ZONING CONDITIONS FOR THE MERRITT PROPERTY

REZ-24-01

PINS 1758-92-8330 (PORTION OF), 1768-23-6815 AND 1768-32-8863 (PORTION OF) 1. THE SUBJECT PROPERTY SHALL BE DEVELOPED GENERALLY IN ACCORDANCE WITH THE CONCEPT SITE PLAN/ZONING IN EXHIBIT A INCORPORATED HEREIN AS IF

12. NO SINGLE TOWNHOUSE BUILDING SHALL CONTAIN MORE THAN SIX UNITS.

3. CONSTRUCTION OF THE ON-SITE AMENITIES SHALL BE COMPLETED ON OR BEFORE THE ISSUANCE OF THE CERTIFICATE OF COMPLIANCE/OCCUPANCY FOR THE 300TH UNIT.

4. THIS WILL BE AN AGE-RESTRICTED DEVELOPMENT LIMITED TO RESIDENTS AGED 55 AND OLDER IN ACCORDANCE WITH THE RULES AND REGULATIONS FOR AGE RESTRICTED HOUSING ESTABLISHED BY THE US DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT

5. NO MORE THAN 505 UNITS WILL BE PERMITTED FOR THE DEVELOPMENT WITH THE MAXIMUM NUMBER OF ATTACHED UNITS LIMITED TO 278.

6. THE FOLLOWING USES ARE PROHIBITED IN THE PORTION OF THE SITE TO BE ZONED GENERAL COMMERCIAL DISTRICT: TATTOO ESTABLISHMENT, VAPE AND TOBACCO STORE, VEHICLE RENTAL, AND SALES.

7. THE FOLLOWING USES ARE PROHIBITED IN THE PORTION OF THE SITE TO BE ZONED RESIDENTIAL MEDIUM DENSITY: TELECOMMUNICATIONS TOWER

8. THE DEVELOPER SHALL INSTALL A TYPE 2 BUFFER IN THE SOUTHWEST CORNER OF THE PROPERTY AS SHOWN ON EXHIBIT B.

9. ONE (1) BUILDING CONSISTING OF TWO (2) TOWNHOME UNITS SHALL BE DEVELOPED AND DONATED AS PART OF HEROES FOR HOME OR SIMILAR ORGANIZATION PROVIDING HOMES TO VETERANS. DEVELOPER SHALL BE ENTITLED TO A WAIVER OF ALL TOWN OF ROLESVILLE PERMIT FEES FOR THESE UNITS.

10. ALL SINGLE-FAMILY DETACHED DWELLINGS SHALL HAVE THE FOLLOWING FEATURES:

A) AT LEAST ONE (1) SINGLE OR DOUBLE CAR GARAGE:

B) ALL GARAGE DOORS SHALL HAVE WINDOWS; C) GROUND FLOOR ELEVATION AT THE FRONT DOOR SHALL BE MINIMUM OF 12" ABOVE AVERAGE GRADE ACROSS THE FRONT FAÇADE OF THE HOUSE. D) IF MASONRY IS NOT THE PREDOMINANT FIRST FLOOR FINISH, THEN THE FRONT ELEVATION SHALL HAVE 2 TYPES OF SIDING. FOR EXAMPLE, HORIZONTAL SIDING MAY BE COMBINED WITH SHAKE/BOARD AND BATTEN;

E) ROOF MATERIALS SHALL BE ASPHALT SHINGLES. METAL COPPER OR WOOD:

F) ALL WINDOWS ON FRONT FACADE SHALL HAVE SHUTTERS OR WINDOW TRIM; G) NO SINGLE-FAMILY DETACHED HOME SHALL BE CONSTRUCTED WITH A FRONT ELEVATION OR COLOR PALETTE THAT IS IDENTICAL TO THE HOME ON EITHER SIDE OF IT OR DIRECTLY ACROSS FROM IT; AND H) A VARIED COLOR PALETTE SHALL BE USED THROUGHOUT THE SUBDIVISION.

11. ALL TOWNHOUSE DWELLINGS SHALL HAVE THE FOLLOWING FEATURES:

A) ONE (1) SINGLE OR DOUBLE CAR GARAGE

SEWER EASEMENT AS SHOWN ON

B) IF MASONRY IS NOT THE PREDOMINANT FIRST FLOOR FINISH. THEN THE FRONT ELEVATION SHALL HAVE 2 TYPES OF SIDING. FOR EXAMPLE HORIZONTAL SIDING MAY BE COMBINED WITH SHAKE/BOARD AND BATTEN;

C) ROOF MATERIALS SHALL BE ASPHALT SHINGLES, METAL, COPPER OR WOOD; D) NO TOWNHOUSE SHALL BE PAINTED A COLOR THAT IS IDENTICAL TO THE HOME ADJACENT ON EITHER SIDE OF IT; AND A VARIED PALETTE SHALL BE USED THROUGHOUT THE SUBDIVISION.

12. A HOMEOWNERS ASSOCIATION (HOA) SHALL BE ESTABLISHED IN ACCORDANCE WITH THE ROLESVILLE LAND DEVELOPMENT ORDINANCE. HOA DOCUMENTS MUST BE RECORDED WITH THE FINAL PLAT.

13. GARBAGE AND PET WAST RECEPTACLES IN OPEN SPACE AREAS TO BE MAINTAINED BY THE HOA.

14. CONSTRUCTION DOCUMENTS FOR THE PROPERTY TO INCLUDE ON-LOT GRADING INCLUDING (I) PROPOSED FINISHED FLOOR ELEVATIONS. (II) 4- CORNER FINISHED-PAD SPOT ELEVATIONS. (III) 1-FOOT CONTOURS OF THE PROPOSED GRADES, (IV) PROPOSED HIGH POINT(S), (V) PROPOSED SWALE DIRECTIONS, SPOT ELEVATIONS, AND SLOPES AT NOT LESS THAN 1% AND (VI) OTHER INFORMATION AS NECESSARY TO DEMONSTRATE FUTURE FEASIBILITY OF COMPLIANCE WITH 15. THE DEVELOPER SHALL DESIGN AND CONSTRUCT A PUBLIC GREENWAY ALONG THE SOUTHERN PROPERTY BOUNDARY ADJACENT TO WITHIN THE PROPOSED

EXHIBIT C. ADDITIONAL DEDICATION OF A 40' GREENWAY EASEMENT ALONG THE LILIES FAMILY, LLC PROPERTY WILL BE FINALIZED AND DEDICATED TO THE TOWN ONCE THE APPROVAL HAS BEEN GRANTED BY THE TOWN OF ROLESVILLE FOR THE FUTURE GREENWAY CONNECTION WITH THE EXTENSION OF FOWLER

This has been revised

	OVERALL SITE DATA		
	PIN	1768328863, 1768236815, 1758928330	
	DEED BOOK AND PAGE #	010194 016287 009920 02092 00077 01879	
	ZONING	RH-CZ & GC-CZ	
	TOTAL TRACT ACREAGE	16.745/ 98.166/ 37.367 TOTAL=152.278 AC	
	WATERSHED	HARRIS CREEK	
	TOWNSHIP	WAKE FOREST	
	RIVER BASIN	NEUSE	
	EXISTING USAGE	AGRICULTURE	
	PROPOSED USAGE	MIXED USE	
	STREAM CLASS	C;NSW	
	EXISTING IMPERVIOUS	.04 AC	
	PROPOSED IMPERVIOUS	12.84 AC	
	DENSITY	3 UNITS/ACRE	
	FEMA FLOOD MAP	PANEL 1768 DATE JULY 19,2022	
	SINGLE FAMILY DETACHED	4,000 SF MIN. LOT AREA	
	ATTACHED UNITS	1,900 SF MIN. LOT AREA	
	40' SINGLE FAMILY 50' SINGLE FAMILY ATTACHED DWELLINGS	136 89 <u>274</u> TOTAL 499	
۲	* * * * * * * * * * * * * * * *	******	
	MINIMUM BUILDING SETBACKS	201	
	FRONT SETBACK SIDE SETBACK	20' 5'	
	REAR SETBACK	20'	
	CORNER SIDE	15'	
بحر			

b.The proposed impervious surface area total of 12.84ac seems to be inaccurate. Pleas

Yes, this has been corrected

a.The overall site data table should show both required and

oposed setbacks to confirm npliance throughout the project for both attached and dential lots. Refer to the

roved text amendment hen showing this informatio

This table has been revised

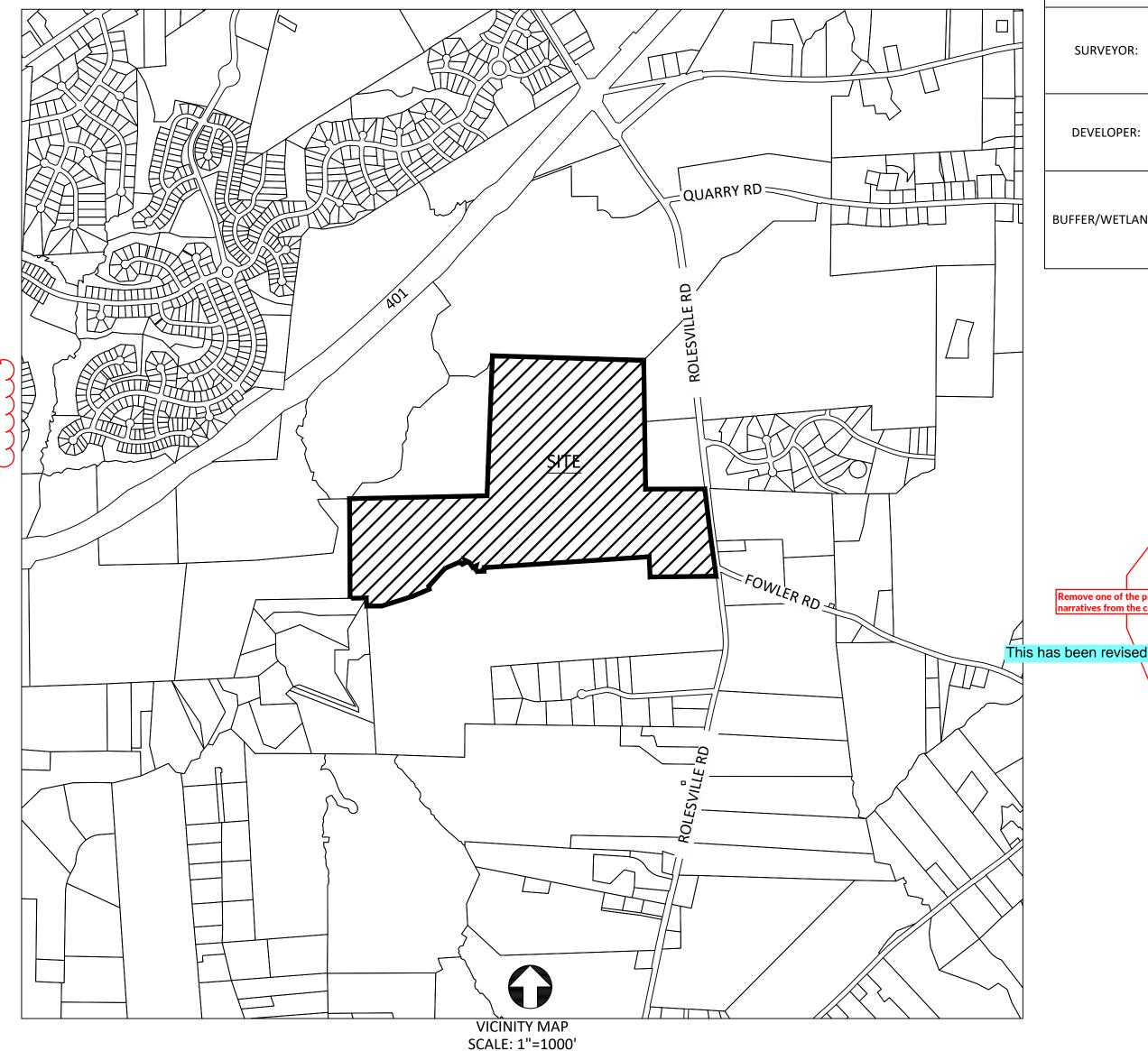
update as appropriate.

PSP-24-

PRELIMINARY SUBDIVISION PLAT MERRITT PROPERTY

SITUATED AT 1224 ROLESVILLE ROAD

WAKE COUNTY, NORTH CAROLINA PROJECT NUMBER = PSP-YR-XX



	Rolesville
APPROVED FOR COMPLIANCE	
Case #	Project:
Ву:	Date:
Ordinance, UDC	re been approved for compliance with the Town Code of), and Standard Specifications & Construction Details, sub- nts & conditions hereby incorporated by reference.

Update approval cert - Should

reference the LDO not UDO.

This has been revised

WESLEY AND ROXEY WILKINS 115 W. YOUNG ST. ROLESVILLE, NC 27571 1768-23-6815 **EDWARD AND LINDA SELF** 114 MAUDE LA. MT. AIRY, NC 27030 1768- 23-6815 JAMES AND SUE MERRITT 3523 VIOLET CT. WILMINGTON, NC 28409 1768-23-6815 PROPRTY OWNER: **GUNZ/ROGERS PROPERTY** BETTY R. GUNZ 1409 MAYLAND AVE. CHALOTTE, NC 28209 1768-32-8863 WILLIAM ROGERS, C/O TEXWEST, LLC PO BOX 101149 FORTH WORTH, TX 76185 1768-32-8863 LILES FAMILY PROPERTY LILES FAMILY, LLC 2524 HOLIDAY AVE. ZEBULON, NC 27597 1758-92-8330 CMP PROFESSIONAL LANDSCAPE, PL CONTACT: MIKE MOSS SURVEYOR: 206 HIGH HOUSE RD STE 205 WAKE FOREST, NC 27587 919-556-3148 **BRD LAND AND INVESTMENT CONTACT: MICHAEL FLEMING** DEVELOPER: 234 KINGSLEY PARK DR STE 110 FORT MILL, SC 29715 919-346-6014 SAGE ECOLOGICAL SOLUTIONS CONTACT: SEAN CLARK **BUFFER/WETLAND:** 3707 SWIFT CREEK DRIVE RALEIGH, NC 27606 919-559-1537

WILLIAM MERRITT & KATHY LLAMAS

156 MONTERERY ST. POINCIANA FL 34759

1768-23-6815

Sheet rist rable			
Sheet Number	Sheet Title		
G-001	COVER		
G-002	LOT AREA PER PHASE		
CV-100	EXISTING CONDITIONS		
CX-100	DEMOLITION PLAN		
CS-100	Site Overall Plan		
CS-101	Site Plan (50 Scale)		
CS-102	Site Plan (50 Scale)		
CS-103	Site Plan (50 Scale)		
CS-104	Site Plan (50 Scale)		
CS-105	Site Plan (50 Scale)		
CS-106	Site Plan (50 Scale)		
CS-107	Site Plan (50 Scale)		
CS-108	Site Plan (50 Scale)		
CS-200	SITE PROJECT DETAILS		
CU-100	Utility Overall Plan		
CU-101	Utility Plan (50 Scale)		
CU-102	Utility Plan (50 Scale)		
CU-103	Utility Plan (50 Scale)		
CU-104	Utility Plan (50 Scale)		
CU-105	Utility Plan (50 Scale)		
CU-106	Utility Plan (50 Scale)		
CU-107	Utility Plan (50 Scale)		
CU-108	Utility Plan (50 Scale)		
CG-100	Grading and Drainage Overall Plan		
CG-101	Grading and Drainage (50 Scale)		
CG-102	Grading and Drainage (50 Scale)		
CG-103	Grading and Drainage (50 Scale)		
CG-104	Grading and Drainage (50 Scale)		
CG-105	Grading and Drainage (50 Scale)		
CG-106	Grading and Drainage (50 Scale)		
CG-107	Grading and Drainage (50 Scale)		
CG-108	Grading and Drainage (50 Scale)		
CT-200	Fowler Road Plan and Profile (1 of 5)		
CT-201	Fowler Road Plan and Profile (2 of 5)		
CT-202	Fowler Road Plan and Profile (3 of 5)		
CT-203	Fowler Road Plan and Profile (4 of 5)		
CT-204	Fowler Road Plan and Profile (5 of 5)		
CT-300	STRIPING PLAN		
CT-301	ROAD IMPROVEMENTS		
LP-100	Overall Landscape Plan		

PROJECT NARRATIVE

THIS PROJECT IS LOCATED IN ROLESVILLE, NORTH CAROLINA ASIDE THE ROLESVILLE ROAD FOWLER ROAD INTERSECTION, IT DRAINS TO TRIBUTARIES OF HARRIS BRANCH WHICH IS PART OF THE NEUSE RIVER BASIN. THE PROJECT CONSIST OF THREE SEPARATE PARCELS WITH A TOTAL PROJECT AREA OF THE PROJECT IS 152.278 AC. THE PROJECT IS ZONED FOR HIGH DENSITY, RESIDENTIAL AND GENERAL COMMERCIAL WITH A RESIDENTIAL DENSITY OF +/- 3 UNITS AN ACRE.

GENERAL NOTES:

move one of the project

narratives from the cover sheet.

CONTRACTOR SHALL CONTACT NORTH CAROLINA ONE CALL (1-800-632-4949) TO LOCATE ALL EXISTING

UTILITIES PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF THE EXISTING UTILITIES AND NOTIFY THE

PROJECT ENGINEER (919-469-1101) OF ANY CONFLICTS. . ALL BOUNDARY AND FIELD TOPOGRAPHY PROVIDED BY CMP PROFESSIONAL LAND SURVEYOR, PL.

4. THE ZONING ENTITLEMENTS ACHIEVED/FACILITATING THIS PRELIM PLAT IS REZ-24-01, APPROVED 11-7-2024 BY TOWN BOARD.

OPEN SPACE LOTS AND SCM'S WILL BE OWNED AND MAINTAINED BY HOA. ALL PROPOSED STREETS WILL BE DEDICATED TO TOWN AND THUS OWNED AND MAINTAINED BY TOWN. ALL PUBLIC WATER AND SEWER MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY

OF RALEIGH STANDARDS AND SPECIFICATIONS. 8. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF THE EXISTING UTILITIES AND NOTIFY THE

PROJECT ENGINEER (919-469-1101) OF ANY CONFLICTS.

9. ALL CONDITIONS OF SUP 19-01 AND MA 19-02 R&PUD ARE APPLICABLE AND WILL BE MET. 10. SIGNS REQUIRE A SEPARATE SIGN PACKAGE TO BE APPROVED BY THE TOWN.

▼ PROJECT NARRATIVE

THIS PROJECT IS LOCATED IN ROLESVILLE, NORTH CAROLINA ASIDE THE ROLESVILLE ROAD FOWLER ROAD INTERSECTION. IT DRAINS TO TRIBUTARIES OF HARRIS BRANCH WHICH IS PART OF THE NEUSE RIVER BASIN. THE PROJECT CONSIST OF THREE SEPARATE PARCELS WITH A TOTAL PROJECT AREA OF THE PROJECT IS 152.278 AC. THE PROJECT IS ZONED FOR HIGH DENSITY, RESIDENTIAL AND GENERAL COMMERCIAL WITH A RESIDENTIAL DENSITY OF +/- 3 UNITS AN ACRE.

ATTENTION CONTRACTORS

THE CONTRACTOR RESPONSIBLE FOR THE EXTENSION OF WATER, SEWER, AND / OR REUSE, AS APPROVED IN THESE PLANS, IS RESPONSIBLE FOR CONTACTING THE PUBLIC UTILITIES DEPARMENT AT (919) 996-4540 AT LEAST TWENTY FOUR HOURS PRIOR TO BEGINNING ANY OF THEIR CONSTRUCTION.

FAILURE TO NOTIFY BOTH CITY DEPARTMENTS IN ADVANCE OF BEGINNING CONSTRUCTION, WILL RESULT IN THE ISSUANCE OF MONETARY FINES, AND REQUIRE REINSTALLATION OF ANY WATER AND SEWER FACILITIES NOT INSPECTED AT THE TIME OF THE NOTIFICATION FAILURE.

FAILURE TO CALL FOR INSPECTION, INSTALL A DOWNSTEAM PLUG, HAVE PERMITTED PLANS ON THE JOB SITE, OR ANY OTHER VIOLATION OF THE CITY OF RALEIGH STANDARDS WILL RESULT IN A FINE AND POSSIBLE EXCLUSION FROM FUTURE WORK IN THE CITY OF RALEIGH.

Sheet List Table **PRELIMINARY** FOR INFORMATION, ONLY

> STIPULATION FOR REUSE THIS DRAWING WAS PREPARED FOR US

ENGINEERING ASSOCIATES

SOUTHEAST

ON THE SPECIFIC SITE, NAMED HEREON, CONTEMPORANEOUSLY WITH ITS ISSUE DATE AS LISTED, HEREON. AND IT IS NOT SUITABLE FOR USE ON A DIFFERENT PROJECT SITE OR AT A LATER TIME. USE OF THIS DRAWING FOR REFERENCE OR EXAMPLE ON ANOTHER PROJECT REQUIRES TH SERVICES OF PROPERLY LICENSED ARCHITECTS AND ENGINEERS, REPRODUCTION OF THIS DRAWING FOR REUSE ON ANOTHER PROJECT IS NOT AUTHORIZED AND MAY BE CONTRARY TO THE LAW.

JOB NUMBER: 23-0004 CHECKED BY: DRAWN BY:

APRIL 202 SHEET TITLE:

COVER

Carolina *** 3 Days Before Digging * North Carolina 811 811 or 1-800-632-4949 Remote Ticket Entry http://nc811.org/remoteticketentry.

loren :

