPERINTENDENT, THE PERSON RESPONSIBLE FOR THE DAY TO DAY SITE OPERATION OR SOMEONE APPOINTED BY THE SUPERINTENDENT, DAILY AND WITHIN 24 HOURS OF EVERY RAINFALL EVENT.
- SILT FENCE & FABRIC INLET PROTECTION: INSPECT FOR DEPTH OF SEDIMENT, TEARS, TO SEE IF THE FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS, AND TO SEE THAT THE FENCE POSTS ARE FIRMLY IN THE GROUND. BUILT UP SEDIMENT WILL BE REMOVED FROM SILT FENCE WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE
- DIVERSION DIKES/SWALES: INSPECT AND ANY BREACHES PROMPTLY REPAIRED. SEDIMENT SHALL BE REMOVED FROM THE FLOW AREA IMMEDIATELY AFTER EACH RAINFALL
- TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT: MAINTAIN THE GRAVEL PAD IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE CONSTRUCTION SITE THIS MAY REQUIRE PERIODIC TOP-DRESSING WITH 2-3" STONE. AFTER A RAINFALL, IMMEDIATELY REMOVE ALL OBJECTIONABLE MATERIALS SPILLED, WASHED, OR TRACKED ONTO ROADWAYS.
- SEEDING, FERTILIZING, AND MULCHING: INSPECT SEEDED AREAS FOR FAILURE AND NECESSARY REPAIRS AND RE-SEEDING SHALL BE MADE WITHIN THE SAME SEASON. TEMPORARY AND PERMANENT SEEDING AND PLANTING WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND HEALTHY GROWTH
- MAINTAIN THE ON-SITE RAIN GAUGE & DATA AND STORMWATER INSPECTION LOG SHEETS. THIS PERMIT INFORMATION MUST BE COLLECTED AND MAINTAINED UNTIL WAKE COUNTY HAS CLOSED THE PROJECT & SURETY HAS BEEN RELEASED.
- THE CONTACT PERSON IS REQUIRED TO MAINTAIN A LOG OF SELF-INSPECTIONS PER REQUIREMENTS AS OUTLINED IN
- NCG01000 PERMIT. THE REPORTS WILL BE KEPT ON SITE DURING CONSTRUCTION AND AVAILABLE UPON REQUEST TO THE
- OWNER, ENGINEER OR ANY FEDERAL, STATE OR LOCAL AGENCY APPROVING SEDIMENT AND EROSION PLANS, OR
- STORMWATER MANAGEMENT PLANS. THIS PERMIT INFORMATION MUST BE COLLECTED AND MAINTAINED UNTIL WAKE COUNTY HAS CLOSED THE PROJECT.
- THE SITE SUPERINTENDENT WILL SELECT UP TO THREE INDIVIDUALS WHO WILL BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE AND REPAIR ACTIVITIES, AND FILLING OUT THE INSPECTION AND MAINTENANCE REPORT
- PERSONNEL SELECTED FOR INSPECTION AND MAINTENANCE RESPONSIBILITIES WILL RECEIVE TRAINING FROM THE SITE. SUPERINTENDENT: THEY WILL BE TRAINED IN ALL THE INSPECTION AND MAINTENANCE PRACTICES NECESSARY FOR KEEPING THE EROSION AND SEDIMENT CONTROLS USED ONSITE IN GOOD WORKING ORDER.
- GROUND STABILIZATION: SOIL STABILIZATION SHALL BE ACHIEVED ON ANY AREA OF A SITE WHERE LAND-DISTURBING ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED ACCORDING TO THE FOLLOWING SCHEDULE:
- ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1) SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS
- PRACTICABLE BUT IN ANY EVENT WITHIN 7 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.
- ALL OTHER DISTURBED AREAS SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS POSSIBLE BUT IN ANY EVENT WITHIN 14 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY











STANDARD SILT FENCE OUTLET SCALE: NTS

CONSTRUCTION DRAWINGS THE JOEL FUND - SDP-24-08 EROSION CONTROL DETAILS I

TOWN OF ROLESVILLE COMMENTS FOR REVIEW ONLY NOT FOR CONSTRUCTION DATE: AUGUST 30, 2024 HORZ. SCALE: ORIG. SHEET SIZE: 24 x 30 FILE NO. 2024-033





205 S. Fuquay Avenue Fuguay-Varina, NC 27526

The Joel Fund 822 S White St. Suite 116 Wake Forrest, NC 27587 919.418.9042 **Contact: Brook Dickhart** email: brooke@joelfund.org



- 1. CHISEL COMPACTED AREAS AND SPREAD TOPSOIL THREE INCHES DEEP OVER ADVERSE SOIL CONDITIONS, IF AVAILABLE.
- RIP THE ENTIRE AREA TO SIX INCHES DEEP.
- 3. REMOVE ALL LOOSE ROCK, ROOTS AND OTHER OBSTRUCTIONS, LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM.
- 4. APPLY AGRICULTURAL LIME, FERTILIZER AND SUPERPHOSPHATE UNIFORMLY AND MIX WITH SOIL (SEE MIXTURE).
- 5. CONTINUE TILLAGE UNTIL A WELL-PULVERIZED, FIRM, REASONABLY UNIFORM SEEDBED IS PREPARED FOUR TO SIX INCHES DEEP. 6. SEED ON A FRESHLY PREPARED SEEDBED AND COVER SEED LIGHTLY WITH SEEDING EQUIPMENT OR CULTIPACK AFTER SEEDING.
- MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH.
- 8. INSPECT ALL SEEDED AREAS AND MAKE NECESSARY REPAIRS OR RESEEDINGS WITHIN THE PLANTING SEASON, IF POSSIBLE. IF STAND SHOULD BE MORE THAN 60% DAMAGED, RE-ESTABLISH FOLLOWING THE ORIGINAL LIME, FERTILIZER AND SEEDING RATES.
- 9. CONSULT S&EC ENVIRONMENTAL ENGINEERS ON MAINTENANCE TREATMENT AND FERTILIZATION AFTER PERMANENT COVER IS

PLANTING RATE

......2 TONS/ACRE (3 TONS/ACRE IN CLAY SOILS) AGRICULTURAL LIMESTONE... FERTILIZER.... ...1,000 LBS/ACRE - 10-10-10 SUPERPHOSPHATE500 LBS/ACRE - 20% ANALYSIS2 TONS/ACRE - SMALL GRAIN STRAW MULCH.....

FOR SHOULDERS, SIDE DITCHES, SLOPES (MAX 3:1)

ANCHOR....

AUG 15 - NOV 1	TALL FESCUE	300 LBS/ACRE
NOV 1 - MAR 1	TALL FESCUE & ABRUZZI RYE	300 LBS/ACRE
MAR 1 - APR 15	TALL FESCUE	300 LBS/ACRE
APR 15-JUN 30	HULLED COMMON BERMUDAGRASS	25 LBS/ACRE

JUL 1- AUG 15 TALL FESCUE AND BROWNTOP 125 LBS/ACRE (TALL FESCUE); 35 LBS/ACRE MILLET OR SORGHUM-SUDAN (BROWNTOP MILLET); 30 LBS/ACRE (SORGHUM-SUDAN HYBRIDS)

...ASPHALT EMULSION AT 300 GALS/ACRE

FOR SHOULDERS, SIDE DITCHES, SLOPES (3:1 TO 2:1):								
DATE MAR 1 - JUN 1	TYPE SERICEA LESPEDEZA (SCARIFIED) AND USE THE FOLLOWING COMBINATIONS:	PLANTING RATE 50 LBS/ACRE (SERICEA LESPEDEZA);						
MAR 1 - APR 15	ADD TALL FESCUE	120 LBS/ACRE						
MAR 1 - JUN 30	OR ADD WEEPING LOVE GRASS	10 LBS/ACRE						
MAR 1 - JUN 30	OR ADD HULLED COMMON BERMUDAGRASS	25 LBS/ACRE						
JUN 1 - SEPT 1	TALL FESCUE AND BROWNTOP MULLET OR SORGHUM-SUDAN HYBRIDS***	120 LBS/ACRE (TALL FESCUE); 35 LBS/ACRE (BROWNTOP MULLET); 30 LBS/ACRE (SORGHUM-SUDAN HYBRIDS)						
SEPT 1 - MAR 1	SERICEA LESPEDEZA (UNHULLED - UNSCARIFIED) AND TALL FESCUE	70 LBS/ACRE (SERICEA LESPEDEZA); 120 LBS/ACRE (TALL FESCUE)						
NOV 1 - MAR 1	AND ABRUZZI RYE	25 LBS/ACRE						

CONSULT S&EC ENVIRONMENTAL ENGINEERS FOR ADDITIONAL INFORMATION CONCERNING OTHER ALTERNATIVES FOR VEGETATION OF DENUDED AREAS. THE ABOVE VEGETATION RATES ARE THOSE THAT DO WELL UNDER LOCAL CONDITIONS; OTHER SEEDING RATE COMBINATIONS ARE POSSIBLE.

*** TEMPORARY: RESEED ACCORDING TO OPTIMUM SEASON FOR DESIRED PERMANENT VEGETATION. DO NOT ALLOW TEMPORARY COVER TO GROW MORE THAN 12" IN HEIGHT BEFORE MOWING; OTHERWISE, FESCUE MAY BE SHADED OUT.



GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH

plementing the details and specifications on this plan sheet will result in the construct activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet

may not apply depending on site conditions and the delegated authority having jurisdiction. SECTION E: GROUND STABILIZATION

	Re	equired Ground Stabi	ization Timeframes
Si	te Area Description	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations
(a)	Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b)	High Quality Water (HQW) Zones	7	None
(c)	Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed
(d)	Slopes 3:1 to 4:1	14	-7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed
(e)	Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless

there is zero slope Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the

surface stable against accelerated erosion until permanent ground stabilization is achieved.

GROUND STABILIZATION SPECIFICATION Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the

chniques in the table below: Temporary Stabilization Temporary grass seed covered with straw or • Permanent grass seed covered with straw or other mulches and tackifiers

other mulches and tackifiers Hydroseeding Geotextile fabrics such as permanent soil Rolled erosion control products with or reinforcement matting without temporary grass seed Hydroseeding Appropriately applied straw or other mulch
 Shrubs or other permanent plantings covered. with mulch Plastic sheeting • Uniform and evenly distributed ground cover sufficient to restrain erosion Structural methods such as concrete, asphalt or

retaining walls

POLYACRYLAMIDES (PAMS) AND FLOCCULANTS Select flocculants that are appropriate for the soils being exposed during

- construction, selecting from the NC DWR List of Approved PAMS/Flocculants. Apply flocculants at or before the inlets to Erosion and Sediment Control Measures Apply flocculants at the concentrations specified in the NC DWR List of Approved
- PAMS/Flocculants and in accordance with the manufacturer's instructions. Provide ponding area for containment of treated Stormwater before discharging
- Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures

EQUIPMENT AND VEHICLE MAINTENANCE

- Maintain vehicles and equipment to prevent discharge of fluids. Provide drip pans under any stored equipment. Identify leaks and repair as soon as feasible, or remove leaking equipment from the
- Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible). Remove leaking vehicles and construction equipment from service until the problem
- has been corrected. Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum product
- to a recycling or disposal center that handles these materials

LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE

- Never bury or burn waste. Place litter and debris in approved waste containers. Provide a sufficient number and size of waste containers (e.g dumpster, trash receptacle) on site to contain construction and domestic wastes. Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland. Cover waste containers at the end of each workday and before storm events or
- provide secondary containment. Repair or replace damaged waste containers. Anchor all lightweight items in waste containers during times of high winds.
- . Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow. Dispose waste off-site at an approved disposal facility. 9. On business days, clean up and dispose of waste in designated waste containers.

PAINT AND OTHER LIQUID WASTE

- Do not dump paint and other liquid waste into storm drains, streams or wetlands. Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Contain liquid wastes in a controlled area. Containment must be labeled, sized and placed appropriately for the needs of site.
- Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

ORTABLE TOILETS

- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot
- offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags. Provide staking or anchoring of portable toilets during periods of high winds or in high
- Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

- EARTHEN STOCKPILE MANAGEMENT Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably
- Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile. Provide stable stone access point when feasible
- Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.



3.CONCRETE VASHOUT STRUCTURE NEEDS TO BE CLEARY MARKED WITH SIGNAGE MOTING DEVICE. SCINCRETE VASHOUT STRUCTURE NEEDS TO BE CLEARY HARRED VI SIGNAGE HOTING DEVICE.

CONCRETE WASHOUTS

- Do not discharge concrete or cement slurry from the site. Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
- Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within
- lot perimeter silt fence. Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two
- types of temporary concrete washouts provided on this detail. Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or
- discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project Locate washouts at least 50 feet from storm drain inlets and surface waters unless it
- can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive
- Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the
- approving authority. Install at least one sign directing concrete trucks to the washout within the project
- limits. Post signage on the washout itself to identify this location. Remove leavings from the washout when at approximately 75% capacity to limit
- overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions. D. At the completion of the concrete work, remove remaining leavings and dispose of

in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

HERBICIDES, PESTICIDES AND RODENTICIDES

- . Store and apply herbicides, pesticides and rodenticides in accordance with label
- Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of
- accidental poisoning. Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.

4. Do not stockpile these materials onsite.

Create designated hazardous waste collection areas on-site.

Place hazardous waste containers under cover or in secondary containment. 3. Do not store hazardous chemicals, drums or bagged materials directly on the ground.

EFFECTIVE: 04/01/19

Rolled erosion control products with grass seed

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections

SELF-INSPECTION, RECORDKEEPING AND REPORTING

Inspect	Frequency (during normal business hours)	Inspection records must include:					
(1) Rain gauge	Daily	Daily rainfall amounts.					
maintained in		If no daily rain gauge observations are made during weekend or					
good working		holiday periods, and no individual-day rainfall information is					
order		available, record the cumulative rain measurement for those un-					
		attended days (and this will determine if a site inspection is					
		needed). Days on which no rainfall occurred shall be recorded as					
		"zero." The permittee may use another rain-monitoring device					
		approved by the Division.					
(2) E&SC	At least once per	Identification of the measures inspected,					
Measures	7 calendar days	2. Date and time of the inspection,					
	and within 24	Name of the person performing the inspection,					
	hours of a rain	4. Indication of whether the measures were operating					
	event > 1.0 inch in	properly,					
	24 hours	5. Description of maintenance needs for the measure,					
		6. Description, evidence, and date of corrective actions taken.					
(3) Stormwater	At least once per	Identification of the discharge outfalls inspected,					
discharge	7 calendar days	Date and time of the inspection,					
outfalls (SDOs)	and within 24	Name of the person performing the inspection,					
	hours of a rain	Evidence of indicators of stormwater pollution such as oil					
	event > 1.0 inch in	sheen, floating or suspended solids or discoloration,					
	24 hours	5. Indication of visible sediment leaving the site,					
		6. Description, evidence, and date of corrective actions taken.					
(4) Perimeter of	At least once per	If visible sedimentation is found outside site limits, then a record					
site	7 calendar days	of the following shall be made:					
	and within 24	1. Actions taken to dean up or stabilize the sediment that has left					
	hours of a rain	the site limits,					
	event ≥ 1.0 inch in	2. Description, evidence, and date of corrective actions taken, and					
	24 hours	An explanation as to the actions taken to control future releases.					
(5) Streams or	At least once per	If the stream or wetland has increased visible sedimentation or a					
wetlands onsite	7 calendar days	stream has visible increased turbidity from the construction					
or offsite	and within 24	activity, then a record of the following shall be made:					
(where	hours of a rain	Description, evidence and date of corrective actions taken, and					
accessible)	event ≥ 1.0 inch in	Records of the required reports to the appropriate Division					
	24 hours	Regional Office per Part III, Section C, Item (2)(a) of this permit.					
(6) Ground	After each phase	The phase of grading (installation of perimeter E&SC					
stabilization	of grading	measures, clearing and grubbing, installation of storm					
measures		drainage facilities, completion of all land-disturbing					
		activity, construction or redevelopment, permanent					
		ground cover).					
		Documentation that the required ground stabilization measures have been provided within the required.					

timeframe or an assurance that they will be provided as

properly sited, designed and maintained dewatering tanks, weir tanks, and filtration systems,

SECTION B: RECORD KEEPING E&SC Plan Documentat

NCG01 GROUND STABILIZATION AND MATERIALS HANDLING

The approved E&SC plan as well as any approved deviation shall be kept on the site. The approved E&SC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&SC plan shall be kept on site and available for

SELF-INSPECTION, RECORDKEEPING AND REPORTING

inspection at all times during normal business hours. Item to Document Documentation Requirements) Fach F&SC measure has been installed I Initial and date each F&SC measure on a cou and does not significantly deviate from the of the approved E&SC plan or complete, date locations, dimensions and relative elevations and sign an inspection report that lists each shown on the approved E&SC plan. E&SC measure shown on the approved E&SC plan. This documentation is required upon the initial installation of the E&SC measures or if

the E&SC measures are modified after initial (b) A phase of grading has been completed. Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate completion of the nstruction phase (c) Ground cover is located and installed Initial and date a copy of the approved E&SC in accordance with the approved E&SC plan or complete, date and sign an inspection

report to indicate compliance with approved ground cover specifications. mplete, date and sign an inspection report requirements for all E&SC measures have been performed. (e) Corrective actions have been taken Initial and date a copy of the approved E&S to E&SC measures. report to indicate the completion of the corrective action. 2. Additional Documentation to be Kept on Site

In addition to the E&SC plan documents above, the following items shall be kept on the site and available for inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

(a) This General Permit as well as the Certificate of Coverage, after it is received. (b) Records of inspections made during the previous twelve months. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records. 3. Documentation to be Retained for Three Years

All data used to complete the e-NOI and all inspection records shall be maintained for a period NOTE: The rain inspection resets the required 7 calendar day inspection requirement. of three years after project completion and made available upon request. [40 CFR 122.41]

PART II, SECTION G, ITEM (4) DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT

- Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down for maintenance or close out unless this is infeasible. The circumstances in which it is not feasible to withdraw water from the surface shall be rare (for example, times with extended cold weather) Non-surface withdrawals from sediment basins shall be allowed only when all of the following criteria have been met:
- (a) The E&SC plan authority has been provided with documentation of the non-surface withdrawal and the specific time periods or conditions in which it will occur. The non-surface withdrawal shall not commence until the E&SC plan authority has approved these items (b) The non-surface withdrawal has been reported as an anticipated bypass in accordance with Part III, Section C, Item (2)(c) and (d) of this permit, (c) Dewatering discharges are treated with controls to minimize discharges of pollutants from stormwater that is removed from the sediment basin. Examples of appropriate controls include
- (d) Vegetated, upland areas of the sites or a properly designed stone pad is used to the extent feasible at the outlet of the dewatering treatment devices described in Item (c) above, (e) Velocity dissipation devices such as check dams, sediment traps, and riprap are provided at the discharge points of all dewatering devices, and (f) Sediment removed from the dewatering treatment devices described in Item (c) above is disposed of in a manner that does not cause deposition of sediment into waters of the United States

SELF-INSPECTION, RECORDKEEPING AND REPORTING

(b) Oil spills if:

health or the

environment[40

- 1. Occurrences that Must be Reported Permittees shall report the following occurrences:
- (a) Visible sediment deposition in a stream or wetland.
- They are 25 gallons or more, They are less than 25 gallons but cannot be cleaned up within 24 hours,
- They cause sheen on surface waters (regardless of volume), or They are within 100 feet of surface waters (regardless of volume).
- c) Releases of hazardous substances in excess of reportable quantities under Section 311
- of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.
- (d) Anticipated bypasses and unanticipated bypasses.
- (e) Noncompliance with the conditions of this permit that may endanger health or the

2. Reporting Timeframes and Other Requirement After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be

reported to the Department's Environmental Emergency Center personnel at (800)

Reporting Timeframes (After Discovery) and Other Requirements (a) Visible sediment • Within 24 hours, an oral or electronic notification. deposition in a Within 7 calendar days, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis. • If the stream is named on the NC 303(d) list as impaired for sedimentrelated causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance

with the federal or state impaired-waters conditions. (b) Oil spills and Within 24 hours, an oral or electronic notification. The notification release of shall include information about the date, time, nature, volume and location of the spill or release. substances per Iter 1(b)-(c) above A report at least ten days before the date of the bypass, if possible (c) Anticipated

The report shall include an evaluation of the anticipated quality and 122.41(m)(3)] effect of the bypass. (d) Unanticipated Within 24 hours, an oral or electronic notification bypasses [40 CFR • Within 7 calendar days, a report that includes an evaluation of the quality and effect of the bypass. Within 24 hours, an oral or electronic notification. with the conditions of this permit that noncompliance, and its causes; the period of noncompliance,

Within 7 calendar days, a report that contains a description of the including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent reoccurrence of the noncompliance. [40 CFR 122.41(I)(6). Division staff may waive the requirement for a written report on a case-by-case basis.

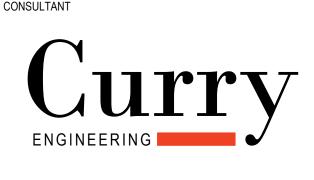


NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING

EFFECTIVE: 04/01/19

TOWN OF ROLESVILLE COMMENTS FOR REVIEW ONLY NOT FOR CONSTRUCTION DATE: AUGUST 30, 2024 HORZ. SCALE: FILE NO. 2024-033 ORIG. SHEET SIZE: 24 x 36

PROFESSIONAL'S SEAL PRELIMINARY FOR REVIEW ONLY





205 S. Fuquay Avenue Fuguay-Varina, NC 27526

The Joel Fund 822 S White St, Suite 116 Wake Forrest, NC 27587 919.418.9042 **Contact: Brook Dickhart** email: brooke@joelfund.org

CONSTRUCTION DRAWINGS THE JOEL FUND - SDP-24-08 EROSION CONTROL DETAILS II

Project Name		Land Quality or Local Program Project/Permit #	
Approving Authority	Date of Plan Approval	Expiration Date, if applicable	
NCG010000 Certificate of Coverage Number		Date of COC Issuance	
Coverage under the NC	CG010000 permit must be renewed annually, if issued after	April 1, 2019 until Notice of Termination is filed and a	approved.

PART 1A: Rainfall Data	
	Rain Amount (inches) Daily Rainfall Required. If no rain,
	indicate with a "zero"
М	
Т	
W	
Th	
F	
Sat (Inspection Optional)	
Sun (Inspection Optional)	

PART 1B: Phase(s) of the Plan	
Check ALL applicable box(es) that apply to completed & current phases	х
Initial installation of erosion and sediment control measures	
Clearing and grubbing of existing ground cover	
Completion of any grading that requires ground cover	
Completion of all land-disturbing activity, construction or development	
Permanent ground cover sufficient to restrain erosion has been established	

Are there any site or project conditions that limit completion of inspection? If yes, explain conditions and areas of site that were inaccessible.

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PART 2: STORMWATER PLANS AND CONTROLS: For each question below, mark the corresponding box as Yes, No or N/A. For all items marked "No", note in Part 3A the Reference letter and provide the Corrective Action and location of the deficiency, the original date noted, and the date it was noted as being

Reference	Part 2A: Storm Water Plans and Related Documents	Yes	No	N/A
Α	Is the approval letter or certificate, COC and a copy of the NPDES Construction General Permit (CGP) on site? (Readily available electronic copy of CGP is acceptable)			
В	Is the approved plan on site and current?			
Reference	Part 2B: Stormwater Pollutant Controls	Yes	No	N/A
С	Are erosion and sediment controls that are shown on the approved plan installed and operating properly with no repairs needed?			
D	Are stormwater controls that are shown on the approved plan installed and operating properly with no repairs needed?			
E	Vehicle Tracking: Are construction entrances operating properly with no repairs needed?			
F	Soil Stabilization: Are areas of the site where construction activities have ceased been properly stabilized within the required timeframes?			
G	Are earthen stockpiles stabilized or otherwise protected from sediment loss, and located at least 50 feet away or downhill from drain inlets and surface waters?			
Reference	Part 2C: Non-Storm Water Pollutant Controls	Yes	No	N/A
Н	Concrete, stucco, paint, etc. washouts: Are washouts installed, properly located, posted and operating with no repairs needed?			
I	Solid & hazardous wastes: Are trash, debris, and hazardous materials properly managed?			
J	Sanitary waste: Are portable toilets properly located and operating with no visible repairs needed?			
K	Equipment and stored fluids: Are fuels, lubricants, hydraulic fluids, etc. contained so as not to enter surface and ground waters?			
	Report oil spills and the release of hazardous substances to the appropriate DEQ Regional Office via pl within 24 hours of discovery. https://deq.nc.gov/contact/regional-offices	none call	or email	•

amount of sediment that has left the site and/or entered waters, apparent causes of the sediment loss, and what corrective actions need to be taken to prevent

Reference	Part 2D: Sedimentation	Yes	No	N/A
L	Are sediment or other pollutants noted beyond the approved or permitted limits of disturbance?			
M	Are BMPs detected as releasing sediment or other pollutants into receiving waters?			
	Report visible sedimentation into streams or wetlands to the appropriate DEQ Regional Office via pho within 24 hours of discovery. https://deq.nc.gov/contact/regional-offices	ne call or	email	

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PART 3A: EROSION AND SEDIMENTATION CONTROL MEASURES: Measures must be inspected at least ONCE PER 7 CALENDAR DAYS AND WITHIN 24 HOURS OF A RAINFALL EVENT EQUAL TO OR GREATER THAN 1.0 INCH PER 24 HOUR PERIOD. Add rows as needed.

ontrol Meas	ures	Inspection Date	Describe Actions Needed Corrective actions should be performed as soon as possible and before the next storm event	Date Previous Action(s) Observed as Corrected
Reference(s)	Operating Properly? (Y/N)			
				onal Office
	Reference(s)	Reference(s) Operating Properly? (Y/N)	Reference(s) Operating Properly? (Y/N) non-compliance conditions that may e	Reference(s) Operating Properly? Inspection Date Describe Actions Needed Corrective actions should be performed as soon as possible and before the next storm event

PART 3B: STORMWATER DISCHARGE OUTFALLS (SDOs): SDOs must be inspected at least ONCE PER 7 CALENDAR DAYS AND WITHIN 24 HOURS OF A RAINFALL EVENT EQUAL TO OR GREATER THAN 1.0 INCH PER 24 HOUR PERIOD. Add rows as needed.

Stormwa	ter Dischar	ge Outfalls	Inspe	cted	Inonaction		Date Previous
Stormwater Discharge Outfall ID or Location	Any Visible Sedimentation in Streams, Wetlands or Outside Site Limits? (Y/N)	Any Increase in Stream Turbidity from Discharge? (Y/N)	Visible Erosion below	Any visible oil sheen, floating or suspended solids or discoloration? (Y/N)	Inspection Date	Describe Actions Needed Corrective actions should be performed as soon as possible and before the next storm event	Action(s) Observed as Corrected

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_	PART 3C: GROUND STABILIZATION	: Must be	recorded, at	a minimum, a	fter each ph	ase. Add ro	ws as needed.	
	Site area description and location where construction activities have temporarily or permanently ceased	Time Limit for Ground Cover (see table below)	Have stabilization measures been installed?	Temporary or Permanent Stabilization (T/P)	Is Ground Cover Sufficient to Restrain Erosion? (Y/N)	Original Inspection Date	Describe Actions Needed Corrective actions should be performed as soon as possible and before the next storm event	Date Previous Action(s Observed as Corrected

	GRO	OUND STABILIZATION TIMEFRAMES	
Site Area Description	Stabilization	Timeframe Variations	
Perimeter dikes, swales and slopes	7 Days	None	
High Quality Water (HQW) Zones	7 Days	None	
Slopes Steeper than 3:1	7 Days	7 days for perimeter dikes, swales, slopes and HWQ zones	
		14 days for slopes 10 ft or less in length and not steeper than 2:1	
		10 days for Falls Lake Watershed	
Slopes 3:1 to 4:1	14 Days	7 days for perimeter dikes, swales, slopes and HWQ zones	
		7 days for slopes greater than 50 ft in length	
		10 days for Falls Lake Watershed	
All other areas with slopes flatter than 4:1	14 Days	7 days for perimeter dikes, swales, slopes and HWQ zones	
·		10 days for Falls I ake Watershed	

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PART 3D: NEW OR REVISED MEASURES: Erosion and sedimentation control measures omitted or installed, at a minimum since the last inspection, shall be documented here or by initialing and dating each measure or practice shown on a copy of the approved erosion and sedimentation control plan. Alterations and relocations of measures shall also be documented if they significantly deviate from the approved plan. The removal of measures should also be documented. List dimensions of measures such as Sediment Basins and Dissipator Pads. Add rows as needed. Corrective actions should be included in Part 3A.

Measure ID or Location and Description	Proposed Dimensions (ft.)	Actual Dimensions (ft.)	Significant Deviation* from Plan? (Y/N)	Date measure observed as installed, altered, relocated or removed	Installed (I) Altered (A) Relocated (R) Removed (X)

*Significant deviation means any omission, alteration or relocation of an erosion or sedimentation control measure that prevents it from performing as intended.

T 4. Signatura of Inc.	naata				
T 4: Signature of Inspector Financially Responsible Party (FRP) / Permittee		<u>ur</u>		County	
INSPECTOR		Name	Employer		
nspector Type (Mark)	Х	Address			
RP/Permittee					
Agent/Designee		Phone Number	Email Address		
By this signature, I co	ertify	in accordance with the NCG010000 permit & G.S. 11	3A-54.1 that this report is ac	curate and co	mplete to the best of my knowledge.
inancially Responsible Party / Permittee or Agent / Designee			Date & Time of Inspection		

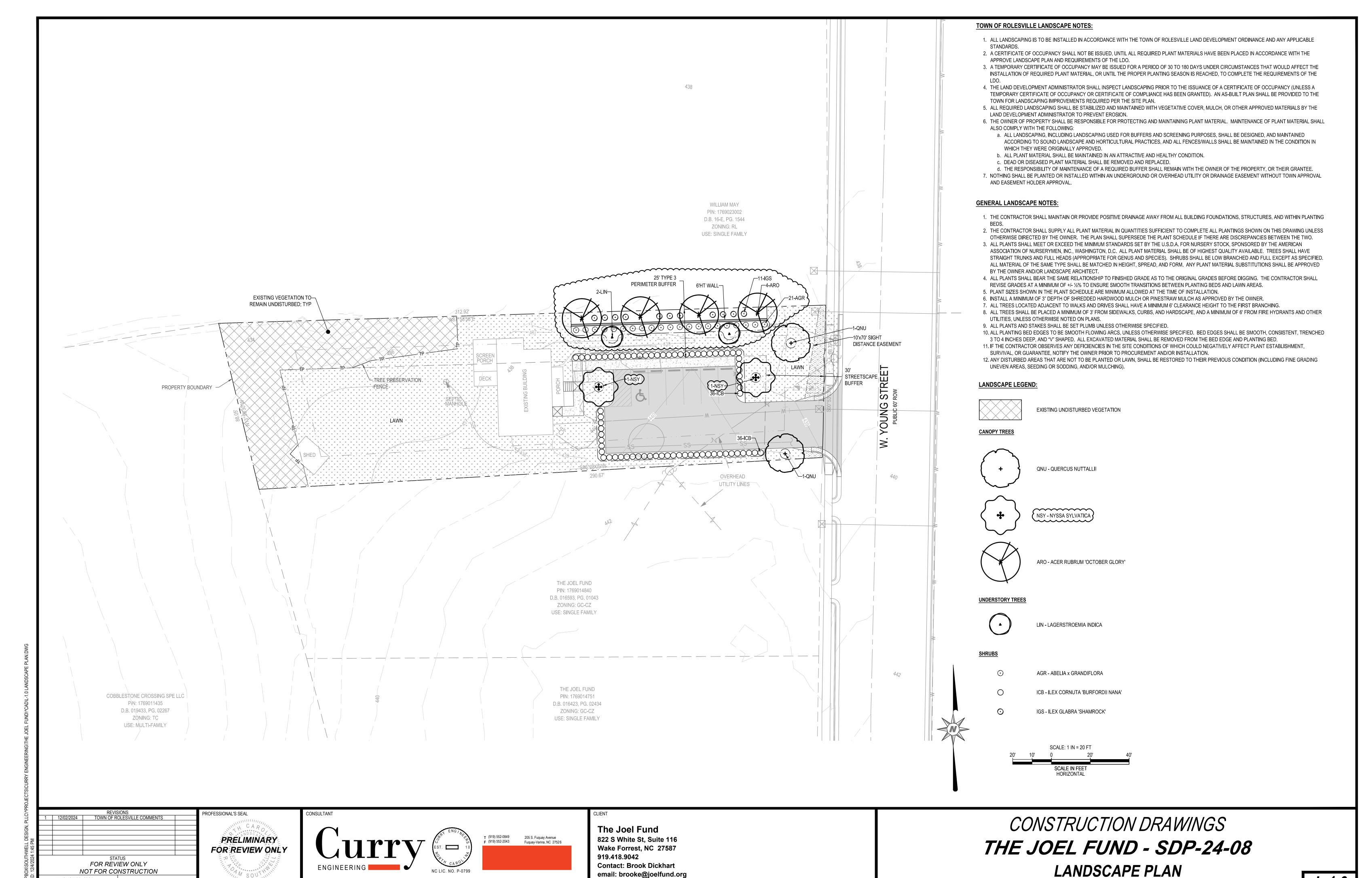
PRELIMINARY FOR REVIEW ONLY FOR REVIEW ONLY NOT FOR CONSTRUCTION DATE: AUGUST 30, 2024 FILE NO. 2024-033 ORIG. SHEET SIZE: 24 x 36

T (919) 552-0849 205 S. Fuquay Avenue F (919) 552-2043 Fuquay-Varina, NC 27526

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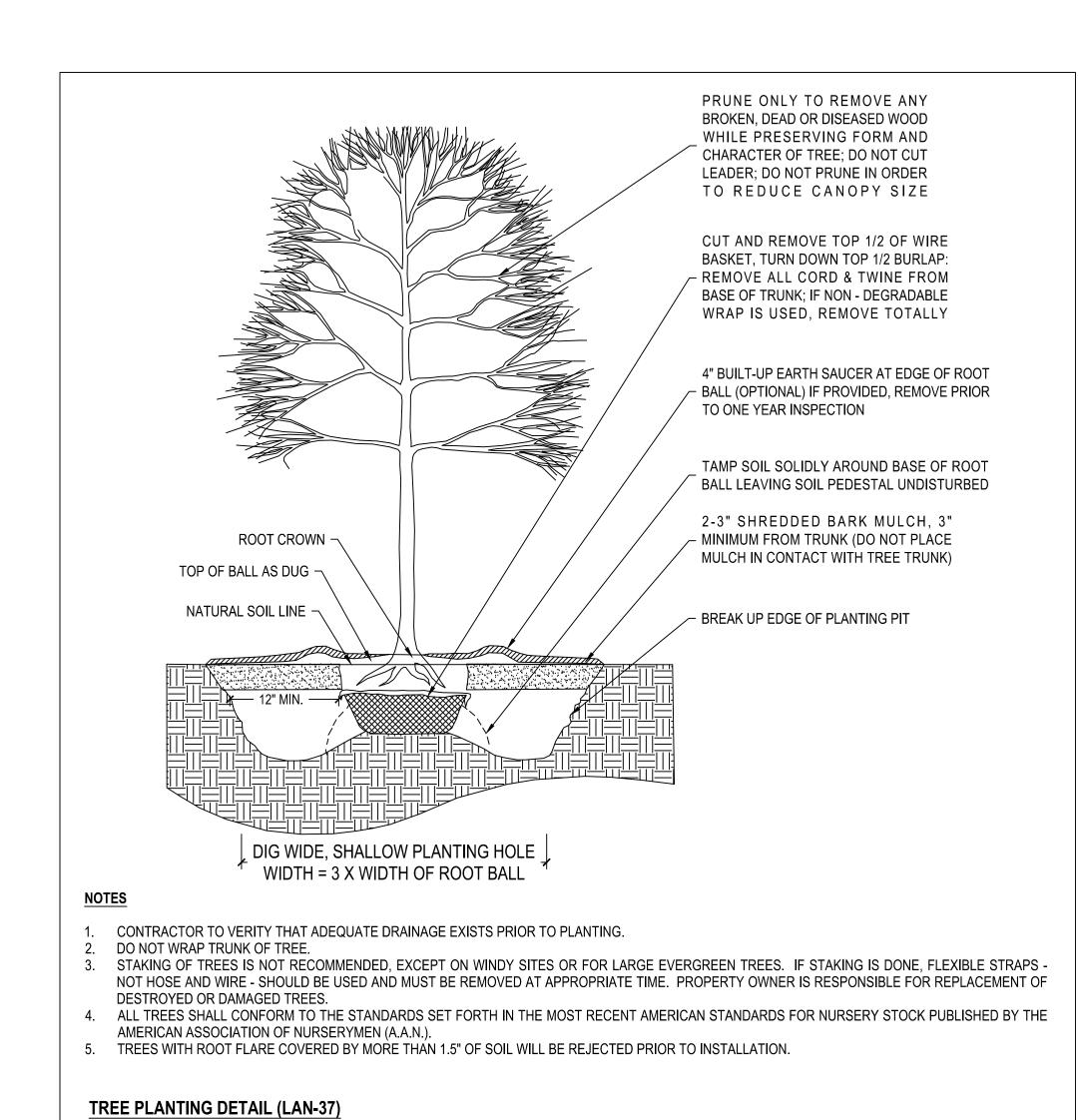


DATE: AUGUST 30, 2024

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	PLANT SCHEDULE								
KEY	QTY	BOTANICAL NAME	COMMON NAME	ROOT	CALIPER (MINIMUM)	HEIGHT (MINIMUM)	TYPE	USE	NOTES
CANOPY TRI	CANOPY TREES								
ARO	4	Acer rubrum 'October Glory'	October Glory® Red Maple	B&B	2"	8'	D	PERIMETER BUFFER	MATCHED
QNU		Quercus nuttallii	Nuttall Oak	B&B	2.5"	8'		STREETSCAPE BUFFER	MATCHED
NSY	2	Nyssa sylvatica	Black Gum	B&B	2"	8'	П	PARKING LOT	MATCHED }
UNDERSTOR	RY TREES		- India Garin						
LIN	2	Lagerstroemia indica	Crape Myrtle	B&B	1"	8'	D		MATCHED
SHRUBS	~~~								
AGR	21	Abelia x grandiflora	Glossy Abelia	CONT.		18"	Е	PERIMETER BUFFER	MATCHED
ICB	72	llex cornuta 'Burfordii Nana'	Dwarf Burford Holly	CONT.		18"	Е	PARKING LOT / PERIMETER BUFFER	MATCHED
IGS	11	lex glabra 'Shamrock'	Shamrock Inkberry Holly	CONT.		18"	Е	PERIMETER BUFFER	MATCHED
									_
TYPE / USE I	LEGEND								
PLANT TYPE:	E = EVERGR	REEN / D = DECIDUOUS / SE = SEN	MI-EVERGREEN / H = HERBACEOUS						

		SET TOP OF ROOT
		BALL 1"-2" ABOVE FINISHED GRADE
	P DOWN INTO ¬ FTOP OF BALL	∠ 2-3" SHREDDED BARK
FLUSH WITH FI	NISHED GRADE \	/ MULCH-DO NOT PLACE
		AGAINST TRUNK
DAOKELL AMEND TI	\ \ 	
BACKFILL: AMEND TH INCORPORATING 1" - 1.5	" COMPOSTED \ \	CONTAINER GROWN PLANT - PULL ROOTS OUT
GROUND BARK OR OTH ORGANIC MATTER OR PROV	1 1	OF BALL, OR CUT SIDES
WITH A MINUMUM OF 5%	HUMIC MATTER	
		FIRM PEDESTAL UNDER ROOT BALL
	MANAMAN NA SANAMAN NA SANAMANANAN NA SANAMAN NA SANAMANANAN NA SANAMAN NA SANAMANANAN NA SANAMAN NA SANAMAN NA SANAMAN NA SANAMAN NA SANAMAN NA	
BREAK UP EDGE		12"
OF PLANTING PIT		(SEE * NOTE BELOW)
		* 12" DEEP-CULTIVATE ENTIRE PLANTING AREA AS SINGLE BED WHEN PLANTING MULTIPLES (FOR LARGER SHRUB ROOT BALLS,
		MAKE 4" DEEPER THAN ROOT BALL)
NOTES		
1. ALL SHRUBS SHALL CON	IFORM TO THE STANDARDS SET FORTH	IN THE MOST RECENT AMERICAN STANDARDS FOR NURSERY STOCK
PUBLISHED BY THE AME	RICAN ASSOCIATION OF NURSERYMEN (A	A.A.N.).
	E OBTAINED PRIOR TO PLANTING. SOIL S F BEDS IS HIGHLY PREFERRED TO INDIVI	

LANDSCAPE CALCULATIONS:

REQUIREMENTS: 25' TYPE 3

4 CANOPY TREES PER 100 LF 2 UNDERSTORY TREES PER 100 LF

60 SHRUBS PER 100 LF

______ 101.33 LF REQUIRED 4 CANOPY TREES 2 UNDERSTORY TREES

61 SHRUBS 6'HT WALL PROVIDED 4 CANOPY TREES 2 UNDERSTORY TREES

61 SHRUBS

STREET BUFFERS

REQUIREMENTS: 30' STREETSCAPE BUFFER 1 CANOPY TREE PER 40 LF

78.56 LF STREETSCAPE BUFFER REQUIRED 2 CANOPY TREES PROVIDED 2 CANOPY TREES

PARKING LOT LANDSCAPING

PROVIDED

REQUIREMENTS: 1 CANOPY TREE PER TERMINAL ISLAND CONTINUOUS EVERGREEN PERIMETER PLANTING @ 3' O.C.

REQUIRED 2 CANOPY TREES

CONTINUOUS EVERGREEN PERIMETER PLANTING @ 3' O.C.

2 CANOPY TREES CONTINUOUS EVERGREEN PERIMETER PLANTING @ 3' O.C.

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PLANT TYPE:	F = FVFRGRI	FEN / D = DECIDUOUS / SE = SEM	II-EVERGREEN / H = HERBACEOUS								

PRELIMINARY

FOR REVIEW ONLY

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