

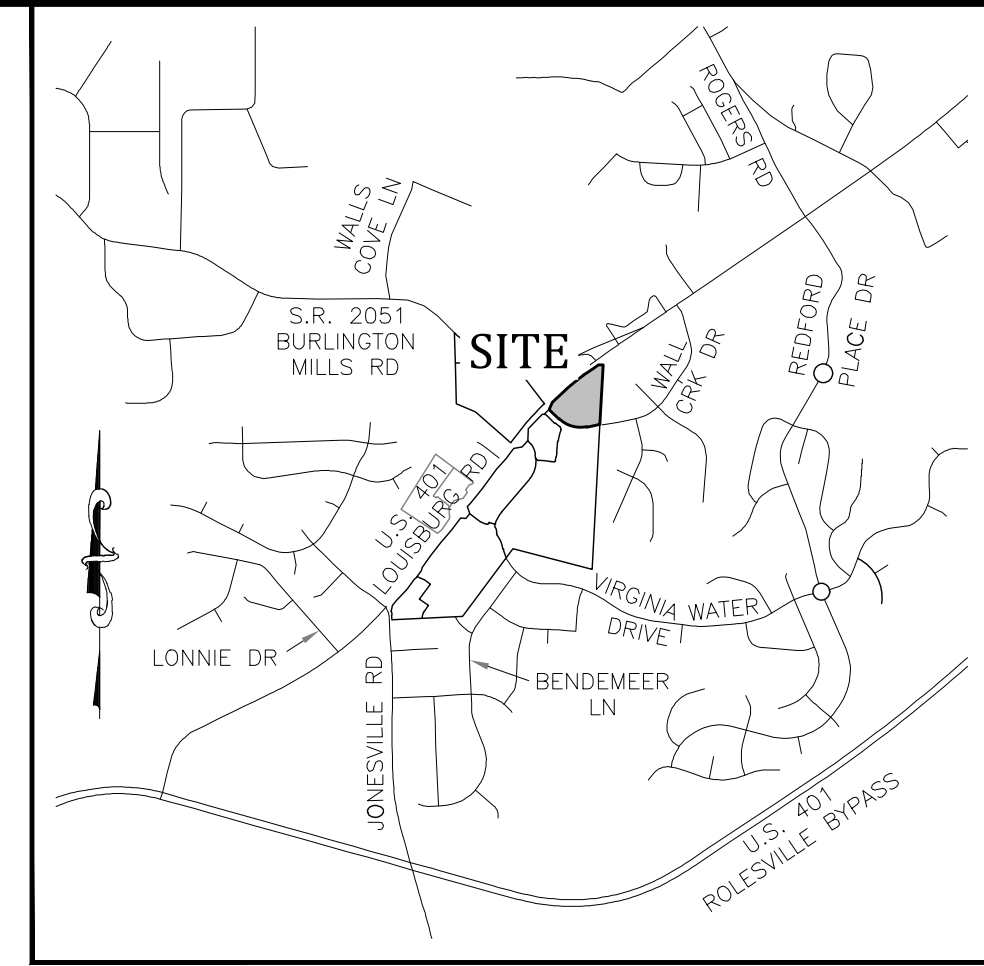
V1 - PSP-24-06

# WALLBROOK - LOT 8

## PRELIMINARY SUBDIVISION PLAT

Main Street and Wall Creek Drive, Town of Rolesville, Wake County, North Carolina

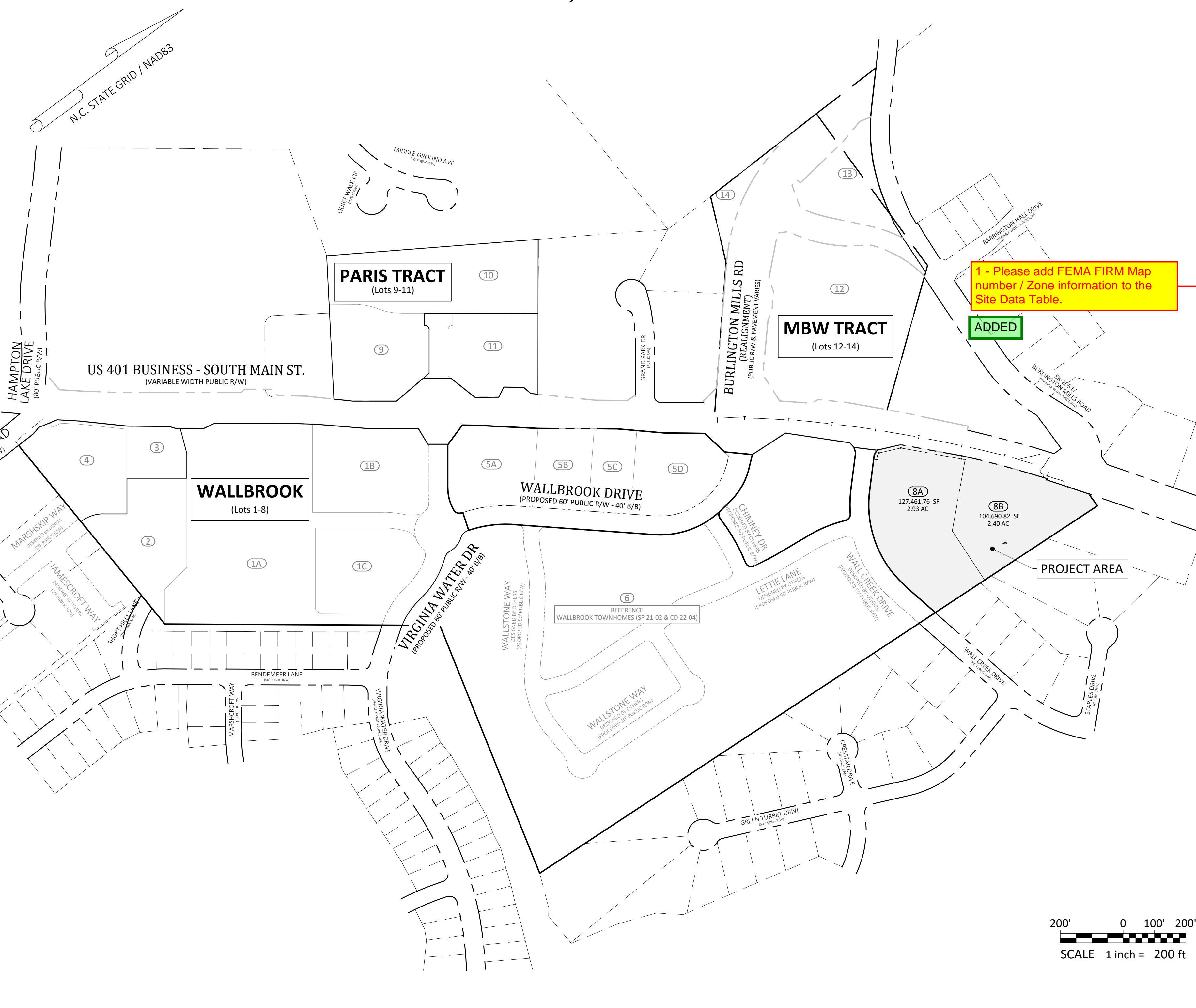
Project No. PSP 24-06



Vicinity Map  
NTS

### General Notes

- CONSTRUCTION PLAN APPROVAL FROM TOWN OF ROLESVILLE AND RALEIGH WATER SHALL BE OBTAINED PRIOR TO CONSTRUCTION OF ANY STREET, WATER, AND/OR SANITARY SEWER AND STORM DRAINAGE SYSTEMS.
- ALL REQUIRED IMPROVEMENTS SHALL CONFORM TO THE TOWN OF ROLESVILLE AND RALEIGH WATER STANDARD DESIGNS AND DETAILS.
- ALL LOTS SHALL EQUAL OR EXCEED THE MINIMUM DEVELOPMENT STANDARDS OF THE TOWN OF ROLESVILLE LAND DEVELOPMENT ORDINANCE.
- ELECTRIC SERVICE PROVIDED BY WAKE ELECTRIC.
- WATER AND SANITARY SEWER SERVICE IS PROVIDED BY RALEIGH WATER.
- ELECTRIC AND TELEPHONE UTILITIES SHALL BE INSTALLED UNDERGROUND.
- STREET LIGHTS - N/A
- DEPRESS CURBS FOR HANDICAP RAMPS AT STREET INTERSECTIONS THAT HAVE SIDEWALKS.
- EROSION CONTROL PLAN APPROVAL REQUIRED PRIOR TO SITE DEVELOPMENT.
- STORMWATER MANAGEMENT PLAN WILL LIMIT IMPERVIOUS AREA TO 85% OF CUMULATIVE AREA OF LOT 8.
- HYDRAULIC ANALYSIS OF THE WATER MAINS ARE REQUIRED PRIOR TO CONSTRUCTION.
- NO SEWER SERVICES SHALL BE CONNECTED TO BUILDINGS WITHIN THIS PROJECT, UNTIL ALL MAINS AND SERVICES HAVE BEEN INSTALLED AND ACCEPTED FOR MAINTENANCE BY RALEIGH WATER.
- STORM DRAIN PIPE SIZES ARE APPROXIMATE. FINAL SIZING, GRADES, ETC. SHALL BE SUBMITTED WITH CONSTRUCTION PLANS.
- JURISDICTIONAL WETLANDS AND STREAMS SHOWN ON THIS PLAT ARE BASED UPON NC DWR STREAM DETERMINATIONS NBRRO #17-431 & #17-432 AND THE US ARMY CORP OF ENGINEERS SAW-2019-00873 AND SAW-2019-876.
- NCDOT DRIVEWAY PERMITS ARE REQUIRED FOR ALL PROPOSED SITE DRIVEWAYS AND STREET CONNECTIONS TO US 401 BUSINESS (MAIN STREET). REQUIRED ROADWAY IMPROVEMENTS ALONG US 401 BUSINESS (MAIN STREET) ARE TO BE CONSTRUCTED AS PART OF NCDOT U-6241.
- BOUNDARY AND TOPOGRAPHICAL SURVEY INFORMATION SHOWN HEREON WAS TAKEN FROM A SURVEY PERFORMED BY GARY S. MILLER AND ASSOCIATES, P.A. ENTITLED JOHNSON, MIRMIRAN & THOMPSON ENTITLED "ALTA/NSPS LAND TITLE SURVEY PREPARED FOR C4 INVESTMENTS, LLC" DATED MARCH 10, 2020. ELEVATIONS SHOWN ARE BASED ON NAVD 88 DATUM.
- A PORTION OF THE PROPERTY IS LOCATED WITHIN FLOOD ZONE 'X', AREA OF MINIMAL FLOODING, AS SHOWN ON NATIONAL FLOOD INSURANCE RATE MAP (FIRM) NO. 3720175800K, PANEL 1758 EFFECTIVE DATE 7/19/2022.



1 - Please add FEMA FIRM Map number / Zone information to the Site Data Table.

ADDED

### Legend

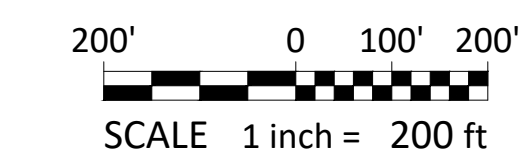
- | EXISTING                       | PROPOSED                            |
|--------------------------------|-------------------------------------|
| ● = FOUND MONUMENT AS NOTED    | ○ = SET IRON PIN                    |
| △ = NCGS MONUMENT              | △ = DIMENSION POINT (NOTHING SET)   |
| — = PROPERTY LINE              | R/W = RIGHT OF WAY                  |
| C&G = CURB AND GUTTER          | DI = DROP INLET                     |
| EM = ELECTRIC METER            | F/O = FIBER OPTIC                   |
| FH = FIRE HYDRANT              | GV = GAS VALVE                      |
| LP = LIGHT POLE                | PP = POWER POLE                     |
| ROP = REINFORCED CONCRETE PIPE | S.F. = SQUARE FEET (AREA)           |
| ○ = SIGN                       | ○ = TRAFFIC SIGNAL POLE             |
| ○ = SANITARY SEWER MANHOLE     | ○ = SANITARY SEWER FORCE MAIN VALVE |
| ○ = STORM DRAIN MANHOLE        | ○ = TELEPHONE PEDESTAL              |
| ○ = TRAFFIC BOX                | ○ = WATER BOX                       |
| ○ = WATER METER                | ○ = WATER MANHOLE                   |
| ○ = WATER VALVE                | ○ = WELL                            |
| ○ = PEDESTRIAN X-WALK POLE     | — = ELECTRIC LINE                   |
| — = SANITARY SEWER FORCE MAIN  | — = FIBER OPTIC LINE                |
| — = GAS LINE                   | — = OVERHEAD ELECTRIC LINE          |
| — = SANITARY SEWER LINE        | — = TELEPHONE LINE                  |
| — = CABLE TV LINE              | — = WATER LINE                      |
| — = FIRE LINE                  | — = 8" WATER LINE                   |
| — = 12" WATER LINE             | — = RIPARIAN BUFFER                 |
| — = TREETRINE                  | — = MAJOR CONTOUR (5')              |
| — = MINOR CONTOUR (1')         | — = OPEN SPACE                      |

**SPECIAL USE PERMIT (SUP 20-02) APPLIES TO LOTS 1(A,B, & C) - 8**

- PRESENTED TO TOWN BOARD AS AGENDA ITEM C.1 ON 2-MAR-2021. APPROVED SUP IS RECORDED AS BOOK 18451 PG 470
- TOWNHOMES LIMITED TO 155 UNITS
- PRIOR TO ISSUANCE OF FIRST CERTIFICATE OF OCCUPANCY FOR THE FIRST RESIDENTIAL UNIT, WALL CREEK DRIVE EXTENSION MUST BE COMPLETE
- NO LATER THAN 6 MONTHS FOLLOWING COMPLETION OF THE LAPP GRANT PROJECT IMPROVEMENTS, DEVELOPER WILL COMPLETE BOTH 1) THE EXTENSION OF VIRGINIA WATER DRIVE TO MAIN STREET AND 2) THE EXTENSION OF BURLINGTON MILLS ROAD (AS REALIGNED) FROM MAIN ST TO VIRGINIA WATER DRIVE. (THIS PORTION OF BURLINGTON MILLS HAS BEEN RENAMED TO WALLBROOK DRIVE)
- DEVELOPER WILL COMPLETE TRAFFIC IMPROVEMENTS AS SET FORTH IN OCTOBER 13, 2020 MEMO BY STANTEC.
- AREAS EAST OF WALL CREEK RIPARIAN BUFFER SHALL NOT BE DEVELOPED WITH STRUCTURES OR IMPROVEMENTS.

### TOWN OF ROLESVILLE DEVELOPMENT APPLICATIONS

- |                     |  |
|---------------------|--|
| <b>SUP 20-02</b>    | SPECIAL USE PERMIT                                 |
| <b>ANX 21-06</b>    | ANNEXATION   |
| <b>PR 21-04</b>     | PRELIMINARY SUBDIVISION PLAT (TOWN BOARD APPROVED) |
| <b>PR 21-04 REV</b> | PRELIMINARY SUBDIVISION PLAT (REVISED)             |
| <b>FSP 23-09</b>    | INTERMEDIATE SUBDIVISION PLAT                      |
| <b>PSP 24-06</b>    | PRELIMINARY SUBDIVISION PLAT (CURRENT APPLICATION) |



### Site Data

PIN NUMBERS:	1758-67-1871
REAL ESTATE ID:	0509438
CURRENT ZONING:	GC-CZ
ACREAGE IN DEVELOPMENT:	5.33± ACRES
ACREAGE IN TOTAL TRACT:	5.33± ACRES
NUMBER OF LOTS CREATED:	2
LINEAR FEET IN STREETS:	N/A
WATERSHED:	Lower Neuse
RIVER BASIN:	Neuse
CURRENT USE:	VACANT / WOODED
PROPOSED USE(S):	REFER TO SUP 20-02 FOR PERMITTED USES
CURRENT IMPERVIOUS:	0 SF
PROPOSED IMPERVIOUS:	MAX 85% OF TOTAL LOT AREA - 232,152.6 SF x 0.85 = 197,329.7 SF (PER MASTER STORMWATER PERMIT - WAKE CO. SWF 105882-2023)
DEVELOPMENT STANDARDS:	LDO
OPEN SPACE CALCULATIONS:	CALCULATIONS APPROVED VIA PR 21-04 (TOWN BOARD APPROVED) AND PR 21-04 REVISED
PARKING CALCULATIONS:	PARKING CALCS TO BE SHOWN ON SUBSEQUENT SITE DEVELOPMENT PLAN(S)
TREE PRESERVATION:	N/A (REFER TO TREE PRESERVATION PLAN - APPROVED VIA PR 21-04 REVISED)

### Engineer

Ark Consulting Group, PLLC  
925-A Conference Drive  
Greenville, NC 27858  
(252) 558-0888

Contact: Bryan Fagundus, PE  
bryan@arkconsultinggroup.com

### Owner/Developer

Wallbrook Landco, LLC  
3 Keel St, Ste 2  
Wrightsville Beach, NC 28480  
(704) 621-6430

Contact: Austin Williams  
awilliams@csere.com

### Sheet Index

#	Title
1	Cover / Overall Site
2	Existing Conditions
3	Lot Layout
4	Utility & Drainage Plan

REF Survey - Johnson, Mirmiran & Thompson (3 Sheets)  
PR 21-04 REVISED (6 Sheets)

- Cover / Overall Site
- Site Plan (Wallbrook)
- Easement Plan (Wallbrook)
- Utility Plan (Wallbrook)
- Grading/Drainage Plan (Wallbrook)
- Tree Preservation Plan

### Survey Note:

BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON WAS PREPARED BY JOHNSON, MIRMIRAN & THOMPSON, AS SHOWN ON DRAWING ENTITLED "ALTA/NSPS LAND TITLE SURVEY FOR WALLBROOK LANDCO, LLC", DATED MARCH 25, 2020, ATTACHED TO THIS DRAWING FOR REFERENCE.

SHEET: 1 of 4 PIN # 1758-67-1871

**Cover / Overall Site**  
**WALLBROOK - LOT 8**  
PRELIMINARY SUBDIVISION PLAT  
TOWN OF ROLESVILLE PROJECT No. PSP 24-XX  
Town of Rolesville, Wake County, North Carolina

DEVELOPER: Crosland Southeast  
ADDRESS: 121 West Trade Street, Ste 2550, Charlotte, NC 28202  
PHONE: (704) 561-5200

**ARK CONSULTING GROUP, PLLC**  
ENGINEERS & PLANNERS  
www.arkconsultinggroup.com  
925-A Conference Dr., Greenville, NC 27858  
(252) 558-0888

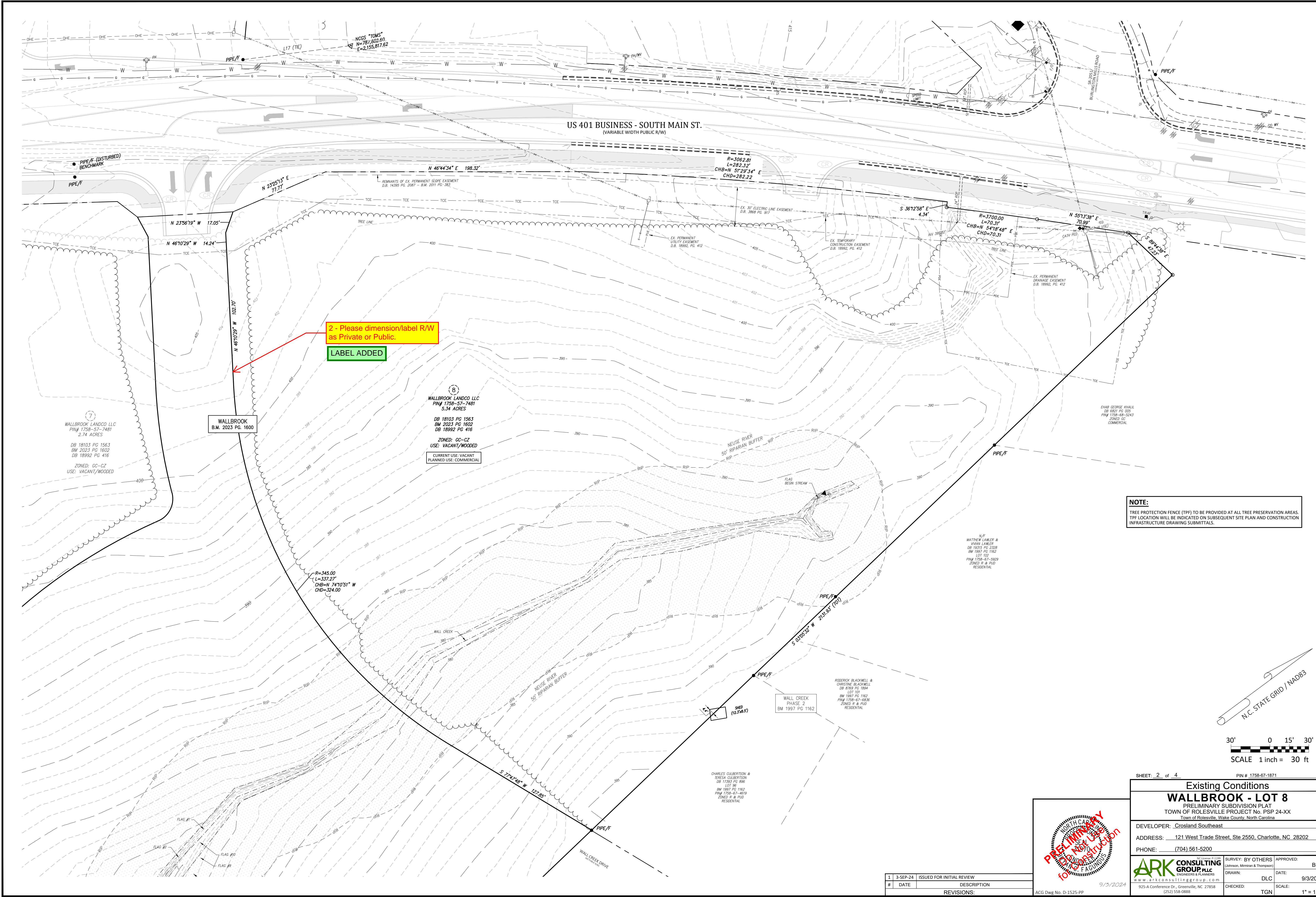
SURVEY BY OTHERS (Johnson, Mirmiran & Thompson)  
APPROVED: BCF  
DATE: 9/3/2024  
CHECKED: TGN  
SCALE: 1" = 200'

#	DATE	DESCRIPTION
1	3-SEP-24	ISSUED FOR INITIAL REVIEW
REVISIONS:		



C:\Users\BFA\OneDrive\Desktop\Projects\ALTA\NSPS\PR-21-04-REVISED\PR-21-04-REVISED.dwg - WALLBROOK - LOT 8 - COVER (1) - User: bfa, Date: 9/3/2024, 10:38:48 AM





2 - Please dimension/label R/W as Private or Public.  
**LABEL ADDED**

**NOTE:**  
 TREE PROTECTION FENCE (TPF) TO BE PROVIDED AT ALL TREE PRESERVATION AREAS. TPF LOCATION WILL BE INDICATED ON SUBSEQUENT SITE PLAN AND CONSTRUCTION INFRASTRUCTURE DRAWING SUBMITTALS.

7  
 WALLBROOK LANDCO LLC  
 PIN# 1758-57-7481  
 2.74 ACRES  
 DB 18103 PG 1563  
 BM 2023 PG 1602  
 DB 18992 PG 416  
 ZONED: GC-CZ  
 USE: VACANT/WOODED

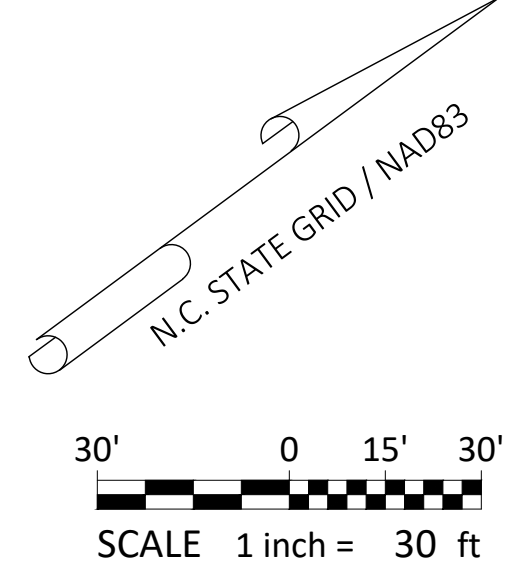
WALLBROOK  
 B.M. 2023 PG 1600

8  
 WALLBROOK LANDCO LLC  
 PIN# 1758-57-7481  
 5.34 ACRES  
 DB 18103 PG 1563  
 BM 2023 PG 1602  
 DB 18992 PG 416  
 ZONED: GC-CZ  
 USE: VACANT/WOODED  
 CURRENT USE: VACANT  
 PLANNED USE: COMMERCIAL

N/F  
 MATTHEW LARKER &  
 WYAN LAMER  
 DB 18115 PG 2128  
 BM 1895 PG 1162  
 LOT 102  
 PIN# 1758-67-5029  
 ZONED: R & PUD  
 RESIDENTIAL

RODERICK BLACKWELL &  
 CHRISTINE BLACKWELL  
 DB 8789 PG 1894  
 LOT 101  
 BM 1892 PG 1162  
 PIN# 1758-67-6036  
 ZONED: R & PUD  
 RESIDENTIAL

CHARLES COLBERTSON &  
 TEREKA COLBERTSON  
 DB 17393 PG 896  
 LOT 98  
 BM 1892 PG 1162  
 PIN# 1758-67-4019  
 ZONED: R & PUD  
 RESIDENTIAL



SHEET: 2 of 4 PIN # 1758-67-1871

**Existing Conditions**  
**WALLBROOK - LOT 8**  
 PRELIMINARY SUBDIVISION PLAT  
 TOWN OF ROLESVILLE PROJECT No. PSP 24-XX  
 Town of Rolesville, Wake County, North Carolina

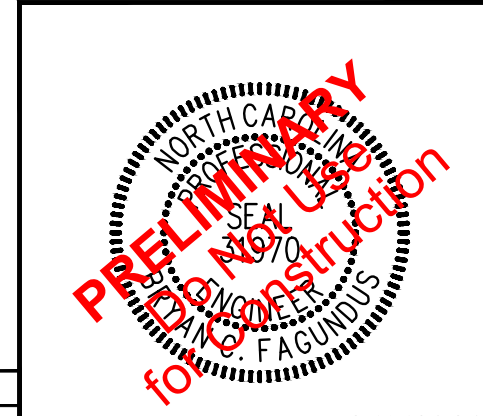
DEVELOPER: Crosland Southeast  
 ADDRESS: 121 West Trade Street, Ste 2550, Charlotte, NC 28202  
 PHONE: (704) 561-5200

SURVEY BY OTHERS (Johnson, Mirmiran & Thompson)	APPROVED: BCF
DRAWN: DLC	DATE: 9/3/2024
CHECKED: TGN	SCALE: 1" = 100'

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 925-A Conference Dr., Greenville, NC 27858  
 (252) 558-0888

#	DATE	DESCRIPTION
1	3-SEP-24	ISSUED FOR INITIAL REVIEW
REVISIONS:		

ACG Dwg No. D-1525-PP

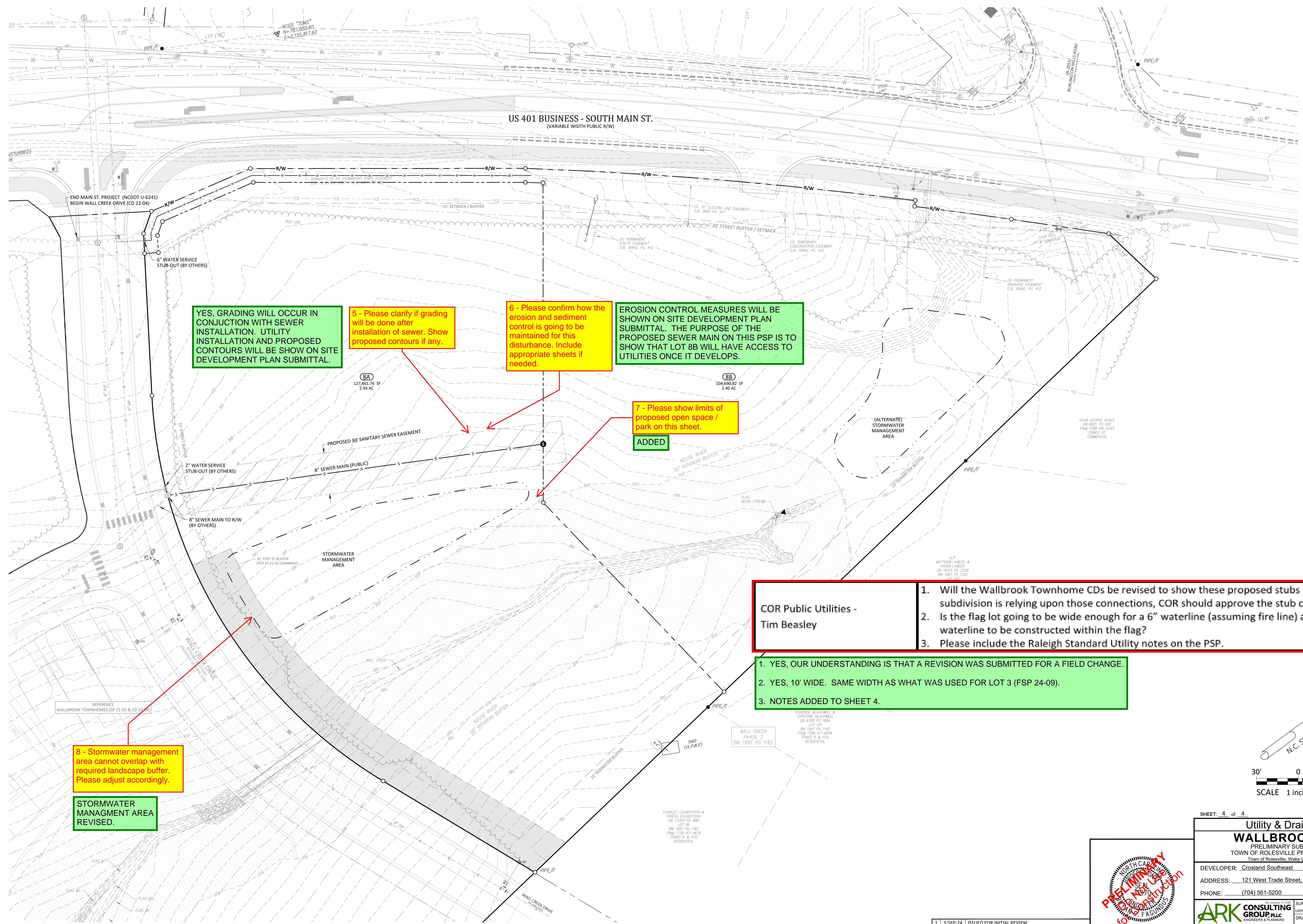


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YES, GRADING WILL OCCUR IN CONJUNCTION WITH SEWER INSTALLATION AND PROPOSED CONTOURS WILL BE SHOWN ON SITE DEVELOPMENT PLAN SUBMITTAL.

5 - Please clarify if grading will be done after installation of sewer. Show proposed contours if any.

6 - Please confirm how the erosion and sediment control is going to be maintained for this disturbance. Include appropriate sheets if needed.

EROSION CONTROL MEASURES WILL BE SHOWN ON SITE DEVELOPMENT PLAN SUBMITTAL. THE PURPOSE OF THE PROPOSED SEWER MAIN ON THIS PSP IS TO SHOW THAT LOT 8B WILL HAVE ACCESS TO UTILITIES ONCE IT DEVELOPS.

7 - Please show limits of proposed open space / park on this sheet.  
ADDED

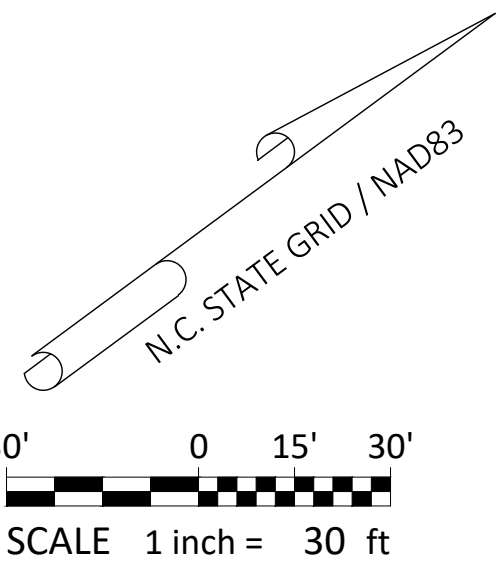
**COR Public Utilities - Tim Beasley**

- Will the Wallbrook Townhome CDs be revised to show these proposed stubs by others? If this subdivision is relying upon those connections, COR should approve the stub construction.
- Is the flag lot going to be wide enough for a 6" waterline (assuming fire line) and a domestic waterline to be constructed within the flag?
- Please include the Raleigh Standard Utility notes on the PSP.

- YES, OUR UNDERSTANDING IS THAT A REVISION WAS SUBMITTED FOR A FIELD CHANGE.
- YES, 10' WIDE. SAME WIDTH AS WHAT WAS USED FOR LOT 3 (FSP 24-09).
- NOTES ADDED TO SHEET 4.

8 - Stormwater management area cannot overlap with required landscape buffer. Please adjust accordingly.

STORMWATER MANAGEMENT AREA REVISED.



SHEET: 4 of 4 PIN # 1758-67-1871

**Utility & Drainage Plan**  
**WALLBROOK - LOT 8**  
 PRELIMINARY SUBDIVISION PLAT  
 TOWN OF ROLESVILLE PROJECT No. PSP 24-XX  
 Town of Rolesville, Wake County, North Carolina

DEVELOPER: Crosland Southeast  
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 SCALE: 1" = 100'

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REVISIONS:		



9/2/2024

ACG Dwg No. D-1525-PP