



Wallbrook Entitlements

JPM Chase Retail Banking Center
 SEC of S Main St. and Virginia Water Dr
 Rolesville, NC 27587
 CHASE # 48100R008594
 Version 20.7

Application Reference # SDP-24-03

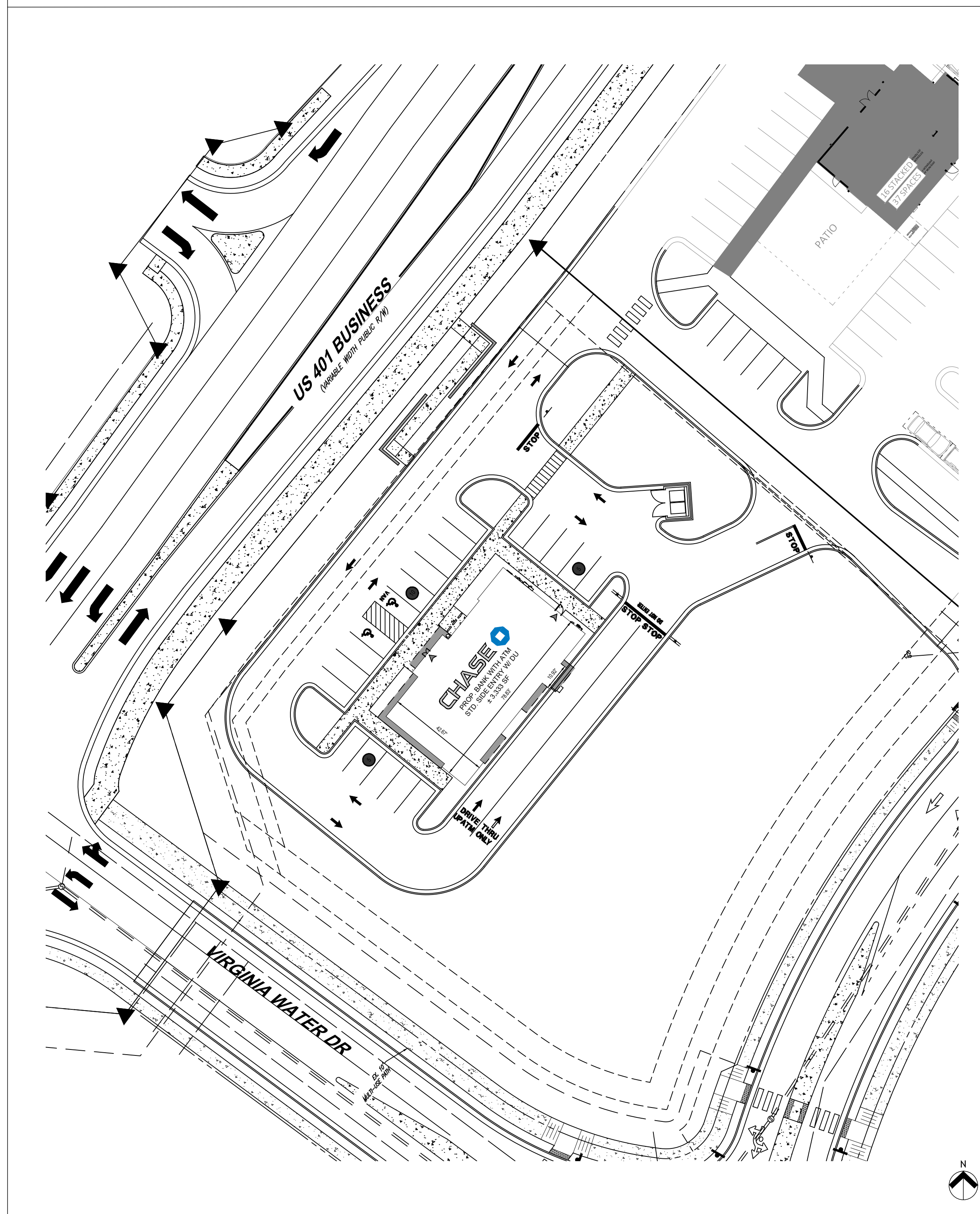


400 N. Ashley Dr.
 Suite 600
 Tampa, FL 33602
 P: 813-323-9233
 FL LIC#AR-0014752
 www.bdgllp.com

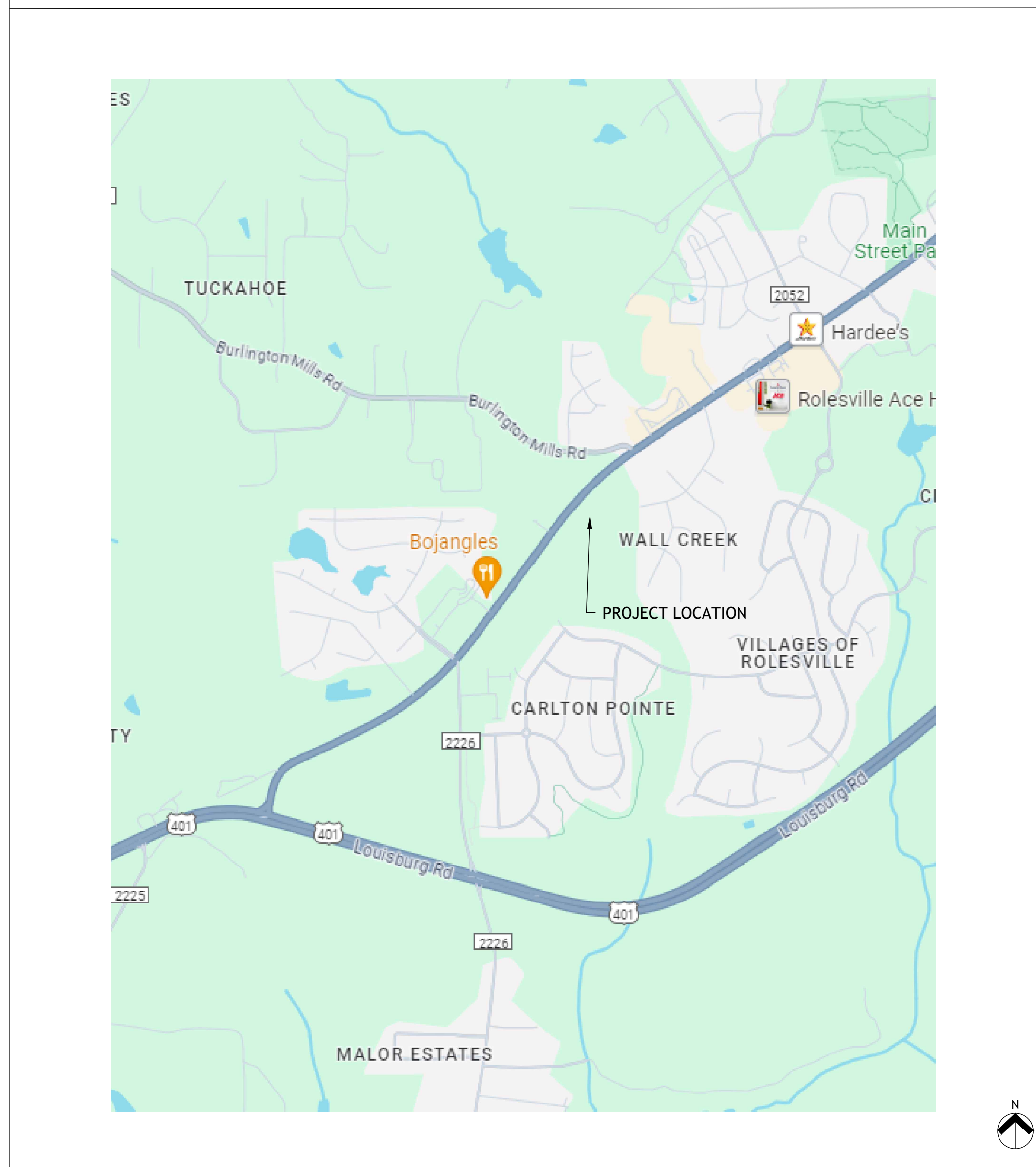


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SITE PLAN - FOR REFERENCE ONLY. REFER TO CIVIL.



LOCATION MAP



SHEET INDEX

ARCHITECTURAL DRAWINGS	04-23-2024 ENTITLEMENT REVIEW	07-01-2024 PLAN REVIEW COMA
A00.0 COVER SHEET	●	●
A00.1 FURNITURE FLOOR PLAN	●	●
A00.2 BUILDING RENDERINGS	●	●
A00.3 BUILDING RENDERINGS	●	●
A00.4 DUMPSTER RENDERINGS	●	●
A00.5 EXTERIOR ELEVATIONS	●	●
A00.6 EXTERIOR ELEVATIONS	●	●
ELECTRICAL DRAWINGS		
E1.0 PHOTOMETRIC SITE PLAN	●	

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Firm Name:
 BDG Architects, LLP
 400 North Ashley Drive, Suite 600
 Tampa, Florida 33602

Partners:
 Christopher Kirschner - 60%
 FL License No. AR0014752
 North Carolina License No. 10173

Interco Management - 40%
 No Architectural License

Architect of Record:
 Christopher Gary Kirschner, AIA, LEED AP
 NC License No. 10173

ISSUE/BY	DATE	DESCRIPTION
▲ KF	07-01-2024	PLAN REVIEW COMA

PROJECT INFORMATION BLOCK	
JOB #:	234053
DATE:	04-23-2024
DRAWN BY:	KF
CHECKED BY:	TN

SHEET TITLE
ENTITLEMENT PACKAGE COVER SHEET

SHEET NUMBER
A00.0

SCOPE OF WORK

PROTOTYPE - 20.7
 ATM CANOPY: ATTACHED
 DUMPSTER ENCLOSURE: Y
 BRG: N
 SEISMIC ZONE: N
 PROTOTYPE BUILDING WITH BRICK EXTERIOR FINISHES

BUILDING FLOOR AREA = 3,335 SF

SITE AREA = 71,000 SF



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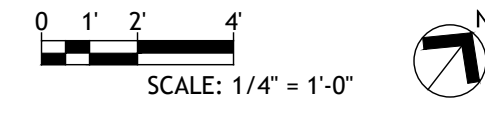
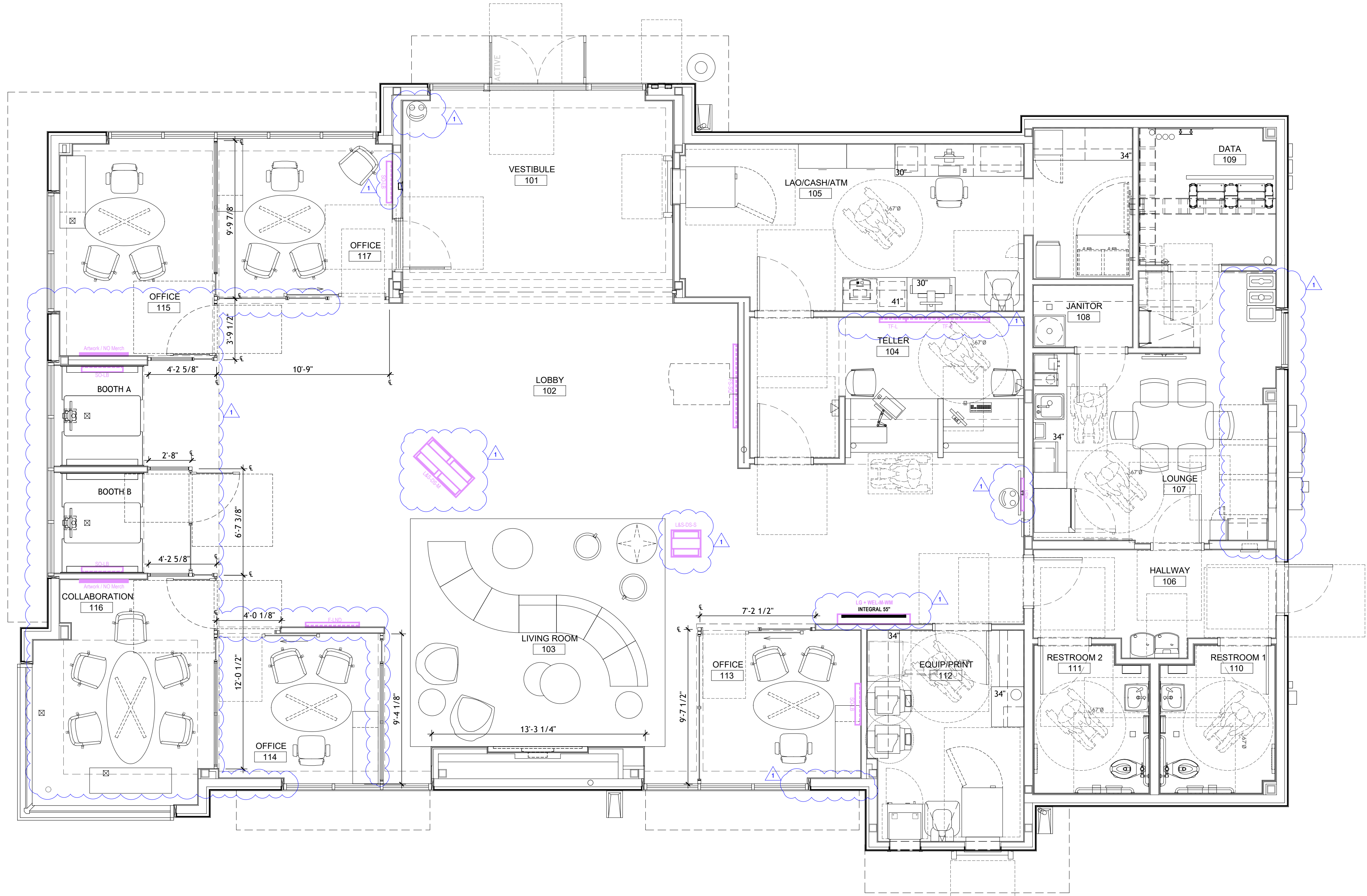
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SHEET TITLE
FURNITURE FLOOR PLAN

SHEET NUMBER

A00.1





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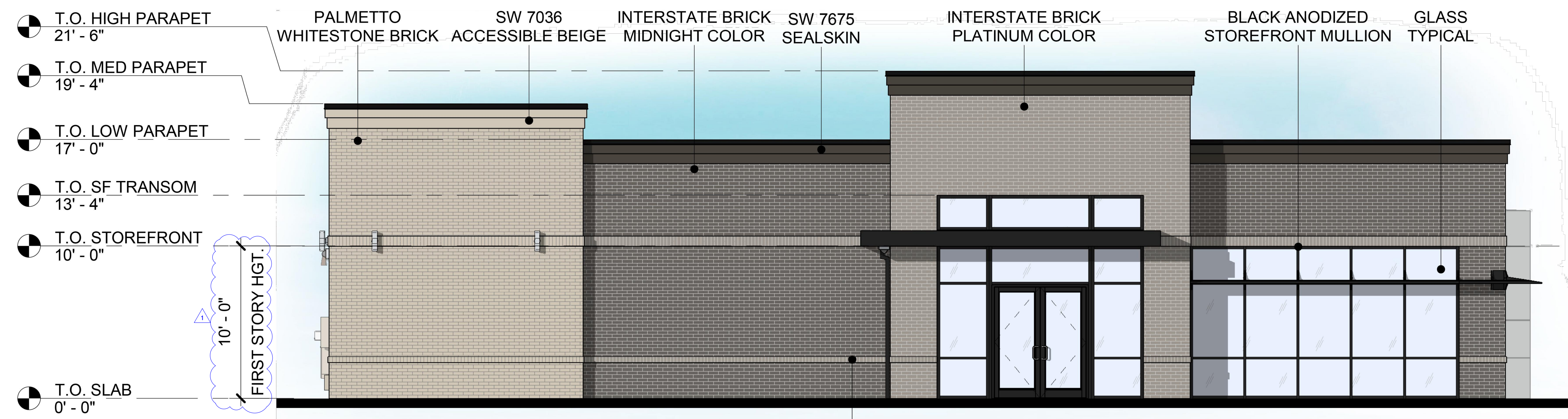
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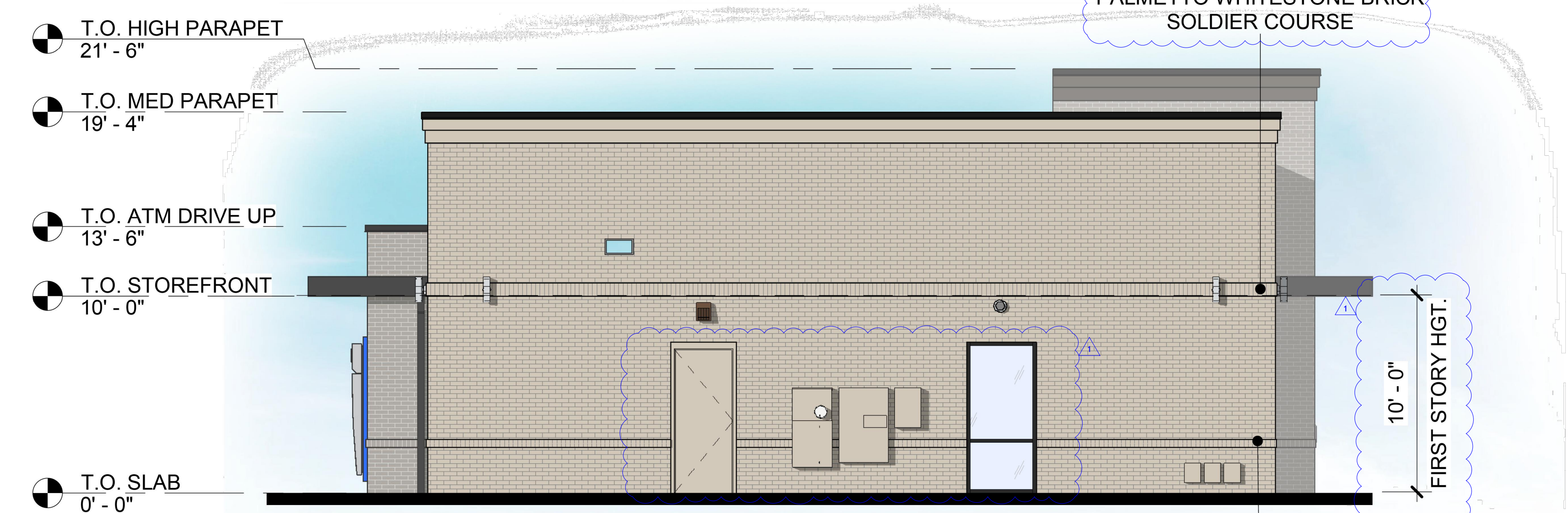
SHEET TITLE	
BUILDING RENDERINGS	
SHEET NUMBER	

A00.2



NORTHWEST ELEVATION

INTERSTATE BRICK PLATINUM COLOR



NORTHEAST ELEVATION

WHITESTONE BRICK PALMETTO	ACCESSIBLE BEIGE SW 7036
COPING BLACK ANODIZED	STOREFRONT MULLION BLACK ANODIZED
"CHASE SILVER" ACM REYNOBOND	STOREFRONT MULLION SILVER ANODIZED
SEALSKIN SW 7675	TYPICAL GLASS
PLATINUM COLOR INTERSTATE BRICK	MIDNIGHT COLOR INTERSTATE BRICK

LDO 6.8.2 COMPLIANCE

WE HAVE 3 STREET FACING SIDES, MAKING THE NORTHEAST FACADE THE "REAR FACE" OF THE BUILDING WHICH FACES OUR DUMPSTER AND HOUSES THE RESTROOMS, SECURE BANKING AREAS, DATA ROOM, AND BACK OF HOUSE SERVICE AREAS.

PER LDO SECTION 6.8.2.D.2, "TRANSPARENCY SHALL NOT BE REQUIRED FOR SERVICE AREAS, LOADING/UNLOADING AREAS, OR THOSE AREAS NOT VISIBLE FROM THE PUBLIC AND/OR PRIVATE STREET."

PER LDO SECTION 6.8.2.D.3.e, "THE MAXIMUM PERMITTED BLANK WALL LENGTH FOR THE REAR OF THE BUILDINGS SHALL BE ONE-HUNDRED (100) FEET, OR TWENTY-FIVE (25) PERCENT OF THE BUILDING LENGTH, WHICHEVER IS LESS."



234053(48100R008594)
06-26-2024

WALLBROOK

SEC of S Main St. and Virginia Water Dr.
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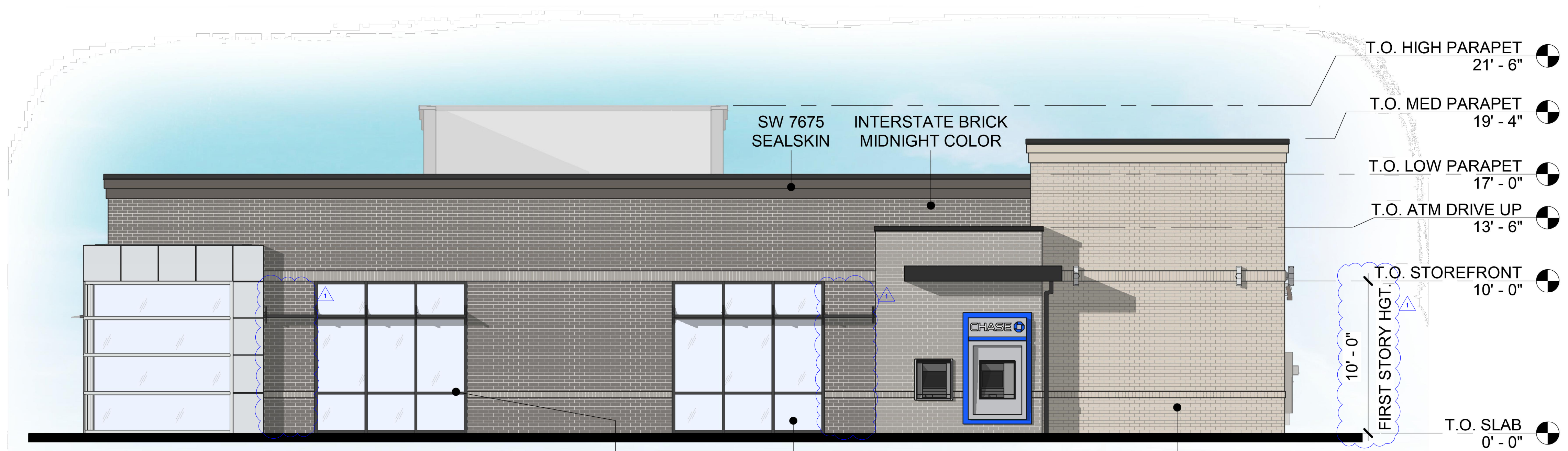
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BUILDING RENDERINGS	
SHEET NUMBER	

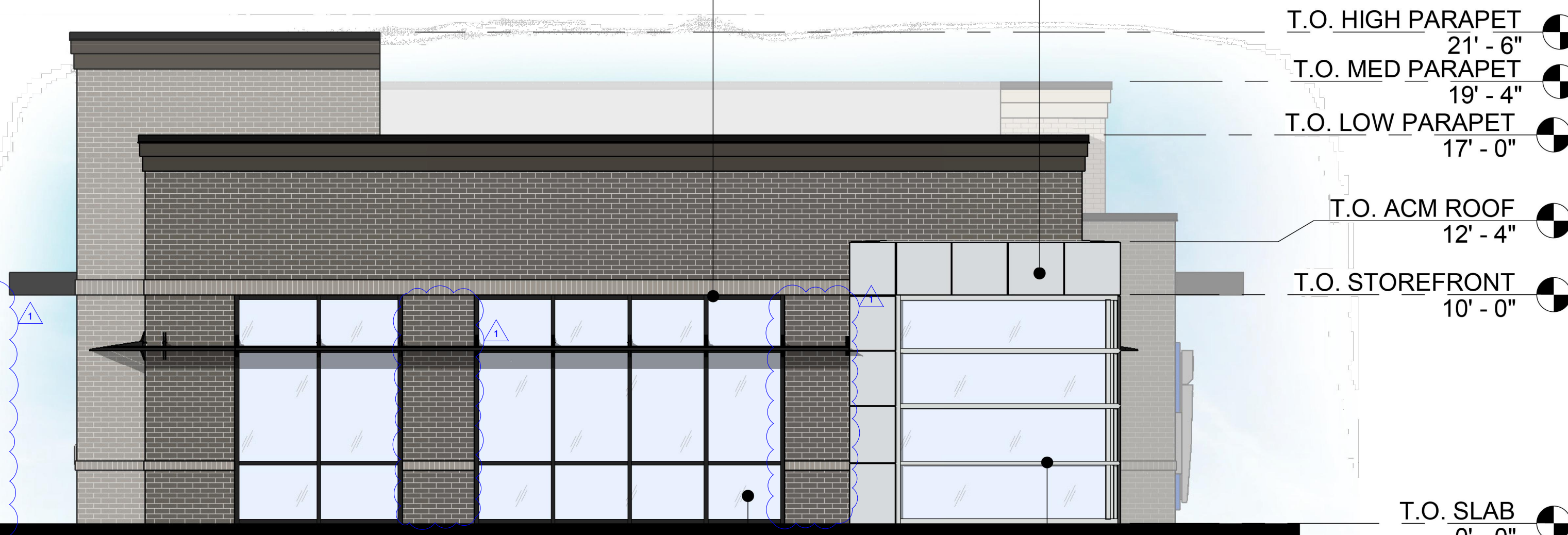
A00.3



SOUTHEAST ELEVATION

BLACK ANODIZED STOREFRONT MULLION
GLASS TYPICAL
PALMETTO WHITESTONE BRICK

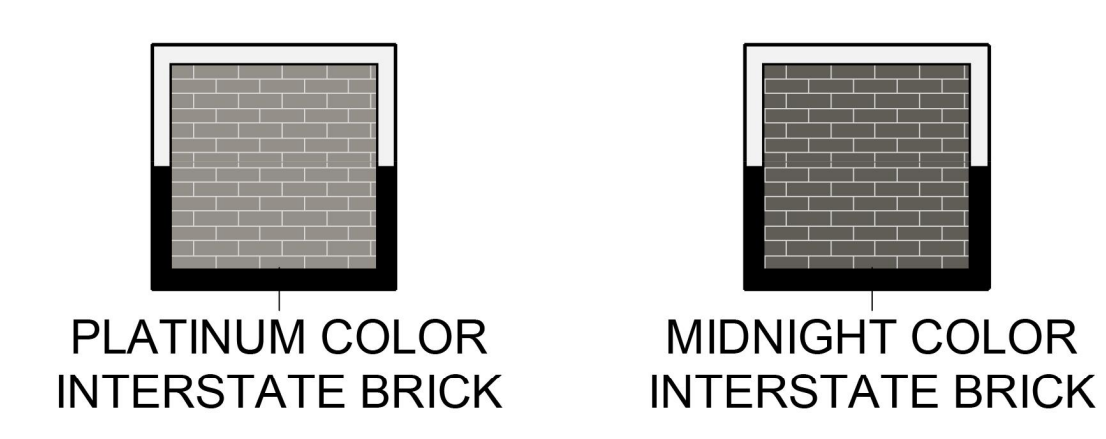
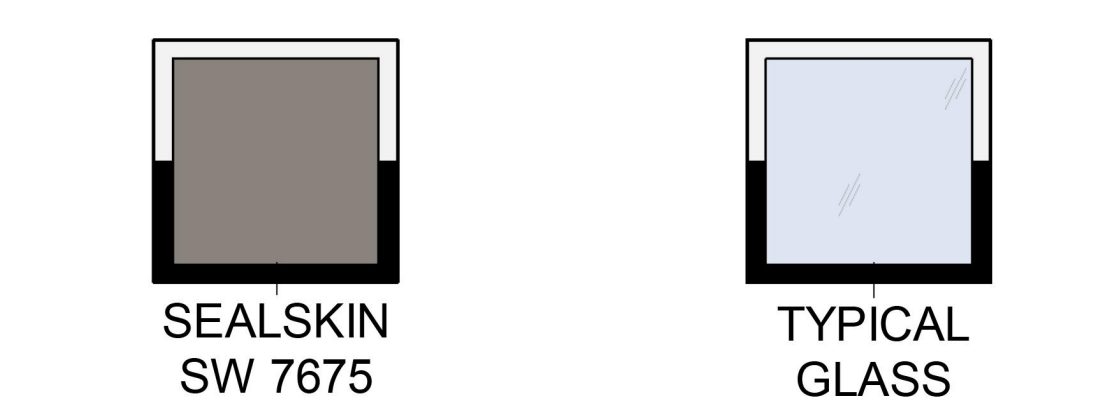
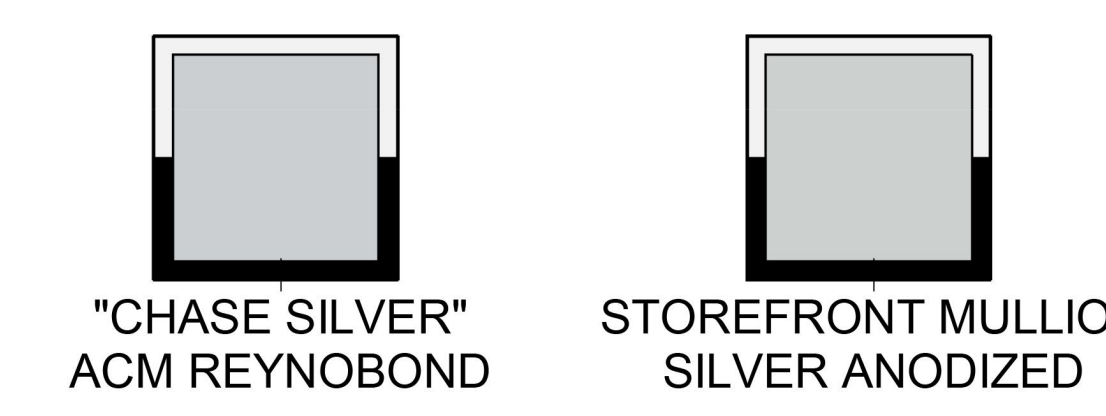
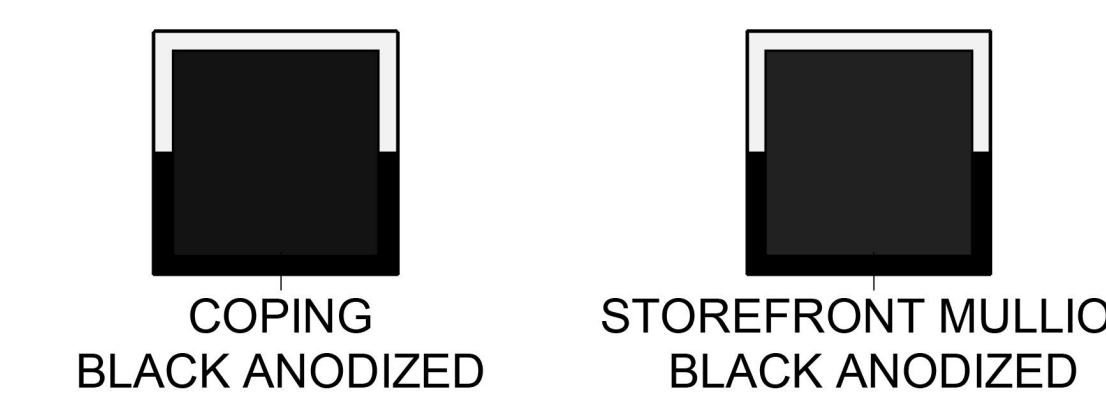
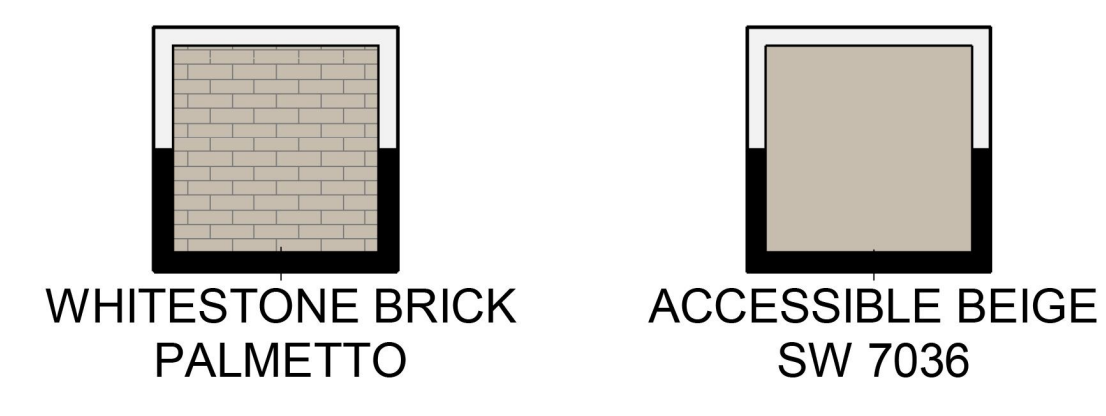
BLACK ANODIZED STOREFRONT MULLION
ACM REYNOBOND "CHASE SILVER"



SOUTHWEST ELEVATION

GLASS TYPICAL
SILVER ANODIZED STOREFRONT MULLION

- T.O. HIGH PARAPET 21' - 6"
- T.O. MED PARAPET 19' - 4"
- T.O. LOW PARAPET 17' - 0"
- T.O. ATM DRIVE UP 13' - 6"
- T.O. STOREFRONT 10' - 0"
- T.O. SLAB 0' - 0"
- FIRST STORY HGT. 10' - 0"
- T.O. HIGH PARAPET 21' - 6"
- T.O. MED PARAPET 19' - 4"
- T.O. LOW PARAPET 17' - 0"
- T.O. ACM ROOF 12' - 4"
- T.O. STOREFRONT 10' - 0"
- T.O. SLAB 0' - 0"



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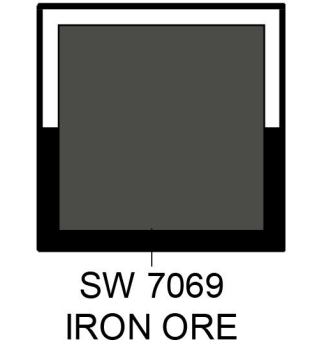
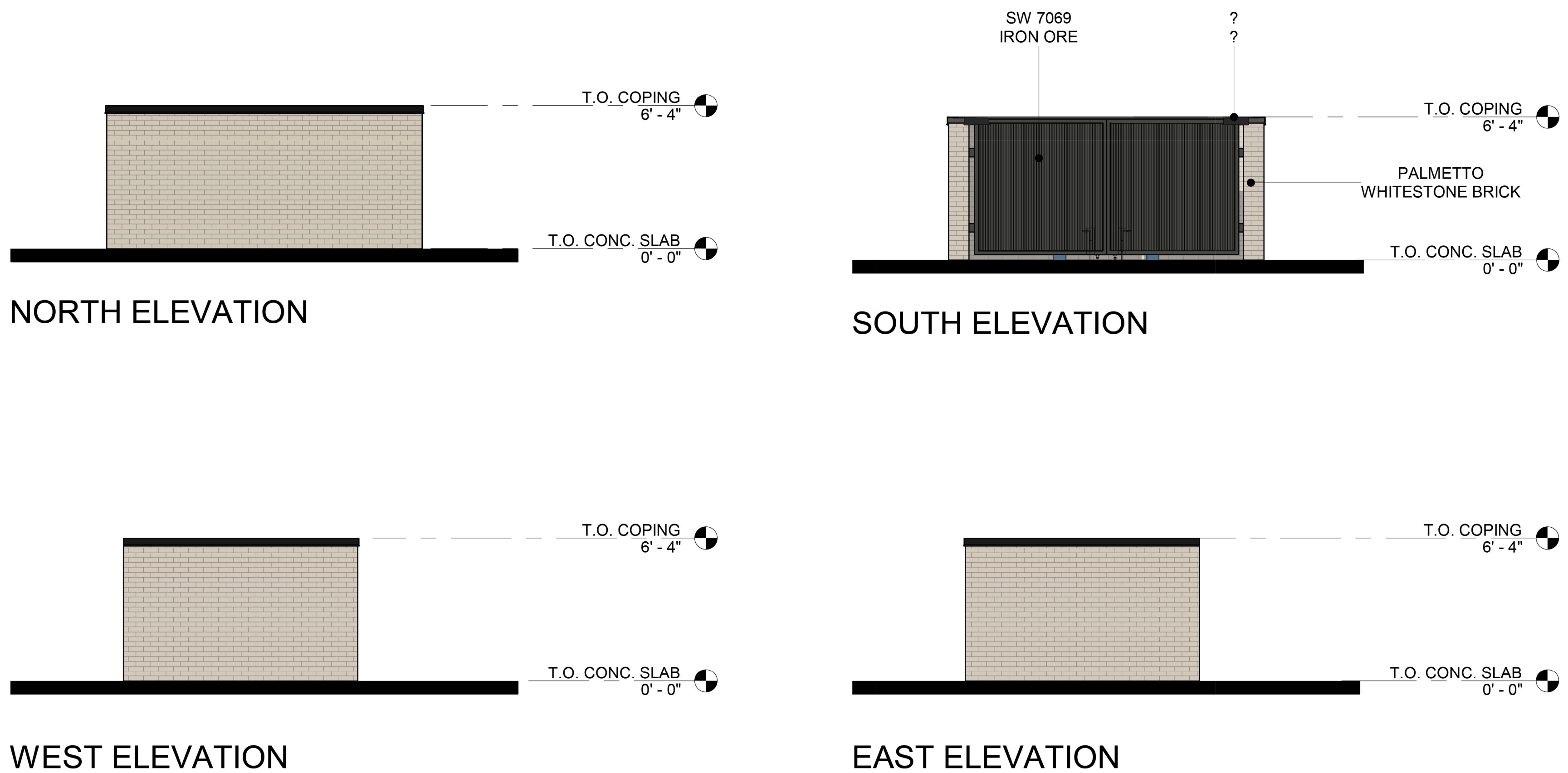
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SHEET TITLE
DUMPSTER RENDERINGS

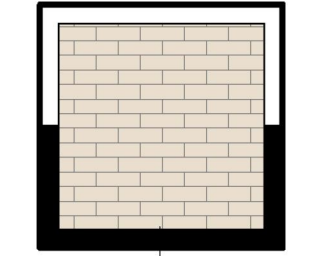
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A00.4



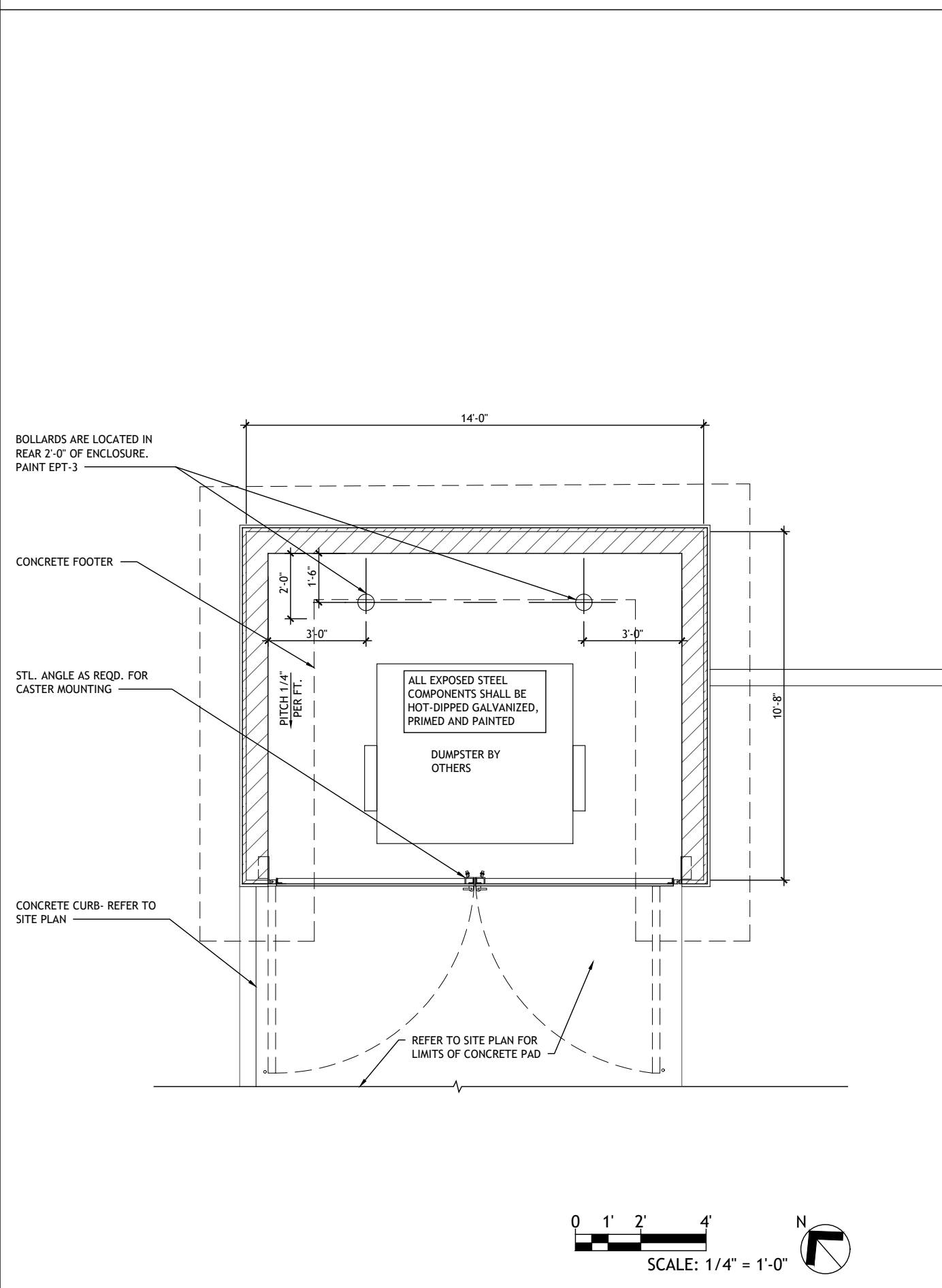
SW 7069
IRON ORE



BLACK ANODIZED
COPING



PALMETTO
WHITESTONE BRICK



DUMPSTER PLAN SCALE 1/4"=1'-0" 2

WALLBROOK

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DUMPSTER RENDERINGS SCALE NTS 1

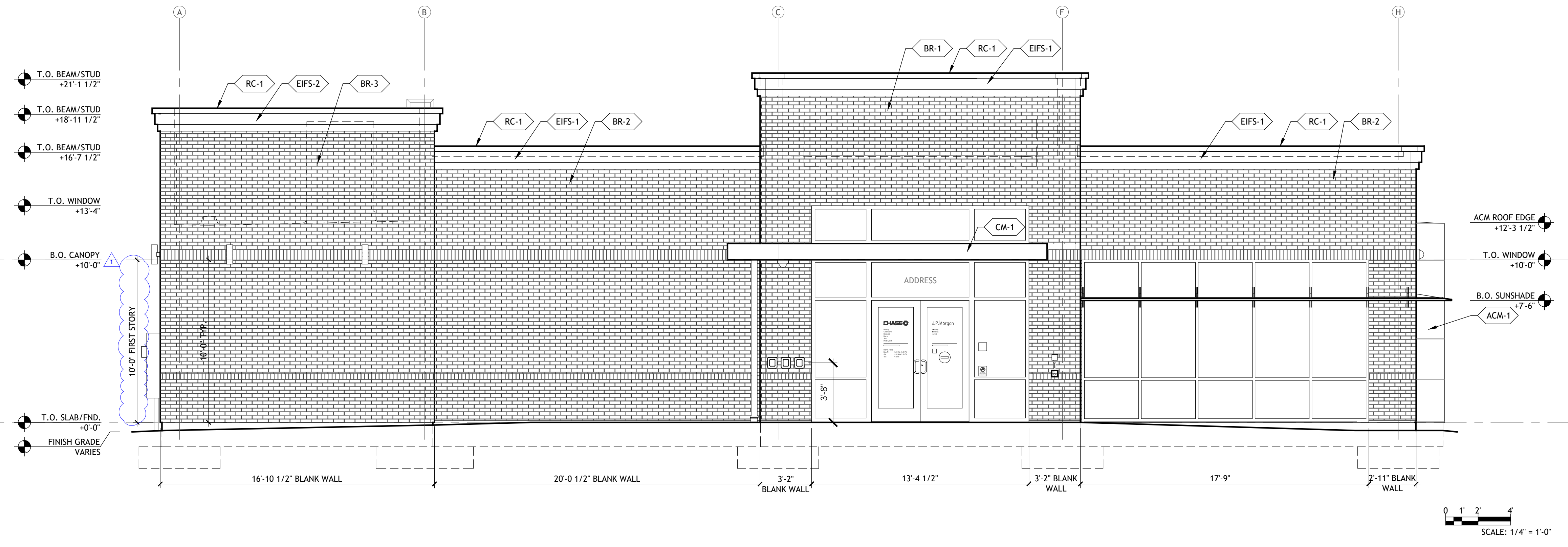
PROPOSED GRADES	EXISTING GRADES
SOUTH ELEVATION: 388.00' FFE	SOUTH ELEVATION: 388.00' FFE
NORTH ELEVATION: 388.00' FFE	NORTH ELEVATION: 388.00' FFE
EAST ELEVATION: 388.00' FFE	EAST ELEVATION: 388.00' FFE
WEST ELEVATION: 388.00' FFE	WEST ELEVATION: 388.00' FFE
AVERAGE GRADE: -388.00' FFE	AVERAGE EXISTING PREDEVELOPMENT GRADE: 388.00' FFE
MAX BUILDING HEIGHT	
BUILDING HEIGHT: 21'-6" AFF (409.50' FFE)	
BUILDING HEIGHTS	
TALLEST PARAPET HEIGHT: +21'-6" (409.50' FFE)	
MAIN PARAPET HEIGHT: +17'-0" (405.00' FFE)	

TRANSPARENCY TABLE PER LDO 6.8.2.D.2			
FLOOR LEVEL	SF OF WALL	TRANSPARENCY REQD	TRANSPARENCY PROVIDED
FIRST STORY-NORTHWEST	824 SF*	247 SF TRANSPARENCY (30% MIN.)	311 SF TRANSPARENCY (38%)
FIRST STORY-SOUTHEAST	844 SF*	253 SF TRANSPARENCY (30% MIN.)	297 SF TRANSPARENCY (35%)
FIRST STORY-SOUTHWEST	428 SF*	128 SF TRANSPARENCY (30% MIN.)	297 SF TRANSPARENCY (69%)
FIRST STORY-NORTHEAST	N/A**	N/A**	N/A**

* SF MEASURED FROM FINISH FLOOR HEIGHT TO FIRST STORY CEILING HEIGHT (10')

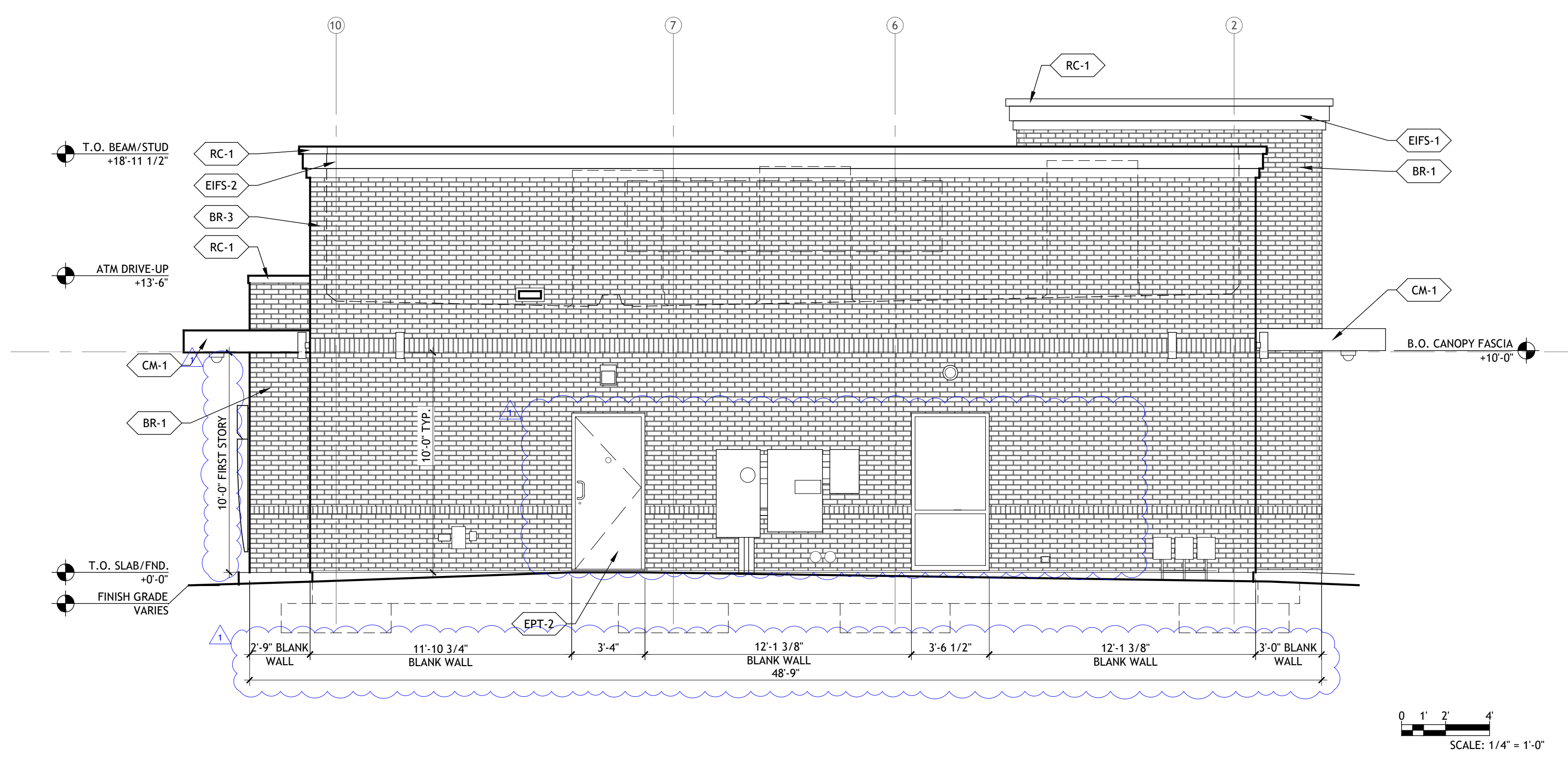
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SIDE BUILDING ELEVATION - NORTHWEST

SCALE: 1/4" = 1'-0"



REAR BUILDING ELEVATION - NORTHEAST

SCALE: 1/4" = 1'-0"

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Architect of Record:
Christopher Gary Kirschner, AIA, LEED AP
NC License No. 10173

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▲ KF	07-01-2024	PLAN REVIEW COM

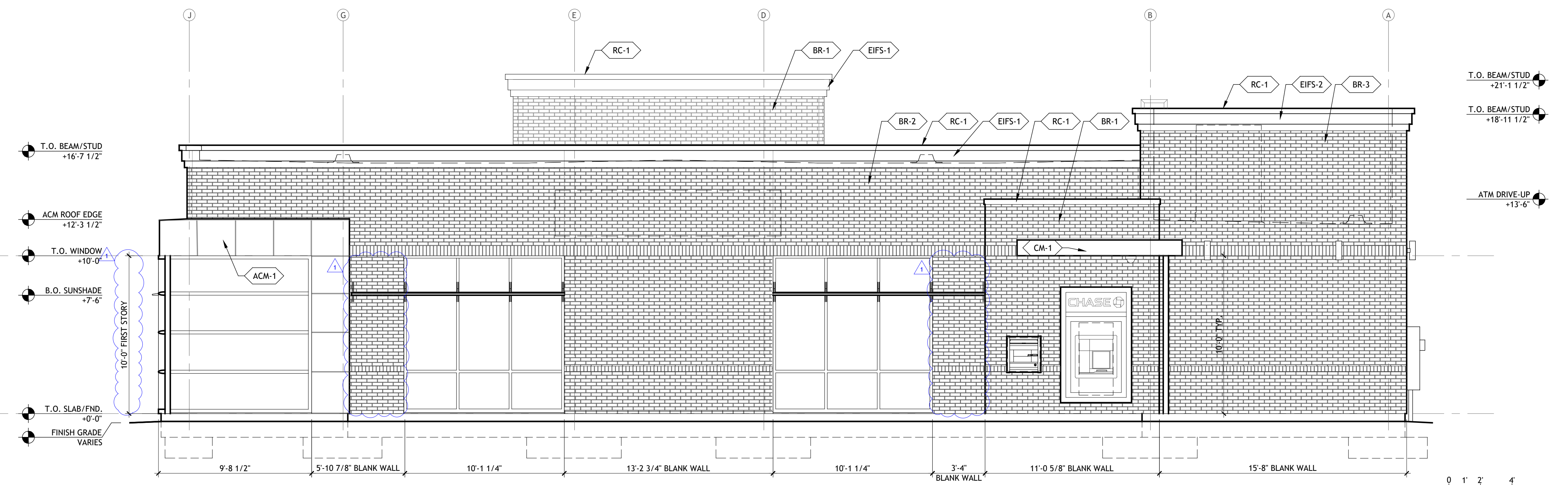
PROJECT INFORMATION BLOCK	
JOB #:	234053
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SHEET TITLE
EXTERIOR ELEVATIONS

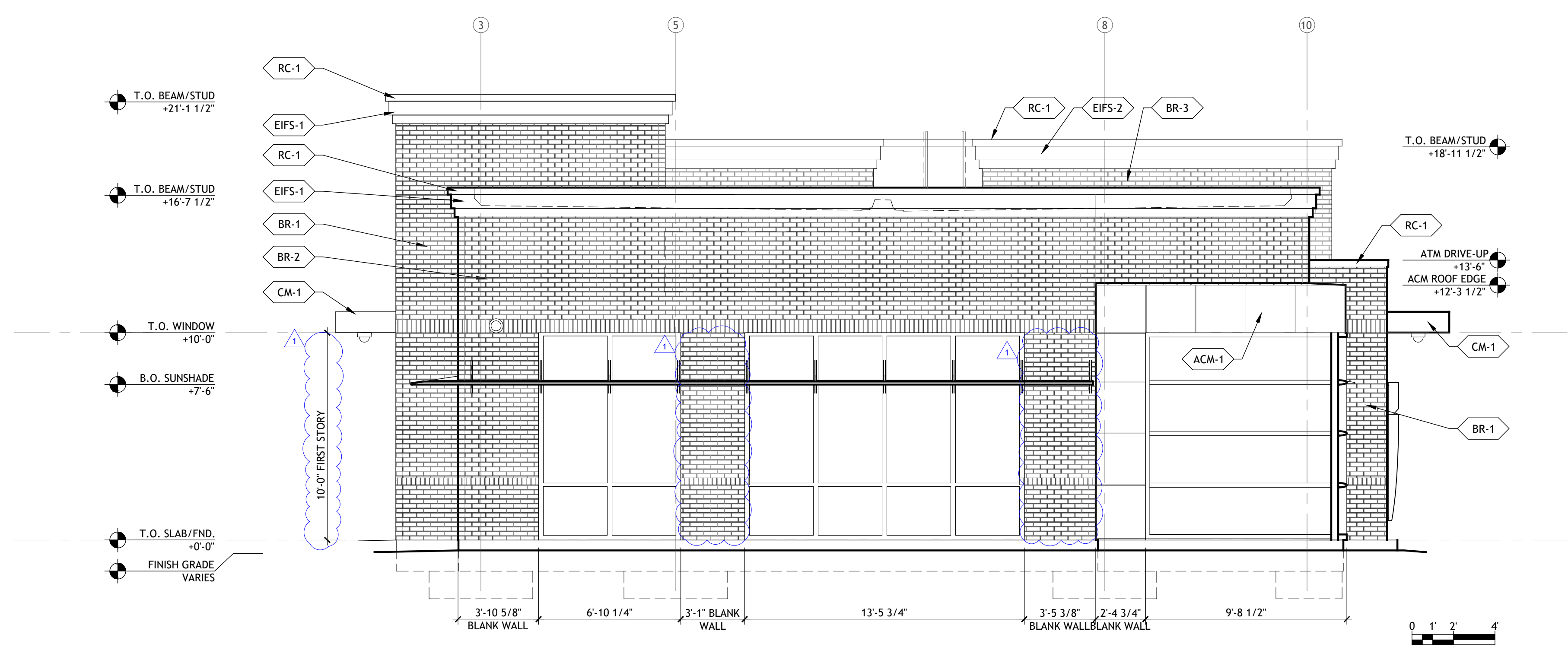
SHEET NUMBER

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EXTERIOR FINISH MATERIALS	
THIS SCHEDULE IS COMPREHENSIVE. NOT ALL LISTED ITEMS ARE USED IN THIS PROJECT	
BR-1	SIMULATED MASONRY MANUFACTURER INTERSTATE BRICK PRODUCT BRICK VENEER COLOR PLATINUM SIZE MODULAR, THIN BRICK NOTES RUNNING BOND MORTAR COLOR TO BE COOSA BUFF MORTAR
BR-2	SIMULATED MASONRY MANUFACTURER INTERSTATE BRICK PRODUCT BRICK VENEER COLOR MIDNIGHT SIZE MODULAR, THIN BRICK NOTES RUNNING BOND MORTAR COLOR TO BE COOSA BUFF MORTAR
BR-3	SIMULATED MASONRY MANUFACTURER PALMETTO PRODUCT BRICK VENEER COLOR WHITESTONE BRICK SIZE MODULAR, THIN BRICK NOTES RUNNING BOND MORTAR COLOR TO BE COOSA BUFF MORTAR
RC-1	ROOF COPING MANUFACTURER PETERSEN ALUMINUM / PAC-CLAD PRODUCT PAC-CONTINUOUS COLOR MATTE BLACK STEEL / BLACK ALUMINUM
ACM-1	ALUMINUM COMPOSITE MATERIAL MANUFACTURER ARCONIC ARCHITECTURAL PRODUCTS PRODUCT REYNOBOND COLOR DURAGLOSS 5000 PROGRAM "CHASE SILVER"
EPT-1	EXTERIOR PAINT MANUFACTURER BENJAMIN MOORE PRODUCT BM ULTRA SPEC EXT COLOR PAINT TO MATCH SW 7045 INTELLECTUAL GRAY FINISH SEMI-GLOSS
EPT-2	EXTERIOR PAINT MANUFACTURER BENJAMIN MOORE PRODUCT BM ULTRA SPEC EXT COLOR PAINT TO MATCH SW 7036 ACCESSIBLE BEIGE FINISH SEMI-GLOSS
EPT-3	EXTERIOR PAINT MANUFACTURER BENJAMIN MOORE PRODUCT BM ULTRA SPEC EXT COLOR PAINT TO MATCH SW 7069 IRON ORE FINISH SEMI-GLOSS
EPT-8	EXTERIOR PAINT MANUFACTURER BENJAMIN MOORE PRODUCT BM ULTRA SPEC EXT COLOR PAINT TO MATCH SW 6995 SUPERWHITE FINISH SEMI-GLOSS
EPT-9	EXTERIOR PAINT - OPTIONAL MATCH TO NICHHA BARK MANUFACTURER BENJAMIN MOORE PRODUCT BM ULTRA SPEC EXT COLOR PAINT TO MATCH SW 7675 SEALSKIN FINISH SEMI-GLOSS
EPT-10	EXTERIOR PAINT - OPTIONAL MATCH TO NICHHA ASH MANUFACTURER BENJAMIN MOORE PRODUCT BM ULTRA SPEC EXT COLOR PAINT TO MATCH SW 7018 DOVETAIL FINISH SEMI-GLOSS
CM-1	PRE-MANUFACTURED CANOPY MANUFACTURER MAPES PRODUCT ALUMINUM CANOPY SYSTEM COLOR TO MATCH CHASE PROGRAM BLACK
EIFS-1	EIFS ACCENT BANDS / PARAPETS MANUFACTURER STO CORP. (OR APPROVED EQUAL) PRODUCT STOTHERM PREMIER NEXT COLOR TO MATCH INTERSTATE BRICK MIDNIGHT FINISH STOSILCO LIT 1.0 (FINE)
EIFS-2	EIFS ACCENT BANDS / PARAPETS MANUFACTURER STO CORP. (OR APPROVED EQUAL) PRODUCT STOTHERM PREMIER NEXT COLOR TO MATCH SHERWIN-WILLIAMS #SW 7036 (ACCESSIBLE BEIGE) FINISH STOSILCO LIT 1.0 (FINE)



SIDE BUILDING ELEVATION - SOUTHEAST SCALE 1/4" = 1'-0" 2



FRONT BUILDING ELEVATION - SOUTHWEST SCALE 1/4" = 1'-0" 1

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Firm Name:
BDG Architects, LLP
400 North Ashley Drive, Suite 600
Tampa, Florida 33602
Partners:
Christopher Kirschner - 60%
FL License No. AR0014752
North Carolina License No. 10173
Intero Management - 40%
No Architectural License

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