

V2 - SDP-24-06

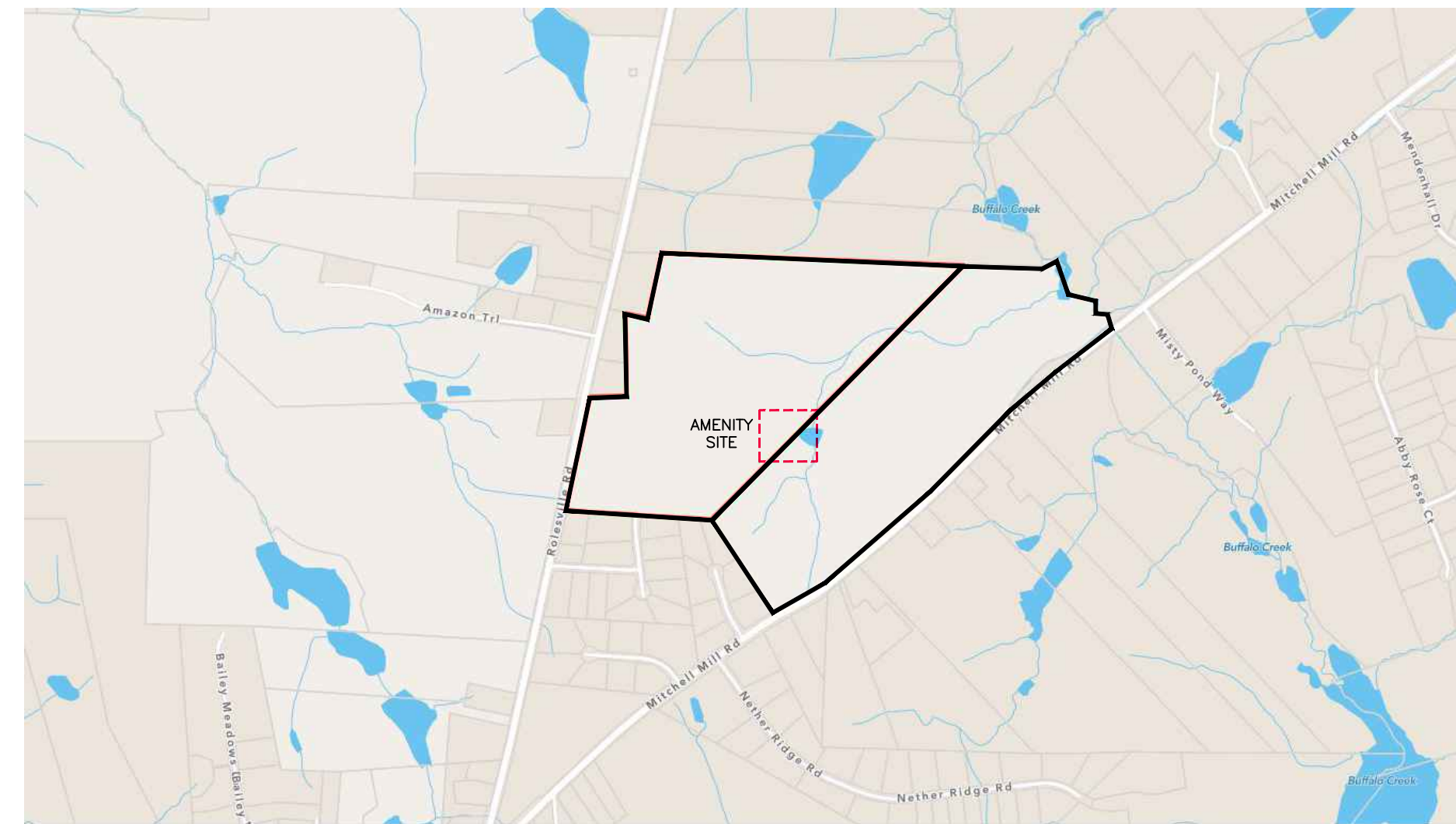
ROLESVILLE CROSSING

1801 ROLESVILLE RD
ROLESVILLE, NC 27587

AMENITY CENTER (OS 1006 & OS 1007) CONSTRUCTION DRAWINGS

PROJECT NUMBER: LEN2026
SDP-24-06
DATE: JULY 1, 2024

SITE DATA	
DEVELOPER:	LENNAR 1100 PERIMETER PARK DRIVE, SUITE 112 MORRISVILLE, NC 27560
OWNER:	HEARTHSTONE INC 23975 PARK SORRENTO STE 220 CALABASAS CA 91302
PIN NUMBERS (ENTIRE SITE):	1767-48-3143; 1767-58-6083
WATERSHED:	BUFFALO CREEK
RIVER BASIN:	NEUSE
PROJECT LAND AREA:	TOTAL PROJECT AREA: 90.85 AC AFTER R/W DEDICATION AMENITY AREA (OS 1006): 21,215 SF PARKING LOT (OS 1007): 22,523 SF TOTAL AMENITY SITE: 43,738 SF / 1.00 AC
EXISTING ZONING:	R-3-CZ
PROPOSED ZONING:	R-3-CZ
CURRENT USE:	RESIDENTIAL/AMENITY & PARKING
PROPOSED USE:	RESIDENTIAL/AMENITY & PARKING
CURRENT IMPERVIOUS:	16,463 SF - PARKING LOT & MAIL KIOSK (APPROVED UNDER SEPARATE COVER CD 21-08)
PROPOSED IMPERVIOUS:	11,164 SF - CLUBHOUSE & POOL
PARKING DATA:	REQUIRED FOR MAIL KIOSK: 7 PROVIDED: 7 ADDITIONAL VISITOR SPOTS PROVIDED: 34 TOTAL PARKING SPACE PROVIDED: 40 (APPROVED UNDER SEPARATE COVER CD-21-08)
TREE COVERAGE:	N/A
BUILDING HEIGHT:	ONE STORY 21'-6"
BUILDING AREA:	1,958 SF
DENSITY:	1 DU/AC

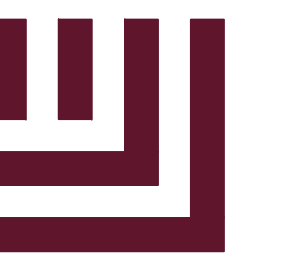


VICINITY MAP
N.T.S.



SHEET INDEX

C0.00	COVER SHEET
C1.00	OVERALL SUBDIVISION PLAN
C1.01	AMENITY EXISTING CONDITION
C2.00	AMENITY HARDSCAPE PLAN
C3.00	AMENITY GRADING, DRAINAGE, AND EROSION CONTROL PLAN
C4.00	AMENITY UTILITY PLAN
C8.00	SITE AND UTILITY DETAILS
C8.01	SITE DETAILS
L5.00	AMENITY LANDSCAPE PLAN
L5.01	LANDSCAPE NOTES AND DETAILS
L6.00	AMENITY LIGHTING PLAN



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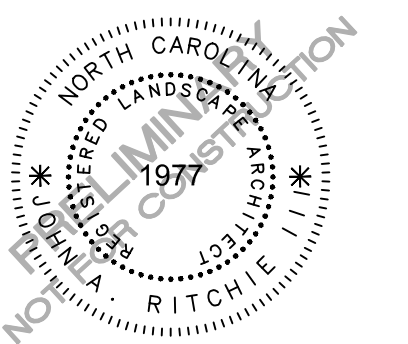
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CONTACT

JACK RITCHIE
ritchie@mcadamsco.com
PHONE: 404.642.6153

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ERIC BLOCHER
eric.blocher@lennar.com
919.594.0076



REVISIONS

NO.	DATE	REVISION
1	09.03.2024	REVISED PER TOWN COMMENTS

CONSTRUCTION DRAWINGS FOR:

ROLESVILLE CROSSING
AMENITY CENTER
ROLESVILLE, NC 27587
PROJECT NUMBER: LEN23026



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**ROLESVILLE CROSSING
AMENITY CENTER
CONSTRUCTION DRAWINGS
1801 ROLESVILLE RD
ROLESVILLE, NC 27587**



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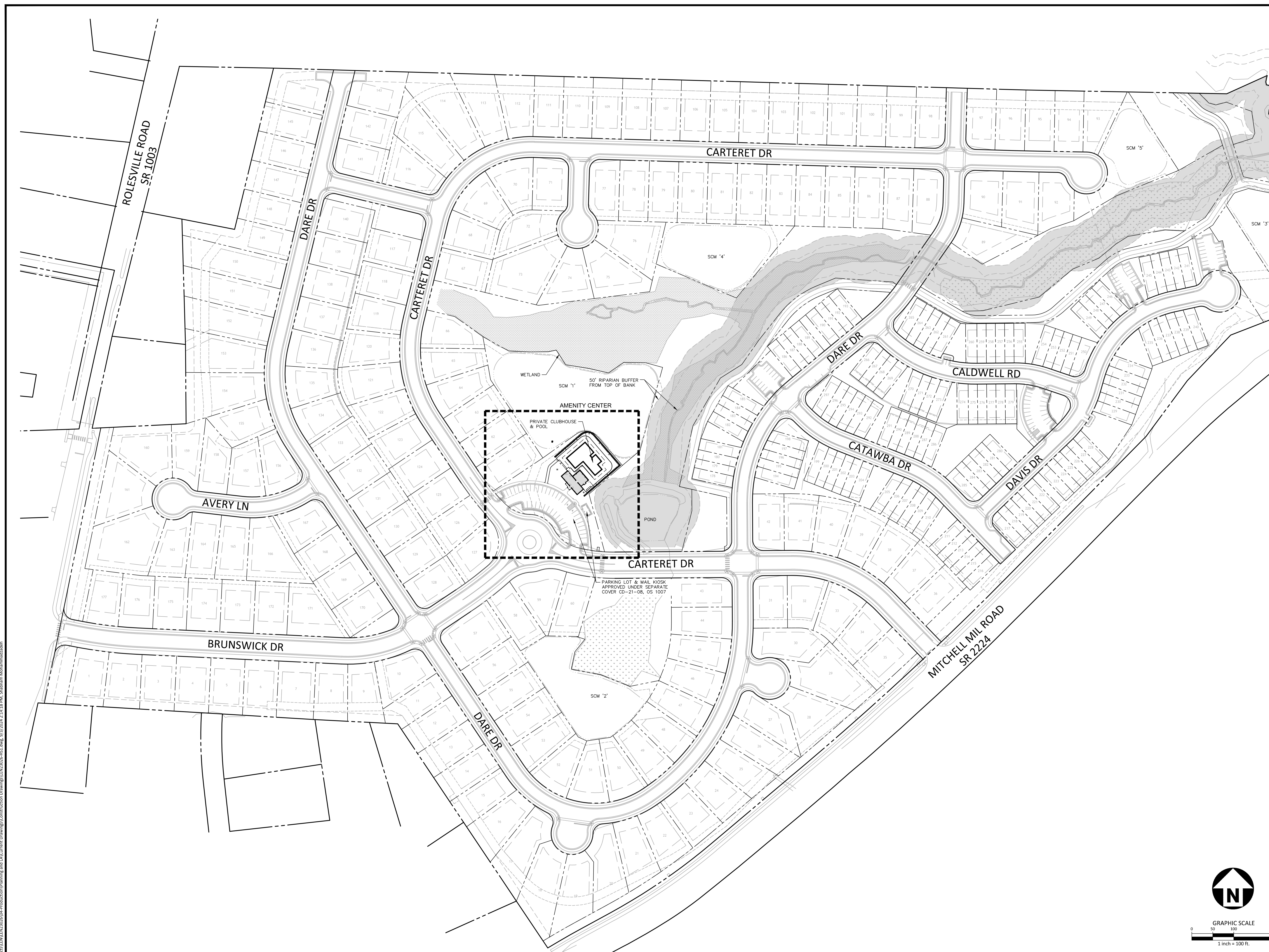
PLAN INFORMATION

PROJECT NO. LEN23026
 FILENAME LEN23026-HS1
 CHECKED BY JAR
 DRAWN BY SMA
 SCALE 1" = 100'
 DATE 07.01.2024

SHEET

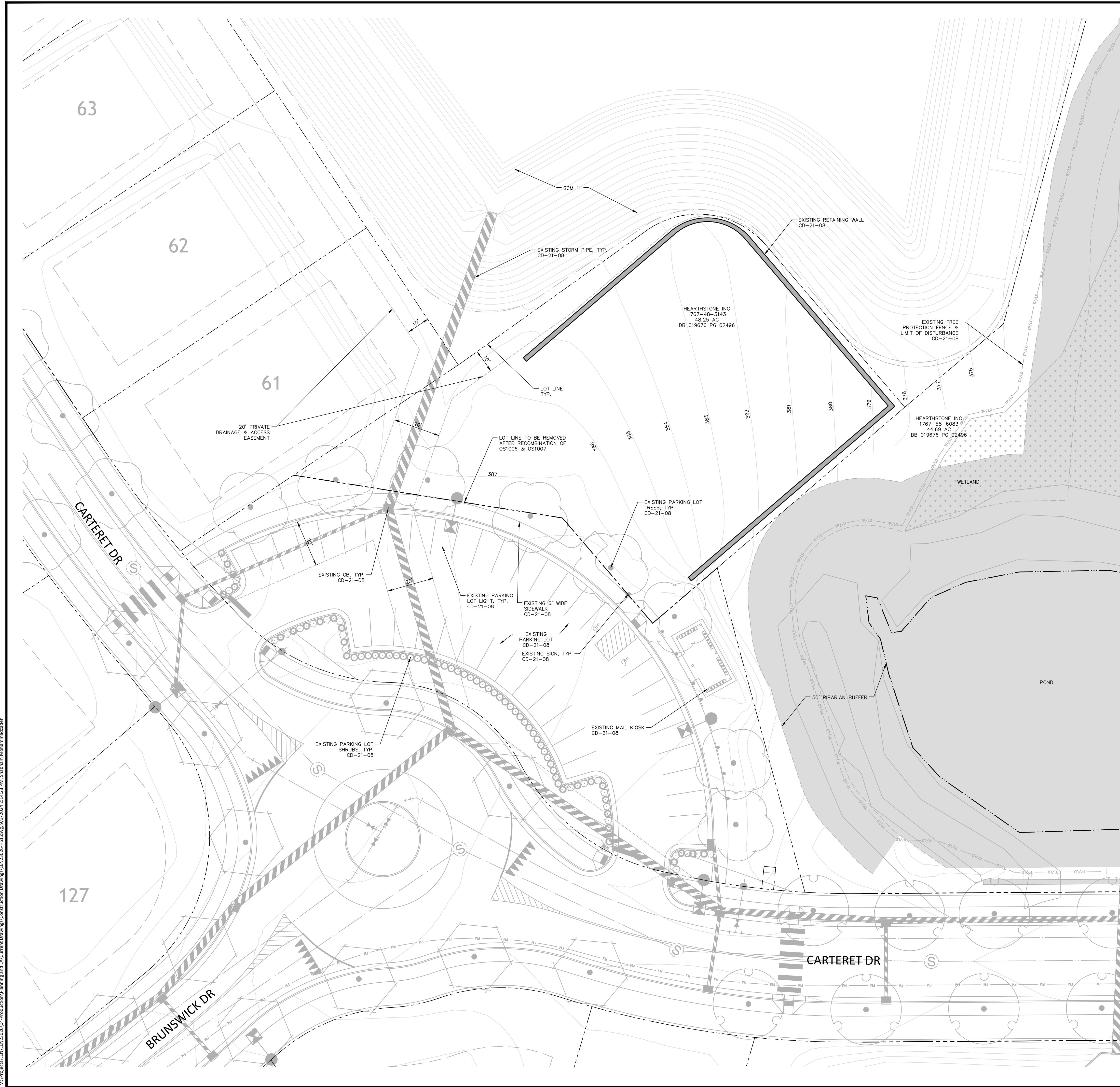
**OVERALL SUBDIVISION
PLAN**

C1.00



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SDP-24-06
PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



LEGEND

	SIGNAGE
	LIGHT POLE
	PROPERTY LINE
	EASEMENT LINE
	STREAM BUFFER
	WETLAND

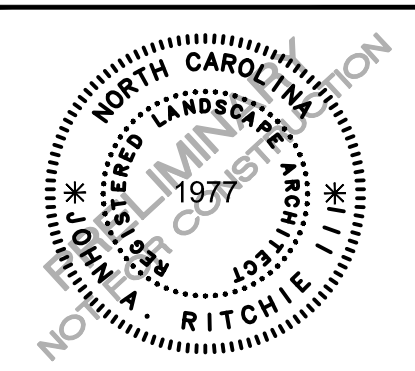


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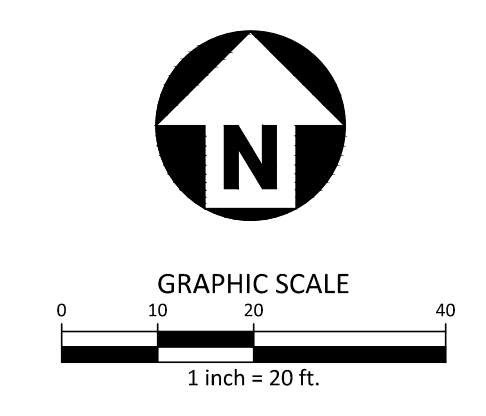
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PLAN INFORMATION

PROJECT NO.	LEN23026
FILENAME	LEN23026-HS1
CHECKED BY	JAR
DRAWN BY	SMA
SCALE	1" = 20'
DATE	07.01.2024

SHEET
 AMENITY EXISTING
 CONDITION
C1.01



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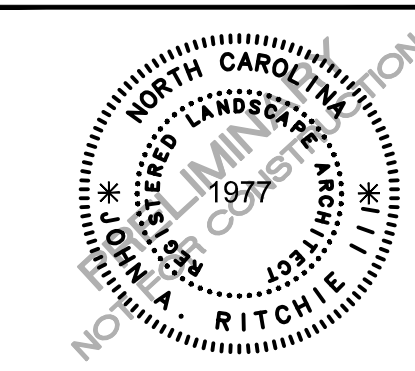
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SHEET

AMENITY HARDSCAPE PLAN

C2.00

SITE LEGEND

P/A PLANTING AREA

MATERIALS LEGEND

SYMBOL	DESCRIPTION	STYLE/MANUFACTURER	SIZE/MATERIAL
	STANDARD CONCRETE PAVING WITH BROOM FINISH	3,000 PSI MIN. MUST MEET ALL STRUCTURAL AND GEOTECHNICAL REQUIREMENTS	
	POOL COPING	TECHNOLOC BULLNOSE	TO BE SELECTED BY POOL CONTRACTOR

FIXED FURNISHINGS SCHEDULE

SYMBOL	FURNISHING	QUANTITY (TOTAL)	PRODUCT	PRODUCT DESCRIPTION
	TRASH RECEPTACLE	3	MAGLIN SERIES 200 (OR APPROVED EQUAL)	32 GALLON; BLACK POWDER COAT FINISH (SEE DETAIL 1814-L3)
	OUTDOOR GRILL STATION	1	AMERICAN OUTDOOR GRILL (OR APPROVED EQUAL)	SEE DETAIL 151 (L-12)
	POOL UMBRELLA	8	PARASOL MONOCOLE BY SHADESCAPE AMERICANS (OR APPROVED EQUAL)	SEE DETAIL 151 (L-13)

FLEXIBLE FURNISHINGS SCHEDULE

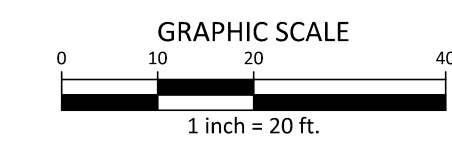
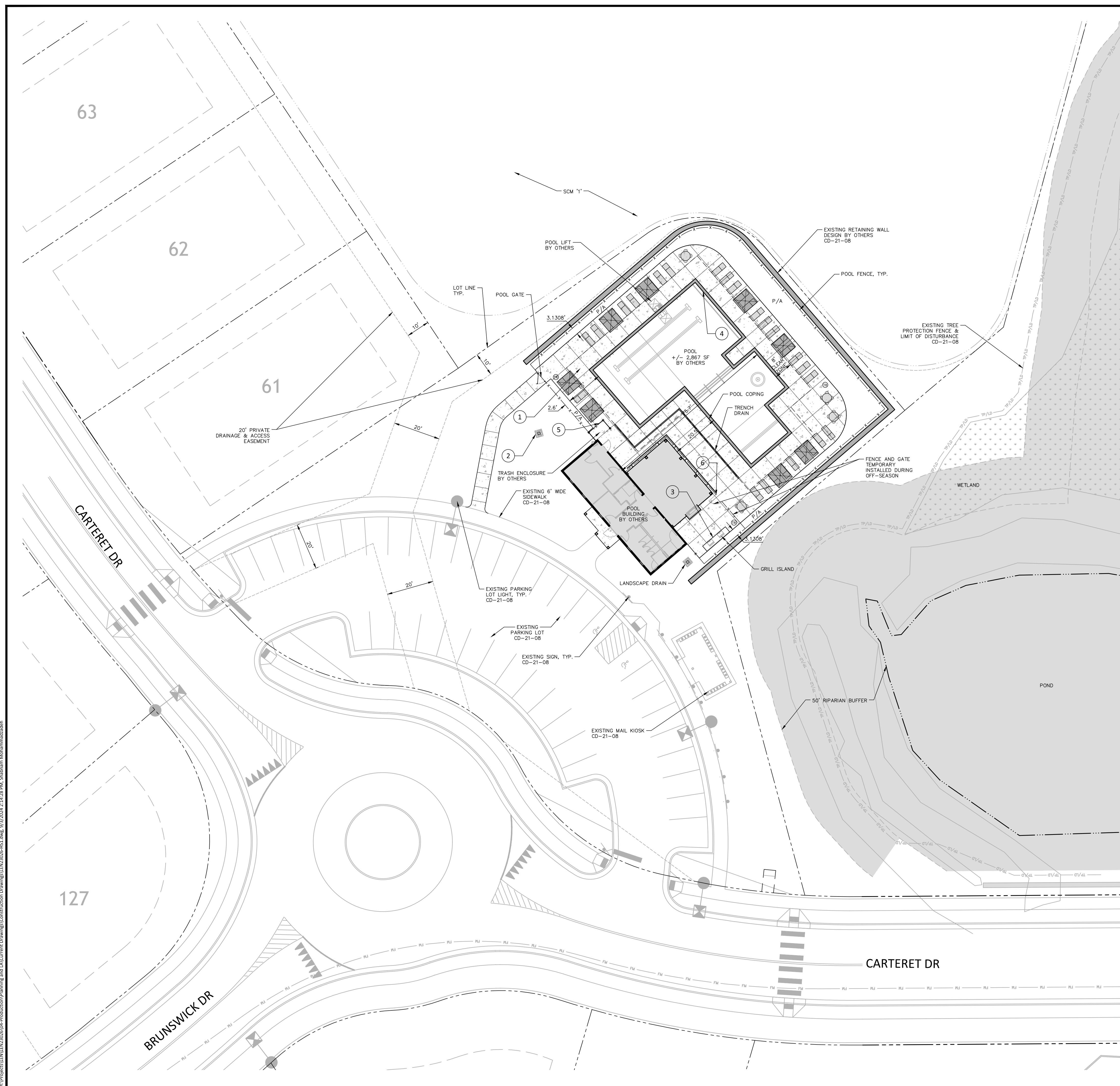
SYMBOL	FURNISHING	QUANTITY (TOTAL)	BY OWNER	FOR OUTDOOR USE ONLY
	ROUND TABLE WITH CHAIRS	4	BY OWNER	FOR OUTDOOR USE ONLY
	CHAISE LOUNGE	17	BY OWNER	FOR OUTDOOR USE ONLY

DETAIL KEY SCHEDULE

- 01 CONCRETE PAVING
CB.00
- 02 LANDSCAPE DRAIN
CB.00
- 03 GRILL ISLAND
CB.01
- 04 POOL COPING
CB.01
- 05 TRASH CORRAL
CB.01
- 06 POOL FENCE AND GATE
CB.01

BUILDING SETBACK (CLUBHOUSE)*:	
FRONT:	25'
SIDE:	10'
REAR:	25'

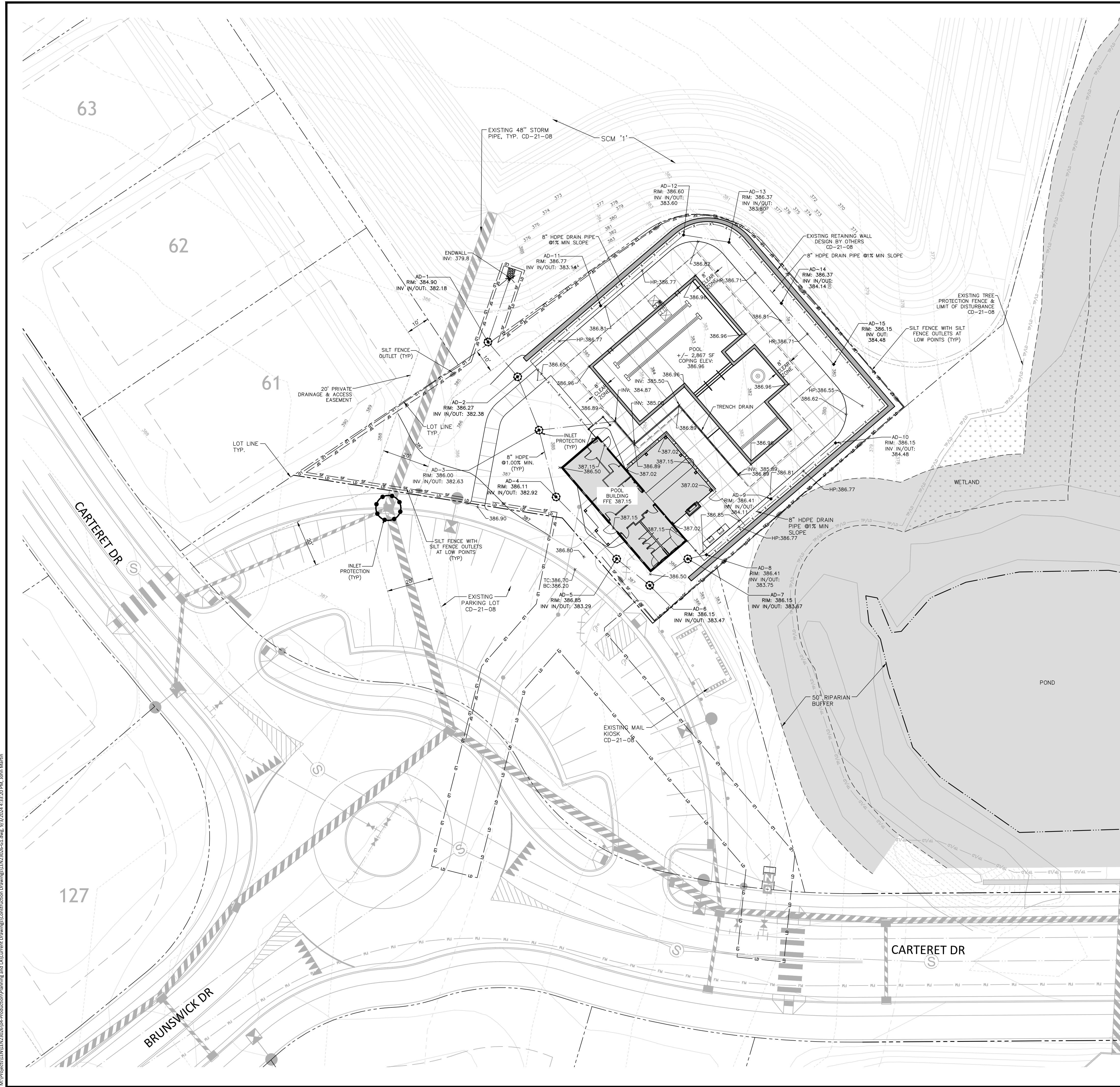
* BUILDING SETBACK FOR THE CLUBHOUSE FOLLOWS THE SAME DIMENSIONAL REQUIREMENT FOR THE SINGLE FAMILY DETACHED RESIDENTIAL USES THAT WAS APPROVED IN CD-21-08 AS THE CLUBHOUSE IS CONSIDERED AN ACCESSORY USES THAT SERVE THE ENTIRE ROLESVILLE CROSSING PROJECT.



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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GRADING AND EROSION CONTROL LEGEND

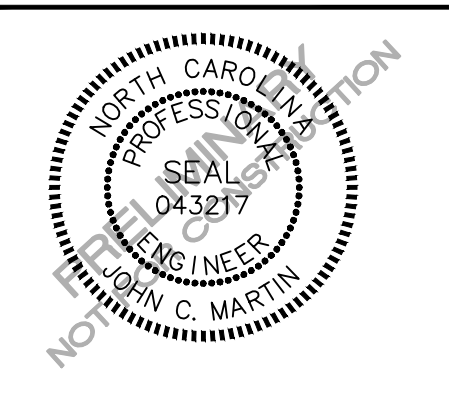
- FLARED END SECTION
- DROP INLET
- STORM SERVICE INLET
- TOP & BOTTOM CURB ELEVATIONS
- TOP OF WALL ELEVATION
BOTTOM OF WALL ELEVATION
(NOTE: BOTTOM OF WALL IS GROUND ELEVATION NOT WALL FOUNDATION)
- SPOT ELEVATION
- STORM DRAINAGE
- STORM SERVICE LINE
- LIMITS OF DISTURBANCE
- SILT FENCE
- WOODED AREA
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- MASS GRADING MINOR CONTOUR
- MASS GRADING MAJOR CONTOUR
- EASEMENT LINE
- EASEMENT LINE
- SILT FENCE OUTLET
- INLET PROTECTION FOR EXISTING STRUCTURES
- SILT FENCE
- LIMITS OF DISTURBANCE

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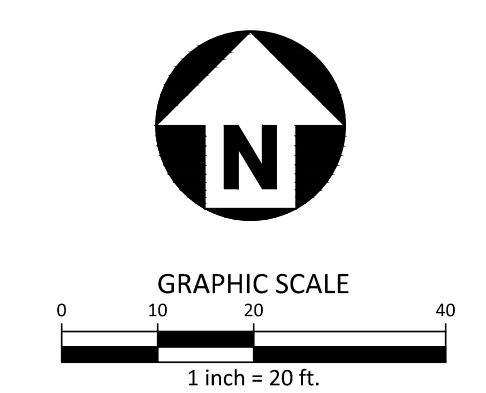
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PLAN INFORMATION

PROJECT NO. LEN23026
 FILENAME LEN23026-G1
 CHECKED BY JCM
 DRAWN BY LWC
 SCALE 1" = 20'
 DATE 07.01.2024

SHEET
**AMENITY GRADING,
 DRAINAGE, AND EROSION
 CONTROL PLAN
 C3.00**

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF ROLESVILLE ENGINEERING AND CONSTRUCTION STANDARDS.



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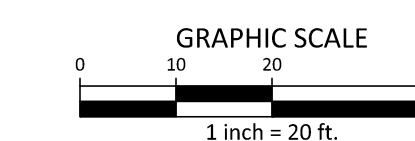
AMENITY UTILITY PLAN

C4.00

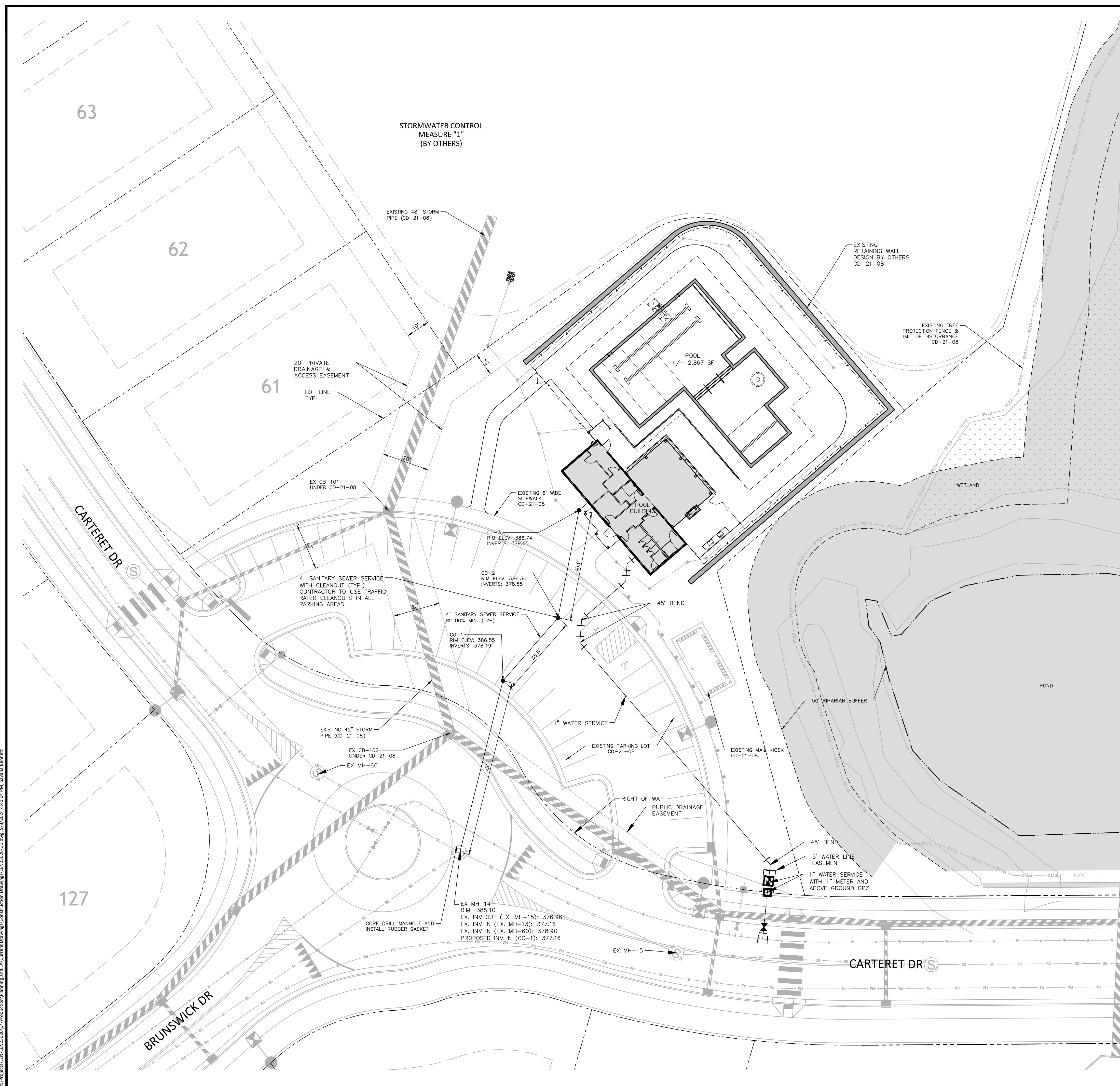
UTILITY LEGEND

	WATER METER
	WATER VALVE
	BACKFLOW PREVENTER
	SANITARY SEWER MANHOLE
	SEWER CLEAN-OUT
	SEWER FLOW DIRECTION ARROW
	WATER SERVICE LINE
	SEWER SERVICE LINE
	EASEMENT LINE

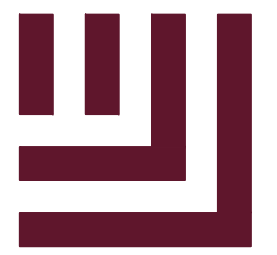
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF ROLESVILLE ENGINEERING AND CONSTRUCTION STANDARDS.



SDP-24-06
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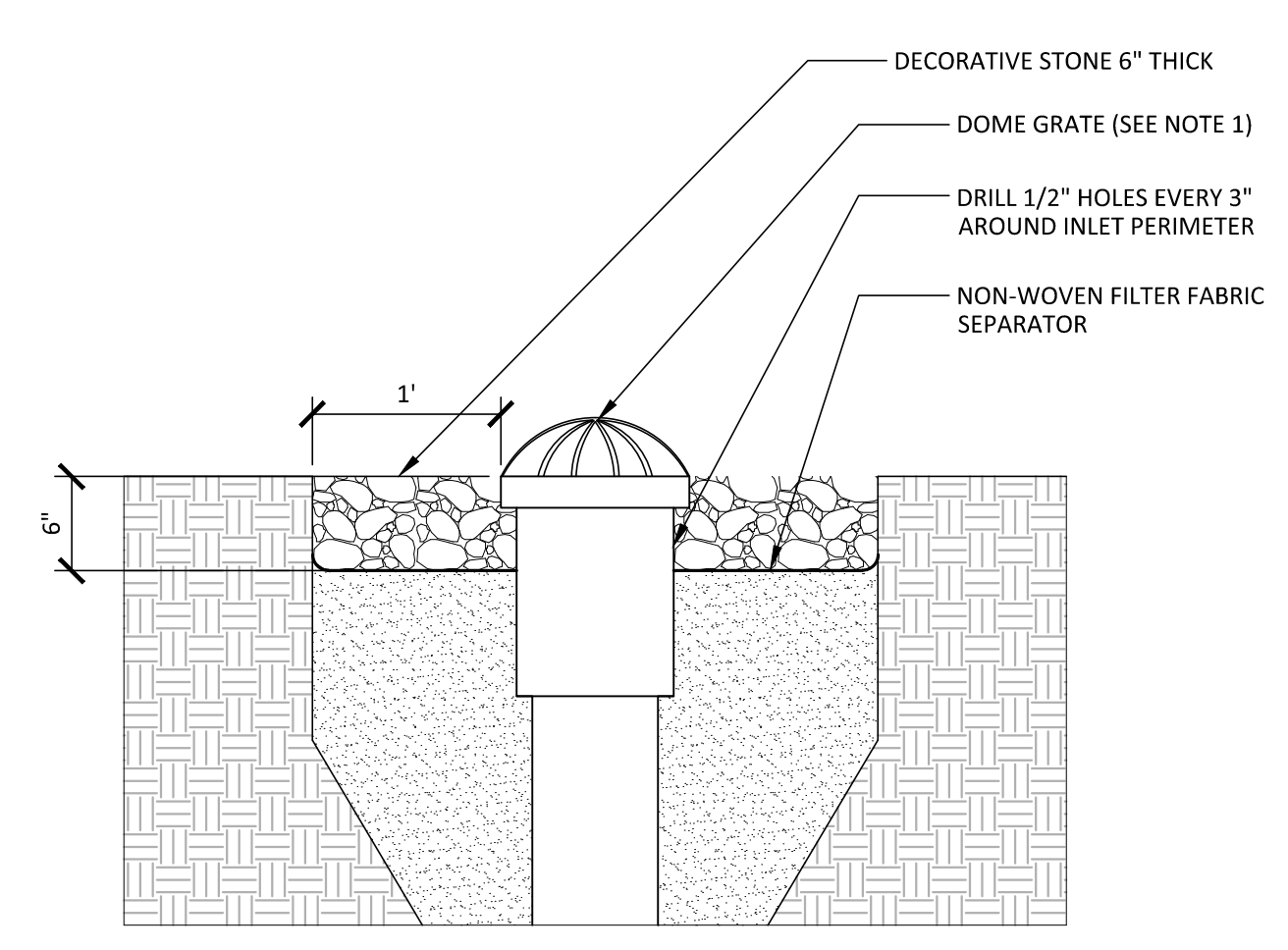
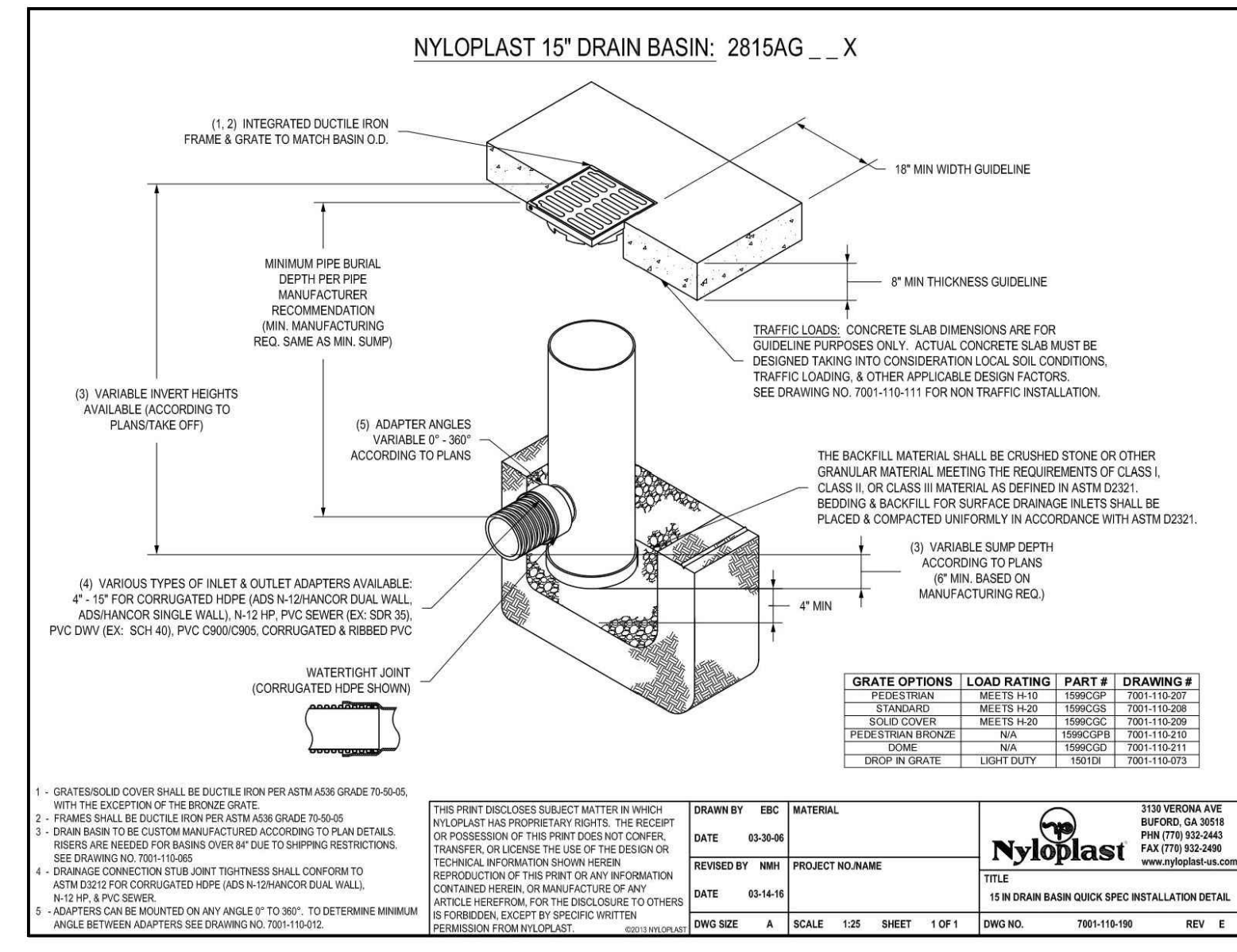
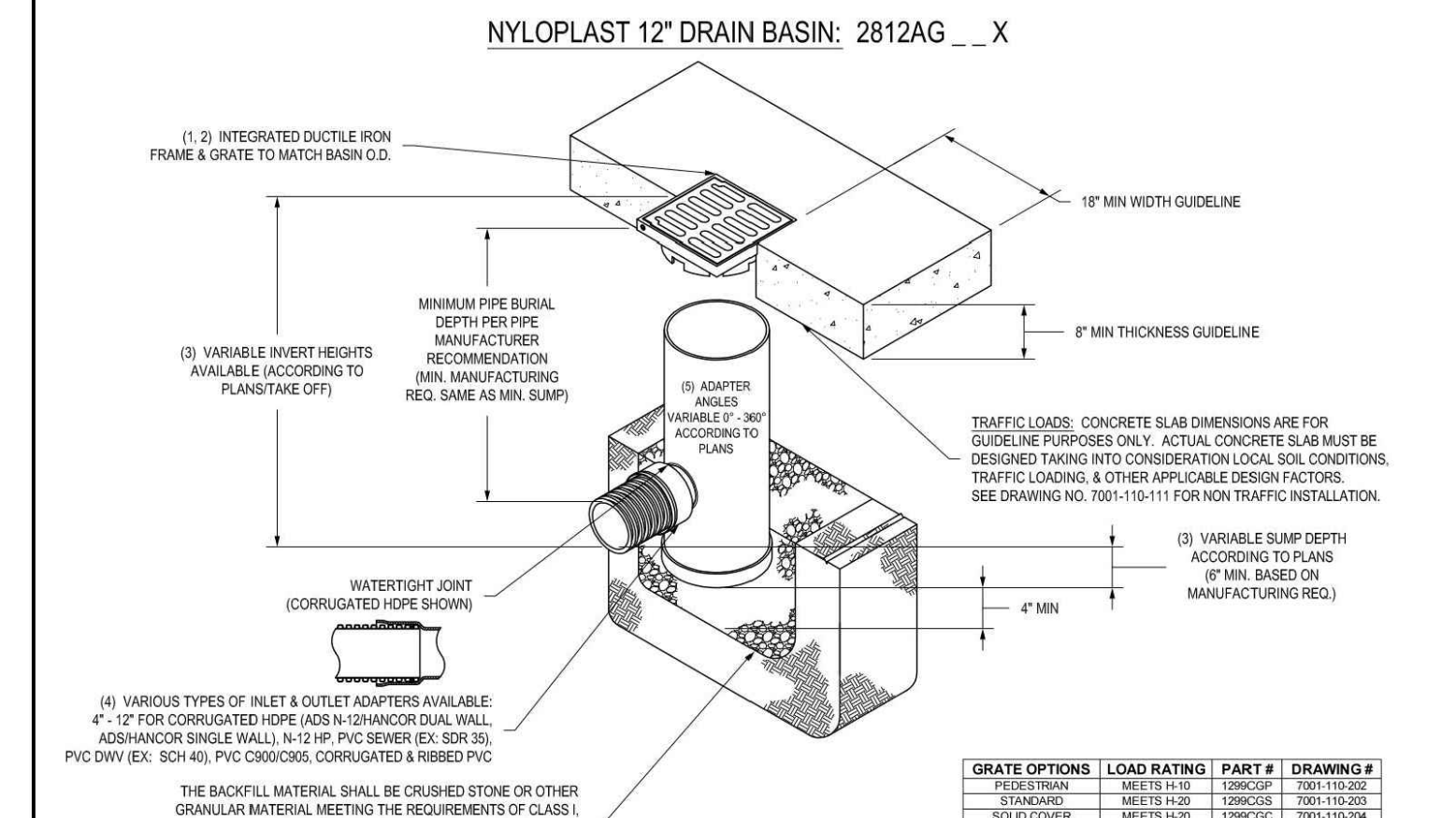
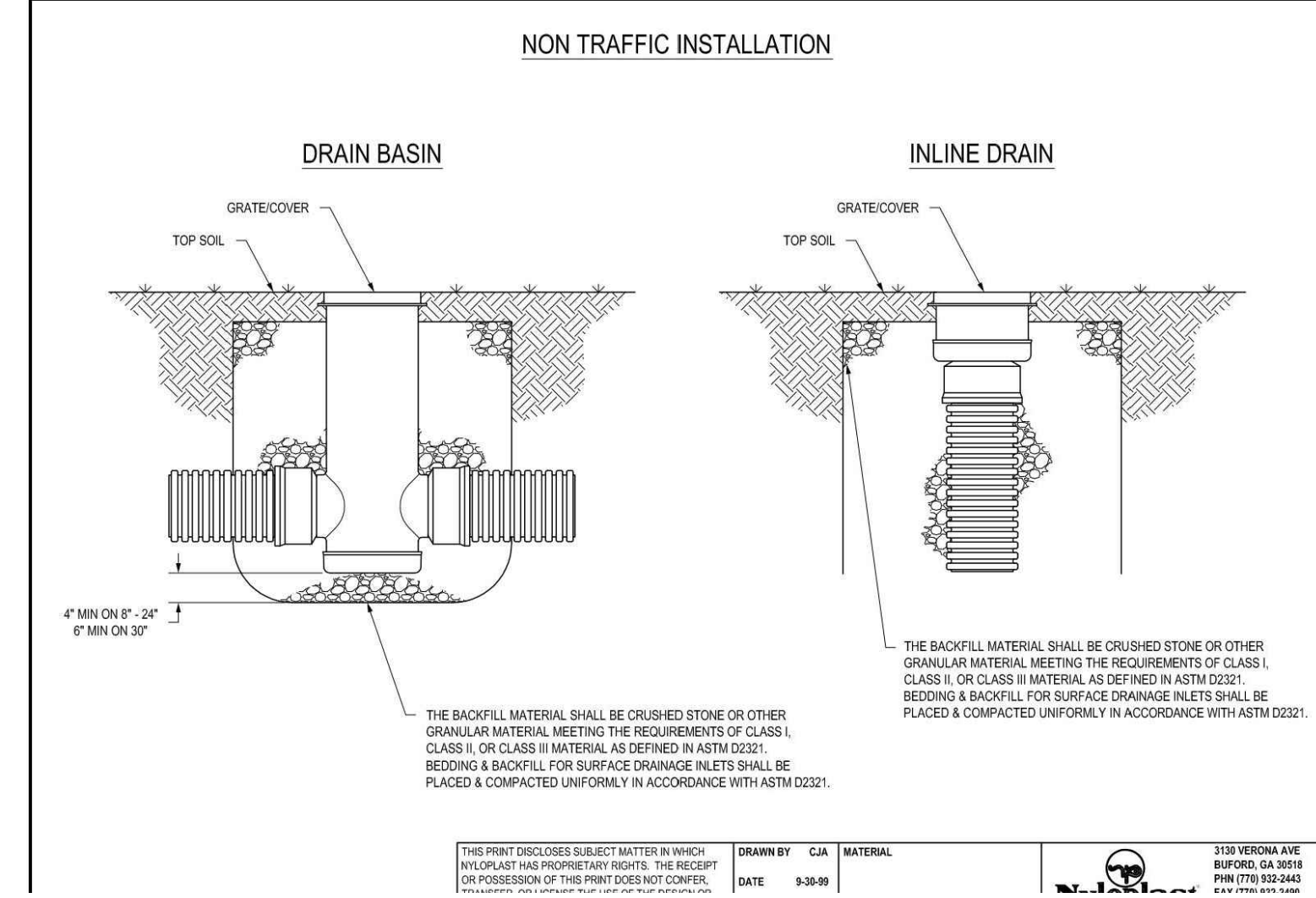
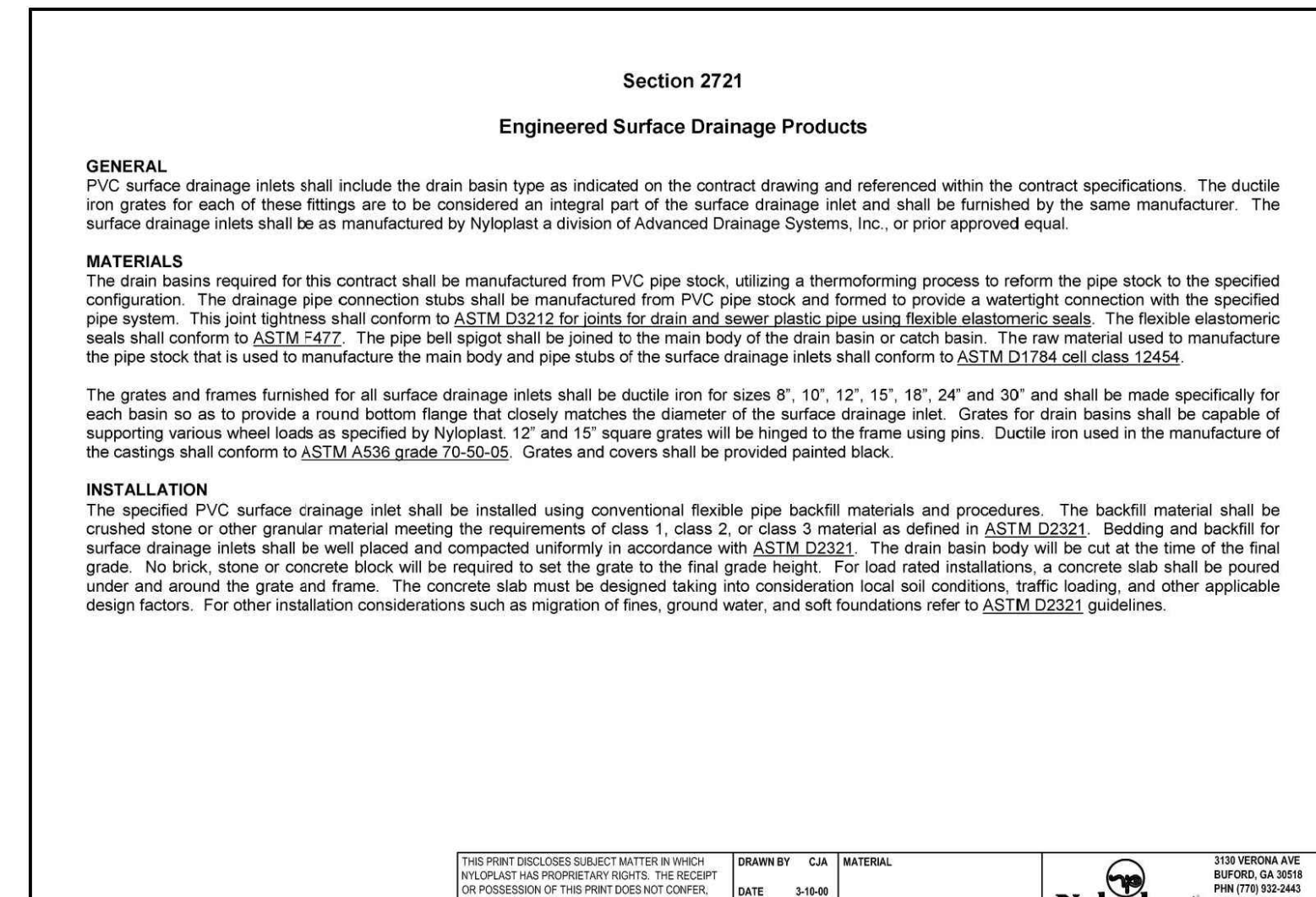
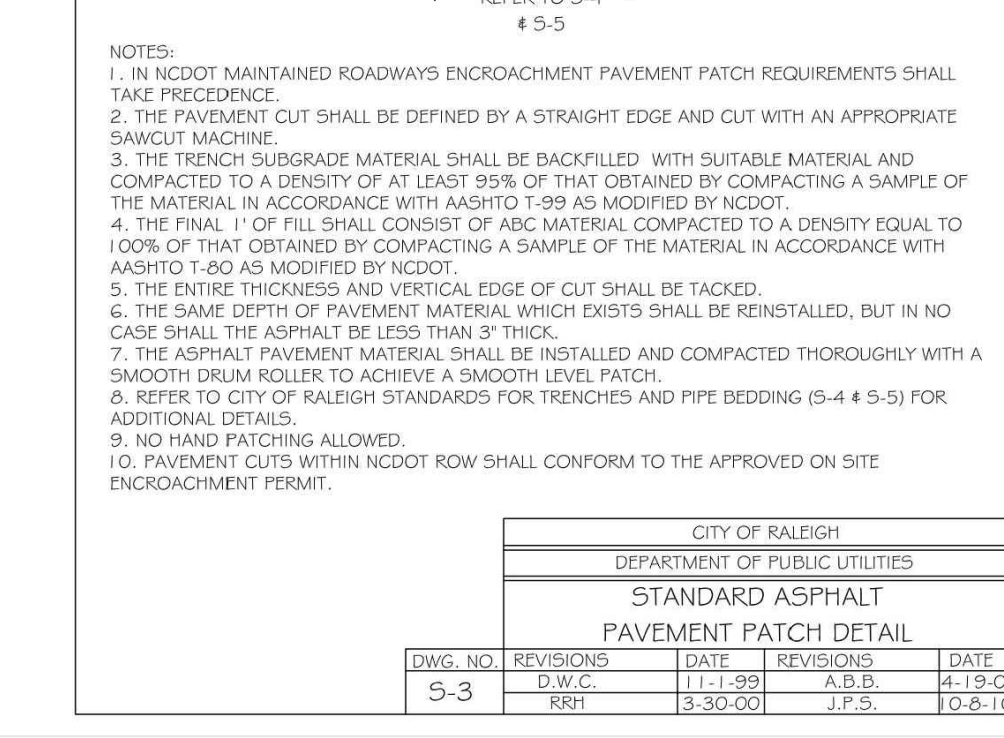
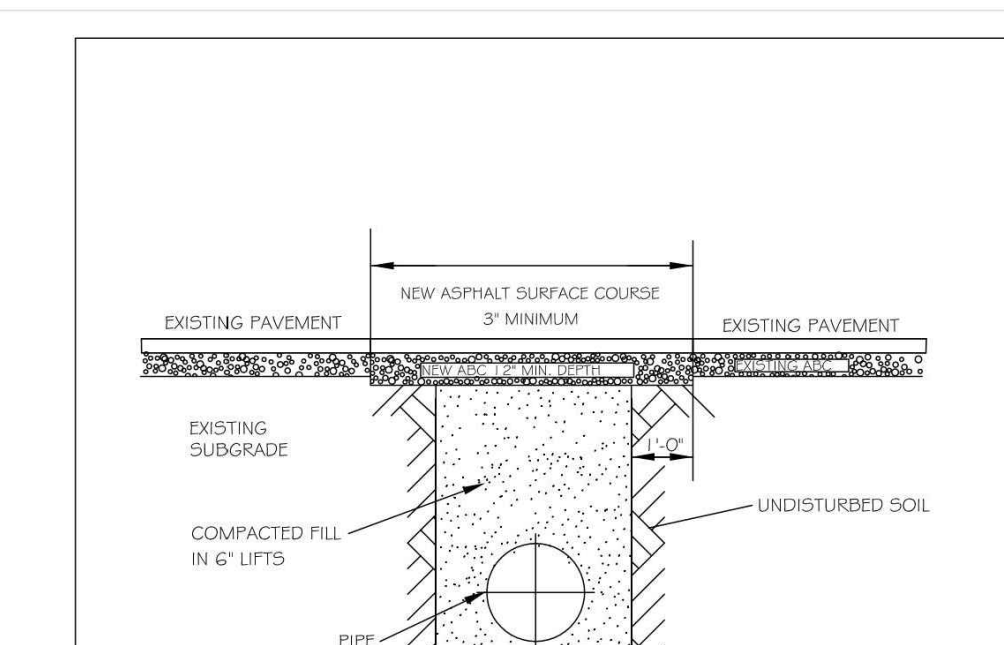
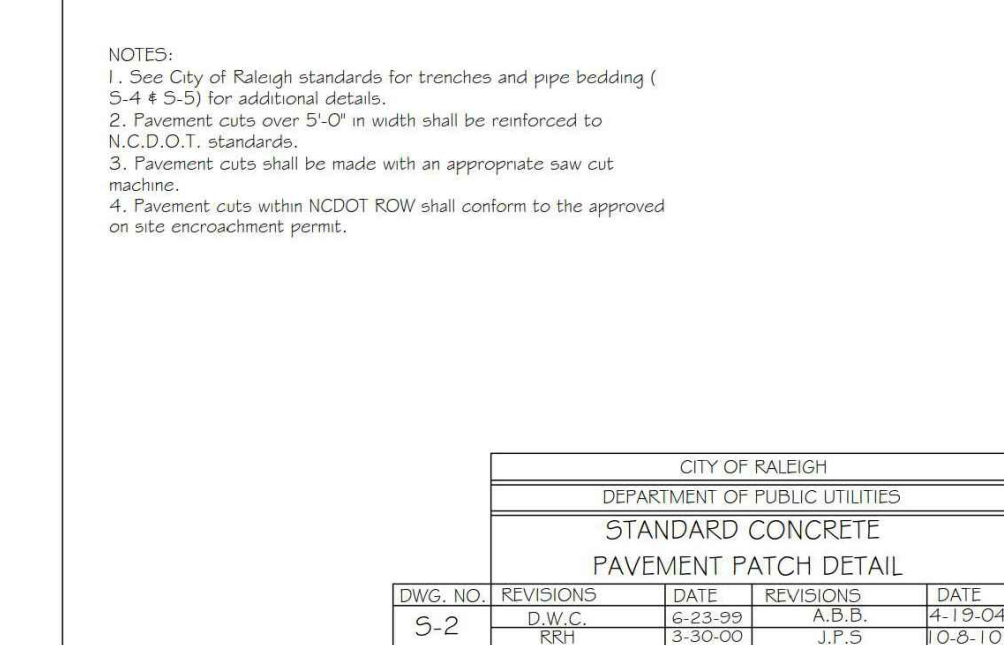
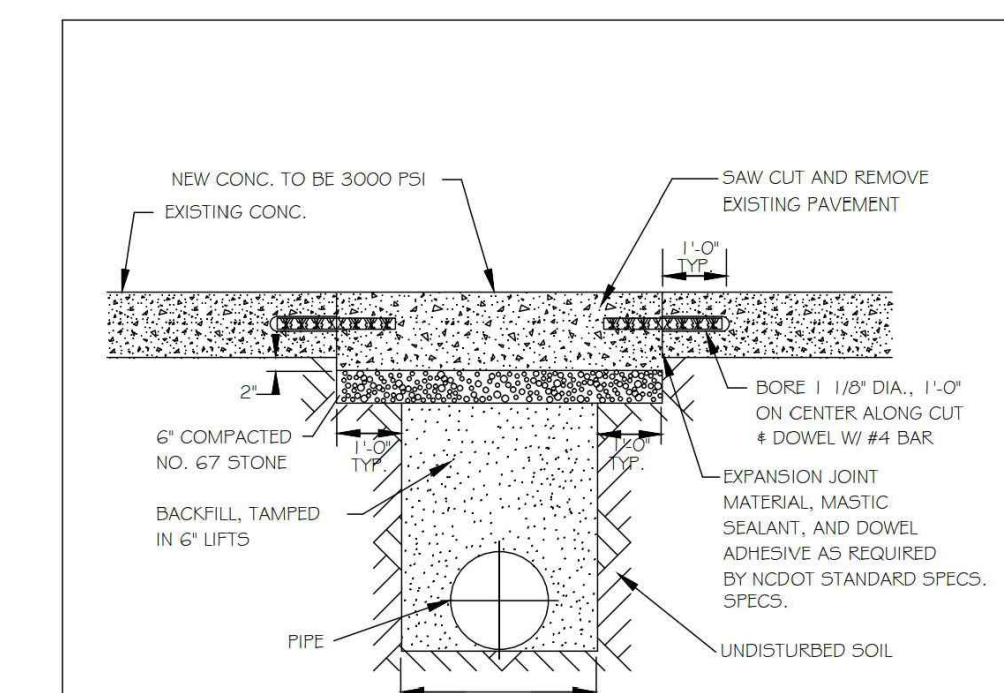
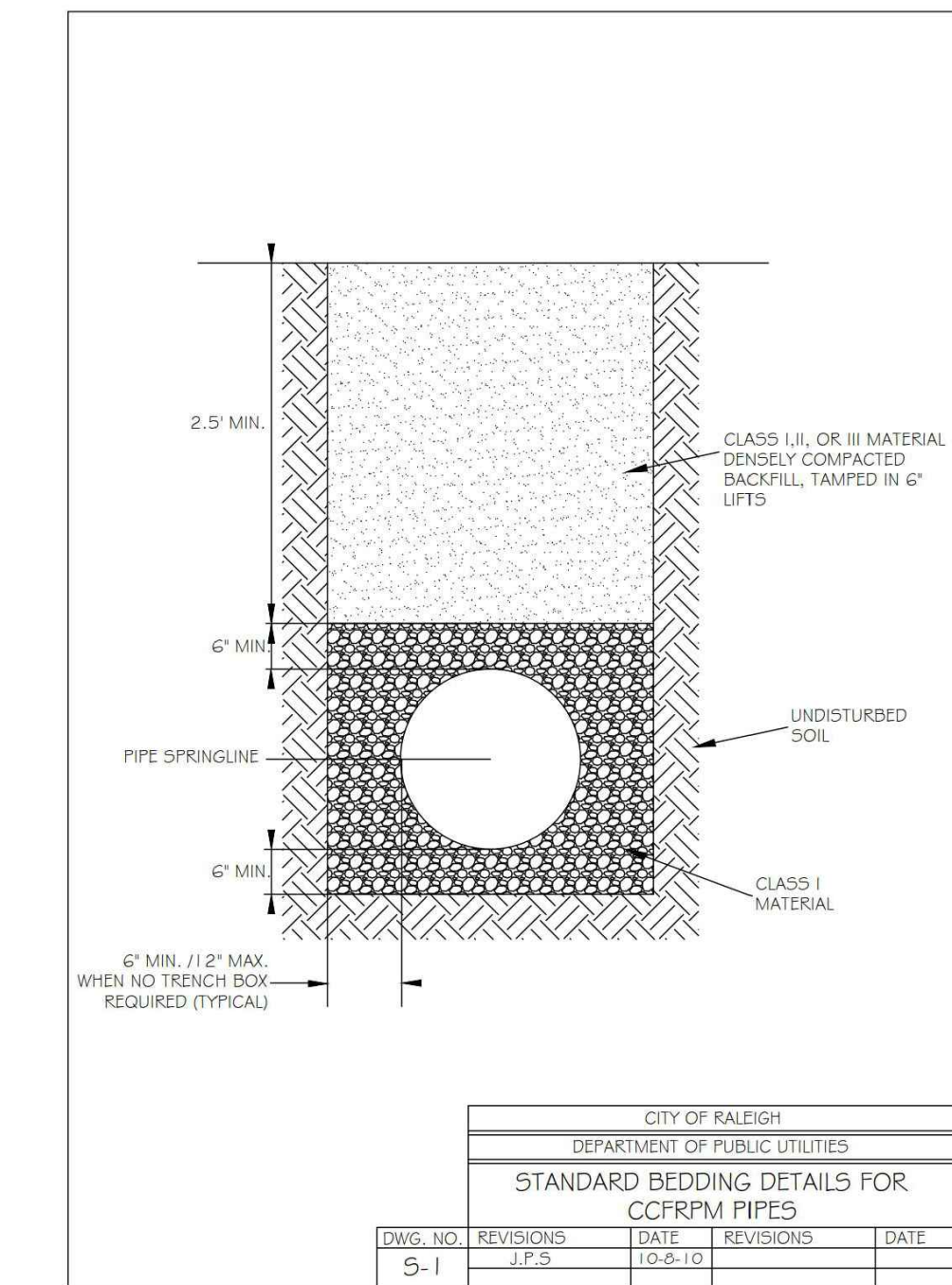
PLAN INFORMATION

PROJECT NO. LEN23026
FILENAME LEN23026-D1
CHECKED BY JAR
DRAWN BY SMA
SCALE AS SHOWN
DATE 07.01.2024

SHEET

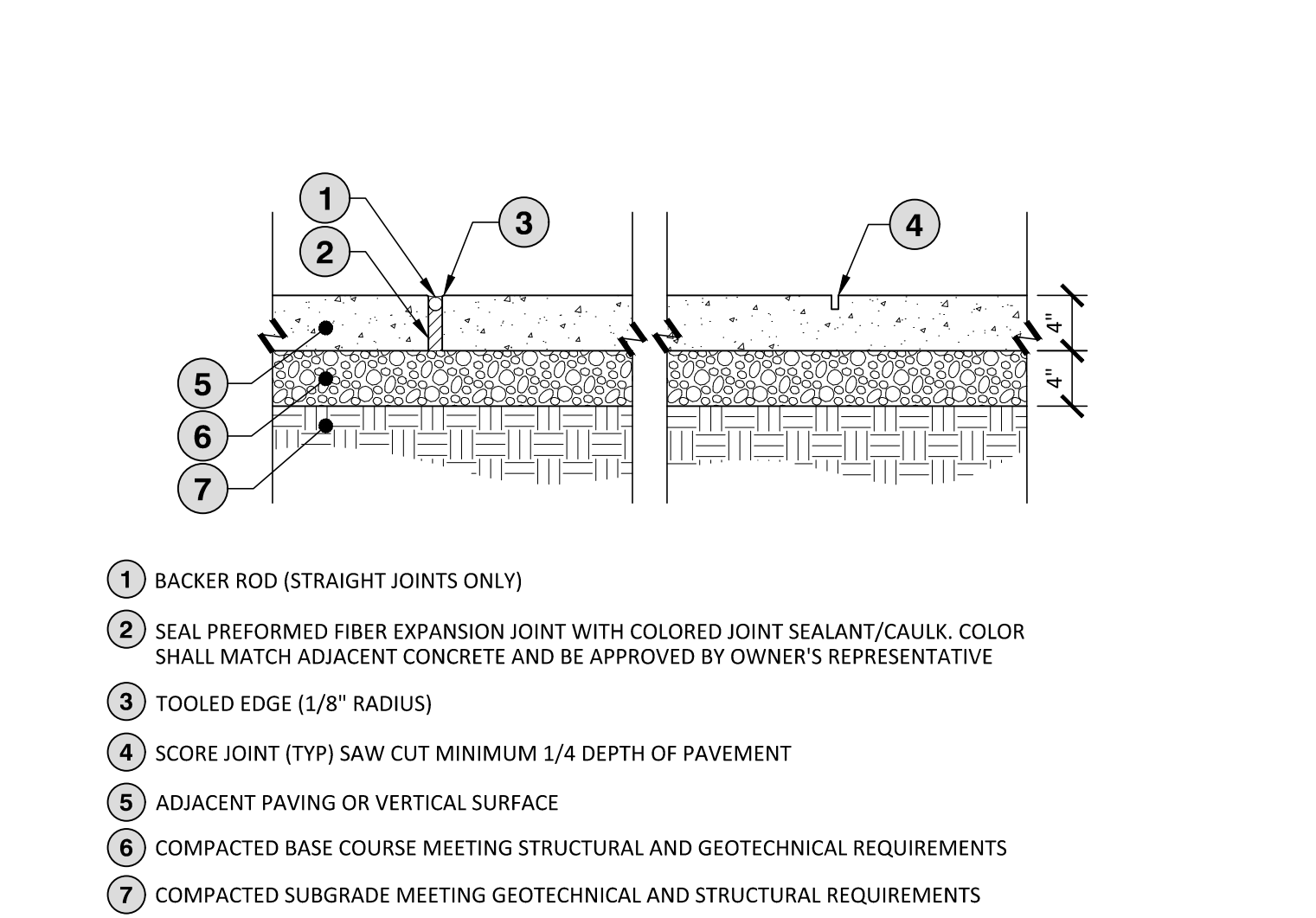
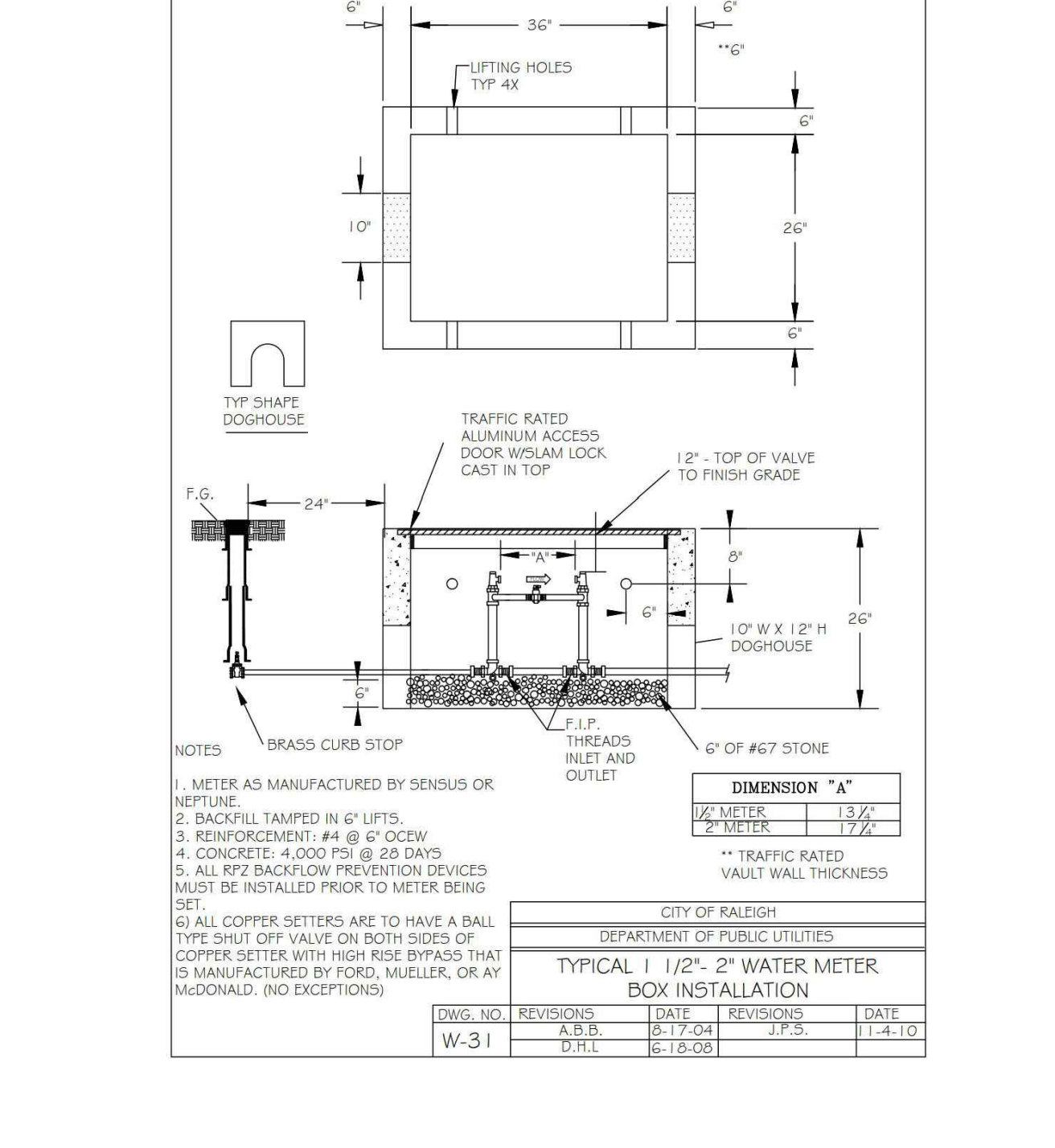
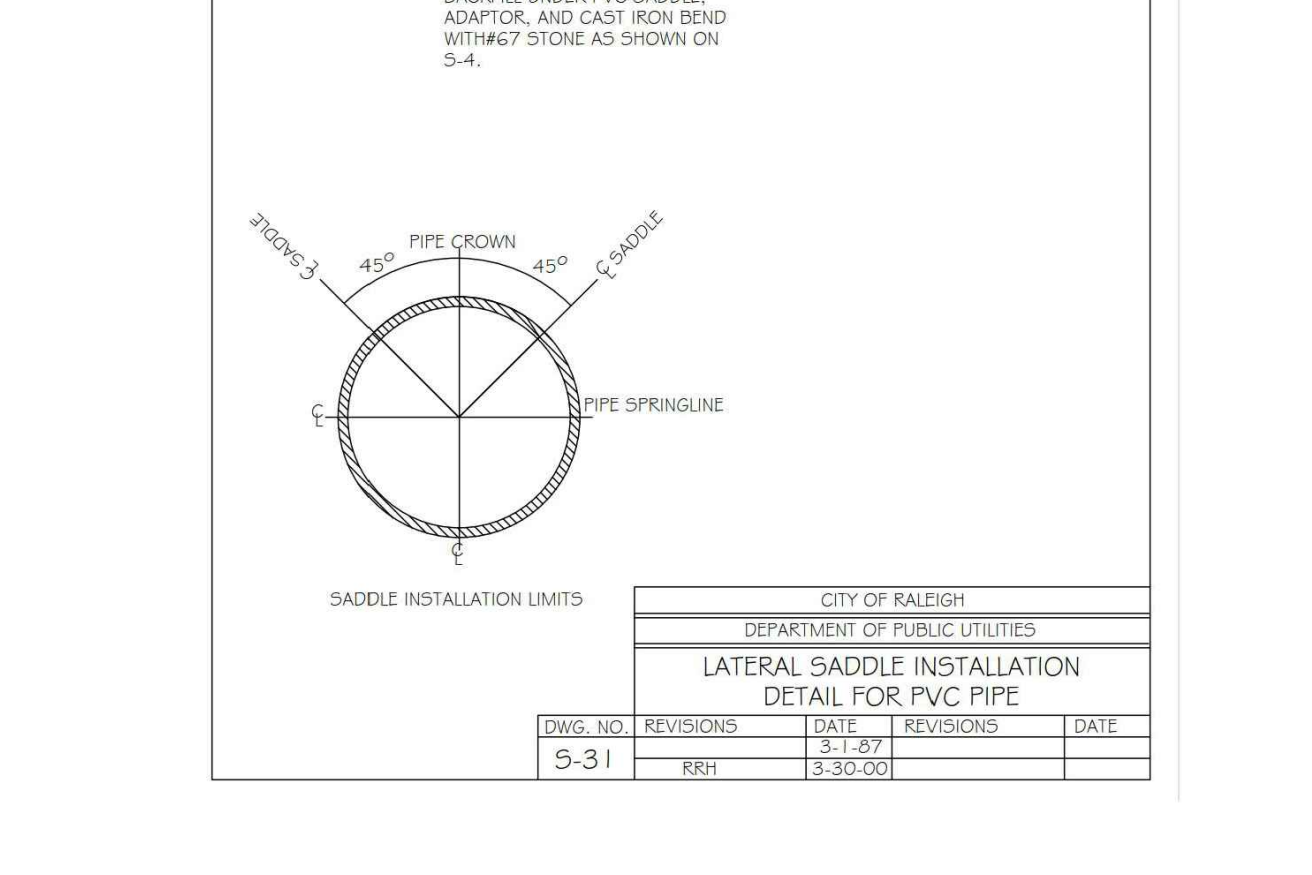
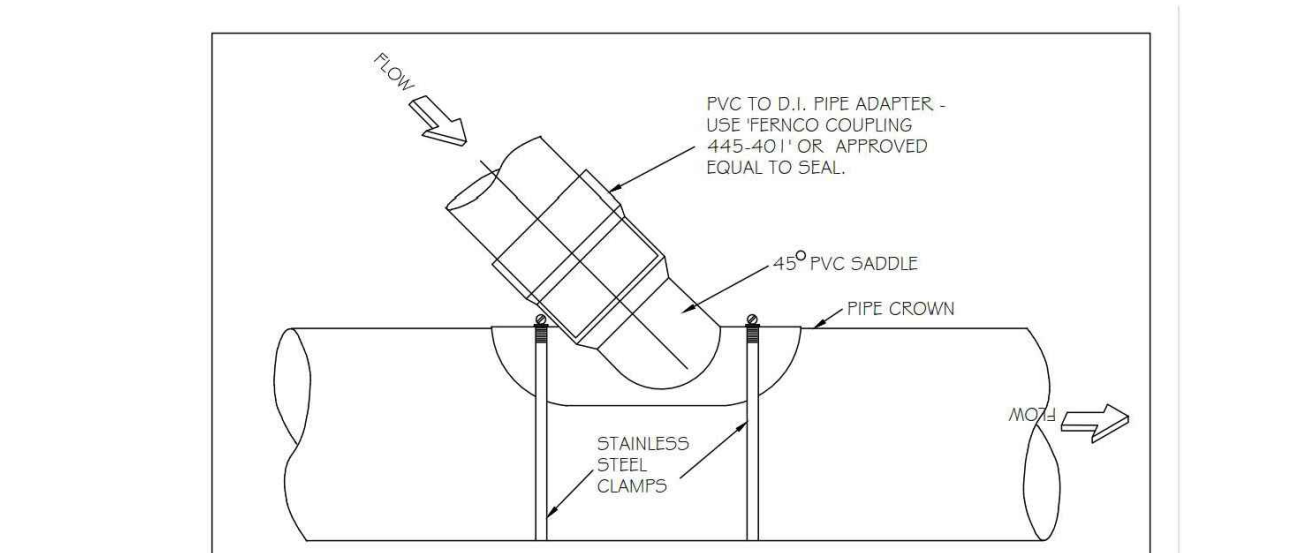
SITE AND UTILITY DETAILS

C8.00

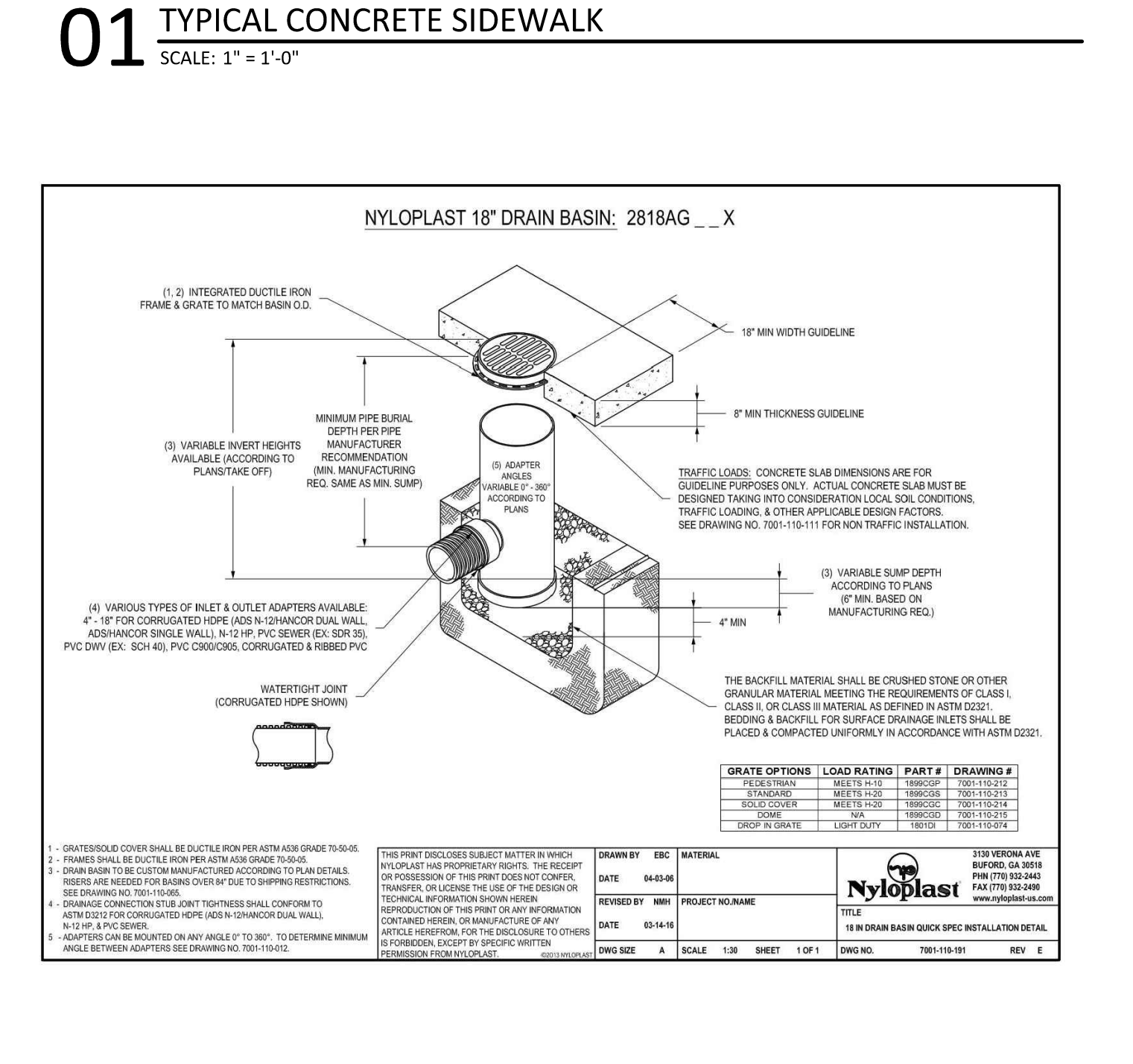
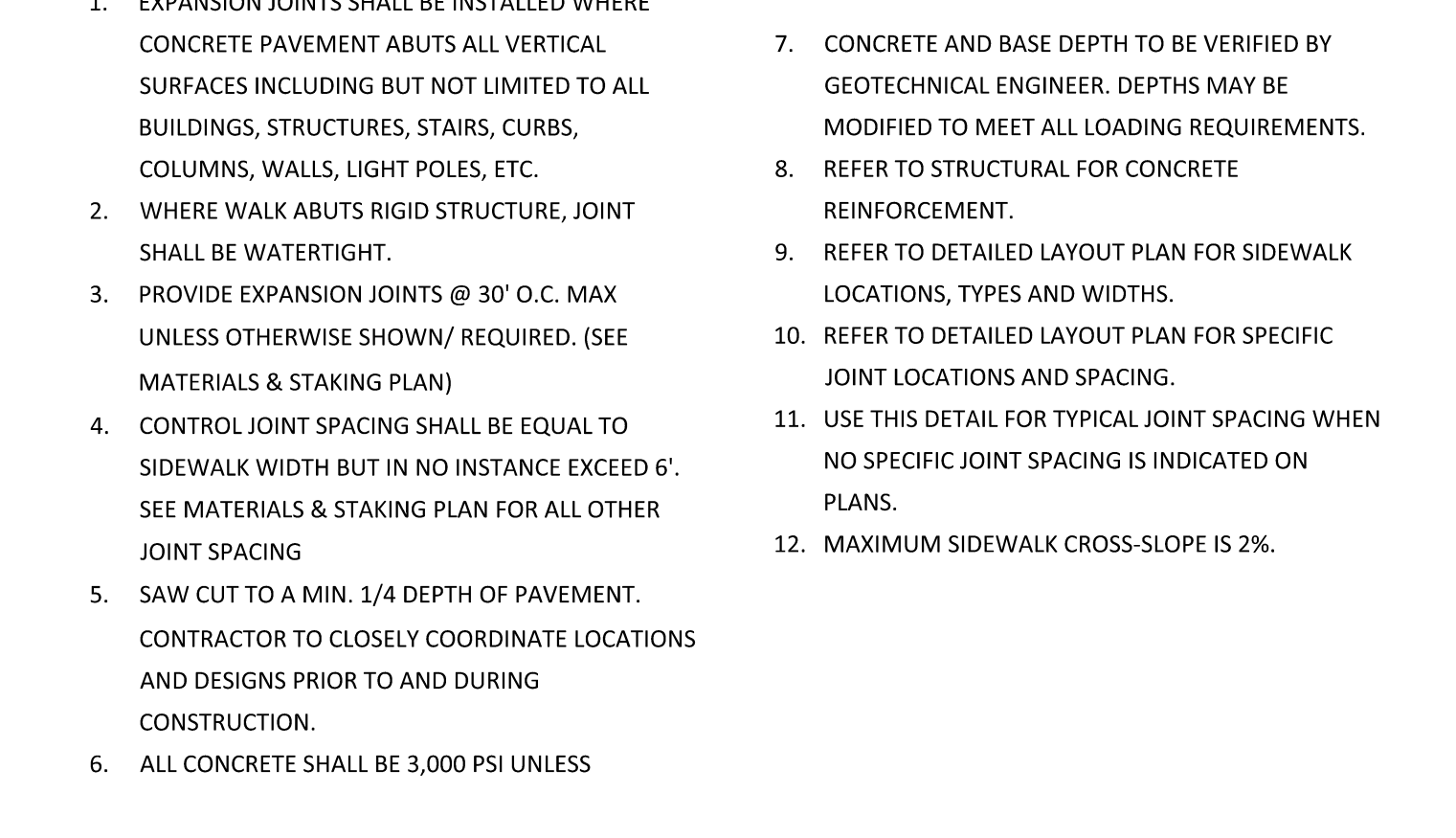
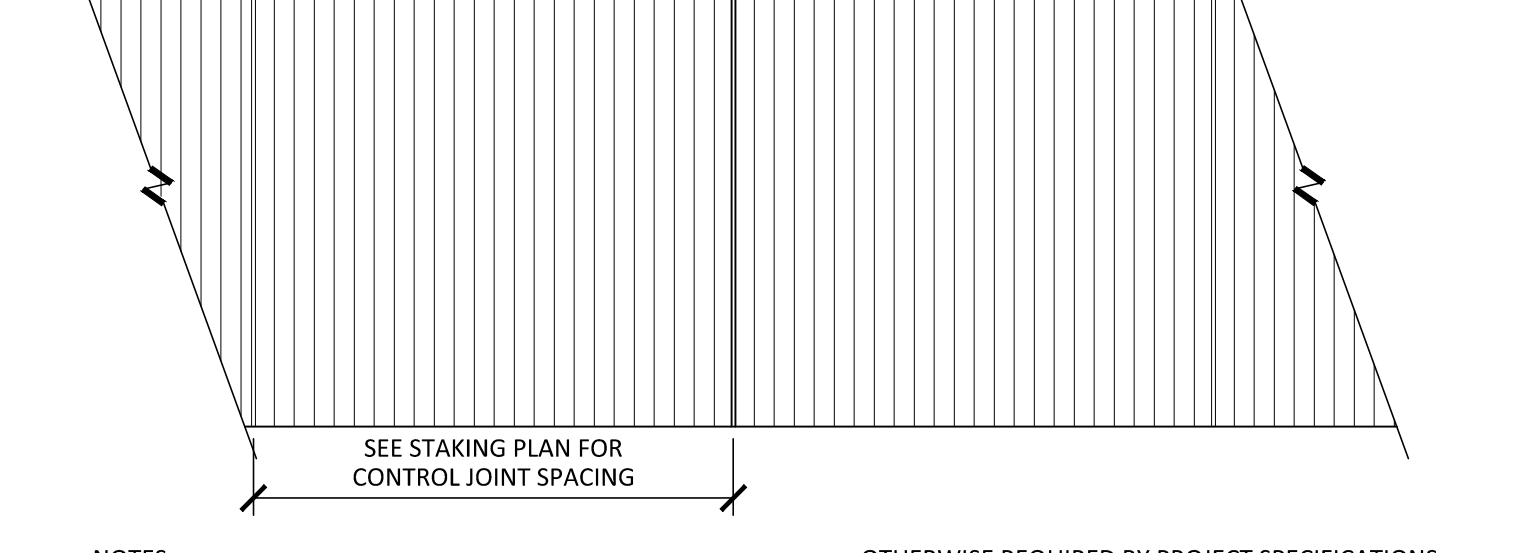


NOTES:
1. SEE MATERIAL & PLANTING SCHEDULE FOR GRATE INFO
2. FOLLOW MANUFACTURER'S GUIDELINES FOR MATERIAL REQUIREMENTS AND INSTALLATION METHODS.
3. SEE GRADING PLAN FOR ALL GRATE AND PIPE SIZES

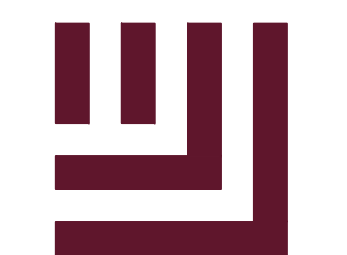
02 LANDSCAPE DRAIN INLET WITH DOME GRATE
SCALE: 1" = 1'-0"



01 TYPICAL CONCRETE SIDEWALK
SCALE: 1" = 1'-0"



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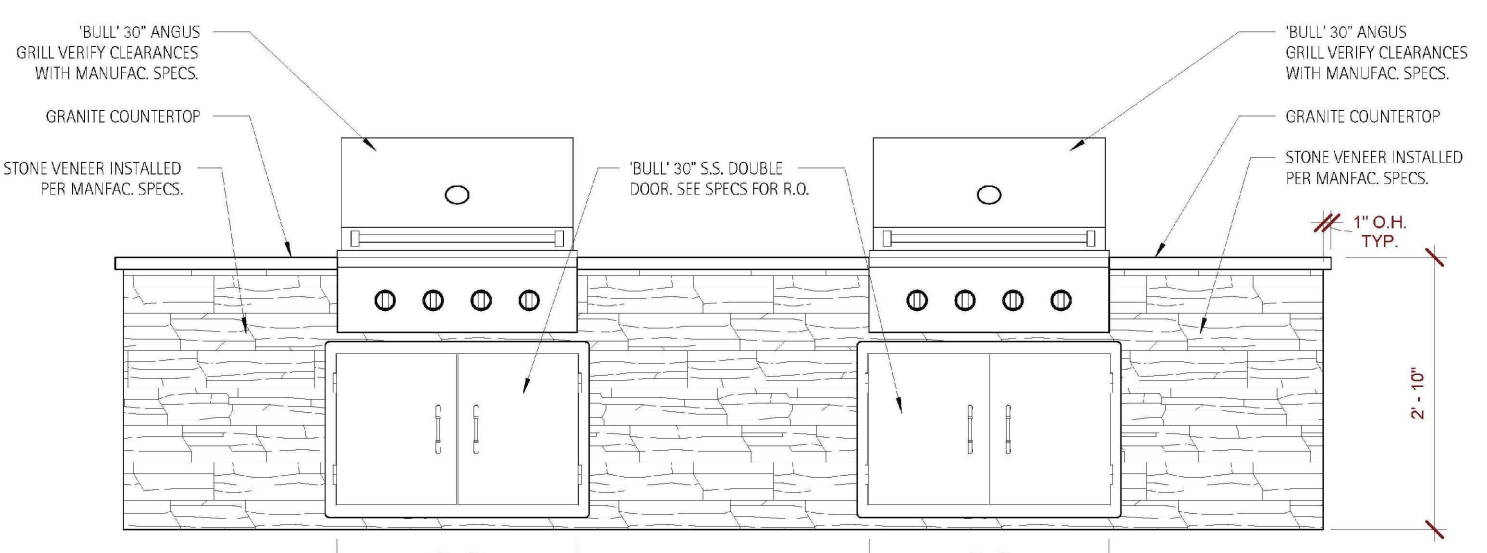
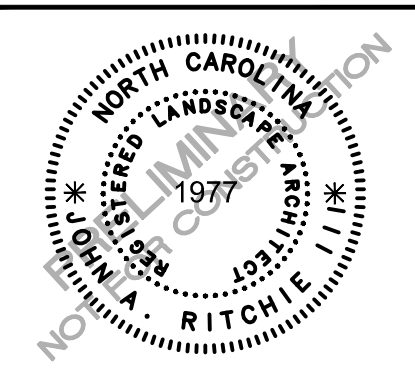
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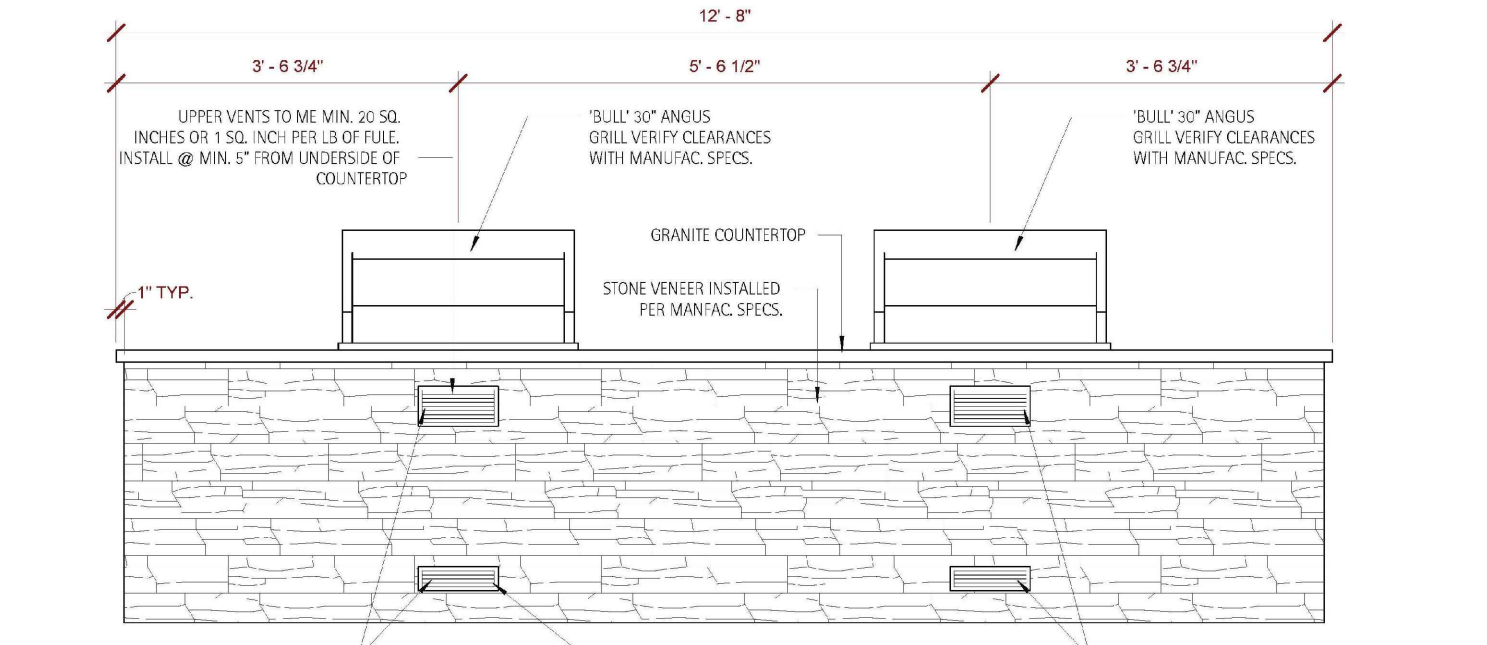
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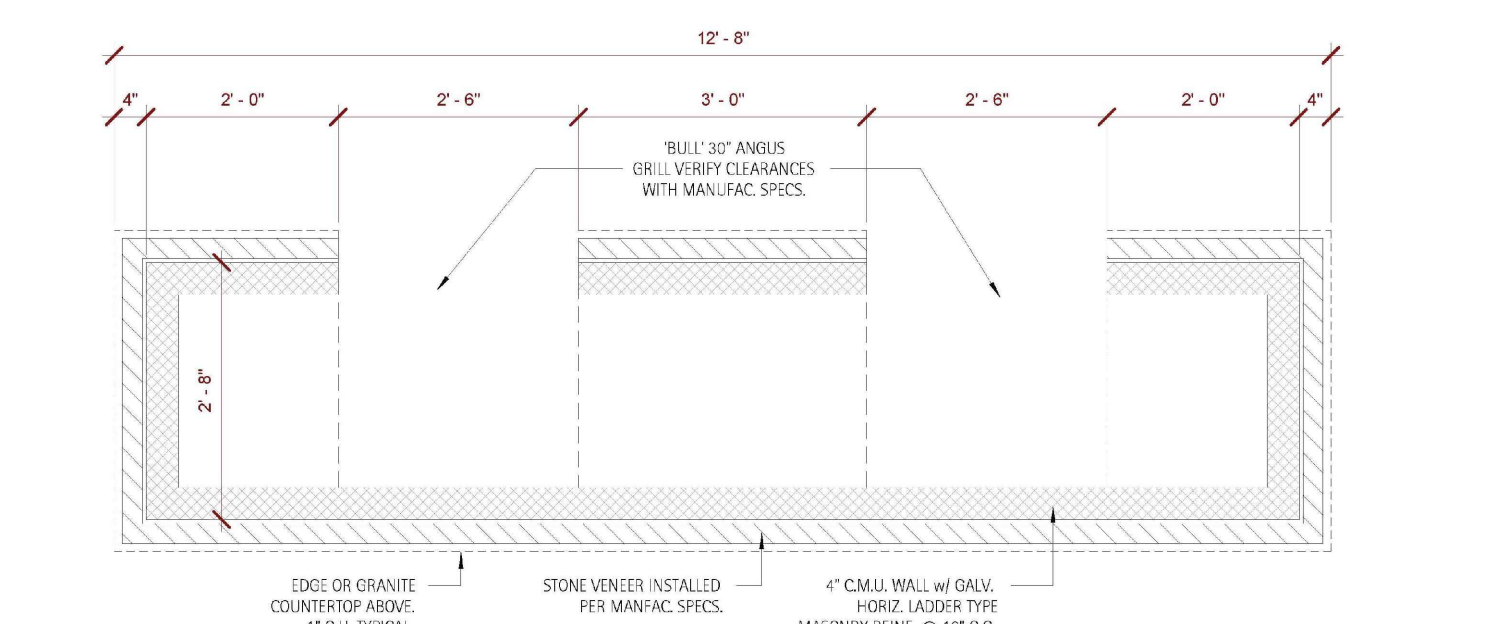
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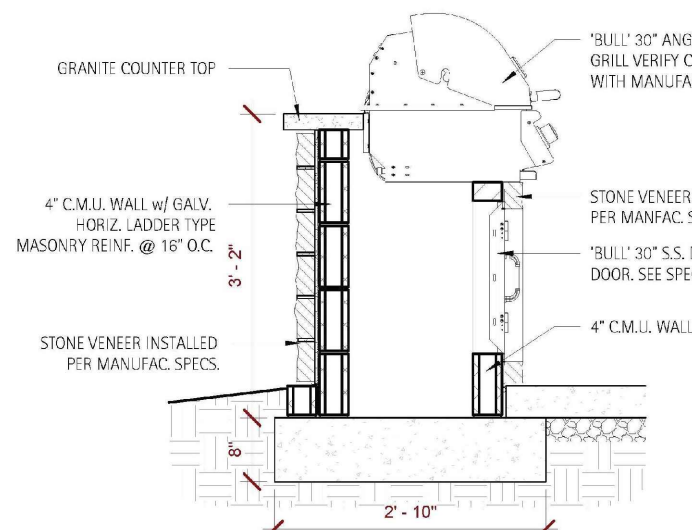
GRILL FRONT ELEVATION



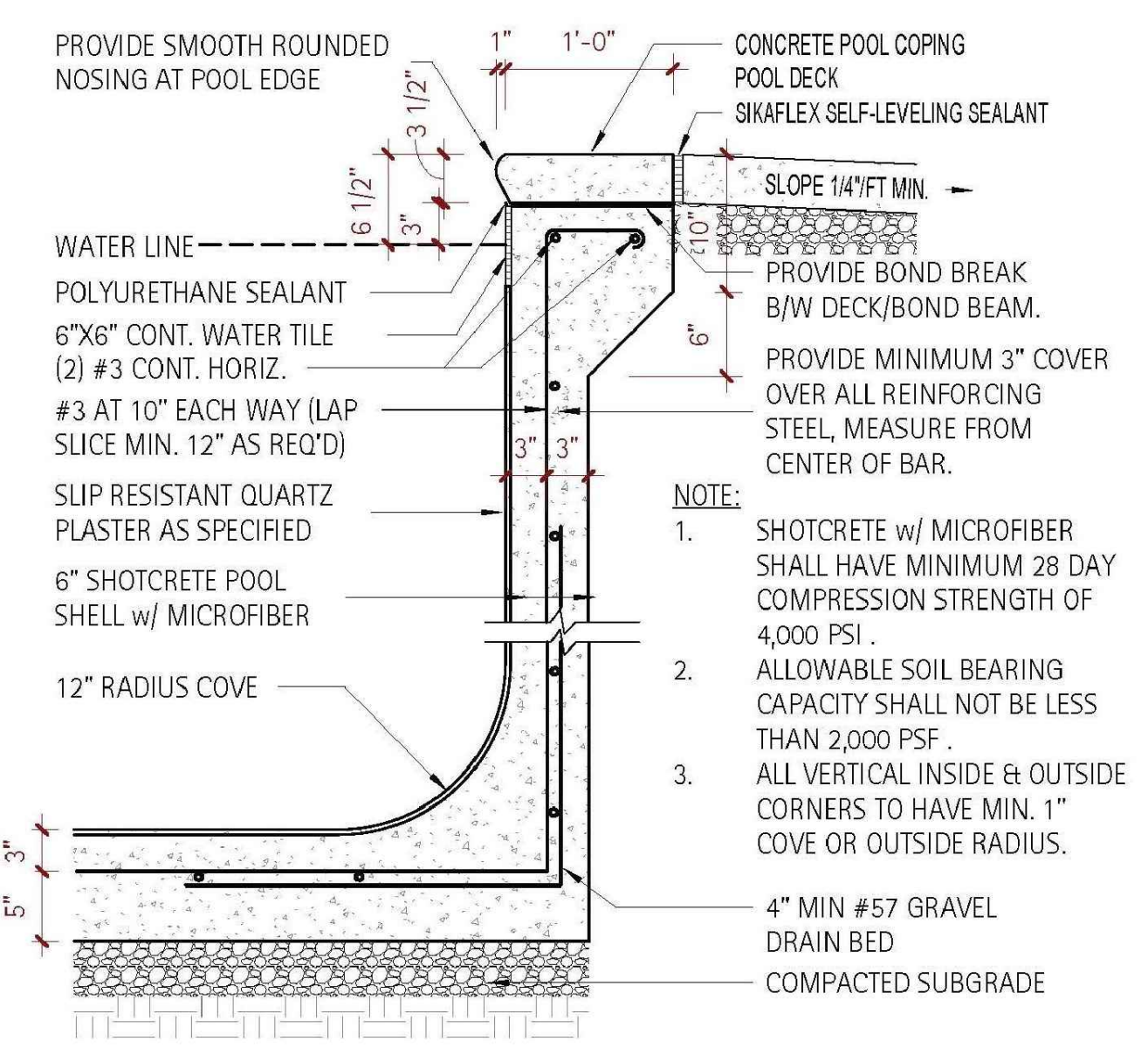
GRILL REAR ELEVATION



GRILL ISLAND PLAN VIEW

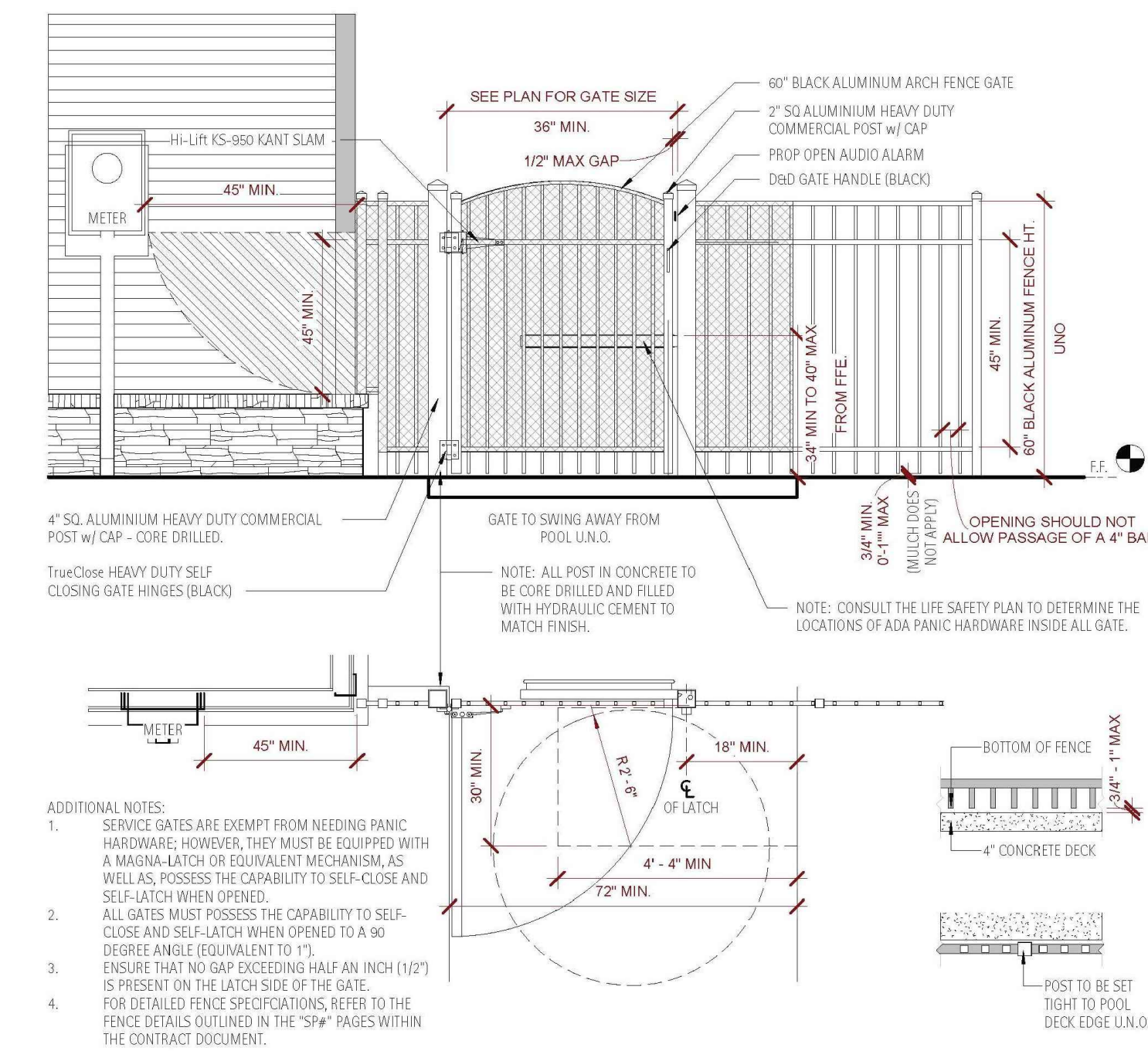


GRILL SECTION VIEW



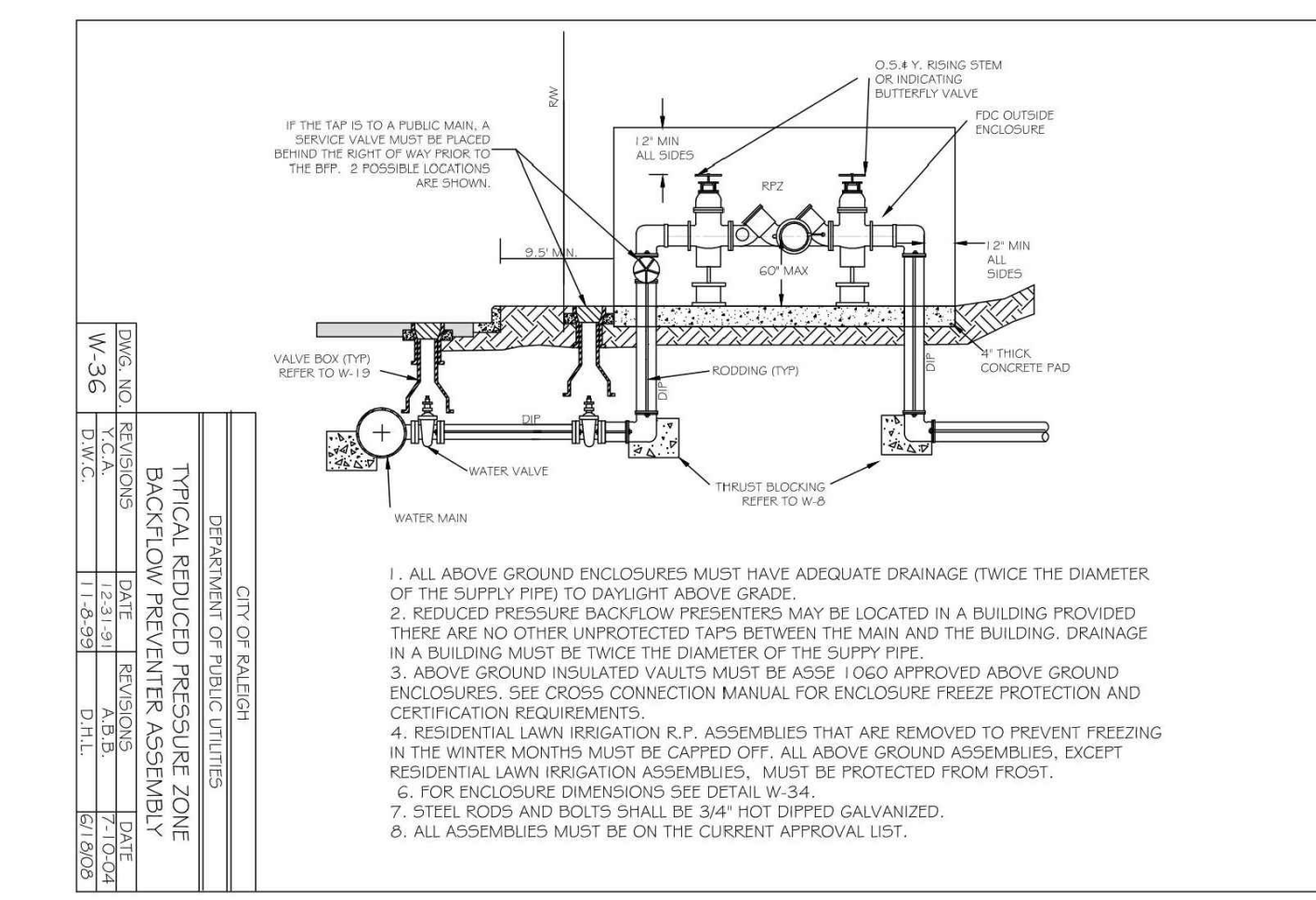
04 POOL COPING
SCALE: 1/2"=1'-0"

- NOTE:
1. SHOTCRETE w/ MICROFIBER SHALL HAVE MINIMUM 28 DAY COMPRESSION STRENGTH OF 4,000 PSI.
2. ALLOWABLE SOIL BEARING CAPACITY SHALL NOT BE LESS THAN 2,000 PSF.
3. ALL VERTICAL INSIDE & OUTSIDE CORNERS TO HAVE MIN. 1" COVE OR OUTSIDE RADIUS.



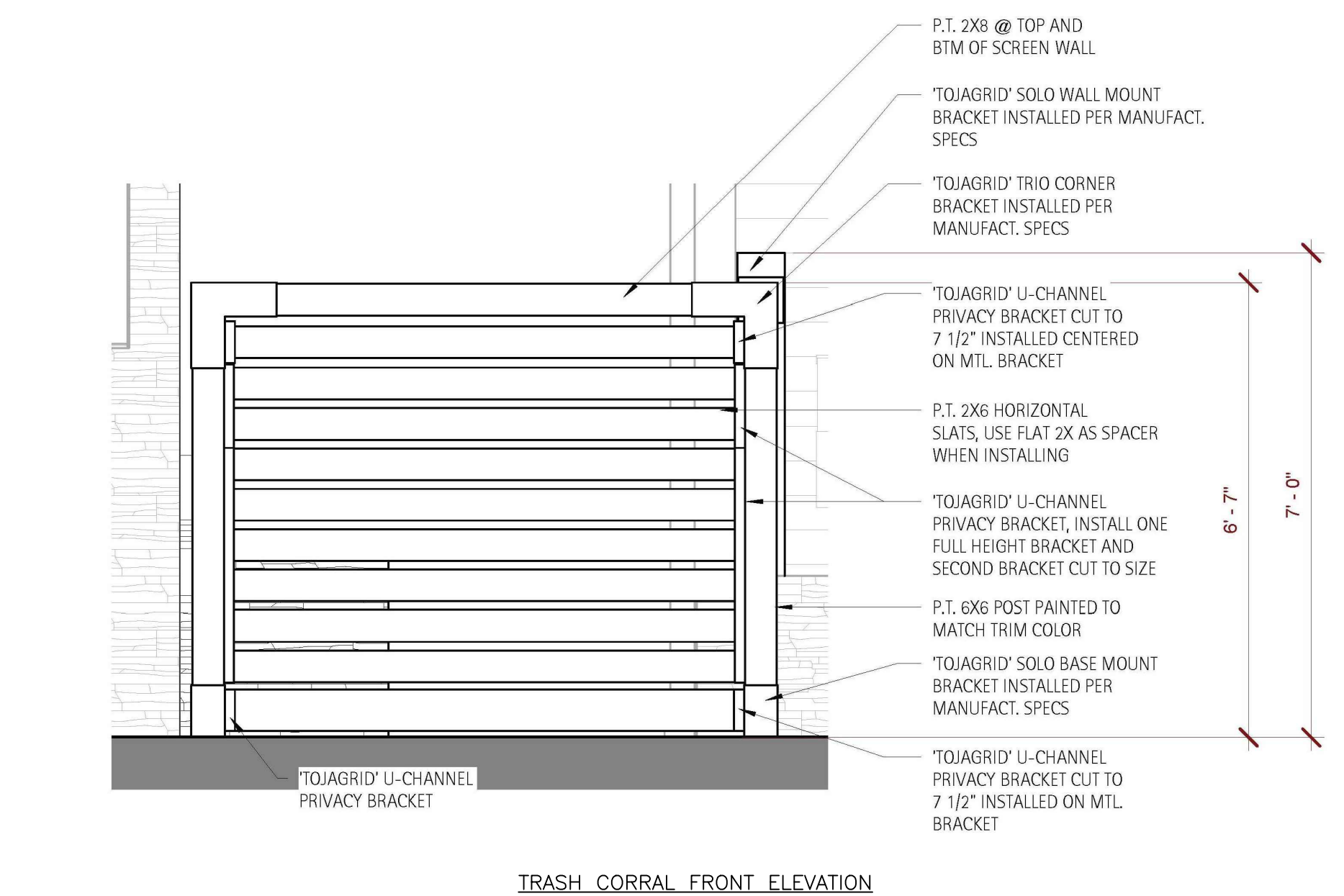
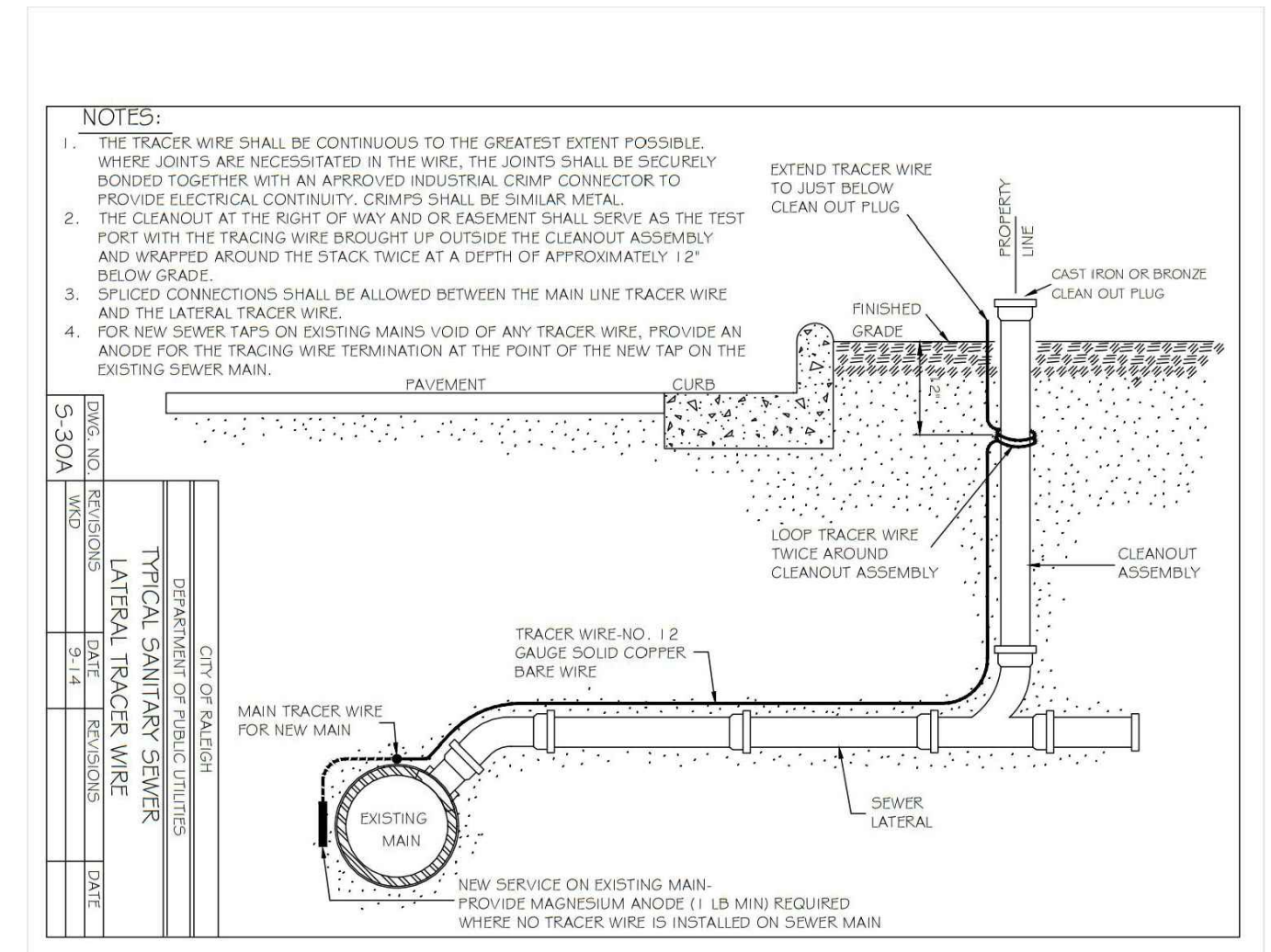
06 POOL FENCE AND GATE
SCALE: 1/2"=1'-0"

- NOTES:
1. DETAILS FROM OTHERS, FOR REFERENCE ONLY.

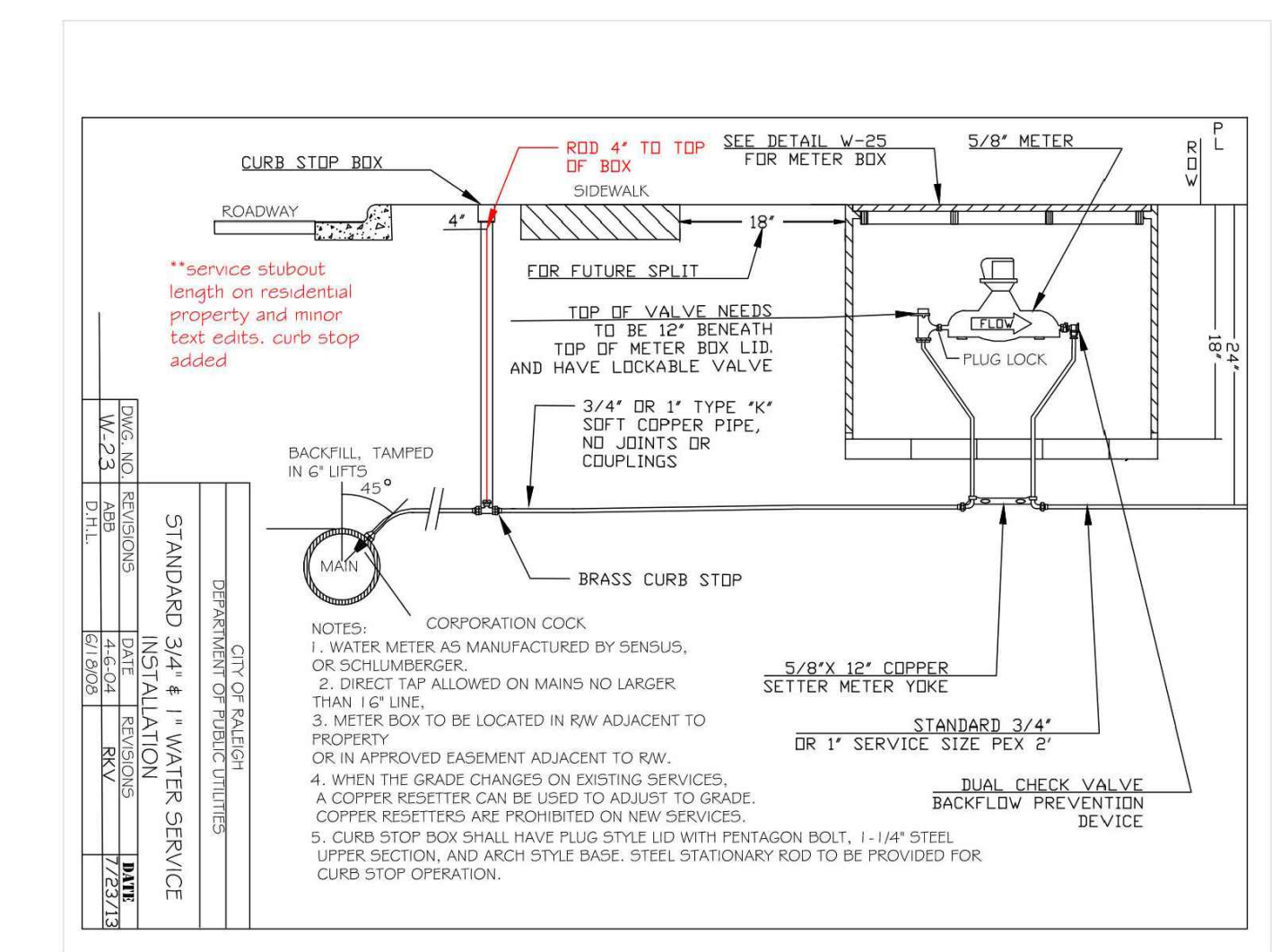


- 1. ALL ABOVE GROUND ENCLOSURES MUST HAVE ADEQUATE DRAINAGE (TWICE THE DIAMETER OF THE SUPPLY PIPE) TO DRAINLIGHT ABOVE GRADE.
2. REDUCED PRESSURE BACKFLOW PREVENTERS MAY BE LOCATED IN A BUILDING PROVIDED THERE ARE NO OTHER UNPROTECTED TAPS BETWEEN THE MAIN AND THE BUILDING. DRAINAGE IN A BUILDING MUST BE TWICE THE DIAMETER OF THE SUPPLY PIPE.
3. ABOVE GROUND INSULATED VALVES MUST BE ASSE 1060 APPROVED ABOVE GROUND ENCLOSURES. SEE CROSS CONNECTION MANUAL FOR ENCLOSURE FREEZE PROTECTION AND CERTIFICATION REQUIREMENTS.
4. RESIDENTIAL LAWN IRRIGATION R.F. ASSEMBLIES THAT ARE REMOVED TO PREVENT FREEZING IN THE WINTER MONTHS MUST BE CAPPED OFF. ALL ABOVE GROUND ASSEMBLIES, EXCEPT RESIDENTIAL LAWN IRRIGATION ASSEMBLIES, MUST BE PROTECTED FROM FROST.
5. FOR ENCLOSURE DIMENSIONS SEE DETAIL W-34.
6. STEEL RODS AND BOLTS SHALL BE 3/4" HOT DIPPED GALVANIZED.
7. ALL ASSEMBLIES MUST BE ON THE CURRENT APPROVAL LIST.

03 GRILL ISLAND
SCALE: 1/2"=1'-0"



05 TRASH CORRAL
SCALE: 1/2"=1'-0"



- NOTES:
1. WATER METER AS MANUFACTURED BY SENSUS, OR SCHLUMBERGER.
2. DIRECT TAP ALLOWED ON MAINS NO LARGER THAN 1/2" LINE.
3. METER BOX TO BE LOCATED IN RW ADJACENT TO PROPERTY.
4. WHEN THE GRADE CHANGES ON EXISTING SERVICES, A COPPER RESETTER CAN BE USED TO ADJUST TO GRADE. COPPER RESETTERS ARE PROHIBITED ON NEW SERVICES.
5. CURB STOP BOX SHALL HAVE PLUG STYLE LID WITH PENTAGON BOLT. 1-1/4" STEEL UPPER SECTION, AND ARCH STYLE BASE. STEEL STATIONARY ADD TO BE PROVIDED FOR CURB STOP OPERATION.

REVISIONS

Table with columns: NO., DATE, REVISIONS. Row 1: 1, 09.03.2024, REVISED PER TOWN COMMENTS

PLAN INFORMATION

Table with columns: PROJECT NO., FILENAME, CHECKED BY, DRAWN BY, SCALE, DATE, SHEET. Values: LFN23026, LFN23026-D1, JAR, SMA, AS SHOWN, 07.01.2024, SHEET

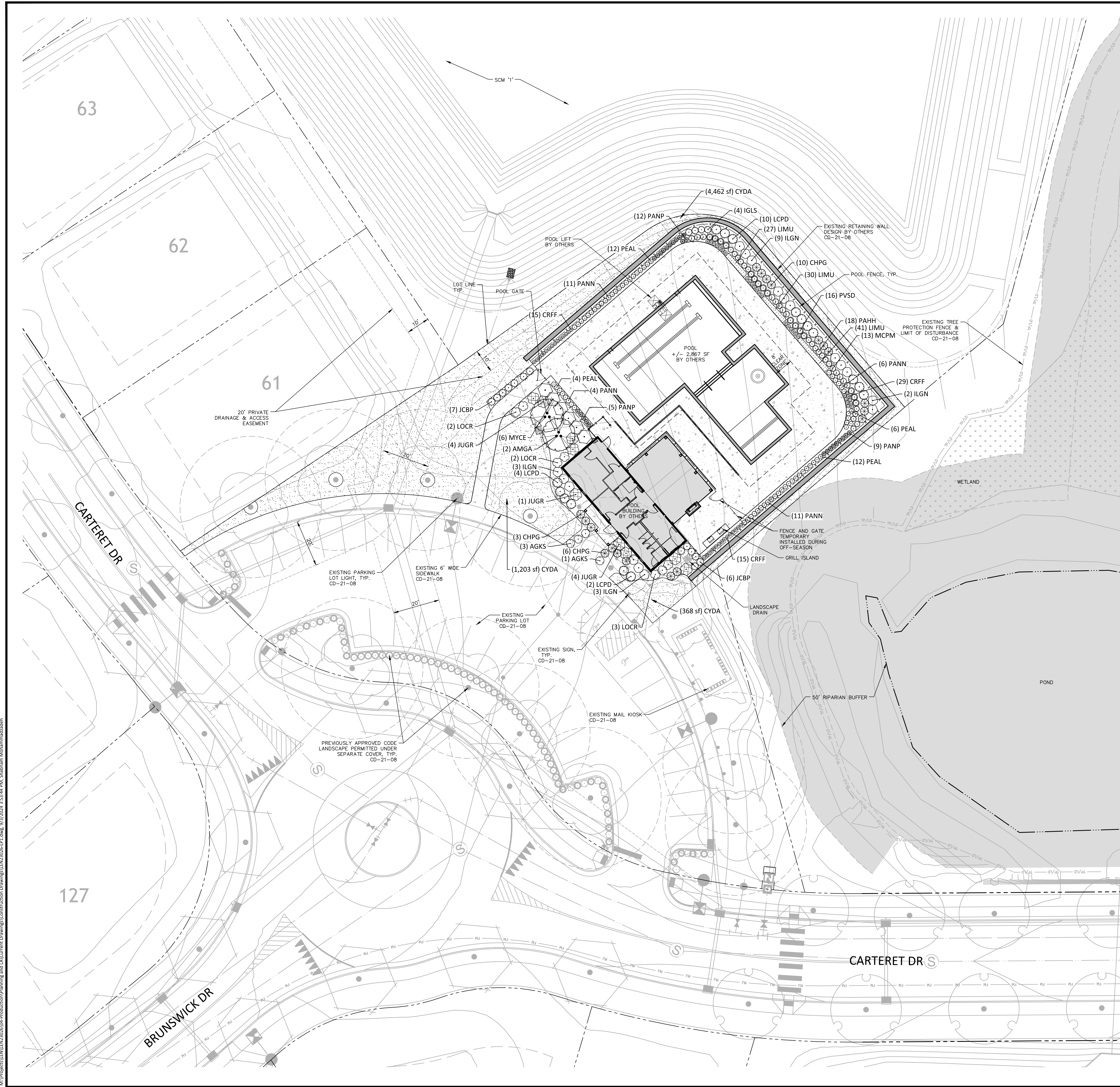
SITE DETAILS

C8.01

SDP-24-06

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

\\Projects\LEN\23026\04-Production\Drawings\Construction\Drawings\LEN23026-D1.dwg, 9/7/2024, 2:14:57 PM, Shabam Mohammadabbad



PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME
TREES				
	AMGA	2	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Apple Serviceberry
	CECF	2	Cercis canadensis 'Forest Pansy'	Forest Pansy Eastern Redbud
SHRUBS				
	AGKS	4	Abelia x grandiflora 'Kaleidoscope'	Kaleidoscope Glossy Abelia
	CHPG	19	Chamaecyparis pisifera 'Golden Mop'	Golden Mop Threadleaf Sawara Cypress
	IGLS	4	Ilex glabra 'Shamrock'	Shamrock Inkberry Holly
	ILGN	17	Ilex glabra	Inkberry Holly
	JCBP	13	Juniperus chinensis 'Blue Point'	Blue Point Juniper
	JUGR	9	Juniperus x 'Grey Owl'	Grey Owl Juniper
	LCPD	16	Loropetalum chinense rubrum 'PILC-III'	Purple Daydream Dwarf Loropetalum
	LOCR	7	Loropetalum chinense rubrum 'Ruby'	Ruby Fringe Flower
	MYCE	6	Myrica cerifera	Wax Myrtle
ORNAMENTAL GRASSES + SEDGES				
	CRFF	59	Carex oshimensis 'Feather Falls'	Feather Falls Japanese Sedge
	MCPM	13	Muhlenbergia capillaris	Pink Muhly Grass
	PAHH	18	Pennisetum alopecuroides 'Hameln'	Hameln Fountain Grass
	PANN	32	Panicum virgatum 'Northwind'	Northwind Switch Grass
	PAMP	26	Panicum virgatum 'Purple Tears'	Purple Tears Switch Grass
	PEAL	34	Cenchrus alopecuroides 'Cassian'	Cassian Fountain Grass
	PVSD	16	Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass
GROUND COVERS				
	CYDA	5,990 sf	Cynodon dactylon 'Tiftuf'	Bermuda 'Tiftuf'
	LIMU	98	Liriope muscari 'Variegata'	Variegated Lilyturf

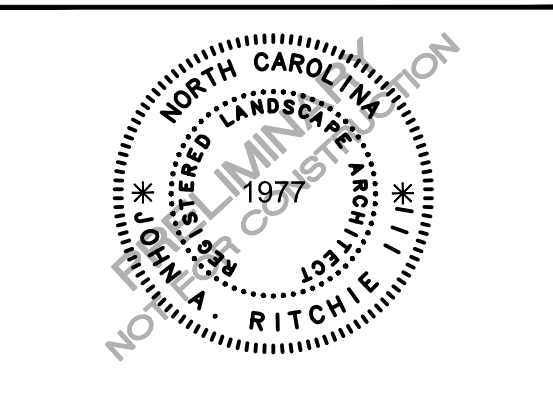
NOTE:
 • NO LANDSCAPING IS REQUIRED PER LDO. ALL PLANTINGS SHOWN ARE ELECTIVE. DEVELOPER RESERVES THE RIGHT TO REDUCE QUANTITIES OR SIZE OF PLANT MATERIALS DEPICTED ON THE PLAN OR TO SUBSTITUTE SPECIFIC SPECIES BASED ON AVAILABILITY.

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 ROLESVILLE, NC 27587



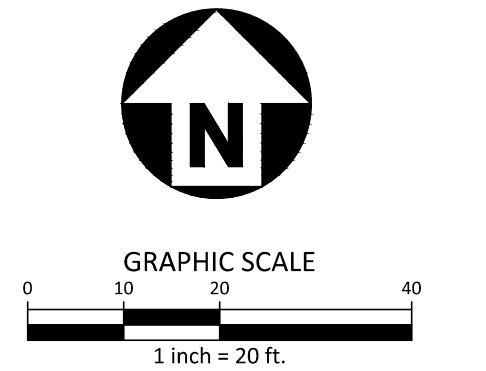
REVISIONS

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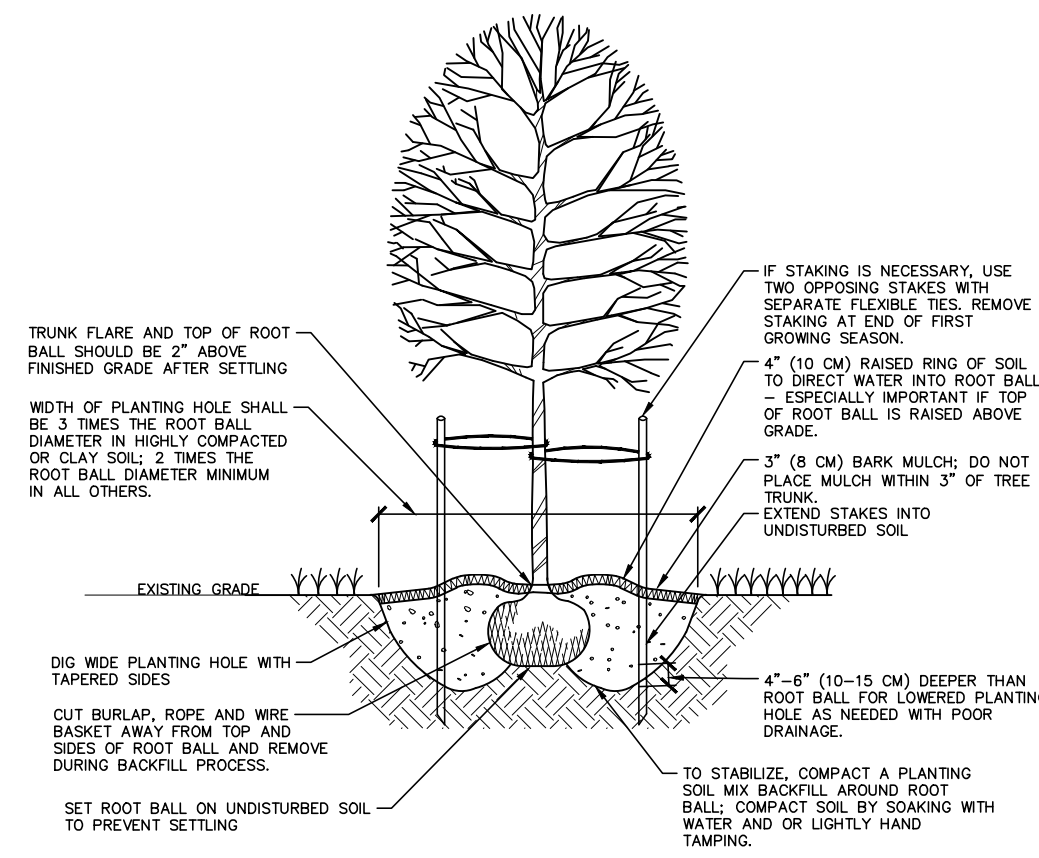
PLAN INFORMATION

PROJECT NO. LEN23026
 FILENAME LEN23026-LP1
 CHECKED BY JAR
 DRAWN BY SMA
 SCALE 1" = 20'
 DATE 07.01.2024

SHEET
AMENITY LANDSCAPE PLAN
L5.00



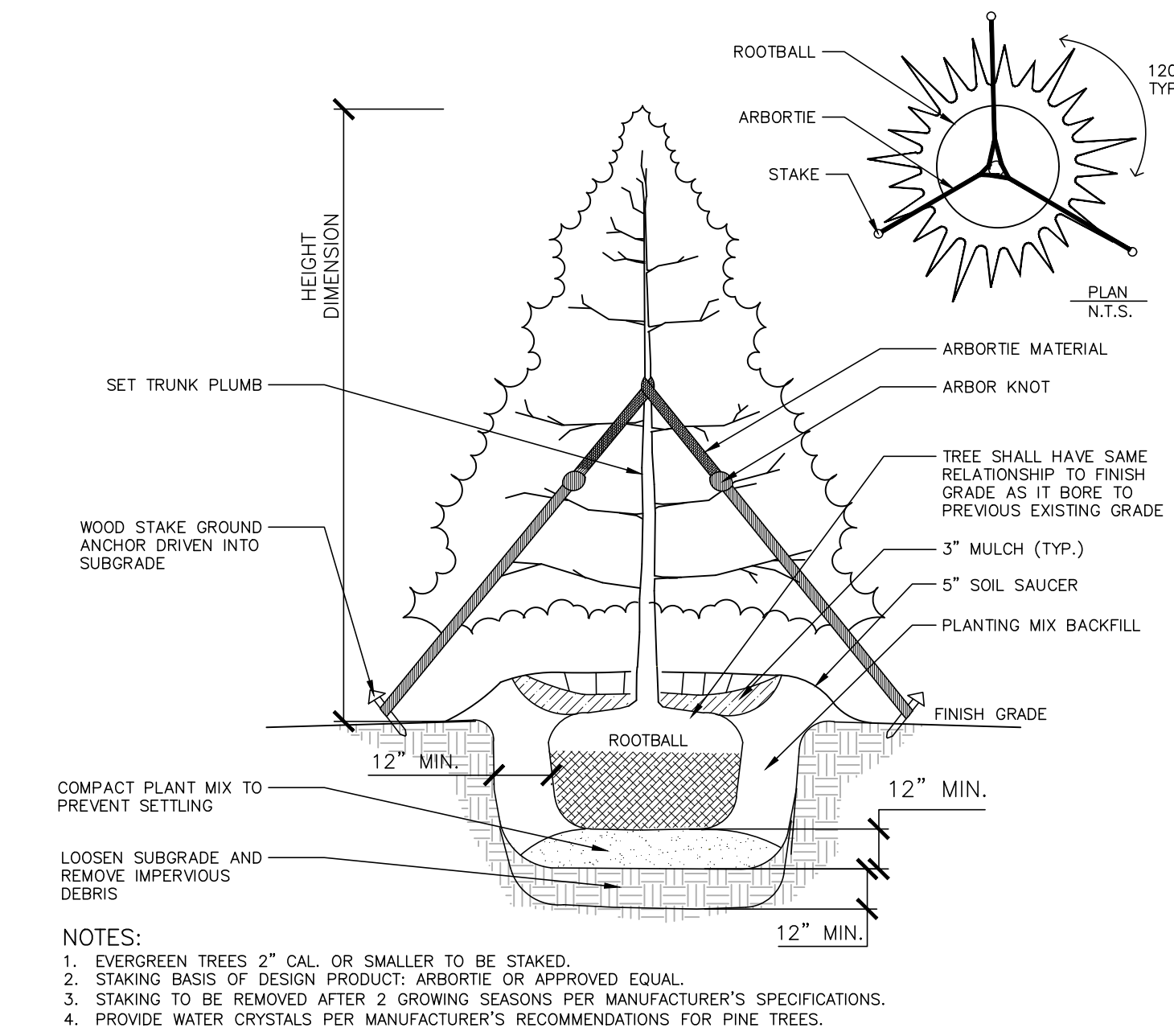
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- NOTES:**
1. SELECT TREES THAT HAVE STRONG CENTRAL LEADER CROWN WITH FULL FOLIAGE ARE GROWN IN HEAVY CLAY SOIL WITH DRIP IRRIGATION.
 2. BEFORE INSTALLING PLANTING SOIL MIX BACKFILL AROUND ROOT BALL, BE SURE TO SOAK HOLE TO CONFIRM WATER FILTERS THROUGH UNDISTURBED SOIL DESIGN ALTERNATIVE DRAINAGE SYSTEM IF REQUIRED. A SOIL EXPERT CAN BE CONSULTED TO HELP MODIFY AND FERTILIZE TOPSOIL TO CREATE AN ACCEPTABLE PLANTING SOIL MIX FOR THE SITE CONDITIONS AND SPECIFIC TREE SPECIES.
 3. IF USING CONSUMER GROWN TREES, USE FINNERS OR SMALL HAND TOOLS TO PULL ROOTS OUT OF THE OUTSIDE OF THE CONTAINER. THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND DURING DRY PERIODS.

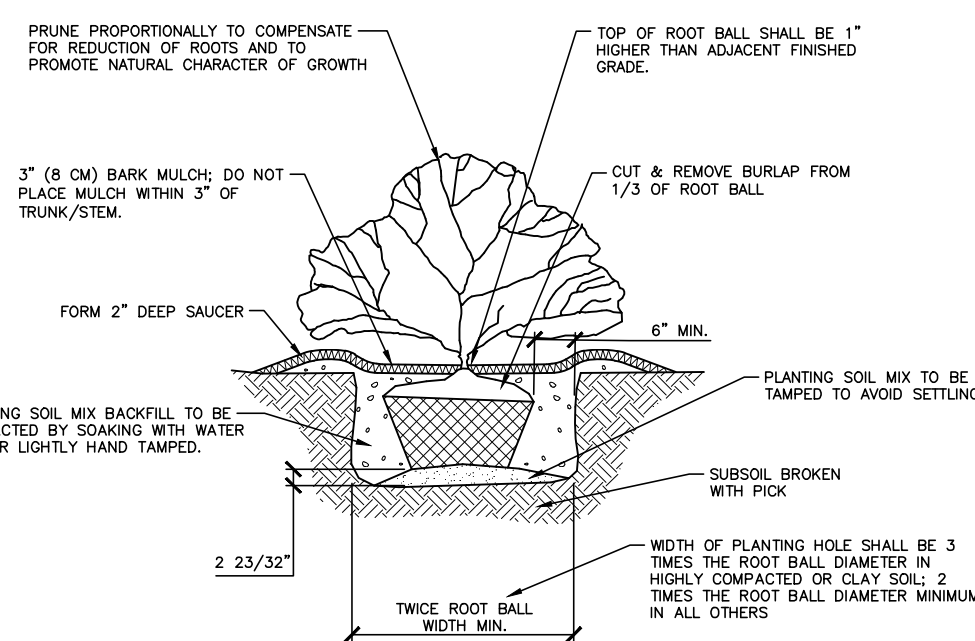
01 TREE INSTALLATION

SCALE: NTS



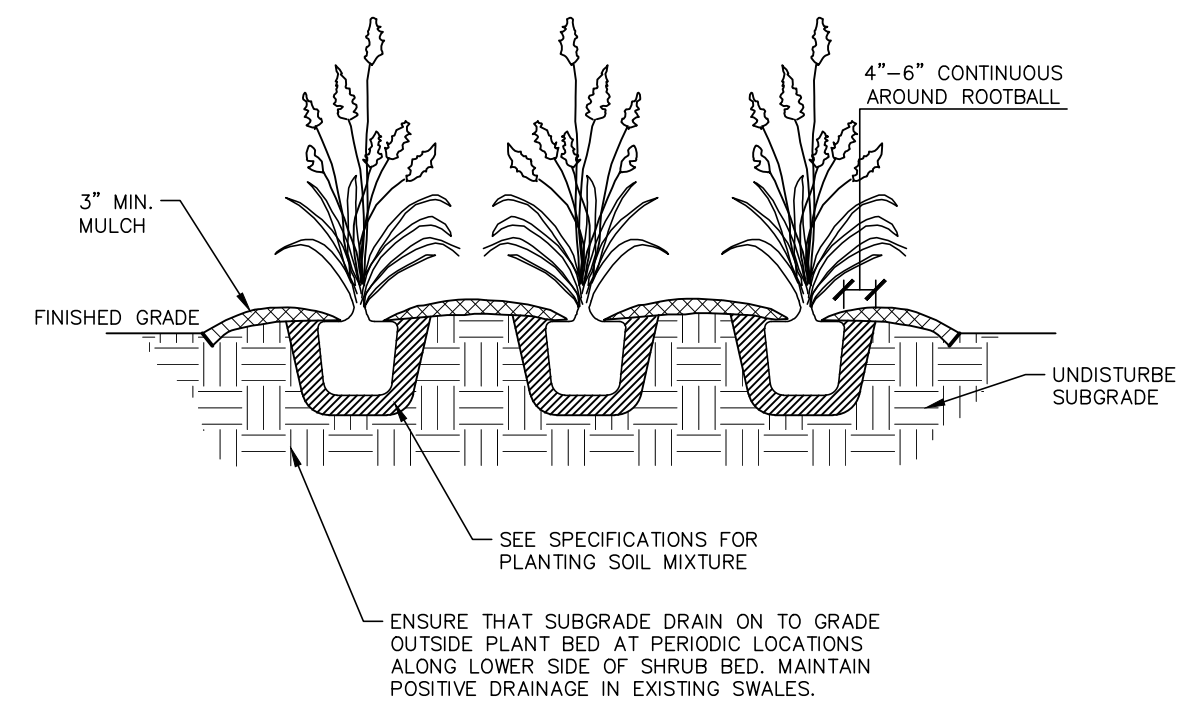
02 EVERGREEN TREE INSTALLATION

SCALE: NTS



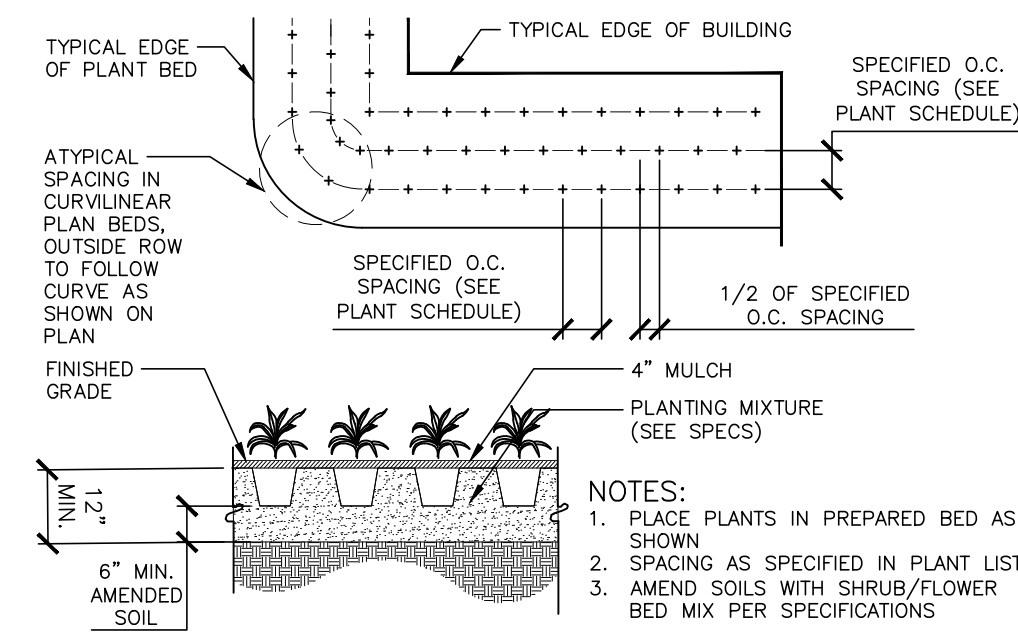
03 SHRUB INSTALLATION

SCALE: NTS



04 ORNAMENTAL GRASS PLANTING

SCALE: NTS



05 GROUNDCOVER PLANTING

SCALE: NTS

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CAL	HEIGHT
TREES						
	AMGA	2	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Apple Serviceberry	-	8' min
	CECF	2	Cercis canadensis 'Forest Pansy'	Forest Pansy Eastern Redbud	2" min	8' min
SHRUBS						
	AGKS	4	Abelia x grandiflora 'Kaleidoscope'	Kaleidoscope Glossy Abelia	#3	12" min
	CHPG	19	Chamaecyparis pisifera 'Golden Mop'	Golden Mop Threadleaf Sawara Cypress	#3	15" min
	IGLS	4	Ilex glabra 'Shamrock'	Shamrock Inkberry Holly	5 gal	24" min
	ILGN	17	Ilex glabra	Inkberry Holly	#3	18" min
	JCBP	13	Juniperus chinensis 'Blue Point'	Blue Point Juniper	-	48"- 60"
	JUGR	9	Juniperus x 'Grey Owl'	Grey Owl Juniper	#5	18" min
	LCPD	16	Loropetalum chinense rubrum 'PILC-III'	Purple Daydream® Dwarf Loropetalum	3 gal	12" min
	LOCR	7	Loropetalum chinense rubrum 'Ruby'	Ruby Fringe Flower	#3	15" min
	MYCE	6	Myrica cerifera	Wax Myrtle	#10	36" min

ORNAMENTAL GRASSES + SEDGES

	CRFF	59	Carex oshimensis 'Feather Falls'	Feather Falls Japanese Sedge	3 gal
	MCPM	13	Muhlenbergia capillaris	Pink Muhly Grass	3 gal
	PAHI	18	Pennisetum alopecuroides 'Hameln'	Hameln Fountain Grass	3 gal
	PANN	32	Panicum virgatum 'Northwind'	Northwind Switch Grass	1 gal
	PANP	26	Panicum virgatum 'Purple Tears'	Purple Tears Switch Grass	3 gal
	PEAL	34	Cenchrus alopecuroides 'Cassian'	Cassian Fountain Grass	1 gal
	PYSD	16	Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	3 gal

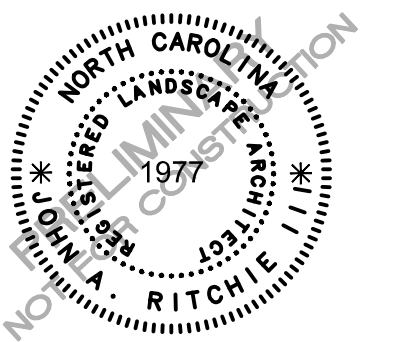
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT
GROUND COVERS					
	CYDA	5,990 sf	Cynodon dactylon 'TifTuf'	Bermuda 'TifTuf'	Sod
	LIMU	98	Liriope muscari 'Variegata'	Variegated Lilyturf	Seed

GENERAL LANDSCAPE NOTES:

1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ROLESVILLE AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR IS RESPONSIBLE FOR THE SITE INSPECTION BEFORE LANDSCAPE CONSTRUCTION AND INSTALLATION IN ORDER TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS.
3. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES BEFORE BEGINNING DEMOLITION OR INSTALLATION.
4. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE NOTES, SPECIFICATIONS, DRAWINGS OR SITE CONDITIONS FOR RESOLUTION PRIOR TO INSTALLATION.
5. ANY DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
6. THIS PLAN IS FOR PLANTING PURPOSES ONLY. FOR INFORMATION REGARDING BUILDINGS, GRADING, WALLS, ETC., REFER TO ARCHITECTURE, SITE AND GRADING PLANS.
7. VERIFICATION OF TOTAL PLANT QUANTITIES AS SHOWN IN THE PLANT SCHEDULE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
8. CONTRACTOR TO ENSURE PROPER STABILIZATION AND SEEDING OF THE SITE IN ACCORDANCE WITH APPLICABLE REGULATIONS.
9. LANDSCAPE MATERIAL SHALL BE WELL FORMED, VIGOROUS, GROWING SPECIMENS WITH GROWTH TYPICAL OF VARIETIES SPECIFIED AND SHALL BE FREE FROM DAMAGE, INSECTS AND DISEASES. MATERIAL SHALL EQUAL OR SURPASS #1 QUALITY AS DEFINED IN THE CURRENT ISSUE OF "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
10. ALL PLANT MATERIAL IS TO BE CAREFULLY HANDLED BY THE ROOT BALL, NOT THE TRUNK, BRANCHES AND/OR FOLIAGE OF THE PLANT. MISHANDLED PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT.
11. ALL PLANT MATERIAL IS TO BE WELL ROOTED, NOT ROOT BOUND, SUCH THAT THE ROOT BALL REMAINS INTACT THROUGHOUT THE PLANTING PROCESS. DEFICIENT PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT OR OWNER.
12. ALL PLANTS TO BE A MINIMUM OF WHAT IS SPECIFIED IN THE PLANT SCHEDULE. ANY CHANGES OR SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND GOVERNING JURISDICTION PRIOR TO ANY HOLE BEING DUG.
13. CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT TO ESTABLISH THE EXTENTS OF MULCH/SEED/SOD IF NOT SPECIFICALLY SHOWN ON PLANS.
14. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE IN ALL PLANTING AREAS.
15. PROPOSED TREES TO BE PLANTED A MINIMUM 10 FEET FROM ANY LIGHT POLE AS MEASURED FROM TRUNK OF THE TREE TO THE POLE.
16. PROPOSED TREES TO BE PLANTED A MINIMUM 5 FEET FROM ANY FIRE HYDRANT AS MEASURED FROM TRUNK OF THE TREE TO THE HYDRANT.
17. CONTRACTOR SHALL COMPLETE SOIL TEST IN ALL PLANTING AREAS TO DETERMINE SOIL AMENDMENT REQUIREMENTS UNLESS WAIVED BY OWNER'S REPRESENTATIVE. CONTRACTOR SHALL ADJUST PH AND FERTILITY BASED UPON THE SOIL TEST RESULTS.
18. TOPSOIL SHALL BE FREE OF MATERIAL LARGER THAN 1.0 INCH IN DIAMETER OR LENGTH AND SHALL NOT CONTAIN SLAG, CINDERS, STONES, LUMPS OF SOIL, STICKS, ROOTS, TRASH, OR OTHER EXTRANEOUS MATERIAL.
19. LOOSEN SUBGRADE / SURFACE SOIL TO A MINIMUM DEPTH OF 6 INCHES. APPLY SOIL AMENDMENTS AND FERTILIZERS AS REQUIRED BY THE SOIL TEST RESULTS TO ACHIEVE A HEALTHY GROWING MEDIA AND MIX THOROUGHLY INTO TOP 4 INCHES OF SOIL. SPREAD PLANTING SOIL MIX TO A DEPTH OF 6 INCHES BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
20. IF IMPORTED TOPSOIL IS REQUIRED, THE SUBGRADE SHALL BE SCARIFIED OR TILLED TO A DEPTH OF AT LEAST 6 INCHES PRIOR TO INSTALLATION OF IMPORTED TOPSOIL. FOLLOWING INSTALLATION OF IMPORTED TOPSOIL, THE TOPSOIL SHALL BE TILLED TO INTEGRATE THE SOIL PROFILES.
21. PLANT MATERIALS ARE TO BE GUARANTEED FOR A PERIOD OF 12 MONTHS. PLANT MATERIALS WHICH REMAIN UNHEALTHY WILL BE REPLACED BY THE LANDSCAPE CONTRACTOR BEFORE THE EXPIRATION OF THE GUARANTEE PERIOD OR IMMEDIATELY IF SO DIRECTED BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
22. ALL TREE PLANTINGS SHALL BE MULCHED TO A DEPTH OF 3 INCHES, AND WITH A MINIMUM 3 FOOT RADIUS FROM BASE OF TREE OR TO DRILLINE. MULCH SHALL BE FREE OF TRASH AND MAINTAINED WEED FREE. MULCH SHALL NOT COVER THE ROOT FLARE. CONFIRM MULCH SPECIFICATIONS WITH OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
23. DO NOT PRUNE TREES AND SHRUBS BEFORE DELIVERY. PROTECT BARK, BRANCHES, AND ROOT SYSTEMS FROM SUN SCALD, DRYING, SWEATING, WHIPPING, AND OTHER HANDLING AND TYING DAMAGE. DO NOT BEND OR BIND-TIE TREES OR SHRUBS IN SUCH A MANNER AS TO DESTROY THEIR NATURAL SHAPE. PROVIDE PROTECTIVE COVERING OF EXTERIOR PLANTS DURING DELIVERY. DO NOT DROP EXTERIOR PLANTS DURING DELIVERY AND HANDLING.
24. DELIVER EXTERIOR PLANTS AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND INSTALL IMMEDIATELY. IMMEDIATELY AFTER UNLOADING, STAND THE TREES UP TO REDUCE THE RISK OF SUN SCALD. PROPERLY STAGED TREES ARE STANDING, UNTIED AND SPACED. UNLESS IMMEDIATELY INSTALLED, SET EXTERIOR PLANTS AND TREES IN SHADE, PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS MOIST.
25. SEE LANDSCAPE DETAILS FOR TREE STAKING REQUIREMENTS.
26. EXCAVATE EDGES OF ALL PLANTING BEDS TO 2 INCH DEPTH TO FORM A NEAT AND CRISP DEFINITION.
27. CONTRACTOR SHALL REMOVE DEBRIS AND FINE GRADE ALL PLANTING AREAS PRIOR TO INSTALLATION.
28. REMOVE GUY WIRES AND STAKES AT END OF WARRANTY PERIOD OR ESTABLISHMENT.
29. FINISH GRADING: GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. GRADE TO WITHIN PLUS OR MINUS 1/2 INCH OF FINISH ELEVATION. ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES. LIMIT FINISHED GRADING TO AREAS THAT CAN BE PLANTED IN THE IMMEDIATE FUTURE.

CLIENT

LENNAR
1100 PERIMETER PARK DRIVE, SUITE 112
MORRISVILLE, NC 27560



REVISIONS

NO.	DATE	REVISION
1	09.03.2024	REVISED PER TOWN COMMENTS

PLAN INFORMATION

PROJECT NO. LEN23026
FILENAME LEN23026-LP1
CHECKED BY JAR
DRAWN BY SMA
SCALE AS SHOWN
DATE 07.01.2024

SHEET

LANDSCAPE NOTES AND DETAILS

L5.01



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license number: C-0293, C-187

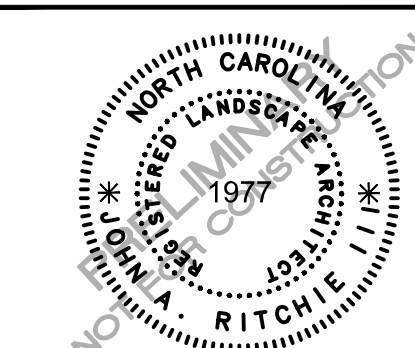
www.mcadamsco.com

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**ROLESVILLE CROSSING
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1801 ROLESVILLE RD
ROLESVILLE, NC 27587**



REVISIONS

NO.	DATE	REVISED PER TOWN COMMENTS
1	09.03.2024	

PLAN INFORMATION

PROJECT NO. LEN23026
 FILENAME LEN23026-L11
 CHECKED BY JAR
 DRAWN BY SMA
 SCALE 1" = 20'
 DATE 07.01.2024

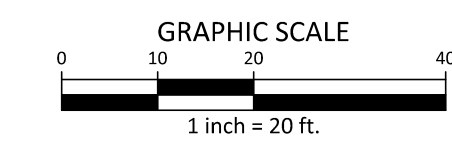
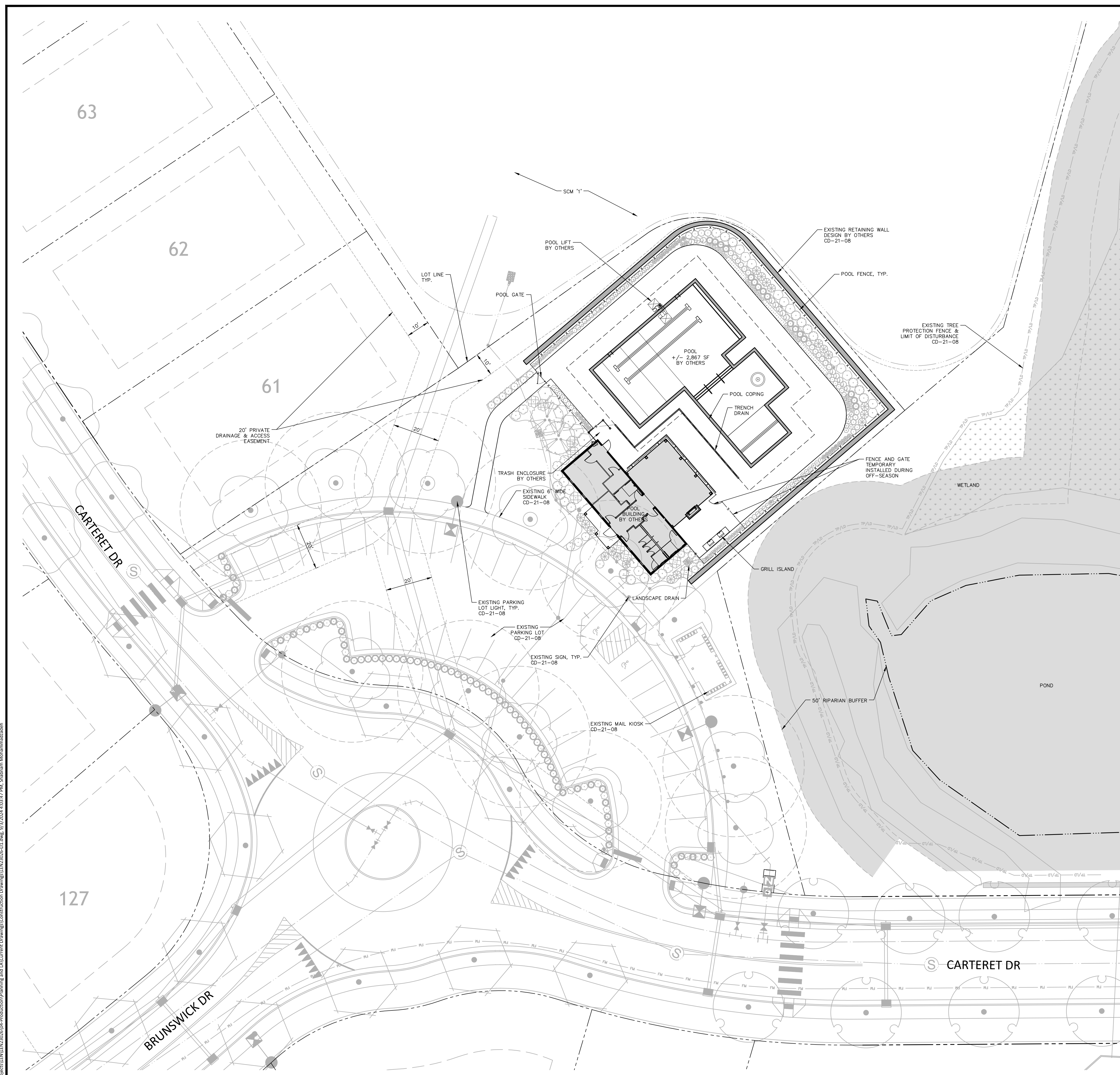
SHEET

AMENITY LIGHTING PLAN

L6.00

NOTE:

- NO LIGHTING IS PROPOSED FOR THE AMENITY SITE OTHER THAN THE APPROVED PARKING LOT LIGHTS UNDER CD-21-08. THE CLUBHOUSE AND POOL IS NOT INTENDED FOR NIGHT TIME USE.



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