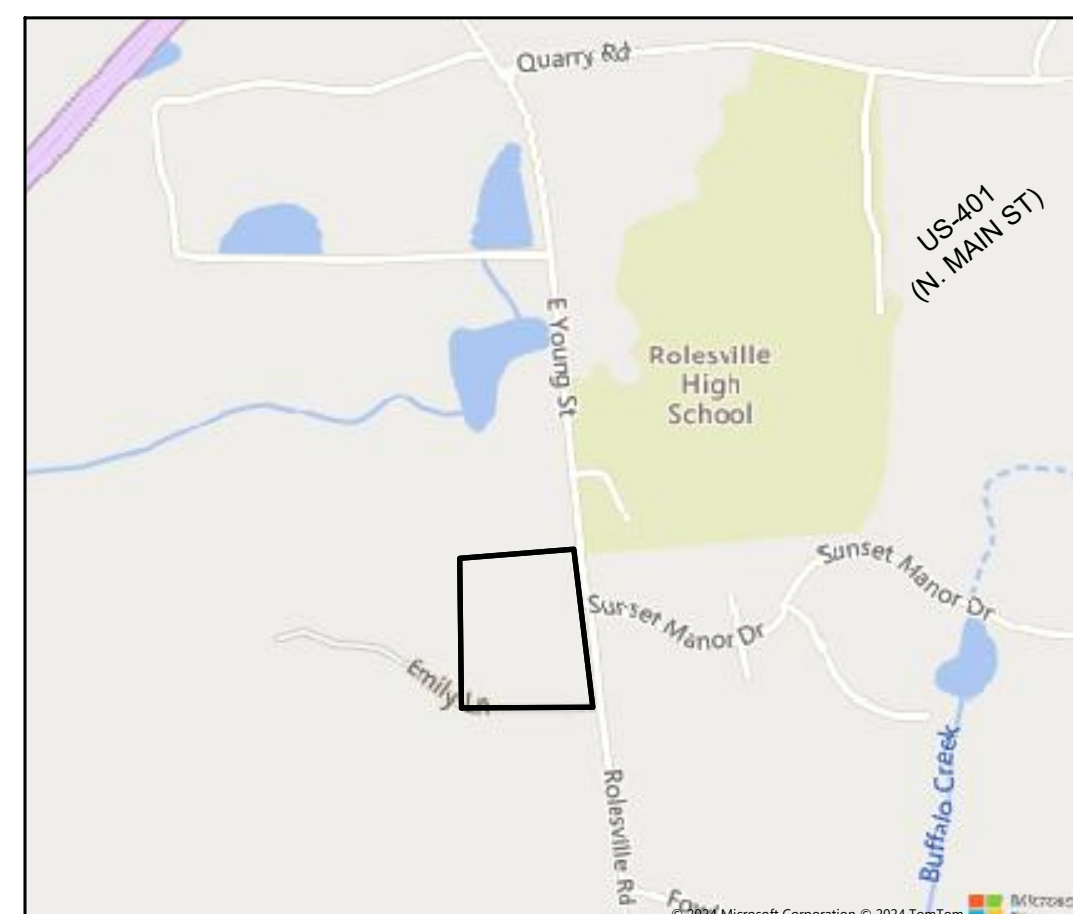


PRELIMINARY SUBDIVISION PLAT FOR

ROLESVILLE RD MIXED USE PSP-25-01

1216 ROLESVILLE ROAD
ROLESVILLE, NORTH CAROLINA
PIN: 1768-33-7689



VICINITY MAP
1" = 1000'

SITE DATA TABLE

DEVELOPMENT NAME: ROLESVILLE ROAD MIXED USE
SITE ADDRESS: 1216 ROLESVILLE RD
PIN NUMBER(S): 1768-33-7689
TOTAL AREA: 11.78 AC
LESS ROLESVILLE RD R/W DEDICATION AREA: 0.24 AC
NET AREA: 11.54 AC
EXISTING USE: VACANT
PROPOSED USE: MIXED USE
JURISDICTION: TOWN OF ROLESVILLE
CURRENT ZONING DISTRICT: NEIGHBORHOOD CENTER CONDITIONAL ZONING, NC CZ (MA 22-05)
USE BREAKDOWN:
NON-RESIDENTIAL: 1.74 AC (15.1%)
RESIDENTIAL: 9.80 AC (84.9%)
PROPOSED SINGLE FAMILY, ATTACHED LOTS: 68
NC MAX. DENSITY: 8 UNITS/AC
PROPOSED DENSITY: 6.9 UNITS/AC
NC MAX. BLDG. HEIGHT: 35' (TWO STORIES)
NC BUILDING SETBACKS (MIN/MAX):
FRONT: 15'/100'
SIDE: 10'/50' (MIN. 30' BETWEEN STRUCTURES)
REAR: 10'/50'
BICYCLE PARKING REQUIREMENTS:
DWELLING MULTIPLE FAMILY PARKING:
 1.0 SPACES PER EVERY 5 UNITS (MAXIMUM OF 30 SPACES)
BICYCLE PARKING REQUIRED:
 1 SPACES * 68 UNITS = 13.6 SPACES (ROUND TO 14 SPACES)
BICYCLE PARKING PROVIDED:
 14 SPACES
VEHICULAR PARKING REQUIREMENTS:
DWELLING MULTIPLE FAMILY PARKING:
 2.0 SPACES PER UNIT PLUS 0.25 GUEST SPACE PER UNIT
PARKING REQUIRED:
 2.0 SPACES * 68 UNITS + 0.25 SPACES * 68 UNITS = 153 SPACES
PARKING PROVIDED:
 2 SPACES PER DRIVEWAY + 17 GUEST = 153 SPACES
MAIL KIOSK PARKING PROVIDED:
 2 SPACES FOR MAIL KIOSK (1 IS ADA ACCESSIBLE)
TOTAL PARKING PROVIDED:
 153 SPACES + 2 MAIL KIOSK SPACES = 155 SPACES (1 IS ADA ACCESSIBLE)
REQUIRED OPEN SPACE: 1.73 AC (15%)
PROPOSED OPEN SPACE: 3.31 AC (28.7%); (1) LINEAR PARK/GREENWAY AND (1) GREEN

MA-22-05 1216 Rolesville Road Conditions of Approval Revised November 14, 2023	
<p>1. To the extent compliant with the further requirements of the LDO and TRC, the subject property shall be developed in accordance with that certain plan titled "Sketch Plan" most recently dated 02/27/2023 and prepared by FLM Engineering, Inc. Notwithstanding the foregoing:</p> <ol style="list-style-type: none"> The illustrated location of the Two-Story Non-Residential Building shall not be binding but shall instead be determined as part of the Preliminary Subdivision Plat and/or Site Development Plan submittal, review, and approval process. The minimum heated square footage for the proposed Two-Story Non-Residential Building shall be 20,000 square feet. In addition to the illustrated northern and southern connectivity, at the time of the Preliminary Subdivision Plat submittal, review, and approval process, a public right-of-way street shall be constructed to the western property line adjoining PIN 1769-23-6815. The right-of-way width and construction details of this public street shall be warranted by a Traffic Impact Analysis, the Community Transportation Plan, and Land Development Ordinance based on the expected traffic volumes of this public street. <p>2. The Single-Family Attached dwelling Units (townhomes) shall adhere to the following architectural conditions:</p> <ol style="list-style-type: none"> All elevations of the dwelling units visible to public rights-of-way shall have trim around the windows. Front elevations of dwelling units visible from public rights-of-way, shall contain at least three of the following: <ul style="list-style-type: none"> Bay Window Recessed Window Decorative Window Decorative Shake Porch or Stoop Eaves, front, and rear shall project at least 12 inches from the wall of the structure. Side eaves shall be a minimum of 4-inches. Eaves will be allowed to encroach setbacks as allowed in the LDO. A varied color palette shall be utilized on residential dwelling unit buildings throughout the development. Each building to include a minimum of three-color families for siding and shall include varied trim, shutter, and accent colors complementing the siding color. Poured concrete foundations, monolithic slabs, concrete block foundations, or smooth-faced concrete masonry units foundations shall be covered by decks, stoops, or be clad in face brick, stone, or some other masonry material imitating these materials visible from the public right-of-way. Roof lines to match architectural building style. Building rooflines cannot be a single mass; it must be broken up horizontally and vertically. The maximum number of 	<p>continuous dwelling units within a building without a roof-line break is two. The main roofline will provide a minimum 6:12 pitch and a maximum of 12:12. g. Front stoops or porches, if provided, shall be a minimum of 4' in depth.</p> <p>3. The developer shall construct offsite road improvements as recommended by NCDOT in their 1216 Rolesville Road Traffic Impact Analysis Review Report dated March 21, 2023.</p> <p>4. No fewer than one (1) townhome dwelling unit(s) shall be designated on the preliminary subdivision plat and conveyed without consideration to a charitable non-profit organization that provides homes to veterans, public school teachers, and/or persons with specialized training as first responders (e.g. law enforcement officers, firefighters, paramedics, and emergency medical technicians). A townhome dwelling unit conveyed as provided by this paragraph shall entitle the subdivision to a credit equal to the following Town fees: Recreation Development Fee, Transportation Development Fee, and Residential Permit processing fees. Wake County and/or City of Raleigh Utility fees shall not be waived, reimbursed, credited, etc. by the Town of Rolesville.</p>

SHEET	TITLE
C-1	COVER
C-2	EXISTING CONDITIONS PLAN
C-3	SITE PLAN
C-4	UTILITY PLAN
C-5	GRADING AND DRAINAGE PLAN
C-6	PRESERVATION PLAN
C-7	DETAILS

NOTES
 1. COR PUBLIC UTILITIES CONDITION OF APPROVAL:
 A WATER MODEL IN COMPLIANCE WITH THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT HANDBOOK SHALL BE SUBMITTED BY THE PROJECT ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION DRAWING APPROVAL.

OWNER/DEVELOPER:
 OPTIMAL DEVELOPMENT LLC
 CONTACT: ROBERT SHAAAR
 924 EVENING SNOW ST
 WAKE FOREST, NC 27587
 610.295.3699
 SHAAAR@MYOPTIMALEQUITY.COM

ENGINEER OF RECORD:
 FLM ENGINEERING, INC
 CONTACT: JON FRAZIER, PE
 PO BOX 91727
 RALEIGH, NC 27675
 919.610.1051
 JFRAZIER@FLMENGINEERING.COM

SPACE RESERVED FOR
TOWN OF ROLESVILLE
SIGNATURE BLOCK

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL TOWN OF ROLESVILLE, CITY OF RALEIGH AND WAKE COUNTY STANDARDS AND SPECIFICATIONS

REVISION HISTORY

REV #	DESCRIPTION	DATE	BY
1	ROLESVILLE COMMENTS	2/28/2025	FLM

ORIGINAL PLAN SIZE: 24" X 36"

PRELIMINARY PLANS
DO NOT USE FOR CONSTRUCTION

SCALE ADJUSTMENT
 THIS BAR IS 1 INCH IN LENGTH ON ORIGINAL DRAWING
 0 1"
 IF IT IS NOT 1 INCH ON THIS SHEET, ADJUST YOUR SCALE ACCORDINGLY

PRELIMINARY SUBDIVISION PLAT
PSP-25-01

ROLESVILLE RD MIXED USE
1216 ROLESVILLE RD
ROLESVILLE, NC 27571

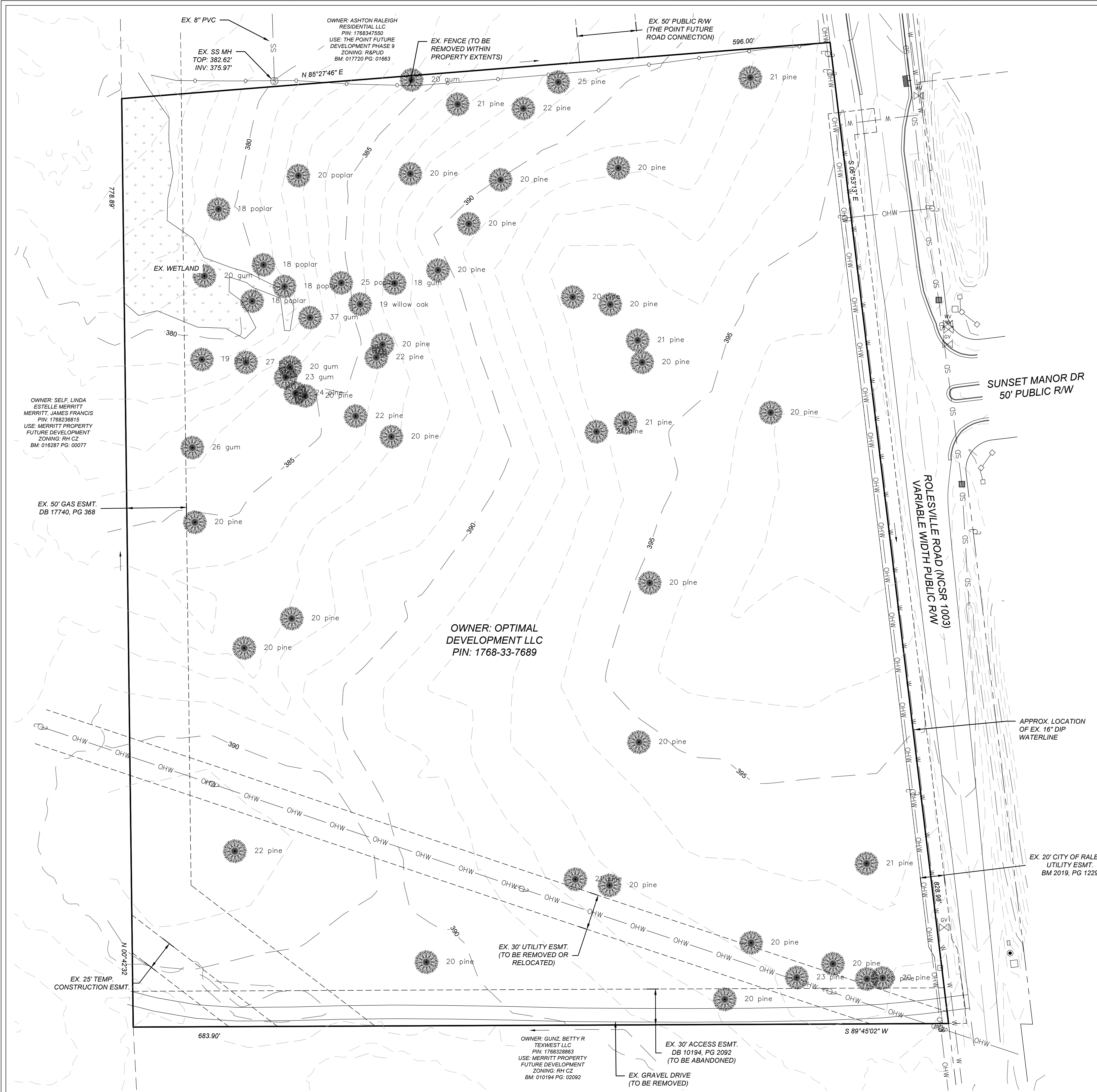
OPTIMAL DEVELOPMENT LLC

DATE:	12-12-2024
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	FLM
PROJECT NO.:	21029

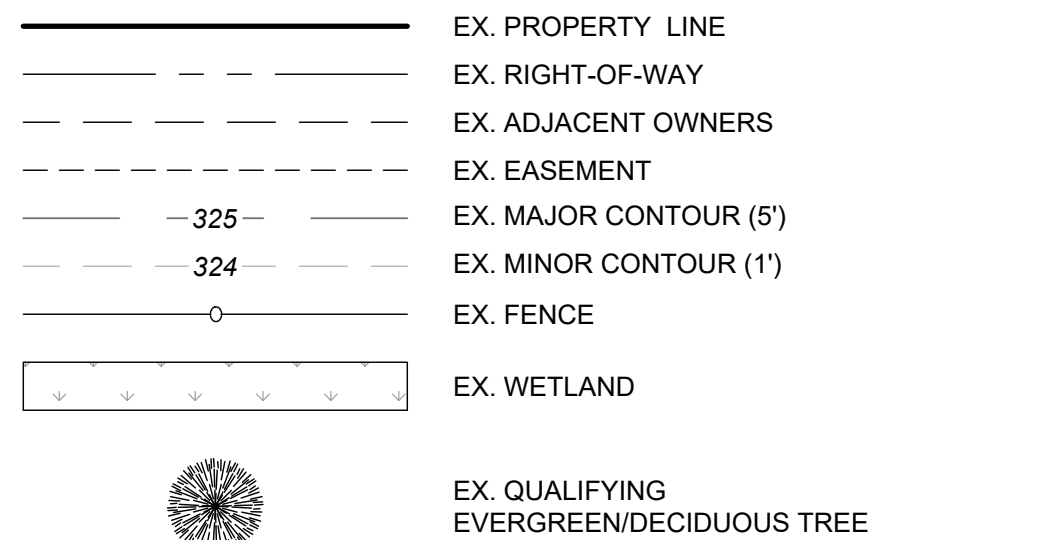
COVER
C-1
SHEET 1 OF 7

CALL 48 HOURS BEFORE
YOU DIG

 NORTH CAROLINA
ONE-CALL CENTER
1-800-632-4949



LEGEND



NOTES

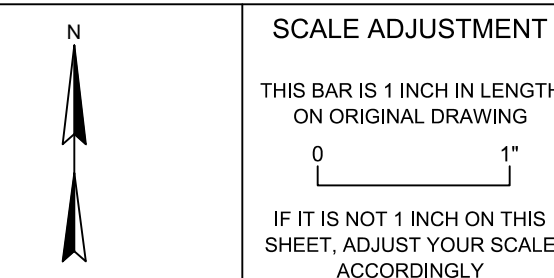
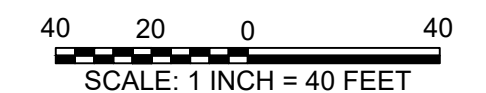
- SURVEY, BOUNDARY AND EXISTING UTILITY DATA PROVIDED BY CAWTHORNE, MOSS & PANCIERA, P.C. ON NOVEMBER 5, 2024.
- WETLAND AND STREAM DELINEATION PROVIDED BY PILOT ENVIRONMENTAL ON APRIL 28, 2021.
- TREE SURVEY PROVIDED BY S&EC ON OCTOBER 29, 2024.
- THE UTILITIES SHOWN ARE NOT GUARANTEED TO BE A REPRESENTATION OF ALL UTILITIES WITHIN THE PROJECT EXTENT.
- THE CONTRACTOR SHALL CALL THE NORTH CAROLINA ONE-CALL-CENTER AT LEAST 48 HOURS PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL VERIFY DEPTHS AND LOCATIONS OF ALL UTILITIES PRIOR TO BEGINNING WORK AND SHALL USE CARE WHEN OPERATING AROUND EXISTING UTILITIES.
- THE CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE FOR THE REPAIR OF ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.

REVISION HISTORY

REV #	DESCRIPTION	DATE	BY
1	ROLESVILLE COMMENTS	2/28/2025	FLM

ORIGINAL PLAN SIZE: 24" X 36"

PRELIMINARY PLANS
 DO NOT USE FOR CONSTRUCTION



PRELIMINARY SUBDIVISION PLAT
 PSP-25-01

ROLESVILLE RD MIXED USE
 1216 ROLESVILLE RD
 ROLESVILLE, NC 27571

OPTIMAL DEVELOPMENT LLC

DATE:	12-12-2024
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	FLM
PROJECT NO.:	21029

EXISTING CONDITIONS PLAN

© 2025 THIS DRAWING SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION OF FLM ENGINEERING, INC.

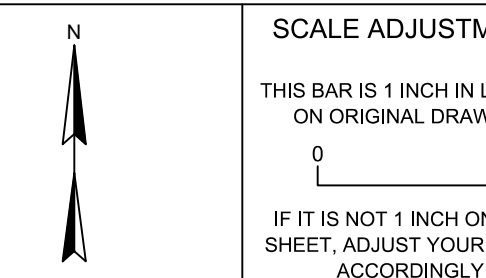
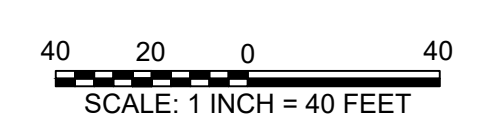
REVISION HISTORY

REV #	DESCRIPTION	DATE	BY
1	ROLESVILLE COMMENTS	2/28/2025	FLM

ORIGINAL PLAN SIZE: 24" X 36"

PRELIMINARY PLANS

DO NOT USE FOR CONSTRUCTION



PRELIMINARY SUBDIVISION PLAT PSP-25-01

ROLESVILLE RD MIXED USE
1216 ROLESVILLE RD
ROLESVILLE, NC 27571

OPTIMAL DEVELOPMENT LLC

DATE:	12-12-2024
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	FLM
PROJECT NO.:	21029

SITE PLAN

C-3

SHEET 3 OF 7

SITE DATA TABLE

DEVELOPMENT NAME: ROLESVILLE ROAD MIXED USE
SITE ADDRESS: 1216 ROLESVILLE RD
PIN NUMBER(S): 1768-33-7689

TOTAL AREA: 11.78 AC
LESS ROLESVILLE RD R/W DEDICATION AREA: 0.24 AC
NET AREA: 11.54 AC

EXISTING USE: VACANT
PROPOSED USE: MIXED USE

JURISDICTION: TOWN OF ROLESVILLE
CURRENT ZONING DISTRICT: NEIGHBORHOOD CENTER CONDITIONAL ZONING, NC CZ (MA 22-05)

USE BREAKDOWN:
NON-RESIDENTIAL: 1.74 AC (15.1%)
RESIDENTIAL: 9.80 AC (84.9%)

PROPOSED SINGLE FAMILY, ATTACHED LOTS: 68
NC MAX. DENSITY: 8 UNITS/AC
PROPOSED DENSITY: 6.9 UNITS/AC

NC MAX. BLDG. HEIGHT: 35' (TWO STORIES)

NC BUILDING SETBACKS (MIN/MAX):
FRONT: 15'/100'
SIDE: 10'/50' (MIN. 30' BETWEEN STRUCTURES)
REAR: 10'/50'

BICYCLE PARKING REQUIREMENTS:
DWELLING MULTIPLE FAMILY PARKING:
 1.0 SPACES PER EVERY 5 UNITS (MAXIMUM OF 30 SPACES)
BICYCLE PARKING REQUIRED:
 1 SPACES * 68 UNITS = 13.6 SPACES (ROUND TO 14 SPACES)
BICYCLE PARKING PROVIDED:
 14 SPACES

VEHICULAR PARKING REQUIREMENTS:
DWELLING MULTIPLE FAMILY PARKING:
 2.0 SPACES PER UNIT PLUS 0.25 GUEST SPACE PER UNIT
PARKING REQUIRED:
 2.0 SPACES * 68 UNITS + 0.25 SPACES * 68 UNITS = 153 SPACES
PARKING PROVIDED:
 2 SPACES PER DRIVEWAY + 17 GUEST = 153 SPACES
MAIL KIOSK PARKING PROVIDED:
 2 SPACES FOR MAIL KIOSK (1 IS ADA ACCESSIBLE)
TOTAL PARKING PROVIDED:
 153 SPACES + 2 MAIL KIOSK SPACES = 155 SPACES (1 IS ADA ACCESSIBLE)

REQUIRED OPEN SPACE: 1.73 AC (15%)
PROPOSED OPEN SPACE: 2.89 AC (25%); (1) LINEAR PARK/GREENWAY AND (2) GREEN

REQUIRED ACTIVE OPEN SPACE: 0.865 AC
PROPOSED ACTIVE OPEN SPACE: 0.87 AC (SEE TABLE BELOW FOR BREAKDOWN)

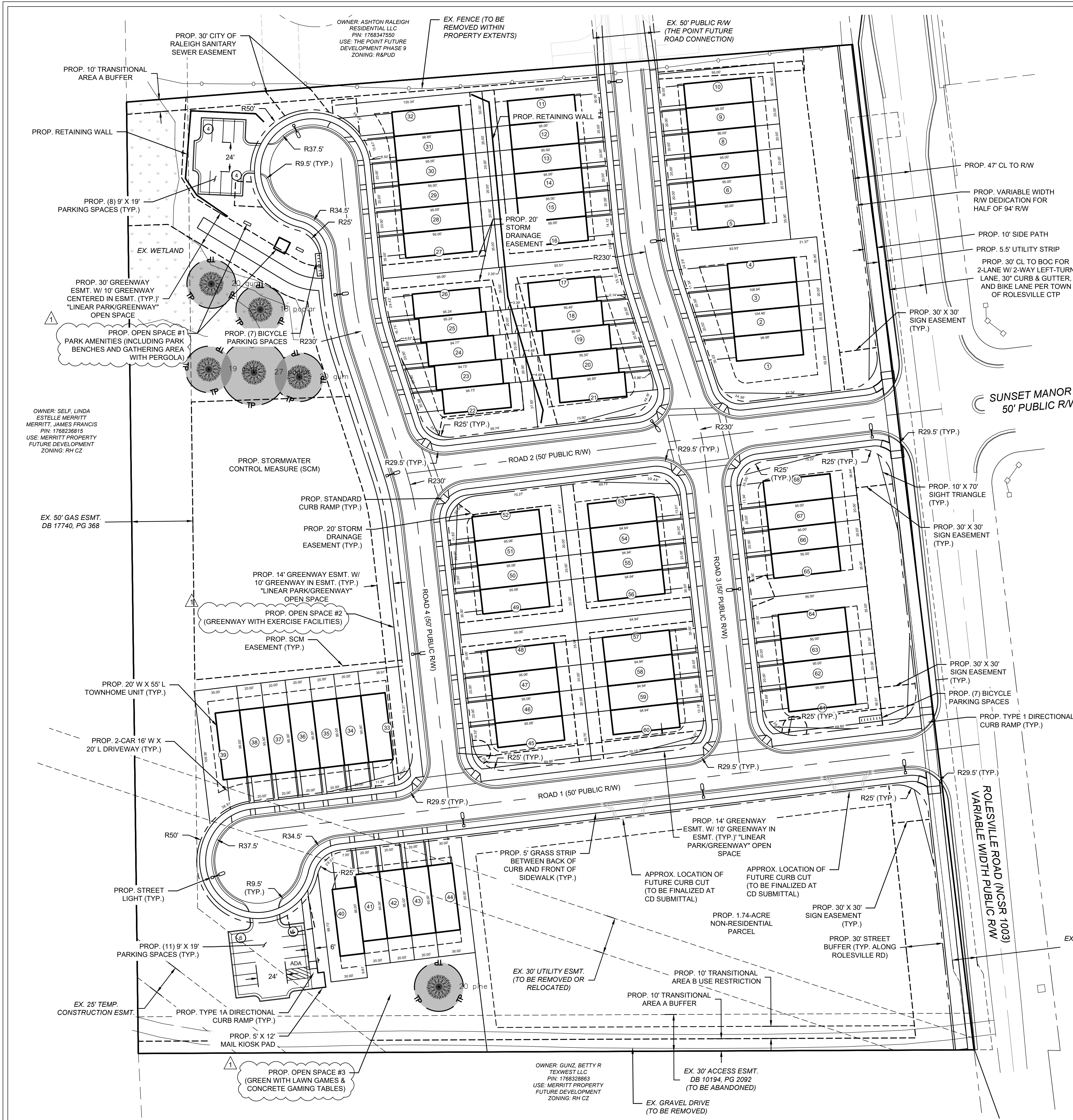
ACTIVE OPEN SPACE SUMMARY			
NAME	TYPE PER LDO SECTION 6.2.1	SIZE CLASSIFICATION PER LDO SECTION 6.2.1	AREA (AC)
ACTIVE OPEN SPACE #1	GREEN	SMALL	0.37
ACTIVE OPEN SPACE #2	GREENWAY WITH EXERCISE FACILITIES	LARGE	0.38
ACTIVE OPEN SPACE #3	GREEN	SMALL	0.12

LEGEND

- EX. PROPERTY LINE
- EX. RIGHT-OF-WAY
- EX. ADJACENT OWNERS
- EX. EASEMENT
- EX. FENCE
- EX. WETLAND
- PROP. RIGHT-OF-WAY
- PROP. LOT LINES
- PROP. SETBACK LINE
- PROP. EASEMENT/BUFFER
- PROP. TREE PROTECTION FENCE
- EX. QUALIFYING EVERGREEN/DECIDUOUS TREE TO REMAIN
- PROP. STREET LIGHT

NOTES

- PROPOSED ADA STALLS AND AISLES SHALL HAVE SLOPES NO STEEPER THAN 1:48 (2%) IN ALL DIRECTIONS.
- PROPOSED ACCESSIBLE ROUTES SHALL HAVE RUNNING SLOPES NO STEEPER THAN 1:20 (5%) AND CROSS SLOPES NO STEEPER THAN 1:48 (2%).
- ACCESSIBLE PARKING SPACES ARE THOSE DENOTED BY "ADA" AND ACCESSIBLE AISLES ARE REPRESENTED BY CROSS HATCHING.
- DIMENSIONS SHOWN ARE TO BACK OF CURB.
- RADII ARE 4.5' (BACK OF CURB) UNLESS OTHERWISE NOTED.



LEGEND

- EX. PROPERTY LINE
- - - EX. RIGHT-OF-WAY
- - - EX. ADJACENT OWNERS
- - - EX. EASEMENT
- - - EX. FENCE
- ▭ EX. WETLAND
- - - PROP. RIGHT-OF-WAY
- - - PROP. LOT LINES
- - - PROP. SETBACK LINE
- - - PROP. EASEMENT/BUFFER
- W — W — PROP. WATER LINE
- SS — SS — PROP. SANITARY SEWER
- — — PROP. STORM SEWER
- ☼ EX. QUALIFYING EVERGREEN/DECIDUOUS TREE
- ⊙ PROP. STREET LIGHT

CITY OF RALEIGH UTILITY NOTES

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49)
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWR, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT /RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR timothy.beasley@raleighnc.gov FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR joanie.hartley@raleighnc.gov FOR MORE INFORMATION

GENERAL UTILITY NOTES

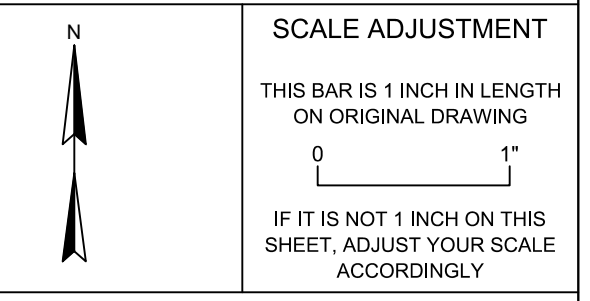
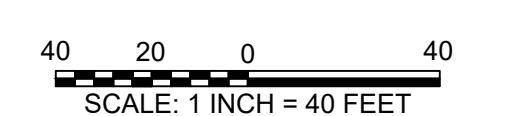
- WATER AND SANITARY SEWER SERVICES TO BE COORDINATED WITH HOUSE PLUMBING PLANS.
- THERE SHALL BE NO INTERCONNECTION BETWEEN CITY SUPPLIED WATER AND WATER FROM OTHER SOURCES INCLUDING WELLS.
- THE UTILITIES SHOWN ARE NOT GUARANTEED TO BE A REPRESENTATION OF ALL UTILITIES WITHIN THE PROJECT EXTENT.
- THE CONTRACTOR SHALL CALL THE NORTH CAROLINA ONE-CALL-CENTER AT LEAST 48 HOURS PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL VERIFY DEPTHS AND LOCATIONS OF ALL UTILITIES PRIOR TO BEGINNING WORK AND SHALL USE CARE WHEN OPERATING AROUND EXISTING UTILITIES.
- THE CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE FOR THE REPAIR OF ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.
- WATER AND SEWER SERVICES SHALL BE CONTAINED WITHIN THE PORTION OF THE PARCEL UNDER TOWN OF ROLESVILLE JURISDICTION. THERE SHALL BE NO INTERCONNECTION WITH THE EXISTING OFF-SITE WELLS.

REVISION HISTORY

REV #	DESCRIPTION	DATE	BY
1	ROLESVILLE COMMENTS	2/28/2025	FLM

ORIGINAL PLAN SIZE: 24" X 36"

PRELIMINARY PLANS
DO NOT USE FOR CONSTRUCTION



PRELIMINARY SUBDIVISION PLAT PSP-25-01

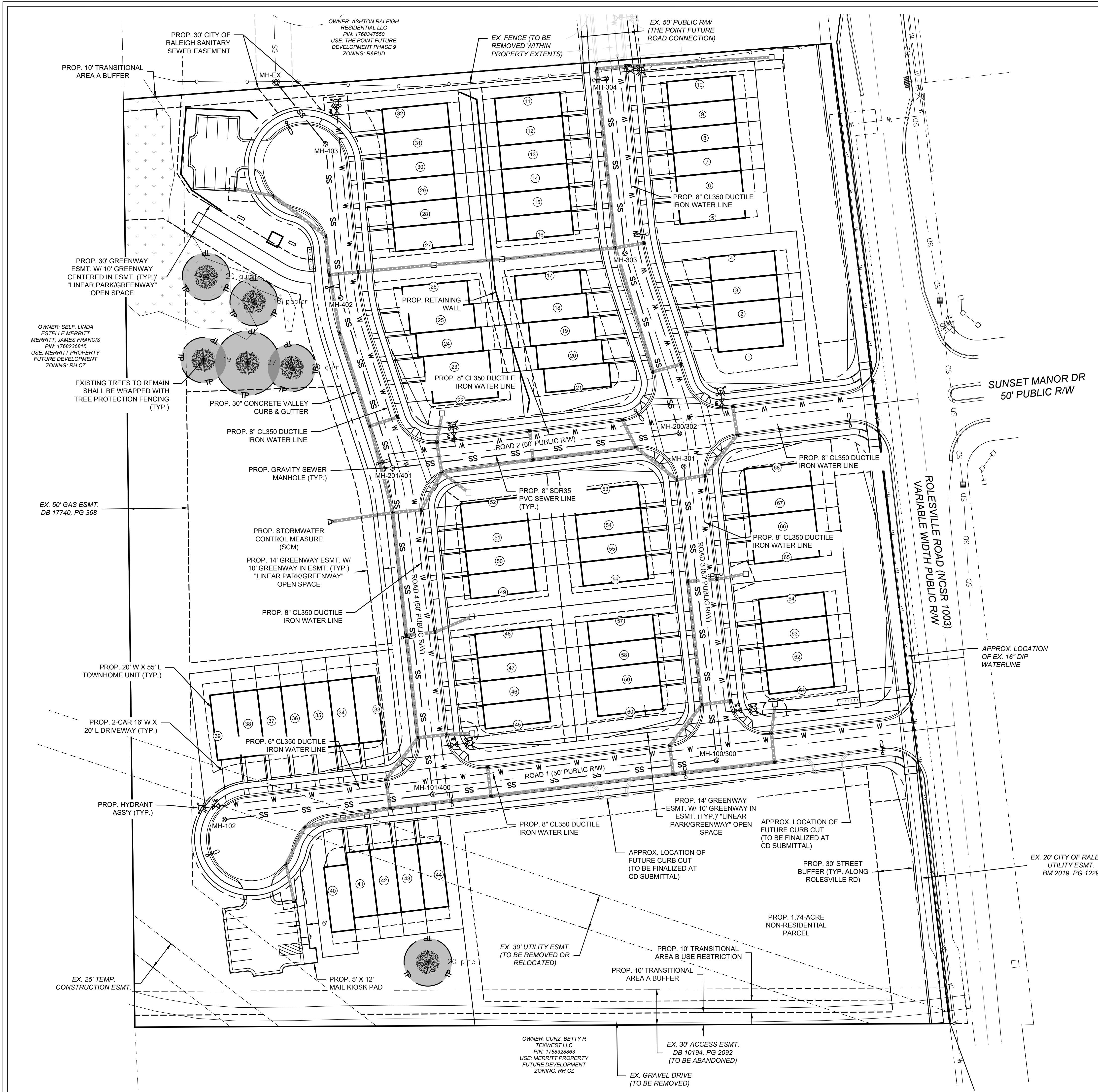
ROLESVILLE RD MIXED USE
1216 ROLESVILLE RD
ROLESVILLE, NC 27571

OPTIMAL DEVELOPMENT LLC

DATE:	12-12-2024
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	FLM
PROJECT NO.:	21029

UTILITY PLAN

C-4
SHEET 4 OF 7



OWNER: SELF, LINDA ESTELLE MERRITT MERRITT, JAMES FRANCIS
PIN: 1768236815
USE: MERRITT PROPERTY FUTURE DEVELOPMENT
ZONING: RH CZ

OWNER: ASHTON RALEIGH RESIDENTIAL LLC
PIN: 1768347550
USE: THE POINT FUTURE DEVELOPMENT PHASE 9
ZONING: R&PUD

OWNER: GUNZ, BETTY R
TEXWEST LLC
PIN: 1768328853
USE: MERRITT PROPERTY FUTURE DEVELOPMENT
ZONING: RH CZ

EX. 30' ACCESS ESMT.
DB 10194, PG 2092
(TO BE ABANDONED)



LEGEND

—	EX. PROPERTY LINE
—	EX. RIGHT-OF-WAY
—	EX. ADJACENT OWNERS
—	EX. EASEMENT
—	EX. CHAIN LINK FENCE
—	EX. COMMUNICATIONS LINE
—	EX. OVERHEAD ELECTRIC LINE
—	EX. WATER LINE
—	EX. SANITARY SEWER
—	EX. STORM SEWER
— 420 —	EX. MAJOR CONTOUR (5')
— 419 —	EX. MINOR CONTOUR (1')
- - -	PROP. SETBACK LINE
- - -	PROP. EASEMENT/BUFFER
■	PROP. CONCRETE
— W —	PROP. WATER LINE
— SS —	PROP. SANITARY SEWER
— SD —	PROP. STORM SEWER
— 395 —	PROP. MAJOR CONTOUR (5')
— 394 —	PROP. MINOR CONTOUR (1')
— LD —	PROP. LIMIT OF DISTURBANCE
— TP —	PROP. TREE PROTECTION FENCE
⊕	EX. QUALIFYING EVERGREEN/DECIDUOUS TREE TO REMAIN
⊕	PROP. STREET LIGHT

KEY

FES = FLARED END SECTION
 JB = JUNCTION BOX
 YI = YARD INLET
 TC = TOP OF CURB
 BC = BOTTOM OF CURB

- NOTES**
1. PROPOSED CONTOURS REPRESENT FINISHED GRADE ELEVATIONS.
 2. CUT AND FILL SLOPES ARE 3H:1V UNLESS OTHERWISE NOTED.
 3. PROPOSED ADA STALLS AND AISLES SHALL HAVE SLOPES NO STEEPER THAN 1:48 (2%) IN ALL DIRECTIONS.
 4. PROPOSED ACCESSIBLE ROUTES SHALL HAVE RUNNING SLOPES NO STEEPER THAN 1:20 (5%) AND CROSS SLOPES NO STEEPER THAN 1:48 (2%).
 5. THE UTILITIES SHOWN ARE NOT GUARANTEED TO BE A REPRESENTATION OF ALL UTILITIES WITHIN THE PROJECT EXTENT.
 6. THE CONTRACTOR SHALL CALL THE NORTH CAROLINA ONE-CALL-CENTER AT LEAST 48 HOURS PRIOR TO BEGINNING WORK.
 7. THE CONTRACTOR SHALL VERIFY DEPTHS AND LOCATIONS OF ALL UTILITIES PRIOR TO BEGINNING WORK AND SHALL USE CARE WHEN OPERATING AROUND EXISTING UTILITIES.
 8. THE CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE FOR THE REPAIR OF ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.

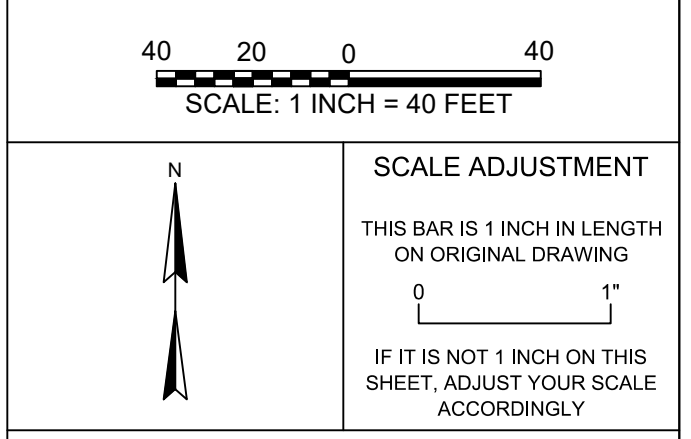


POST OFFICE BOX 91727
 RALEIGH, NORTH CAROLINA 27675
 PHONE: 919.610.1051
 FIRM NC LICENSE NUMBER C-4222

REVISION HISTORY			
REV #	DESCRIPTION	DATE	BY
1	ROLESVILLE COMMENTS	2/28/2025	FLM

ORIGINAL PLAN SIZE: 24" X 36"

PRELIMINARY PLANS
 DO NOT USE FOR CONSTRUCTION



PRELIMINARY SUBDIVISION PLAT
 PSP-25-01
 ROLESVILLE RD MIXED USE
 1216 ROLESVILLE RD
 ROLESVILLE, NC 27571

OPTIMAL DEVELOPMENT LLC	
DATE:	12-12-2024
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	FLM
PROJECT NO.:	21029

GRADING AND DRAINAGE PLAN

C-5
 SHEET 5 OF 7

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LEGEND

---	EX. PROPERTY LINE
---	EX. RIGHT-OF-WAY
---	EX. ADJACENT OWNERS
---	EX. EASEMENT
---	EX. CHAIN LINK FENCE
---	EX. COMMUNICATIONS LINE
---	EX. OVERHEAD ELECTRIC LINE
---	EX. WATER LINE
---	EX. SANITARY SEWER
---	EX. STORM SEWER
---	EX. MAJOR CONTOUR (5')
---	EX. MINOR CONTOUR (1')
---	PROP. SETBACK LINE
---	PROP. EASEMENT/BUFFER
---	PROP. CONCRETE
---	PROP. WATER LINE
---	PROP. SANITARY SEWER
---	PROP. STORM SEWER
---	PROP. MAJOR CONTOUR (5')
---	PROP. MINOR CONTOUR (1')
---	PROP. LIMIT OF DISTURBANCE
---	PROP. TREE PROTECTION FENCE
---	EX. QUALIFYING EVERGREEN/DECIDUOUS TREE TO REMAIN

TREE PRESERVATION PLAN NOTES

- TREE SURVEY PROVIDED BY S&EC, DATED OCTOBER 29, 2024.
- THE CRZ SHALL REMAIN FREE OF ALL BUILDING MATERIALS, REFUSE, AND DEBRIS.
- TREE SURVEY RESULTS:
 - 54 EXISTING TREES (EVERGREEN > 20" AND/OR DECIDUOUS > 18") IDENTIFIED ONSITE
 - 6 EXISTING TREES TO REMAIN (10%)
 - 48 EXISTING TREES TO BE REMOVED FOR A REPLACEMENT VALUE OF 192 TREES (4 REPLACEMENT TREES PER TREE REMOVED)
- TREE PRESERVATION CALCULATIONS:
 - REQUIRED TREE PRESERVATION: 10% OF EXISTING TREES IN GOOD HEALTH SHALL BE PRESERVED
 - PROPOSED TREE PRESERVATION: 10%
- REPLACEMENT TREE CALCULATIONS:
 - REQUIRED REPLACEMENT TREES: 6
 - PROPOSED TREES: 6



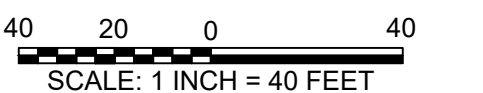
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REVISION HISTORY

REV #	DESCRIPTION	DATE	BY
1	ROLESVILLE COMMENTS	2/28/2025	FLM

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SCALE ADJUSTMENT
 THIS BAR IS 1 INCH IN LENGTH ON ORIGINAL DRAWING
 IF IT IS NOT 1 INCH ON THIS SHEET, ADJUST YOUR SCALE ACCORDINGLY

PRELIMINARY SUBDIVISION PLAT PSP-25-01

ROLESVILLE RD MIXED USE
 1216 ROLESVILLE RD
 ROLESVILLE, NC 27571

OPTIMAL DEVELOPMENT LLC

DATE:	12-12-2024
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	FLM
PROJECT NO.:	21029

PRESERVATION PLAN

C-6
 SHEET 6 OF 7

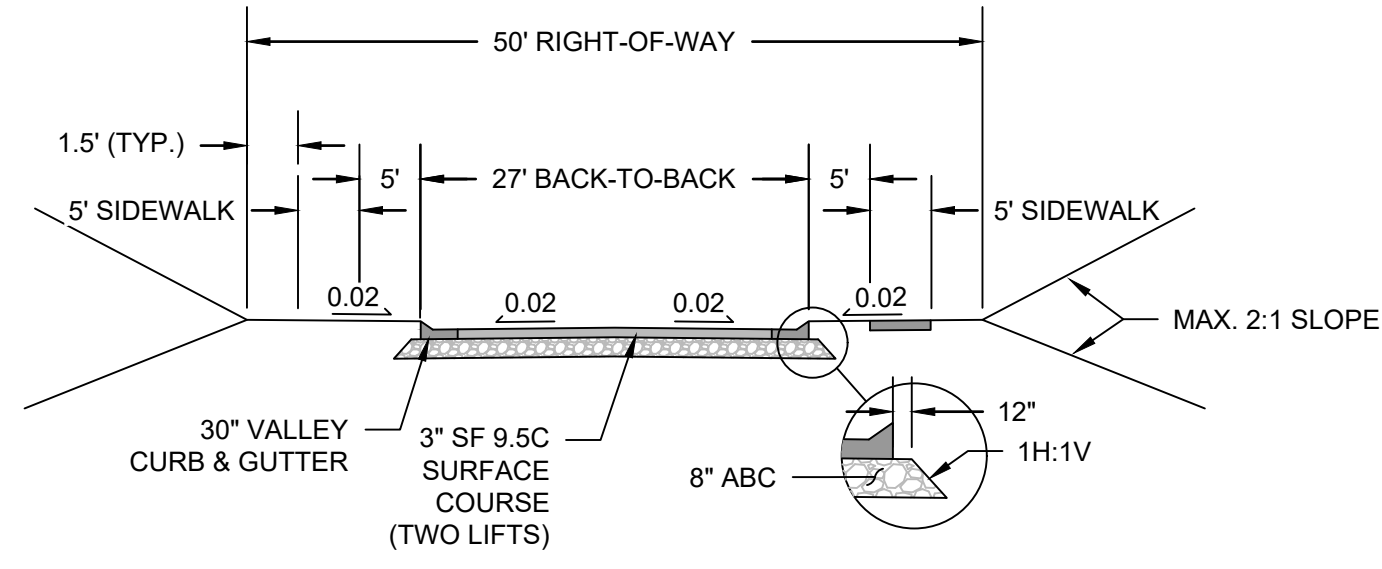
1-Loop Wave Style Bike Rack - 3 Bike Capacity, Black



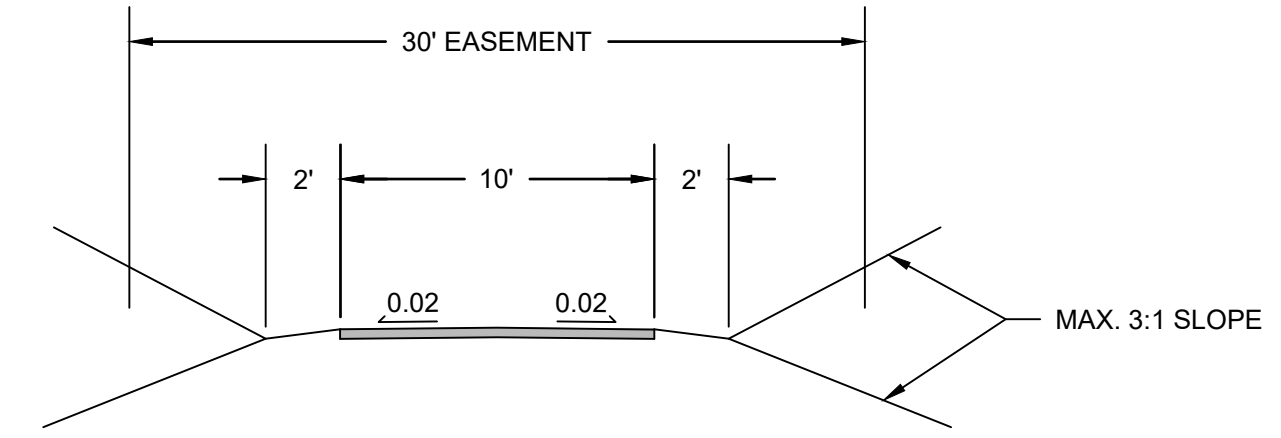
- Upscale stylish look for downtown shopping and business districts.
- For stadiums, parks and athletic fields.
- 10-gauge steel with attractive powder coating.
- 2 3/8" diameter bar.
- Mounting hardware included.

MODEL NO.	DESCRIPTION	SIZE L x W x H	BIKE CAPACITY	WT. (LBS)	PRICE EACH	COLOR	IN STOCK
H2892BL	1-Loop	22 x 2 1/2 x 34"	3	27	\$230	\$220	Black

BIKE RACK DETAIL
NO SCALE



TYPICAL INTERIOR ROADWAY CROSS-SECTION
NO SCALE



TYPICAL GREENWAY CROSS-SECTION
NO SCALE



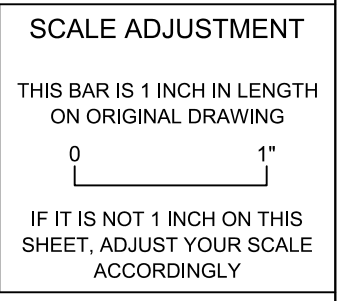
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PRELIMINARY SUBDIVISION PLAT
PSP-25-01

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1216 ROLESVILLE RD
ROLESVILLE, NC 27571

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DETAILS

C-7
SHEET 7 OF 7

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL TOWN OF ROLESVILLE, CITY OF RALEIGH AND WAKE COUNTY STANDARDS AND SPECIFICATIONS

CALL 48 HOURS BEFORE YOU DIG
North Carolina 811
www.nc811.org
NORTH CAROLINA ONE-CALL CENTER
1-800-632-4949

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