

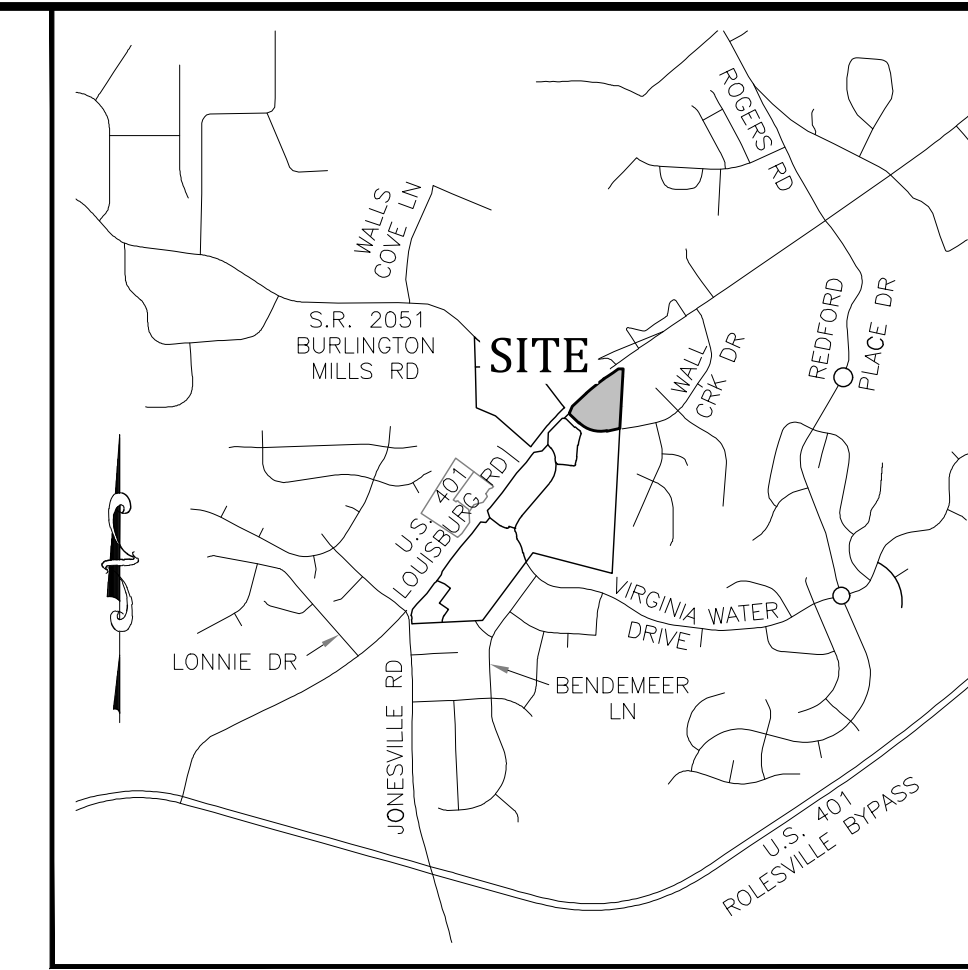
V1 - PSP-24-06

WALLBROOK - LOT 8

PRELIMINARY SUBDIVISION PLAT

Main Street and Wall Creek Drive, Town of Rolesville, Wake County, North Carolina

Project No. PSP 24-06

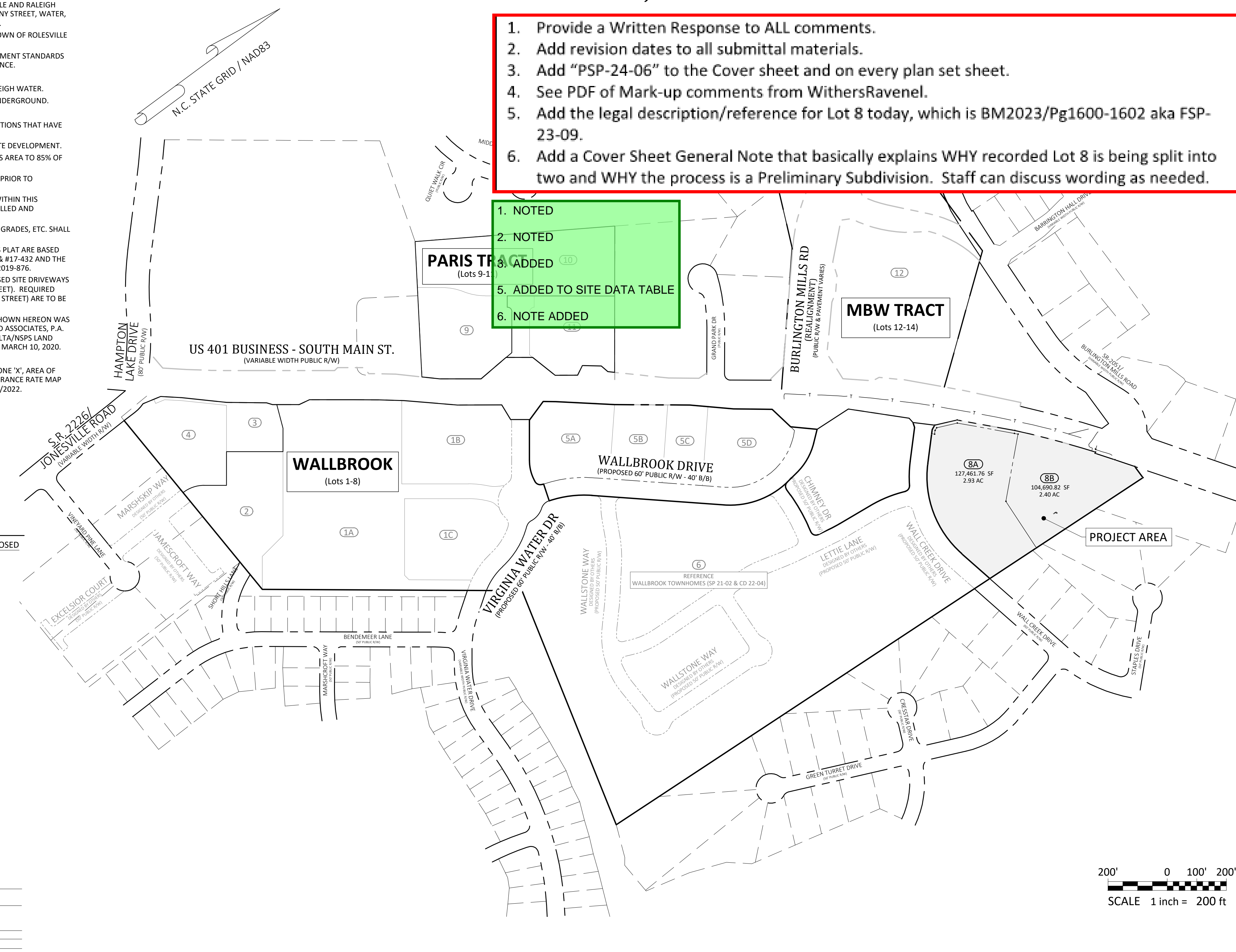


Vicinity Map
NTS

General Notes

- CONSTRUCTION PLAN APPROVAL FROM TOWN OF ROLESVILLE AND RALEIGH WATER SHALL BE OBTAINED PRIOR TO CONSTRUCTION OF ANY STREET, WATER, AND/OR SANITARY SEWER AND STORM DRAINAGE SYSTEMS.
- ALL REQUIRED IMPROVEMENTS SHALL CONFORM TO THE TOWN OF ROLESVILLE AND RALEIGH WATER STANDARD DESIGNS AND DETAILS.
- ALL LOTS SHALL EQUAL OR EXCEED THE MINIMUM DEVELOPMENT STANDARDS OF THE TOWN OF ROLESVILLE LAND DEVELOPMENT ORDINANCE.
- ELECTRIC SERVICE PROVIDED BY WAKE ELECTRIC.
- WATER AND SANITARY SEWER SERVICE IS PROVIDED BY RALEIGH WATER.
- ELECTRIC AND TELEPHONE UTILITIES SHALL BE INSTALLED UNDERGROUND.
- STREET LIGHTS - N/A
- DEPRESS CURBS FOR HANDICAP RAMPS AT STREET INTERSECTIONS THAT HAVE SIDEWALKS.
- EROSION CONTROL PLAN APPROVAL REQUIRED PRIOR TO SITE DEVELOPMENT.
- STORMWATER MANAGEMENT PLAN WILL LIMIT IMPERVIOUS AREA TO 85% OF CUMULATIVE AREA OF LOT 8.
- HYDRAULIC ANALYSIS OF THE WATER MAINS ARE REQUIRED PRIOR TO CONSTRUCTION.
- NO SEWER SERVICES SHALL BE CONNECTED TO BUILDINGS WITHIN THIS PROJECT, UNTIL ALL MAINS AND SERVICES HAVE BEEN INSTALLED AND ACCEPTED FOR MAINTENANCE BY RALEIGH WATER.
- STORM DRAIN PIPE SIZES ARE APPROXIMATE. FINAL SIZING, GRADES, ETC. SHALL BE SUBMITTED WITH CONSTRUCTION PLANS.
- JURISDICTIONAL WETLANDS AND STREAMS SHOWN ON THIS PLAT ARE BASED UPON NC DWR STREAM DETERMINATIONS NBRRO #17-431 & #17-432 AND THE US ARMY CORP OF ENGINEERS SAW-2019-00873 AND SAW-2019-876.
- NC DOT DRIVEWAY PERMITS ARE REQUIRED FOR ALL PROPOSED SITE DRIVEWAYS AND STREET CONNECTIONS TO US 401 BUSINESS (MAIN STREET). REQUIRED ROADWAY IMPROVEMENTS ALONG US 401 BUSINESS (MAIN STREET) ARE TO BE CONSTRUCTED AS PART OF NCDOT U-6241.
- BOUNDARY AND TOPOGRAPHICAL SURVEY INFORMATION SHOWN HEREON WAS TAKEN FROM A SURVEY PERFORMED BY GARY S. MILLER AND ASSOCIATES, P.A. ENTITLED JOHNSON, MIRMIRAN & THOMPSON ENTITLED "ALTA/NSPS LAND TITLE SURVEY PREPARED FOR C4 INVESTMENTS, LLC" DATED MARCH 10, 2020. ELEVATIONS SHOWN ARE BASED ON NAVD 88 DATUM.
- A PORTION OF THE PROPERTY IS LOCATED WITHIN FLOOD ZONE 'X', AREA OF MINIMAL FLOODING, AS SHOWN ON NATIONAL FLOOD INSURANCE RATE MAP (FIRM) NO. 3720175800K, PANEL 1758 EFFECTIVE DATE 7/19/2022.

- Provide a Written Response to ALL comments.
- Add revision dates to all submittal materials.
- Add "PSP-24-06" to the Cover sheet and on every plan set sheet.
- See PDF of Mark-up comments from WithersRavenel.
- Add the legal description/reference for Lot 8 today, which is BM2023/Pg1600-1602 aka FSP-23-09.
- Add a Cover Sheet General Note that basically explains WHY recorded Lot 8 is being split into two and WHY the process is a Preliminary Subdivision. Staff can discuss wording as needed.



Legend

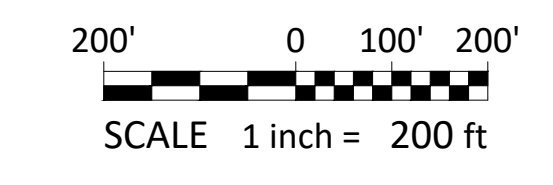
- | EXISTING | PROPOSED |
|---------------------------------------|----------|
| ○ = FOUND MONUMENT AS NOTED | |
| ○ = SET IRON PIN | |
| △ = NCGS MONUMENT | |
| • = DIMENSION POINT (NOTHING SET) | |
| — = PROPERTY LINE | |
| R/W = RIGHT OF WAY | |
| C&G = CURB AND GUTTER | |
| DI = DROP INLET | |
| EM = ELECTRIC METER | |
| F/O = FIBER OPTIC | |
| FH = FIRE HYDRANT | |
| GV = GAS VALVE | |
| LP = LIGHT POLE | |
| PP = POWER POLE | |
| GW = GUY WIRE | |
| ROP = REINFORCED CONCRETE PIPE | |
| S.F. = SQUARE FEET (AREA) | |
| SIGN = SIGN | |
| TS = TRAFFIC SIGNAL POLE | |
| SM = SANITARY SEWER MANHOLE | |
| SFM = SANITARY SEWER FORCE MAIN VALVE | |
| SDM = STORM DRAIN MANHOLE | |
| TP = TELEPHONE PEDESTAL | |
| TB = TRAFFIC BOX | |
| WB = WATER BOX | |
| WM = WATER METER | |
| WMH = WATER MANHOLE | |
| WV = WATER VALVE | |
| WELL = WELL | |
| XP = PEDESTRIAN X-WALK POLE | |
| EL = ELECTRIC LINE | |
| SSFM = SANITARY SEWER FORCE MAIN | |
| FOL = FIBER OPTIC LINE | |
| GL = GAS LINE | |
| OEL = OVERHEAD ELECTRIC LINE | |
| SSEL = SANITARY SEWER LINE | |
| TEL = TELEPHONE LINE | |
| CTL = CABLE TV LINE | |
| WL = WATER LINE | |
| FL = FIRE LINE | |
| 8" W = 8" WATER LINE | |
| 12" W = 12" WATER LINE | |
| RP = RIPARIAN BUFFER | |
| TREELINE = TREELINE | |
| 50' = MAJOR CONTOUR (5') | |
| 10' = MINOR CONTOUR (1') | |
| OSP = RIPARIAN BUFFER | |
| OS = OPEN SPACE | |

SPECIAL USE PERMIT (SUP 20-02) APPLIES TO LOTS 1(A,B, & C) - 8

- PRESENTED TO TOWN BOARD AS AGENDA ITEM C.1 ON 2-MAR-2021. APPROVED SUP IS RECORDED AS BOOK 18451 PG 470
- TOWNHOMES LIMITED TO 155 UNITS
- PRIOR TO ISSUANCE OF FIRST CERTIFICATE OF OCCUPANCY FOR THE FIRST RESIDENTIAL UNIT, WALL CREEK DRIVE EXTENSION MUST BE COMPLETE
- NO LATER THAN 6 MONTHS FOLLOWING COMPLETION OF THE LAPP GRANT PROJECT IMPROVEMENTS, DEVELOPER WILL COMPLETE BOTH 1) THE EXTENSION OF VIRGINIA WATER DRIVE TO MAIN STREET AND 2) THE EXTENSION OF BURLINGTON MILLS ROAD (AS REALIGNED) FROM MAIN ST TO VIRGINIA WATER DRIVE. (THIS PORTION OF BURLINGTON MILLS HAS BEEN RENAMED TO WALLBROOK DRIVE)
- DEVELOPER WILL COMPLETE TRAFFIC IMPROVEMENTS AS SET FORTH IN OCTOBER 13, 2020 MEMO BY STANTEC.
- AREAS EAST OF WALL CREEK RIPARIAN BUFFER SHALL NOT BE DEVELOPED WITH STRUCTURES OR IMPROVEMENTS.

TOWN OF ROLESVILLE DEVELOPMENT APPLICATIONS

SUP 20-02	SPECIAL USE PERMIT
ANX 21-06	ANNEXATION
PR 21-04	PRELIMINARY SUBDIVISION PLAT (TOWN BOARD APPROVED)
PR 21-04 REV	PRELIMINARY SUBDIVISION PLAT (REVISED)
FSP 23-09	INTERMEDIATE SUBDIVISION PLAT
PSP 24-06	PRELIMINARY SUBDIVISION PLAT (CURRENT APPLICATION)



Site Data

PIN NUMBERS:	1758-67-1871
REAL ESTATE ID:	0509438
CURRENT ZONING:	GC-CZ
ACREAGE IN DEVELOPMENT:	5.33± ACRES
ACREAGE IN TOTAL TRACT:	5.33± ACRES
NUMBER OF LOTS CREATED:	2
LINEAR FEET IN STREETS:	N/A
WATERSHED:	Lower Neuse
RIVER BASIN:	Neuse
CURRENT USE:	VACANT / WOODED
PROPOSED USE(S):	REFER TO SUP 20-02 FOR PERMITTED USES
CURRENT IMPERVIOUS:	0 SF
PROPOSED IMPERVIOUS:	MAX 85% OF TOTAL LOT AREA - 232,152.6 SF x 0.85 = 197,329.7 SF (PER MASTER STORMWATER PERMIT - WAKE CO. SWF 105882-2023)
DEVELOPMENT STANDARDS:	LDO
OPEN SPACE CALCULATIONS:	CALCULATIONS APPROVED VIA PR 21-04 (TOWN BOARD APPROVED) AND PR 21-04 REVISED
PARKING CALCULATIONS:	PARKING CALCS TO BE SHOWN ON SUBSEQUENT SITE DEVELOPMENT PLAN(S)
TREE PRESERVATION:	N/A (REFER TO TREE PRESERVATION PLAN - APPROVED VIA PR 21-04 REVISED)

AT THE TIME OF FINAL SUBDIVISION PLAT, ALLOCATION OF IMPERVIOUS PER LOT SHALL BE DETERMINED AND EXPRESSED, AND THEN REFLECTED ON SUBSEQUENT SITE DEVELOPMENT PLANS FOR EACH LOT.

LOT 8 (PR 21-04 REVISED)
 0.25 AC = GREENWAY (MEDIUM - 10,743 SF)
 0.22 AC = LINEAR PARK (MEDIUM - RIPARIAN AREA)
 0.60 AC = LINEAR PARK (MEDIUM - 26,261 SF)

Engineer

Ark Consulting Group, PLLC
 925-A Conference Drive
 Greenville, NC 27858
 (252) 558-0888

Contact: Bryan Fagundus, PE
 bryan@arkconsultinggroup.com

Owner/Developer

Wallbrook Landco, LLC
 3 Keel St, Ste 2
 Wrightsville Beach, NC 28480
 (704) 621-6430

Contact: Austin Williams
 awilliams@csere.com

Sheet Index

#	Title
1	Cover / Overall Site
2	Existing Conditions
3	Lot Layout
4	Utility & Drainage Plan

REF Survey - Johnson, Mirmiran & Thompson (3 Sheets)
 PR 21-04 REVISED (6 Sheets)

Cover / Overall Site
 Site Plan (Wallbrook)
 Easement Plan (Wallbrook)
 Utility Plan (Wallbrook)
 Grading/Drainage Plan (Wallbrook)
 Tree Preservation Plan

Survey Note:

BOUNDARY AND TOPOGRAPHICAL INFORMATION SHOWN HEREON WAS PREPARED BY JOHNSON, MIRMIRAN & THOMPSON, AS SHOWN ON DRAWING ENTITLED "ALTA/NSPS LAND TITLE SURVEY FOR WALLBROOK LANDCO, LLC", DATED MARCH 25, 2020, ATTACHED TO THIS DRAWING SET FOR REFERENCE.

REVISED

SHEET: 1 of 4 PIN # 1758-67-1871

Cover / Overall Site

WALLBROOK - LOT 8

PRELIMINARY SUBDIVISION PLAT
 TOWN OF ROLESVILLE PROJECT No. PSP 24-XX
 Town of Rolesville, Wake County, North Carolina

DEVELOPER: Crosland Southeast
 ADDRESS: 121 West Trade Street, Ste 2550, Charlotte, NC 28202
 PHONE: (704) 561-5200

DEVELOPER: Ark Consulting Group, PLLC
 ENGINEERS & PLANNERS
 www.arkconsultinggroup.com
 925-A Conference Dr., Greenville, NC, 27858
 (252) 558-0888

SURVEY BY OTHERS: Johnson, Mirmiran & Thompson
 APPROVED: BCF
 DATE: 9/3/2024
 CHECKED: TGN
 SCALE: 1" = 200'

1	3-SEP-24	ISSUED FOR INITIAL REVIEW
#	DATE	DESCRIPTION
REVISIONS:		



ACG Dwg No. D-1525-PP 9/3/2024

US 401 BUSINESS - SOUTH MAIN ST.
(VARIABLE WIDTH PUBLIC R/W)

Per approved PR 21-04, 30' street buffer is required across the whole frontage.

PER ROLESVILLE TRC CALL ON 10/10/24, STREET BUFFER CAN REMAIN 15' AS SHOWN. NOTE HAS BEEN ADDED TO DESCRIBE WHY THIS HAS CHANGED FROM PRE 21-04 REV.

GENERAL COMMERCIAL (GC) DIMENSIONAL STANDARDS (ROLESVILLE LDO TABLE 3.2.1)

Building Height	Front	Max 35'
Building Setbacks (Min)	Side	20'
	Rear	15'
	Corner	35'
Lot	Width (min)	25'
	FAR/Coverage	100'
Area		N/A
		20,000 SF

NOTE: (PR 21-04 REV)
THE PRECEDING PRELIMINARY PLAT, PR 21-04 REVISED, ESTABLISHED EASEMENTS, PRESERVATION AREAS, OPEN SPACE AREAS, AND RIGHT-OF-WAY DEDICATIONS. SINCE BUILDING PLACEMENT AND ORIENTATION ON LOTS 5A-D ARE UNKNOWN AT THE TIME OF THIS PRELIMINARY PLAT, SETBACKS FOR LOTS 5A-D SHALL BE ESTABLISHED AT THE TIME OF SITE DEVELOPMENT PLAN PREPARATION FOR THOSE INDIVIDUAL LOTS.

NOTE: (PR 21-04 REV)
THE TYPE 'D' BUFFERS ARE REQUIRED BY THE TOWN OF ROLESVILLE LDO AND AS AGREED UPON DURING THE APPLICATION OF SP 21-02 FOR THE ADJACENT TOWNHOME DEVELOPMENT. THE TYPE 'D' BUFFER OVERLAPS PORTIONS OF THE 30' LDO STREET BUFFER ALONG WALLBROOK DRIVE, HOWEVER, THE ADDITIONAL PLANTINGS PER SP 21-02 SHALL BE PROVIDED.

SHEET: 3 of 4 PIN # 1758-67-1871

Lot Layout

WALLBROOK - LOT 8

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TOWN OF ROLESVILLE PROJECT No. PSP 24-XX
Town of Rolesville, Wake County, North Carolina

DEVELOPER: Crosland Southeast

ADDRESS: 121 West Trade Street, Ste 2550, Charlotte, NC 28202

PHONE: (704) 561-5200

9/2/2024

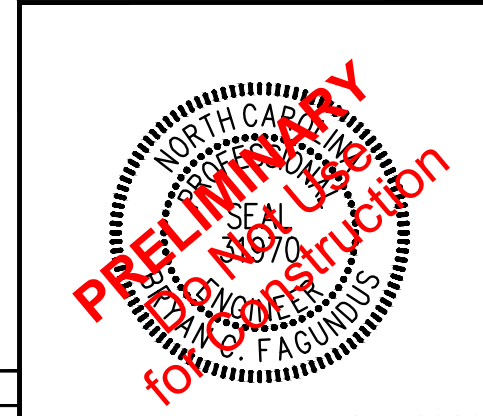
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SCALE: 1" = 100'



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REVISIONS:		

