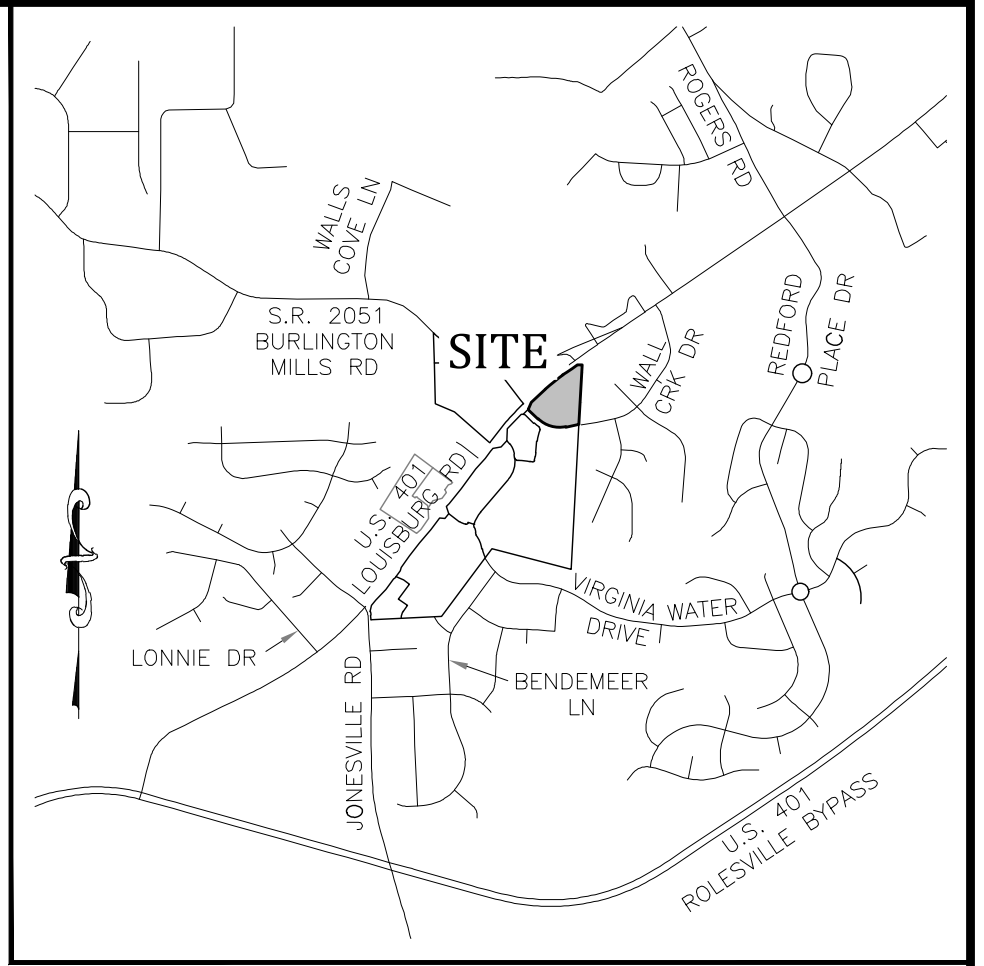


WALLBROOK - LOT 8

PRELIMINARY SUBDIVISION PLAT

Main Street and Wall Creek Drive, Town of Rolesville, Wake County, North Carolina

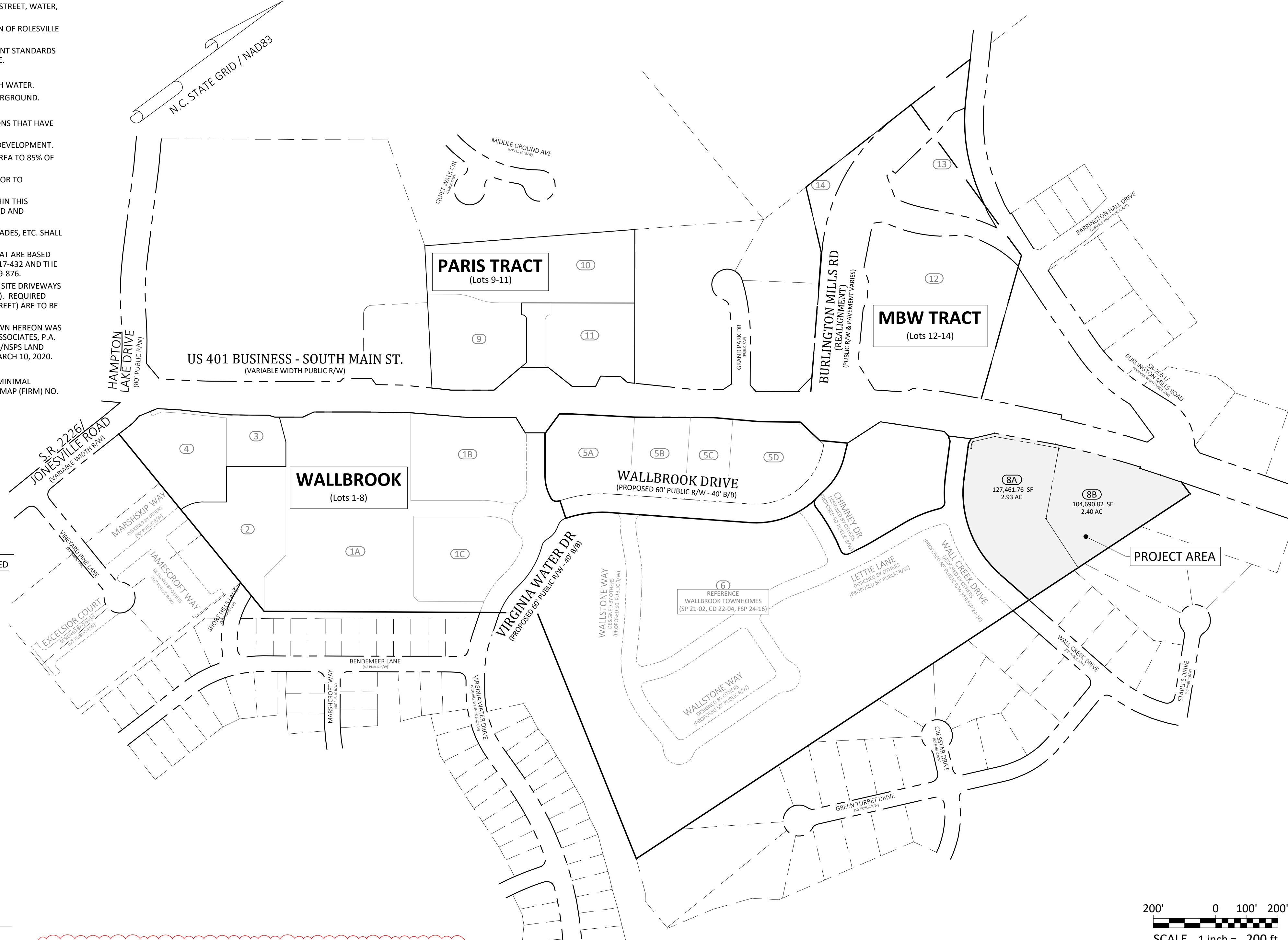
Project No. PSP 24-06



Vicinity Map
NTS

General Notes

- CONSTRUCTION PLAN APPROVAL FROM TOWN OF ROLESVILLE AND RALEIGH WATER SHALL BE OBTAINED PRIOR TO CONSTRUCTION OF ANY STREET, WATER, AND/OR SANITARY SEWER AND STORM DRAINAGE SYSTEMS.
- ALL REQUIRED IMPROVEMENTS SHALL CONFORM TO THE TOWN OF ROLESVILLE AND RALEIGH WATER STANDARD DESIGNS AND DETAILS.
- ALL LOTS SHALL EQUAL OR EXCEED THE MINIMUM DEVELOPMENT STANDARDS OF THE TOWN OF ROLESVILLE LAND DEVELOPMENT ORDINANCE.
- ELECTRIC SERVICE PROVIDED BY WAKE ELECTRIC.
- WATER AND SANITARY SEWER SERVICE IS PROVIDED BY RALEIGH WATER.
- ELECTRIC AND TELEPHONE UTILITIES SHALL BE INSTALLED UNDERGROUND.
- STREET LIGHTS - N/A
- DEPRESS CURBS FOR HANDICAP RAMPS AT STREET INTERSECTIONS THAT HAVE SIDEWALKS.
- EROSION CONTROL PLAN APPROVAL REQUIRED PRIOR TO SITE DEVELOPMENT.
- STORMWATER MANAGEMENT PLAN WILL LIMIT IMPERVIOUS AREA TO 85% OF CUMULATIVE AREA OF LOT 8.
- HYDRAULIC ANALYSIS OF THE WATER MAINS ARE REQUIRED PRIOR TO CONSTRUCTION.
- NO SEWER SERVICES SHALL BE CONNECTED TO BUILDINGS WITHIN THIS PROJECT, UNTIL ALL MAINS AND SERVICES HAVE BEEN INSTALLED AND ACCEPTED FOR MAINTENANCE BY RALEIGH WATER.
- STORM DRAIN PIPE SIZES ARE APPROXIMATE. FINAL SIZING, GRADES, ETC. SHALL BE SUBMITTED WITH CONSTRUCTION PLANS.
- JURISDICTIONAL WETLANDS AND STREAMS SHOWN ON THIS PLAT ARE BASED UPON NC DWR STREAM DETERMINATIONS NBRRO #17-431 & #17-432 AND THE US ARMY CORP OF ENGINEERS SAW-2019-00873 AND SAW-2019-876.
- NCDOT DRIVEWAY PERMITS ARE REQUIRED FOR ALL PROPOSED SITE DRIVEWAYS AND STREET CONNECTIONS TO US 401 BUSINESS (MAIN STREET). REQUIRED ROADWAY IMPROVEMENTS ALONG US 401 BUSINESS (MAIN STREET) ARE TO BE CONSTRUCTED AS PART OF NCDOT U-6241.
- BOUNDARY AND TOPOGRAPHICAL SURVEY INFORMATION SHOWN HEREON WAS TAKEN FROM A SURVEY PERFORMED BY GARY S. MILLER AND ASSOCIATES, P.A. ENTITLED JOHNSON, MIRMIRAN & THOMPSON ENTITLED "ALTA/NSPS LAND TITLE SURVEY PREPARED FOR C4 INVESTMENTS, LLC" DATED MARCH 10, 2020.
- ELEVATIONS SHOWN ARE BASED ON NAVD 88 DATUM.
- THIS PROPERTY IS LOCATED WITHIN FLOOD ZONE 'X', AREA OF MINIMAL FLOODING, AS SHOWN ON NATIONAL FLOOD INSURANCE RATE MAP (FIRM) NO. 3720175800K, PANEL 1758 EFFECTIVE DATE 7/19/2022.



Legend

- | | |
|-------------------------------------|-----------------------------------|
| EXISTING | PROPOSED |
| ○ = FOUND MONUMENT AS NOTED | ○ = SET IRON PIN |
| △ = NCGS MONUMENT | △ = DIMENSION POINT (NOTHING SET) |
| ⋄ = PROPERTY LINE | R/W = RIGHT OF WAY |
| C&G = CURB AND GUTTER | C&T = CABLE TV PEDESTAL |
| DI = DROP INLET | EM = ELECTRIC METER |
| F/O = FIBER OPTIC | FH = FIRE HYDRANT |
| GV = GAS VALVE | HB = HAND BOX |
| LP = LIGHT POLE | PP = POWER POLE |
| — = GUY WIRE | RCP = REINFORCED CONCRETE PIPE |
| S.F. = SQUARE FEET (AREA) | SIGN = SIGN |
| — = TRAFFIC SIGNAL POLE | SM = SANITARY SEWER MANHOLE |
| — = SANITARY SEWER FORCE MAIN VALVE | SDM = STORM DRAIN MANHOLE |
| — = TELEPHONE PEDESTAL | TB = TRAFFIC BOX |
| — = WATER BOX | WM = WATER METER |
| — = WATER MANHOLE | WMH = WATER VALVE |
| — = WELL | X = PEDESTRIAN X-WALK POLE |
| — = ELECTRIC LINE | — = SANITARY SEWER FORCE MAIN |
| — = FIBER OPTIC LINE | — = GAS LINE |
| — = OVERHEAD ELECTRIC LINE | — = SANITARY SEWER LINE |
| — = TELEPHONE LINE | — = CABLE TV LINE |
| — = WATER LINE | — = FIRE LINE |
| — = 8" WATER LINE | — = 8" W |
| — = 12" WATER LINE | — = 12" W |
| — = TREELINE | — = MAJOR CONTOUR (5') |
| — = RIPARIAN BUFFER | — = MINOR CONTOUR (1') |
| — = OPEN SPACE | |

NOTE: 1. THE DEVELOPERS OF LOT 8 ARE PROPOSING TWO DEVELOPABLE LOTS FOR BUILDING OR SALE. THE PURPOSE OF THIS MAJOR PRELIMINARY SUBDIVISION PLAT IS TO ESTABLISH THAT LOTS 8A AND 8B ARE IN COMPLIANCE WITH THE RULES SET FORTH IN SECTION 9 OF THE TOWN OF ROLESVILLE'S LAND DEVELOPMENT ORDINANCE. PURSUANT TO SECTION 9.1 THIS PRELIMINARY SUBDIVISION PLAT IS REQUIRED AND SHALL BE CONSIDERED A MAJOR SUBDIVISION.

SPECIAL USE PERMIT (SUP 20-02) APPLIES TO LOTS 1(A,B, & C) - 8

- PRESENTED TO TOWN BOARD AS AGENDA ITEM C.1 ON 2-MAR-2021. APPROVED SUP IS RECORDED AS BOOK 18451 PG 470
- TOWNHOMES LIMITED TO 155 UNITS
- PRIOR TO ISSUANCE OF FIRST CERTIFICATE OF OCCUPANCY FOR THE FIRST RESIDENTIAL UNIT, WALL CREEK DRIVE EXTENSION MUST BE COMPLETE
- NO LATER THAN 6 MONTHS FOLLOWING COMPLETION OF THE LAPP GRANT PROJECT IMPROVEMENTS, DEVELOPER WILL COMPLETE BOTH 1) THE EXTENSION OF VIRGINIA WATER DRIVE TO MAIN STREET AND 2) THE EXTENSION OF BURLINGTON MILLS ROAD (AS REALIGNED) FROM MAIN ST TO VIRGINIA WATER DRIVE. (THIS PORTION OF BURLINGTON MILLS HAS BEEN RENAMED TO WALLBROOK DRIVE)
- DEVELOPER WILL COMPLETE TRAFFIC IMPROVEMENTS AS SET FORTH IN OCTOBER 13, 2020 MEMO BY STANTEC.
- AREAS EAST OF WALL CREEK RIPARIAN BUFFER SHALL NOT BE DEVELOPED WITH STRUCTURES OR IMPROVEMENTS.

TOWN OF ROLESVILLE DEVELOPMENT APPLICATIONS

- | | |
|---------------------|--|
| SUP 20-02 | SPECIAL USE PERMIT |
| ANX 21-06 | ANNEXATION |
| PR 21-04 | PRELIMINARY SUBDIVISION PLAT (TOWN BOARD APPROVED) |
| PR 21-04 REV | PRELIMINARY SUBDIVISION PLAT (REVISED) |
| FSP 23-09 | INTERMEDIATE SUBDIVISION PLAT |
| PSP 24-06 | PRELIMINARY SUBDIVISION PLAT (CURRENT APPLICATION) |



- Final Drawing - Issued for Permit Review Purposes Only

2	1-NOV-24	REVISED PER REVIEW COMMENTS
1	3-SEP-24	ISSUED FOR INITIAL REVIEW
#	DATE	DESCRIPTION
REVISIONS:		



Survey Note:

BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON WAS PREPARED BY JOHNSON, MIRMIRAN & THOMPSON, AS SHOWN ON DRAWING ENTITLED "ALTA/NSPS LAND TITLE SURVEY FOR WALLBROOK LANDCO, LLC", DATED MARCH 25, 2020, ATTACHED TO THIS DRAWING SET FOR REFERENCE.

Sheet Index

#	Title
1	Cover / Overall Site
2	Existing Conditions
3	Lot Layout
4	Utility & Drainage Plan

REF Survey - Johnson, Mirmiran & Thompson (3 Sheets)
PR 21-04 REVISED (6 Sheets)

Cover / Overall Site
Site Plan (Wallbrook)
Easement Plan (Wallbrook)
Utility Plan (Wallbrook)
Grading/Drainage Plan (Wallbrook)
Tree Preservation Plan

Engineer
Ark Consulting Group, PLLC
925-A Conference Drive
Greenville, NC 27858
(252) 558-0888
Contact: Bryan Fagundus, PE
bryan@arkconsultinggroup.com

Owner/Developer
Wallbrook Landco, LLC
3 Keel St, Ste 2
Wrightsville Beach, NC 28480
(704) 621-6430
Contact: Austin Williams
awilliams@csere.com

FEMA FIRM MAP: THIS PROPERTY IS LOCATED IN FLOOD ZONE 'X', AREA OF MINIMAL FLOODING, AS SHOWN ON NATIONAL FLOOD INSURANCE RATE MAP (FIRM) 3720175800K EFFECTIVE JULY 19, 2022.

REFERENCES: DB 18103, PG 1563
BM 2023, PG 1602
BM 1995, PG 2034

Site Data

PIN NUMBERS:	1758-67-1871
REAL ESTATE ID:	0509438
CURRENT ZONING:	GC-CZ
ACREAGE IN DEVELOPMENT:	5.33± ACRES
ACREAGE IN TOTAL TRACT:	5.33± ACRES
NUMBER OF LOTS CREATED:	2
LINEAR FEET IN STREETS:	N/A
WATERSHED:	Lower Neuse
RIVER BASIN:	Neuse
CURRENT USE:	VACANT / WOODED
PROPOSED USE(S):	REFER TO SUP 20-02 FOR PERMITTED USES
CURRENT IMPERVIOUS:	0 SF
PROPOSED IMPERVIOUS:	MAX 85% OF TOTAL LOT AREA - 232,152.6 SF x 0.85 = 197,329.7 SF (PER MASTER STORMWATER PERMIT - WAKE CO. SWF 105882-2023)
DEVELOPMENT STANDARDS:	LDO
OPEN SPACE CALCULATIONS:	CALCULATIONS APPROVED VIA PR 21-04 (TOWN BOARD APPROVED) AND PR 21-04 REVISED
PARKING CALCULATIONS:	PARKING CALCS TO BE SHOWN ON SUBSEQUENT SITE DEVELOPMENT PLAN(S)
TREE PRESERVATION:	N/A (REFER TO TREE PRESERVATION PLAN - APPROVED VIA PR 21-04 REVISED)
AT THE TIME OF FINAL SUBDIVISION PLAT, ALLOCATION OF IMPERVIOUS PER LOT SHALL BE DETERMINED AND EXPRESSED, AND THEN REFLECTED ON SUBSEQUENT SITE DEVELOPMENT PLANS FOR EACH LOT.	
LOT 8 (PR 21-04 REVISED) 0.25 AC = GREENWAY (MEDIUM - 10,743 SF) 0.22 AC = LINEAR PARK (MEDIUM) - RIPARIAN AREA) 0.60 AC = LINEAR PARK (MEDIUM - 26,261 SF)	

SHEET: 1 of 4 PIN # 1758-67-1871

Cover / Overall Site

WALLBROOK - LOT 8

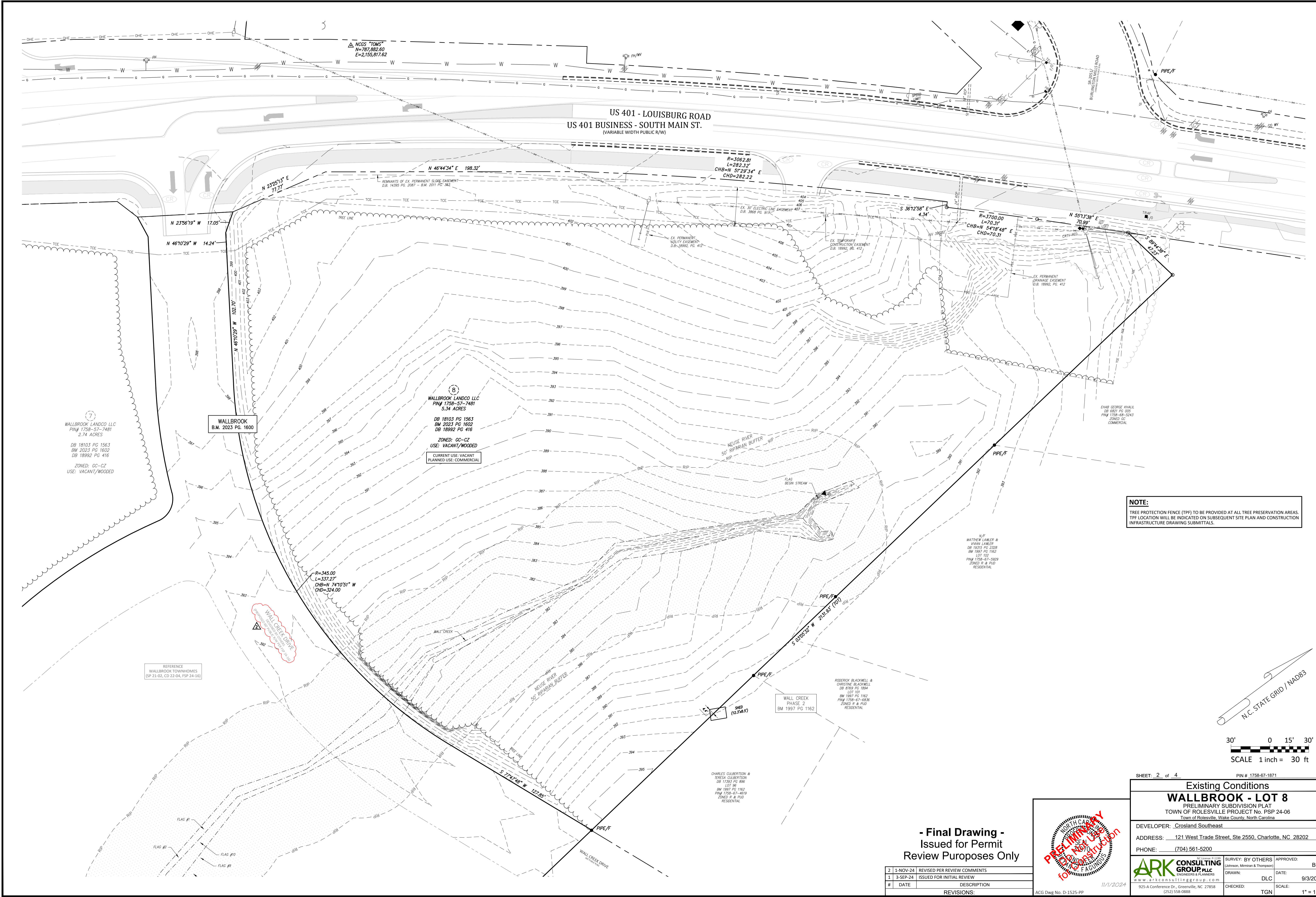
PRELIMINARY SUBDIVISION PLAT
TOWN OF ROLESVILLE PROJECT NO. PSP 24-06

DEVELOPER: Crosland Southeast
ADDRESS: 121 West Trade Street, Ste 2550, Charlotte, NC 28202
PHONE: (704) 561-5200

DEVELOPER: Ark Consulting Group, PLLC
925-A Conference Dr., Greenville, NC, 27858
(252) 558-0888

DATE: 9/3/2024
SCALE: 1" = 200'

BY: BCF
DATE: 9/3/2024
SCALE: 1" = 200'



NOTE:
 TREE PROTECTION FENCE (TPF) TO BE PROVIDED AT ALL TREE PRESERVATION AREAS. TPF LOCATION WILL BE INDICATED ON SUBSEQUENT SITE PLAN AND CONSTRUCTION INFRASTRUCTURE DRAWING SUBMITTALS.

7
 WALLBROOK LANDCO LLC
 PIN# 1758-57-7481
 2.74 ACRES
 DB 18103 PG 1563
 BM 2023 PG 1602
 DB 18992 PG 416
 ZONED: GC-CZ
 USE: VACANT/WOODED

WALLBROOK
 B.M. 2023 PG 1600

8
 WALLBROOK LANDCO LLC
 PIN# 1758-57-7481
 5.34 ACRES
 DB 18103 PG 1563
 BM 2023 PG 1602
 DB 18992 PG 416
 ZONED: GC-CZ
 USE: VACANT/WOODED
 CURRENT USE: VACANT
 PLANNED USE: COMMERCIAL

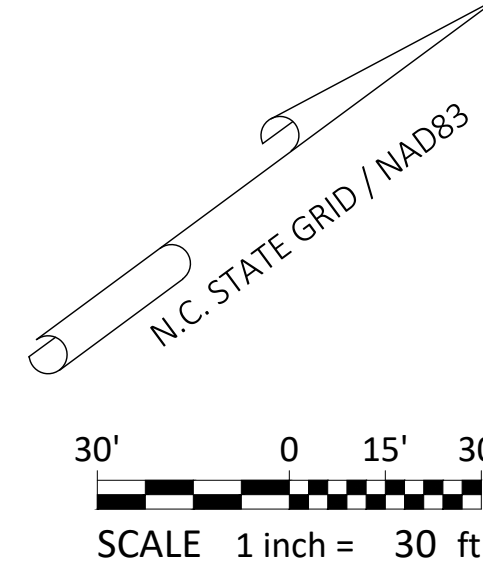
R=345.00
 L=337.27'
 CHB=N 7410'51" W
 CHD=324.00

REFERENCE
 WALLBROOK TOWNHOMES
 (SP 21-02, CD 22-04, FSP 24-16)

CHARLES COLBERTSON &
 TEREKA COLBERTSON
 DB 17593 PG 896
 LOT 96
 BM 1899 PG 1162
 PIN# 1758-67-6019
 ZONED: R & PUD
 RESIDENTIAL

RODERICK BLACKWELL &
 CHRISTINE BLACKWELL
 DB 8789 PG 1894
 LOT 101
 BM 1899 PG 1162
 PIN# 1758-67-6036
 ZONED: R & PUD
 RESIDENTIAL

N/F
 MATTHEW LARKER &
 WYANN LARKER
 DB 18115 PG 2328
 BM 1899 PG 1162
 LOT 102
 PIN# 1758-67-5029
 ZONED: R & PUD
 RESIDENTIAL



**- Final Drawing -
 Issued for Permit
 Review Purposes Only**

#	DATE	DESCRIPTION
2	1-NOV-24	REVISED PER REVIEW COMMENTS
1	3-SEP-24	ISSUED FOR INITIAL REVIEW
#	DATE	DESCRIPTION



SHEET: 2 of 4
 PIN # 1758-67-1871

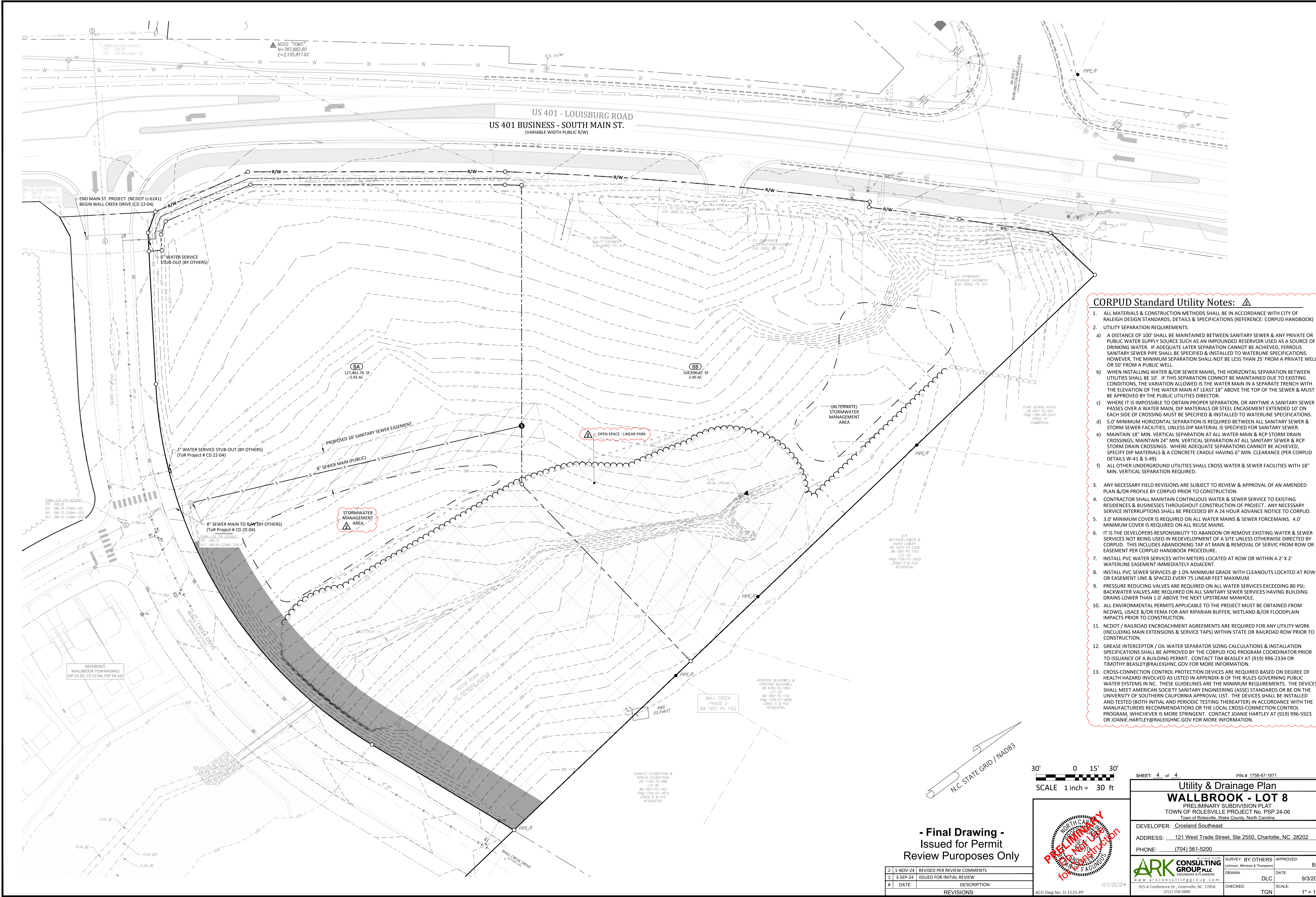
Existing Conditions
WALLBROOK - LOT 8
 PRELIMINARY SUBDIVISION PLAT
 TOWN OF ROLESVILLE PROJECT No. PSP 24-06
 Town of Rolesville, Wake County, North Carolina

DEVELOPER: Crosland Southeast
 ADDRESS: 121 West Trade Street, Ste 2550, Charlotte, NC 28202
 PHONE: (704) 561-5200

SURVEY BY OTHERS	APPROVED:	BCF
DRAWN: DLG	DATE:	9/3/2024
CHECKED: TGN	SCALE:	1" = 100'

ARK CONSULTING GROUP, P.L.L.C.
 ENGINEERS & PLANNERS
 www.arkconsultinggroup.com
 925-A Conference Dr., Greenville, NC 27858
 (252) 558-0888

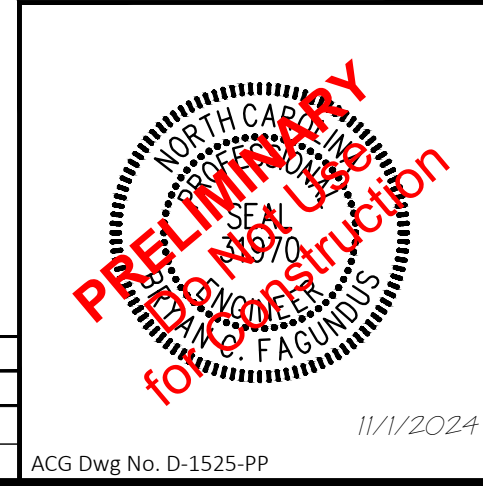
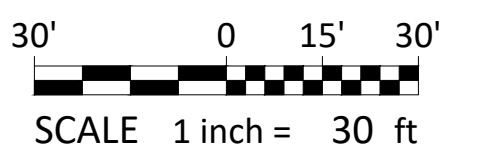
11/1/2024
 ACG Dwg No. D-1525-PP



- CORPUD Standard Utility Notes:**
- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK)
 - UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATER SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATER MAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATER MAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
 - ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY CORPUD PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO CORPUD.
 - 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
 - IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY CORPUD. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
 - INSTALL PVC SEWER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2' X 2' WATERLINE EASEMENT IMMEDIATELY ADJACENT.
 - INSTALL PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
 - PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
 - ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS PRIOR TO CONSTRUCTION.
 - NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
 - GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
 - CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NC. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

**- Final Drawing -
Issued for Permit
Review Purposes Only**

#	DATE	DESCRIPTION
2	1-NOV-24	REVISED PER REVIEW COMMENTS
1	3-SEP-24	ISSUED FOR INITIAL REVIEW
#	DATE	DESCRIPTION
REVISIONS:		



SHEET: 4 of 4 PIN # 1758-67-1871

Utility & Drainage Plan

WALLBROOK - LOT 8

PRELIMINARY SUBDIVISION PLAT
TOWN OF ROLESVILLE PROJECT No. PSP 24-06
Town of Rolesville, Wake County, North Carolina

DEVELOPER: Crosland Southeast

ADDRESS: 121 West Trade Street, Ste 2550, Charlotte, NC 28202

PHONE: (704) 561-5200

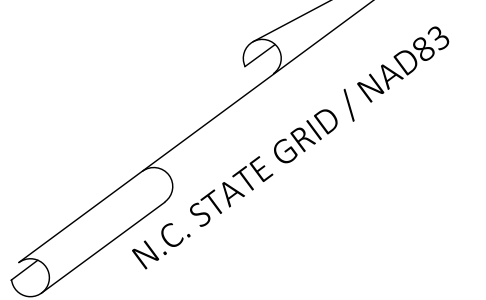
ARK CONSULTING GROUP, LLC
ENGINEERS & PLANNERS
www.arkconsultinggroup.com
925-A Conference Dr., Greenville, NC 27838
(252) 558-0888

SURVEY: BY OTHERS (Johnson, Meriman & Thompson)

APPROVED: BCF

DRAWN: DLG DATE: 9/3/2024

CHECKED: TGN SCALE: 1" = 100'



CHARLES CLARKE &
TERESA CLARKE
100 17501 PG 896
LOT 101
BM 1997 PG 1162
PIN 1758-67-6856
ZONED R & PUD
RESIDENTIAL

ROBERT BLACKWELL &
CHRISTINE BLACKWELL
60 2700 PG 1094
LOT 101
BM 1997 PG 1162
PIN 1758-67-6856
ZONED R & PUD
RESIDENTIAL

1/2
MATTHEW LAMLER &
WYAN LAMLER
60 1835 PG 2328
BM 1997 PG 1162
LOT 101
PIN 1758-67-5859
ZONED R & PUD
RESIDENTIAL

NCOS "TOMS"
N=787,882.60
E=2,135,817.62

US 401 - LOUISBURG ROAD
US 401 BUSINESS - SOUTH MAIN ST.
(VARIABLE WIDTH PUBLIC R/W)

8A
127,461.76 SF
2.93 AC

8B
104,699.82 SF
2.40 AC

STORMWATER
MANAGEMENT
AREA

(ALTERNATE)
STORMWATER
MANAGEMENT
AREA

EMAR GEORGE WHALE
60 4827 PG 502
PIN 1758-68-5243
ZONED CC
COMMERCIAL

REFERENCE
WALLBROOK TOWNHOMES
(SP 21-02, CD 22-04, PSP 24-36)

8" SEWER MAIN TO R/W (BY OTHERS)
(ToR Project # CD 22-04)

2" WATER SERVICE STUB-OUT (BY OTHERS)
(ToR Project # CD 22-04)

6" WATER SERVICE
STUB-OUT (BY OTHERS)

END MAIN ST. PROJECT (NCDOT U-6241)
BEGIN WALL CREEK DRIVE (CD 22-04)