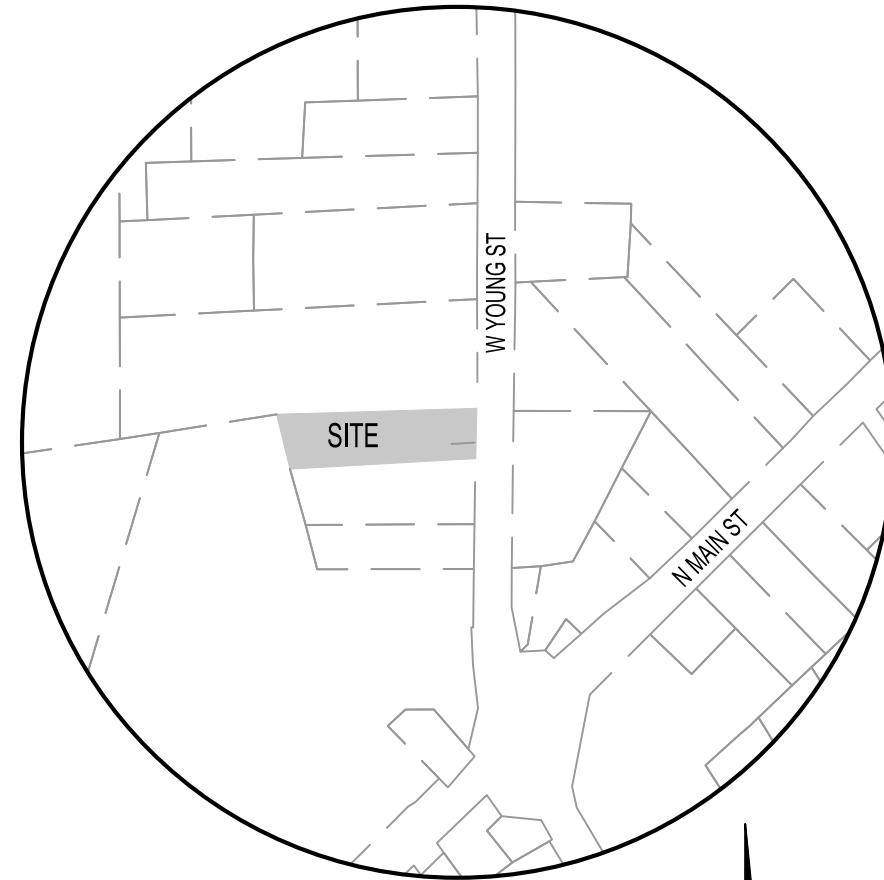


# THE JOEL FUND

## TOWN OF ROLESVILLE WAKE COUNTY, NORTH CAROLINA SITE DEVELOPMENT PLAN SUBMITTAL

TOWN OF ROLESVILLE PROJECT # SDP-24-08

1ST SUBMITTAL TO TOWN OF ROLESVILLE FOR REVIEW: SEPTEMBER 18, 2024  
2ND SUBMITTAL TO TOWN OF ROLESVILLE FOR REVIEW: DECEMBER 2, 2024



**VICINITY MAP**  
SCALE: 1" = 300'

### DRAWING INDEX

- C-0.0 COVER**
- C-1.0 EXISTING CONDITIONS & DEMOLITION PLAN**
- C-2.0 SITE PLAN**
- C-3.0 UTILITY & DRAINAGE PLAN**
- C-4.0 SITE DETAILS**
- C-4.1 SITE DETAILS**
- C-4.2 UTILITY DETAILS**
- EC-1.0 EROSION CONTROL PLAN**
- EC-1.1 EROSION CONTROL DETAILS I**
- EC-1.2 EROSION CONTROL DETAILS II**
- EC-1.3 EROSION CONTROL DETAILS III**
- L-1.0 LANDSCAPE PLAN**
- L-2.0 LANDSCAPE DETAILS**

<b>SITE INFORMATION:</b>	
LOCATION:	115 W YOUNG STREET ROLESVILLE, NC 27571
COUNTY:	WAKE COUNTY
PARENT PIN:	1769014849
DB/PG:	019630/02036
ZONING:	GC-CZ - GENERAL COMMERCIAL CONDITIONAL ZONING PER REZ-23-07 APPROVED ON 05/07/2024
ACREAGE:	0.57 AC
<b>BUILDING SETBACK MINIMUMS:</b>	
FRONT:	20'
SIDE:	15'
REAR:	35'
STREET YARD BUFFER:	30'
<b>BUILDING DATA:</b>	
PROPOSED USE:	PROFESSIONAL OFFICE
<b>OFF-STREET PARKING:</b>	
COMMERCIAL SPECIFICATION:	2/1000 SQ FT
BLDG SQ FT:	1,325 SQ FT
REQUIRED PARKING:	3 PARKS
PROVIDED PARKING:	5 STANDARD 1 VAN ACCESSIBLE H/C
TOTAL PARKS:	5+1= 6 PARKS
<b>IMPERVIOUS AREAS:</b>	
TOTAL EXISTING IMPERVIOUS:	7,673 SQ FT (0.18 AC)
TOTAL PROPOSED IMPERVIOUS:	8,438 SQ FT (0.19 AC)

**EXHIBIT A**  
REZ-23-07 / 111, 113, 115 W. Young Street --- LDO Table 5.1 Permitted Principal Use Table.

- The General Commercial (GC) District Permits 48 total Zoning Uses - 40 are Permitted By-right, while 8 Require a Special Use Permit approval by Town BOC.
- The Property shall be governed by the below modified list of Permitted Uses - Prohibiting 20 and thereby Permitting 24 By-right, and 4 by Special Use Permit.

PERMITTED - 24											
RESIDENTIAL	CIVIC	COMMERCIAL	OFFICE/MEDICAL	INDUSTRIAL	INFRASTRUCTURE	RESIDENTIAL	CIVIC	COMMERCIAL	OFFICE/MEDICAL	INDUSTRIAL	INFRASTRUCTURE
Dwelling, Upper-story Unit	Assembly / Church / Cultural Facility	Public Safety Facility	Eating Establish.	Event Center	Retail Sales & Service - Neighborhood	Dental Facility	Artisanal Manufacturing	Minor Utility			
	Govt. Office	Parks / Public Recreation	Funeral Home	Recreation, Indoor	Retail Sales & Service - Community	Medical Facility	Major Utility				
	Lodge or Private Club	Preserved Open Space	Recreation, Outdoor	Recreation, Outdoor	Professional Office	Minor Transportation Installation	Water Storage Tank				

**Permitted by Special Use Permit - 4**

RESIDENTIAL	CIVIC	COMMERCIAL	OFFICE/MEDICAL	INDUSTRIAL	INFRASTRUCTURE
	Social Services	Lodging			Major Transportation Installation
					Tollway Tower

**PROHIBITED - 20**

RESIDENTIAL	CIVIC	COMMERCIAL	OFFICE/MEDICAL	INDUSTRIAL	INFRASTRUCTURE
College/University	Schools K-12	Bank	Commercial Parking	Golf Course	Animal Care
Day Care		Bars and Nightclubs	Carwash	Retail Sales & Service - Shopping Center	Hospital
		Breweries and Distilleries	Gas Station	Tattoo Establishment	Fulfillment Center
		Vehicle Repair and Sales	Vehicle, Minor Service	Vape & Tobacco Store	

**REZ-23-07, W. Young Street, Conditions of Approval, April 29, 2024**

- The proposed General Commercial (GC/CZ) District shall allow Principal Uses per Exhibit A. (Uses Permitted, Uses by Special Use Permit, Uses Prohibited).
- No more than seven (7) upper-story dwelling units shall be permitted on the Property.
- Nonresidential uses shall not be less than 5,000 square feet of gross floor area, and shall not exceed 30,000 square feet of gross floor area.
- A traffic impact analysis shall be required for a Site Development Plan that includes at least 20,000 square feet of gross floor area of Office and Medical Uses as defined in LDO Section 5.1.L.
- No demolition permit for the existing home at 113 W. Young Street (PIN 1769-01-4840) (Deed Book 16593, Page 1043, Wake County Registry) shall be filed within 365 days following approval of REZ-23-07.
- Prior to the submittal of a demolition permit for the removal of the single-family home at 113 W. Young Street (PIN 1769-01-4840), the Development shall document the existing structure through photographs and detailed exterior elevation drawings. The Development shall send the documentation to the Town of Rolesville Planning Department and Board of Commissioners. Prior to the demolition, the Development will allow any non-profit entity, individual, or for-profit entity to relocate any of the existing single-family home at no cost to the Development and without payment to the Development, so long as the party relocating the single-family home is solely responsible for the relocation, including without limitation, securing all permits and approvals required by law. The Development will provide general public notice in the News & Observer of the offer for relocation. Public notice shall occur at least 180 days prior to the scheduled demolition of the single-family home. Prior to demolition of the single-family home that has not been relocated within 30 days prior to demolition, and after the Development has removed any items or building materials for its reuse, the Development will allow the Town of Rolesville or any local organization at least 15 days to remove items of historic significance and building materials for reuse.

Wesley C. Wilkins  
Roxey M. Wilkins

Z:\PROJECTS\FOLDER\_ZEBEL\CON\2024\2024-033 THE JOEL FUND - ROLESVILLE\PLANSHEET FILES\CAD - COVER.DWG  
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**Civil Engineer:**  
The Curry Engineering Group, PLLC  
NC License # P-0799  
PO Box 2018  
205 S. Fuquay Ave  
Fuquay-Varina, NC 27526  
919.552.0849 (o)  
Contact: Andy Petty, PE  
andy@curryeng.com

**Surveyor:**  
James W. Nipper Land Surveying  
5707 Hilltop Road  
Raleigh, North Carolina, 27603  
Phone: 919-917-7080  
Contact: James Nipper  
Email: nippersurveying@gmail.com

**Land Owner:**  
The Joel Fund  
822 S White St Ste 116  
Wake Forrest, NC 27587  
Phone:  
Contact: Brooke Dickhart  
Email: brooke@joelfund.org



REVISIONS	PROFESSIONAL'S SEAL	CONSULTANT	CLIENT
1 12/02/2024 TOWN OF ROLESVILLE COMMENTS			<p>The Joel Fund 822 S White St, Suite 116 Wake Forrest, NC 27587 919.418.9042 Contact: Brook Dickhart email: brooke@joelfund.org</p>
<p>STATUS FOR REVIEW ONLY NOT FOR CONSTRUCTION</p> <p>DATE: AUGUST 30, 2024 FILE NO: 2024-033</p> <p>HORIZ. SCALE: ORIG. SHEET SIZE: 24 x 36</p>			



**Curry ENGINEERING**

EST. 1910  
38823  
NORTH CAROLINA  
NC LIC. NO. P-0799

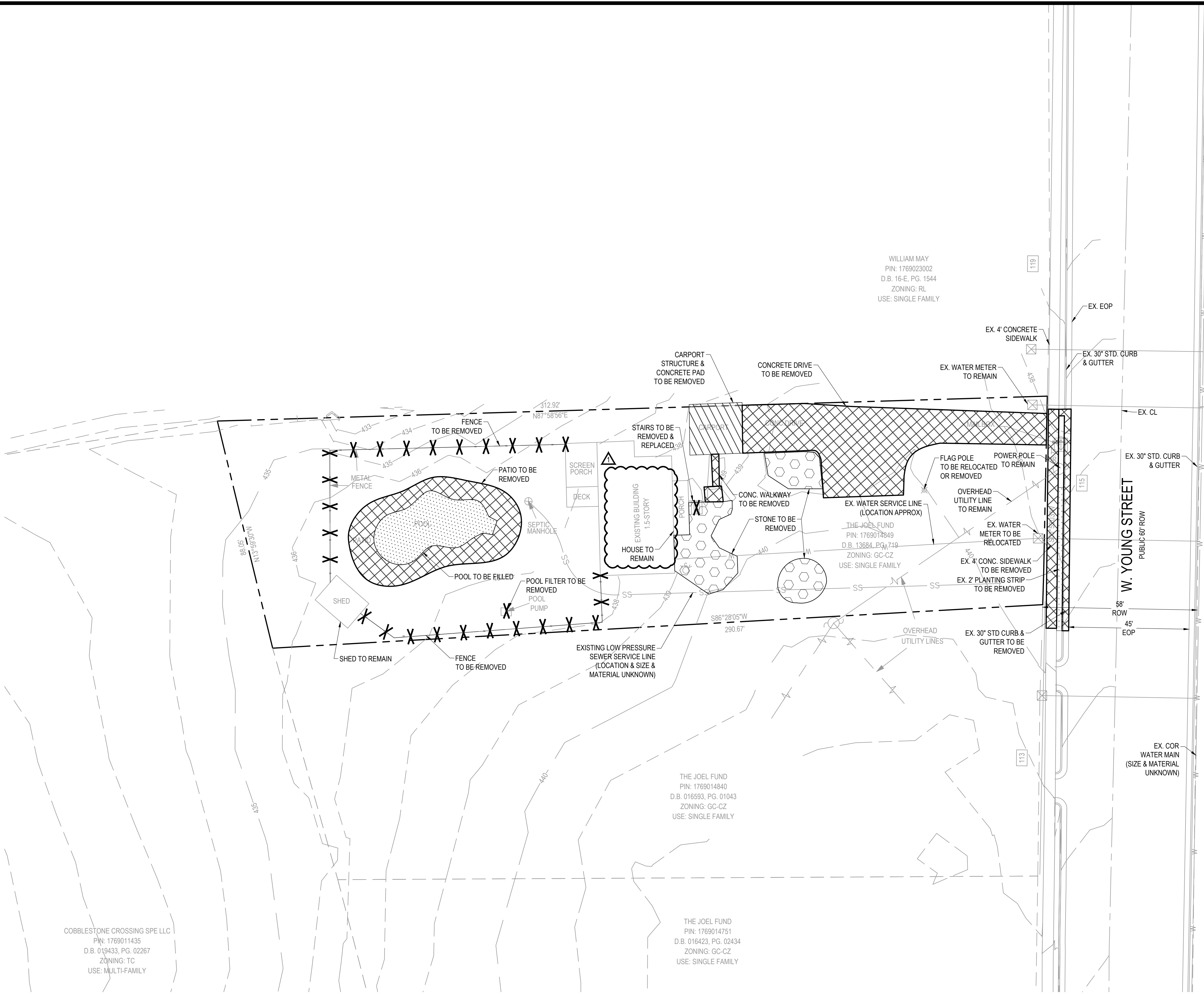
(919) 552-0849  
F (919) 552-2643  
205 S. Fuquay Avenue  
Fuquay-Varina, NC 27526

**The Joel Fund**  
822 S White St, Suite 116  
Wake Forrest, NC 27587  
919.418.9042  
Contact: Brook Dickhart  
email: brooke@joelfund.org

**CONSTRUCTION DRAWINGS**  
**THE JOEL FUND - SDP-24-08**  
**COVER**

**C-0.0**

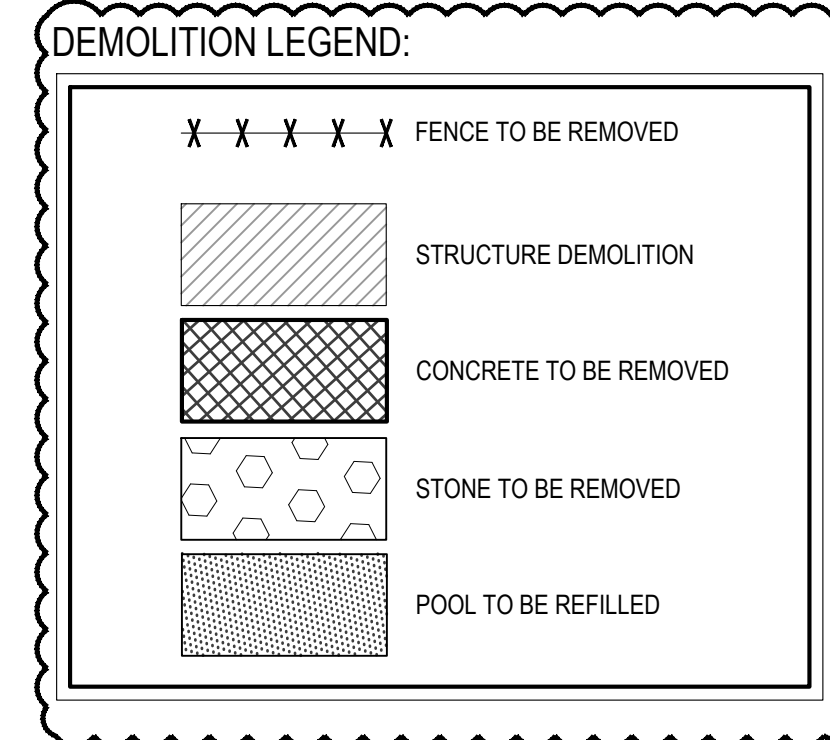
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**EXISTING CONDITIONS LEGEND:**

	PKN = PK NAIL
	CONCRETE MONUMENT
	SIGN
	EIP = EXISTING IRON PIPE
	POWER POLE
	GUY WIRE
	CURB INLET
	FIRE HYDRANT
	WM = WATER METER
	LIGHT POLE
	SS = SANITARY SEWER MANHOLE
	YARD INLET
	IPS = IRON PIPE SET
	GV = GAS VALVE
	PROPANE TANK
	LP = LIGHT POLE
	BOLLARD
	TELEPHONE POLE
	WV = WATER VALVE
	HB = HOT BOX
	SCO = SEWER CLEANOUT
	FLAG POLE
	WELL
	GAS TEST STATION
	SEPTIC TANK
	MAIL BOX
	AIR CONDITIONING UNIT
	GAS METER
	ELECTRIC METER
	ICV = IRRIGATION CONTROL VALVE
RW = RIGHT-OF-WAY	
	XXX DENOTES ADDRESS
	OVERHEAD ELECTRIC OHE
	STORM LINE
	GAS LINE
	FENCE
	WATER LINE
	SEPTIC LINE
	FIBER OPTIC FO

- GENERAL NOTES:**
- THIS PLAN IS NOT INTENDED FOR PLATTING OR RECORDATION.
  - THE INTENT OF THIS PLAN IS TO ILLUSTRATE THE EXISTING FEATURES, STRUCTURES AND TOPOGRAPHY OF THE PROPERTY. THE INFORMATION SHOWN ON THIS PLAN WAS PROVIDED AND DEVELOPED BY OTHERS. CURRY ENGINEERING DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION, THIS IT HAS NOT BEEN SEALED. BOUNDARY AND TOPOGRAPHY INFORMATION SHOWN IS FROM FIELD SURVEY.
  - THE ENGINEER UNDERSTANDS THE PRELIMINARY INFORMATION PROVIDED TO MEET THE FOLLOWING CRITERIA:
    - THE PROPERTY SHOWN HEREON IS SUBJECT TO ALL EASEMENTS OF RECORD AFFECTING SAME. PROPERTY BOUNDARY SHOWN BASED PER MAPS AND DEEDS OF RECORD ONLY.
    - NO TITLE SEARCH HAS BEEN PERFORMED BY THIS FIRM DURING THE COURSE OF THIS SURVEY.
    - THIS INFORMATION DOES NOT CERTIFY TO THE EXISTENCE OR NON-EXISTENCE OF ANY UNDERGROUND UTILITIES THAT MAY OR MAY NOT BE PRESENT ON THIS SITE.
  - FLOOD HAZARD SOILS ARE NOT ANTICIPATED ON THIS PROPERTY PER WAKE COUNTY GIS.

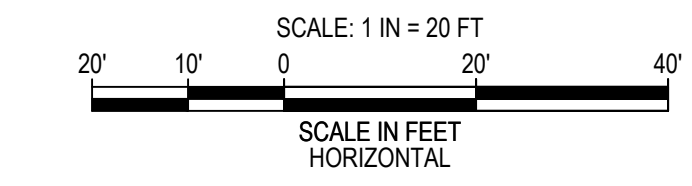
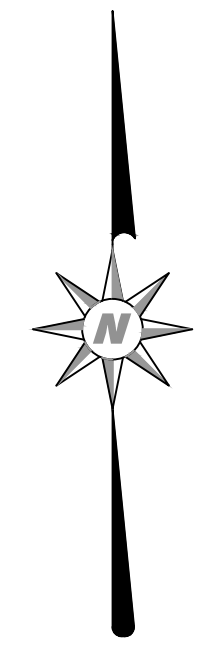


COBBLESTONE CROSSING SPE LLC  
PIN: 1769011435  
D.B. 019433, PG. 02267  
ZONING: TC  
USE: MULTI-FAMILY

THE JOEL FUND  
PIN: 1769014840  
D.B. 016593, PG. 01043  
ZONING: GC-CZ  
USE: SINGLE FAMILY

THE JOEL FUND  
PIN: 1769014751  
D.B. 016423, PG. 02434  
ZONING: GC-CZ  
USE: SINGLE FAMILY

WILLIAM MAY  
PIN: 1769023002  
D.B. 16-E, PG. 1544  
ZONING: RL  
USE: SINGLE FAMILY



**Surveyor:**  
James W. Nipper Land Surveying  
5707 Hilltop Road  
Raleigh, North Carolina, 27603  
Phone: 919-917-7080  
Contact: James Nipper  
Email: nippersurveying@gmail.com

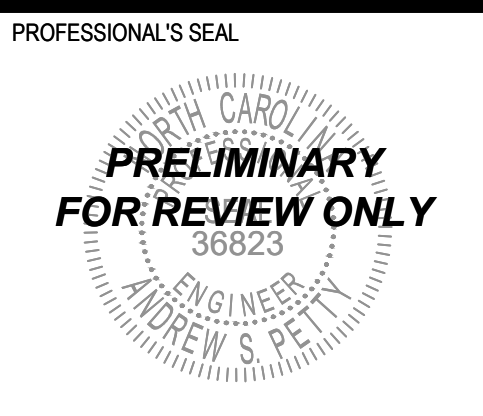
**REVISIONS**

NO.	DATE	DESCRIPTION
1	12/02/2024	TOWN OF ROLESVILLE COMMENTS

**STATUS**  
FOR REVIEW ONLY  
NOT FOR CONSTRUCTION

DATE: AUGUST 30, 2024  
FILE NO.: 2024-033

HORIZ. SCALE:  
ORIG. SHEET SIZE: 24 x 36



CONSULTANT

Curry ENGINEERING

1019 552-0940 308 S. Fugate Avenue, Fugate/Vernon, NC 27206  
F 919 552-2643

CLIENT

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822 S White St, Suite 116  
Wake Forrest, NC 27587  
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Contact: Brook Dickhart  
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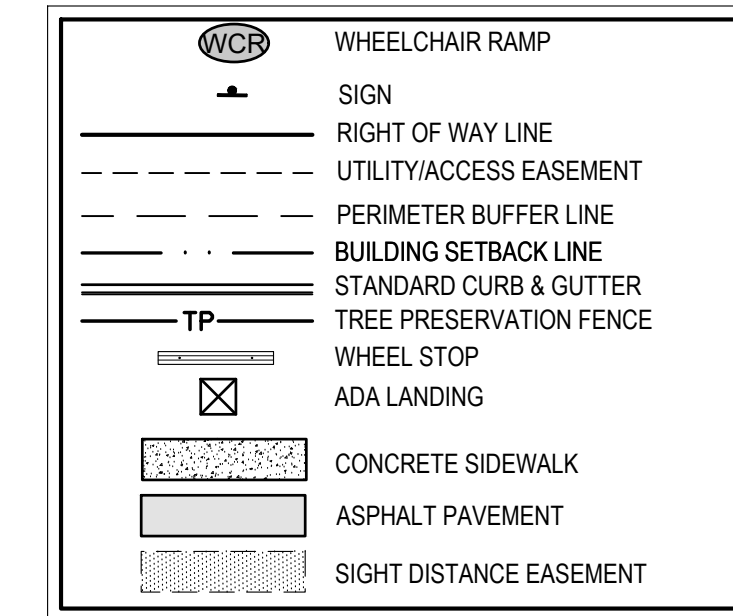
**CONSTRUCTION DRAWINGS**  
***THE JOEL FUND - SDP-24-08***  
**EXISTING CONDITIONS & DEMOLITION PLAN**

**C-1.0**

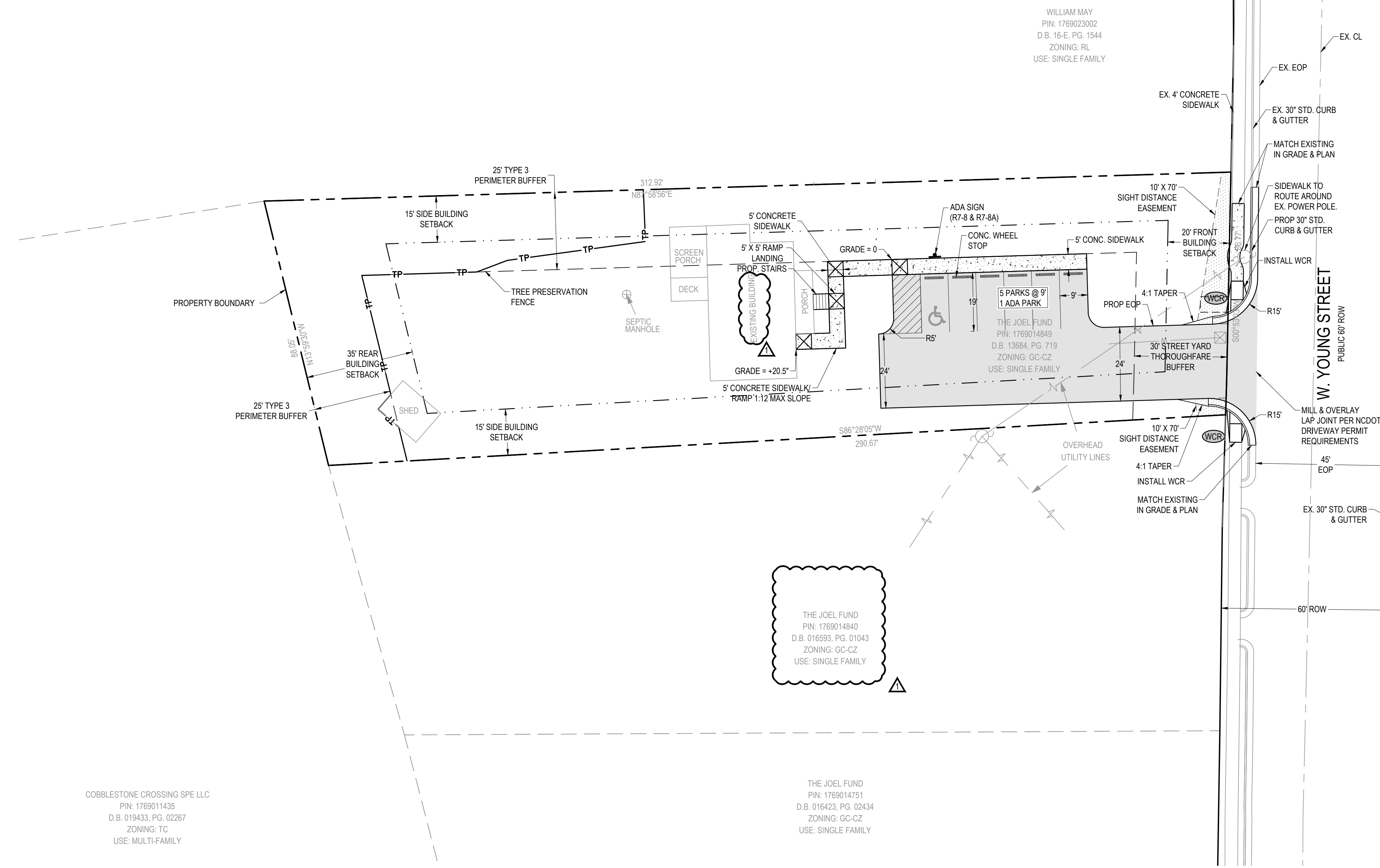
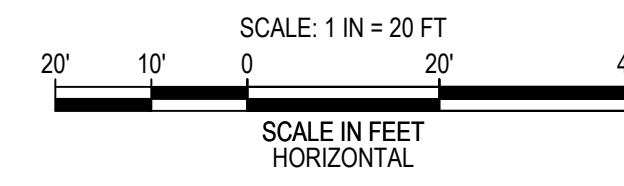
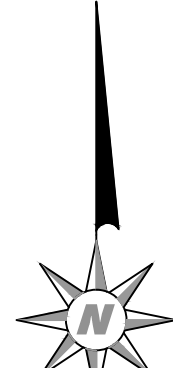
**GENERAL NOTES:**

1. ALL CONSTRUCTION SHALL BE PER TOWN OF ROLESVILLE STANDARDS AND SPECIFICATIONS.
2. ALL DIMENSIONS ARE IN FEET AND EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
3. ALL SITE ELEMENTS ARE PERPENDICULAR TO EACH OTHER UNLESS OTHERWISE NOTED.
4. CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, RIGHT-OF-WAYS AND UTILITIES, PUBLIC OR PRIVATE, BEFORE WORKING IN THESE AREAS.
5. PROTECT ALL PROPERTY MONUMENTS AND PINS. MONUMENTS AND PINS THAT WILL BE DISTURBED DURING CONSTRUCTION SHALL BE REFERENCED AND REPLACED BY A LICENSED LAND SURVEYOR AT THE COST OF THE CONTRACTOR.
6. CONTRACTOR SHALL MAINTAIN THE SITE IN SUCH A MANNER THAT WORKMEN AND THE PUBLIC WILL BE PROTECTED FROM INJURY AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
7. CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
8. CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL DUE TO CONSTRUCTION OPERATIONS. ALL STREET SURFACES, UTILITY POLES, CULVERTS, DITCHES, CURB AND GUTTER OR OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR IN ACCORDANCE WITH THE APPROPRIATE SPECIFICATIONS.
9. IF DEPARTURES FROM THE DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE SUBMITTED IN WRITING TO THE FACILITY DESIGNER FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS WILL BE ALLOWED WITHOUT APPROVAL BY THE FACILITY DESIGNER.
10. ANY AND ALL QUANTITIES SHOWN OR IMPLIED ON THE PLANS ARE FOR ESTIMATION PURPOSES ONLY.
11. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
12. PARKING LOT STRIPING SHALL BE WHITE, SIGN POLES, TRAFFIC BOLLARDS AND LIGHT POLE BASES SHALL BE PER OWNER.
13. A SEPARATE SIGN PERMIT WILL HAVE TO BE SUBMITTED TO THE TOWN OF ROLESVILLE FOR SIGNAGE AS A SEPARATE PROCESS.
14. ANY FLAG POLES SHALL BE NO MORE THAN 30' IN HEIGHT WITH A MAXIMUM FLAG SIZE OF 40 SQUARE FEET.
15. ANY RETAINING WALL OVER 4' TALL WILL REQUIRE A BUILDING PERMIT.
16. EXISTING BUILDING IS GRANDFATHERED FROM CURRENT BUILDING SETBACKS AS BUILDING PRE-DATES CURRENT SETBACK DIMENSION. NO NEW BUILDING OR BUILDING EXPANSION MAY ENCR OACH INTO SETBACKS.

**SITE LEGEND:**



SITE INFORMATION:	
LOCATION:	115 W YOUNG STREET ROLESVILLE, NC 27571
COUNTY:	WAKE COUNTY
PARENT PIN:	1769014849
DB/PG:	019630/02036
ZONING:	GC-CZ - GENERAL COMMERCIAL CONDITIONAL ZONING PER REZ-23-07 APPROVED ON 05/07/2024
ACREAGE:	0.57 AC
BUILDING SETBACK MINIMUMS:	
FRONT:	20'
SIDE:	15'
REAR:	35'
STREET YARD BUFFER:	30'
BUILDING DATA:	
PROPOSED USE:	PROFESSIONAL OFFICE
OFF-STREET PARKING:	
COMMERCIAL SPECIFICATION:	2/1000 SQ FT
BLDG SQ FT:	1,325 SQ FT
REQUIRED PARKING:	3 PARKS
PROVIDED PARKING:	
5 STANDARD	
1 VAN ACCESSIBLE HIC	
TOTAL PARKS:	5+1= 6 PARKS
IMPERVIOUS AREAS:	
TOTAL EXISTING IMPERVIOUS:	7,673 SQ FT (0.18 AC)
TOTAL PROPOSED IMPERVIOUS:	8,438 SQ FT (0.19 AC)



WILLIAM MAY  
PIN: 1769023002  
D.B. 16-E, PG. 1544  
ZONING: RL  
USE: SINGLE FAMILY

THE JOEL FUND  
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D.B. 016593, PG. 01043  
ZONING: GC-CZ  
USE: SINGLE FAMILY

THE JOEL FUND  
PIN: 1769014751  
D.B. 016423, PG. 02434  
ZONING: GC-CZ  
USE: SINGLE FAMILY

COBBLESTONE CROSSING SPE LLC  
PIN: 1769011435  
D.B. 019433, PG. 02267  
ZONING: TC  
USE: MULTI-FAMILY

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REVISIONS	
1	12/02/2024 TOWN OF ROLESVILLE COMMENTS

DATE:	AUGUST 30, 2024	HORIZ. SCALE:	
FILE NO.:	2024-033	ORIG. SHEET SIZE:	24 x 36

PROFESSIONAL'S SEAL  
**PRELIMINARY FOR REVIEW ONLY**  
FOR REVIEW ONLY  
NOT FOR CONSTRUCTION  
ENGINEER  
MICHAEL S. PATTI

CONSULTANT  
**Curry**  
ENGINEERING  
NC LIC. NO. P-0799

EST. 19  
10  
NORTH CAROLINA

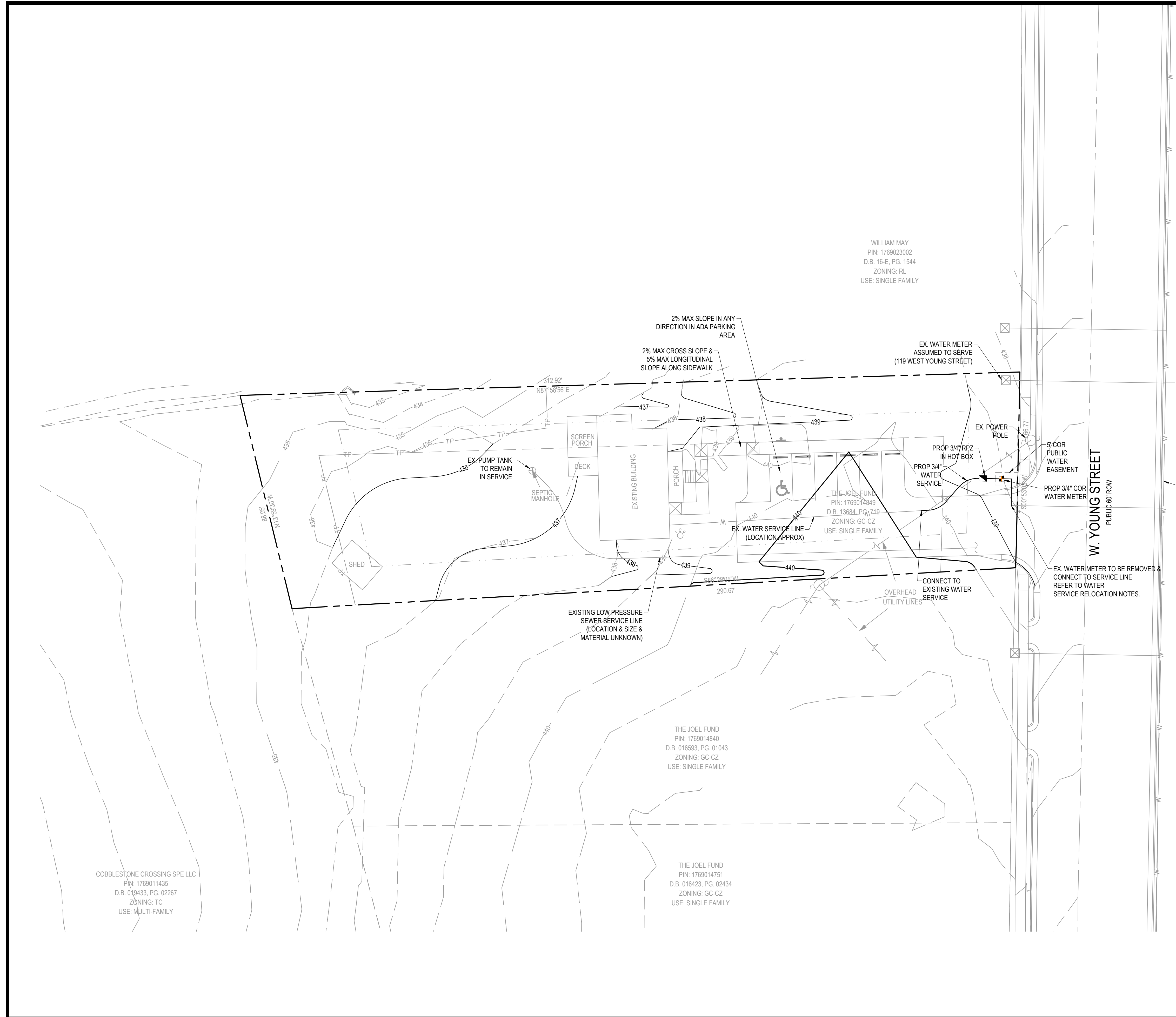
T (919) 552-0840 308 S. Fugate Avenue  
F (919) 552-2643 Fugate/Veneta, NC 27526

CLIENT  
**The Joel Fund**  
822 S White St, Suite 116  
Wake Forrest, NC 27587  
919.418.9042  
Contact: Brook Dickhart  
email: brooke@joelfund.org

**CONSTRUCTION DRAWINGS**  
**THE JOEL FUND - SDP-24-08**  
**SITE PLAN**

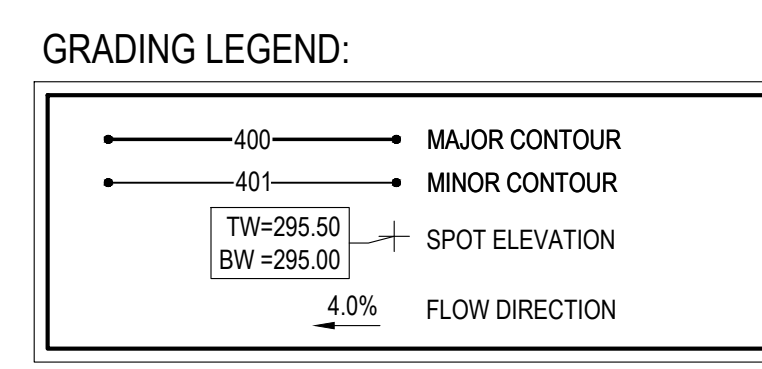
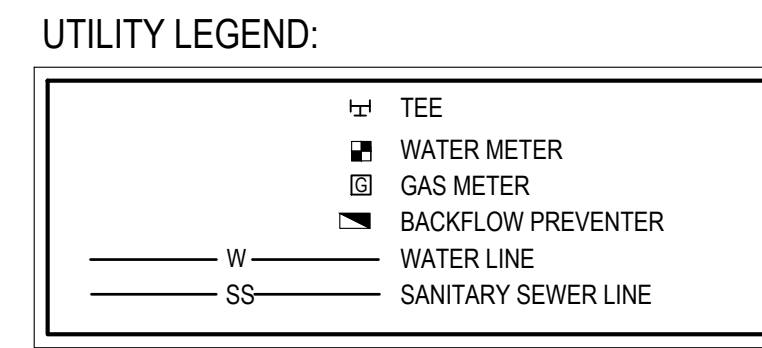
**C-2.0**

Z:\PROJECTS\FOLDER\_ZEBEL\CON\2024\2024-033 THE JOEL FUND - ROLESVILLE PLANSITE PLAN SHEET FILES\C3.0 UTILITY & DRAINAGE PLANNING



- GENERAL NOTES:**
- BEFORE YOU DIG, STOP, CALL THE NC ONE-CALL CENTER AT 1-800-632-4949. IT'S THE LAW. EXISTING UTILITIES ARE SHOWN FROM THE BEST AVAILABLE INFORMATION AND ARE APPROXIMATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE AND OTHER UTILITIES BEFORE STARTING CONSTRUCTION. NOTIFY UTILITY LOCATING COMPANY (ONE CALL @ 1-800-632-4949) OR INDIVIDUAL UTILITY OWNERS FOR UNDERGROUND LOCATIONS AT LEAST 48 HOURS IN ADVANCE.
  - ALL UTILITY WORK WITHIN THE PUBLIC RIGHT OF WAY OR PUBLIC EASEMENTS SHALL BE TO WAKE COUNTY STANDARDS AND SPECIFICATIONS.
  - ALL STORM DRAINAGE WITHIN THE RIGHT OF WAY SHALL BE PUBLIC. ALL STORM DRAINAGE OUTSIDE THE RIGHT OF WAY SHALL BE PRIVATE.
  - PRIVATE UTILITIES (POWER, TELEPHONE, NATURAL GAS, CABLE TV) ARE NOT SHOWN ON THIS PLAN. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THOSE UTILITIES WHEN INSTALLING STORM DRAINAGE TO AVOID CONFLICTS.
  - CUT/FILL SLOPES SHALL BE GRADED AT A MAXIMUM OF 3H:1V UNLESS OTHERWISE INDICATED. SLOPES INDICATED TO BE STEEPER THAN 3:1 BUT EQUAL TO OR LESS THAN 2:1 SHALL BE PROVIDED WITH A PERMANENT TURF REINFORCEMENT MAT (ACF ENVIRONMENTAL ECP-2 10 OZ OR APPROVED EQUAL).
  - WHERE PROPOSED EDGE OF PAVEMENT CONNECTS TO EXISTING, CONTRACTOR SHALL MATCH EXISTING ELEVATION AND CREATE A SMOOTH TRANSITION.

- WATER SERVICE RELOCATION NOTES:**
- EXISTING 3/4" WATER METER & BOX IS TO BE REMOVED FROM TRAFFIC AREA
  - INSTALL NEW 3/4" WATER METER & BOX. SET BOX OUTSIDE TRAFFIC AREA/ PAVEMENT.
  - INSTALL RPZ & HOTBOX (WATTS MODEL C09 OR EQUAL)
  - INSTALL 3/4" WATER SERVICE FROM RPZ TO EXISTING WATER SERVICE LINE & CONNECT TO EXISTING SERVICE LINE.
  - EXISTING WATER SERVICE BETWEEN NEW CONNECTIONS IS TO BE REMOVED.
  - 5' CITY OF RALEIGH PUBLIC UTILITY EASEMENT TO BE RECORDED W/ WAKE COUNTY AROUND WATER METER ONLY.



EX. COR WATER MAIN (SIZE & MATERIAL UNKNOWN; LOCATION APPROXIMATE.)

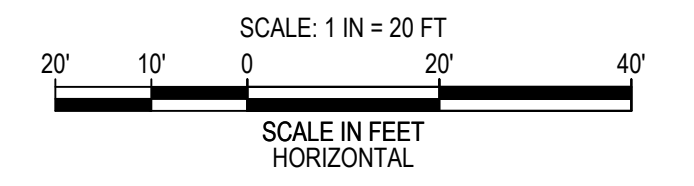
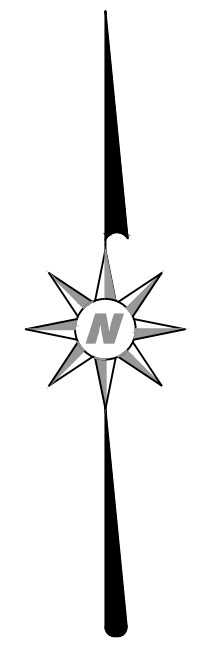
EX. WATER METER TO BE REMOVED & CONNECT TO SERVICE LINE REFER TO WATER SERVICE RELOCATION NOTES.

COBBLESTONE CROSSING SPE LLC  
PIN: 1769011435  
D.B. 019433, PG. 02267  
ZONING: TC  
USE: MULTI-FAMILY

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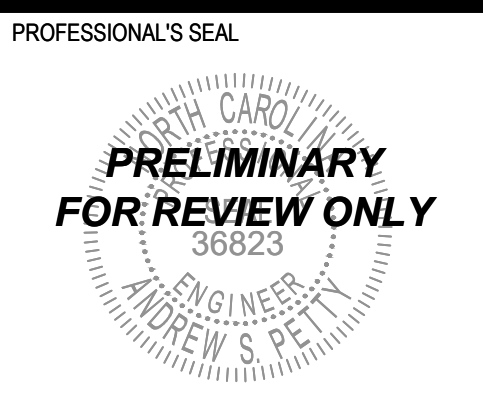


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ORIG. SHEET SIZE: 24 x 36



CONSULTANT

Curry ENGINEERING

308 S. Fugate Avenue  
Fayetteville, NC 27326

(919) 552-0940  
(919) 552-2643

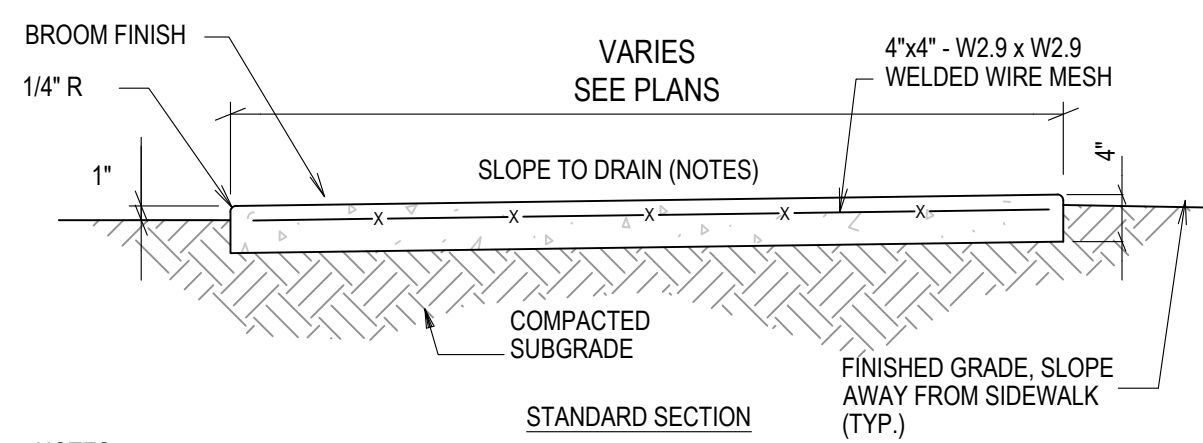
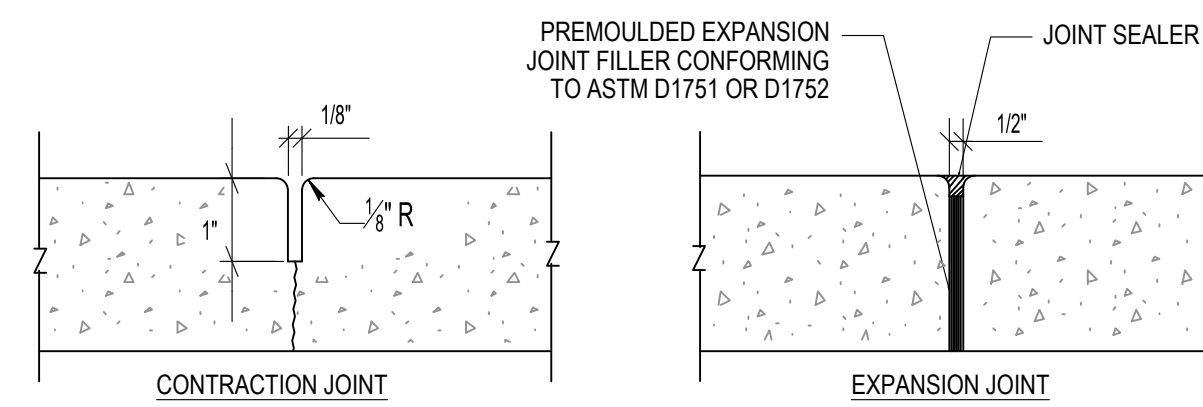
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Contact: Brook Dickhart  
email: brooke@joelfund.org

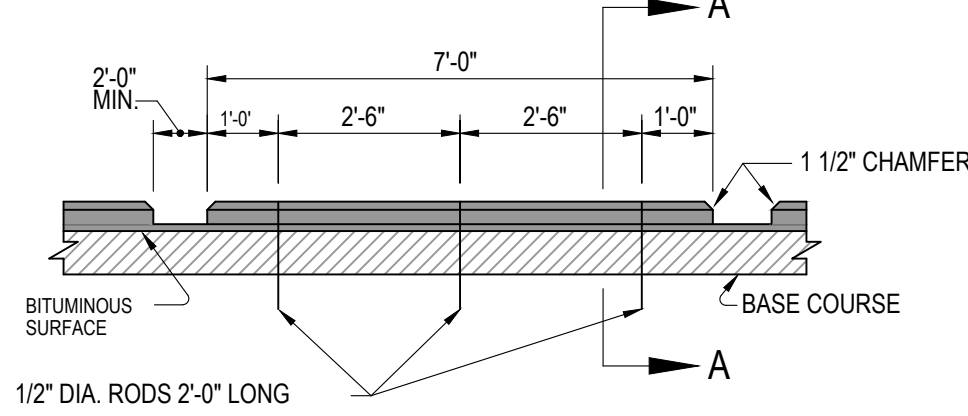
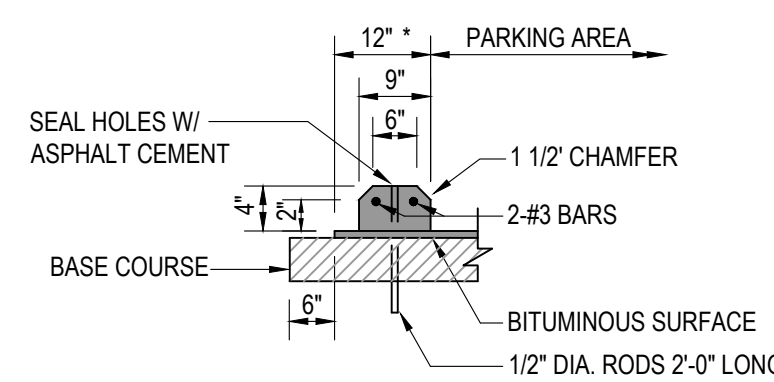
**CONSTRUCTION DRAWINGS**  
**THE JOEL FUND - SDP-24-08**  
**UTILITY & DRAINAGE PLAN**

**C-3.0**

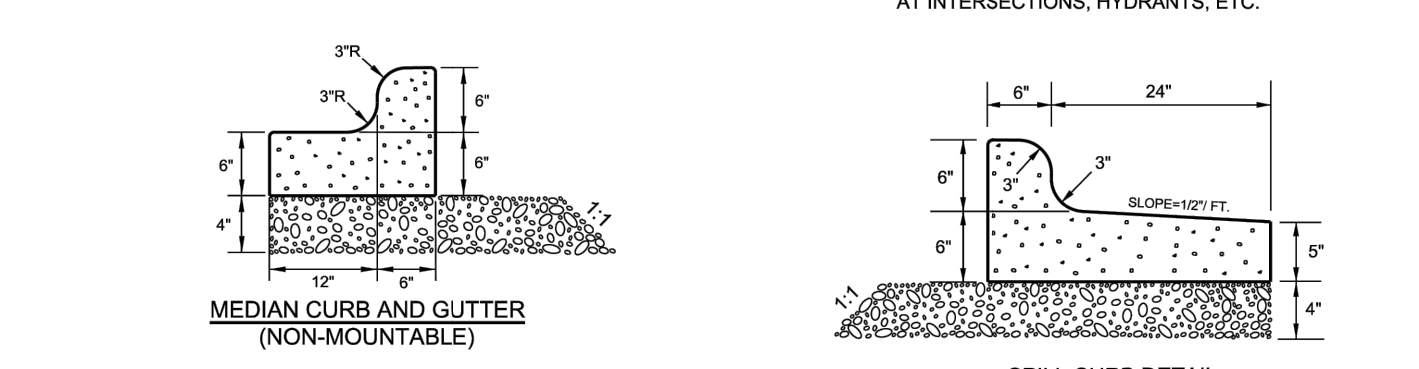
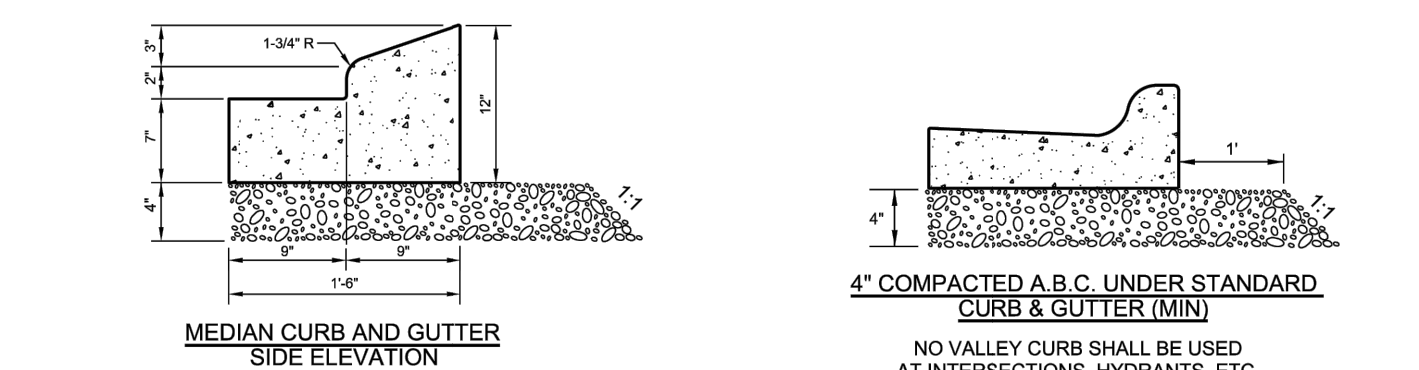
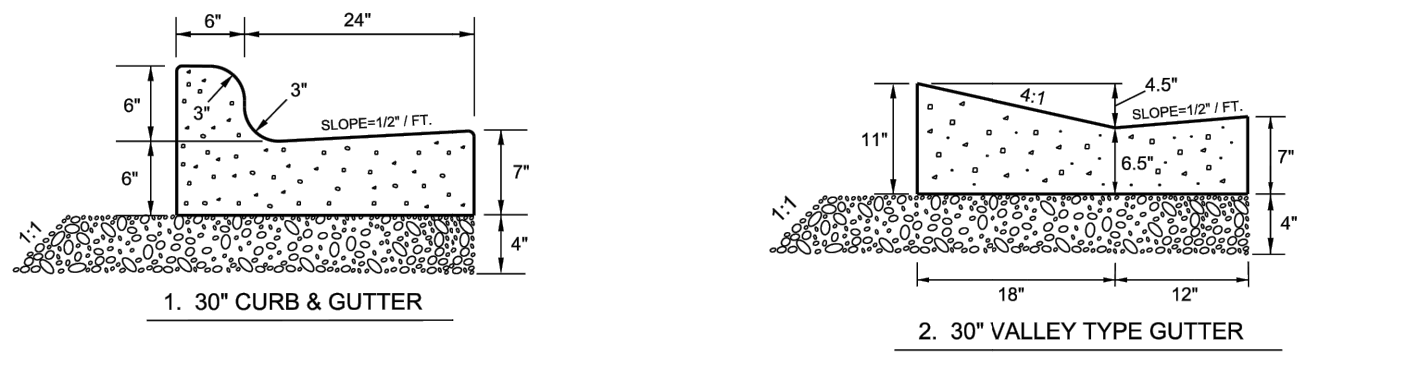
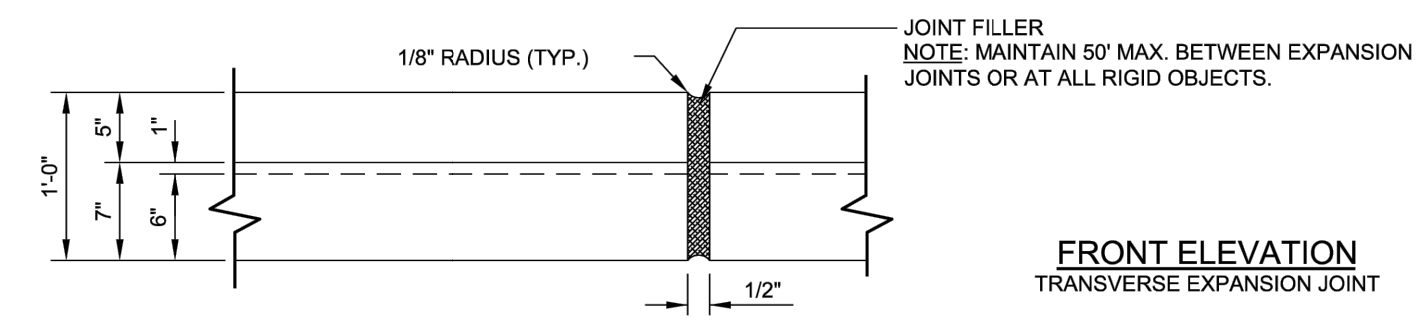


- NOTES:**
- 1. MINIMUM 3000 PSI CONCRETE.
  - 2. MINIMUM CROSS SLOPE IS 2%. MINIMUM LONGITUDINAL SLOPE IS 0.5% (1% PREFERRED).
  - 3. MAXIMUM CONTRACTION JOINT SPACING IS 5'. MAXIMUM EXPANSION JOINT SPACING IS 40'.
  - 4. WELDED WIRE MESH (WWM) SHALL BE PLACED IN THE UPPER ONE THIRD OF THE SLAB. NO WWM SHALL BE VISABLE AT THE SURFACE. DOWELS SHALL BE PLACED IN THE CENTER OF THE SLAB.
  - 5. DOWELS THAT ARE PLACED INTO DRILLED CONCRETE SHALL BE INSTALLED WITH BONDING MATERIAL.
  - 6. COMPACTED SUBGRADE SHALL BE COMPACTED TO MODIFIED PROCTOR 90% MAX. DRY DENSITY AT OPTIMUM MOISTURE CONTENT.

1 CONCRETE SIDEWALK DETAILS  
SCALE: NTS

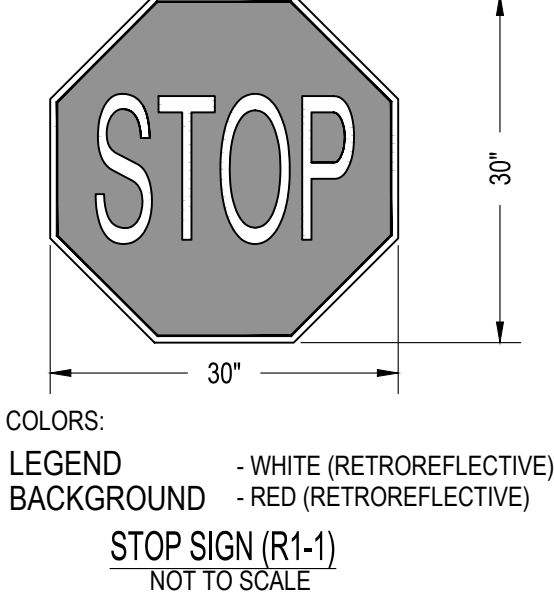


2 WHEEL STOP DETAIL  
SCALE: NTS

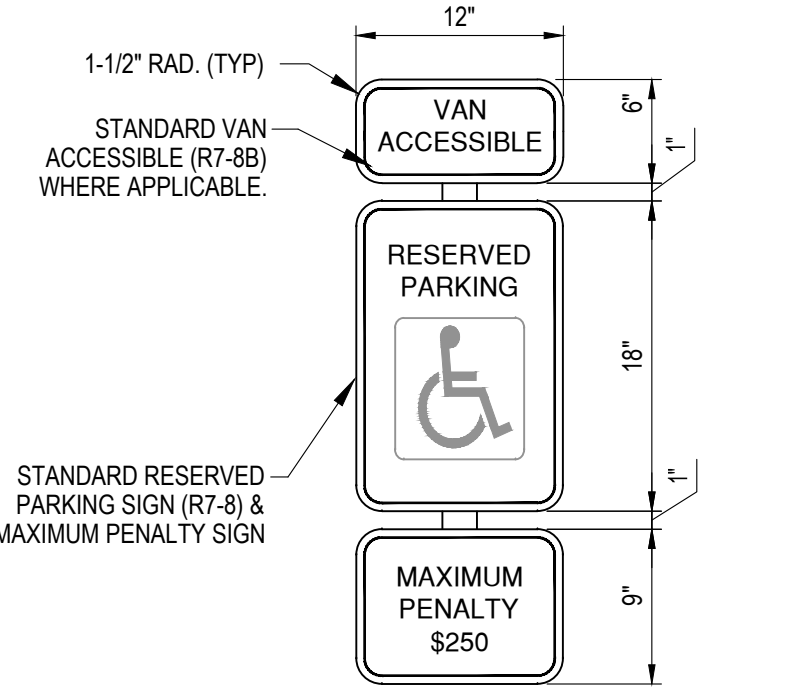


- NOTES:**
- 1. 10' MAXIMUM BETWEEN DUMMY JOINTS.
  - 15' MAXIMUM BETWEEN DUMMY JOINTS ON MACHINE PAVEMENT.
  - 2. 1/2" EXPANSION JOINT EVERY 50'.
  - 3. 3000 PSI CONCRETE MINIMUM, 4" SLUMP MAXIMUM.
  - 4. LIQUID MEMBRANE CURING COMPOUND SHALL MEET THE REQUIREMENTS OF SECTION 1028-2 OF NCDOT STANDARDS & SPECIFICATIONS FOR ROADS AND STRUCTURES.
  - 5. ALL CONSTRUCTION JOINTS SHALL BE FILLED WITH JOINT FILLER AND SEALER IN ACCORDANCE WITH NCDOT ROADWAY STANDARD DETAIL 846.01 THE JOINT MATERIAL SHALL CONFORM TO SECTION 1028-2 OF NCDOT STANDARD & SPECIFICATIONS FOR ROADS AND STRUCTURES.
  - 6. REFER TO NCDOT DETAIL 846.01 FOR CURB AND GUTTER SUPERELEVATION RATES.

4 CONCRETE CURB AND GUTTER  
SCALE: NTS

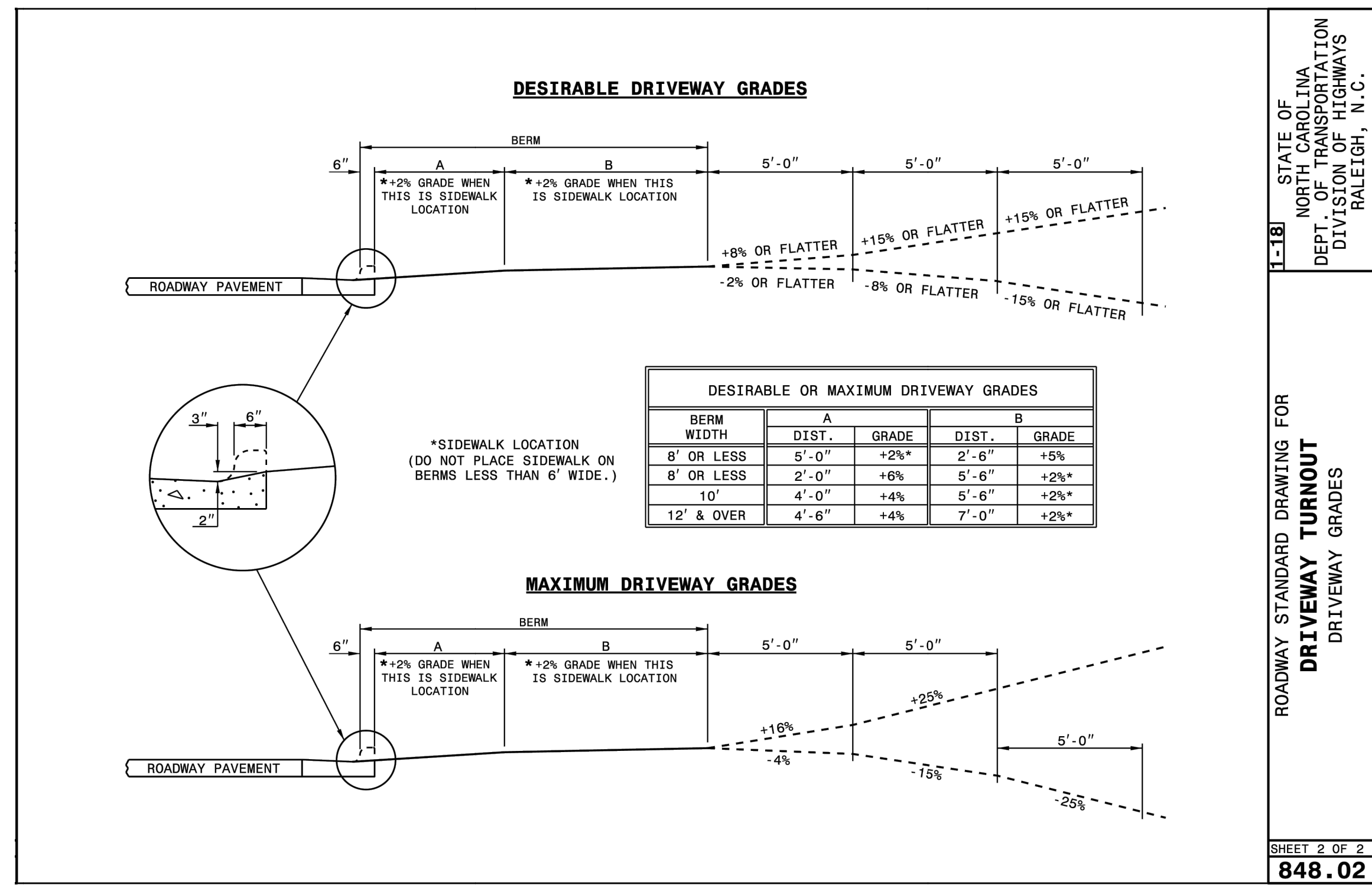


- COLORS:**
- LEGEND - BLACK (RETROREFLECTIVE)
  - BACKGROUND - YELLOW (RETROREFLECTIVE)
- PEDESTRIAN CROSSING (W11A-2)**  
NOT TO SCALE
- COLORS:**
- LEGEND - WHITE (RETROREFLECTIVE)
  - BACKGROUND - RED (RETROREFLECTIVE)
- STOP SIGN (R1-1)**  
NOT TO SCALE
- COLORS:**
- LEGEND - BLACK (RETROREFLECTIVE)
  - BACKGROUND - WHITE (RETROREFLECTIVE)
- SPEED LIMIT SIGN (R2-1)**  
NOT TO SCALE

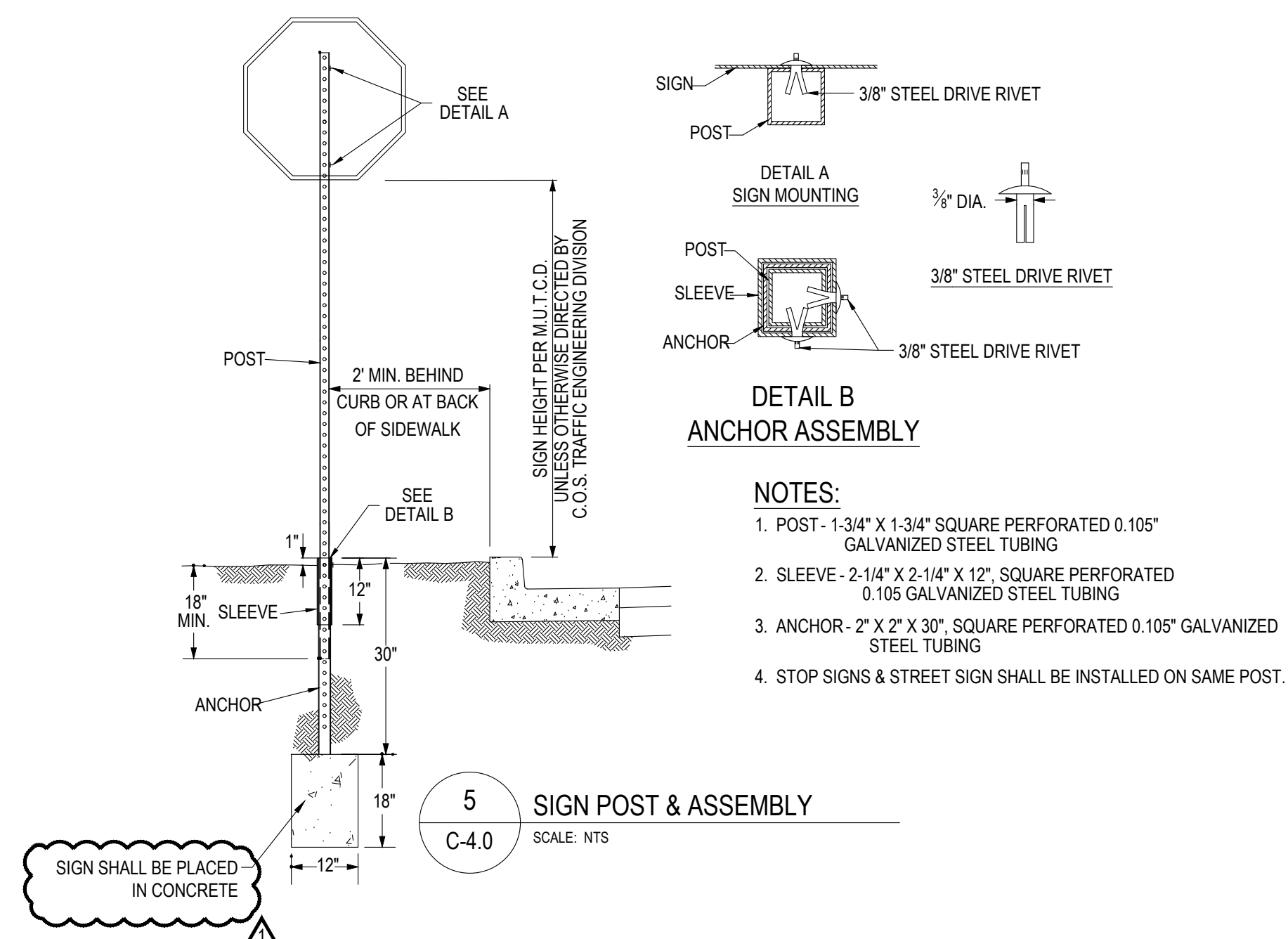


- COLORS:**
- LETTERING - GREEN (RETROREFLECTIVE)
  - SYMBOL - WHITE ON BLUE (RETROREFLECTIVE)
  - STRIPES - GREEN (RETROREFLECTIVE)
  - BACKGROUND - WHITE (RETROREFLECTIVE)
- ACCESSIBILITY PARKING SIGN (R7-8)**  
NOT TO SCALE
- NOTES:**
- MUTCDC STANDARD SIGN DESIGNATION SHOW AS (X-1)
  - MOUNTING HEIGHT - 60" FROM BOTTOM OF SIGN TO PAVEMENT IN NON-PEDESTRIAN AREAS AND 84" IN PEDESTRIAN AREAS.
  - ALL SIGNS SHALL BE MOUNTED TO 3LB 'U-CHANNEL' POST.
  - ALL ROADWAY SIGNAGE SHALL BE HIGH INTENSITY SHEETING SIGNS SHALL MEET THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
  - SIGNS SHALL BE FABRICATED FROM ALUMINUM ALLOY SHEETS.
  - ALL MOUNTING HARDWARE SHALL BE GALVANIZED.

3 PARKING & STREET SIGNAGE  
SCALE: NTS



ROADWAY STANDARD DRAWING FOR DRIVEWAY TURNOUT DRIVEWAY GRADES  
STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.  
SHEET 2 OF 2  
848.02



5 SIGN POST & ASSEMBLY  
SCALE: NTS

Z:\PROJECTS\FOLDER\_Z\FBILKON\2024\2024-0831 THE JOEL FUND - ROLESVILLE PLANISITE FILES\C-4.0 - SITE DETAILS.DWG  
PLOTTED: 12/24/2024 2:06 PM

NO.	DATE	REVISIONS
1	12/02/2024	TOWN OF ROLESVILLE COMMENTS

STATUS:  
FOR REVIEW ONLY  
NOT FOR CONSTRUCTION

DATE: AUGUST 30, 2024  
FILE NO: 2024-033

HORZ. SCALE:  
ORIG. SHEET SIZE: 24 x 36



CONSULTANT

# Curry

ENGINEERING

1 (919) 552-0949 326 S. Fugate Avenue  
F (919) 552-2043 Fugate/Venue, NC 27526

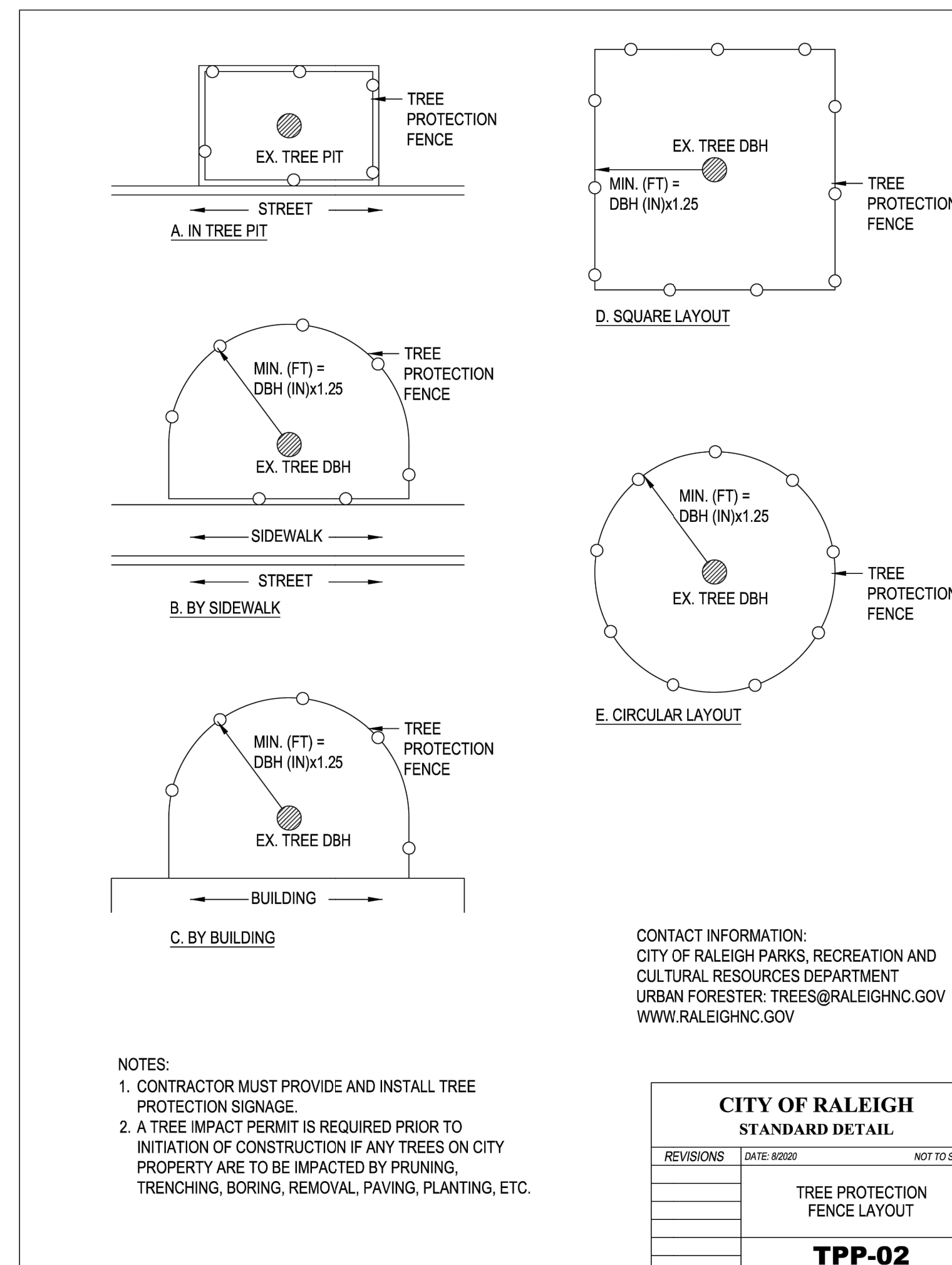
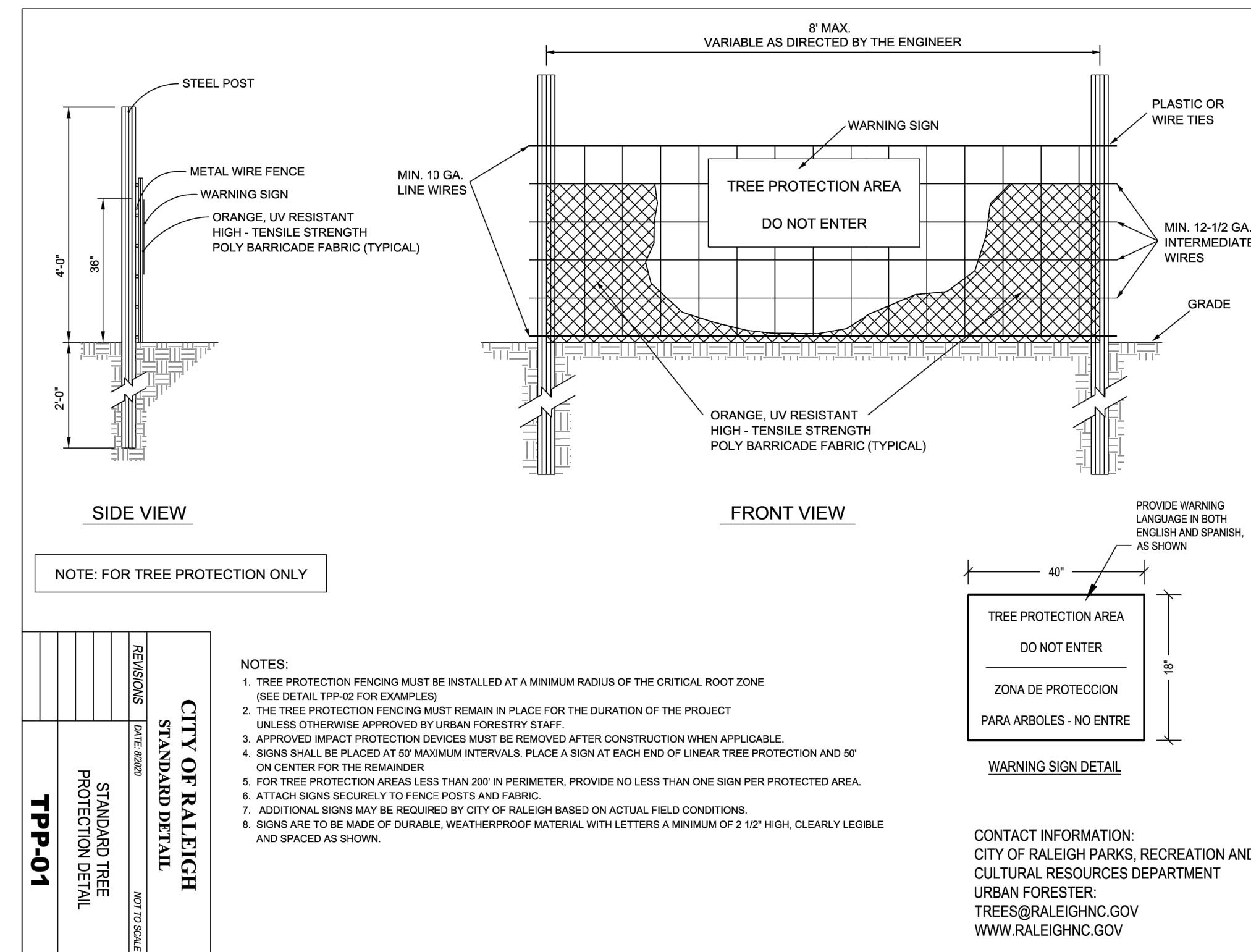
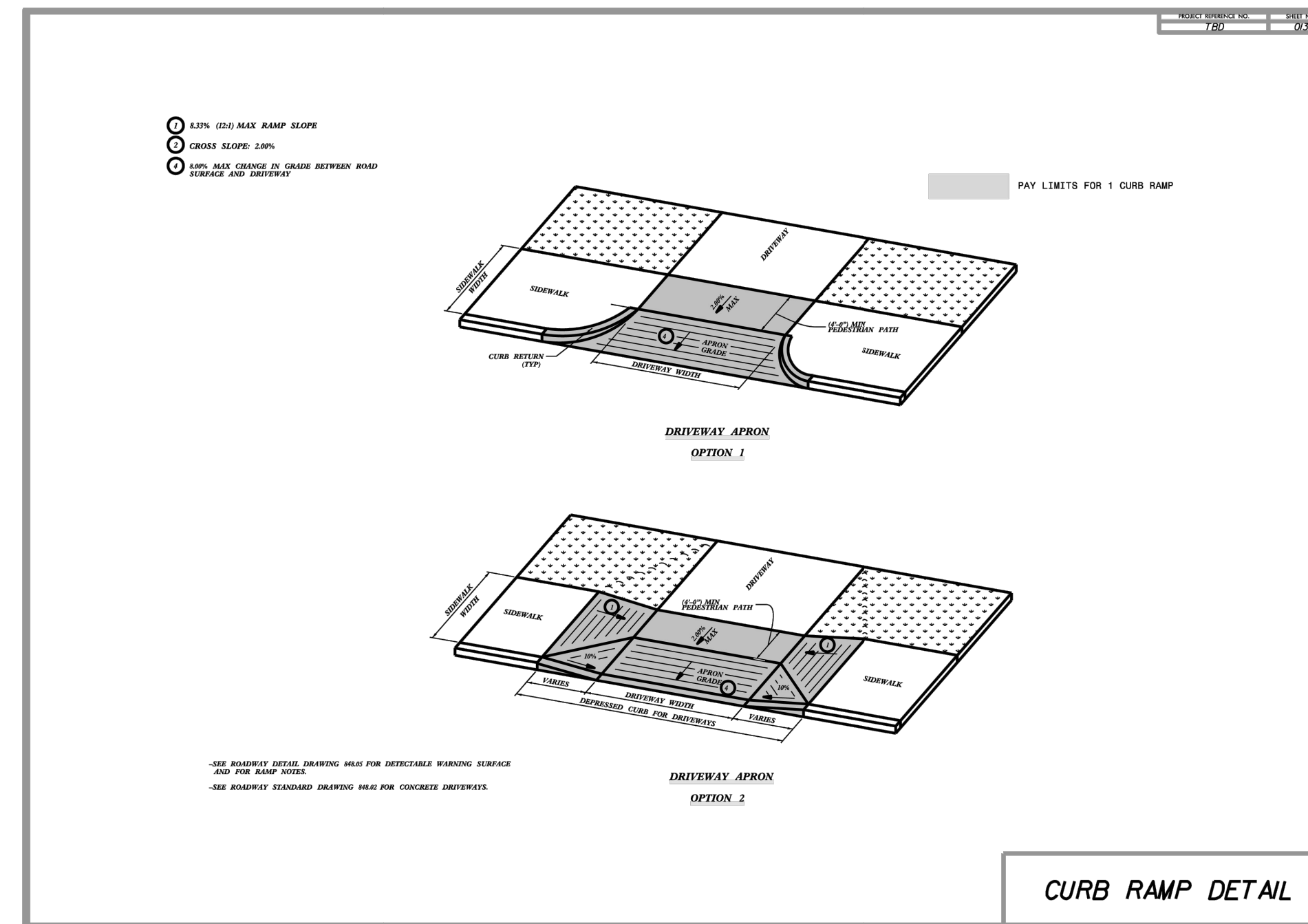
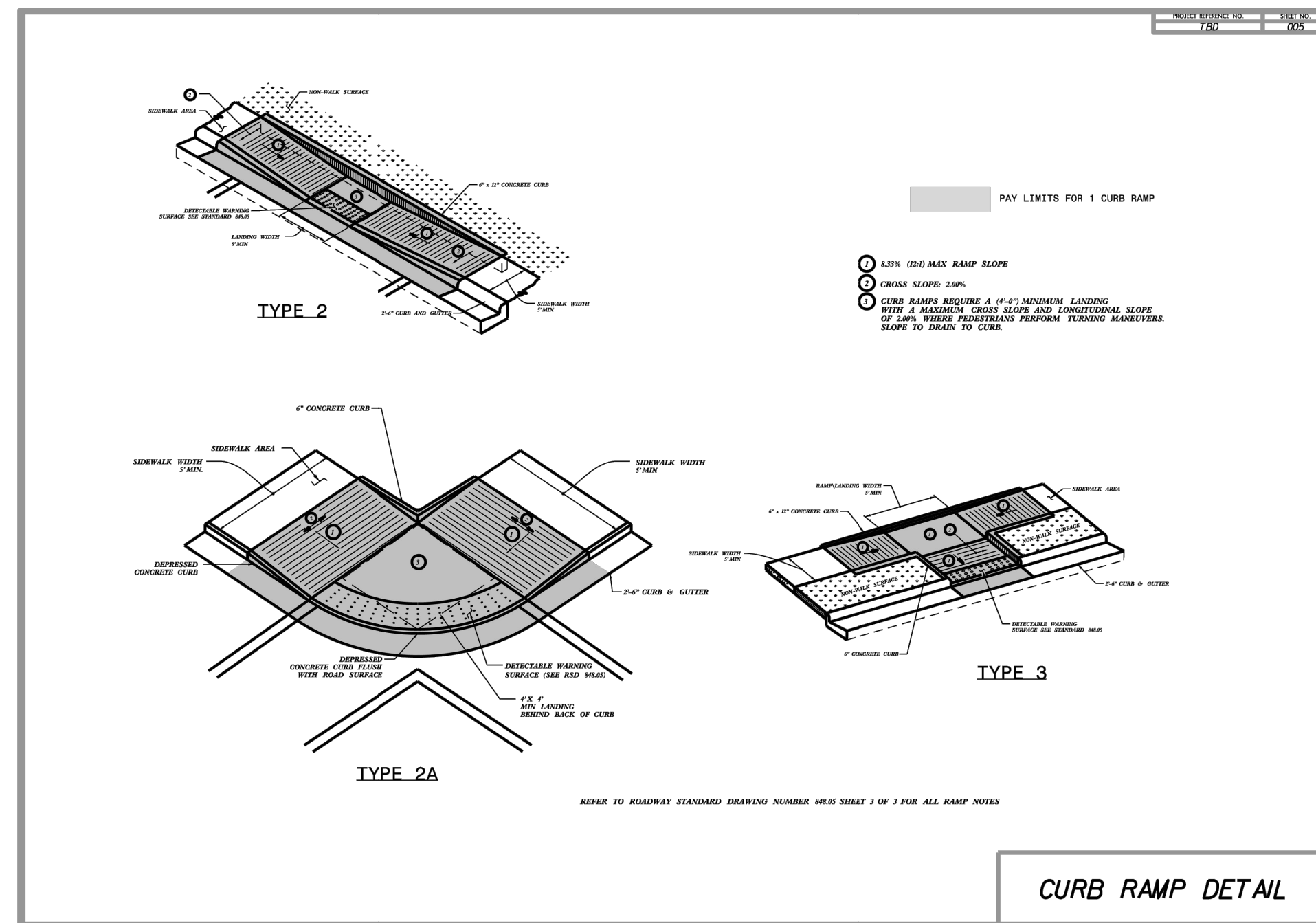
NC LIC. NO. P-7099

CLIENT

**The Joel Fund**  
822 S White St, Suite 116  
Wake Forest, NC 27587  
919.418.9042  
Contact: Brook Dickhart  
email: brooke@joelfund.org

CONSTRUCTION DRAWINGS  
**THE JOEL FUND - SDP-24-08**  
SITE DETAILS

**C-4.0**



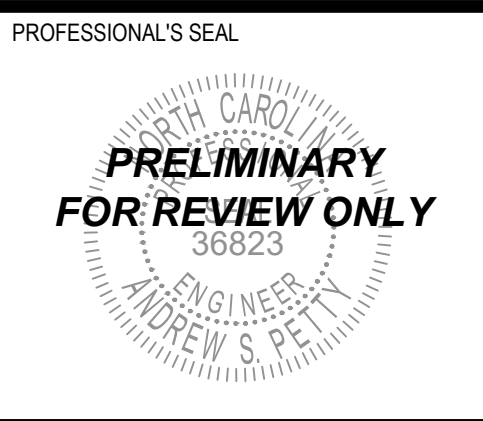
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DATE: AUGUST 30, 2024  
FILE NO: 2024-033

HORIZ. SCALE:  
ORIG. SHEET SIZE: 24 x 36



CONSULTANT

ENGINEERING

NC LIC. NO. P-0799

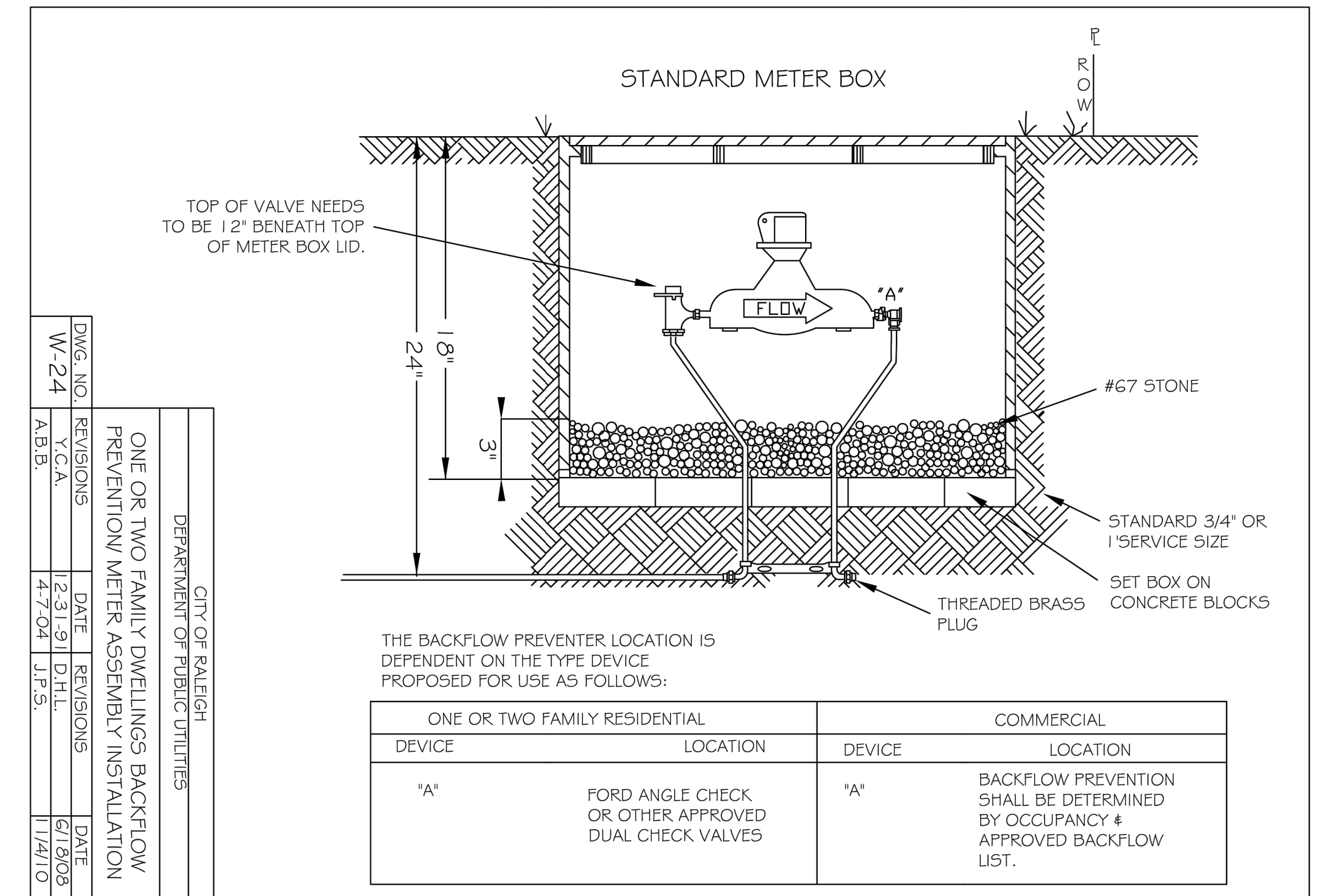
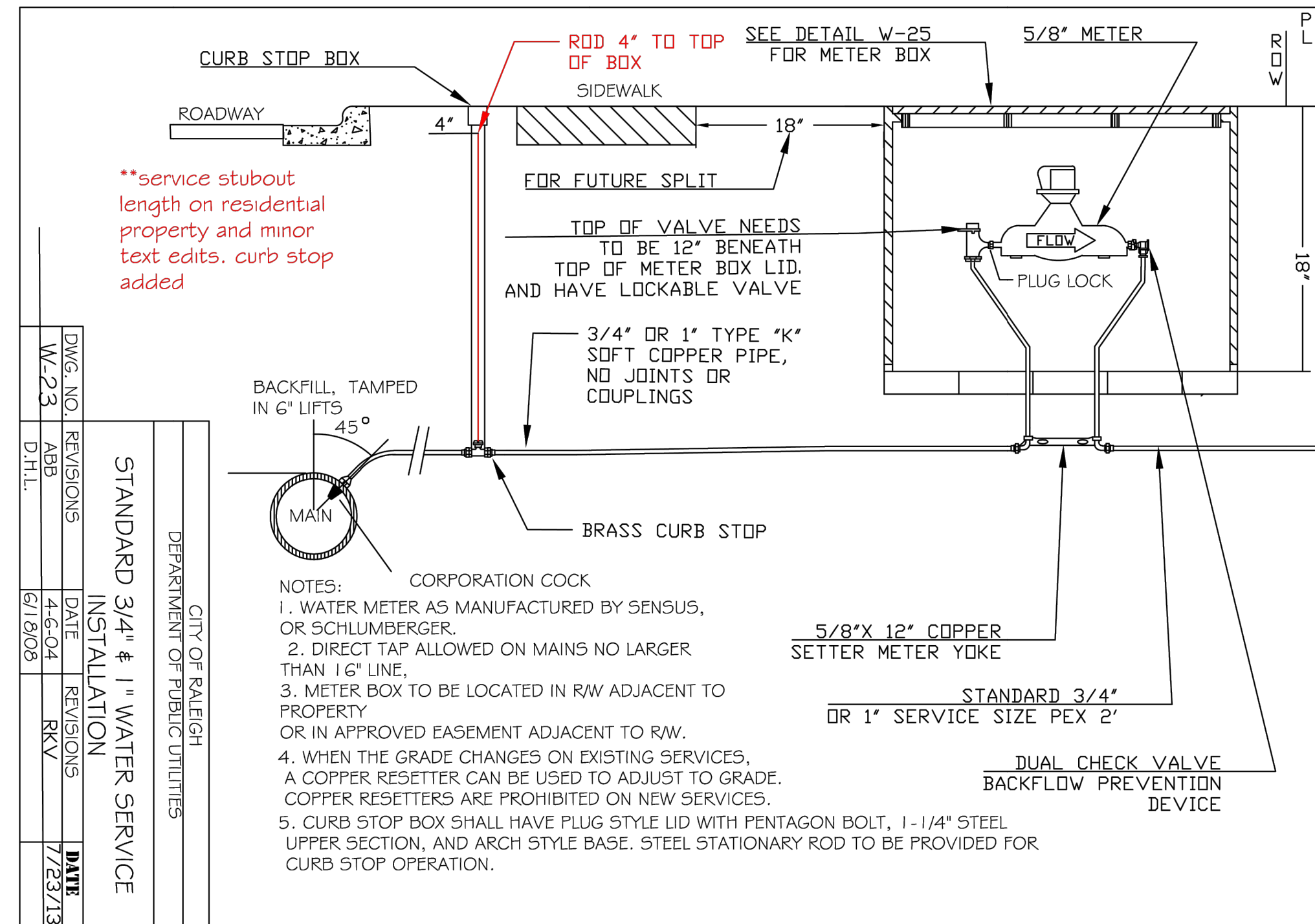
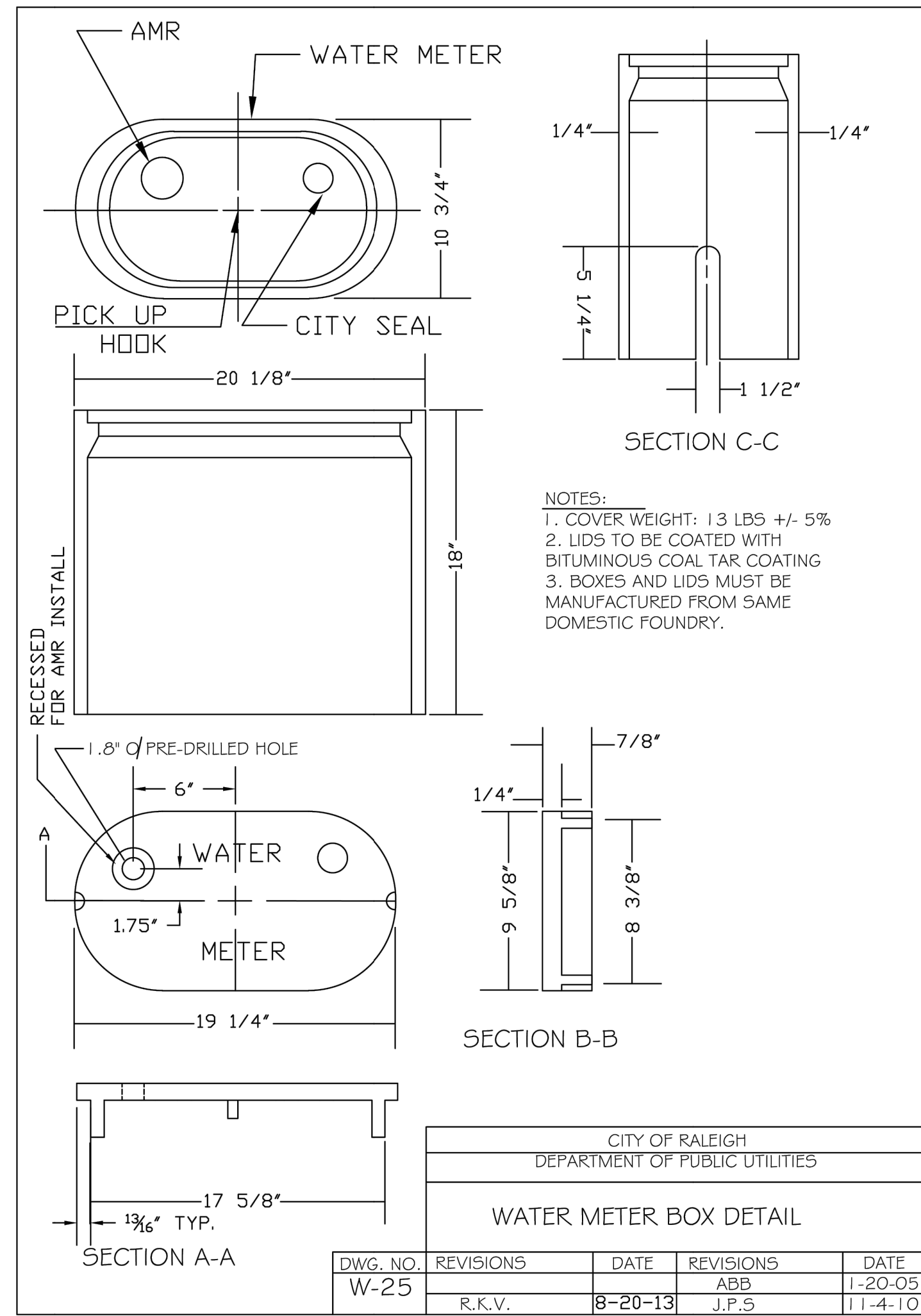
(919) 552-0840  
308 S. Fugate Avenue  
Fayetteville, NC 27526

CLIENT

The Joel Fund  
822 S White St, Suite 116  
Wake Forrest, NC 27587  
919.418.9042  
Contact: Brook Dickhart  
email: brooke@joelfund.org

CONSTRUCTION DRAWINGS  
THE JOEL FUND - SDP-24-08  
SITE DETAILS

C-4.1

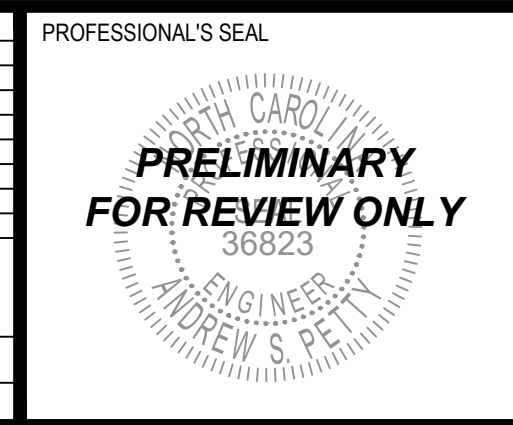


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REVISIONS	
1	12/02/2024 TOWN OF ROLESVILLE COMMENTS

STATUS  
**FOR REVIEW ONLY**  
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DATE: AUGUST 30, 2024	HORIZ. SCALE:
FILE NO. 2024-033	ORIG. SHEET SIZE: 24 x 36



CONSULTANT

**Curry**  
 ENGINEERING

EST. 1916

NC LIC. NO. P-0799

(919) 552-0840 308 S. Fugate Avenue  
 (919) 552-2643 Fugate/Venue, NC 27526

CLIENT

**The Joel Fund**  
 822 S White St, Suite 116  
 Wake Forrest, NC 27587  
 919.418.9042  
 Contact: Brook Dickhart  
 email: brooke@joelfund.org

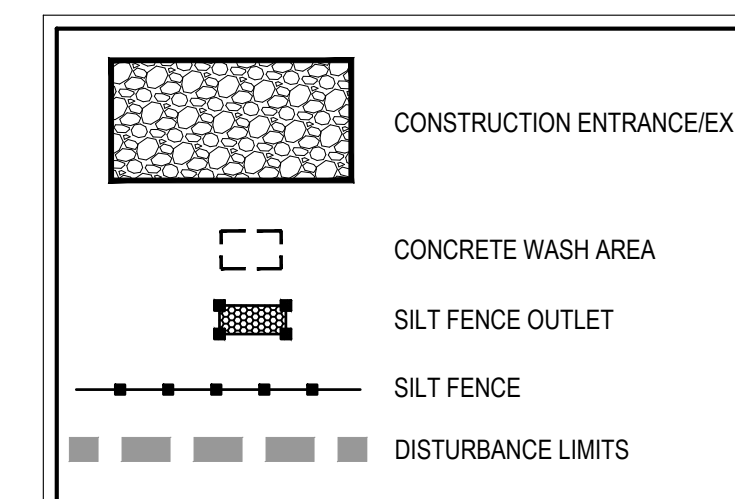
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**THE JOEL FUND - SDP-24-08**  
**UTILITY DETAILS**

**C-4.2**

**NOTES:**

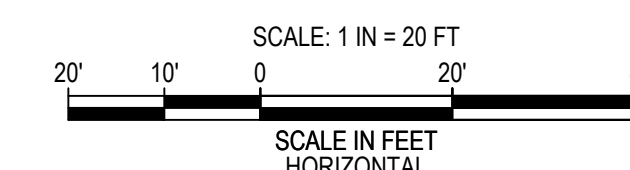
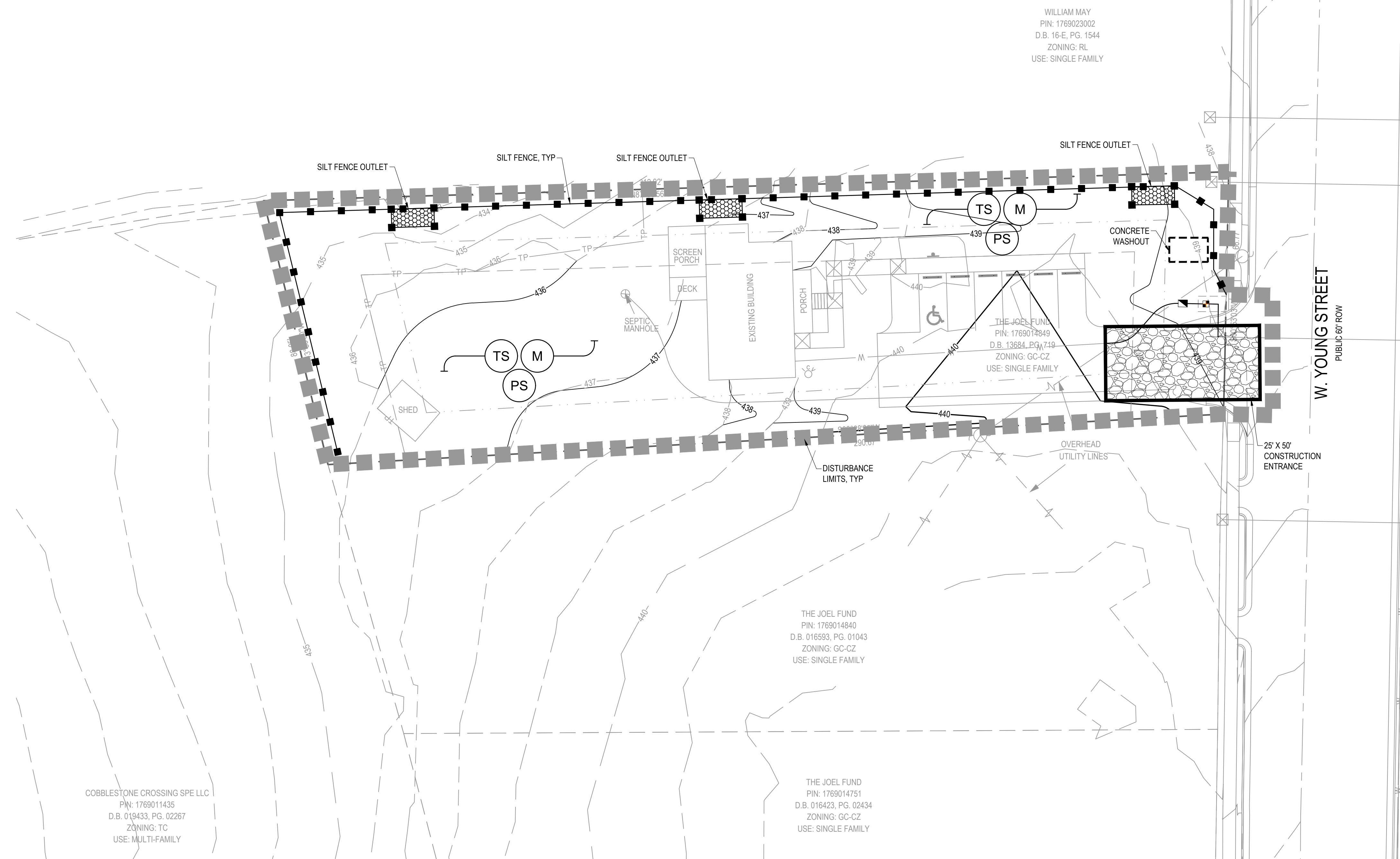
1. THE SILT FENCE, AND LIMITS OF DISTURBANCE SHOWN ON THIS PLAN ARE GRAPHICAL REPRESENTATION OF THE ACTUAL EROSION CONTROL MEASURES THAT SHALL BE INSTALLED UNDER THIS PROJECT. DUE TO SCALE OF THIS DRAWING, THESE MEASURES ARE GRAPHICALLY DEPICTED AND MAY BE BEYOND WHERE THEY ACTUALLY WILL BE INSTALLED IN THE FIELD.
2. THE WORK ASSOCIATED WITH THIS PERMIT INCLUDES CLEARING AND GRUBBING AND INFRASTRUCTURE INSTALLATION. MASS GRADING OF LOTS IS NOT PROGRAMMED.
3. TOTAL DISTURBED AREA = 0.58 AC
4. REFER TO DETAIL SHEET EC-1.1 FOR CONSTRUCTION SEQUENCE, EROSION CONTROL NARRATIVE, MAINTENANCE NOTES, STABILIZATION INSTRUCTIONS & EROSION CONTROL DETAILS.
5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT WAKE COUNTY STANDARDS AND REGULATIONS.
6. SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
7. THERE SHALL BE NO DISTURBANCE OUTSIDE THE LIMITS SHOWN ON THIS PLAN WITHOUT AN APPROVED PLAN AMENDMENT BY WAKE COUNTY S&EC.
8. ALL DISTURBED AREAS SHALL BE SEEDED PER STABILIZATION TABLE.
9. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SELF-INSPECTION LOG.

**UTILITY LEGEND:**



**NPDES STABILIZATION TABLE**

SITE AREA DESCRIPTION	STABILIZATION	TIMEFRAME EXCEPTIONS
Perimeter dikes, swales, ditches and slopes	7 days	None
High Quality Water (HQP) Zones	7 days	None
Slopes steeper than 3:1	7 days	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed.
Slopes 3:1 or flatter	14 days	7 days for slopes greater than 50' in length
All other areas with slopes flatter than 4:1	14 days	None, except for perimeters and HQW Zones



Z:\PROJECTS\FOLDER\_ZEBEL\ON2024\2024-033- THE JOEL FUND - ROLESVILLE\ANSITE PLAN\SHEET FILES\EC-1.0 EROSION CONTROL PLAN.DWG

COBBLESTONE CROSSING SPE LLC  
PIN: 1769011435  
D.B. 019433, PG. 02267  
ZONING: TC  
USE: MULTI-FAMILY

THE JOEL FUND  
PIN: 1769014840  
D.B. 016593, PG. 01043  
ZONING: GC-CZ  
USE: SINGLE FAMILY

THE JOEL FUND  
PIN: 1769014751  
D.B. 016423, PG. 02434  
ZONING: GC-CZ  
USE: SINGLE FAMILY

WILLIAM MAY  
PIN: 1769023002  
D.B. 16-E, PG. 1544  
ZONING: RL  
USE: SINGLE FAMILY

THE JOEL FUND  
PIN: 1769018440  
D.B. 136884, PG. 719  
ZONING: GC-CZ  
USE: SINGLE FAMILY

REVISIONS	
1	12/02/2024 TOWN OF ROLESVILLE COMMENTS

STATUS <b>FOR REVIEW ONLY</b> <b>NOT FOR CONSTRUCTION</b>	
DATE: AUGUST 30, 2024	HORZ. SCALE:
FILE NO. 2024-033	ORIG. SHEET SIZE: 24 x 36

PROFESSIONAL'S SEAL

**PRELIMINARY**  
FOR REVIEW ONLY

CONSULTANT

**Curry**  
ENGINEERING

EST. 1916  
NORTH CAROLINA  
NC LIC. NO. P-0799

Tel: (919) 552-0840  
Fax: (919) 552-2643  
308 S. Fugate Avenue  
Fayetteville, NC 27326

CLIENT

**The Joel Fund**  
822 S White St, Suite 116  
Wake Forrest, NC 27587  
919.418.9042  
Contact: Brook Dickhart  
email: brooke@joelfund.org

**CONSTRUCTION DRAWINGS**  
**THE JOEL FUND - SDP-24-08**  
**EROSION CONTROL PLAN**

**EC-1.0**



EROSION CONTROL NOTES

- 1. THE CONTRACTOR SHALL AT A MINIMUM IMPLEMENT THE CONTRACTOR'S REQUIREMENTS OUTLINED BELOW AND THOSE MEASURES SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN. IN ADDITION THE CONTRACTOR SHALL UNDERTAKE ADDITIONAL MEASURES REQUIRED TO BE IN COMPLIANCE WITH APPLICABLE PERMIT CONDITIONS AND STATE WATER QUALITY STANDARDS.

EROSION & SEDIMENT CONTROL NARRATIVE

PROJECT DESCRIPTION
THE PURPOSE OF THIS PROJECT IS TO CLEAR & GRUB AND CONSTRUCT INFRASTRUCTURE FOR 1 SINGLE FAMILY RESIDENTIAL LOT. THE PROPERTY IS PRIVATELY OWNED. SEE OWNER INFORMATION ON EXISTING CONDITIONS PLAN. THE SITE IS CURRENTLY UNDEVELOPED.

REQUIRED WAKE COUNTY CONSTRUCTION SEQUENCE:

- 1. SCHEDULE A PRECONSTRUCTION CONFERENCE WITH THE ENVIRONMENTAL CONSULTANT, CHARLES PHILLIPS AT 919-604-2156. OBTAIN A LAND-DISTURBING PERMIT.

DUST CONTROL

VEGETATIVE COVER
FOR DISTURBED AREAS NOT SUBJECT TO TRAFFIC, VEGETATION PROVIDES THE MOST PRACTICAL METHOD OF DUST CONTROL.

STOCKPILE NOTES

- MAINTENANCE REQUIREMENTS
A. SEEDING OR COVERING STOCKPILES WITH TARPS OR MULCH IS REQUIRED AND WILL REDUCE EROSION PROBLEMS. TARPS SHOULD BE KEYED IN AT THE TOP OF THE SLOPE TO KEEP WATER FROM RUNNING UNDERNEATH THE PLASTIC.

SEDIMENT & EROSION CONTROLS

IT IS THE CONTRACTORS RESPONSIBILITY TO IMPLEMENT THE EROSION AND SEDIMENT CONTROLS AS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN. IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THESE CONTROLS ARE PROPERLY INSTALLED, MAINTAINED AND FUNCTIONING PROPERLY TO PREVENT POLLUTED WATER FROM LEAVING THE PROJECT SITE.

STRUCTURAL PRACTICES

- 1. SILT FENCE (SEDIMENT FENCE): SILT FENCE CAN BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION. SILT FENCES SHALL BE PROVIDED WHERE SHOWN AND AS NEEDED ON THE SITE PLAN. THESE BARRIERS SHALL BE USED TO CONTAIN SEDIMENT.

VEGETATIVE PRACTICES

- 1. TEMPORARY SEEDING: DISTURBED AREAS THAT ARE NOT ANTICIPATED TO BE BROUGHT TO FINAL GRADE FOR A PERIOD OF MORE THAN 7 OR 14 CALENDAR DAYS MUST RECEIVE TEMPORARY SEEDING (SEE NPDES TABLE).

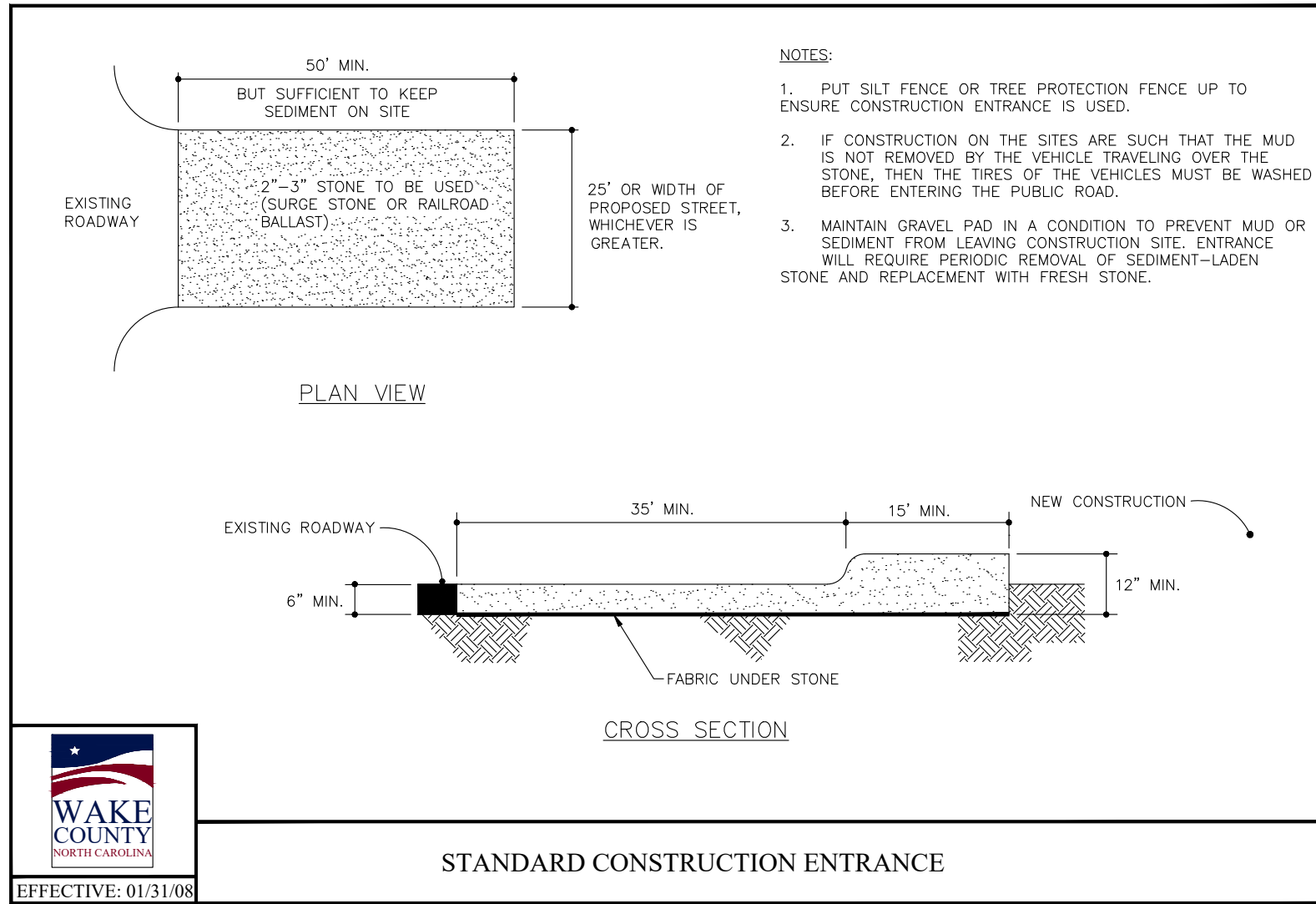
MANAGEMENT STRATEGIES

- 1. STOCKPILING MATERIAL: NO EXCAVATED MATERIAL SHALL BE STOCKPILED IN SUCH A MANNER AS TO DIRECT RUNOFF DIRECTLY OFF THE PROJECT SITE INTO ANY ADJACENT WATER BODY OR STORM WATER COLLECTION FACILITY.

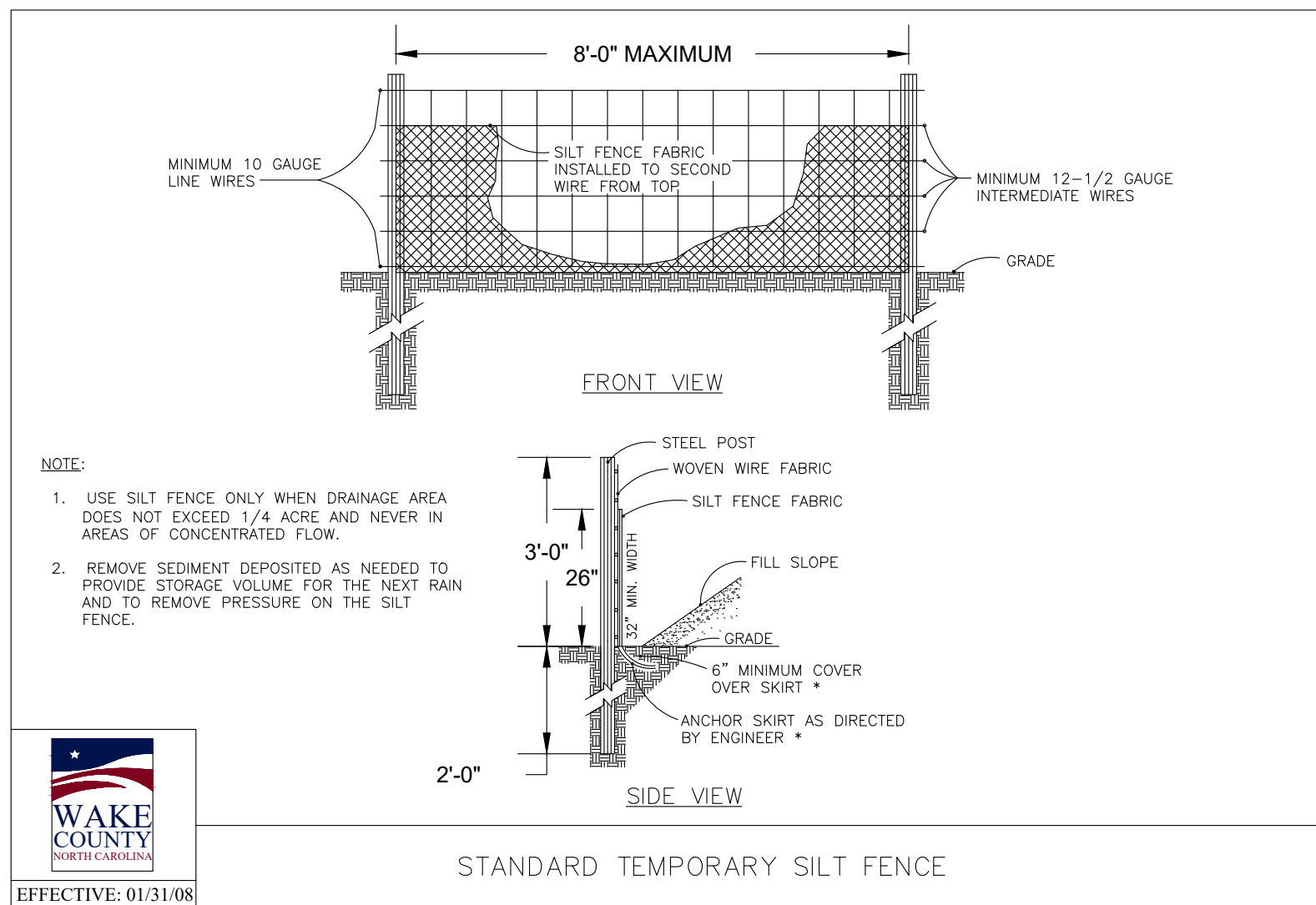
MAINTENANCE/INSPECTION PROCEDURES

THE FOLLOWING ARE INSPECTION AND MAINTENANCE PRACTICES THAT WILL BE USED TO MAINTAIN EROSION AND SEDIMENT CONTROLS.

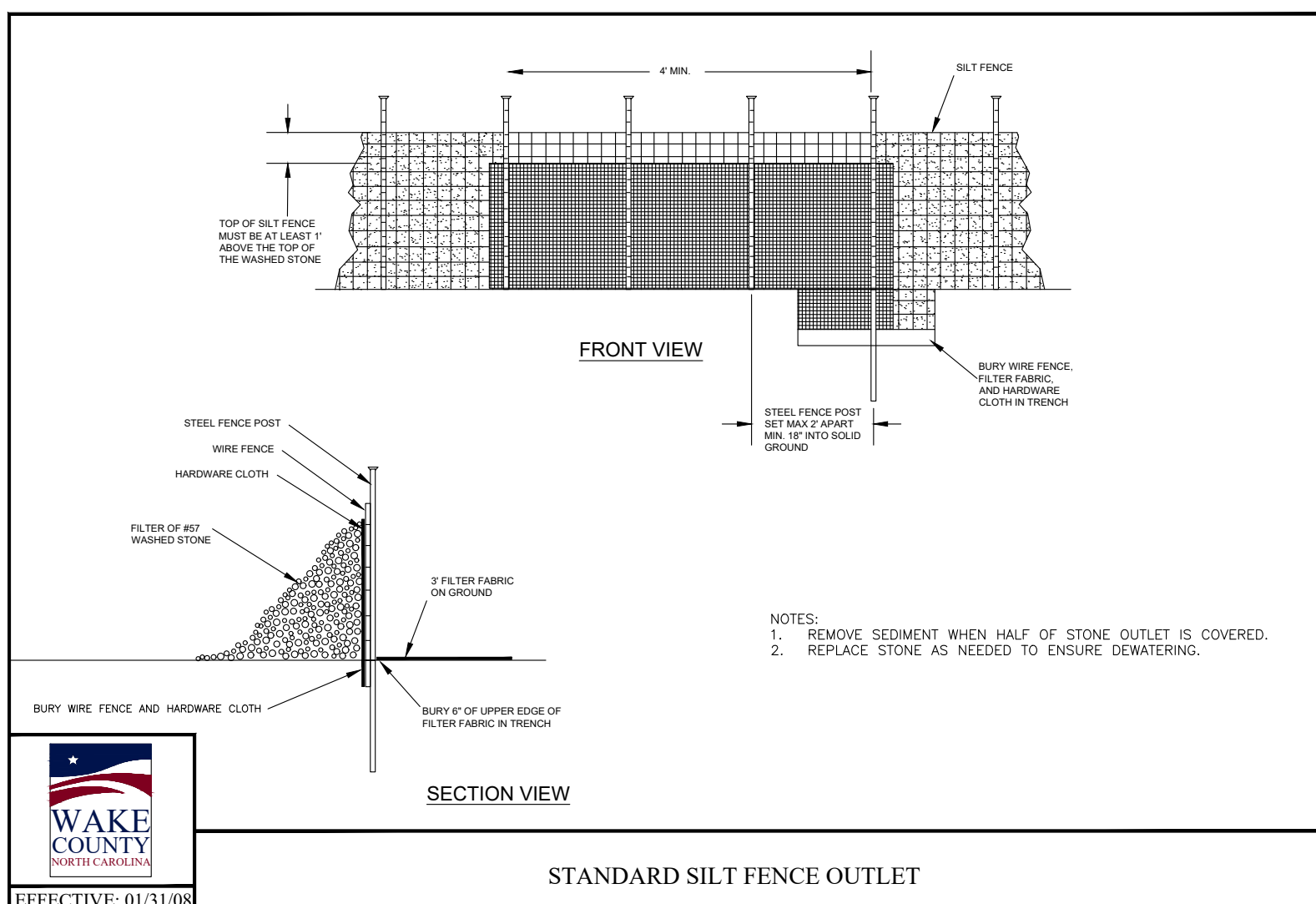
- ALL CONTROL MEASURES WILL BE INSPECTED BY THE SUPERINTENDENT, THE PERSON RESPONSIBLE FOR THE DAY TO DAY SITE OPERATION OR SOMEONE APPOINTED BY THE SUPERINTENDENT, DAILY AND WITHIN 24 HOURS OF EVERY RAINFALL EVENT.



1 STANDARD CONSTRUCTION ENTRANCE
EC-1.1 SCALE: NTS



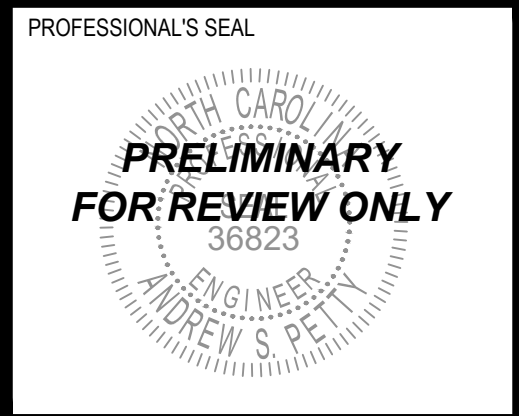
2 STANDARD TEMPORARY SILT FENCE
EC-1.1 SCALE: NTS



3 STANDARD SILT FENCE OUTLET
EC-1.1 SCALE: NTS

Z:\PROJECTS\FOLDER\_ZEBEL\CON2024\2024-033 THE JOEL FUND - ROLESVILLE\PLANS\SITE PLAN\SHEET FILES\EC-1.1 EROSION CONTROL DETAILS I.DWG
PLOTTED: 12/24/2024 2:07 PM

Table with columns for REVISIONS, STATUS, DATE, and FILE NO.



Curry ENGINEERING logo and contact information for The Joel Fund.

CLIENT information for The Joel Fund, including address and contact details.

CONSTRUCTION DRAWINGS THE JOEL FUND - SDP-24-08 EROSION CONTROL DETAILS I EC-1.1



INSPECTION AND MONITORING RECORDS FOR ACTIVITIES UNDER STORMWATER GENERAL PERMIT NCG010000 AND SELF-INSPECTION RECORDS FOR LAND DISTURBING ACTIVITIES PER G.S. 113A-54.1

Project Name, Land Quality or Local Program Project/Permit #, Approving Authority, Date of Plan Approval, NCG010000 Certificate of Coverage Number, Expiration Date, Date of COC Issuance

PART 1A: Rainfall Data

Table with columns: Rain Amount (inches) Daily Rainfall Required, Rain Amount (inches) Daily Rainfall Required. If no rain, indicate with a "zero"

PART 1B: Phase(s) of the Plan

Check ALL applicable box(es) that apply to completed & current phases. Initial installation of erosion and sediment control measures, Clearing and grubbing of existing ground cover, etc.

Are there any site or project conditions that limit completion of inspection? If yes, explain conditions and areas of site that were inaccessible.

PART 2: STORMWATER PLANS AND CONTROLS: For each question below, mark the corresponding box as Yes, No or N/A. For all items marked "No", note in Part 3A the Reference letter and provide the Corrective Action and location of the deficiency, the original date noted, and the date it was noted as being corrected. NOTE: Reference letters may be used multiple times.

Table with columns: Reference, Part 2A: Storm Water Plans and Related Documents, Yes, No, N/A. Includes questions A, B, C, D, E, F, G, H, I, J, K.

Report oil spills and the release of hazardous substances to the appropriate DEQ Regional Office via phone call or email within 24 hours of discovery. https://deq.nc.gov/contact/regional-offices

Table with columns: Reference, Part 2D: Sedimentation, Yes, No, N/A. Includes questions L, M.

PART 3A: EROSION AND SEDIMENTATION CONTROL MEASURES: Measures must be inspected at least ONCE PER 7 CALENDAR DAYS AND WITHIN 24 HOURS OF A RAINFALL EVENT EQUAL TO OR GREATER THAN 1.0 INCH PER 24 HOUR PERIOD. Add rows as needed.

Table for Erosion and Sedimentation Control Measures Inspected. Columns: Measure ID or Location and Description, Reference(s), Operating Property? (Y/N), Inspection Date, Describe Actions Needed, Date Previous Action(s) Observed as Corrected.

PART 3B: STORMWATER DISCHARGE OUTFALLS (SDOs): SDOs must be inspected at least ONCE PER 7 CALENDAR DAYS AND WITHIN 24 HOURS OF A RAINFALL EVENT EQUAL TO OR GREATER THAN 1.0 INCH PER 24 HOUR PERIOD. Add rows as needed.

Table for Stormwater Discharge Outfalls Inspected. Columns: Stormwater Discharge Outfall ID or Location, Any Visible Sedimentation in Streams, Wetlands or Outside Site Limits? (Y/N), Any Increase in Stream Turbidity from Discharge? (Y/N), Any Visible Erosion below SDO? (Y/N), Any visible oil sheen, floating or suspended solids or discoloration? (Y/N), Inspection Date, Describe Actions Needed, Date Previous Action(s) Observed as Corrected.

PART 3C: GROUND STABILIZATION: Must be recorded, at a minimum, after each phase. Add rows as needed.

Table for Ground Stabilization. Columns: Site area description and location where construction activities have temporarily or permanently ceased, Time Limit for Ground Cover (see table below), Have stabilization measures been installed? (Y/N), Temporary or Permanent Stabilization (T/P), Is Ground Cover Sufficient to Restrict Erosion? (Y/N), Original Inspection Date, Describe Actions Needed, Date Previous Action(s) Observed as Corrected.

GROUND STABILIZATION TIMEFRAMES. Table with columns: Site Area Description, Stabilization, Timeframe Variations.

PART 3D: NEW OR REVISED MEASURES: Erosion and sedimentation control measures omitted or installed, at a minimum since the last inspection, shall be documented here or by initialing and dating each measure or practice shown on a copy of the approved erosion and sedimentation control plan. Alterations and relocations of measures shall also be documented if they significantly deviate from the approved plan. The removal of measures should also be documented. List dimensions of measures such as Sediment Basins and Dissipator Pads. Add rows as needed. Corrective actions should be included in Part 3A.

Table for Part 3D. Columns: Measure ID or Location and Description, Proposed Dimensions (ft.), Actual Dimensions (ft.), Significant Deviation\* from Plan? (Y/N), Date measure observed as installed, altered, relocated or removed, Installed (I) Altered (A) Relocated (R) Removed (X).

\*Significant deviation means any omission, alteration or relocation of an erosion or sedimentation control measure that prevents it from performing as intended.

PART 4: Signature of Inspector

Signature of Inspector form. Includes fields for Name, Employer, County, Address, Phone Number, Email Address, and Date & Time of Inspection.

Z:\PROJECTS\FOLDER\_ZEBEL\CON2024\2024-033 THE JOEL FUND - ROLESVILLE\PLANS\SITE PLAN\SHEET FILES\EC-13 EROSION CONTROL DETAILS III.DWG PLOTTED: 12/24/2024 2:07 PM

Table with columns: REVISIONS, TOWN OF ROLESVILLE COMMENTS, STATUS FOR REVIEW ONLY NOT FOR CONSTRUCTION, DATE: AUGUST 30, 2024, HORZ. SCALE, FILE NO. 2024-033, ORIG. SHEET SIZE: 24 x 36



Curry ENGINEERING logo and contact information: 208 S. Fugate Avenue, Fugate/Vernon, NC 27526, (919) 552-0940, (919) 552-2643, NC LIC. NO. P-0799

CLIENT: The Joel Fund, 822 S White St, Suite 116, Wake Forest, NC 27587, 919.418.9042, Contact: Brook Dickhart, email: brooke@joelfund.org

CONSTRUCTION DRAWINGS THE JOEL FUND - SDP-24-08 EROSION CONTROL DETAILS III EC-1.3

TOWN OF ROLESVILLE LANDSCAPE NOTES:

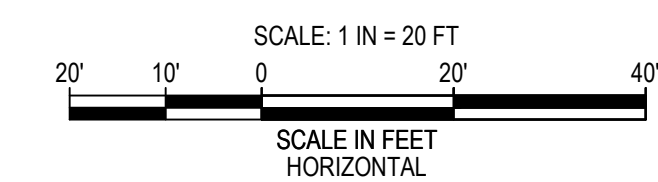
1. ALL LANDSCAPING IS TO BE INSTALLED IN ACCORDANCE WITH THE TOWN OF ROLESVILLE LAND DEVELOPMENT ORDINANCE AND ANY APPLICABLE STANDARDS.
2. A CERTIFICATE OF OCCUPANCY SHALL NOT BE ISSUED, UNTIL ALL REQUIRED PLANT MATERIALS HAVE BEEN PLACED IN ACCORDANCE WITH THE APPROVE LANDSCAPE PLAN AND REQUIREMENTS OF THE LDO.
3. A TEMPORARY CERTIFICATE OF OCCUPANCY MAY BE ISSUED FOR A PERIOD OF 30 TO 180 DAYS UNDER CIRCUMSTANCES THAT WOULD AFFECT THE INSTALLATION OF REQUIRED PLANT MATERIAL, OR UNTIL THE PROPER PLANTING SEASON IS REACHED, TO COMPLETE THE REQUIREMENTS OF THE LDO.
4. THE LAND DEVELOPMENT ADMINISTRATOR SHALL INSPECT LANDSCAPING PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (UNLESS A TEMPORARY CERTIFICATE OF OCCUPANCY OR CERTIFICATE OF COMPLIANCE HAS BEEN GRANTED). AN AS-BUILT PLAN SHALL BE PROVIDED TO THE TOWN FOR LANDSCAPING IMPROVEMENTS REQUIRED PER THE SITE PLAN.
5. ALL REQUIRED LANDSCAPING SHALL BE STABILIZED AND MAINTAINED WITH VEGETATIVE COVER, MULCH, OR OTHER APPROVED MATERIALS BY THE LAND DEVELOPMENT ADMINISTRATOR TO PREVENT EROSION.
6. THE OWNER OF PROPERTY SHALL BE RESPONSIBLE FOR PROTECTING AND MAINTAINING PLANT MATERIAL. MAINTENANCE OF PLANT MATERIAL SHALL ALSO COMPLY WITH THE FOLLOWING:
  - a. ALL LANDSCAPING, INCLUDING LANDSCAPING USED FOR BUFFERS AND SCREENING PURPOSES, SHALL BE DESIGNED, AND MAINTAINED ACCORDING TO SOUND LANDSCAPE AND HORTICULTURAL PRACTICES, AND ALL FENCES/WALLS SHALL BE MAINTAINED IN THE CONDITION IN WHICH THEY WERE ORIGINALLY APPROVED.
  - b. ALL PLANT MATERIAL SHALL BE MAINTAINED IN AN ATTRACTIVE AND HEALTHY CONDITION.
  - c. DEAD OR DISEASED PLANT MATERIAL SHALL BE REMOVED AND REPLACED.
  - d. THE RESPONSIBILITY OF MAINTENANCE OF A REQUIRED BUFFER SHALL REMAIN WITH THE OWNER OF THE PROPERTY, OR THEIR GRANTEE.
7. NOTHING SHALL BE PLANTED OR INSTALLED WITHIN AN UNDERGROUND OR OVERHEAD UTILITY OR DRAINAGE EASEMENT WITHOUT TOWN APPROVAL AND EASEMENT HOLDER APPROVAL.

GENERAL LANDSCAPE NOTES:

1. THE CONTRACTOR SHALL MAINTAIN OR PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES, AND WITHIN PLANTING BEDS.
2. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE ALL PLANTINGS SHOWN ON THIS DRAWING UNLESS OTHERWISE DIRECTED BY THE OWNER. THE PLAN SHALL SUPERSEDE THE PLANT SCHEDULE IF THERE ARE DISCREPANCIES BETWEEN THE TWO.
3. ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM STANDARDS SET BY THE U.S.D.A. FOR NURSERY STOCK, SPONSORED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC., WASHINGTON, D.C. ALL PLANT MATERIAL SHALL BE OF HIGHEST QUALITY AVAILABLE. TREES SHALL HAVE STRAIGHT TRUNKS AND FULL HEADS (APPROPRIATE FOR GENUS AND SPECIES). SHRUBS SHALL BE LOW BRANCHED AND FULL EXCEPT AS SPECIFIED. ALL MATERIAL OF THE SAME TYPE SHALL BE MATCHED IN HEIGHT, SPREAD, AND FORM. ANY PLANT MATERIAL SUBSTITUTIONS SHALL BE APPROVED BY THE OWNER AND/OR LANDSCAPE ARCHITECT.
4. ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE ORIGINAL GRADES BEFORE DIGGING. THE CONTRACTOR SHALL REVISE GRADES AT A MINIMUM OF +/- 1/2% TO ENSURE SMOOTH TRANSITIONS BETWEEN PLANTING BEDS AND LAWN AREAS.
5. PLANT SIZES SHOWN IN THE PLANT SCHEDULE ARE MINIMUM ALLOWED AT THE TIME OF INSTALLATION.
6. INSTALL A MINIMUM OF 3" DEPTH OF SHREDDED HARDWOOD MULCH OR PINESTRAW MULCH AS APPROVED BY THE OWNER.
7. ALL TREES LOCATED ADJACENT TO WALKS AND DRIVES SHALL HAVE A MINIMUM 6' CLEARANCE HEIGHT TO THE FIRST BRANCHING.
8. ALL TREES SHALL BE PLACED A MINIMUM OF 3' FROM SIDEWALKS, CURBS, AND HARDSCAPE, AND A MINIMUM OF 6' FROM FIRE HYDRANTS AND OTHER UTILITIES, UNLESS OTHERWISE NOTED ON PLANS.
9. ALL PLANTS AND STAKES SHALL BE SET PLUMB UNLESS OTHERWISE SPECIFIED.
10. ALL PLANTING BED EDGES TO BE SMOOTH FLOWING ARCS, UNLESS OTHERWISE SPECIFIED. BED EDGES SHALL BE SMOOTH, CONSISTENT, TRENCHED 3 TO 4 INCHES DEEP, AND "V" SHAPED. ALL EXCAVATED MATERIAL SHALL BE REMOVED FROM THE BED EDGE AND PLANTING BED.
11. IF THE CONTRACTOR OBSERVES ANY DEFICIENCIES IN THE SITE CONDITIONS OF WHICH COULD NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL, OR GUARANTEE, NOTIFY THE OWNER PRIOR TO PROCUREMENT AND/OR INSTALLATION.
12. ANY DISTURBED AREAS THAT ARE NOT TO BE PLANTED OR LAWN, SHALL BE RESTORED TO THEIR PREVIOUS CONDITION (INCLUDING FINE GRADING UNEVEN AREAS, SEEDING OR SODDING, AND/OR MULCHING).

LANDSCAPE LEGEND:

- EXISTING UNDISTURBED VEGETATION
- CANOPY TREES
  - QNU - QUERCUS NUTTALLII
  - NSY - NYSSA SYLVATICA
  - ARO - ACER RUBRUM 'OCTOBER GLORY'
- UNDERSTORY TREES
  - LIN - LAGERSTROEMIA INDICA
- SHRUBS
  - AGR - ABELIA x GRANDIFLORA
  - ICB - ILEX CORNUATA 'BURFORDII NANA'
  - IGS - ILEX GLABRA 'SHAMROCK'



438

WILLIAM MAY  
PIN: 1769023002  
D.B. 16-E, PG. 1544  
ZONING: RL  
USE: SINGLE FAMILY

THE JOEL FUND  
PIN: 1769014840  
D.B. 016583, PG. 01043  
ZONING: GC-CZ  
USE: SINGLE FAMILY

THE JOEL FUND  
PIN: 1769014751  
D.B. 016423, PG. 02434  
ZONING: GC-CZ  
USE: SINGLE FAMILY

EXISTING VEGETATION TO REMAIN UNDISTURBED, TYP

PROPERTY BOUNDARY

SCREEN PORCH  
DECK  
EXISTING BUILDING  
PORCH

W. YOUNG STREET  
PUBLIC 80' ROW

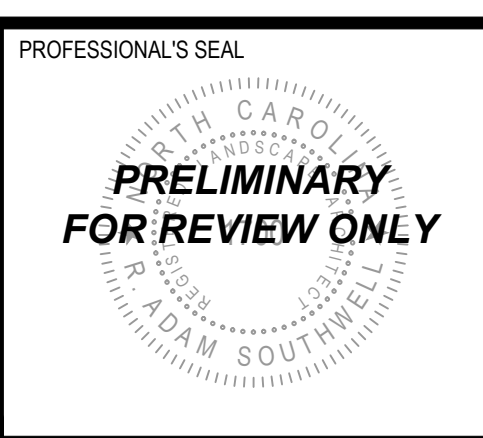
COBBLESTONE CROSSING SPE LLC  
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USE: MULTIFAMILY

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REVISIONS	
NO.	DATE
1	12/02/2024

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FILE NO. 2024-033	ORIG. SHEET SIZE: 24 x 36



CONSULTANT

# Curry

ENGINEERING

EST. 1919

110 S. Fidelity Avenue  
Fayetteville, NC 27526

T: (919) 552-0849  
F: (919) 552-2043

CLIENT

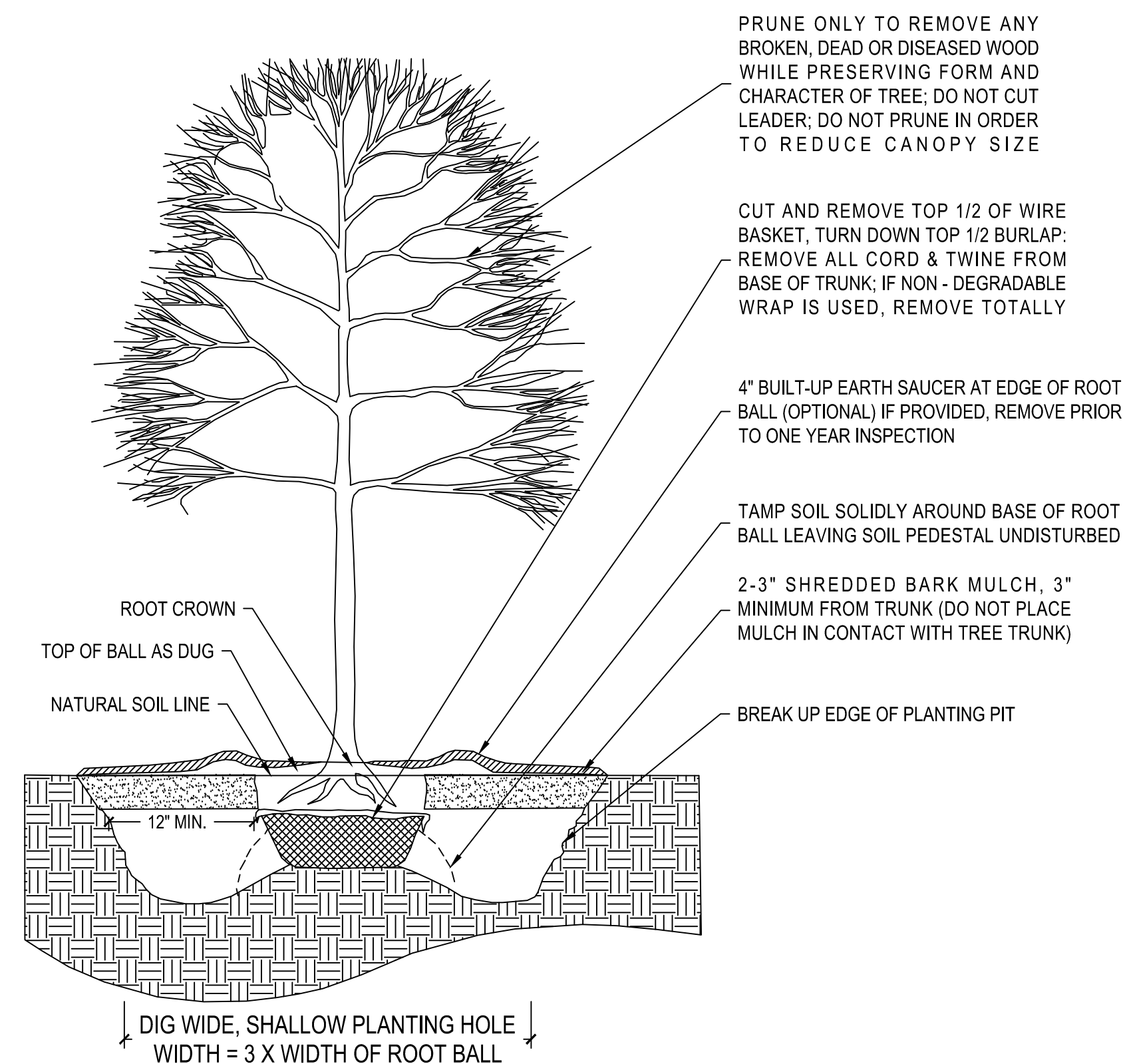
**The Joel Fund**  
822 S White St, Suite 116  
Wake Forrest, NC 27587  
919.418.9042  
Contact: Brook Dickhart  
email: brooke@joelfund.org

## CONSTRUCTION DRAWINGS

# THE JOEL FUND - SDP-24-08

### LANDSCAPE PLAN

L-1.0

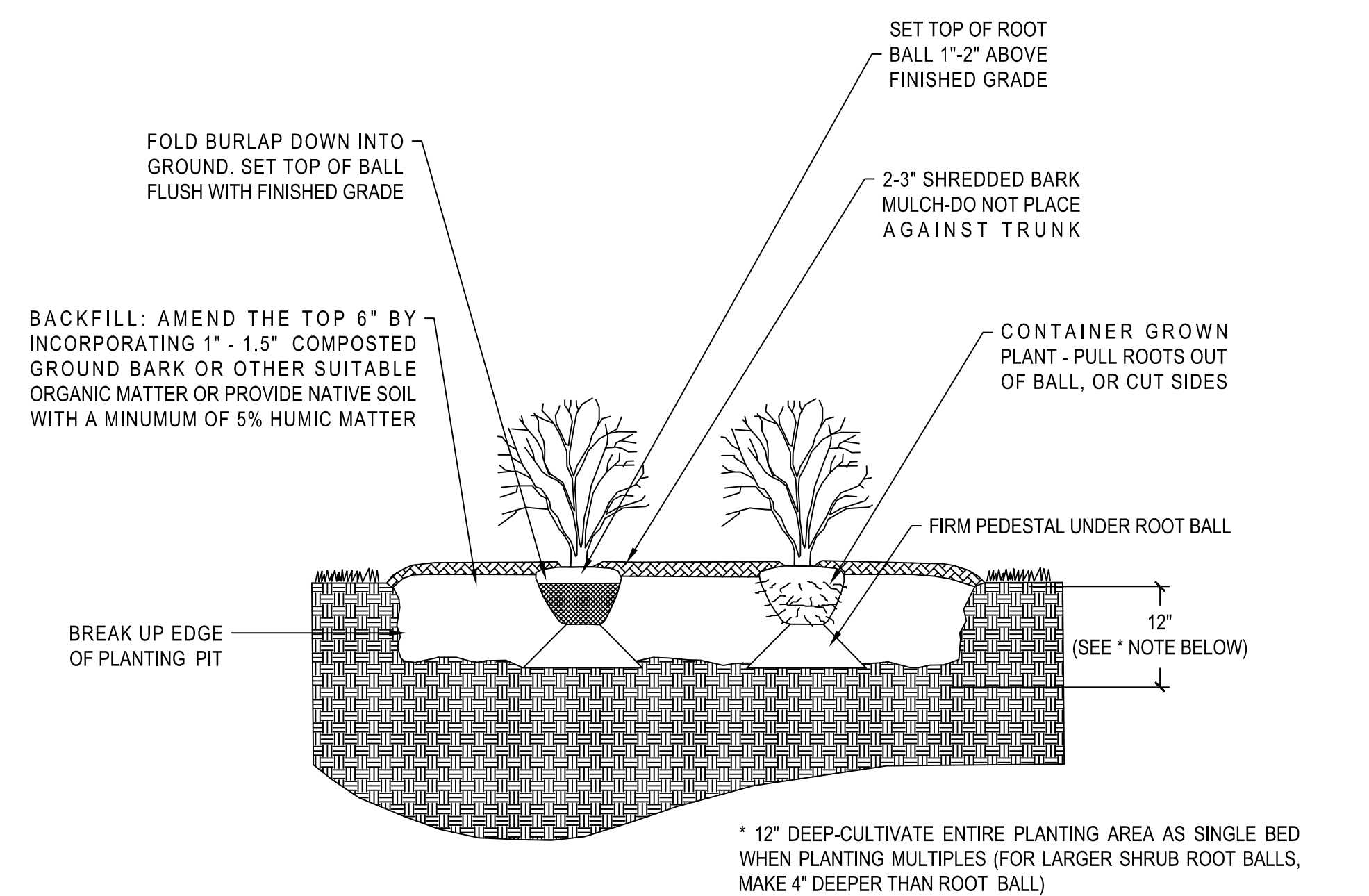


**NOTES**

1. CONTRACTOR TO VERIFY THAT ADEQUATE DRAINAGE EXISTS PRIOR TO PLANTING.
2. DO NOT WRAP TRUNK OF TREE.
3. STAKING OF TREES IS NOT RECOMMENDED, EXCEPT ON WINDY SITES OR FOR LARGE EVERGREEN TREES. IF STAKING IS DONE, FLEXIBLE STRAPS - NOT HOSE AND WIRE - SHOULD BE USED AND MUST BE REMOVED AT APPROPRIATE TIME. PROPERTY OWNER IS RESPONSIBLE FOR REPLACEMENT OF DESTROYED OR DAMAGED TREES.
4. ALL TREES SHALL CONFORM TO THE STANDARDS SET FORTH IN THE MOST RECENT AMERICAN STANDARDS FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSEYMEN (A.A.N.).
5. TREES WITH ROOT FLARE COVERED BY MORE THAN 1.5" OF SOIL WILL BE REJECTED PRIOR TO INSTALLATION.

**TREE PLANTING DETAIL (LAN-37)**

NTS



**NOTES**

1. ALL SHRUBS SHALL CONFORM TO THE STANDARDS SET FORTH IN THE MOST RECENT AMERICAN STANDARDS FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSEYMEN (A.A.N.).
2. SOIL ANALYSIS SHALL BE OBTAINED PRIOR TO PLANTING. SOIL SHALL BE AMENDED AS RECOMMENDED.
3. SHEET PREPARATION OF BEDS IS HIGHLY PREFERRED TO INDIVIDUAL DUG HOLES.

**SHRUB/GROUNDCOVER PLANTING DETAIL (LAN-38)**

NTS

**LANDSCAPE CALCULATIONS:**

PERIMETER BUFFERS  
REQUIREMENTS:  
25' TYPE 3

4 CANOPY TREES PER 100 LF  
2 UNDERSTORY TREES PER 100 LF  
60 SHRUBS PER 100 LF  
6HT WALL

BUFFER REQUIRED	101.33 LF 4 CANOPY TREES 61 SHRUBS 6HT WALL
PROVIDED	4 CANOPY TREES 2 UNDERSTORY TREES 61 SHRUBS 6H WALL

**STREET BUFFERS**

REQUIREMENTS:

30' STREETSCAPE BUFFER 1 CANOPY TREE PER 40 LF

STREETSCAPE BUFFER

REQUIRED 78.56 LF  
2 CANOPY TREES

PROVIDED

2 CANOPY TREES

**PARKING LOT LANDSCAPING**

REQUIREMENTS:

1 CANOPY TREE PER TERMINAL ISLAND  
CONTINUOUS EVERGREEN PERIMETER PLANTING @ 3' O.C.

REQUIRED

2 CANOPY TREES  
CONTINUOUS EVERGREEN PERIMETER PLANTING @ 3' O.C.

PROVIDED

2 CANOPY TREES  
CONTINUOUS EVERGREEN PERIMETER PLANTING @ 3' O.C.

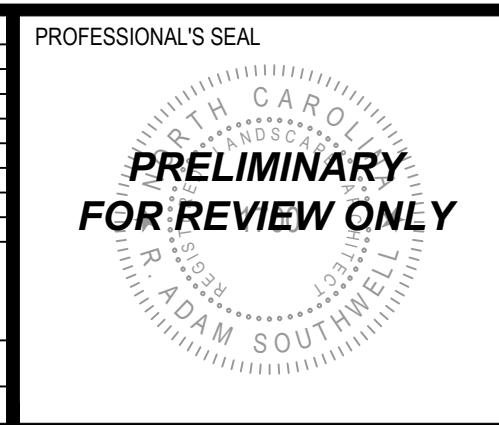
PLANT SCHEDULE										
KEY	QTY	BOTANICAL NAME	COMMON NAME	ROOT	CALIPER (MINIMUM)	HEIGHT (MINIMUM)	TYPE	USE	NOTES	
<b>CANOPY TREES</b>										
ARO	4	Acer rubrum 'October Glory'	October Glory® Red Maple	B&B	2"	8'	D	PERIMETER BUFFER	MATCHED	
ONU	2	Quercus nuttallii	Nuttall Oak	B&B	2.5"	8'	D	STREETSCAPE BUFFER	MATCHED	
NSY	2	Nyssa sylvatica	Black Gum	B&B	2"	8'	D	PARKING LOT	MATCHED	
<b>UNDERSTORY TREES</b>										
LIN	2	Lagerstroemia indica	Crape Myrtle	B&B	1"	8'	D	PERIMETER BUFFER	MATCHED	
<b>SHRUBS</b>										
AGR	21	Abelia x grandiflora	Glossy Abelia	CONT.		18"	E	PERIMETER BUFFER	MATCHED	
ICB	72	Ilex cornuta 'Burfordii Nana'	Dwarf Burford Holly	CONT.		18"	E	PARKING LOT / PERIMETER BUFFER	MATCHED	
IGS	11	Ilex glabra 'Shamrock'	Shamrock Inkberry Holly	CONT.		18"	E	PERIMETER BUFFER	MATCHED	
<b>TYPE / USE LEGEND</b>										
PLANT TYPE: E = EVERGREEN / D = DECIDUOUS / SE = SEMI-EVERGREEN / H = HERBACEOUS										

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CONSULTANT

**Curry**  
ENGINEERING

1019 S. FURQUAY AVENUE  
FURQUAY, NC 27526  
T (919) 552-0848  
F (919) 552-2043

NC LIC. NO. P-0799

CLIENT

**The Joel Fund**  
822 S White St, Suite 116  
Wake Forrest, NC 27587  
919.418.9042  
Contact: Brook Dickhart  
email: brooke@joelfund.org

**CONSTRUCTION DRAWINGS**  
**THE JOEL FUND - SDP-24-08**  
**LANDSCAPE DETAILS**

**L-2.0**