

NC-CZ LAND USE CHART					
UDO SECTION	REQUIRED		PROPOSED		
	SF	AC	SF	AC	
TOTAL AREA			2,355,725	54.08	
< 75% RESIDENTIAL USE REQUIREMENT	6.2.1.D.2	1,649,008	37.86 % (<75%)	1,072,062	24.61 (45.5%)
15% COMMERCIAL USE REQUIREMENT	3.4.3.D.1	353,359	8.11% (15%)	369,542	8.48 (15.7%)
15% OPEN SPACE REQUIREMENT	6.2.1.D.1	353,359	8.11% (15%)	887,346	20.37 (37.7%)

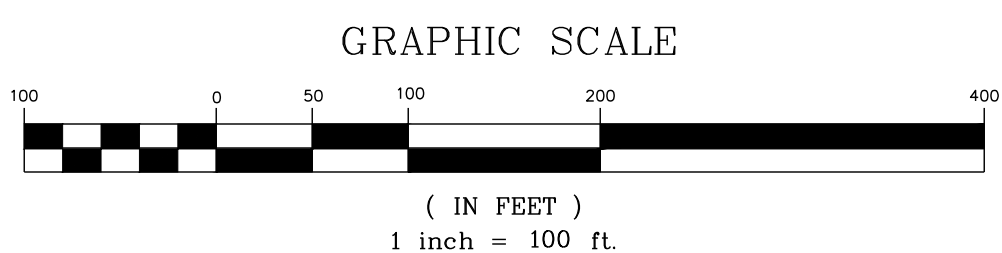
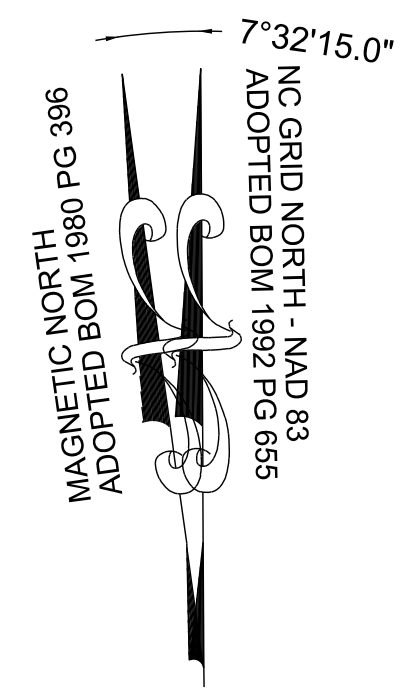
NC-CZ OPEN SPACE BREAKDOWN							
TOTAL PROPERTY AREA	SECTION 6.2.1.D.2	PHASE 4	PHASE 5	PHASE 6	ACTUAL		
					SF	AC	
					797,972	18.32	
					727,802	16.71	
					829,951	19.05	
					2,355,725	54.08	
TOTAL NC-CZ AREA	SECTION 6.2.1.D.2	REQUIRED		PROPOSED			
		PHASE 4	PHASE 5	PHASE 6	TOTAL	SF	AC
		119,696	109,170	124,493	353,359	2,751	2.51
		2.75	2.51	2.86	8.11 (15%)	344,530	7.91
					198,599	4.56	
					887,346	20.37 (37.7%)	

**LEGEND:**

- MASTER PLAN BOUNDARY
- EXISTING ADJOINER PROPERTY LINE
- EXISTING INTERMITTENT STREAM
- EXISTING PERENNIAL STREAM
- EXISTING BUFFER ZONE 1
- EXISTING BUFFER ZONE 2
- 500YR FLOOD LINE
- 100YR FLOOD LINE
- OPEN SPACE
- COMMERCIAL ZONE
- EXISTING WETLAND
- WTLD
- WTLD

**NOTES:**

- DETAILED DRAWINGS OF EACH AMENITY, THAT SHOWS COMPLIANCE WITH 6.2.1.G.5 AND 6.2.1.G.6, WILL BE PROVIDED IN A SUBSEQUENT SITE PLAN SUBMITTAL
- DETAILED DRAWINGS OF THE COMMERCIAL AREA WILL BE PROVIDED IN A SUBSEQUENT SITE PLAN SUBMITTAL



NO.	REVISIONS	DATE	BY
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2			

**STRONGROCK ENGINEERING GROUP**

STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166  
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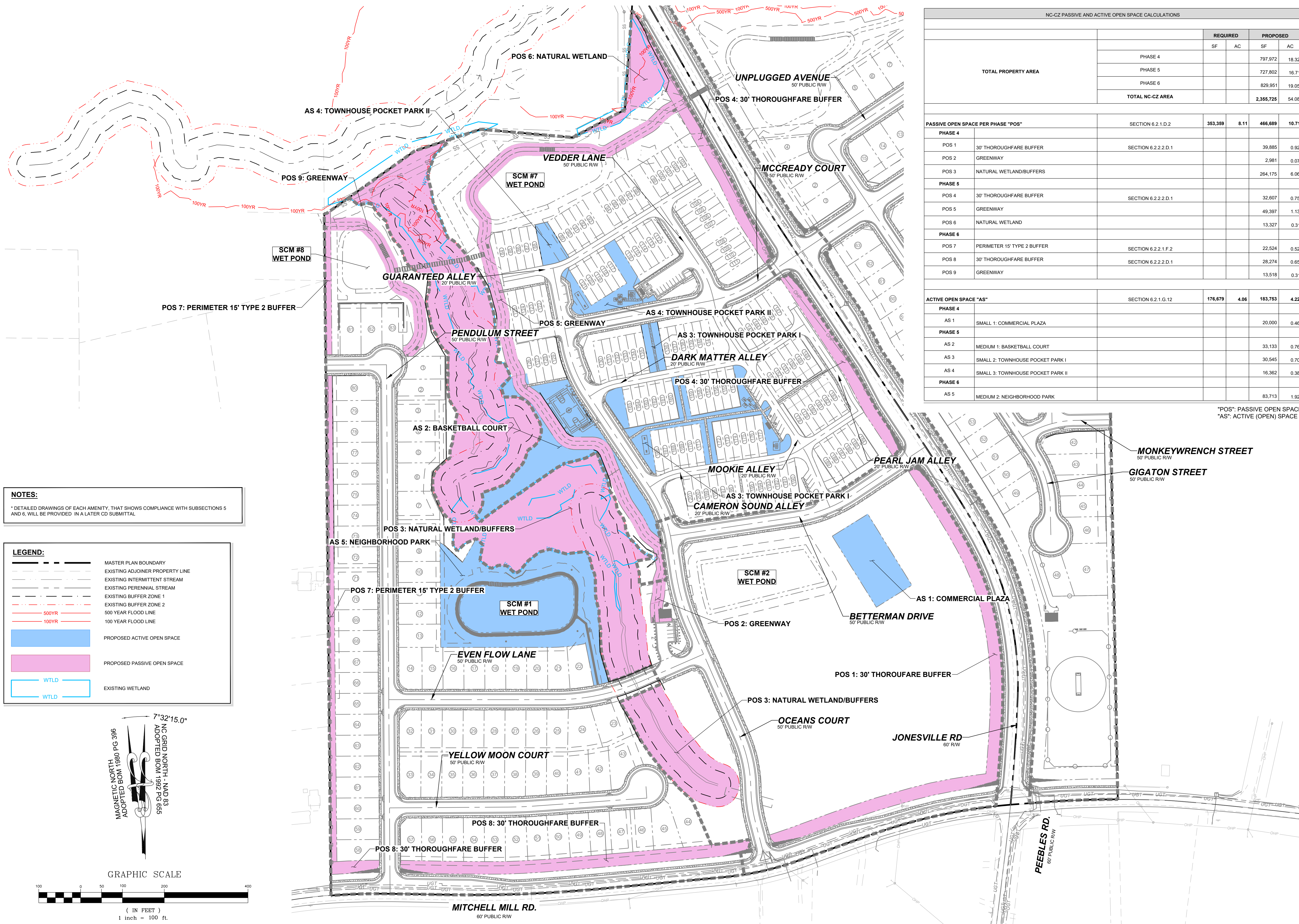
STRONG ROCK PROJECT P-21-03  
 NOT FOR CONSTRUCTION  
 SCALE AS SHOWN  
 DESIGNED BY JWL  
 DRAWN BY SRG  
 CHECKED BY JWL

RESERVE @ MITCHELL MILL  
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
 CONSTRUCTION PLANS  
 OVERALL OPEN SPACE NC-CZ

DRAWING SHEET  
**C-7.0**

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NC-CZ PASSIVE AND ACTIVE OPEN SPACE CALCULATIONS					
		REQUIRED		PROPOSED	
		SF	AC	SF	AC
TOTAL PROPERTY AREA					
	PHASE 4			797,972	18.32
	PHASE 5			727,802	16.71
	PHASE 6			829,951	19.05
	<b>TOTAL NC-CZ AREA</b>			<b>2,355,725</b>	<b>54.08</b>

PASSIVE OPEN SPACE PER PHASE "POS"						
PHASE	POS	SECTION	REQUIRED SF	REQUIRED AC	PROPOSED SF	PROPOSED AC
PHASE 4						
	POS 1	SECTION 6.2.2.2.D.1			39,885	0.92
	POS 2				2,981	0.07
	POS 3				264,175	6.06
PHASE 5						
	POS 4	SECTION 6.2.2.2.D.1			32,607	0.75
	POS 5				49,397	1.13
	POS 6				13,327	0.31
PHASE 6						
	POS 7	SECTION 6.2.2.1.F.2			22,524	0.52
	POS 8	SECTION 6.2.2.2.D.1			28,274	0.65
	POS 9				13,518	0.31

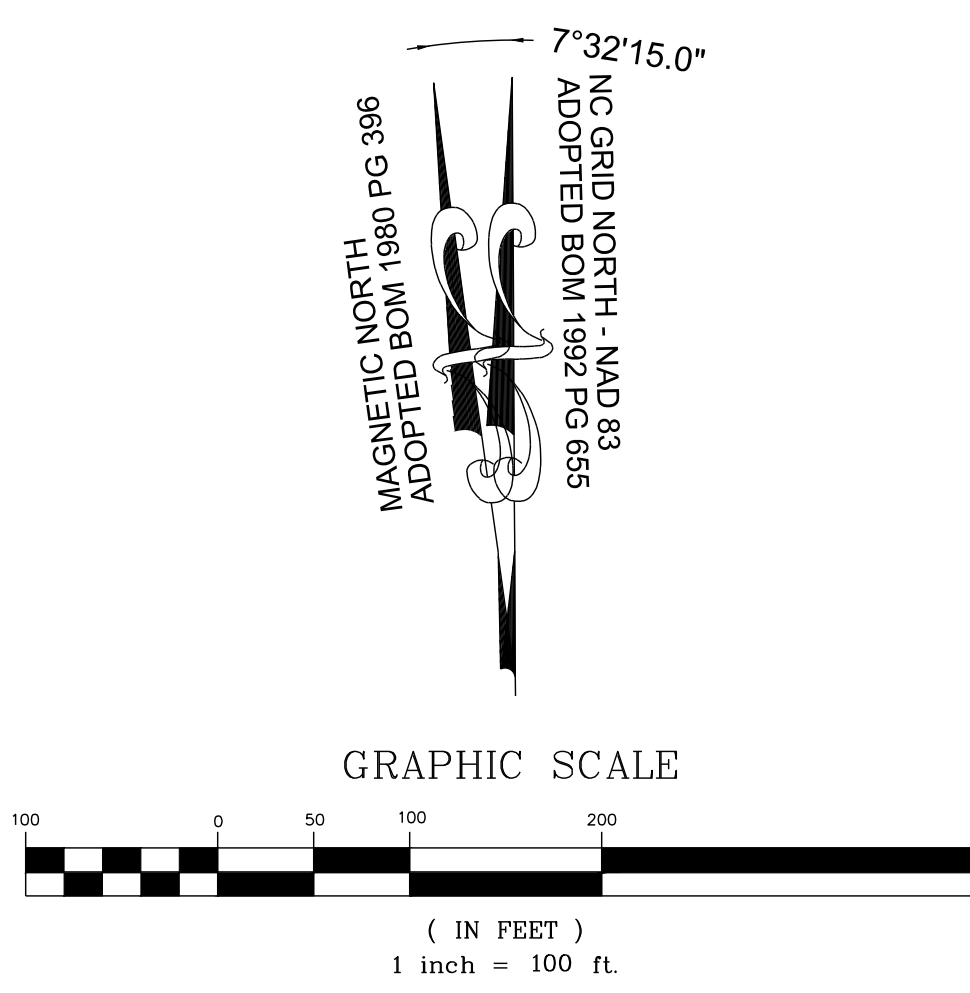
ACTIVE OPEN SPACE "AS"						
PHASE	AS	SECTION	REQUIRED SF	REQUIRED AC	PROPOSED SF	PROPOSED AC
PHASE 4						
	AS 1	SECTION 6.2.1.G.12			20,000	0.46
PHASE 5						
	AS 2				33,133	0.76
	AS 3				30,545	0.70
	AS 4				16,362	0.38
PHASE 6						
	AS 5				83,713	1.92

\*POS: PASSIVE OPEN SPACE  
\*AS: ACTIVE (OPEN) SPACE

**NOTES:**  
\* DETAILED DRAWINGS OF EACH AMENITY, THAT SHOWS COMPLIANCE WITH SUBSECTIONS 5 AND 6, WILL BE PROVIDED IN A LATER CD SUBMITTAL

**LEGEND:**

	MASTER PLAN BOUNDARY
	EXISTING ADJOINER PROPERTY LINE
	EXISTING INTERMITTENT STREAM
	EXISTING PERENNIAL STREAM
	EXISTING BUFFER ZONE 1
	EXISTING BUFFER ZONE 2
	500 YEAR FLOOD LINE
	100 YEAR FLOOD LINE
	PROPOSED ACTIVE OPEN SPACE
	PROPOSED PASSIVE OPEN SPACE
	EXISTING WETLAND



STRONG ROCK PROJECT PSP-24-03	NOT FOR CONSTRUCTION	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
	AS SHOWN	JWL	SRG		

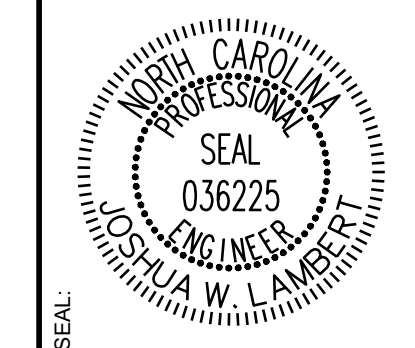
**STRONG ROCK ENGINEERING GROUP**  
STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2766  
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**RESERVE @ MITCHELL MILL**  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
CONSTRUCTION PLANS  
PASSIVE & ACTIVE OPEN SPACE  
NC-CZ ZONE

DRAWING SHEET  
**C-7.1**

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**LEGEND:**

	MASTER PLAN BOUNDARY
	EXISTING ADJOINER PROPERTY LINE
	EXISTING INTERMITTENT STREAM
	EXISTING PERENNIAL STREAM
	EXISTING BUFFER ZONE 1
	EXISTING BUFFER ZONE 2
	500 YEAR FLOOD LINE
	100 YEAR FLOOD LINE
	OPEN SPACE CLUSTER OPTION
	WTLD
	EXISTING WETLAND

**RM-CZ LAND USE CHART**

UDO SECTION	PROPOSED	
	SF	AC
TOTAL AREA	3,685,612	84.61
40% OPTION REQUIREMENT	1,474,245	33.84 (40.0%)
PROPOSED OPEN SPACE	2,107,864	48.39 (57.2%)

**RM-CZ OPEN SPACE BREAKDOWN**

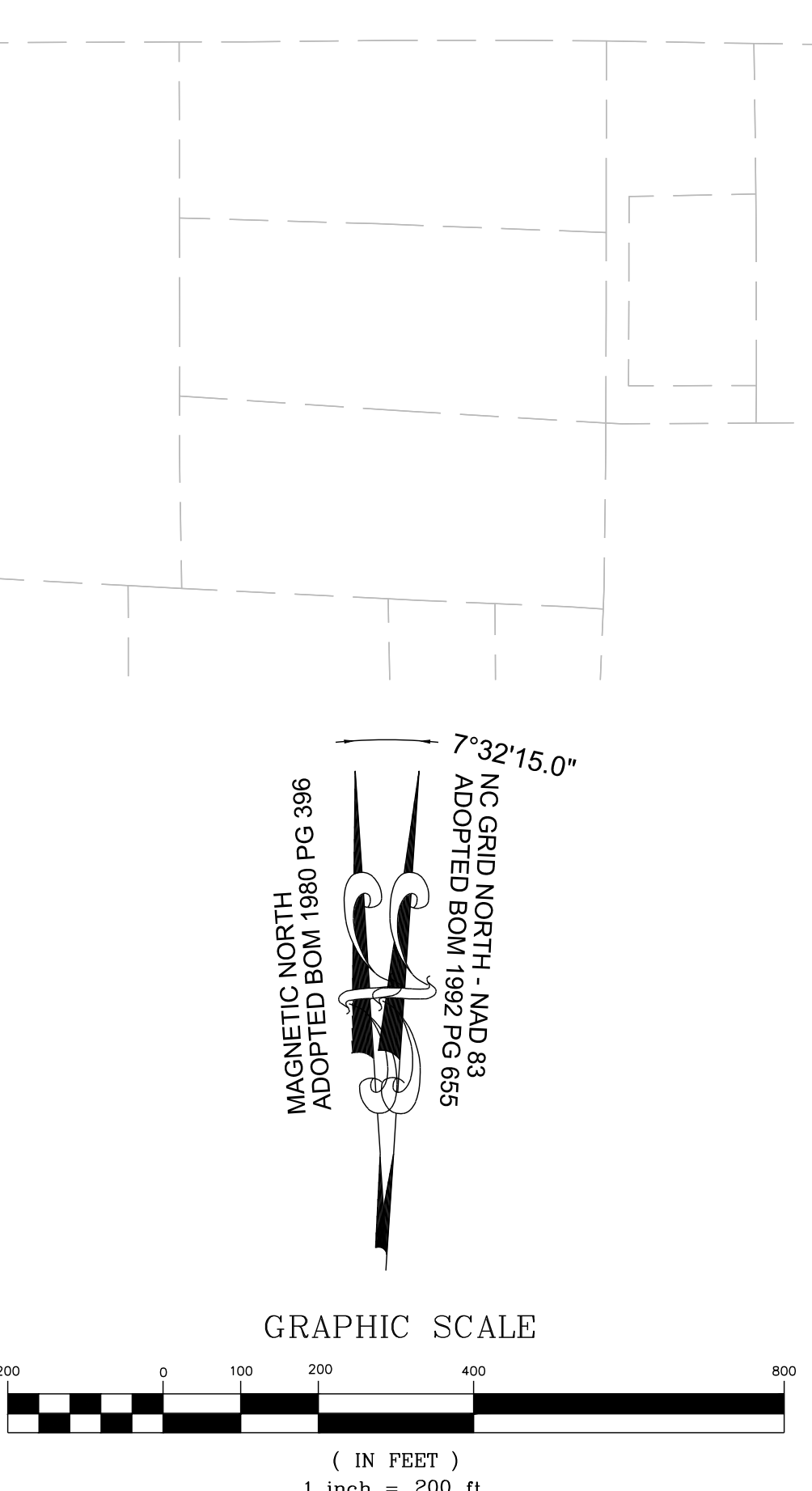
TOTAL PROPERTY AREA	PHASE	REQUIRED	ACTUAL	
			SF	AC
TOTAL RM-CZ AREA	PHASE 1	737,566	1,843,914	42.33
	PHASE 2	383,713	959,283	22.02
	PHASE 3	352,966	882,415	20.26
	TOTAL RM-CZ AREA	1,474,245	3,685,612	84.61

OPEN SPACE	UDO SECTION	PHASE	REQUIRED		PROPOSED	
			SF	AC	SF	AC
TOTAL RM-CZ AREA	SECTION 3.1.B.1	PHASE 1	737,566	16.93	1,360,054	31.22
		PHASE 2	383,713	8.81	442,983	10.17
		PHASE 3	352,966	8.10	304,827	7.00
		TOTAL	1,474,245	33.84 (40%)	2,107,864	48.39 (57.2%)

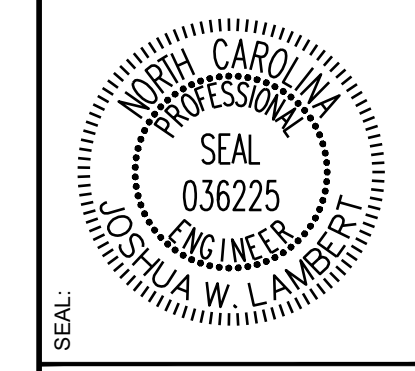
**NOTES:**

- DETAILED DRAWINGS OF EACH AMENITY, THAT SHOWS COMPLIANCE WITH SUBSECTIONS 5 AND 6, WILL BE PROVIDED IN A LATER CD SUBMITTAL
- ALL PROPOSED OPEN SPACE SHALL BE OWNED BY THE HOA
- IT IS INCLUDED AS A PORTION OF ALL THE THREE PHASES OF DEVELOPMENT YET AS OPEN SPACE IS NOT DEVELOPED DURING THE THAT SPECIFIC PHASE



GRO PEG ROAD  
60' PRIVATE RW  
RECORDED BOOK OF MAPS 1980 PAGE 396

NO.	REVISIONS	DATE	BY
1			
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**STRONGROCK**  
ENGINEERING GROUP

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STRONG ROCK PROJECT	STRONG ROCK PROJECT
PSP-24-03	PSP-24-03
NOT FOR CONSTRUCTION	NOT FOR CONSTRUCTION
SCALE AS SHOWN	SCALE AS SHOWN
DESIGNED BY JWL	DESIGNED BY JWL
DRAWN BY SRG	DRAWN BY SRG
CHECKED BY JWL	CHECKED BY JWL

RESERVE @ MITCHELL MILL  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
CONSTRUCTION PLANS  
OVERALL OPEN SPACE RM-CZ

DRAWING SHEET  
**C-7.2**

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RM-CZ PASSIVE AND ACTIVE OPEN SPACE CALCULATIONS						
	PHASE	REQUIRED			PROPOSED	
		SF	AC	PERCENT	SF	AC
TOTAL PROPERTY AREA	PHASE 1				1,843,914	42.33
	PHASE 2				959,283	22.02
	PHASE 3				882,415	20.26
	<b>TOTAL RM-CZ AREA</b>				<b>3,685,612</b>	<b>84.61</b>
<b>OPEN SPACE</b>						
	PASSIVE	6.2.1.D.1	442,273	10.15	12%	
	ACTIVE	6.2.1.G.12	221,173	5.08	6%	
<b>PASSIVE OPEN SPACE PER PHASE "POS"</b>						
PHASE 1						
POS 1	GREENWAY				26,891	0.62 (0.7%)
POS 2	NATURAL AREAS				1,017,551	23.36 (27.6%)
PHASE 2						
POS 3	GREENWAY				48,030	1.10 (1.3%)
POS 4	LAWN AND NATURAL AREA				39,881	0.92 (1.1%)
POS 5	LAWN AND NATURAL AREA				36,042	0.83 (1.0%)
PHASE 3						
POS 6	POLLINATOR GARDEN				79,675	1.83 (2.2%)
POS 7	PRIMITIVE TRAIL				67,570	1.55 (1.8%)
<b>TOTAL PROPOSED PASSIVE OPEN SPACE</b>	SECTION 6.2.1.D.1	<b>442,273</b>	<b>10.15</b>	<b>12%</b>	<b>1,315,640</b>	<b>30.20 (35.7%)</b>
<b>ACTIVE OPEN SPACE "AS"</b>						
PHASE 1						
AS 1	CRICKET PITCH				73,374	1.68 (2.0%)
AS 2	AMENITY CENTER				65,780	1.51 (1.8%)
PHASE 2						
AS 3	SMALL IPEMA PLAYGROUND				9,855	0.23 (0.3%)
AS 4	PARKOUR COURSE				74,829	1.72 (2.0%)
PHASE 3						
AS 5	SMALL IPEMA PLAYGROUND				8,742	0.20 (0.2%)
AS 6	BALLFIELD				45,842	1.05 (1.2%)
<b>TOTALS PHASES 1, 2 &amp; 3</b>	SECTION 6.2.1.G.12	<b>221,173</b>	<b>5.08</b>	<b>6%</b>	<b>278,421</b>	<b>6.39 (7.6%)</b>

\*POS\*: PASSIVE OPEN SPACE  
 \*AS\*: ACTIVE (OPEN) SPACE

**LEGEND:**

- MASTER PLAN BOUNDARY
- EXISTING ADJOINER PROPERTY LINE
- EXISTING INTERMITTENT STREAM
- EXISTING PERENNIAL STREAM
- EXISTING BUFFER ZONE 1
- EXISTING BUFFER ZONE 2
- 500 YEAR FLOOD LINE
- 100 YEAR FLOOD LINE
- PASSIVE OPEN SPACE
- ACTIVE OPEN SPACE
- WTLD --- EXISTING WETLAND

**NOTES:**

\* DETAILED DRAWINGS OF EACH AMENITY, THAT SHOWS COMPLIANCE WITH SUBSECTIONS 5 AND 6, WILL BE PROVIDED IN A LATER CD SUBMITTAL.

MAGNETIC NORTH  
 ADOPTED BOM 1980 PG 396

7°32'15.0"

NC GRID NORTH - NAD 83  
 ADOPTED BOM 1992 PG 695

GRAPHIC SCALE

( IN FEET )  
 1 inch = 200 ft.



NO.	REVISIONS	DATE	BY
1			
2			

SEAL: NORTH CAROLINA PROFESSIONAL ENGINEER SEAL 036225 JUSTIN W. LAMBERT

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STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
PSP-24-03		AS SHOWN	JWL	SRG	JWL

RESERVE @ MITCHELL MILL  
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

CONSTRUCTION PLANS

PASSIVE & ACTIVE OPEN SPACE  
 RM-CZ ZONE

DRAWING SHEET

**C-7.3**

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THIS PLANSET AND ANY ASSOCIATED DOCUMENTS ARE PRELIMINARY AND NOT AUTHORIZED FOR CONSTRUCTION UNTIL SIGNED, DATED, AND OFFICIALLY RELEASED FOR CONSTRUCTION BY THE ENGINEER OF RECORD.

UTILITY NOTES

- 1. ALL UTILITY DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES (CORPUD) STANDARDS AND SPECIFICATIONS. UTILITY DESIGN SHALL ALSO MEET FIRE FLOW REQUIREMENTS OF NCF.
2. UTILITY SIZES AND LOCATIONS ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY AND ARE SUBJECT TO CHANGE BASED ON FINAL DESIGN AND CONSTRUCTION DRAWING APPROVAL. THIS SHALL INCLUDE BUT NOT LIMITED TO FIRE HYDRANT LOCATIONS.
3. ANY EXISTING WATER AND SEWER LINES TO BE USED AS PART OF THE FINAL DESIGN OF THE PROJECT, SHALL BE LOCATED BY SURVEY, TESTED BY A LICENSED CONTRACTOR AND APPROVED BY THE CITY OF RALEIGH INSPECTOR PRIOR TO SUBMITTAL OF CONSTRUCTION DRAWINGS.
4. AS PART OF CONSTRUCTION DRAWING SUBMITTAL, FIRE FLOW CALCULATIONS SHALL BE PROVIDED SHOWING COMPLIANCE WITH NCF. PROJECT MAY BE DEVELOPED IN PHASES AND ALL PHASES SHALL BE REQUIRED TO MEET THE MINIMUM REQUIRED FIRE FLOWS PER OCCUPANCY PROPOSED IN EACH PHASE.
5. AN APPROVED WATER SUPPLY FOR FIRE SUPPRESSION (TEMPORARY OR PERMANENT) SHALL BE PROVIDED AS SOON AS COMBUSTIBLE MATERIALS ARRIVE ON SITE.
6. UTILITY CONSTRUCTION APPROVAL IS REQUIRED FOR THIS PROJECT, PLANS TO BE PREPARED BY NC PROFESSIONAL ENGINEER.
7. RIGHT OF WAY AND/OR EASEMENT DEDICATION PLAT IS REQUIRED FOR THIS PROJECT (PRIOR TO CITY ACCEPTANCE OF UTILITIES).
8. ALL NECESSARY WETLAND, RIPARIAN BUFFER AND FLOODPLAIN PERMITS FROM USACE, NCDWQ & FEMA SHALL BE OBTAINED PRIOR TO CONSTRUCTION.
9. PROJECT SHALL EXTEND PUBLIC WATER MAINS ALONG ALL INTERIOR AND ABUTTING RIGHT OF WAYS OF DEVELOPMENT.
10. FIRE HYDRANT ASSEMBLIES SHALL BE INSTALLED AT EVERY INTERSECTION AND AT 500' (RESIDENTIAL) MAX INTERVALS ALONG SITE FRONTAGE.
11. ALL MAINS UP TO 12 INCHES IN SIZE SHALL BE DESIGNED WITH A BLOW-OFF ASSEMBLY THE SAME SIZE AS THE DIAMETER OF THE PIPE.
12. ALL WATER MAINS SHALL BE PRESSURE CLASS OR THICKNESS CLASS DUCTILE IRON PIPE DESIGNED IN ACCORDANCE WITH AWWA STANDARD C-150.
13. PROJECT SHALL EXTEND PUBLIC GRAVITY SEWER TO PERIPHERY OF DEVELOPMENT BASED ON NATURAL TOPOGRAPHY.
14. ALL CITY OF RALEIGH SANITARY SEWER EASEMENTS SHALL BE A MINIMUM OF 30 FEET.
15. THE SANITARY SEWER DESIGN SHALL BE EVALUATED DURING THE CONSTRUCTION DRAWING REVIEW TO ENSURE ADJACENT PROPERTIES HAVE ACCESS TO SANITARY SEWER WHERE FEASIBLE AND IN COMPLIANCE WITH THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT STANDARDS AND SPECIFICATIONS.
16. ALL OFF-SITE EASEMENTS SHALL BE ACQUIRED BY THE DEVELOPER. THESE OFF-SITE EASEMENTS SHALL BE RECORDED BY MAP AND BY DEED OF EASEMENT PRIOR TO CONSTRUCTION APPROVAL. THE EASEMENTS SHALL BE DEDICATED TO THE CITY OF RALEIGH AND ENTITLED "CITY OF RALEIGH SANITARY SEWER EASEMENT".
17. MAINTAIN APPROPRIATE COVER AND SEPARATION ON UTILITIES AND LABEL IN PROFILES; ANY UTILITY CROSSINGS ARE SUBJECT TO MINIMUM REQUIREMENTS.
18. CONSTRUCTION APPROVAL WILL BE REQUIRED FOR ANY EXTENSIONS OF PUBLIC WATER OR SEWER MAINS.
19. PLAT RECORDATION REQUIRED AFTER CONSTRUCTION APPROVAL PRIOR TO BUILDING PERMIT.
20. DOT ENCROACHMENT AGREEMENT REQUIRED.
21. PRIVATE WATER SERVICES SIZED 3/4" - 2" SHOULD BE TYPE "K" SOFT COPPER AND IN ACCORDANCE WITH PU HANDBOOK, APP. B. STANDARD WATER DETAIL W-23 AND W-25. IF WATER METERS CANNOT BE LOCATED WITHIN THE RIGHT-OF-WAY THEY MUST BE WITHIN RECORDED "CITY OF RALEIGH WATERLINE EASEMENTS".

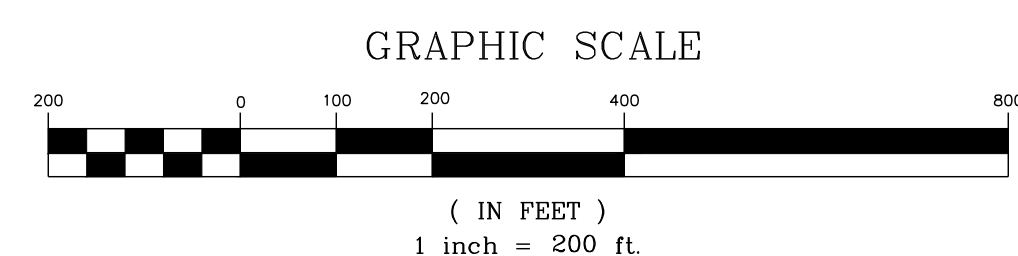
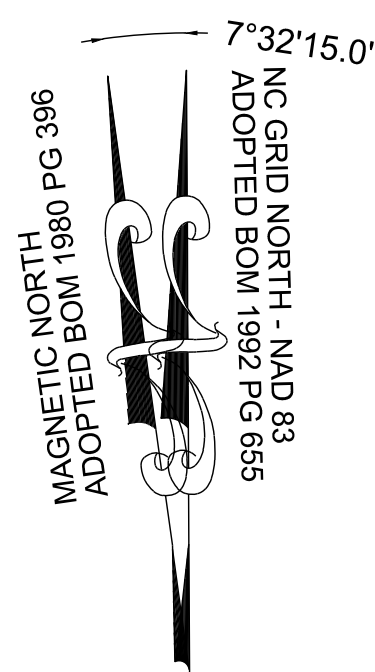
CORPUD STANDARD UTILITY NOTES:

STANDARD UTILITY NOTES (AS APPLICABLE):

- 1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
2. UTILITY SEPARATION REQUIREMENTS:
a) A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
b) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
c) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, PVC MATERIALS OR STEEL ENCASMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
d) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS PVC MATERIAL IS SPECIFIED FOR SANITARY SEWER.
e) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS. MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY PVC MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
f) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
5. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
6. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
7. INSTALL 3/4" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'x2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
8. INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
9. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
10. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
11. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
12. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
13. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

LEGEND:

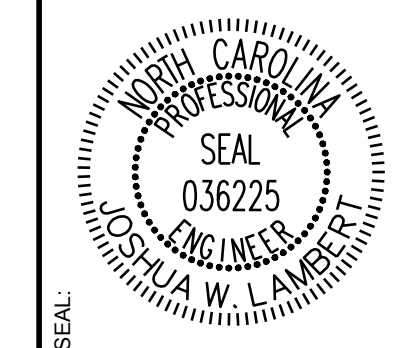
- W WATER LINE
SS SANITARY SEWER LINE
Water Meter / Service
Sanitary Cleanout / Service
Fire Hydrant Assembly
Gate Valve
TEE
CROSS
BLOW OFF VALVE
SANITARY MANHOLE



NOTES:
SEE SHEET C-3.0 FOR ADJACENT PROPERTY DETAILS

TOWNHOME NOTES:
STATES INTERNAL TOWNHOME DRIVEWAYS ARE PRIVATE EASEMENTS AS PER CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT

Table with columns: No., REVISIONS, DATE, BY. Contains a list of revision entries.



STRONGROCK ENGINEERING GROUP logo and contact information: STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166 | 305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

Table with columns: STRONG ROCK PROJECT, NOT FOR CONSTRUCTION, SCALE, DESIGNED BY, DRAWN BY, CHECKED BY. Contains project details.

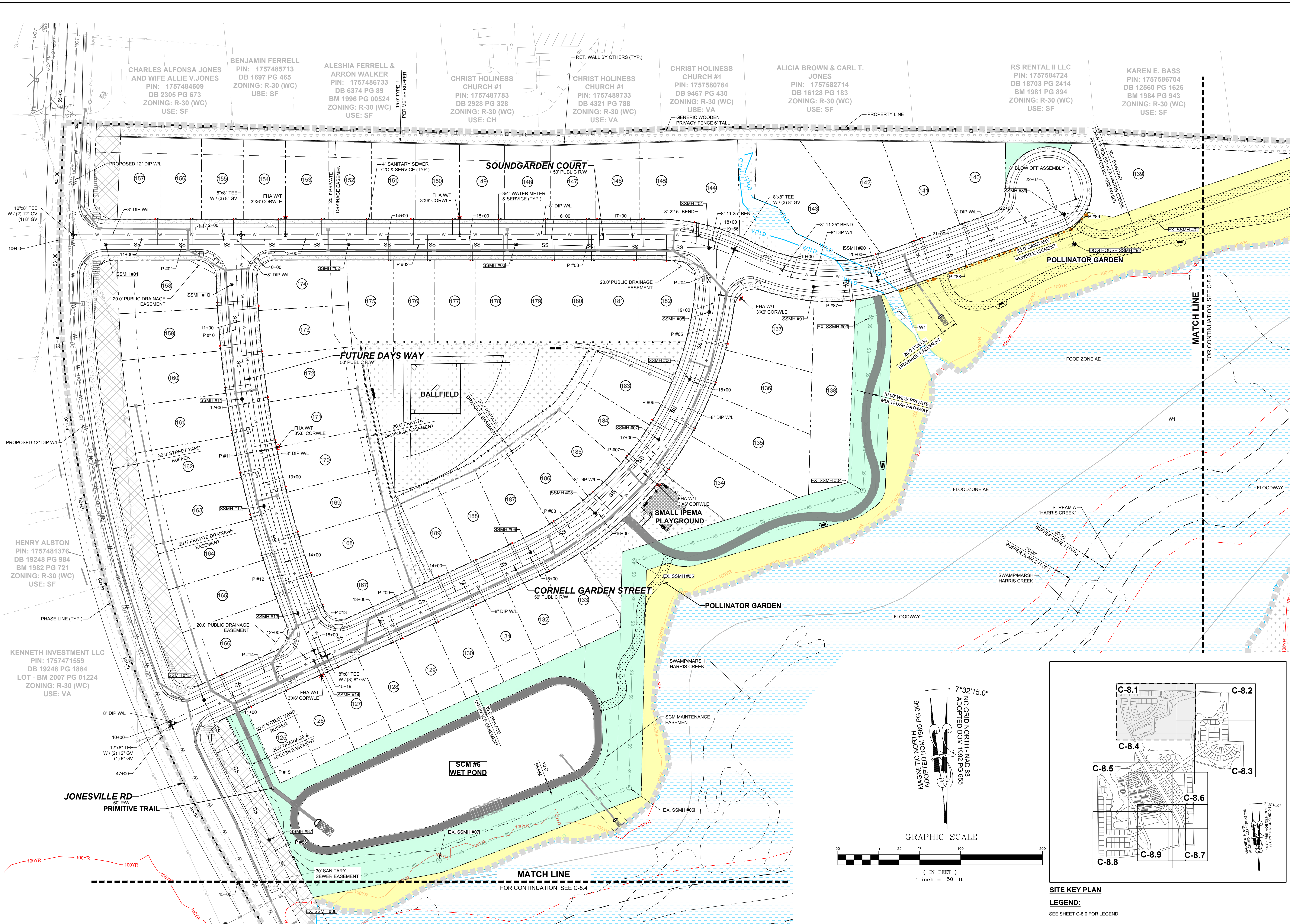
RESERVE @ MITCHELL MILL
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
CONSTRUCTION PLANS
OVERALL UTILITY PLAN

DRAWING SHEET

C-8.0

35 OF 176

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CHARLES ALFONSA JONES AND WIFE ALLIE V. JONES  
PIN: 1757484609  
DB 2305 PG 673  
ZONING: R-30 (WC)  
USE: SF

BENJAMIN FERRELL  
PIN: 1757485713  
DB 1697 PG 465  
ZONING: R-30 (WC)  
USE: SF

ALESIA FERRELL & ARRON WALKER  
PIN: 1757486733  
DB 6374 PG 89  
BM 1996 PG 00524  
ZONING: R-30 (WC)  
USE: SF

CHRIST HOLINESS CHURCH #1  
PIN: 1757487783  
DB 2928 PG 328  
ZONING: R-30 (WC)  
USE: CH

CHRIST HOLINESS CHURCH #1  
PIN: 1757489733  
DB 4321 PG 788  
ZONING: R-30 (WC)  
USE: VA

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DB 9467 PG 430  
ZONING: R-30 (WC)  
USE: VA

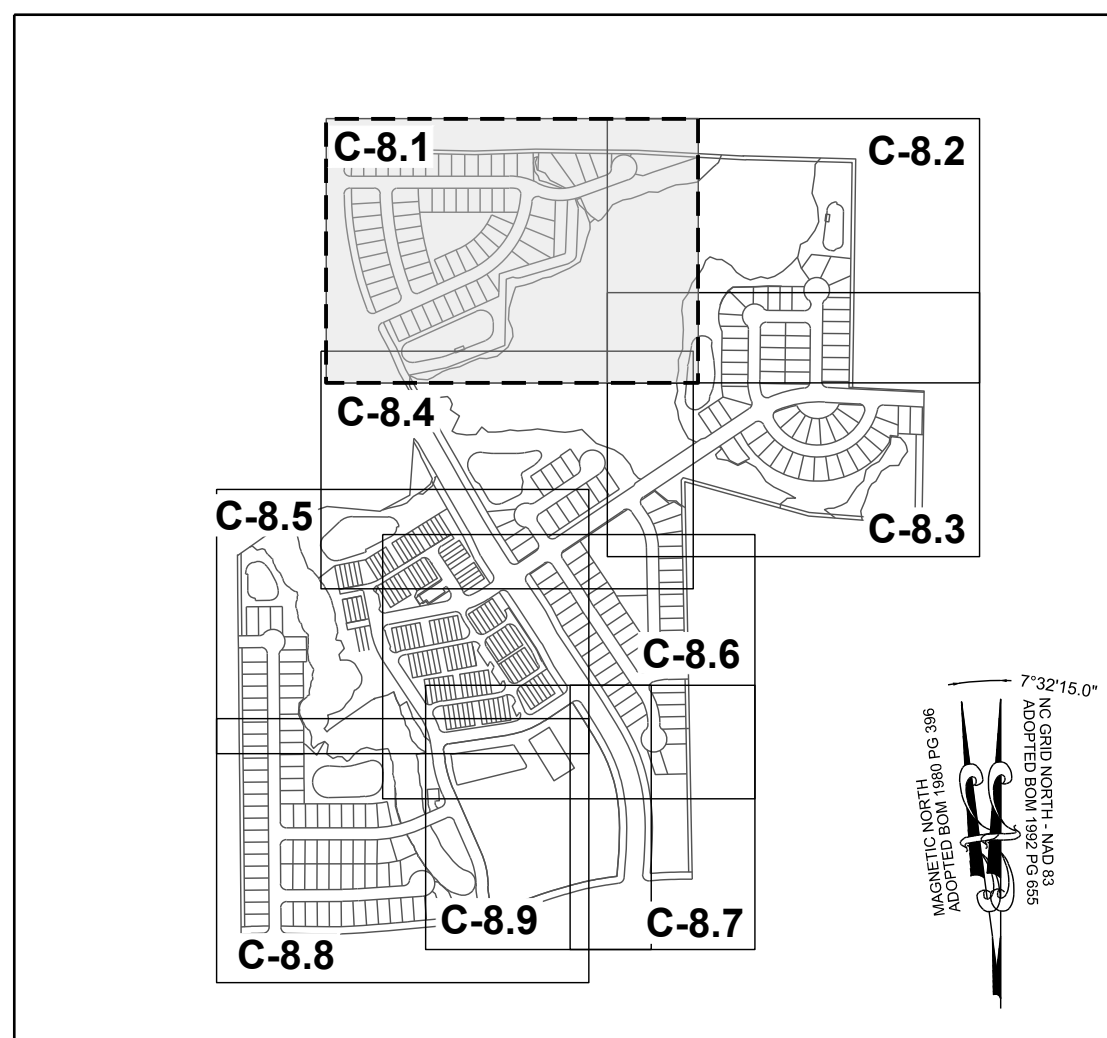
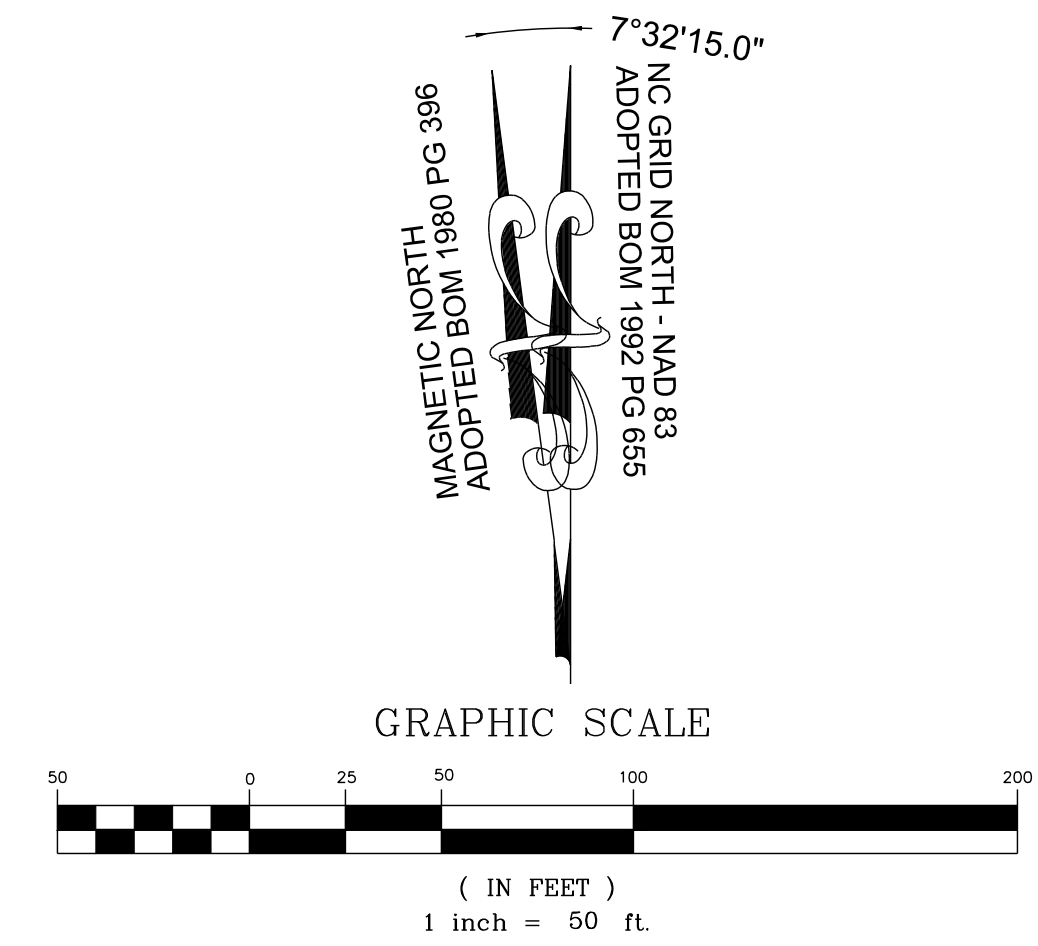
ALICIA BROWN & CARL T. JONES  
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PIN: 1757584724  
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ZONING: R-30 (WC)  
USE: SF

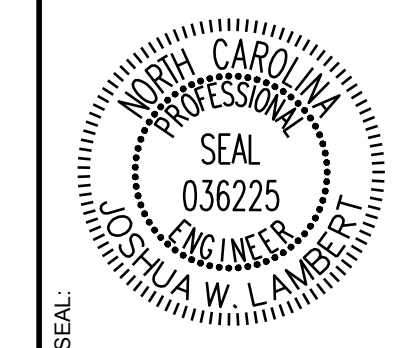
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PIN: 1757586704  
DB 12560 PG 1626  
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ZONING: R-30 (WC)  
USE: SF

HENRY ALSTON  
PIN: 1757481376  
DB 19248 PG 984  
BM 1982 PG 721  
ZONING: R-30 (WC)  
USE: SF

KENNETH INVESTMENT LLC  
PIN: 1757471559  
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ZONING: R-30 (WC)  
USE: VA



NO.	REVISIONS	DATE	BY
1			
2			

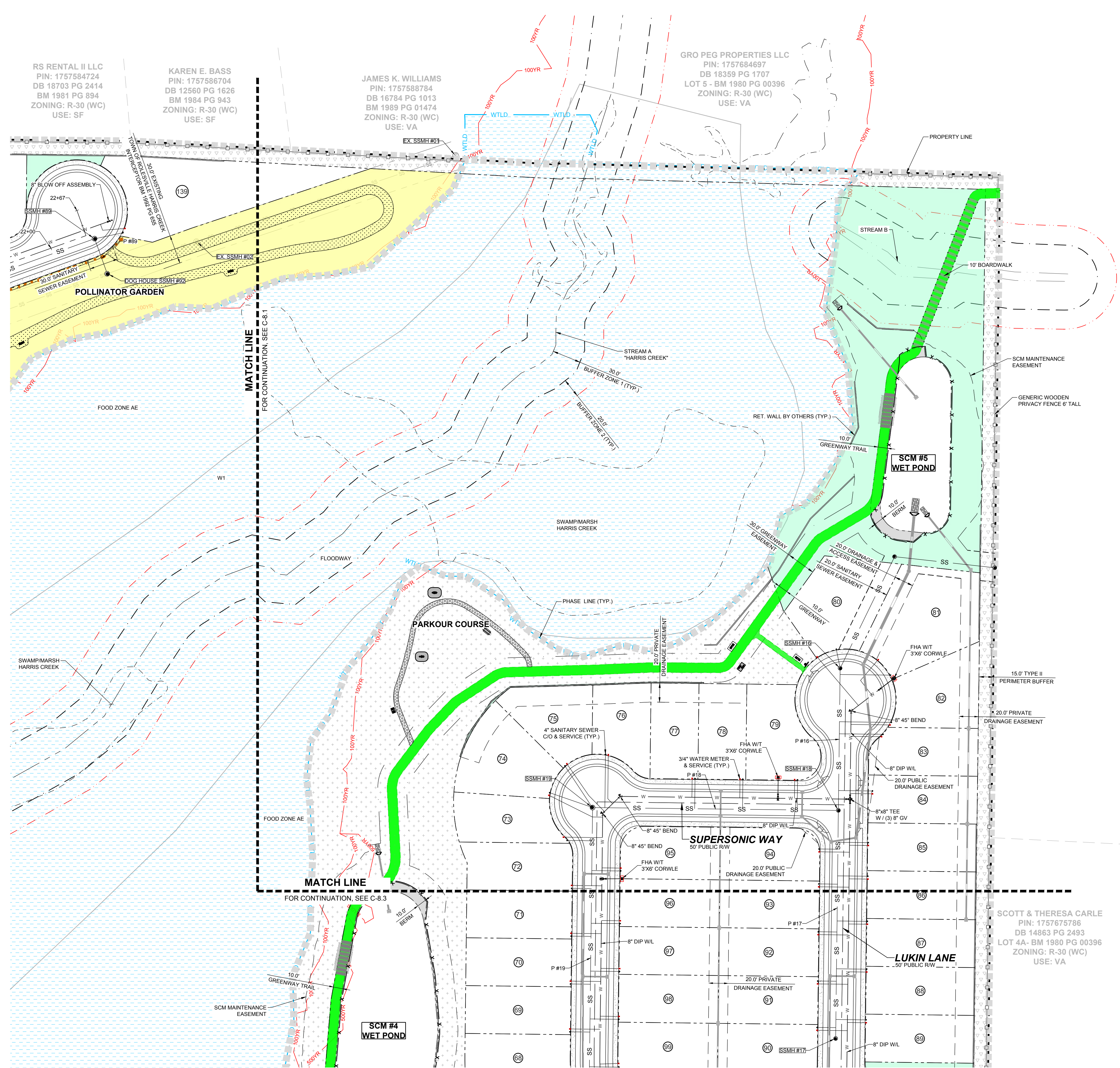


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STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166  
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STRONG ROCK PROJECT	STRONG ROCK PROJECT	STRONG ROCK PROJECT	STRONG ROCK PROJECT
PSP-24-03	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL
			SRG
			DRAWN BY
			CHECKED BY JWL

RESERVE @ MITCHELL MILL  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
CONSTRUCTION PLANS  
PARTIAL UTILITY PLAN I  
DRAWING SHEET  
C-8.1

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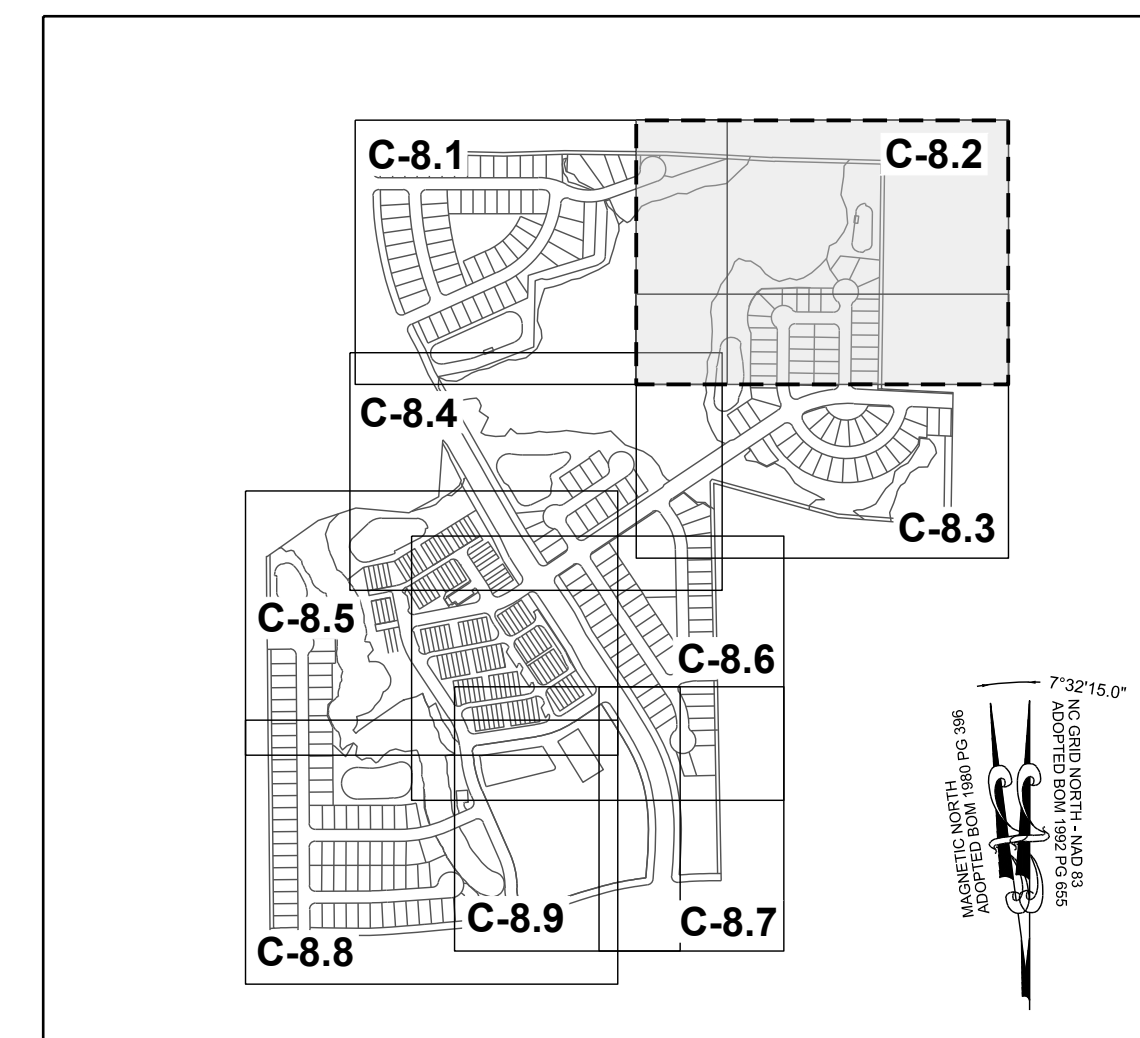
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 ZONING: R-30 (WC)  
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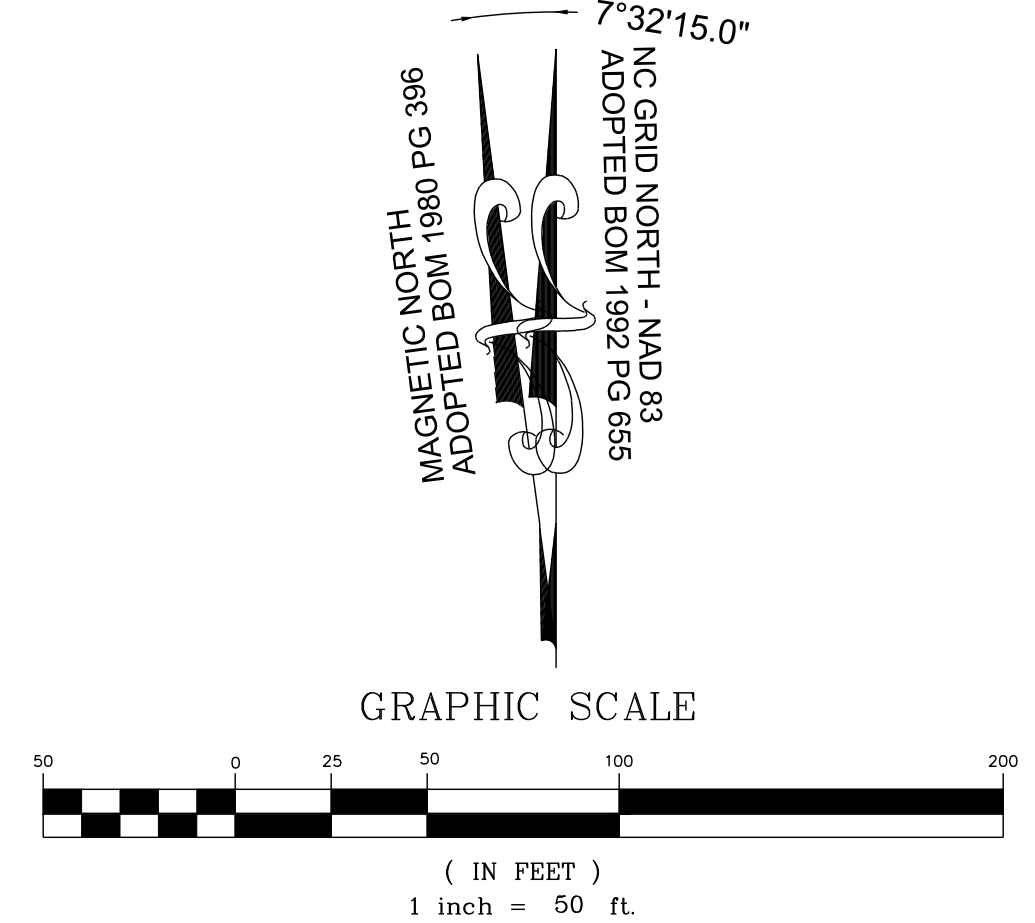
JAMES K. WILLIAMS  
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 ZONING: R-30 (WC)  
 USE: VA

GRO PEG PROPERTIES LLC  
 PIN: 1757684697  
 DB 18359 PG 1707  
 LOT 5 - BM 1980 PG 00396  
 ZONING: R-30 (WC)  
 USE: VA

SCOTT & THERESA CARLE  
 PIN: 1757675786  
 DB 14863 PG 2493  
 LOT 4A - BM 1980 PG 00396  
 ZONING: R-30 (WC)  
 USE: VA



**SITE KEY PLAN**  
**LEGEND:**  
 SEE SHEET C-8.0 FOR LEGEND.



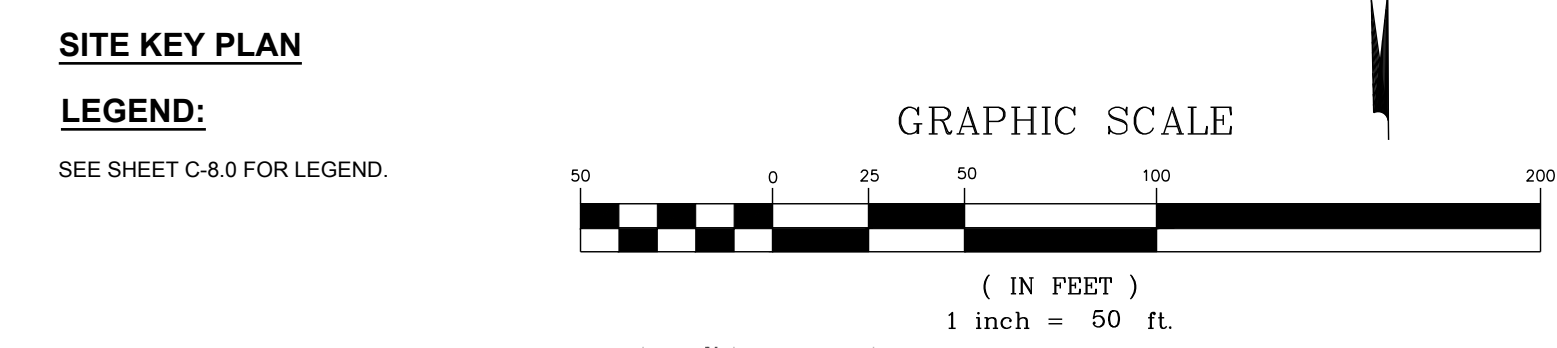
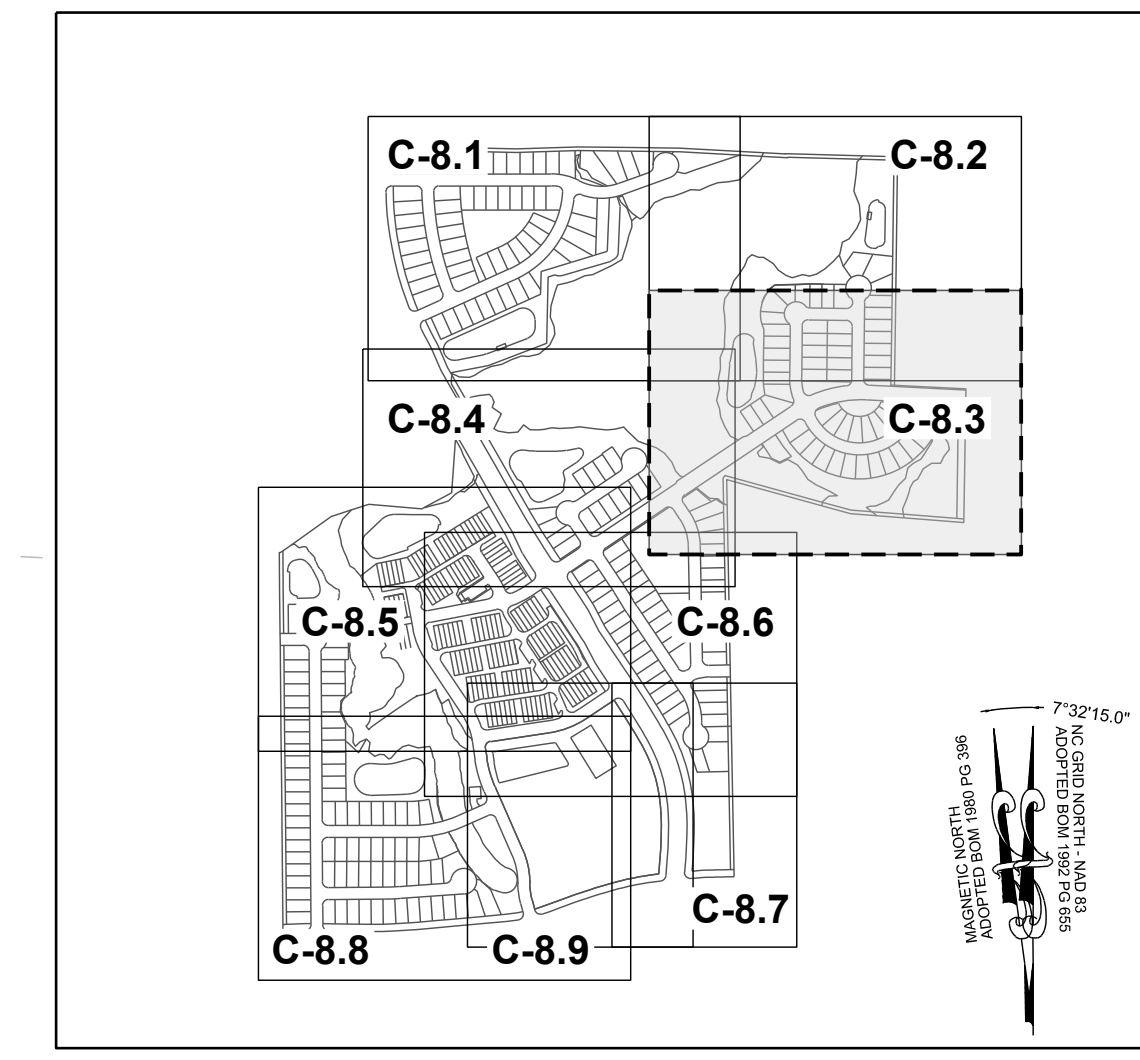
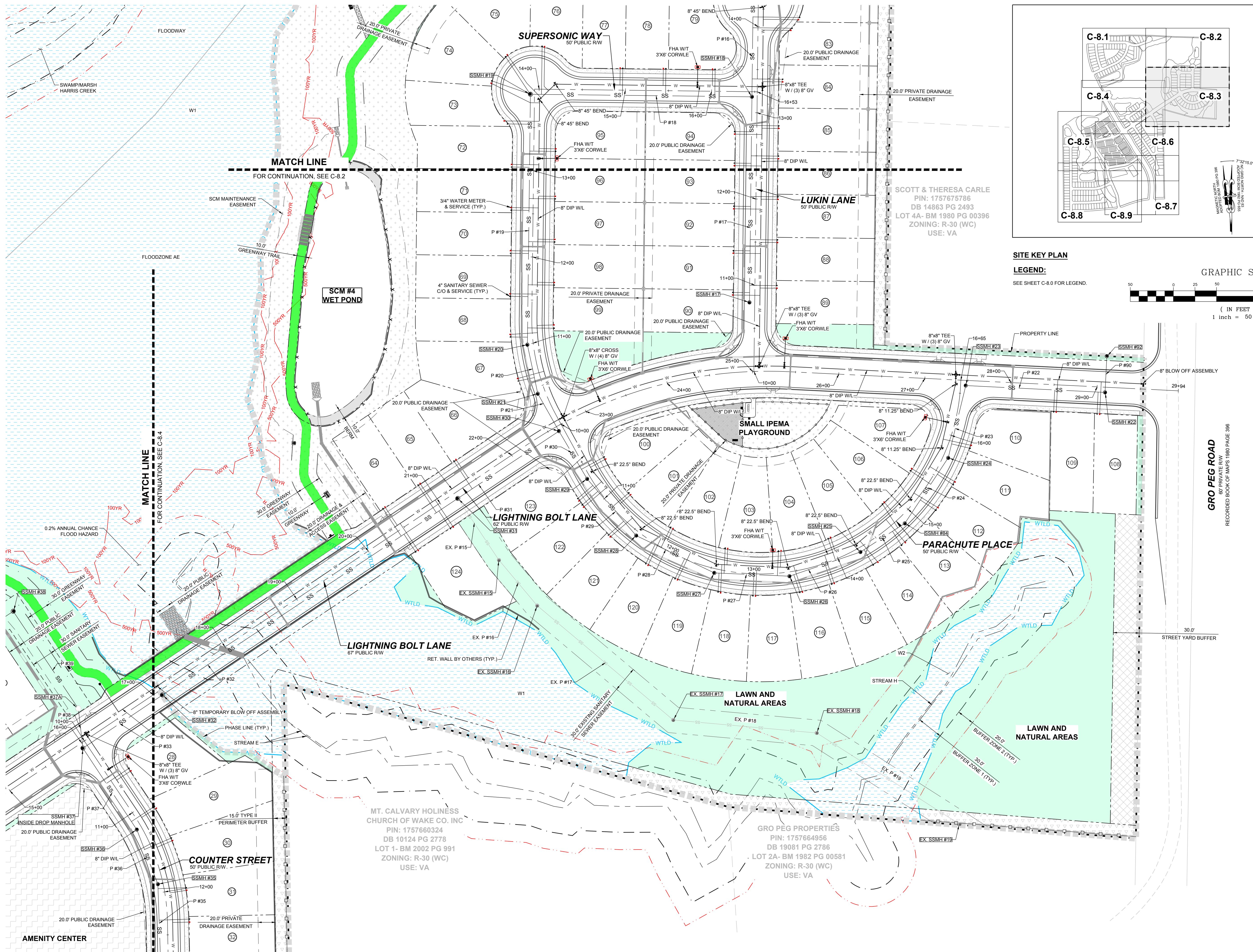
NO.	REVISIONS	DATE	BY
1			
2			

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 CONSTRUCTION PLANS  
 PARTIAL UTILITY PLAN II

DRAWING SHEET  
**C-8.2**

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1	CONSTRUCTION INFRASTRUCTURE DRAWINGS CDD-24-04	DATE	BY
2	TOWN OF ROLESVILLE CDD-24-04	REVISIONS	

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STRONG ROCK PROJECT	STRONG ROCK PROJECT P-21-03	DESIGNED BY	JWL
NOT FOR CONSTRUCTION		DRAWN BY	SRG
SCALE	AS SHOWN	CHECKED BY	JWL

RESERVE @ MITCHELL MILL  
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
 CONSTRUCTION PLANS  
 PARTIAL UTILITY PLAN III

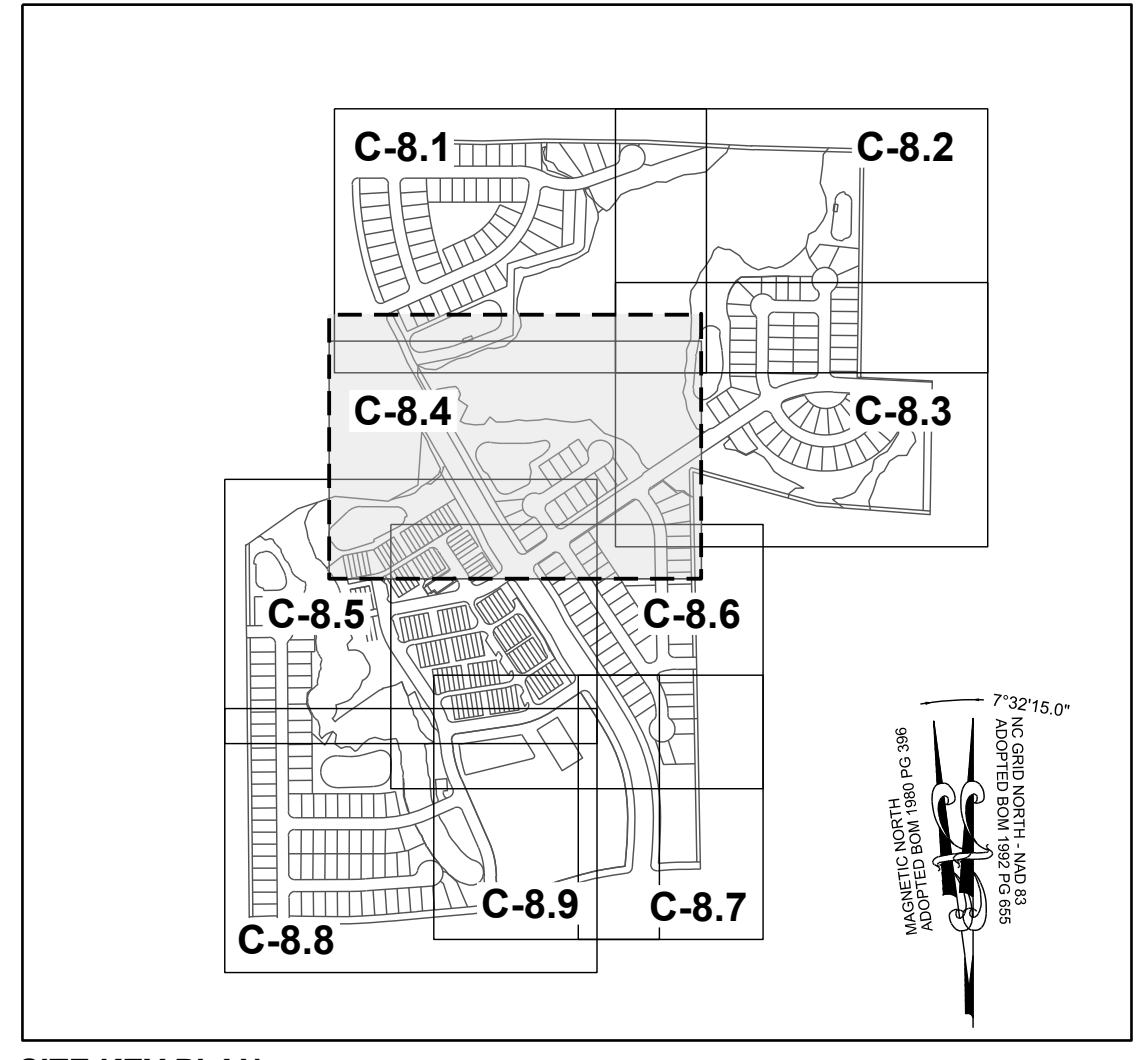
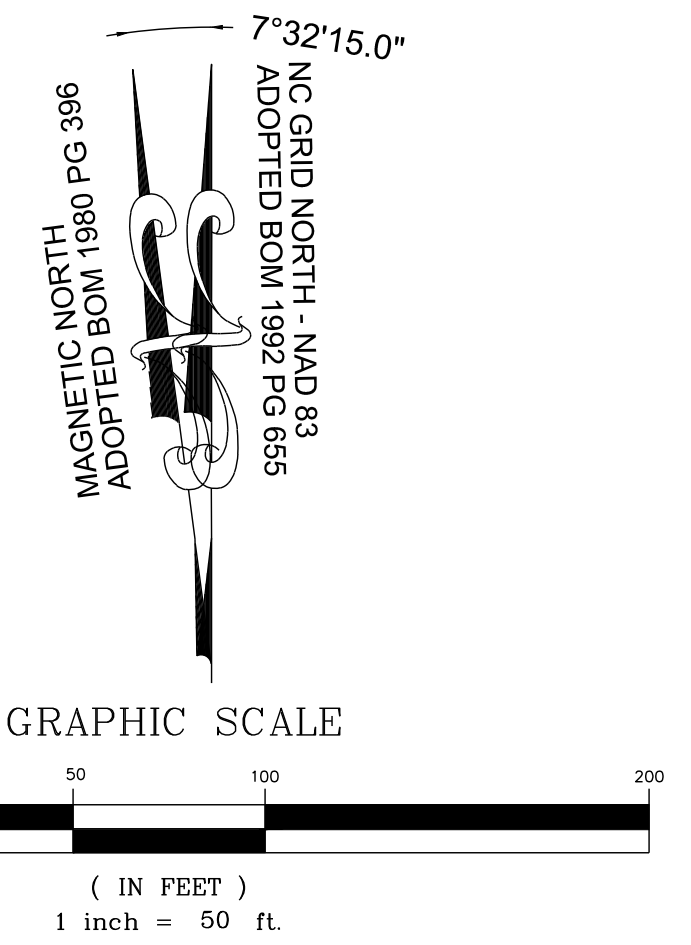
DRAWING SHEET  
**C-8.3**

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**TOWNHOME NOTES:**  
STATES INTERNAL TOWNHOME DRIVEWAYS ARE PRIVATE EASEMENTS AS PER CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT

**LEGEND:**  
SEE SHEET C-8.0 FOR LEGEND.



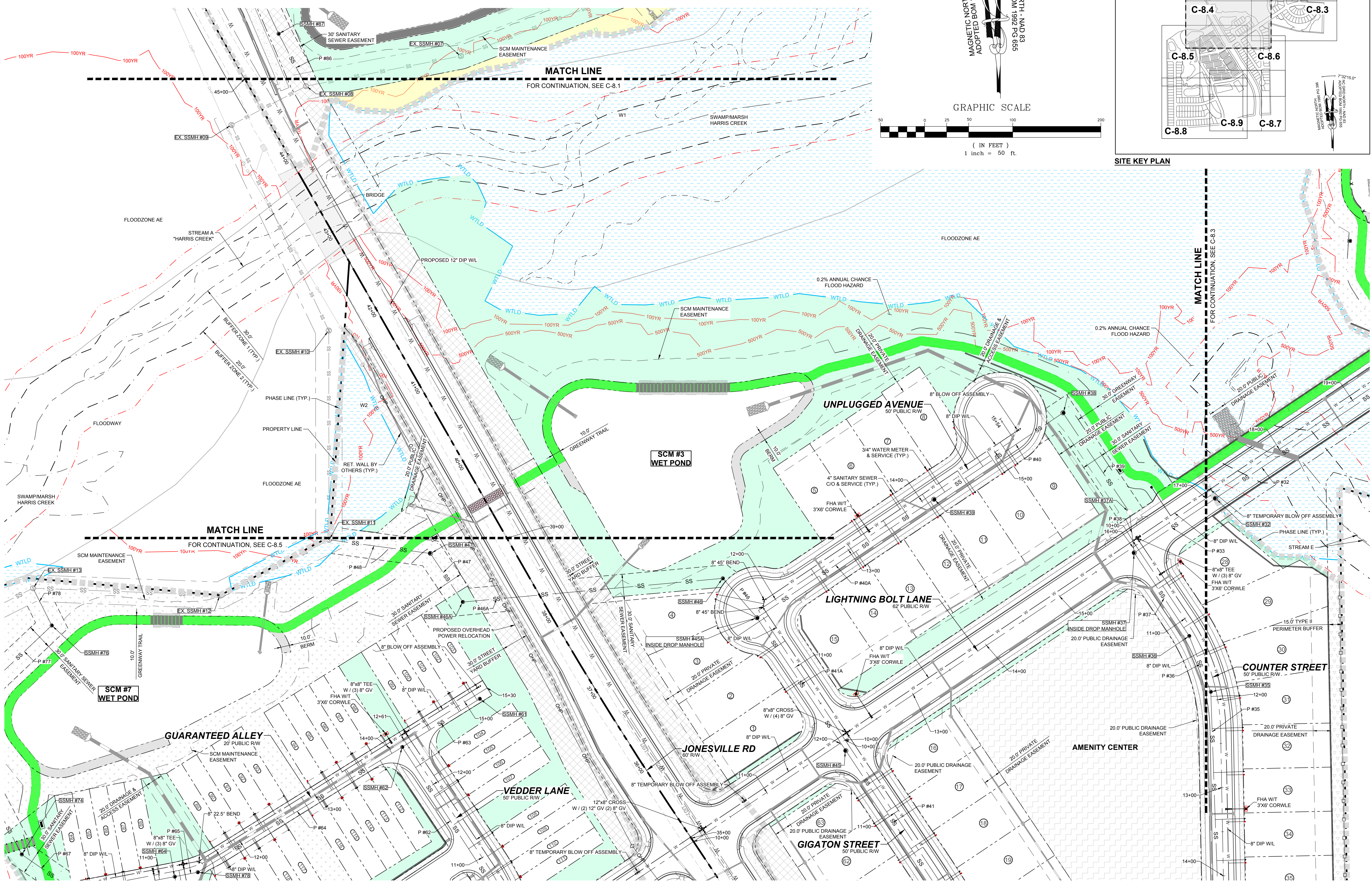
NO.	DATE	REVISIONS	BY
1			
2			

1	CONSTRUCTION INFRASTRUCTURE DRAWINGS CDD-24-04	SRG	
2	TOWN OF RALEIGH CDD V0-24-04	JWL	

SEAL:	STATE OF NORTH CAROLINA	PROFESSIONAL ENGINEER	036225	W. LAMBERT
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ENGINEERING GROUP

STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166  
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STRONG ROCK PROJECT	DESIGNED BY	DRAWN BY	CHECKED BY
PSP-24-03	JWL	SRG	JWL
NOT FOR CONSTRUCTION	SCALE	AS SHOWN	

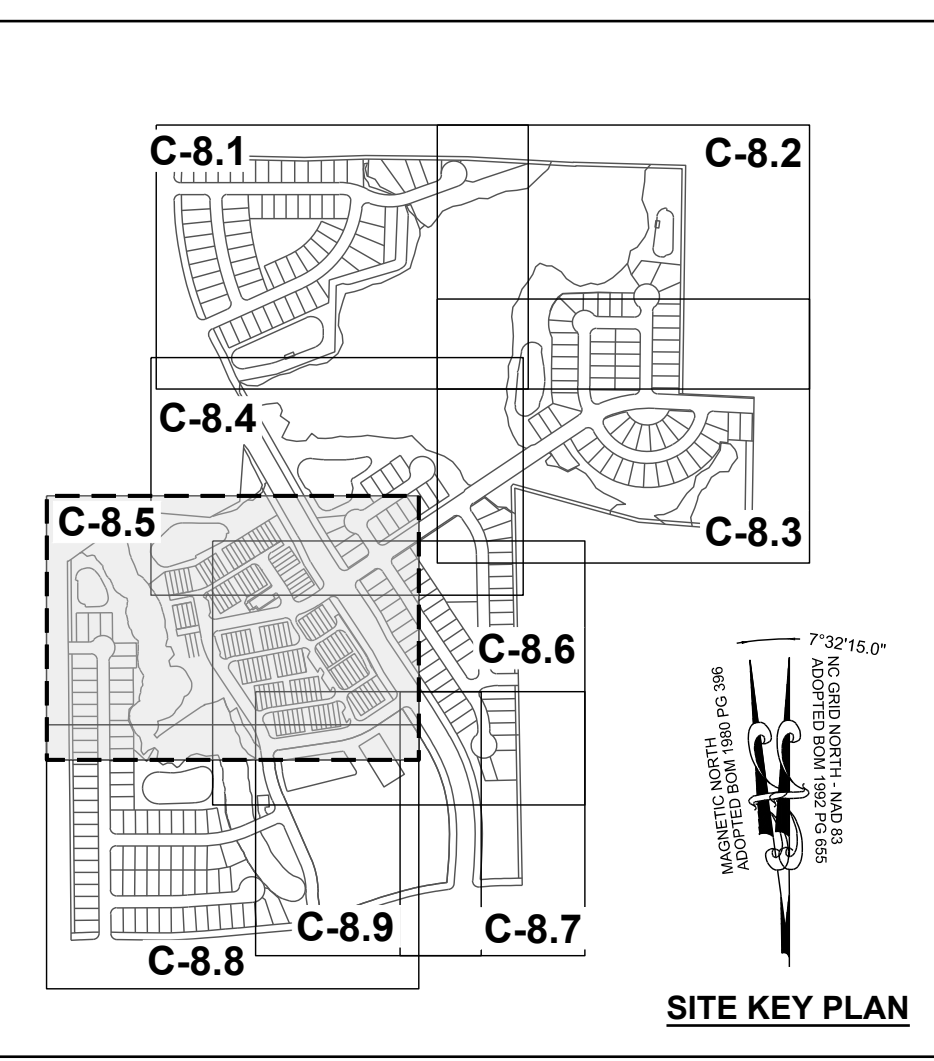
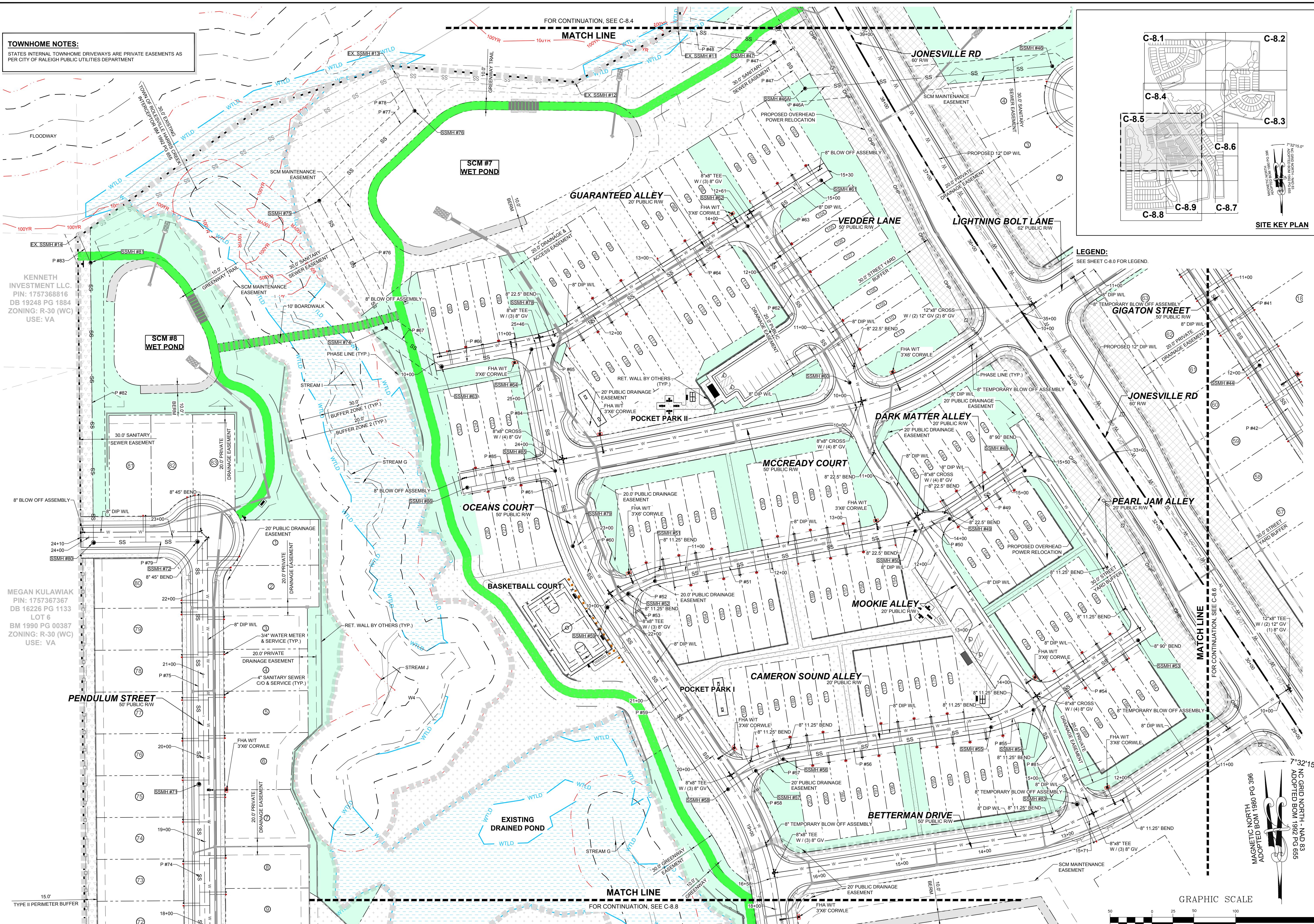
RESERVE @ MITCHELL MILL  
TOWN OF RALEIGH, WAKE COUNTY, NORTH CAROLINA  
CONSTRUCTION PLANS  
PARTIAL UTILITY PLAN V1

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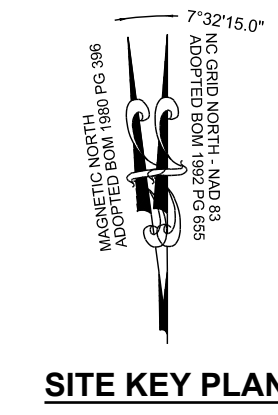
**TOWNHOME NOTES:**  
STATES INTERNAL TOWNHOME DRIVEWAYS ARE PRIVATE EASEMENTS AS PER CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT

KENNETH INVESTMENT LLC  
PIN: 1757368816  
DB 19248 PG 1884  
ZONING: R-30 (WC)  
USE: VA

MEGAN KULAWIAK  
PIN: 1757367367  
DB 16226 PG 1133  
LOT 6  
BM 1990 PG 00387  
ZONING: R-30 (WC)  
USE: VA

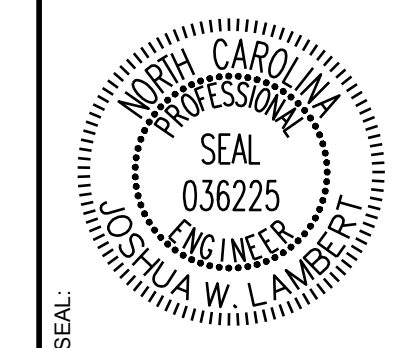


**LEGEND:**  
SEE SHEET C-8.0 FOR LEGEND.



GRAPHIC SCALE  
( IN FEET )  
1 inch = 50 ft.

NO.	REVISIONS	DATE	BY
1			
2			



**STRONGROCK ENGINEERING GROUP**  
PARTIAL UTILITY PLAN V

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305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

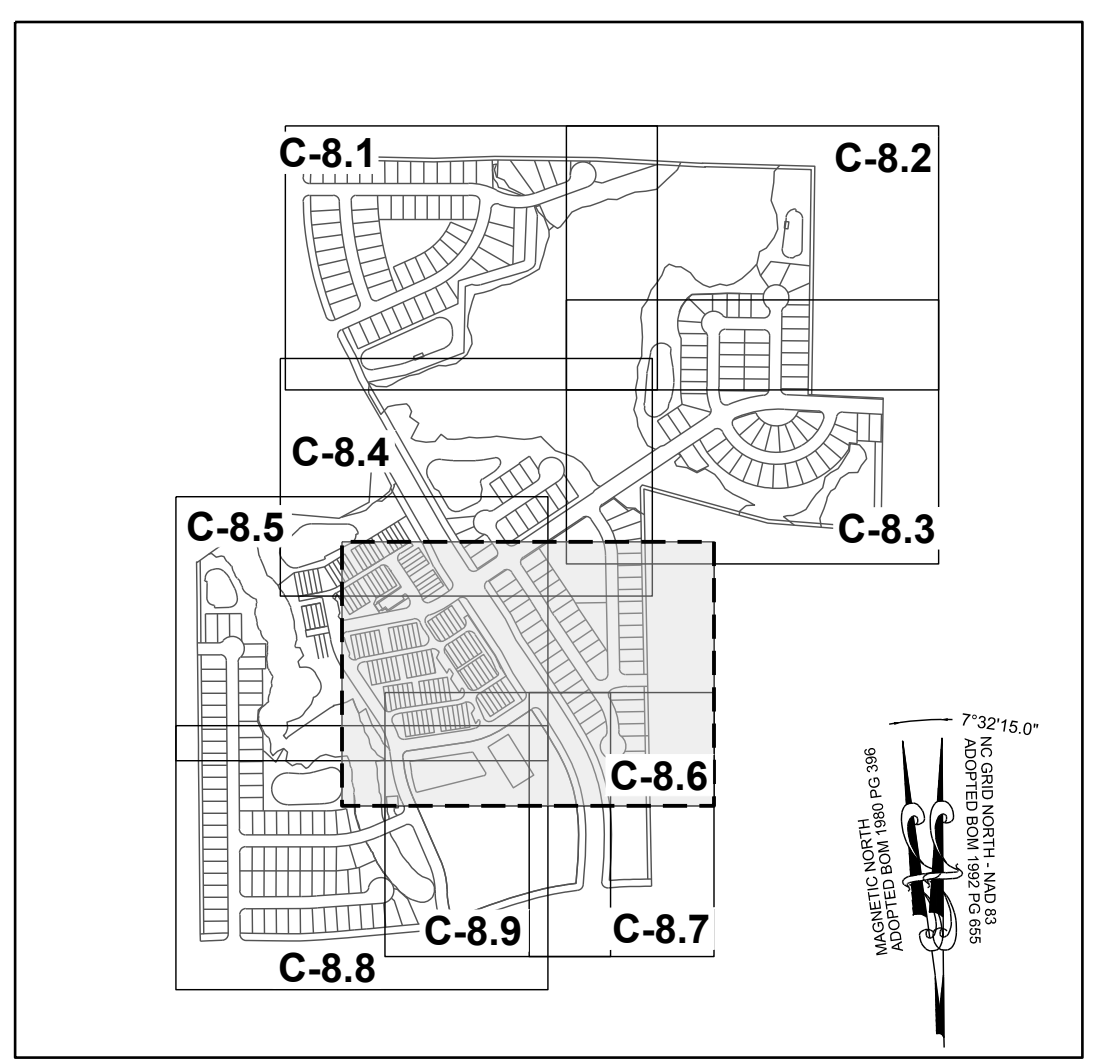
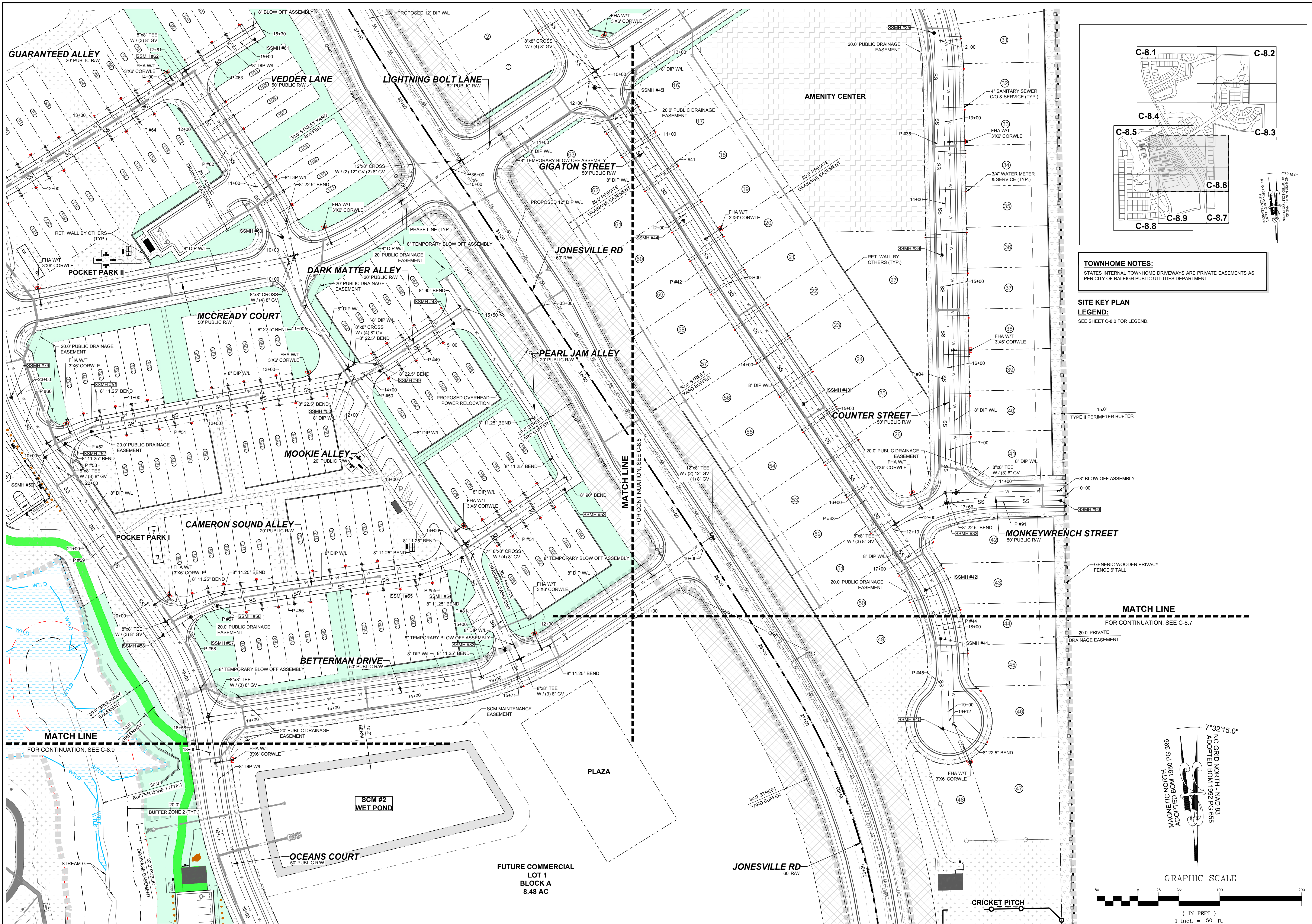
STRONG ROCK PROJECT	STRONG ROCK PROJECT P-SP-24-03
NOT FOR CONSTRUCTION	
SCALE	AS SHOWN
DESIGNED BY	JWL
DRAWN BY	SRG
CHECKED BY	JWL

RESERVE @ MITCHELL MILL  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
CONSTRUCTION PLANS

DRAWING SHEET  
**C-8.5**

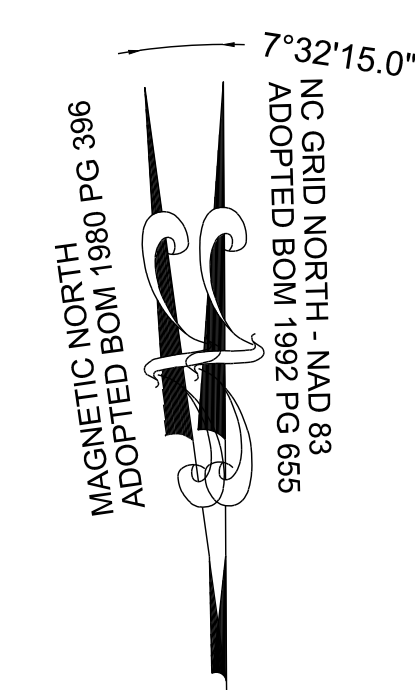
40 OF 176

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**TOWNHOME NOTES:**  
 STATES INTERNAL TOWNHOME DRIVEWAYS ARE PRIVATE EASEMENTS AS PER CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT

**SITE KEY PLAN LEGEND:**  
 SEE SHEET C-8.0 FOR LEGEND.



NO.	REVISIONS	DATE	BY
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**STRONGROCK ENGINEERING GROUP**

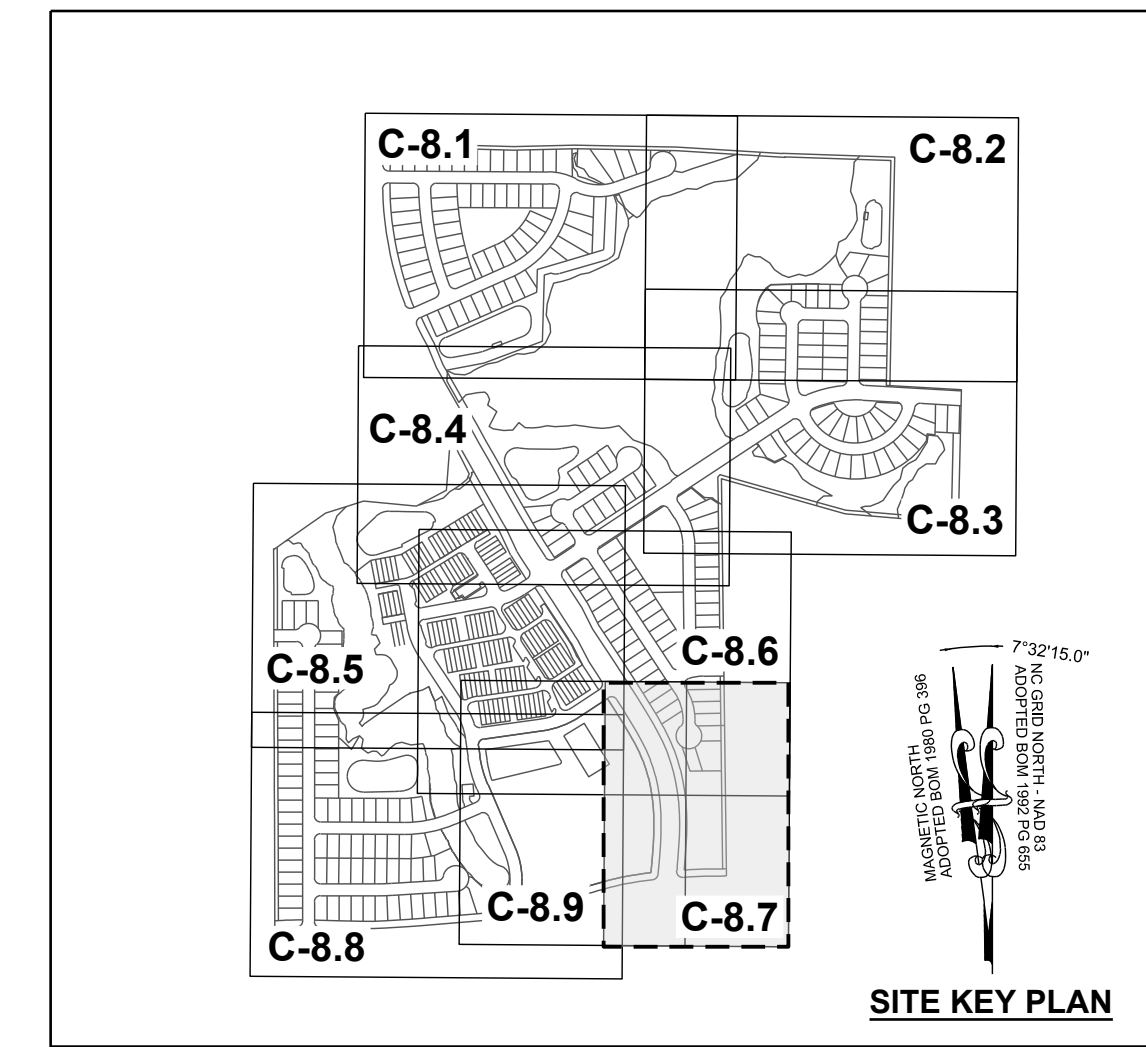
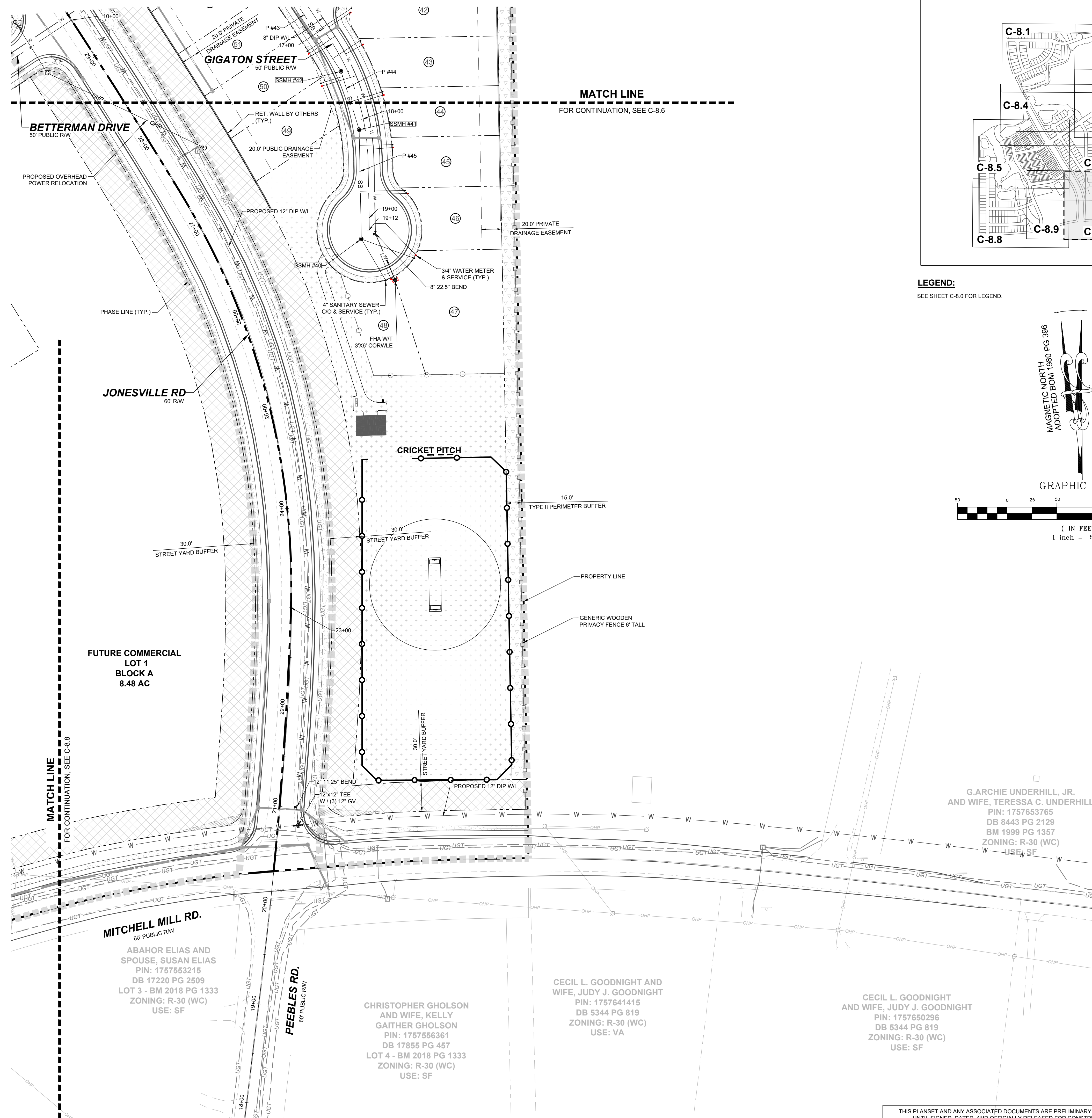
STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166  
 305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
PSP-24-03	AS SHOWN		JWL	SRG	JWL

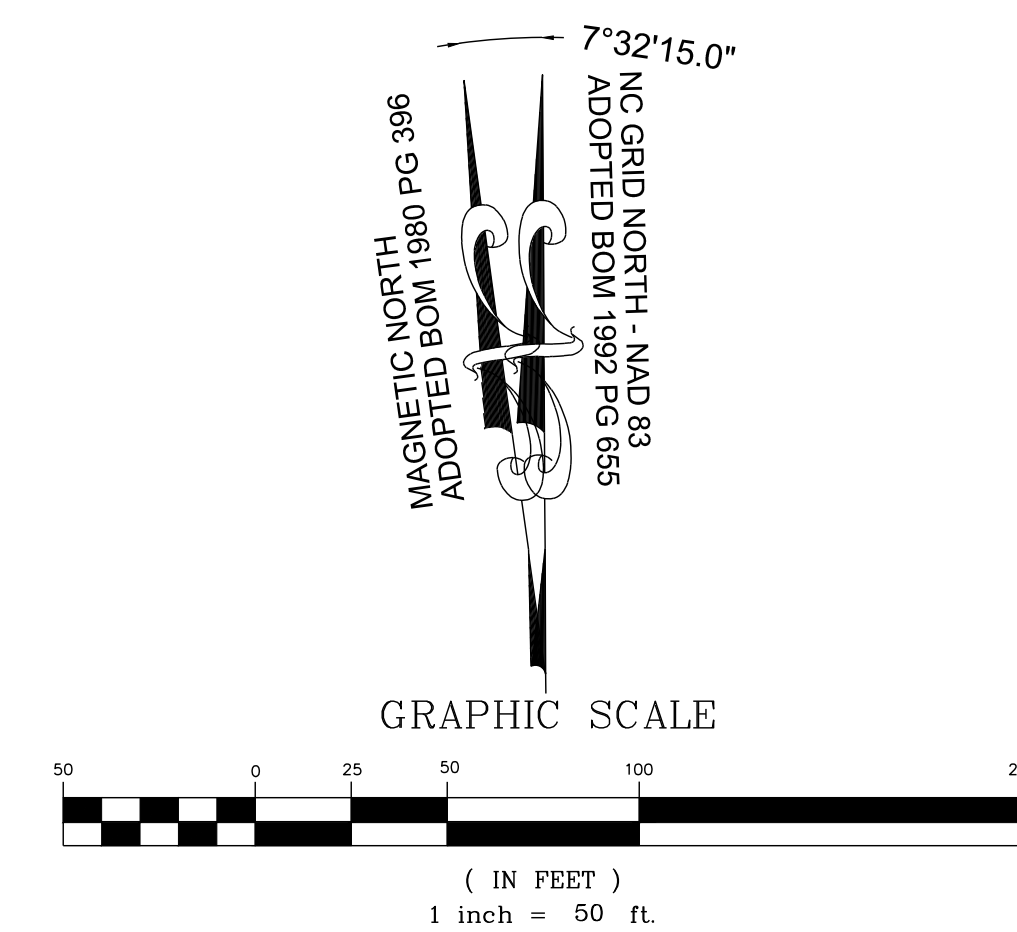
RESERVE @ MITCHELL MILL  
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
**CONSTRUCTION PLANS**  
**PARTIAL UTILITY PLAN VI**

DRAWING SHEET  
**C-8.6**

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**LEGEND:**  
SEE SHEET C-8.0 FOR LEGEND.



**MATCH LINE**  
FOR CONTINUATION, SEE C-8.8

**MATCH LINE**  
FOR CONTINUATION, SEE C-8.6

**FUTURE COMMERCIAL LOT 1 BLOCK A 8.48 AC**

**MITCHELL MILL RD.**  
60' PUBLIC R/W  
ABAHOR ELIAS AND SPOUSE, SUSAN ELIAS  
PIN: 1757553215  
DB 17220 PG 2509  
LOT 3 - BM 2018 PG 1333  
ZONING: R-30 (WC)  
USE: SF

CHRISTOPHER GHOLSON AND WIFE, KELLY GAITHER GHOLSON  
PIN: 1757556361  
DB 17855 PG 457  
LOT 4 - BM 2018 PG 1333  
ZONING: R-30 (WC)  
USE: SF

CECIL L. GOODNIGHT AND WIFE, JUDY J. GOODNIGHT  
PIN: 1757641415  
DB 5344 PG 819  
ZONING: R-30 (WC)  
USE: VA

CECIL L. GOODNIGHT AND WIFE, JUDY J. GOODNIGHT  
PIN: 1757650296  
DB 5344 PG 819  
ZONING: R-30 (WC)  
USE: SF

G. ARCHIE UNDERHILL, JR. AND WIFE, TERESSA C. UNDERHILL  
PIN: 1757653765  
DB 8443 PG 2129  
BM 1999 PG 1357  
ZONING: R-30 (WC)  
USE: SF

STRONG ROCK PROJECT		PSP-24-03	
NOT FOR CONSTRUCTION			
SCALE	AS SHOWN	DESIGNED BY	JWL
DRAWN BY	SRG	CHECKED BY	JWL

NO.	REVISIONS	DATE	BY
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2			

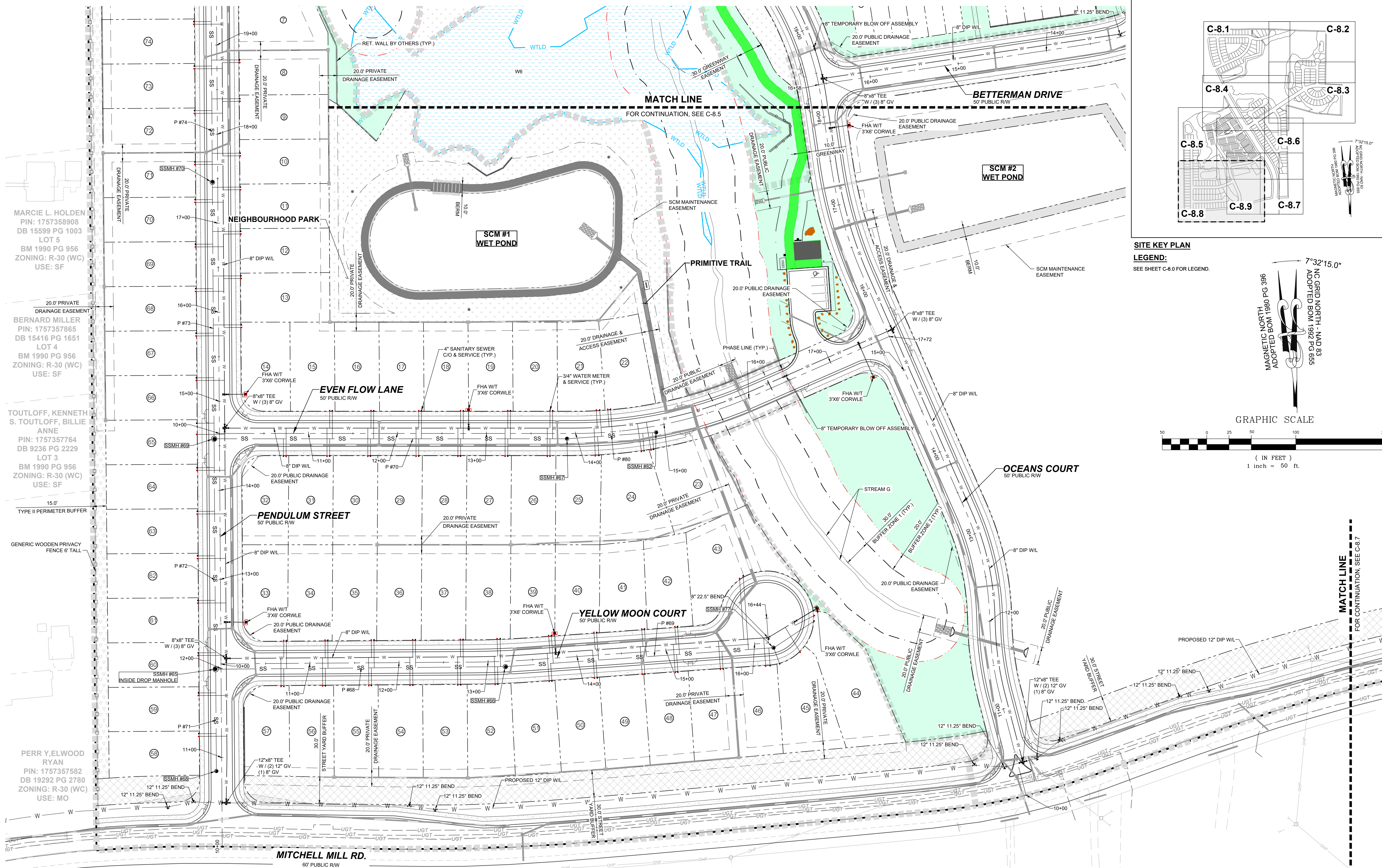
**STRONG ROCK ENGINEERING GROUP**  
ENGINEERING GROUP  
305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

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TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
CONSTRUCTION PLANS  
PARTIAL UTILITY PLAN VII

**DRAWING SHEET**  
**C-8.7**

**42 OF 176**

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MARCI L. HOLDEN  
PIN: 1757358908  
DB 15599 PG 1003  
LOT 5  
BM 1990 PG 956  
ZONING: R-30 (WC)  
USE: SF

BERNARD MILLER  
PIN: 1757357865  
DB 15416 PG 1651  
LOT 4  
BM 1990 PG 956  
ZONING: R-30 (WC)  
USE: SF

TOUTLOFF, KENNETH  
S. TOUTLOFF, BILLIE  
ANNE  
PIN: 1757357764  
DB 9236 PG 2229  
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BM 1990 PG 956  
ZONING: R-30 (WC)  
USE: SF

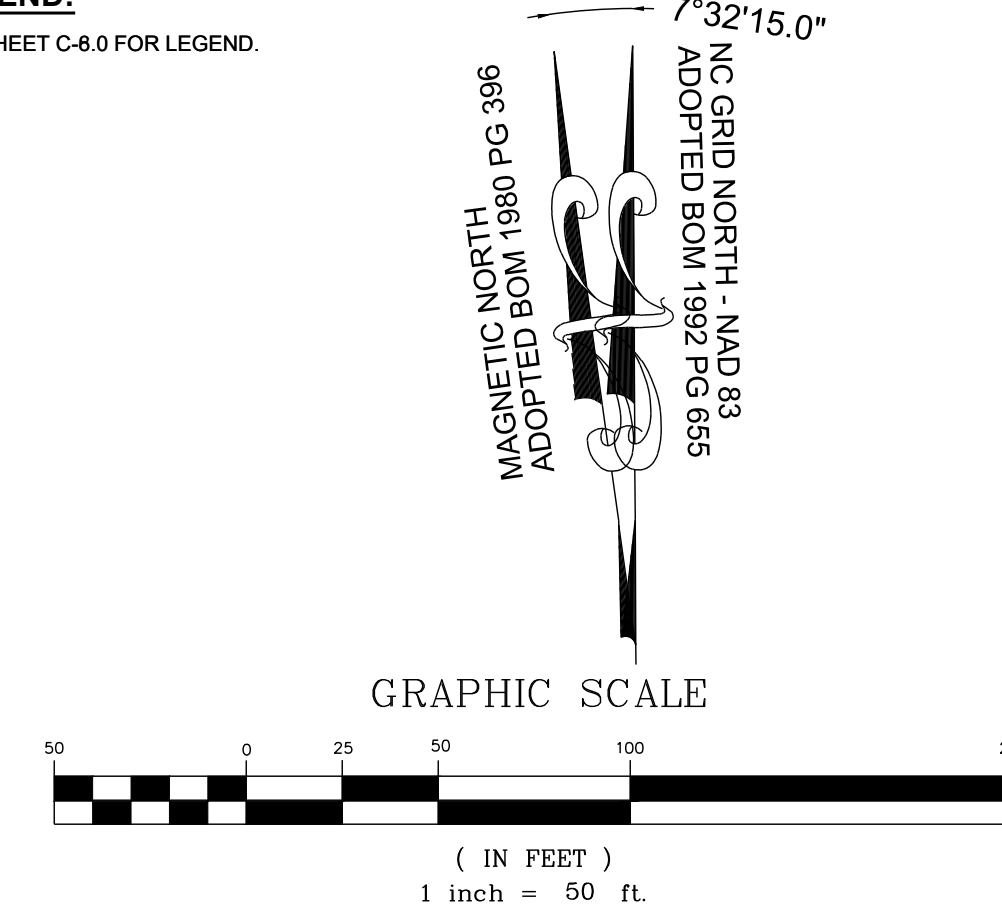
PERR Y. ELWOOD  
RYAN  
PIN: 1757357582  
DB 19292 PG 2780  
ZONING: R-30 (WC)  
USE: MO

PHETIS JONES  
BRADSHER  
PIN: 1757349473  
DB 15208 PG 2320  
BM 2013 PG 868  
ZONING: R-30 (WC)  
USE: FO

CURTIS L. HONEYCUTT  
AND WIFE TODD  
KENDALL  
PIN: 1757540996  
DB 13474 PG 1974  
LOT 1 - BM 2018 PG 1333  
ZONING: R-30 (WC)  
USE: SF

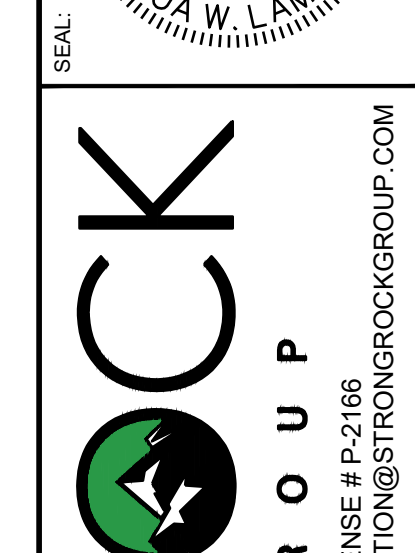
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HONEYCUTT  
PIN: 1757551202  
DB 13474 PG 1974  
LOT 2 - BM 2018 PG 1333  
ZONING: R-30 (WC)  
USE: SF

**SITE KEY PLAN**  
LEGEND:  
SEE SHEET C-8.0 FOR LEGEND.



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NO.	REVISIONS	DATE	BY
1			
2			



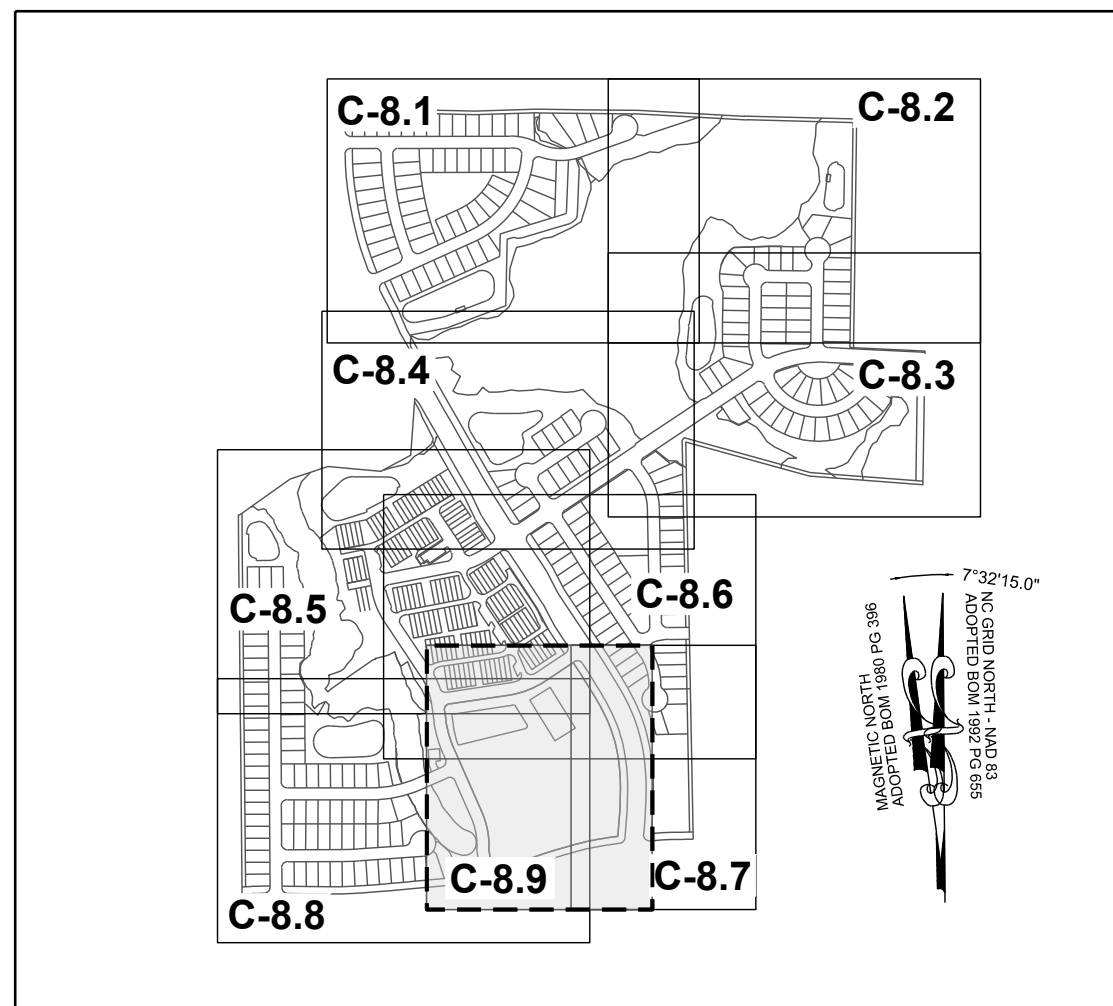
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ENGINEERING GROUP

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STRONG ROCK PROJECT P-SP-24-03	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	SRG	DRAWN BY JWL	CHECKED BY JWL
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RESERVE @ MITCHELL MILL  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
CONSTRUCTION PLANS  
PARTIAL UTILITY PLAN VIII

DRAWING SHEET  
**C-8.8**



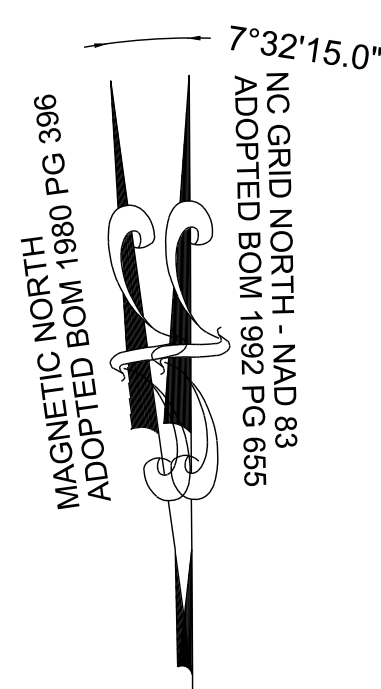
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**LEGEND:**

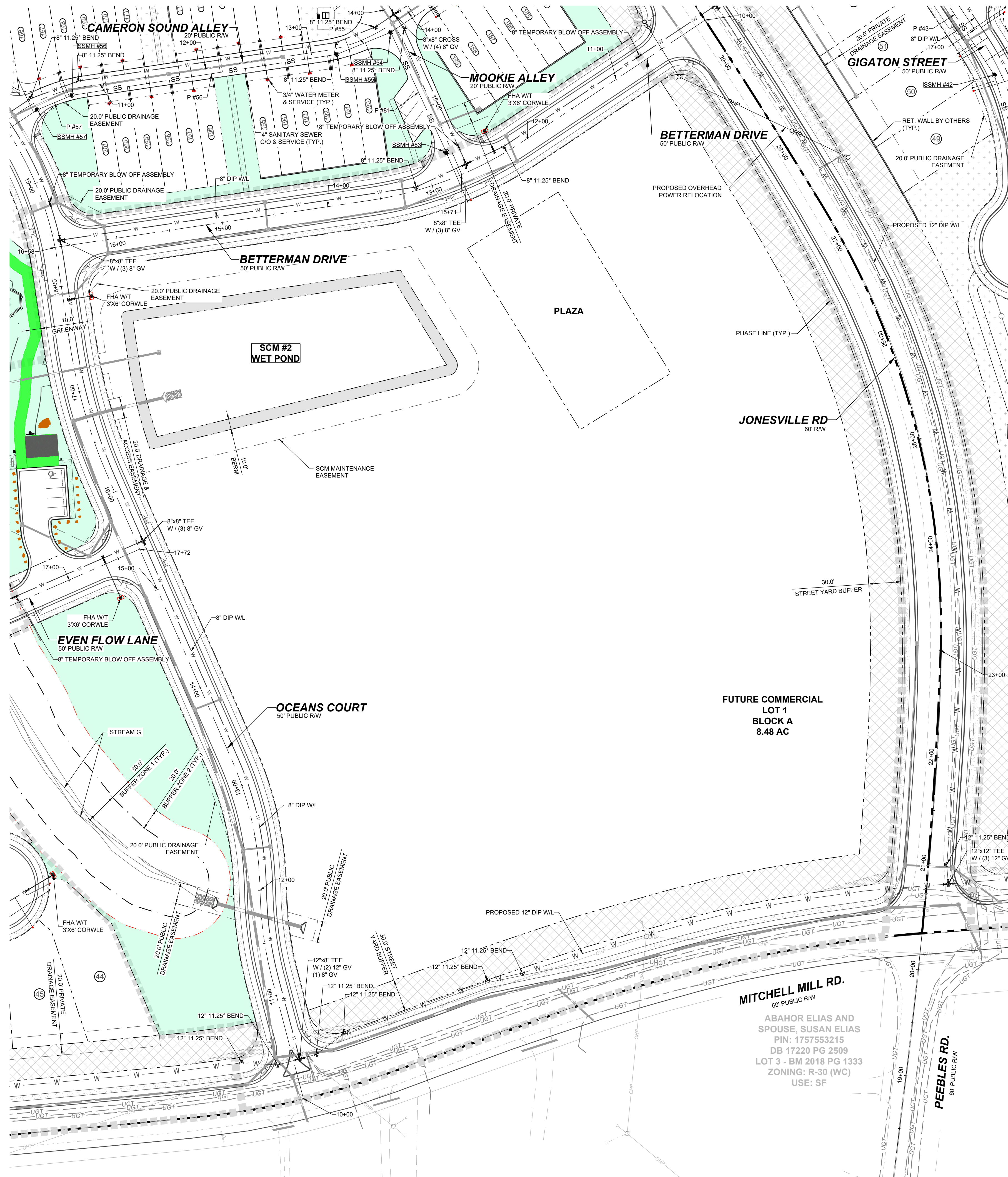
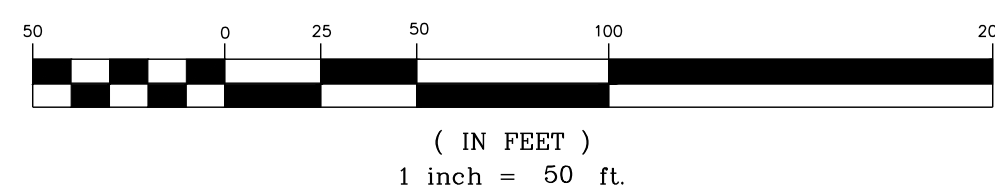
SEE SHEET C-8.0 FOR LEGEND.

**TOWNHOME NOTES:**

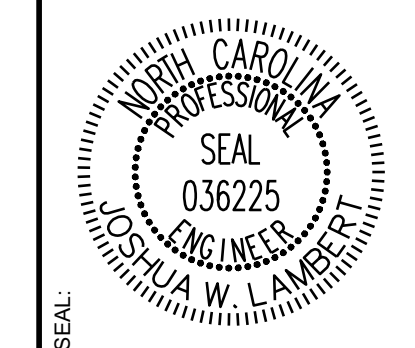
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**GRAPHIC SCALE**



NO.	REVISIONS	DATE	BY
1			
2			



**STRONGROCK**  
ENGINEERING GROUP

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STRONG ROCK PROJECT	PSP-24-03
NOT FOR CONSTRUCTION	
SCALE	AS SHOWN
DESIGNED BY	JWL
DRAWN BY	SRG
CHECKED BY	JWL

RESERVE @ MITCHELL MILL  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
CONSTRUCTION PLANS  
PARTIAL UTILITY PLAN IX

DRAWING SHEET  
**C-8.9**

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PIPE TABLE with columns: PIPE NO, TYPE, SIZE, LF, INV. IN, INV. OUT, GRADE. Rows P #01 to P #25.

PIPE TABLE with columns: PIPE NO, TYPE, SIZE, LF, INV. IN, INV. OUT, GRADE. Rows P #26 to P #47.

PIPE TABLE with columns: PIPE NO, TYPE, SIZE, LF, INV. IN, INV. OUT, GRADE. Rows P #48 to P #72.

PIPE TABLE with columns: PIPE NO, TYPE, SIZE, LF, INV. IN, INV. OUT, GRADE. Rows P #73 to P #93.

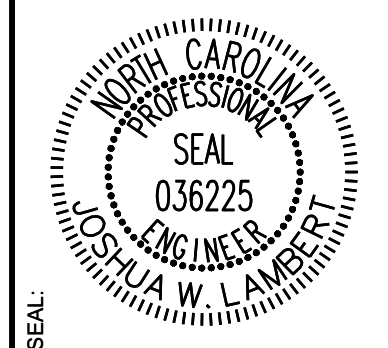
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SSMH TABLE with columns: SSMH NO, SIZE, TOP, INV. IN, INV. OUT, DEPTH. Rows SSMH #25 to SSMH #46A.

SSMH TABLE with columns: SSMH NO, SIZE, TOP, INV. IN, INV. OUT, DEPTH. Rows SSMH #47 to SSMH #71.

SSMH TABLE with columns: SSMH NO, SIZE, TOP, INV. IN, INV. OUT, DEPTH. Rows SSMH #72 to SSMH #95.

Table with columns: No., REVISIONS, DATE.



STRONGROCK ENGINEERING GROUP logo and contact information: STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2766 | 305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

Table with columns: STRONG ROCK PROJECT, NOT FOR CONSTRUCTION, SCALE, DESIGNED BY, DRAWN BY, CHECKED BY.

RESERVE @ MITCHELL MILL TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA CONSTRUCTION PLANS SEWER TABLES

DRAWING SHEET C-8.10

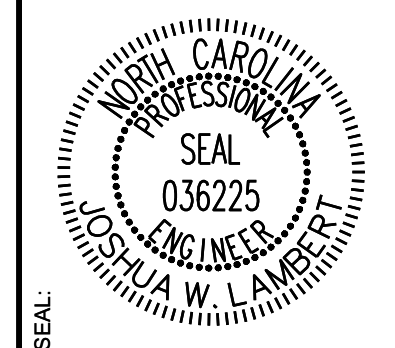


**TOWNHOME NOTES:**  
STATES INTERNAL TOWNHOME DRIVEWAYS ARE PRIVATE EASEMENTS AS PER CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT

**LEGEND:**

	WATER LINE
	FIRE HYDRANT ASSEMBLY
	GATE VALVE
	TEE
	BLOW OFF VALVE

NO.	REVISIONS	DATE	BY
1			
2			



**STRONGROCK**  
ENGINEERING GROUP

STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166  
305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	STRONG ROCK PROJECT
PSP-24-08	PSP-24-08
NOT FOR CONSTRUCTION	NOT FOR CONSTRUCTION
SCALE AS SHOWN	SCALE AS SHOWN
DESIGNED BY JWL	DESIGNED BY JWL
DRAWN BY SRG	DRAWN BY SRG
CHECKED BY JWL	CHECKED BY JWL

**RESERVE @ MITCHELL MILL**  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
**CONSTRUCTION PLANS**  
**OFF-SITE UTILITY PLAN**

**DRAWING SHEET**  
**C-8.11**

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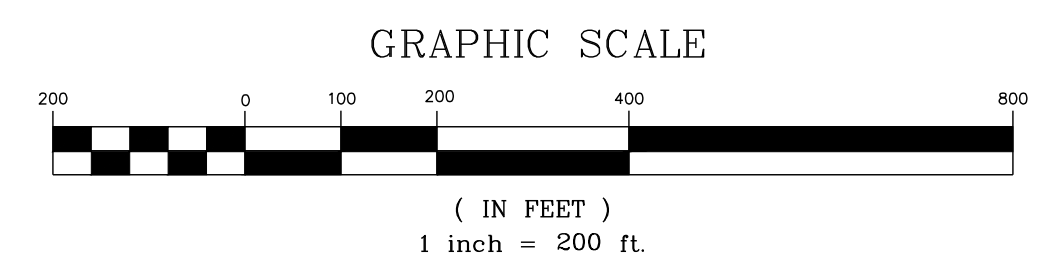
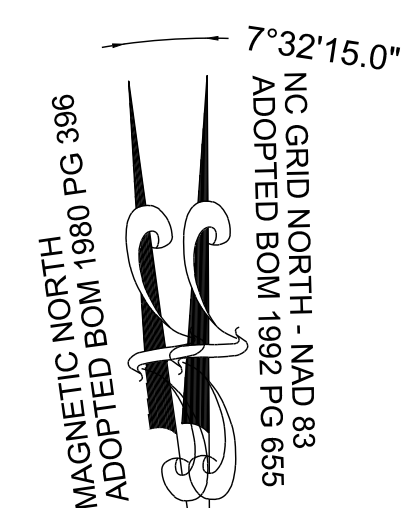


**NOTES:**  
SEE SHEET C-3.0 FOR ADJACENT PROPERTY DETAILS

**TOWNHOME NOTES:**  
STATES INTERNAL TOWNHOME DRIVEWAYS ARE PRIVATE EASEMENTS AS PER CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT

**LEGEND:**

	STORM DRAIN LINE
	FLARED END SECTION
	CATCH BASIN
	STORM DRAIN MANHOLE
	EX. MAJOR CONTOURS
	EX. MINOR CONTOURS
	PROP. MAJOR CONTOURS
	PROP. MINOR CONTOURS



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No.	REVISIONS	DATE	BY
1			
2			



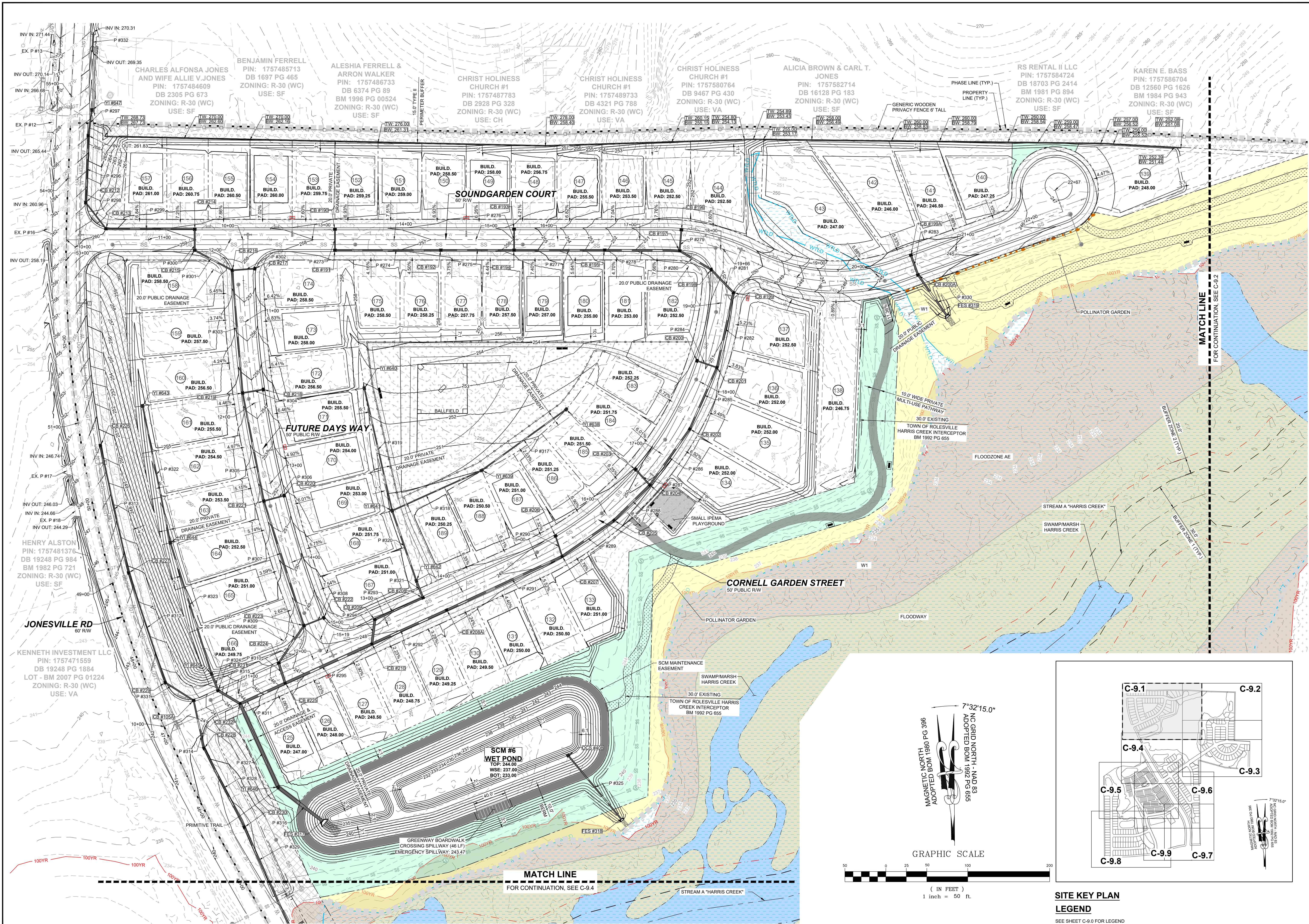
**STRONGROCK**  
ENGINEERING GROUP

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305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT P-SP-24-03	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL
--------------------------------	----------------------	----------------	-----------------	--------------	----------------

RESERVE @ MITCHELL MILL  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
CONSTRUCTION PLANS  
OVERALL GRADING AND DRAINAGE PLAN

DRAWING SHEET  
**C-9.0**



NO.	REVISIONS	DATE	BY
1			
2			



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ENGINEERING GROUP

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305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	STRONG ROCK PROJECT	STRONG ROCK PROJECT	STRONG ROCK PROJECT
PSP-24-03	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL
			DRAWN BY SRG
			CHECKED BY JWL

RESERVE @ MITCHELL MILL  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

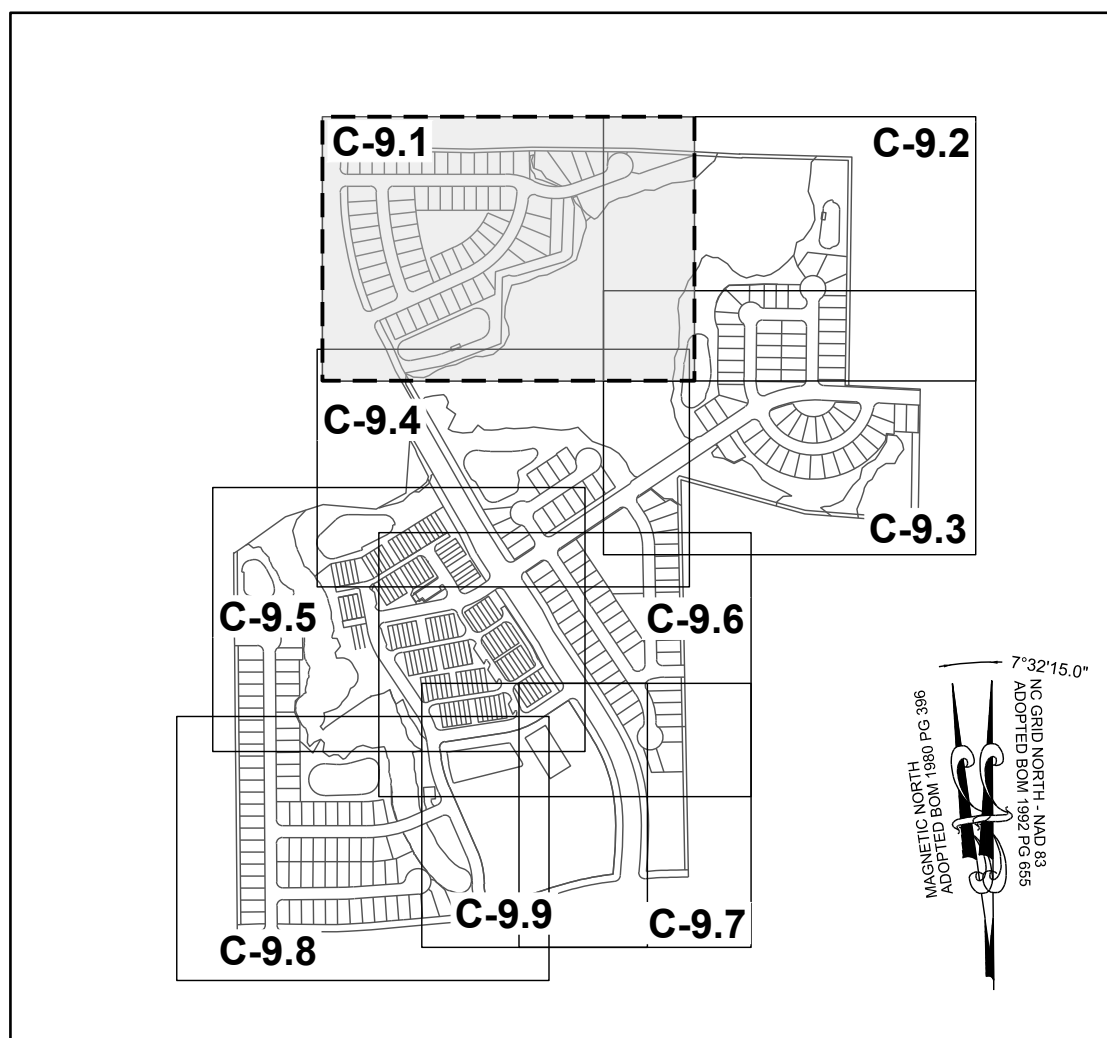
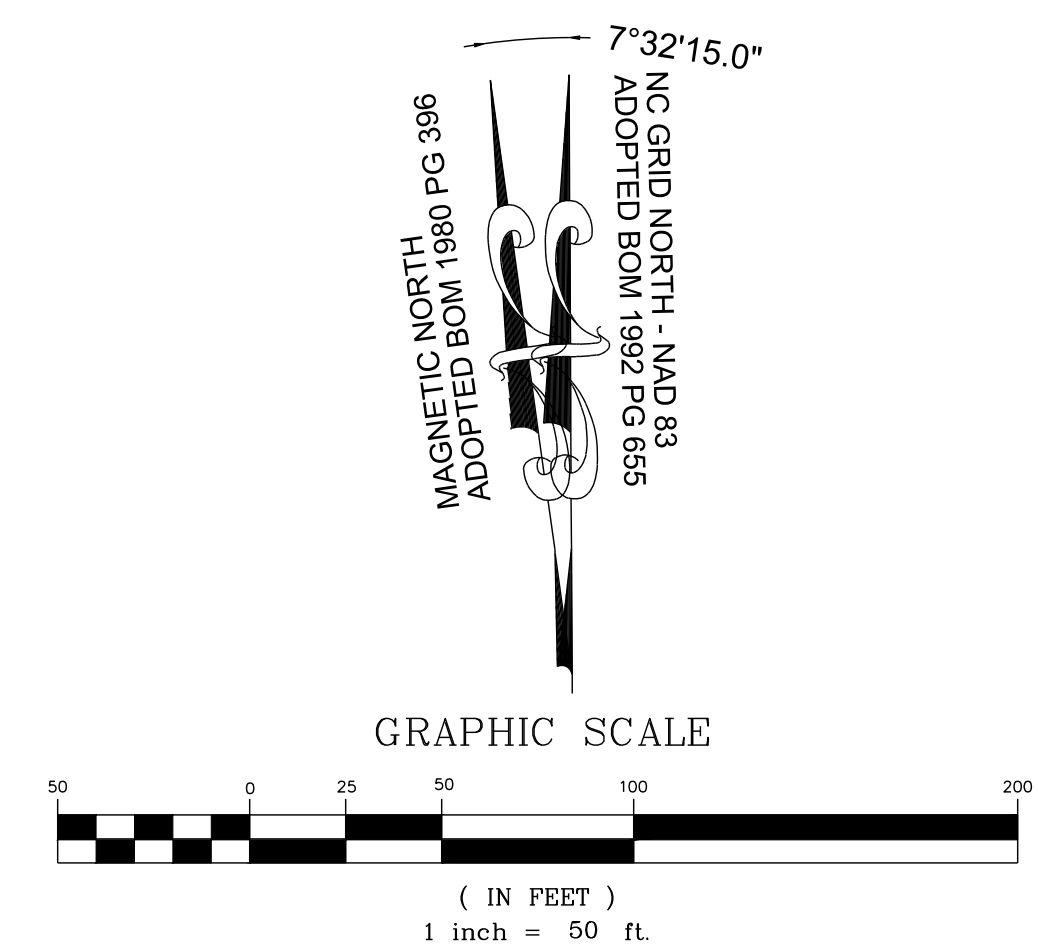
**CONSTRUCTION PLANS**  
**PARTIAL GRADING AND DRAINAGE PLAN I**

DRAWING SHEET  
**C-9.1**

48 OF 176

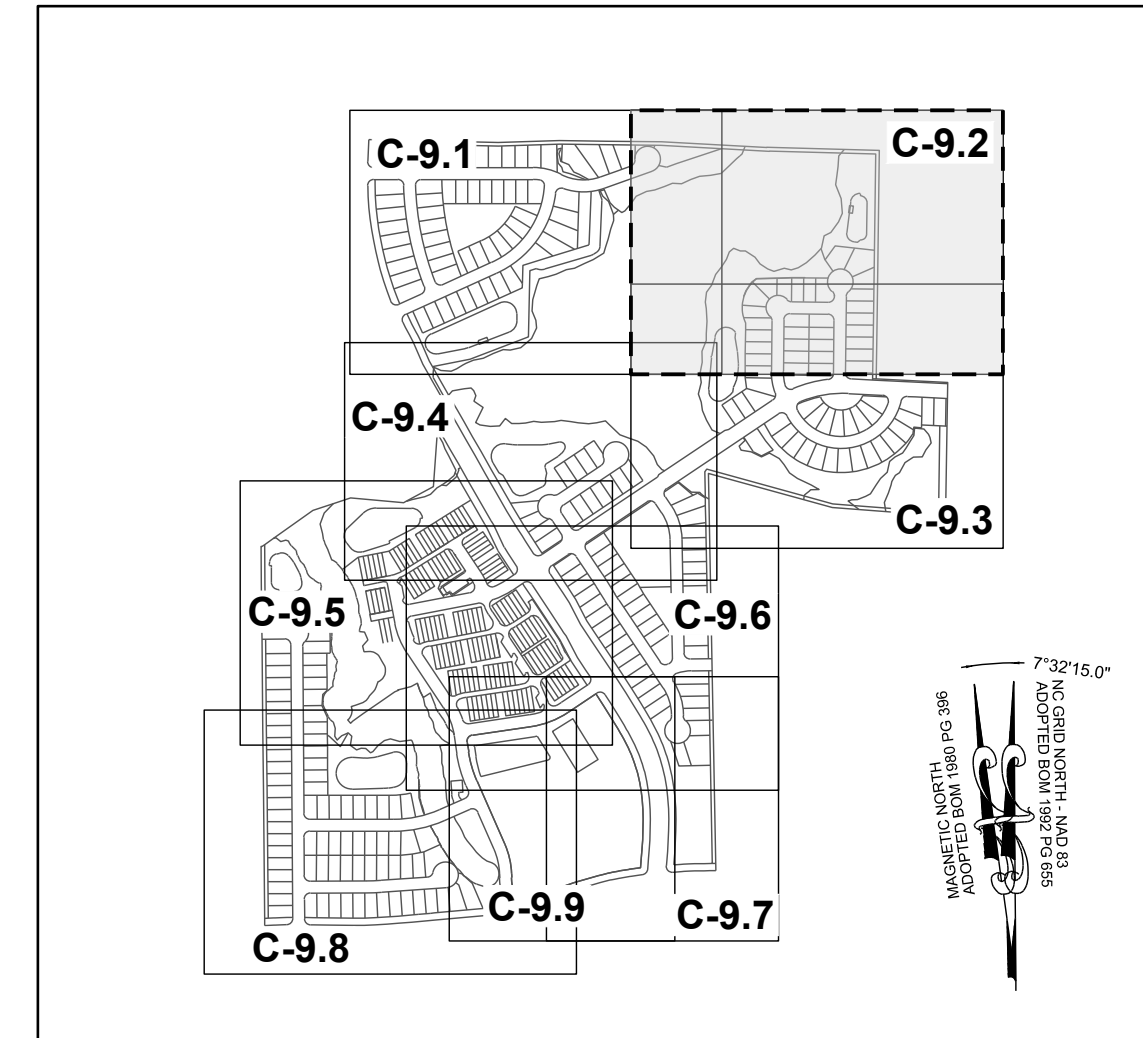
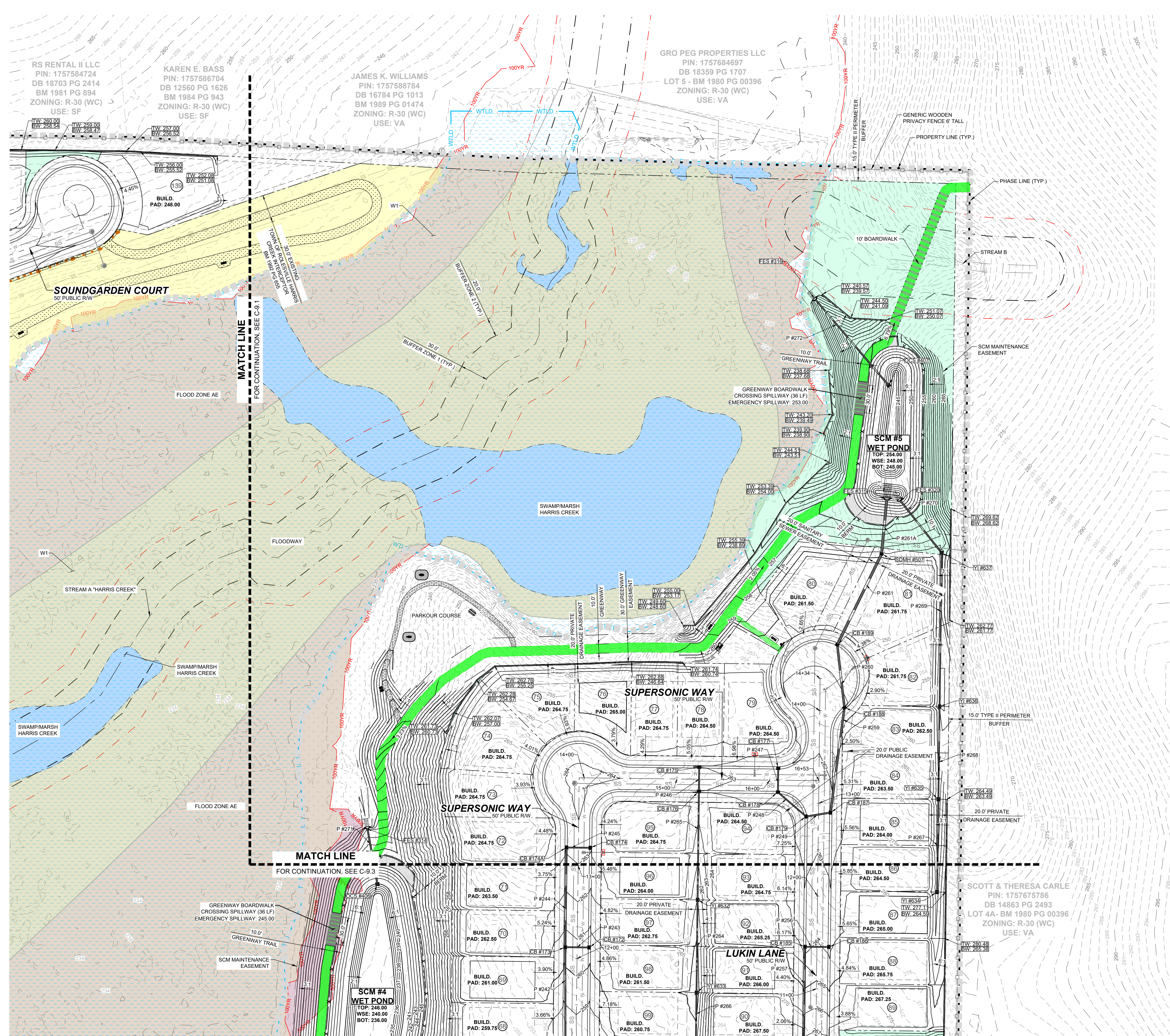
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FOR CONTINUATION, SEE C-9.4

**MATCH LINE**  
FOR CONTINUATION, SEE C-9.2

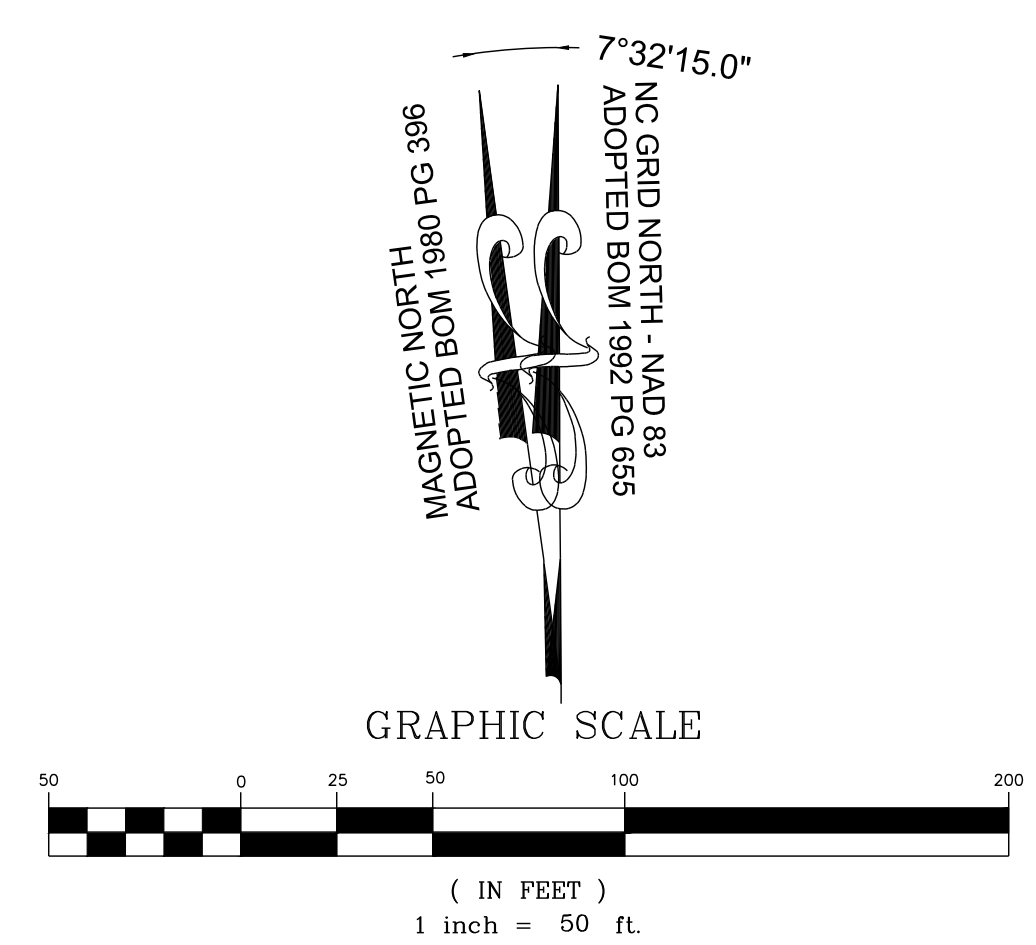


**SITE KEY PLAN**  
**LEGEND**

THIS PLANSET AND ANY ASSOCIATED DOCUMENTS ARE PRELIMINARY AND NOT AUTHORIZED FOR CONSTRUCTION UNTIL SIGNED, DATED, AND OFFICIALLY RELEASED FOR CONSTRUCTION BY THE ENGINEER OF RECORD.



**SITE KEY PLAN**  
**LEGEND**  
 SEE SHEET C-9.0 FOR LEGEND



THIS PLANSET AND ANY ASSOCIATED DOCUMENTS ARE PRELIMINARY AND NOT AUTHORIZED FOR CONSTRUCTION UNTIL SIGNED, DATED, AND OFFICIALLY RELEASED FOR CONSTRUCTION BY THE ENGINEER OF RECORD.

RS RENTAL II LLC  
 PIN: 1757584724  
 DB 18703 PG 2414  
 BM 1981 PG 894  
 ZONING: R-30 (WC)  
 USE: SF

KAREN E. BASS  
 PIN: 1757586704  
 DB 12560 PG 1626  
 BM 1984 PG 943  
 ZONING: R-30 (WC)  
 USE: SF

JAMES K. WILLIAMS  
 PIN: 1757588784  
 DB 16784 PG 1013  
 BM 1989 PG 01474  
 ZONING: R-30 (WC)  
 USE: VA

GRO PEG PROPERTIES LLC  
 PIN: 1757684697  
 DB 18359 PG 1707  
 LOT 5 - BM 1980 PG 00396  
 ZONING: R-30 (WC)  
 USE: VA

GENERIC WOODEN  
 PRIVACY FENCE 6' TALL  
 PROPERTY LINE (TYP.)

PHASE LINE (TYP.)

STREAM B

SCM MAINTENANCE  
 EASEMENT

GREENWAY BOARDWALK  
 CROSSING SPILLWAY (36 LF)  
 EMERGENCY SPILLWAY: 253.00

**SCM #5  
 WET POND**  
 TOP: 254.00  
 WSE: 248.00  
 BOT: 245.00

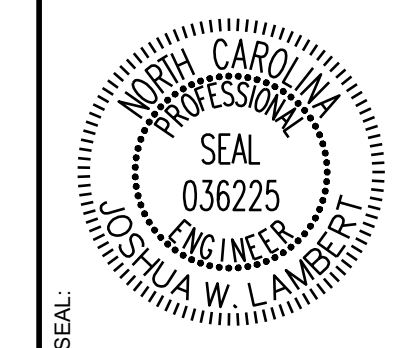
**SUPERSONIC WAY**  
 50' PUBLIC RW

**SUPERSONIC WAY**  
 50' PUBLIC RW

**LUKIN LANE**  
 50' PUBLIC RW

SCOTT & THERESA CARLE  
 PIN: 1757675786  
 DB 14863 PG 2493  
 LOT 4A - BM 1980 PG 00396  
 ZONING: R-30 (WC)  
 USE: VA

NO.	REVISIONS	DATE	BY
1			
2			



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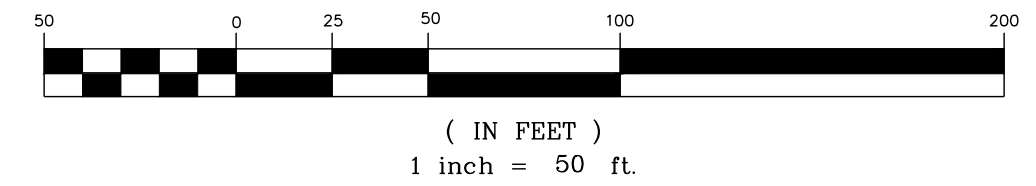
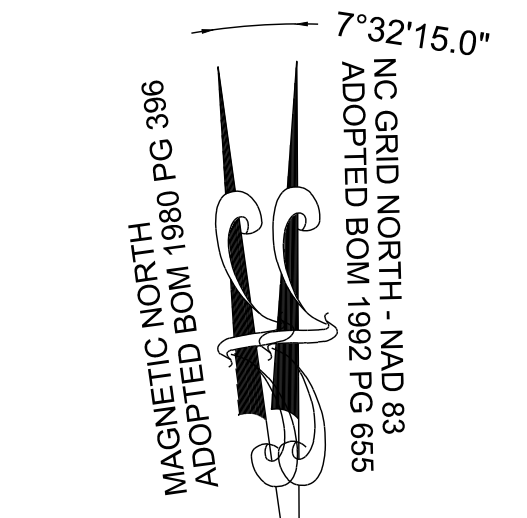
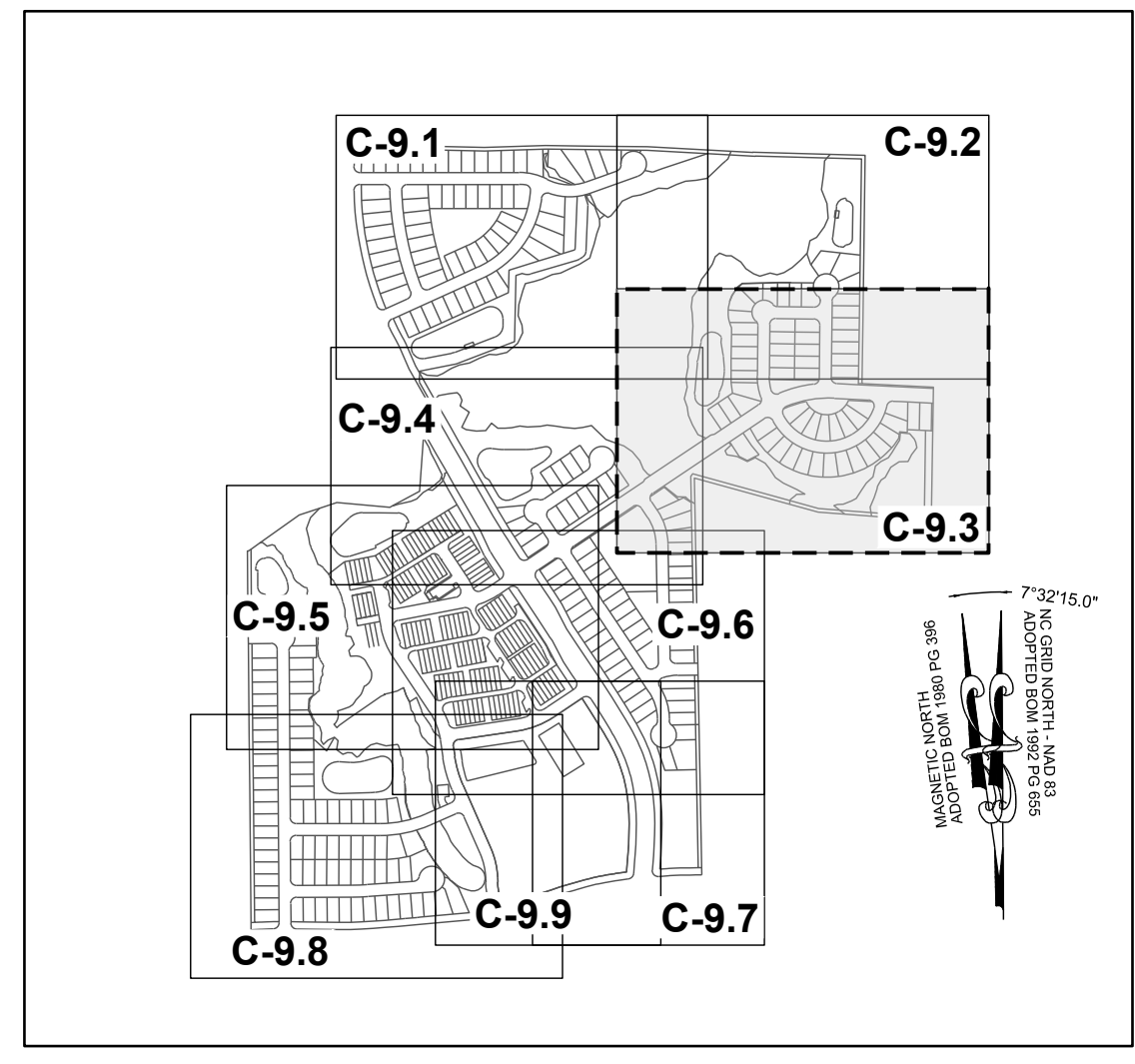
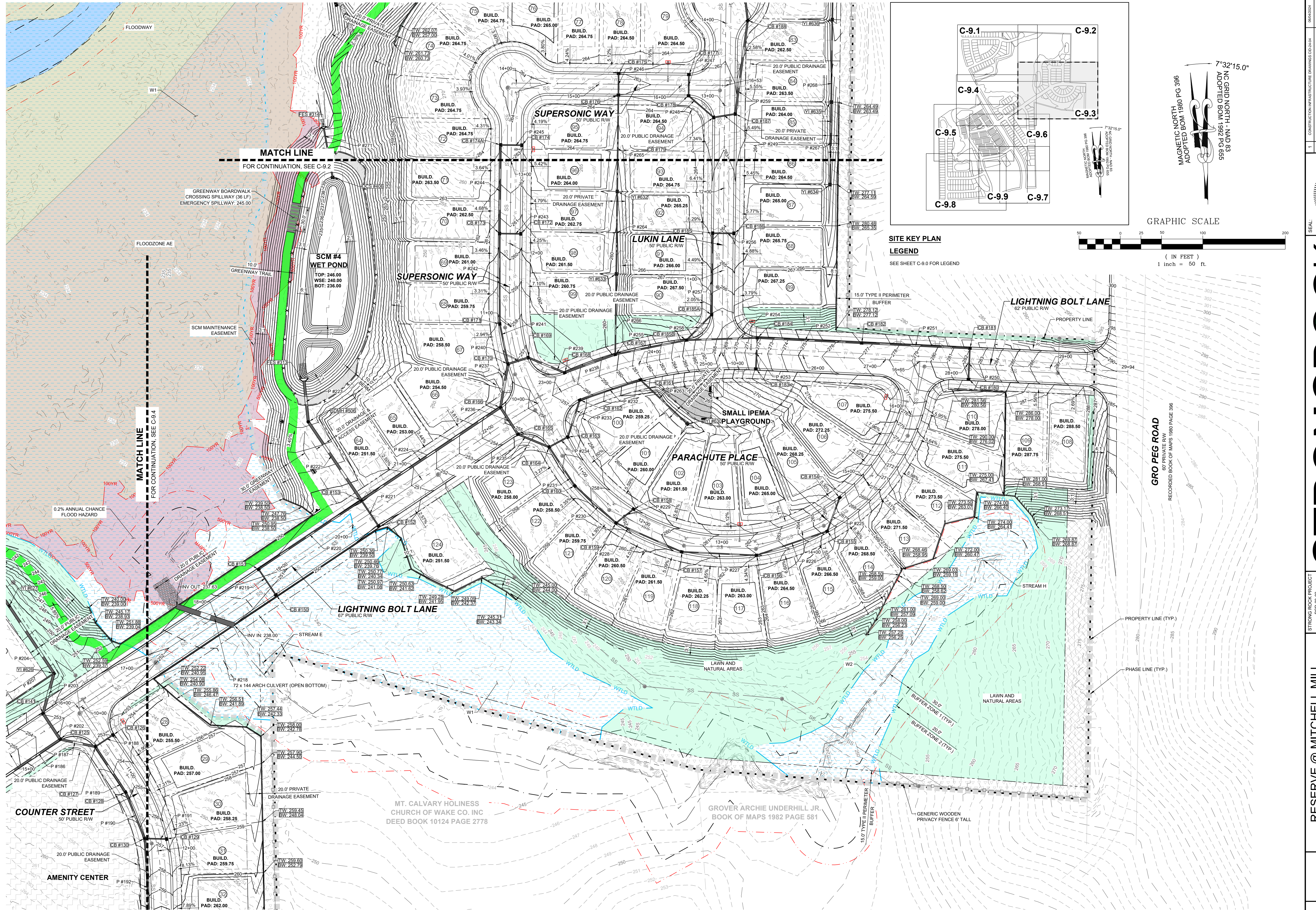
STRONG ROCK PROJECT	STRONG ROCK PROJECT
PSP-24-03	PSP-24-03
NOT FOR CONSTRUCTION	NOT FOR CONSTRUCTION
SCALE AS SHOWN	SCALE AS SHOWN
DESIGNED BY JWL	DESIGNED BY JWL
DRAWN BY SRG	DRAWN BY SRG
CHECKED BY JWL	CHECKED BY JWL

RESERVE @ MITCHELL MILL  
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

**CONSTRUCTION PLANS**  
**PARTIAL GRADING AND DRAINAGE PLAN II**

DRAWING SHEET  
**C-9.2**

49 OF 176



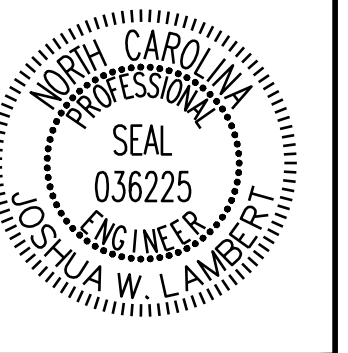
**SITE KEY PLAN LEGEND**

SEE SHEET C-9.0 FOR LEGEND

**MATCH LINE**  
FOR CONTINUATION, SEE C-9.4

**MATCH LINE**  
FOR CONTINUATION, SEE C-9.2

NO.	REVISIONS	DATE	BY
1			
2			



**STRONGROCK**  
ENGINEERING GROUP

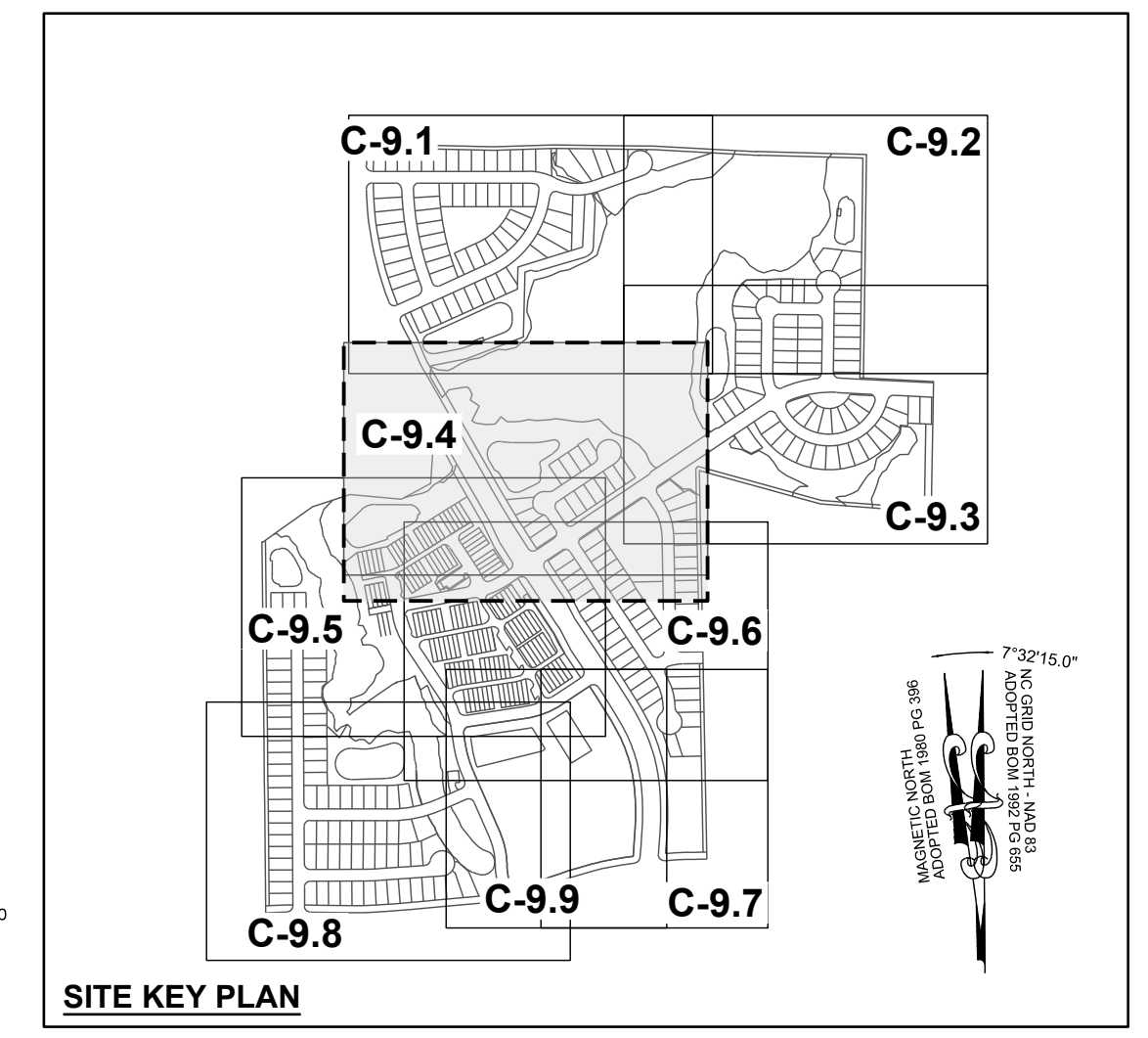
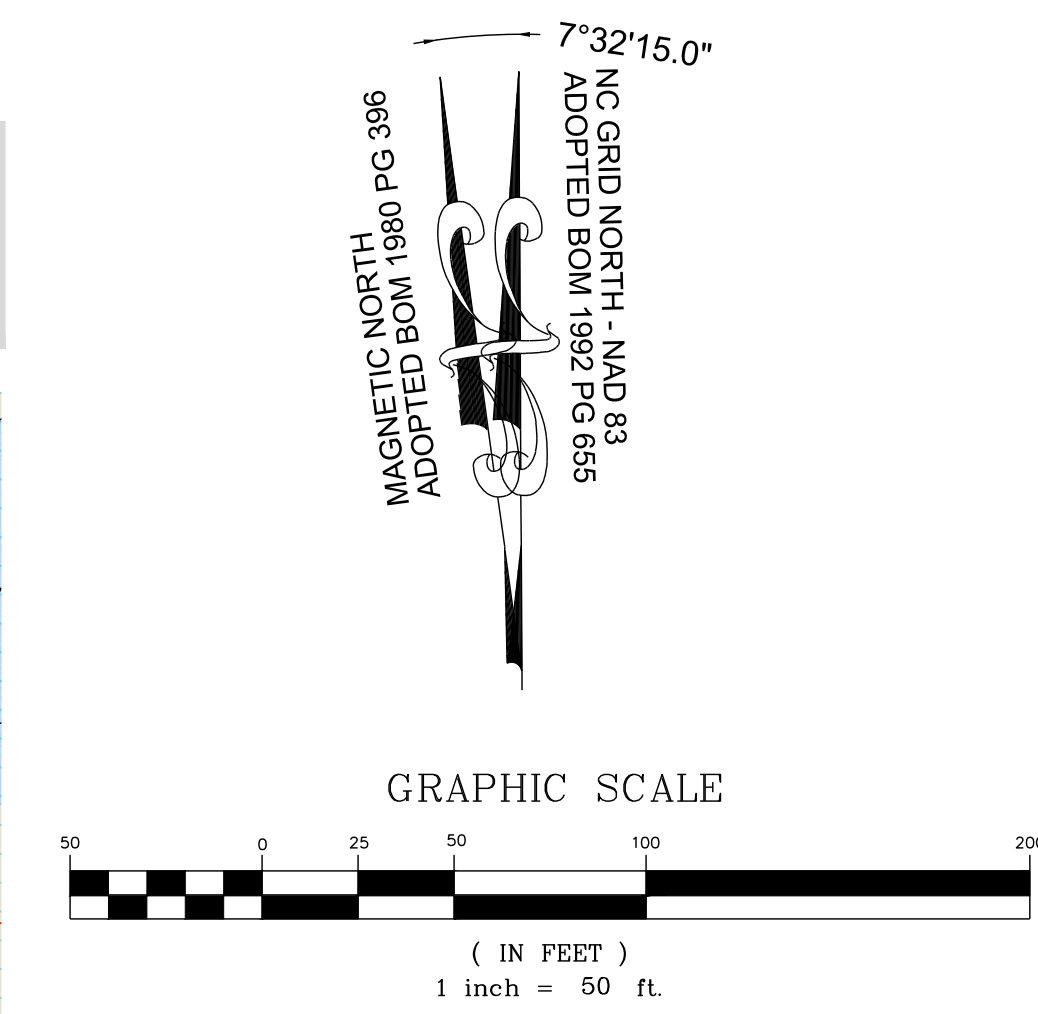
STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166  
305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	SSP-24-03
NOT FOR CONSTRUCTION	
SCALE	AS SHOWN
DESIGNED BY	JWL
DRAWN BY	SRG
CHECKED BY	JWL

**RESERVE @ MITCHELL MILL**  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
**CONSTRUCTION PLANS**  
**PARTIAL GRADING AND DRAINAGE PLAN III**

DRAWING SHEET  
**C-9.3**

**TOWNHOME NOTES:**  
STATES INTERNAL TOWNHOME DRIVEWAYS ARE PRIVATE EASEMENTS AS PER CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT



**LEGEND**  
SEE SHEET C-9.0 FOR LEGEND

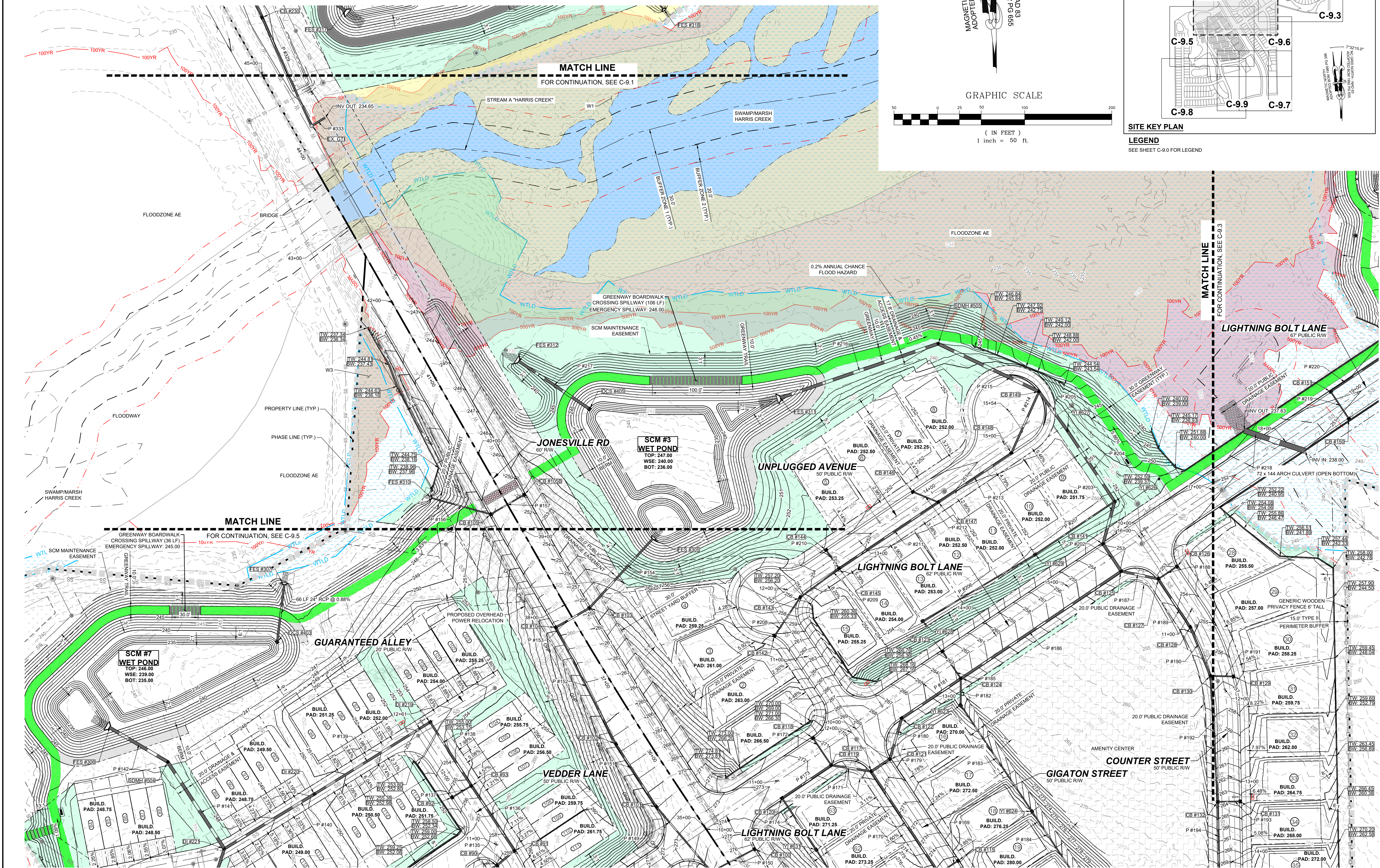
1	CONSTRUCTION INFRASTRUCTURE DRAWINGS CDD-24-04	DATE	BY
2	TOWN OF RALEIGH CDD-24-04	REVISIONS	

**STRONGROCK ENGINEERING GROUP**  
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 305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

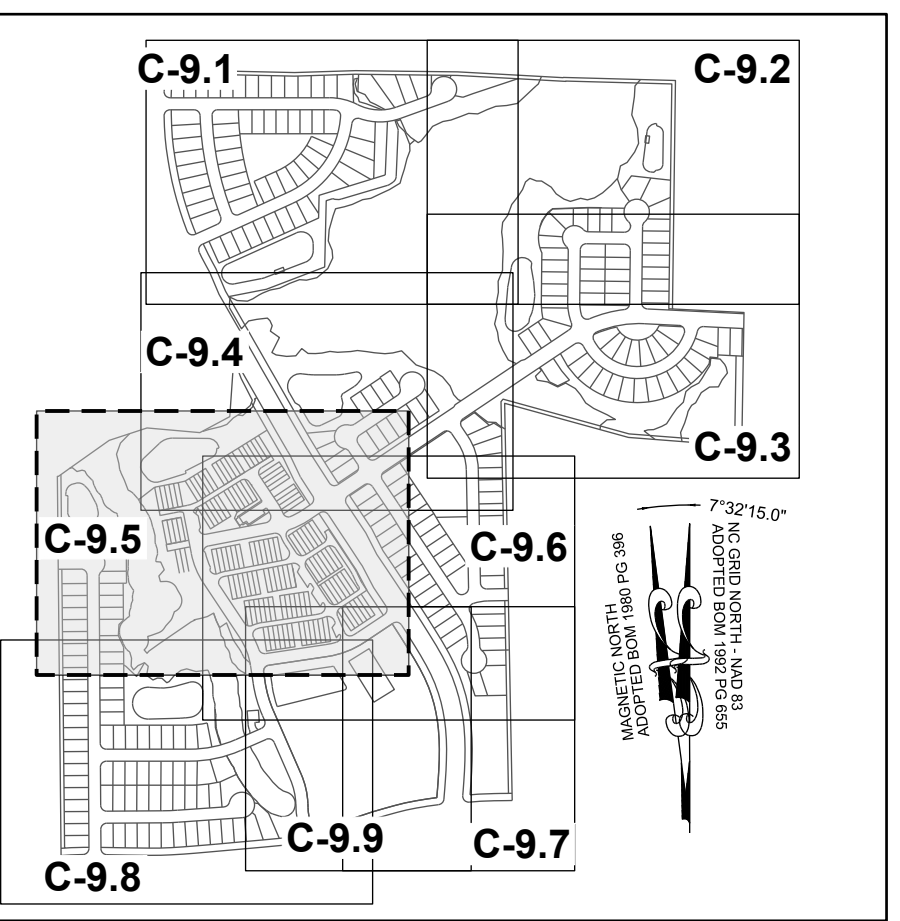
**RESERVE @ MITCHELL MILL**  
 TOWN OF RALEIGH, WAKE COUNTY, NORTH CAROLINA  
**CONSTRUCTION PLANS**  
**PARTIAL GRADING AND DRAINAGE PLAN IV**

DRAWING SHEET  
**C-9.4**

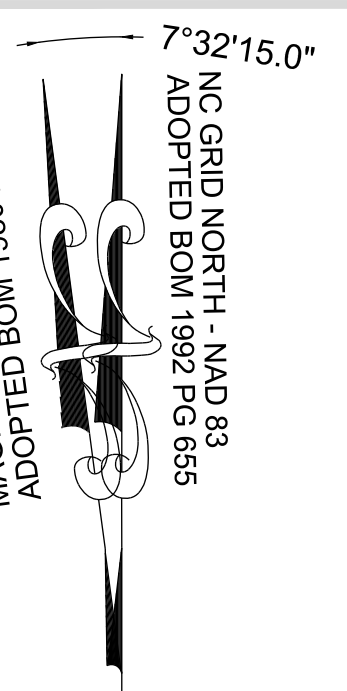
51 OF 176



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**TOWNHOME NOTES:**  
STATES INTERNAL TOWNHOME DRIVEWAYS ARE PRIVATE EASEMENTS AS PER CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT

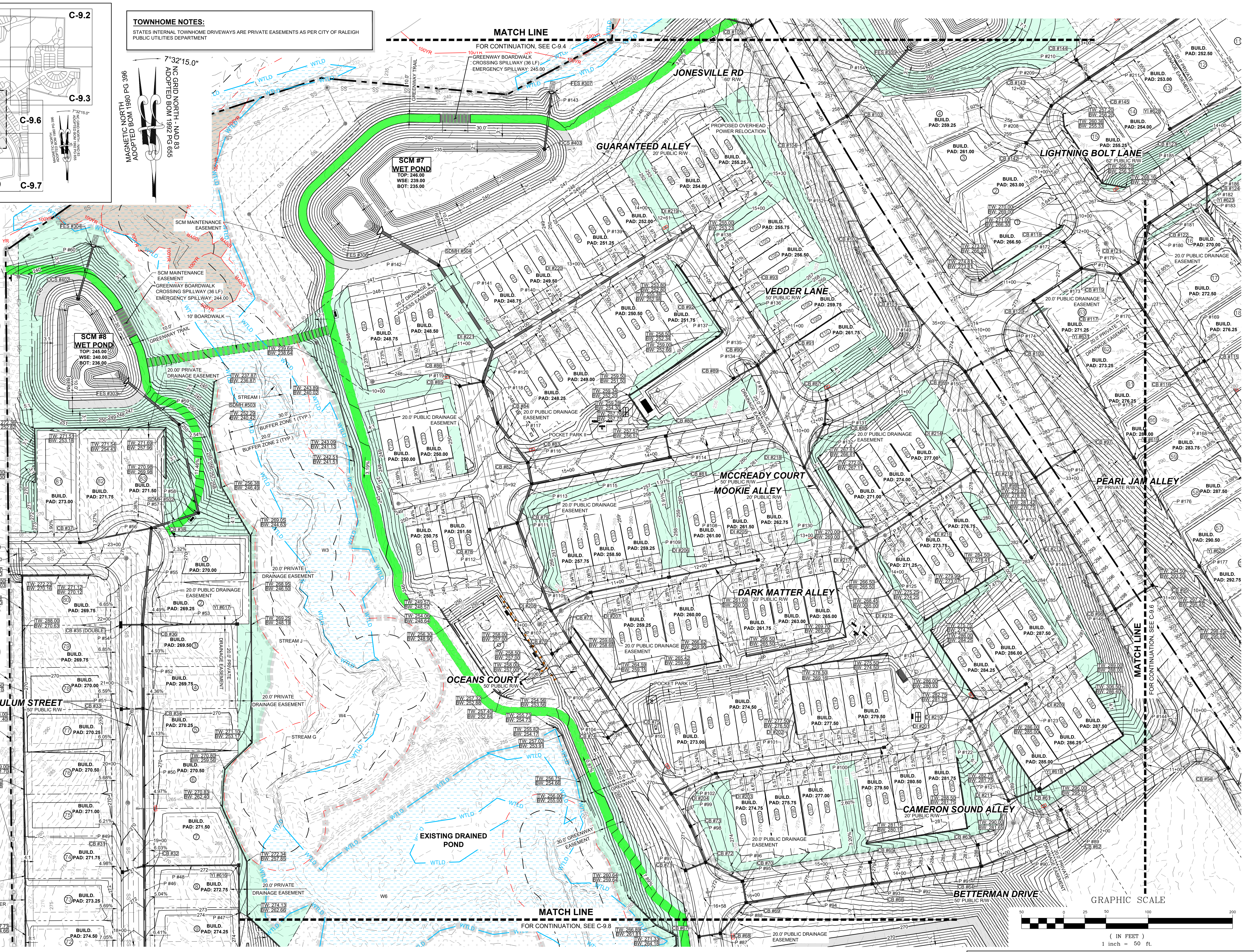


**SITE KEY PLAN**  
**LEGEND**  
SEE SHEET C-9.0 FOR LEGEND

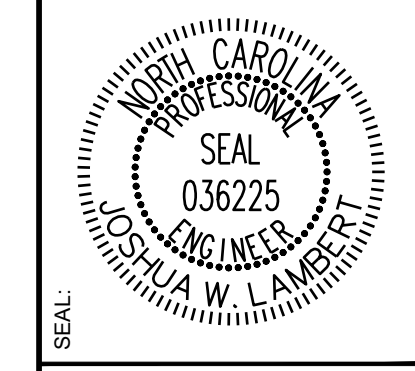
**KENNETH INVESTMENT LLC.**  
PIN: 1757368816  
DB 19248 PG 1884  
ZONING: R-30 (WC)  
USE: VA

**MEGAN KULAWIAK**  
PIN: 1757367367  
DB 16226 PG 1133  
LOT 6  
BM 1990 PG 00387  
ZONING: R-30 (WC)  
USE: VA

**PENDULUM STREET**  
50' PUBLIC R/W



NO.	REVISIONS	DATE	BY
1			
2			



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**RESERVE @ MITCHELL MILL**  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
CONSTRUCTION PLANS  
PARTIAL GRADING AND  
DRAINAGE PLAN V

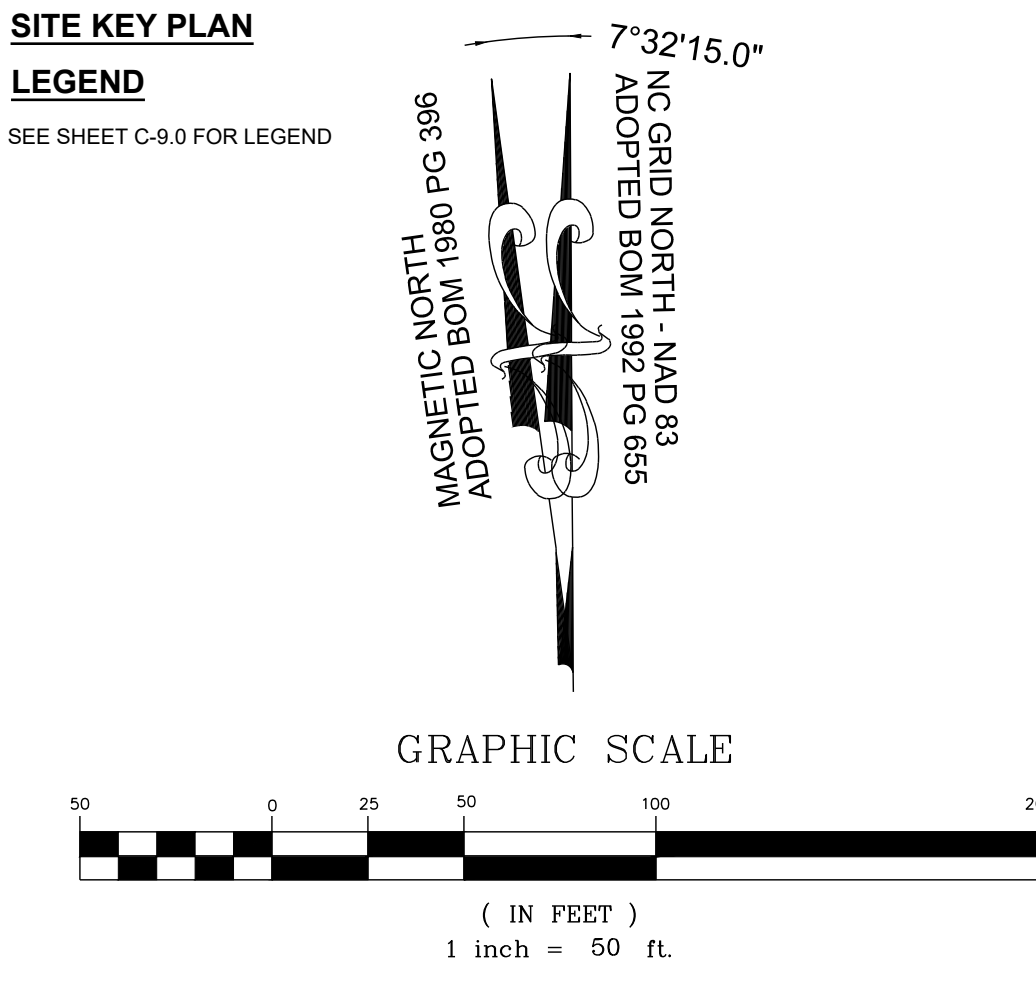
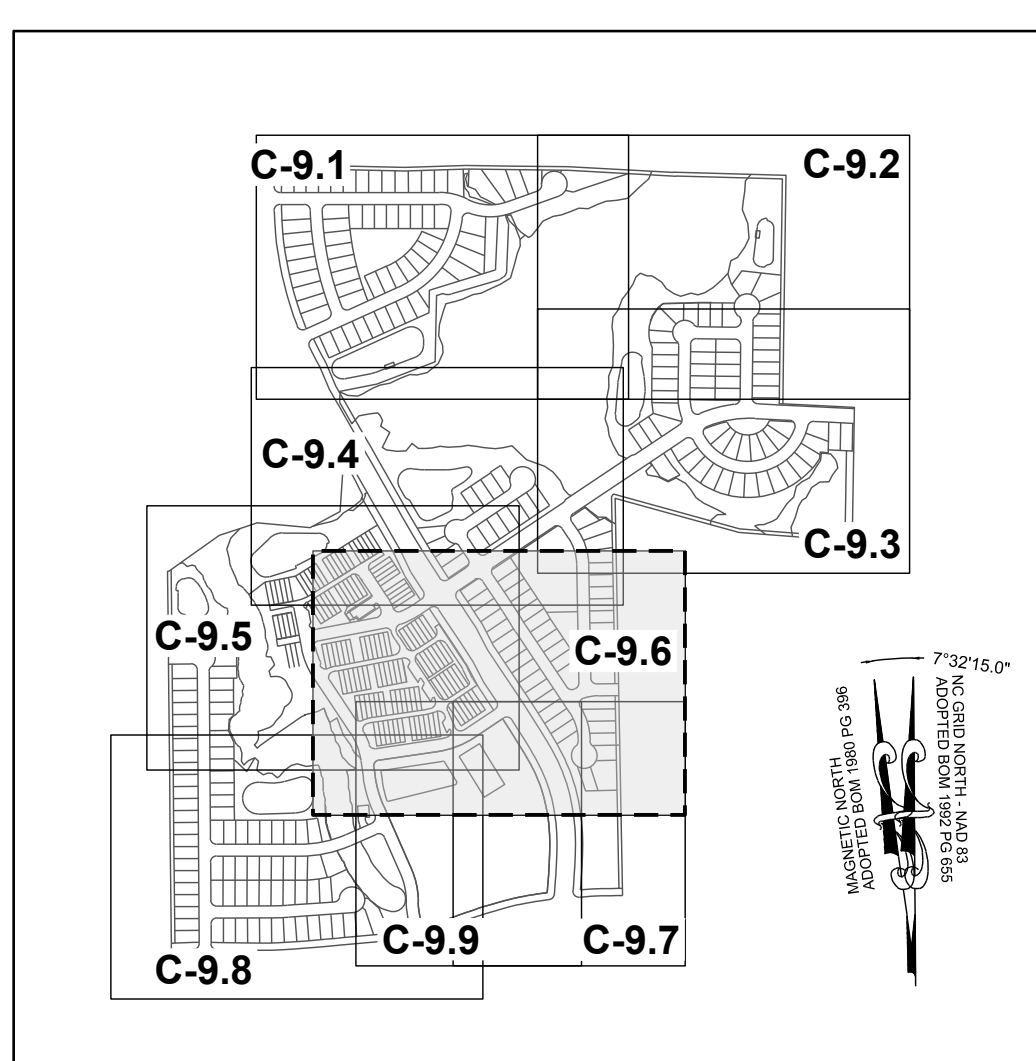
DRAWING SHEET  
**C-9.5**

52 OF 176

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**TOWNHOME NOTES:**  
STATES INTERNAL TOWNHOME DRIVEWAYS ARE PRIVATE EASEMENTS AS PER CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT

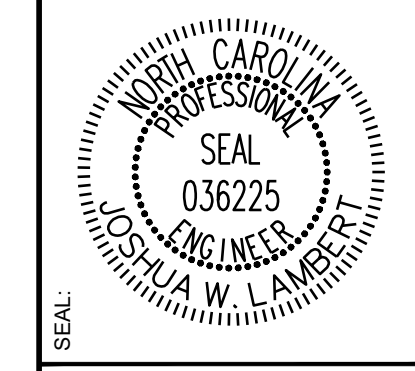


**MATCH LINE**  
FOR CONTINUATION, SEE C-9.7

**MATCH LINE**  
FOR CONTINUATION, SEE C-9.8

- GENERIC WOODEN PRIVATE FENCE 6' TALL
- 15.0' TYPE II PERIMETER BUFFER
- PROPERTY LINE (TYP.)
- PHASE LINE (TYP.)

NO.	REVISIONS	DATE	BY
1			
2			



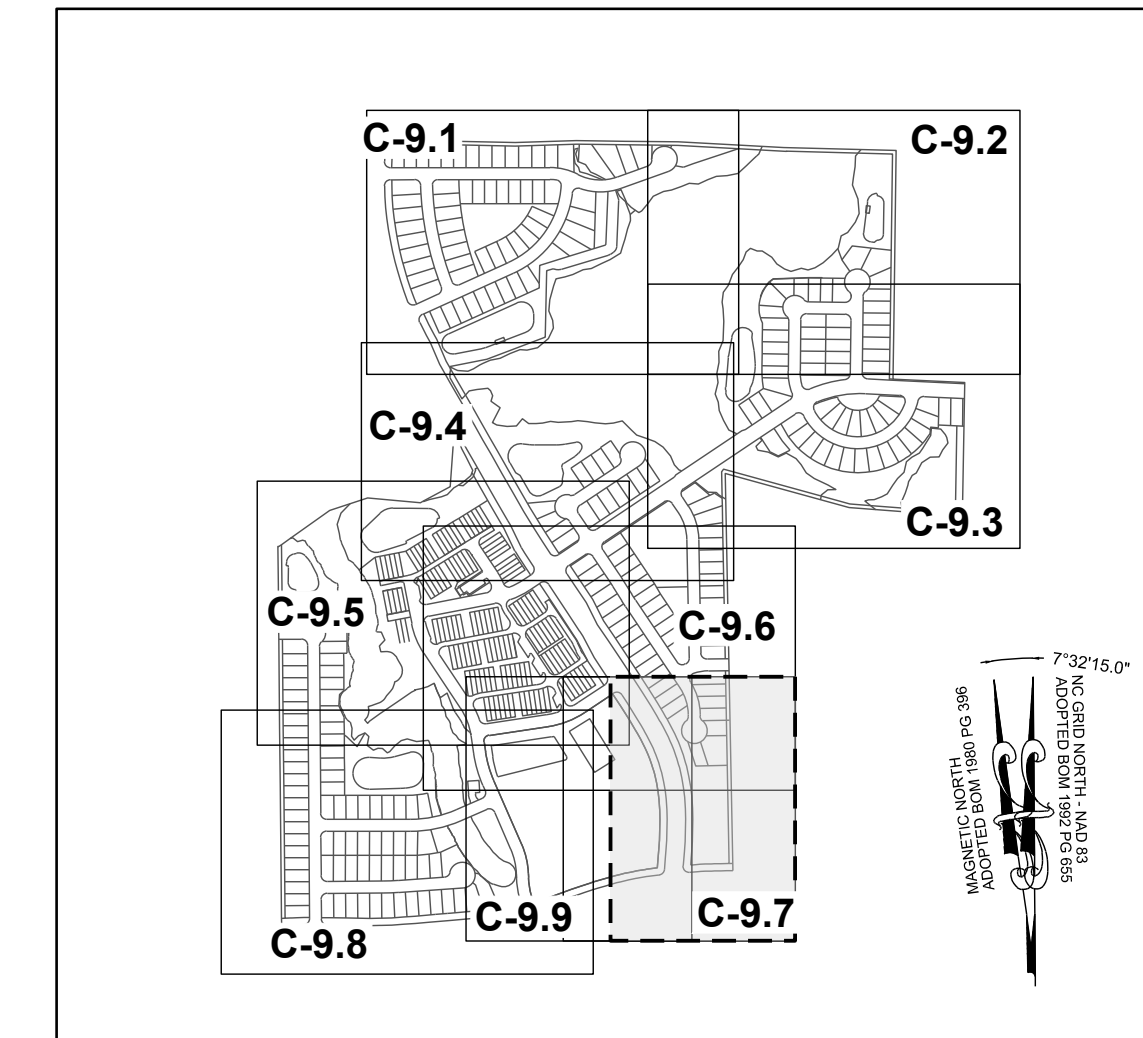
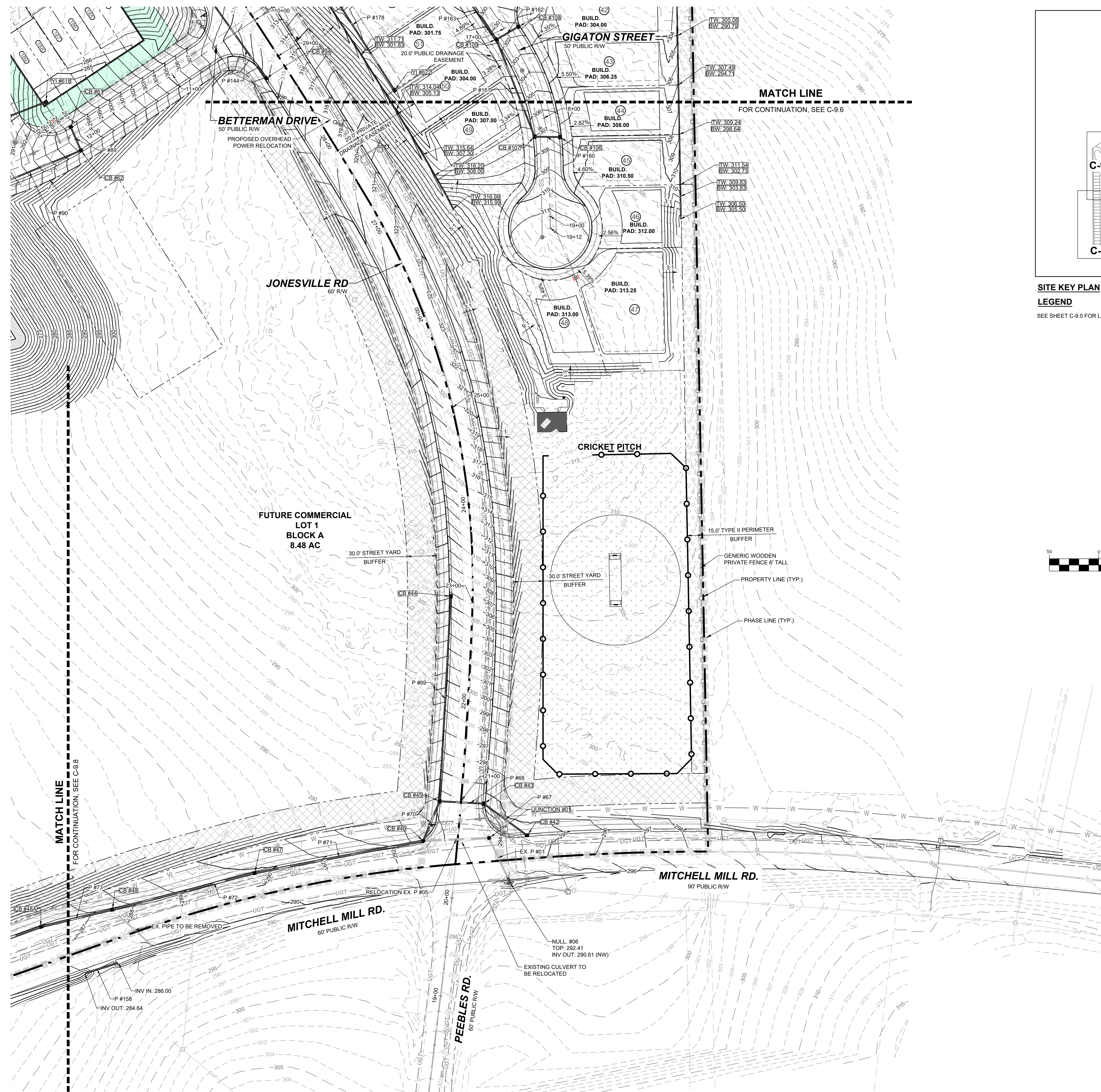
**STRONGROCK**  
ENGINEERING GROUP

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305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

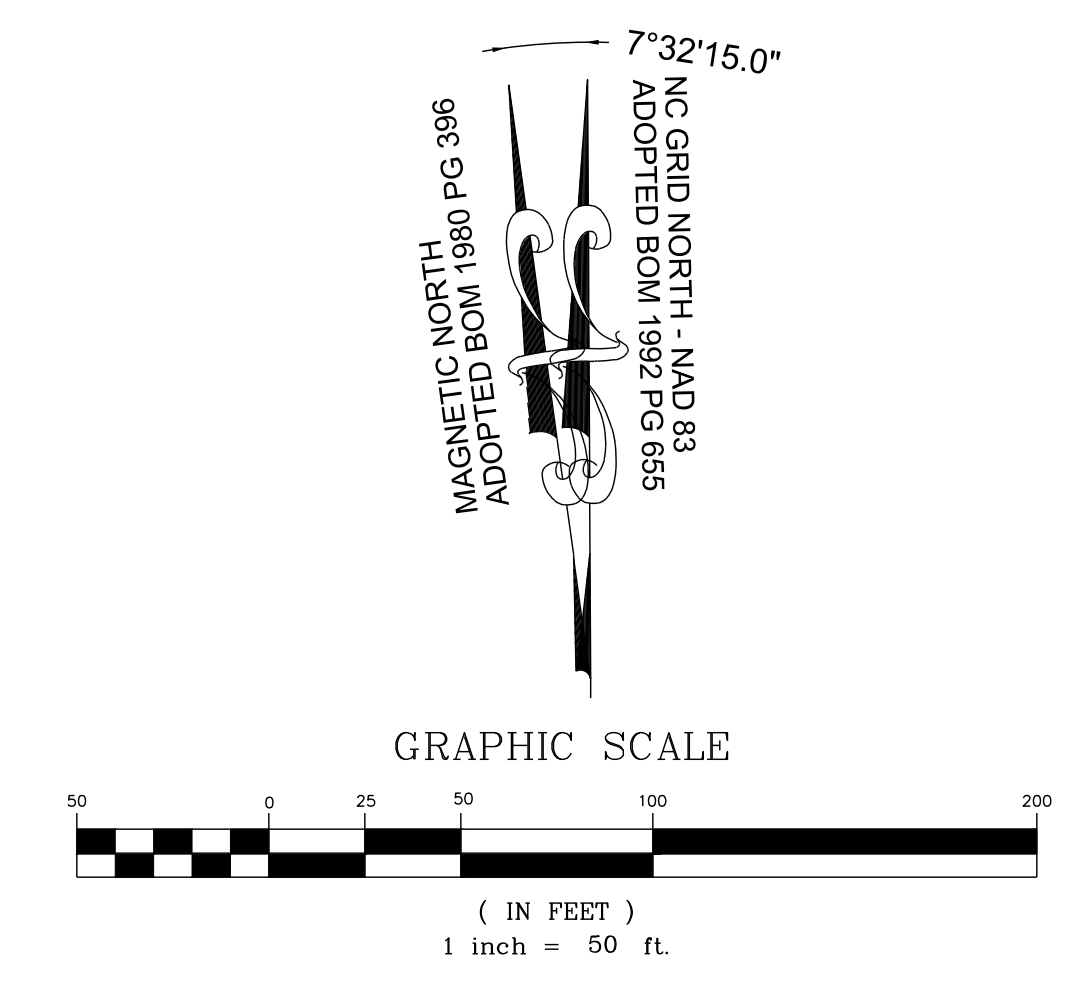
STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
PSP-24-03		AS SHOWN	JWL	SRG	JWL

RESERVE @ MITCHELL MILL  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
CONSTRUCTION PLANS  
PARTIAL GRADING AND DRAINAGE PLAN VI

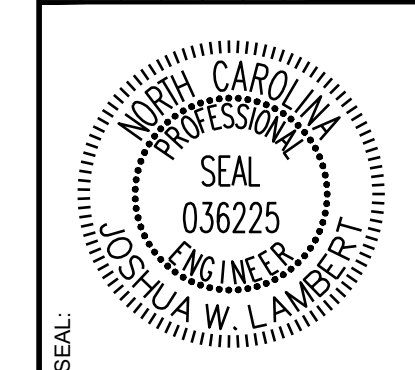
THIS PLANSET AND ANY ASSOCIATED DOCUMENTS ARE PRELIMINARY AND NOT AUTHORIZED FOR CONSTRUCTION UNTIL SIGNED, DATED, AND OFFICIALLY RELEASED FOR CONSTRUCTION BY THE ENGINEER OF RECORD.



**SITE KEY PLAN**  
**LEGEND**  
 SEE SHEET C-9.0 FOR LEGEND



NO.	REVISIONS	DATE	BY
1			
2			



**STRONGROCK**  
 ENGINEERING GROUP  
 STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166  
 305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	STRONG ROCK PROJECT
PSP-24-03	PSP-24-03
NOT FOR CONSTRUCTION	NOT FOR CONSTRUCTION
SCALE AS SHOWN	SCALE AS SHOWN
DESIGNED BY JWL	DESIGNED BY JWL
DRAWN BY SRG	DRAWN BY SRG
CHECKED BY JWL	CHECKED BY JWL

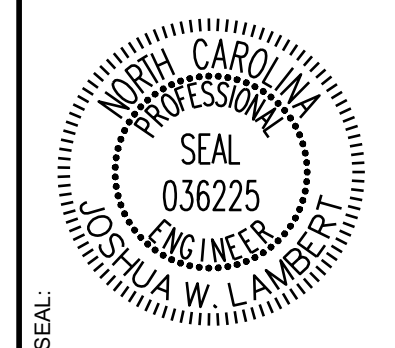
RESERVE @ MITCHELL MILL  
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
 CONSTRUCTION PLANS  
 PARTIAL GRADING AND DRAINAGE PLAN VII

DRAWING SHEET  
**C-9.7**

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NO.	REVISIONS	DATE	BY
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2	TOWN OF ROLESVILLE CDD-10-24-04	11/01/2024	



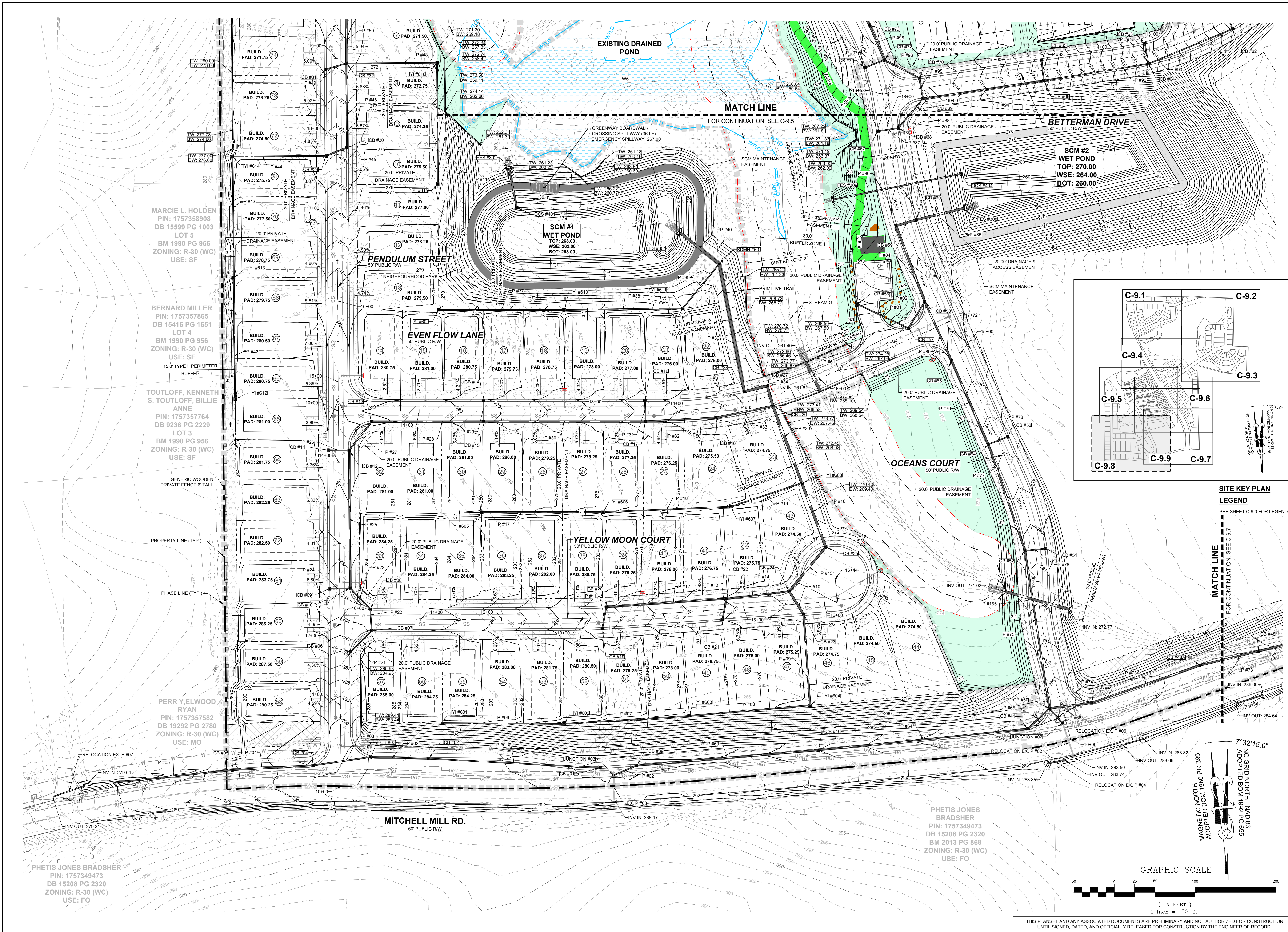
**STRONGROCK**  
ENGINEERING GROUP

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305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	STRONG ROCK PROJECT PSP-24-03
NOT FOR CONSTRUCTION	
SCALE	AS SHOWN
DESIGNED BY	JWL
DRAWN BY	SRG
CHECKED BY	JWL

RESERVE @ MITCHELL MILL  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
CONSTRUCTION PLANS  
PARTIAL GRADING AND DRAINAGE PLAN VIII

DRAWING SHEET  
**C-9.8**



MARCIE L. HOLDEN  
PIN: 1757358908  
DB 15599 PG 1003  
LOT 5  
BM 1990 PG 956  
ZONING: R-30 (WC)  
USE: SF

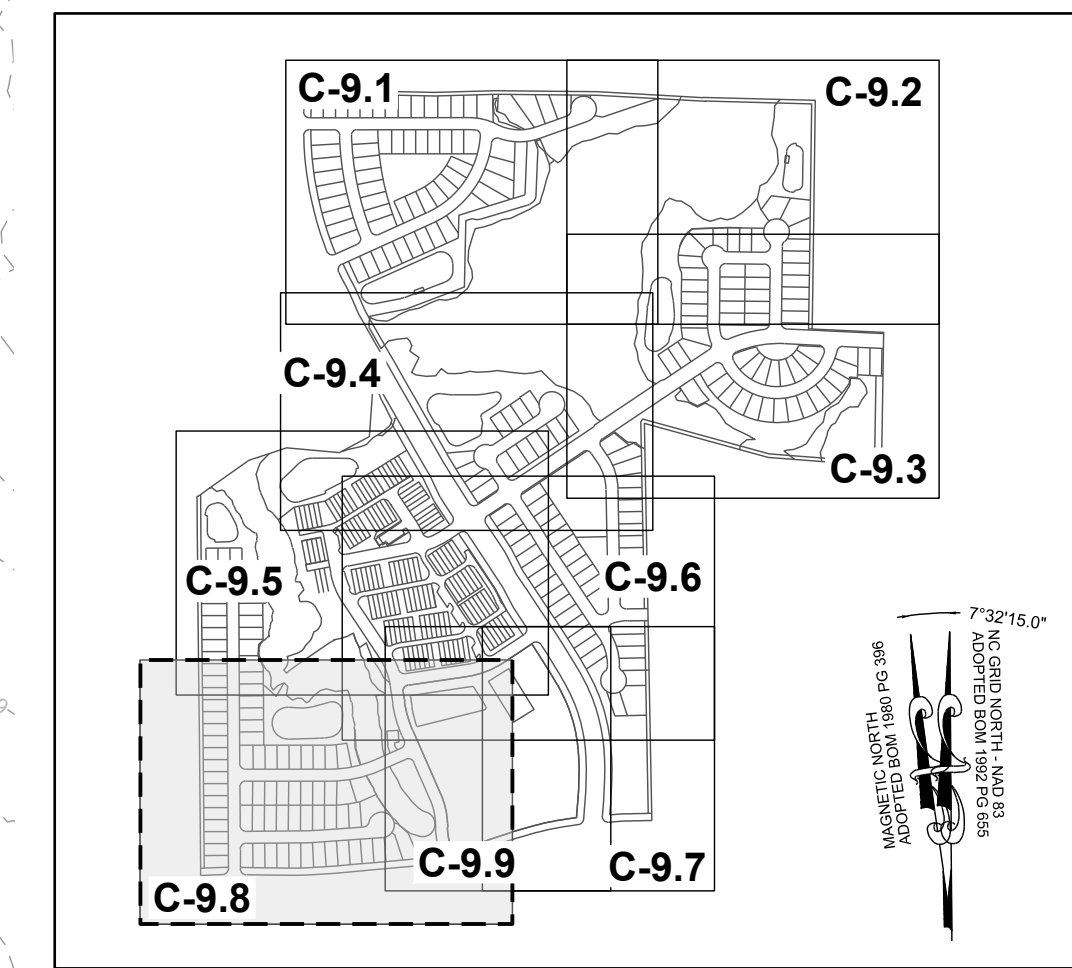
BERNARD MILLER  
PIN: 1757357865  
DB 15416 PG 1651  
LOT 4  
BM 1990 PG 956  
ZONING: R-30 (WC)  
USE: SF

TOUTLOFF, KENNETH  
S. TOUTLOFF, BILLIE  
ANNE  
PIN: 1757357764  
DB 9236 PG 2229  
LOT 3  
BM 1990 PG 956  
ZONING: R-30 (WC)  
USE: SF

PERR Y. ELWOOD  
RYAN  
PIN: 1757357582  
DB 19292 PG 2780  
ZONING: R-30 (WC)  
USE: MO

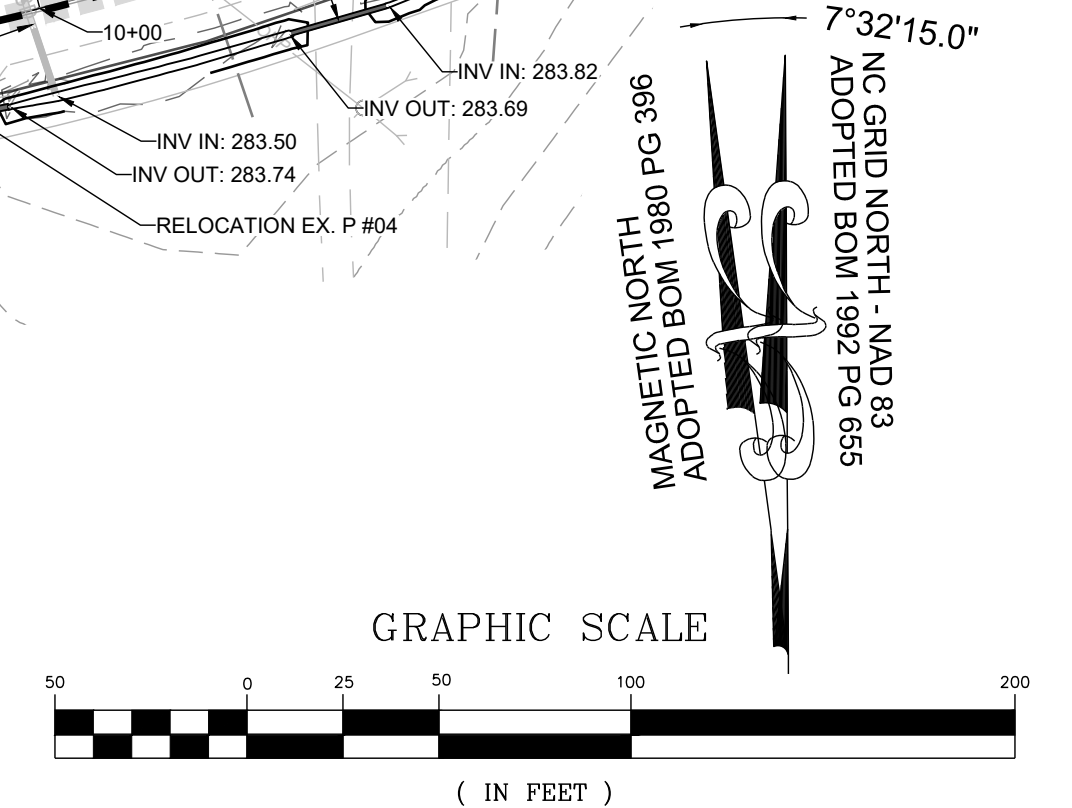
PHETIS JONES BRADSHER  
PIN: 1757349473  
DB 15208 PG 2320  
ZONING: R-30 (WC)  
USE: FO

PHETIS JONES  
BRADSHER  
PIN: 1757349473  
DB 15208 PG 2320  
BM 2013 PG 868  
ZONING: R-30 (WC)  
USE: FO

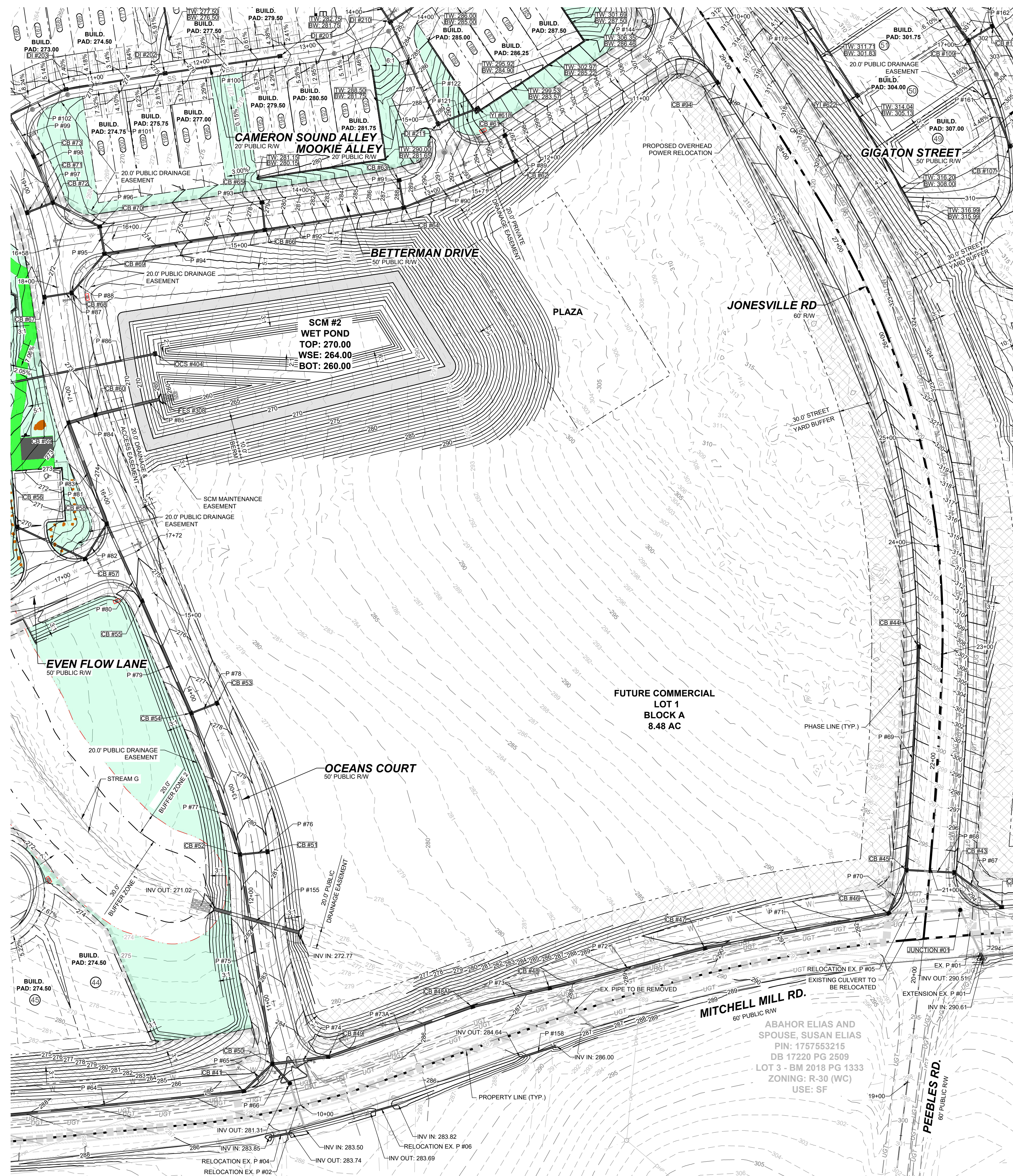


**SITE KEY PLAN**  
**LEGEND**  
SEE SHEET C-9.0 FOR LEGEND

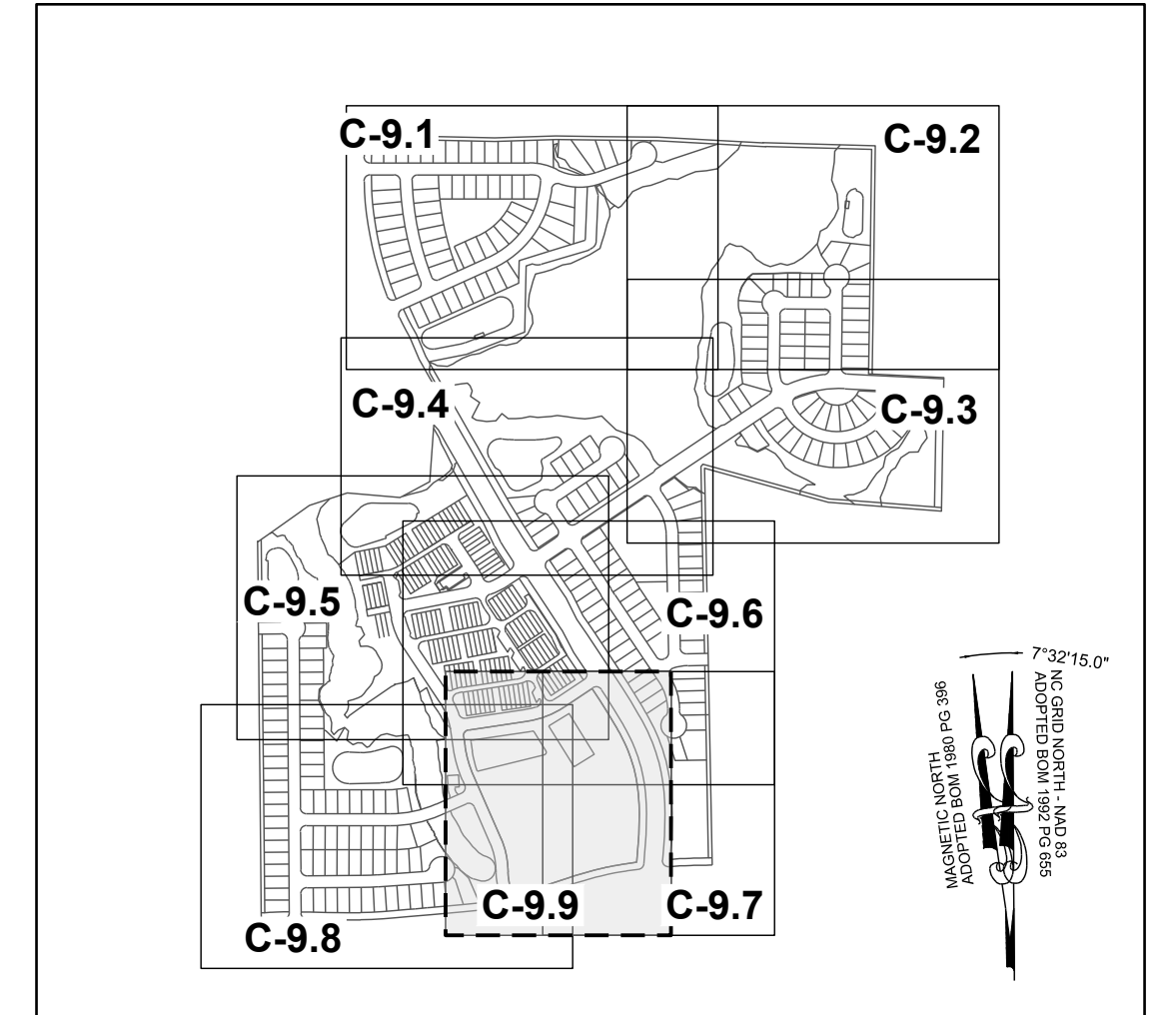
**MATCH LINE**  
FOR CONTINUATION, SEE C-9.7



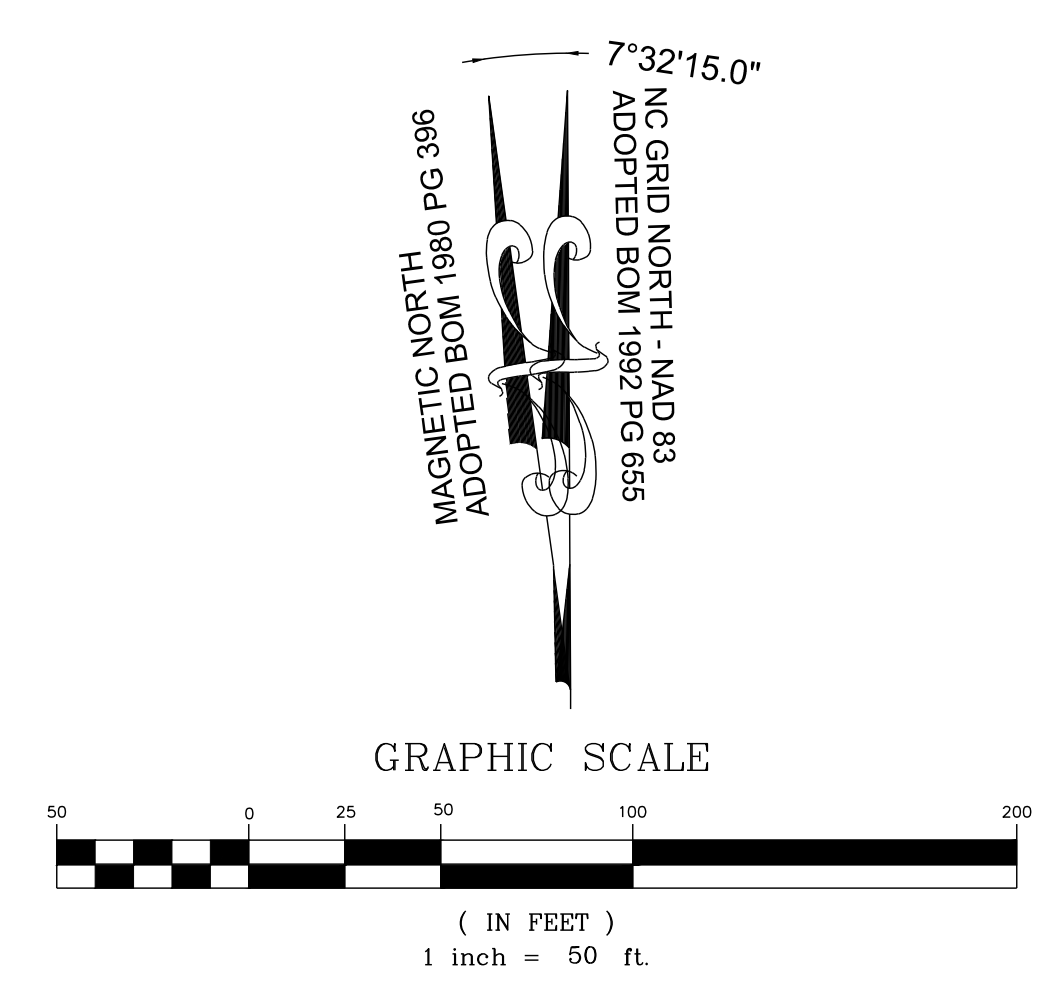
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**TOWNHOME NOTES:**  
 STATES INTERNAL TOWNHOME DRIVEWAYS ARE PRIVATE EASEMENTS AS PER CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT

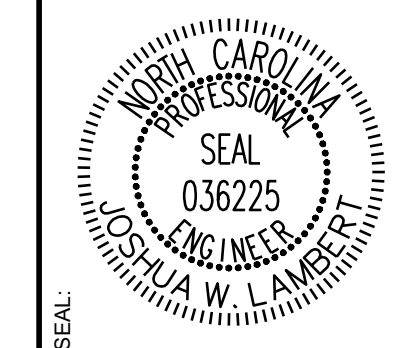


**SITE KEY PLAN**  
**LEGEND**  
 SEE SHEET C-9.0 FOR LEGEND



THIS PLANSET AND ANY ASSOCIATED DOCUMENTS ARE PRELIMINARY AND NOT AUTHORIZED FOR CONSTRUCTION UNTIL SIGNED, DATED, AND OFFICIALLY RELEASED FOR CONSTRUCTION BY THE ENGINEER OF RECORD.

NO.	REVISIONS	DATE	BY
1	CONSTRUCTION INFRASTRUCTURE DRAWINGS CDD-20-04		
2	TOWN OF ROLESVILLE CDD V2-24-04	11/01/2024	



**STRONGROCK**  
 ENGINEERING GROUP  
 STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166  
 305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	STRONG ROCK PROJECT	STRONG ROCK PROJECT	STRONG ROCK PROJECT
PSP-24-03	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL
			SRG
			DRAWN BY
			CHECKED BY JWL

**RESERVE @ MITCHELL MILL**  
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
**CONSTRUCTION PLANS**  
**PARTIAL GRADING AND DRAINAGE PLAN IX**

DRAWING SHEET  
**C-9.9**

PIPE TABLE with columns: PIPE NO, TYPE, SIZE, LF, INV. IN, INV. OUT, GRADE. Rows include EX. P #01 to P #05 and EXTENSION EX. P #01 to P #05.

PIPE TABLE with columns: PIPE NO, TYPE, SIZE, LF, INV. IN, INV. OUT, GRADE. Rows include P #06 to P #25.

PIPE TABLE with columns: PIPE NO, TYPE, SIZE, LF, INV. IN, INV. OUT, GRADE. Rows include P #26 to P #45.

PIPE TABLE with columns: PIPE NO, TYPE, SIZE, LF, INV. IN, INV. OUT, GRADE. Rows include P #46 to P #65.

PIPE TABLE with columns: PIPE NO, TYPE, SIZE, LF, INV. IN, INV. OUT, GRADE. Rows include P #66 to P #84.

PIPE TABLE with columns: PIPE NO, TYPE, SIZE, LF, INV. IN, INV. OUT, GRADE. Rows include P #85 to P #104.

PIPE TABLE with columns: PIPE NO, TYPE, SIZE, LF, INV. IN, INV. OUT, GRADE. Rows include P #105 to P #124.

PIPE TABLE with columns: PIPE NO, TYPE, SIZE, LF, INV. IN, INV. OUT, GRADE. Rows include P #125 to P #144.

PIPE TABLE with columns: PIPE NO, TYPE, SIZE, LF, INV. IN, INV. OUT, GRADE. Rows include P #145 to P #165.

PIPE TABLE with columns: PIPE NO, TYPE, SIZE, LF, INV. IN, INV. OUT, GRADE. Rows include P #166 to P #185.

PIPE TABLE with columns: PIPE NO, TYPE, SIZE, LF, INV. IN, INV. OUT, GRADE. Rows include P #186 to P #205.

PIPE TABLE with columns: PIPE NO, TYPE, SIZE, LF, INV. IN, INV. OUT, GRADE. Rows include P #206 to P #225.

PIPE TABLE with columns: PIPE NO, TYPE, SIZE, LF, INV. IN, INV. OUT, GRADE. Rows include P #226 to P #245.

PIPE TABLE with columns: PIPE NO, TYPE, SIZE, LF, INV. IN, INV. OUT, GRADE. Rows include P #246 to P #265.

PIPE TABLE with columns: PIPE NO, TYPE, SIZE, LF, INV. IN, INV. OUT, GRADE. Rows include P #266 to P #285.

PIPE TABLE with columns: PIPE NO, TYPE, SIZE, LF, INV. IN, INV. OUT, GRADE. Rows include P #286 to P #305.

PIPE TABLE with columns: PIPE NO, TYPE, SIZE, LF, INV. IN, INV. OUT, GRADE. Rows include P #306 to P #325.

PIPE TABLE with columns: PIPE NO, TYPE, SIZE, LF, INV. IN, INV. OUT, GRADE. Rows include P #327 to P #332 and RELOCATION EX. P #02 to P #07.

Revision table with columns: No., Description, Date. Includes revision 1 for construction infrastructure drawings.

Professional Engineer Seal for Mitchell Mill, North Carolina, License # 036225, signed by W. L. Amberly.

STRONGROCK ENGINEERING GROUP logo and contact information for Reserve @ Mitchell Mill.

CATCH BASIN TABLE with columns CB NO, SIZE, TOP, INV. IN, INV. OUT. Rows include CB #01 to CB #20.

CATCH BASIN TABLE with columns CB NO, SIZE, TOP, INV. IN, INV. OUT. Rows include CB #21 to CB #40.

CATCH BASIN TABLE with columns CB NO, SIZE, TOP, INV. IN, INV. OUT. Rows include CB #41 to CB #59.

CATCH BASIN TABLE with columns CB NO, SIZE, TOP, INV. IN, INV. OUT. Rows include CB #60 to CB #79.

CATCH BASIN TABLE with columns CB NO, SIZE, TOP, INV. IN, INV. OUT. Rows include CB #80 to CB #99.

CATCH BASIN TABLE with columns CB NO, SIZE, TOP, INV. IN, INV. OUT. Rows include CB #100 to CB #117.

CATCH BASIN TABLE with columns CB NO, SIZE, TOP, INV. IN, INV. OUT. Rows include CB #118 to CB #137.

CATCH BASIN TABLE with columns CB NO, SIZE, TOP, INV. IN, INV. OUT. Rows include CB #138 to CB #157.

CATCH BASIN TABLE with columns CB NO, SIZE, TOP, INV. IN, INV. OUT. Rows include CB #158 to CB #176.

CATCH BASIN TABLE with columns CB NO, SIZE, TOP, INV. IN, INV. OUT. Rows include CB #177 to CB #196.

CATCH BASIN TABLE with columns CB NO, SIZE, TOP, INV. IN, INV. OUT. Rows include CB #197 to CB #216.

CATCH BASIN TABLE with columns CB NO, SIZE, TOP, INV. IN, INV. OUT. Rows include CB #217 to CB #235.

CATCH BASIN TABLE with columns CB NO, SIZE, TOP, INV. IN, INV. OUT. Rows include CB #236 to EX. GTI.

OCS TABLE with columns OCS NO, SIZE, TOP, INV. OUT. Rows include OCS #401 to OCS #408.

DROP INLET TABLE with columns DI NO, SIZE, TOP, INV. IN, INV. OUT. Rows include DI #201 to DI #221.

FES TABLE with columns FES NO, SIZE, TOP, INV. IN, INV. OUT. Rows include FES #301 to FES #310.

FES TABLE with columns FES NO, SIZE, TOP, INV. IN, INV. OUT. Rows include FES #311 to FES #320.

YARD INLET TABLE with columns YI NO, SIZE, TOP, INV. IN, INV. OUT. Rows include YI #633 to YI #647.

YARD INLET TABLE with columns YI NO, SIZE, TOP, INV. IN, INV. OUT. Rows include YI #601 to YI #616.

YARD INLET TABLE with columns YI NO, SIZE, TOP, INV. IN, INV. OUT. Rows include YI #617 to YI #632.

SDMH TABLE with columns SDMH NO, SIZE, TOP, INV. IN, INV. OUT. Rows include JUNCTION #01 to SDMH #506.

Professional seal and title block for STRONGROCK ENGINEERING GROUP. Includes project name 'RESERVE @ MITCHELL MILL CONSTRUCTION PLANS', project number 'C-9.11', and page number '58 OF 176'. The seal is for a Professional Engineer in North Carolina, License # 036225, signed by Joshua W. Lambert.

**OFFSITE SPOIL NOTE:**

- IF AN OFFSITE SOIL SPOIL OR BORROW SITE IS UTILIZED, THEN THE DISTURBED AREA FOR THE SPOIL/BORROW SITE MUST BE INCLUDED IN THE LAND-DISTURBANCE PLAN AND PERMIT UNLESS THE SPOIL/BORROW SITE ALREADY HAS A SEPARATE LAND-DISTURBANCE PERMIT.

**STAGE 1 SPECIFIC SEQUENCE:**

- INSTALL CONSTRUCTION ENTRANCE, SILT FENCING, SILT FENCE OUTLETS, DIVERSION DITCHES, AND SKIMMER BASINS AS SHOWN ON APPROVED STAGE 1 EROSION CONTROL PLAN. CLEAR AND GRADE ONLY AREAS NECESSARY TO INSTALL THESE EROSION AND SEDIMENT CONTROL DEVICES. INSTALL SILT FENCE OUTLETS AT LOW POINTS IN THE SILT FENCING AS NEEDED TO PREVENT BLOWOUTS.
- STABILIZE ALL DISTURBED AREAS DOWNSTREAM OF SEDIMENT BASINS AND OTHER CRITICAL EROSION CONTROL AREAS IMMEDIATELY UPON INSTALLATION. ONCE APPROVED, BEGIN CLEARING AND GRADING REMAINDER OF THE SITE. MAINTAIN EROSION CONTROL DEVICES AS NEEDED. INSTALL DIVERSION DITCHES AS SHOWN ON THE STAGE 1 EROSION CONTROL PLANS. MAINTAIN DIVERSION DITCHES AS SITE IS BROUGHT TO FINAL GRADE IN ORDER TO DIVERT AS MUCH RUNOFF INTO SEDIMENT BASINS AS POSSIBLE.
- STABILIZE GRADED AREAS AS THEY ARE CLEARED. TEMPORARILY SEED AND MULCH DENUDED AREAS PER THE WAKE COUNTY UNIFIED DEVELOPMENT ORDINANCE SEC. 12.10.4(B). ONCE FINAL GRADE HAS BEEN ACHIEVED, PAVE OR PERMANENTLY SEED ALL AREAS AND SLOPES PER NCDENR'S EROSION SEDIMENT CONTROL PLANNING AND DESIGN MANUAL VERSION 6/06, SECTION 6.10 AND 6.11.
- MAINTAIN EROSION CONTROL MEASURES WEEKLY AND AFTER EACH RAIN EVENT THROUGHOUT CONSTRUCTION.

**STAGE 2 SPECIFIC SEQUENCE:**

- AFTER CONTRACTOR HAS COMPLETED ROUGH GRADING OPERATIONS:
  - CONTRACTOR SHALL STABILIZE HOUSE LOTS EXCLUDING THE 60' WIDE LOTS WHICH MUST REMAIN UNDISTURBED WITH TEMPORARY SEEDING. REFER TO SEEDING DETAILS.
  - CONTRACTOR SHALL PERMANENTLY STABILIZE ALL SLOPES AND/OR OTHER AREAS THAT ARE AT FINAL GRADE.
  - COMPLETE OUTSTANDING RETAINING WALL CONSTRUCTION AND STABILIZE UPSLOPE.
- INSTALL UTILITIES, INCLUDING STORM NETWORK. CONTRACTOR SHALL ONLY EXCAVATE THE AMOUNT OF TRENCH TO ALLOW FOR ONE DAY OF PIPE INSTALLATION.
- CONTRACTOR SHALL USE BERMS, DIVERSIONS, AND PIPE INLET PROTECTION TO PREVENT SEDIMENT RUNOFF FROM ENTERING THE STORM SYSTEM.
- INSTALL INLET PROTECTION ON ALL COMPLETED STORM STRUCTURES
- UPON APPROVAL OF PERMANENT STABILIZATION, REMOVE BALANCE OF EROSION CONTROL MEASURES, GRADE AND STABILIZE REMAINDER OF SITE.
- WITH APPROVAL OF EROSION CONTROL INSPECTOR, REMOVE THE REMAINDER OF THE EROSION CONTROL DEVICES.

**EROSION CONTROL NARRATIVE:**

- THE PURPOSE OF THIS PLAN IS TO DEVELOP A XXX LOT RESIDENTIAL SUBDIVISION. LAND DISTURBANCE WILL BE KEPT TO THE MINIMUM AMOUNT NEEDED TO INSTALL THE INFRASTRUCTURE, STORMWATER DEVICES AND ROUGH GRADED LOTS SHOWN ON THE PLANS.
- EROSION SHALL BE CONTROLLED BY USING A COMBINATION OF TEMPORARY AND PERMANENT STABILIZATION MEASURES THROUGHOUT THE SITE. IN GENERAL STRIPPING OF VEGETATION, REGRADING OR OTHER DEVELOPMENT IS TO BE DONE IN SUCH A WAY THAT WILL MINIMIZE EROSION. EROSION AND SEDIMENT WILL BE CONTROLLED BY SILT FENCE, DIVERSION DITCHES, DAMS, SEDIMENT/SKIMMER BASINS, INLET AND OUTLET PROTECTION, SLOPE DRAINS AND EROSION CONTROL MATTING. CONSTRUCTION ENTRANCES WILL PROVIDE ACCESS TO THE SITE. THE AMOUNT OF DISTURBED AREA AND THE DURATION OF EXPOSURE WILL BE KEPT TO A PRACTICAL MINIMUM AND PERMANENT VEGETATION AND SCMS WILL BE INSTALLED AS SOON AS POSSIBLE TO PREVENT EROSION.

**REQUIRED TOWN OF KNIGHTDALE SCM BASIN REMOVAL SEQUENCE:**

- SCHEDULE A SITE MEETING WITH THE TOWN OF KNIGHTDALE EROSION CONTROL INSPECTOR TO DETERMINE IF A BASIN CAN BE REMOVED. INSTALL SILT FENCING OR OTHER TEMPORARY EROSION CONTROL MEASURES AS NEEDED PRIOR TO REMOVAL OF THE BASIN.
- CONTACT NCDEQ - RALEIGH REGIONAL OFFICE (919) 791-4200 TO DETERMINE THE DIVISION OF ENERGY, MINERAL AND LAND RESOURCES CONTACT PERSON TO RECEIVE DEWATERING NOTIFICATIONS. AT LEAST 10 DAYS PRIOR TO BEGINNING DEWATERING ACTIVITY, SEND EMAIL TO NCDEQ-DEMLR CONTACT PERSON AND COPY ENVIRONMENTAL CONSULTANT THAT MET YOU ON SITE. THE EMAIL SHOULD INCLUDE EASC JURISDICTION, TOWN OF KNIGHTDALE, TOK PROJECT NAME, NUMBER, AND LOCATION (CITY/TOWN), ENVIRONMENTAL CONSULTANT NAME, AND ADDRESS THE FOLLOWING: A) REASON FOR CONVERSION, B) BASIN #, C) DEWATERING METHOD, AND D) ALL OTHER NECESSARY INFO FROM PART II, SECTION G, ITEM 4 OF THE NCG01. (KEEP EMAIL FOR YOUR NPDES MONITORING DOCUMENTATION).
- AFTER RECEIVING POSITIVE CONFIRMATION FROM NCDEQ-DEMLR THAT YOU MAY REMOVE THE BASIN OR ON > DAY 11, WHICHEVER IS SOONER, REMOVE BASIN(S) AND ASSOCIATED TEMPORARY DIVERSION DITCHES. IF PIPES NEED TO BE EXTENDED, PERFORM THIS OPERATION AT THIS TIME. FINE GRADE AREA IN PREPARATION FOR SEEDING.
- PERFORM SEEDBED PREPARATION, SEED, MULCH AND ANCHOR ANY RESULTING BARE AREAS IMMEDIATELY USING NON-CLUMPING TURF GRASS (CENTIPEDE / HYBRID BERMUDA).
- INSTALL VELOCITY DISSIPATORS AND/OR LEVEL SPREADERS AS REQUIRED ON THE EROSION CONTROL PLAN.
- WHEN SITE IS FULLY STABILIZED, CALL EROSION CONTROL INSPECTOR FOR APPROVAL OF REMOVING REMAINING TEMPORARY EROSION CONTROL MEASURES AND ADVICE ON WHEN SITE CAN BE ISSUED A CERTIFICATE OF COMPLETION. NOTE: A MEETING SHOULD ALSO BE SCHEDULED WITH THE EROSION CONTROL INSPECTOR AND STORMWATER TECHNICIAN TO DETERMINE WHEN A BASIN MAY BE CONVERTED FOR STORMWATER USE.

**EROSION CONTROL NOTES:**

- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST TOWN OF ROLESVILLE STANDARDS, SPECIFICATIONS AND DETAILS.
- GRADING AND EROSION CONTROL METHODS SHALL ADHERE TO THE TOWN OF ROLESVILLE SOIL AND EROSION CONTROL STANDARDS AND SPECIFICATIONS.
- GRADING AND EROSION CONTROL METHODS SHALL ADHERE TO THE NORTH CAROLINA DEPARTMENT OF NATURAL RESOURCES DIVISION OF WATER QUALITY (DWQ) STANDARDS AND SPECIFICATIONS. WHERE DIFFERENT FROM WAKE COUNTY STANDARDS, THE MORE STRINGENT METHOD SHALL BE APPLIED.
- FAILURE TO FOLLOW THE APPROVED PLAN SEQUENCE AND DETAILS COULD SUBJECT THE FINANCIALLY RESPONSIBLE PARTY TO FINES AND PENALTIES ISSUED BY EITHER THE WAKE COUNTY EROSION CONTROL DEPARTMENT OR THE DWQ.
- CONTRACTOR SHALL SEED AND STABILIZE ALL STEEP SLOPES (GREATER THAN 2H:1V) WITHIN 7 DAYS, 10 DAYS FOR MODERATE SLOPES (3H:1V OR GREATER) AND WITHIN 14 CALENDAR DAYS EVERYWHERE ELSE (STATE LAW 2009-486).
- FOR ANY LAND-DISTURBING ACTIVITY WHERE GRADING ACTIVITIES HAVE BEEN COMPLETED, TEMPORARY OR PERMANENT GROUND COVER SUFFICIENT TO RESTRAIN EROSION SHALL BE PROVIDED AS SOON AS PRACTICAL, BUT IN NO CASE LATER THAN SEVEN (7) DAYS AFTER COMPLETING THE WORK. STABILIZATION IS THE BEST FORM OF EROSION CONTROL. TEMPORARY SEEDING IS NECESSARY TO ACHIEVE EROSION CONTROL ON LARGE DENUDED AREAS AND WHEN SPECIFICALLY REQUIRED AS PART OF THE CONSTRUCTION SEQUENCE ON THE PLAN.
- NO DEBRIS SHALL BE TRACKED ONTO PUBLIC RIGHT OF WAY. IF THE SITUATION OCCURS WHERE MUD, ROCK AND DEBRIS IS TRACKED ONTO PAVEMENT, THE CONTRACTOR SHALL CLEAN THE PAVEMENT AND INSTALL ADDITIONAL MEASURES TO PREVENT THE FUTURE OCCURRENCE.
- THE EROSION CONTROL INSPECTOR MAY REQUIRE ADDITIONAL FIELD MEASURES AS NECESSARY TO PROVIDE ADEQUATE PROTECTION FROM RECEIVING WATER COURSES.
- EROSION AND SEDIMENT CONTROL DEVICES MUST BE INSTALLED AND INSPECTED PRIOR TO ANY GRADING ON SITE. THE CONTRACTOR SHALL CALL FOR AN INSPECTION BY NCDEQ ONCE INITIAL MEASURES ARE IN PLACE. (SEE CONSTRUCTION SEQUENCES)
- CONTRACTOR SHALL INSPECT ALL SEDIMENT / EROSION CONTROL DEVICES AFTER EACH STORM EVENT. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE HALF THE CAPACITY OF THE DEVICE.
- A COPY OF THE APPROVED EROSION CONTROL PLAN MUST BE ON FILE AT THE JOB SITE AT ALL TIMES.
- CONSTRUCTION, MAINTENANCE, AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE GRADING CONTRACTOR UNLESS OTHERWISE NOTED.
- ANY GRADING BEYOND THE DENUDED LIMITS SHOWN ON THE PLAN IS A VIOLATION OF THE CITY/COUNTY EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
- ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY A REPRESENTATIVE OF THE CITY/COUNTY ENGINEERING DEPARTMENT AND ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- PROTECTION OF EXISTING VEGETATION: AT THE START OF GRADING INVOLVING THE STRIPPING OF TOPSOIL OR LOWERING OF EXISTING GRADE AROUND A TREE, A CLEAN, SHARP, VERTICAL CUT SHALL BE MADE AT THE EDGE OF THE TREE SAVE AREA AT THE SAME TIME AS OTHER EROSION CONTROL MEASURES ARE INSTALLED. THE TREE PROTECTION FENCING SHALL BE INSTALLED ON THE SIDE OF THE CUT FARTHEST AWAY FROM THE TREE TRUNK AND SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION IN THE VICINITY OF THE TREES IS COMPLETE. NO STORAGE OF MATERIALS, FILL, OR EQUIPMENT AND NO TRESPASSING SHALL BE ALLOWED WITHIN THE BOUNDARY OF THE PROTECTED AREA AND SHALL BE POSTED ON THE PROTECTION FENCE. A PROTECTION FENCE CONSTRUCTED OF MATERIAL RESISTANT TO DEGRADATION BY SUN, WIND, AND MOISTURE FOR THE DURATION OF THE CONSTRUCTION, SHALL BE INSTALLED AT THE SAME TIME AS THE EROSION CONTROL MEASURES AND SHALL BE IN PLACE UNTIL ALL CONSTRUCTION IN THE VICINITY OF THE TREES IS COMPLETE.
- A CONSTRUCTION SEQUENCE HAS BEEN PROVIDED. INSTALLATION OF ALL PROPOSED SEDIMENTATION & EROSION CONTROL MEASURES IN THE SEQUENCE(S) PROVIDED AND MAINTENANCE OF THOSE DEVICES IS REQUIRED. THE CONTRACTOR MAY BE ALLOWED, WITH PRIOR APPROVAL FROM THE OWNER, TO COORDINATE CHANGES TO THE PLAN WITH THE ON-SITE SEDIMENTATION & EROSION CONTROL INSPECTOR AND THE ENGINEER.
- PROVIDE INLET PROTECTION AROUND ALL SITE STORM INLETS. PROTECT OPEN PIPES UNDER CONSTRUCTION WITH EITHER PLYWOOD OR WITH MESH AND GRAVEL WEIRS. RUNOFF SHALL NOT BE ALLOWED IN ANY OPEN TRENCH.
- CONTRACTOR WILL FIELD LOCATE SILT FENCE OUTLETS AT LOW POINTS IN SILT FENCE AS REQUIRED TO PROVIDE RELIEF FROM CONCENTRATED FLOWS AND PONDING.
- TEMPORARY DIVERSIONS SHALL BE MAINTAINED DAILY BY CONTRACTOR SO THAT THEY ARE FUNCTIONAL AT THE END OF EACH WORKDAY AND WHEN STOPPING WORK FOR RAIN.
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- DISTURBANCE OUTSIDE OF THE SITE PROPERTY LIMITS OR PUBLIC RIGHT-OF-WAY SHALL ONLY BE AS ALLOWED BY SIGNED GRADING AGREEMENTS AND/OR EASEMENTS BETWEEN THE DEVELOPER AND THE OFFSITE PROPERTY OWNER.
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN SAFE OPEN ACCESS TO ALL PROPERTIES ALONG ADJACENT PROPERTIES DURING CONSTRUCTION PERIOD FOR IMPROVEMENTS.
- SLOPES GREATER THAN 3:1 AND/OR GREATER THAN 10' IN VERTICAL DIFFERENCE SHALL BE INSTALLED WITH ROLLED EROSION CONTROL PRODUCT IMMEDIATELY UPON INSTALLATION.

**TOK SCM PLANTING NOTES:**

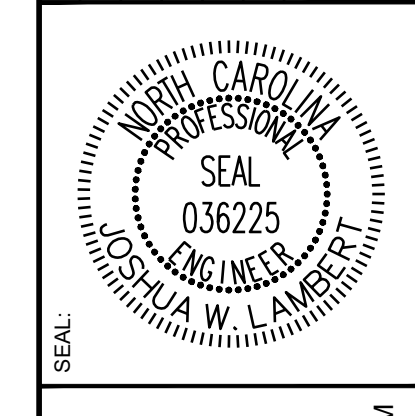
- THE DAM STRUCTURE, INCLUDING FRONT AND BACK EMBANKMENT SLOPES, OF THE POND SHALL BE VEGETATED WITH NON-CLUMPING TURF GRASS OR SOD. (CENTIPEDE/HYBRID-BERMUDA) 90% GERMINATION OF NON-CLUMPING TURF WILL BE REQUIRED PRIOR TO FINAL CERTIFICATION FROM THE TOWN.
- THE VEGETATED SHELF SHALL BE PLANTED WITH A MINIMUM OF THREE DIVERSE SPECIES OF HERBACEOUS, NATIVE VEGETATION AT A MINIMUM DENSITY OF 50 PLANTS PER 200 FEET OF SHELF AREA.
- CONTRACTOR TO WORK WITH SOILS SCIENTIST TO ENSURE SOILS ARE ADEQUATE TO SUPPORT PROPER ESTABLISHMENT AND GROWTH OF THE AQUATIC PLANTINGS. CONTRACTOR TO AMEND SOILS AND INSTALL SOILS IN PLANT, SHRUB, AND TREE AREAS PER DETAILS, SOIL SPECIFICATIONS, NCDENR SPECIFICATION, AND SOIL SCIENTIST RECOMMENDATIONS.
- ALL AQUATIC PLANTINGS ARE TO BE INSTALLED DURING THE APPROPRIATE TIME OF YEAR TO ENSURE SURVIVABILITY. (LAST SPRING FROST AND THE FIRST FALL FROST).
- ALL DISTURBED AREAS AROUND THE OUTSIDE OF THE DEVICE SHALL BE SEEDED WITH A LAWN AREA SEED MIX (PER SEEDING SPECIFICATIONS) NATIVE GRASSES, LEGUMES, CLOVERS, AND WILDFLOWERS.
- IF THE DEVICE WAS USED DURING CONSTRUCTION AS A SEDIMENT BASIN OR TRAP, THE BASIN MUST BE CLEANED OUT, GRADED, APPROPRIATE AREAS COVERED WITH 4" OF TOPSOIL AS SPECIFIED IN NOTE #2 ABOVE, AND VEGETATED WITHIN 14 DAYS OF THE COMPLETION OF CONSTRUCTION.
- CONTRACTOR SHALL WATER ALL VEGETATION AND GRASS ON A WEEKLY BASIS AS NEEDED TO ENSURE GRASS AND PLANT SURVIVAL UNTIL AFTER THE SCM IS CERTIFIED AND ACCEPTED BY THE TOWN.

**GENERAL SEQUENCE:**

- ENFORCEMENT NOTE 1:** FAILURE TO FOLLOW THIS CONSTRUCTION SEQUENCE MAY RESULT IN LOCAL ENFORCEMENT ACTIONS, INCLUDING BUT NOT LIMITED TO CIVIL PENALTIES TO \$5000 PER VIOLATION PER DAY, INJUNCTIVE RELIEF, CRIMINAL PENALTIES, AND PERMIT REVOCATION. ADDITIONALLY, OFF-SITE SEDIMENTATION MAY RESULT IN RESTORATION REQUIREMENTS.
- ENFORCEMENT NOTE 2:** IF THE WAKE COUNTY S&E STAFF DETERMINES THAT EXCESSIVE SEDIMENT IS LEAVING THE SITE, A REVISED SEDIMENTATION AND EROSION CONTROL PLAN MAY BE REQUIRED, WITH ASSOCIATED REQUIREMENTS FOR ADDITIONAL S&E MEASURES.
- CONSTRUCTION SEQUENCE**
- SCHEDULE AND HOLD A PRE-CONSTRUCTION CONFERENCE PRIOR TO BEGINNING ANY LAND-DISTURBING ACTIVITIES. THIS CONFERENCE SHOULD BE ATTENDED BY A REPRESENTATIVE OF THE FINANCIALLY RESPONSIBLE PARTY AND/OR THE GENERAL CONTRACTOR, GRADING SUB-CONTRACTOR, EROSION CONTROL SUB-CONTRACTOR AND THE WAKE COUNTY S&E OFFICE.
  - OBTAIN LAND DISTURBING PERMIT AND PLACARD, AND POST THE PLACARD ON SITE.
  - OBTAIN AN APPROVED (STAMPED) S&E CONTROL PLAN AND KEEP IT ON SITE, EITHER IN THE INSPECTION BOX, CONSTRUCTION OFFICE OR WITH THE CONTRACTOR.
  - INSTALL CONSTRUCTION EGRESS/EXITS, SILT FENCING, SEDIMENT TRAPS/BASINS, DIVERSION DITCHES, TEMPORARY PIPES, CLEAR WATER DIVERSIONS, CHECK DAMS, AND OTHER INITIAL EROSION CONTROL MEASURES AS SPECIFIED IN THE PLAN (PHASE 1). REMOVE ONLY TREES AND GROUND COVER NECESSARY TO INSTALL THESE DEVICES.
  - IF A STOCKPILE IS NECESSARY DUE TO EXCAVATION OF THE SEDIMENT TRAP/BASIN, PLACE A DOUBLE ROW OF SILT FENCE 10 FEET APART. TREES AND GROUND COVER MAY BE REMOVED ONLY AS NECESSARY FOR THIS STOCKPILE. IF MATERIAL IS GOING TO BE HAULED OFF-SITE, A SEPARATE EROSION CONTROL PERMIT MUST BE OBTAINED FOR THE DESTINATION OF THE MATERIAL.
  - PROVIDE TEMPORARY GROUND COVER FOR DIVERSION DITCHES AND SEDIMENT TRAPS/BASINS WITHIN 3 DAYS OF COMPLETION.
  - NOTIFY THE WAKE COUNTY S&E SITE INSPECTOR AFTER MEASURES HAVE BEEN INSTALLED AND PROJECT HAS STARTED.
  - BEGIN CLEARING, GRUBBING AND GRADING OF SITE IN ACCORDANCE WITH THE APPROVED S&E CONTROL PLAN.
  - FOR ANY LAND-DISTURBING ACTIVITY WHERE GRADING ACTIVITIES HAVE BEEN COMPLETED, TEMPORARY OR PERMANENT GROUND COVER SUFFICIENT TO RESTRAIN EROSION SHALL BE PROVIDED AS SOON AS PRACTICAL, BUT IN NO CASE LATER THAN SEVEN (7) DAYS AFTER COMPLETING THE WORK. STABILIZATION IS THE BEST FORM OF EROSION CONTROL. TEMPORARY SEEDING IS NECESSARY TO ACHIEVE EROSION CONTROL ON LARGE DENUDED AREAS AND ESPECIALLY WHEN SPECIFICALLY REQUIRED AS PART OF THE CONSTRUCTION SEQUENCE ON THE PLAN.
  - REMOVE ALL EROSION CONTROL MEASURES AFTER THE WAKE COUNTY S&E OFFICE APPROVAL OF PERMANENT STABILIZATION.

LIMITS OF DISTURBANCE: 4,014,648 SF (92.16 AC)

SRG	BY
DATE	
NO.	
REVISIONS	



**STRONGROCK**  
ENGINEERING GROUP  
STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2766  
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STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	SRG	DRAWN BY	CHECKED BY JWL
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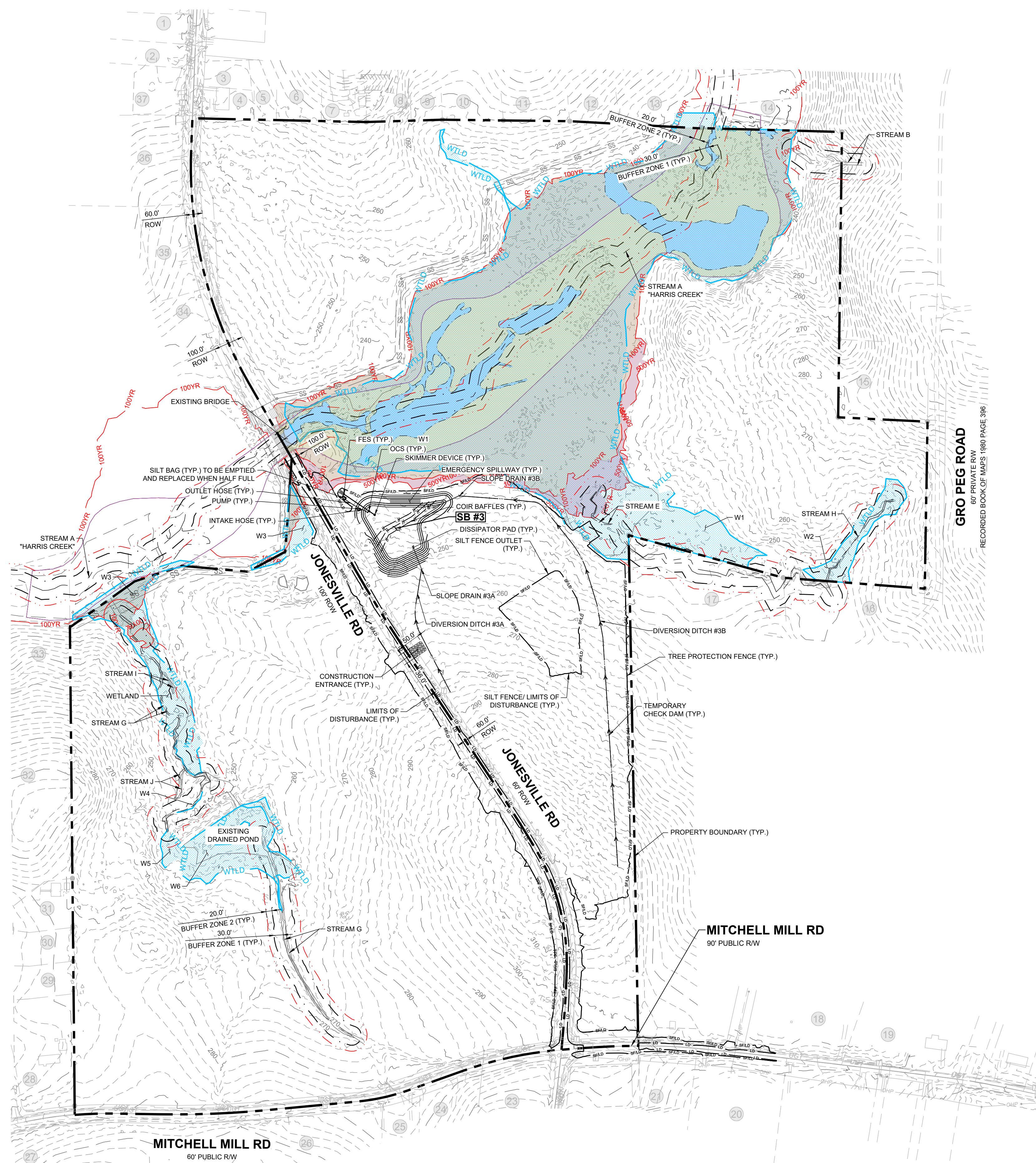
HILLS AT HARRIS CREEK  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
CONSTRUCTION PLANS  
EROSION CONTROL NOTES

DRAWING SHEET  
**C-10.0**

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ADJOINER INFORMATION

Table with 3 columns: Adjoiner ID, Adjoiner Name/Address/Details, and Adjoiner Name/Address/Details. Lists 19 adjacent property owners and their details.



LEGEND: A list of symbols and their corresponding descriptions for features like existing property lines, contours, silt fences, and wetlands.

Revision table with columns: No., Date, Revisions. Shows a single revision entry.

Professional Engineer Seal for Joshua W. Lambert, State of North Carolina, License No. 036225.

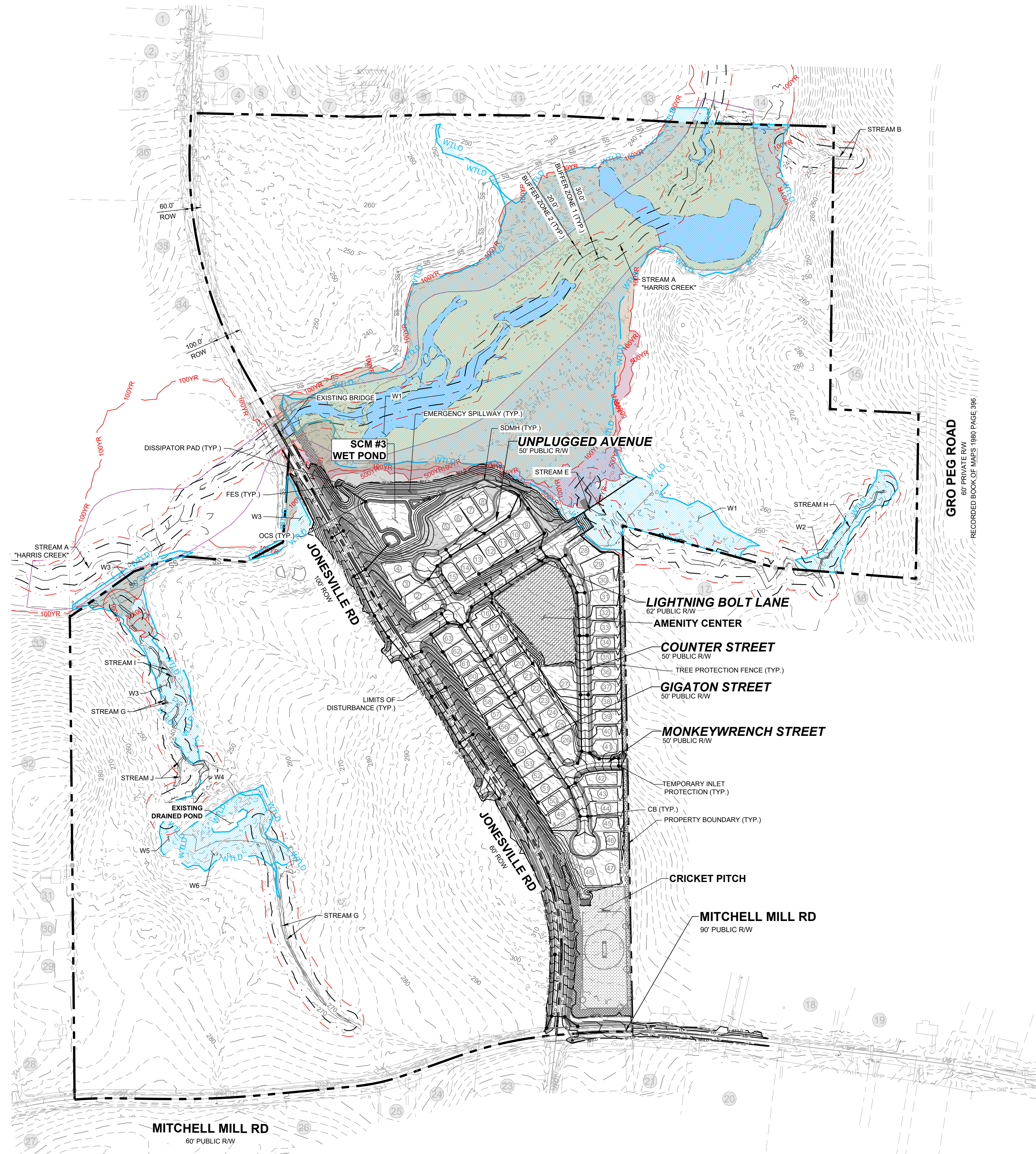
STRONGROCK ENGINEERING GROUP logo and project title: RESERVE @ MITCHELL MILL CONSTRUCTION PLANS EROSION CONTROL PLAN OVERALL PHASE 1 - STAGE 1.

NOTE: EROSION CONTROL NOTES: SEE SHEET C-10.0

Graphic Scale (1 inch = 200 ft) and North Arrow with magnetic declination information.

THIS PLANSET AND ANY ASSOCIATED DOCUMENTS ARE PRELIMINARY AND NOT AUTHORIZED FOR CONSTRUCTION UNTIL SIGNED, DATED, AND OFFICIALLY RELEASED FOR CONSTRUCTION BY THE ENGINEER OF RECORD.

ADJOINER INFORMATION		
1	CHARLES E. FERRELL AND WIFE GRETTE LOUISE FERRELL PIN: 1757481951 DB 1813 PG 421 ZONING: R-30 (WC) USE: SF	CECIL L. GOODNIGHT AND WIFE, JUDY J. GOODNIGHT PIN: 1757650296 DB 5344 PG 819 ZONING: R-30 (WC) USE: SF
2	ABRAHAM T. BURNHAM AND KYLA L. BURNHAM PIN: 1757481832 DB 19140 PG 734 ZONING: R-30 (WC) USE: SF	CECIL L. GOODNIGHT AND WIFE, JUDY J. GOODNIGHT PIN: 1757641415 DB 5344 PG 819 ZONING: R-30 (WC) USE: VA
3	JOE L. GREEN PIN: 1757483799 DB 15-E PG 2691 ZONING: R-30 (WC) USE: SF	CHRISTOPHER GHOLSON AND WIFE, KELLY GAITHER GHOLSON PIN: 1757556381 DB 17355 PG 457 LOT 4 - BM 2018 PG 1333 ZONING: R-30 (WC) USE: SF
4	CHARLES ALFONSA JONES AND WIFE ALLIE V. JONES PIN: 1757484669 DB 2305 PG 673 ZONING: R-30 (WC) USE: SF	ABAHOR ELIAS AND SPOUSE, SUSAN ELIAS PIN: 1757553215 DB 17220 PG 2509 LOT 3 - BM 2019 PG 1333 ZONING: R-30 (WC) USE: SF
5	BENJAMIN FERRELL PIN: 1757485713 DB 1897 PG 465 ZONING: R-30 (WC) USE: SF	TODD KENDALL HONEYCUTT PIN: 1757551202 DB 13474 PG 1974 LOT 2 - BM 2018 PG 1333 ZONING: R-30 (WC) USE: SF
6	ALESHA FERRELL & ARRON WALKER PIN: 1757486733 DB 6374 PG 89 BM 1996 PG 00524 ZONING: R-30 (WC) USE: SF	CURTIS L. HONEYCUTT AND WIFE TODD KENDALL PIN: 1757540996 DB 19209 PG 2474 LOT 1 - BM 2019 PG 1333 ZONING: R-30 (WC) USE: SF
7	CHRIST HOLINESS CHURCH #1 PIN: 1757487783 DB 2928 PG 328 ZONING: R-30 (WC) USE: CH	PHETIS JONES BRADSHER PIN: 1757349473 DB 15208 PG 2320 BM 2013 PG 868 ZONING: R-30 (WC) USE: FO
8	CHRIST HOLINESS CHURCH #1 PIN: 1757487783 DB 4321 PG 788 ZONING: R-30 (WC) USE: VA	PHETIS JONES BRADSHER PIN: 175749473 DB 15208 PG 2320 ZONING: R-30 (WC) USE: FO
9	CHRIST HOLINESS CHURCH #1 PIN: 1757580784 DB 8467 PG 430 ZONING: R-30 (WC) USE: VA	PERR Y. ELWOOD RYAN PIN: 1757357582 DB 10292 PG 2780 ZONING: R-30 (WC) USE: MO
10	ALICIA BROWN & CARL T. JONES PIN: 1757682714 DB 16128 PG 183 ZONING: R-30 (WC) USE: SF	TOUTLOFF, KENNETH S. TOUTLOFF, BILLIE ANNE PIN: 1757357764 DB 9238 PG 2329 LOT 3 - BM 1990 PG 956 ZONING: R-30 (WC) USE: SF
11	RS RENTAL II LLC PIN: 1757584724 DB 18703 PG 2414 BM 1981 PG 894 ZONING: R-30 (WC) USE: SF	BERNARD MILLER PIN: 1757376865 DB 15416 PG 1651 LOT 4 - BM 1990 PG 956 ZONING: R-30 (WC) USE: SF
12	KAREN E. BASS PIN: 1757586704 DB 12580 PG 1626 BM 1984 PG 943 ZONING: R-30 (WC) USE: SF	MARCI E. HOLDEN PIN: 1757358908 DB 15599 PG 1003 LOT 5 - BM 1990 PG 956 ZONING: R-30 (WC) USE: SF
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16	GRO PEG PROPERTIES PIN: 1757686656 DB 19081 PG 2786 LOT 2A - BM 1982 PG 00581 ZONING: R-30 (WC) USE: VA	HENRY ALSTON PIN: 1757481376 DB 19248 PG 984 BM 1982 PG 721 ZONING: R-30 (WC) USE: SF
17	MT. CALVARY HOLINESS CHURCH OF WAKE CO. INC. PIN: 1757680324 DB 10124 PG 2778 LOT 1 - BM 2002 PG 991 ZONING: R-30 (WC) USE: VA	UNIVERSAL CHURCH OF PRAYER PIN: 1757388408 DB 19559 PG 1723 LOT - BM 2002 PG 00667 ZONING: R-30 (WC) USE: CH
18	G. ARCHIE UNDERHILL, JR. AND WIFE, TERESSA C. UNDERHILL PIN: 1757653785 DB 8443 PG 2129 BM 1980 PG 1357 ZONING: R-30 (WC) USE: SF	ROZELIA J. HARTSFIELD HEIRS PIN: 1757481740 DB 10-E PG 1220 ZONING: R-30 (WC) USE: VA
19	GENADIUS MAC FREDDY AND WIFE, MATTIE F. FREDDY PIN: 1757656586 DB 1882 PG 342 ZONING: R-30 (WC) USE: SF	



**LEGEND:**

- EXISTING ADJOINER PROPERTY LINE
- - - EXISTING EDGE OF PAVEMENT
- EX. MAJOR CONTOURS
- EX. MINOR CONTOURS
- PROP. MAJOR CONTOURS
- PROP. MINOR CONTOURS
- STANDARD CURB & GUTTER
- PROPOSED STORM DRAIN LINE
- PROPOSED LOT LINE
- SILT FENCE/LIMITS OF DISTURBANCE
- LD LIMITS OF DISTURBANCE
- SS SANITARY SEWER LINE
- SANITARY MANHOLE
- INLET PROTECTION
- TEMPORARY SKIMMER
- SILT FENCE OUTLET
- DISSIPATOR PAD
- WTLD EXISTING WETLAND

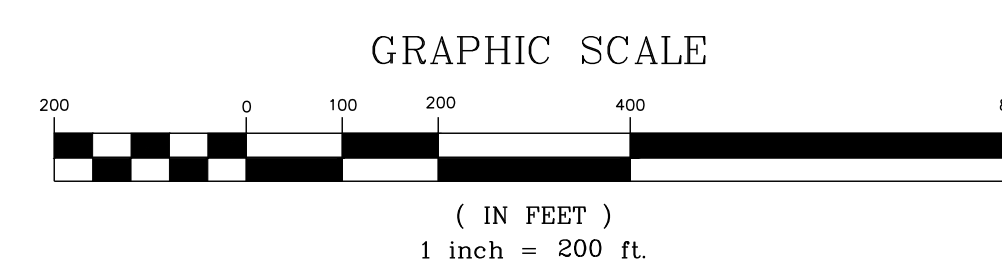
NO.	REVISIONS	DATE
1		
2		

**STRONGROCK ENGINEERING GROUP**  
 PROFESSIONAL SEAL  
 036225  
 JUSTIN W. L. AMBERG, P.E.  
 305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	SRG	DRAWN BY	CHECKED BY
PSP-24-03						

**RESERVE @ MITCHELL MILL**  
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
**CONSTRUCTION PLANS**  
**EROSION CONTROL PLAN OVERALL**  
**PHASE 1 - STAGE 2 & 3**

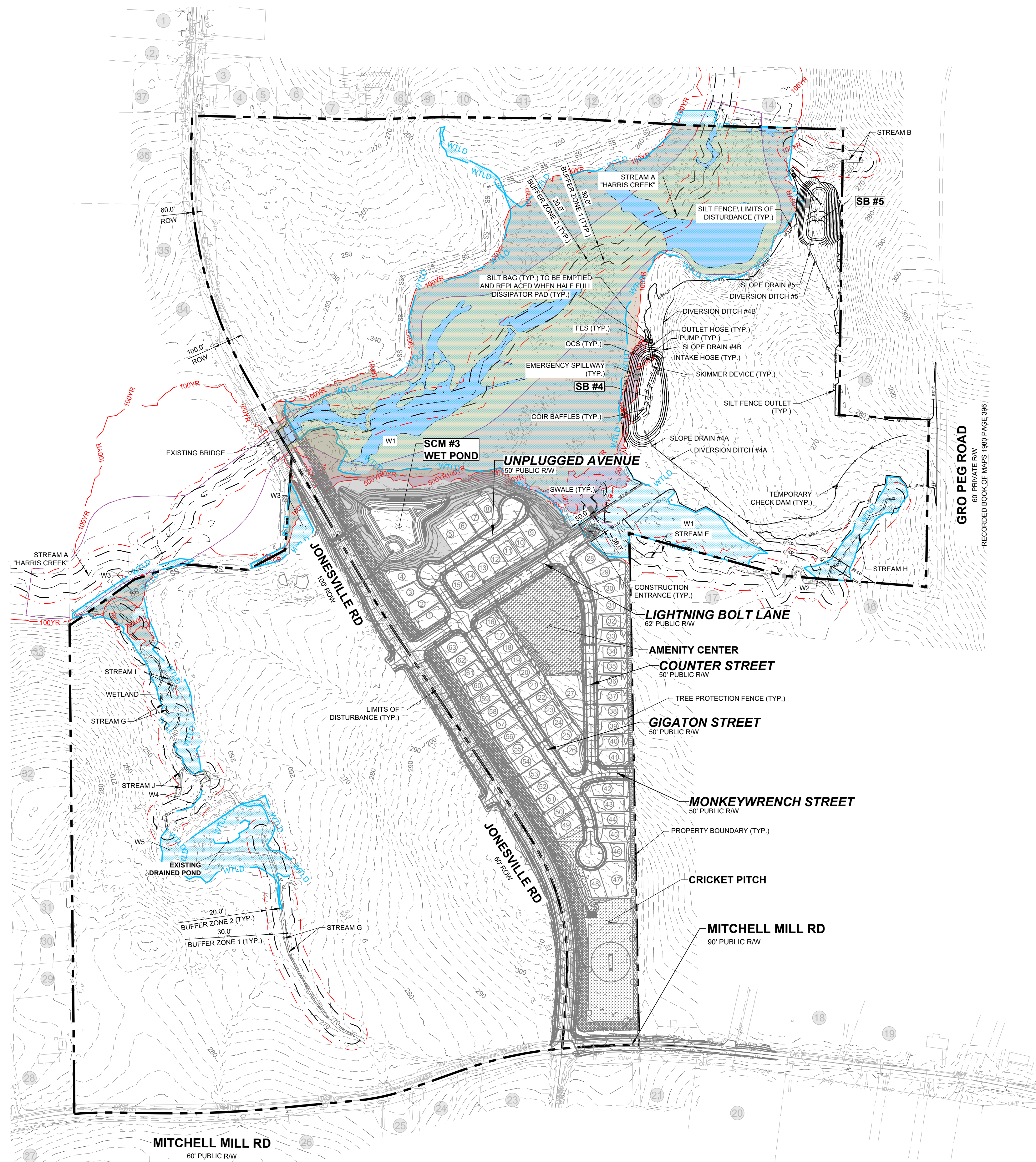
**NOTE:**  
 EROSION CONTROL NOTES: SEE SHEET C-10.0



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3	JOE L. GREEN PIN: 1757483799 DB 15-E PG 2691 ZONING: R-30 (WC) USE: SF	22	CHRISTOPHER GHOLSON AND WIFE, KELLY GAITHER GHOLSON PIN: 1757563801 DB 17355 PG 457 LOT 4 - BM 2018 PG 1333 ZONING: R-30 (WC) USE: SF
4	CHARLES ALFONSA JONES AND WIFE ALLIE V. JONES PIN: 1757484689 DB 2305 PG 673 ZONING: R-30 (WC) USE: SF	23	ABAHOR ELIAS AND SPOUSE, SUSAN ELIAS PIN: 1757553215 DB 17220 PG 2509 LOT 3 - BM 2018 PG 1333 ZONING: R-30 (WC) USE: SF
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9	CHRIST HOLINESS CHURCH #1 PIN: 1757580784 DB 8467 PG 430 ZONING: R-30 (WC) USE: VA	28	PERR Y. ELWOOD RYAN PIN: 1757357582 DB 16292 PG 2780 ZONING: R-30 (WC) USE: MO
10	ALICIA BROWN & CARL T. JONES PIN: 1757682714 DB 16128 PG 183 ZONING: R-30 (WC) USE: SF	29	TOUTLOFF, KENNETH S. TOUTLOFF, BILLIE ANNE PIN: 1757357764 DB 9236 PG 2329 LOT 3 - BM 1990 PG 956 ZONING: R-30 (WC) USE: SF
11	RS RENTAL II LLC PIN: 1757584724 DB 18703 PG 2414 BM 1981 PG 894 ZONING: R-30 (WC) USE: SF	30	BERNARD MILLER PIN: 1757376865 DB 15416 PG 1651 LOT 4 - BM 1990 PG 956 ZONING: R-30 (WC) USE: SF
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17	MT. CALVARY HOLINESS CHURCH OF WAKE CO. INC. PIN: 1757680324 DB 10124 PG 1778 LOT 1 - BM 2002 PG 991 ZONING: R-30 (WC) USE: VA	36	UNIVERSAL CHURCH OF PRAYER PIN: 1757388408 DB 19559 PG 1723 LOT - BM 2002 PG 00667 ZONING: R-30 (WC) USE: CH
18	G. ARCHIE UNDERHILL, JR. AND WIFE, TERESSA C. UNDERHILL PIN: 1757653785 DB 8443 PG 2129 BM 1984 PG 1357 ZONING: R-30 (WC) USE: SF	37	ROZELIA J. HARTSFIELD HEIRS PIN: 1757481740 DB 10-E PG 1220 ZONING: R-30 (WC) USE: VA
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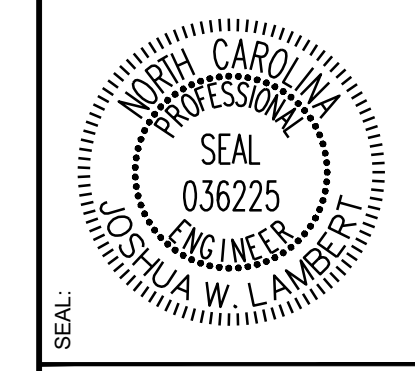
**NOTE:**  
EROSION CONTROL NOTES: SEE SHEET C-10.0



**LEGEND:**

- EXISTING ADJOINER PROPERTY LINE
- - - EXISTING EDGE OF PAVEMENT
- - - 300 EX. MAJOR CONTOURS
- - - EX. MINOR CONTOURS
- SILT FENCE/LIMITS OF DISTURBANCE
- LD LIMITS OF DISTURBANCE
- TPF TREE PROTECTION LINE
- TEMPORARY DITCH
- BARRIERS
- TEMPORARY SLOPE DRAIN
- TEMPORARY SKIMMER
- SILT FENCE OUTLET
- CHECK DAM
- DISSIPATOR PAD
- CONSTRUCTION ENTRANCE
- WTLD EXISTING WETLAND

NO.	REVISIONS	DATE	BY
1			
2			

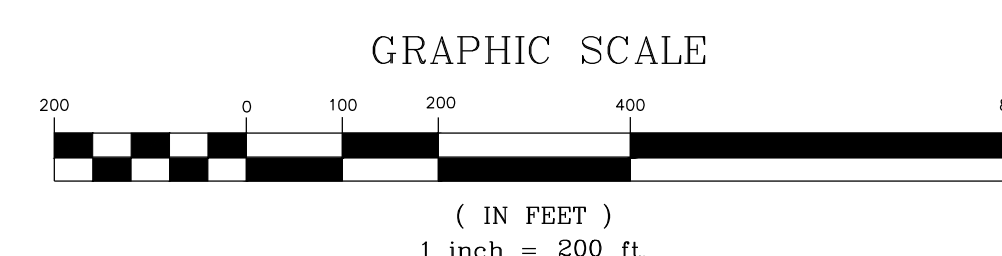


**STRONGROCK**  
ENGINEERING GROUP

STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166  
305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
PSP-24-03		AS SHOWN	JWL	SRG	JWL

RESERVE @ MITCHELL MILL  
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
CONSTRUCTION PLANS  
EROSION CONTROL PLAN  
OVERALL PHASE 2 - STAGE 1

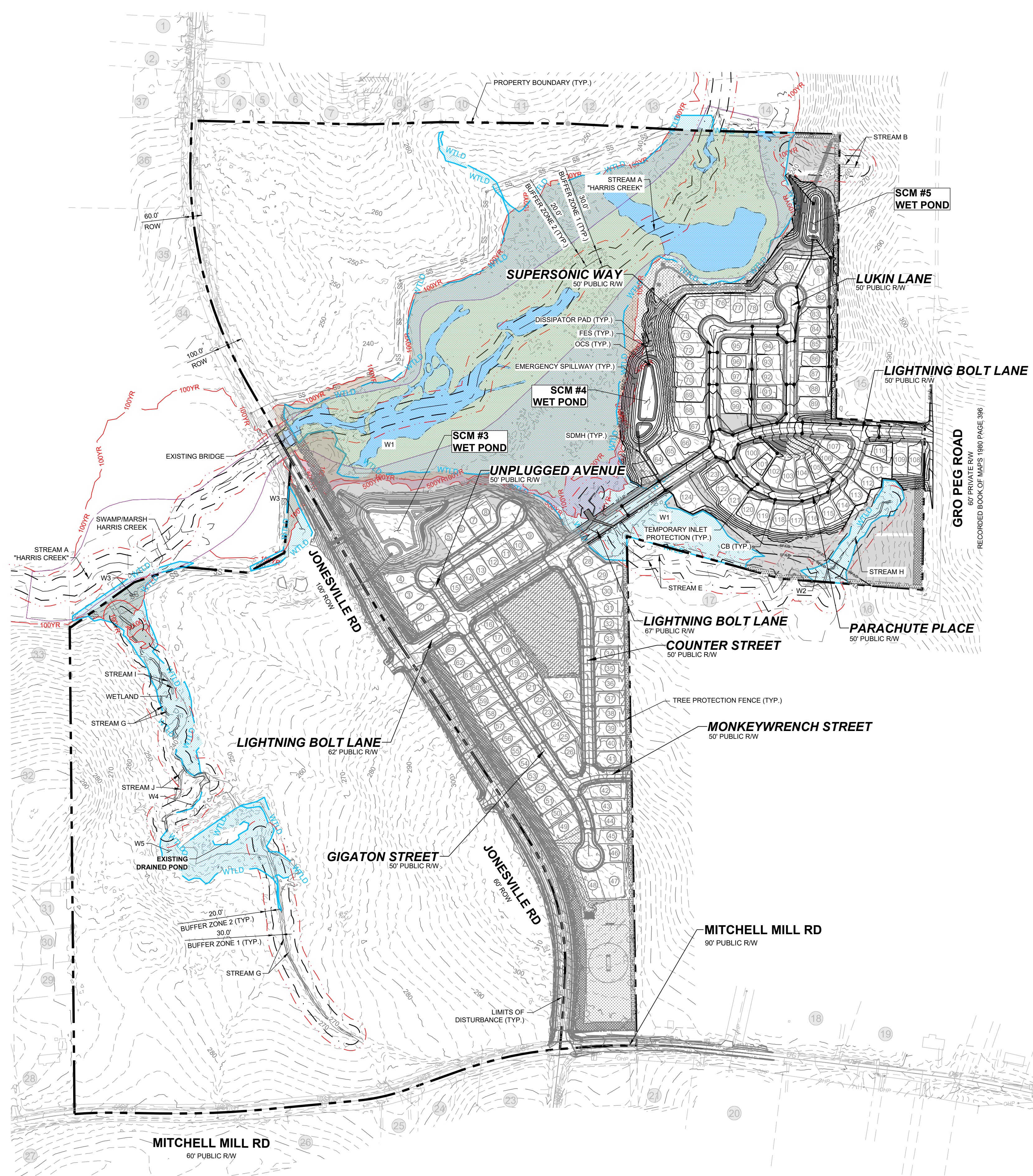


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4	CHARLES ALFONSA JONES AND WIFE ALLIE V. JONES PIN: 1757484609 DB 2305 PG 673 ZONING: R-30 (WC) USE: SF	23	ABAHOR ELIAS AND SPOUSE SUSAN ELIAS PIN: 1757553215 DB 17220 PG 2989 LOT 3 - BM 2018 PG 1333 ZONING: R-30 (WC) USE: SF
5	BENJAMIN FERRELL PIN: 1757485713 DB 1897 PG 465 ZONING: R-30 (WC) USE: SF	24	TODD KENDALL HONEYCUTT PIN: 1757551202 DB 13474 PG 1974 LOT 2 - BM 2018 PG 1333 ZONING: R-30 (WC) USE: SF
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10	ALICIA BROWN & CARL T. JONES PIN: 1757582714 DB 10128 PG 153 ZONING: R-30 (WC) USE: SF	29	TOUTLOFF, KENNETH S. TOUTLOFF, BILLIE ANNE PIN: 1757357764 DB 9236 PG 2229 LOT 3 - BM 1990 PG 956 ZONING: R-30 (WC) USE: SF
11	RS RENTAL II LLC PIN: 1757584724 DB 18703 PG 2414 BM 1981 PG 958 ZONING: R-30 (WC) USE: SF	30	BERNARD MILLER PIN: 1757357865 DB 15416 PG 1651 LOT 4 - BM 1990 PG 958 ZONING: R-30 (WC) USE: SF
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**NOTE:**  
EROSION CONTROL NOTES: SEE SHEET C-10.0



**LEGEND:**

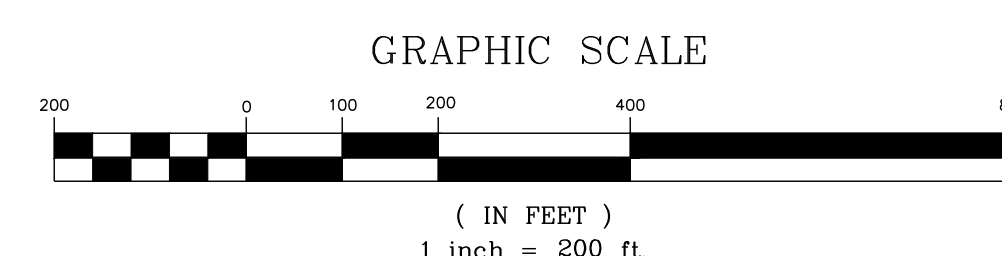
- EXISTING ADJOINER PROPERTY LINE
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- EX. MAJOR CONTOURS
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- TEMPORARY SKIMMER
- SILT FENCE OUTLET
- DISSIPATOR PAD
- EXISTING WETLAND

NO.	REVISIONS	DATE
1		
2		

**STRONGROCK ENGINEERING GROUP**  
 STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166  
 305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	STRONG ROCK PROJECT
PSP-24-03	PSP-24-03
NOT FOR CONSTRUCTION	NOT FOR CONSTRUCTION
SCALE AS SHOWN	SCALE AS SHOWN
DESIGNED BY JWL	DESIGNED BY JWL
DRAWN BY SRG	DRAWN BY SRG
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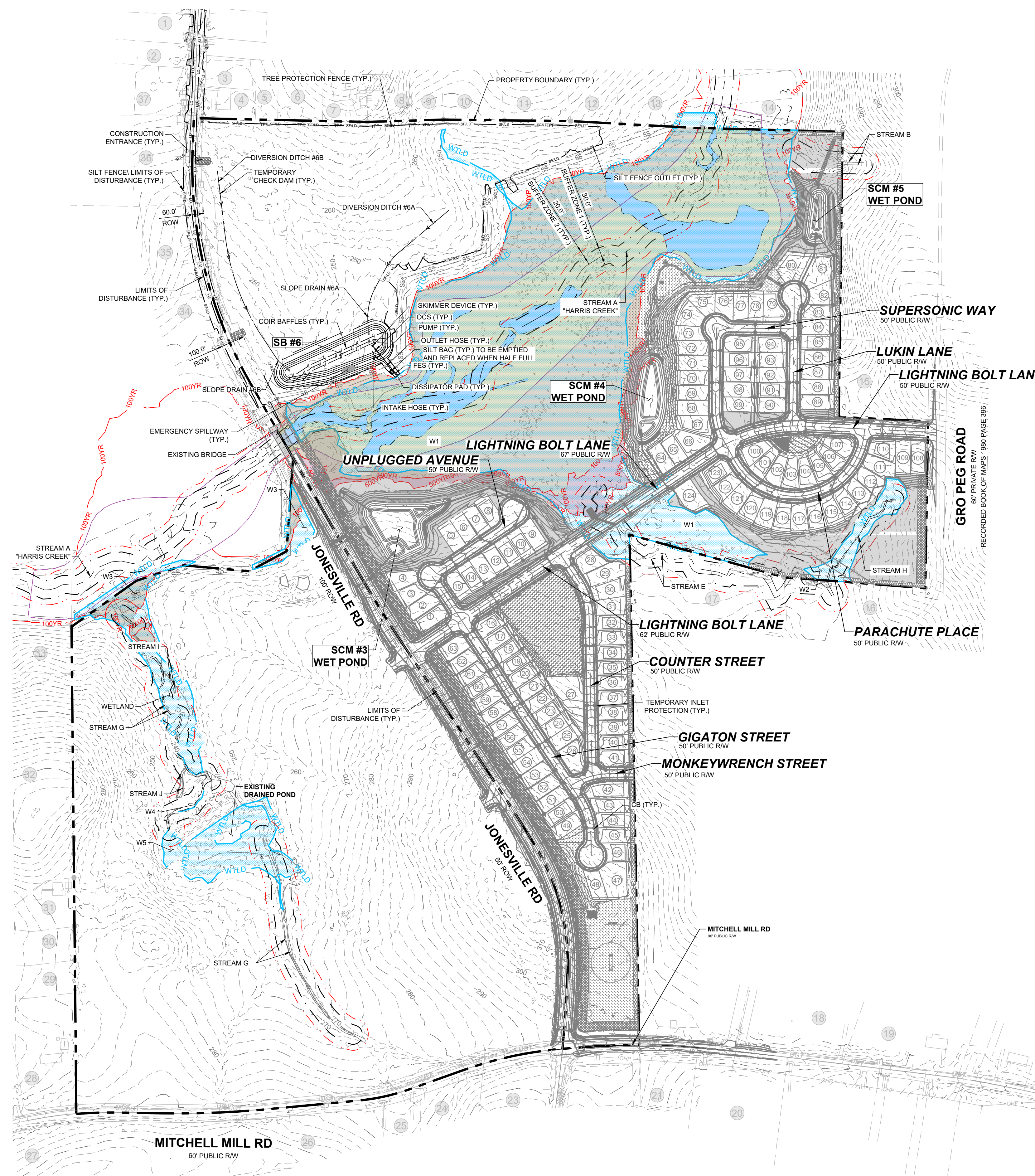
**RESERVE @ MITCHELL MILL**  
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
**CONSTRUCTION PLANS**  
**EROSION CONTROL PLAN OVERALL**  
**PHASE 2 - STAGE 2 & 3**



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10	ALICIA BROWN & CARL T. JONES PIN: 1757582714 DB 16128 PG 183 ZONING: R-30 (WC) USE: SF	29	TOUTLOFF, KENNETH S. TOUTLOFF, BILLIE ANNE PIN: 1757357764 DB 9239 PG 2229 LOT 3 - BM 1990 PG 956 ZONING: R-30 (WC) USE: SF
11	RS RENTAL II LLC PIN: 1757584724 DB 18703 PG 2414 BM 1981 PG 894 ZONING: R-30 (WC) USE: SF	30	BERNARD MILLER PIN: 1757376865 DB 15416 PG 1651 LOT 4 - BM 1990 PG 956 ZONING: R-30 (WC) USE: SF
12	KAREN E. BASS PIN: 1757586704 DB 12580 PG 1626 BM 1984 PG 943 ZONING: R-30 (WC) USE: SF	31	MARCIE L. HOLDEN PIN: 1757358908 DB 15599 PG 1003 LOT 5 - BM 1990 PG 956 ZONING: R-30 (WC) USE: SF
13	JAMES K. WILLIAMS PIN: 1757588784 DB 16784 PG 1013 BM 1980 PG 01474 ZONING: R-30 (WC) USE: VA	32	MEGAN KULAWIAK PIN: 1757307367 DB 16226 PG 1133 LOT 6 BM 1990 PG 00387 ZONING: R-30 (WC) USE: VA
14	GRO PEG PROPERTIES LLC PIN: 1757684897 DB 18369 PG 1707 LOT 5 - BM 1980 PG 00396 ZONING: R-30 (WC) USE: VA	33	KENNETH INVESTMENT LLC PIN: 1757368616 DB 19248 PG 1884 ZONING: R-30 (WC) USE: VA
15	SCOTT & THERESA CARLE PIN: 1757675786 DB 14863 PG 2493 LOT 4A - BM 1980 PG 00396 ZONING: R-30 (WC) USE: VA	34	KENNETH INVESTMENT LLC PIN: 1757471559 DB 19248 PG 1884 LOT - BM 2007 PG 01224 ZONING: R-30 (WC) USE: VA
16	GRO PEG PROPERTIES PIN: 1757684896 DB 19081 PG 2786 LOT 2A - BM 1982 PG 00581 ZONING: R-30 (WC) USE: VA	35	HENRY ALSTON PIN: 1757481376 DB 19248 PG 984 BM 1982 PG 721 ZONING: R-30 (WC) USE: VA
17	MT. CALVARY HOLINESS CHURCH OF WAKE CO. INC. PIN: 1757680324 DB 10124 PG 1728 LOT 1 - BM 2002 PG 0991 ZONING: R-30 (WC) USE: CH	36	UNIVERSAL CHURCH OF PRAYER PIN: 1757388408 DB 19559 PG 1723 LOT - BM 2002 PG 00867 ZONING: R-30 (WC) USE: CH
18	G. ARCHIE UNDERHILL, JR. AND WIFE, TERESSA C. UNDERHILL PIN: 1757653785 DB 8443 PG 2129 BM 1980 PG 1337 ZONING: R-30 (WC) USE: SF	37	ROZELIA J. HARTSFIELD HEIRS PIN: 1757481740 DB 10-E PG 1220 ZONING: R-30 (WC) USE: VA
19	GENADIUS MAC FREDDY AND WIFE, MATTIE F. FREDDY PIN: 1757656586 DB 1882 PG 342 ZONING: R-30 (WC) USE: SF		

**NOTE:**  
EROSION CONTROL NOTES: SEE SHEET C-10.0



**LEGEND:**

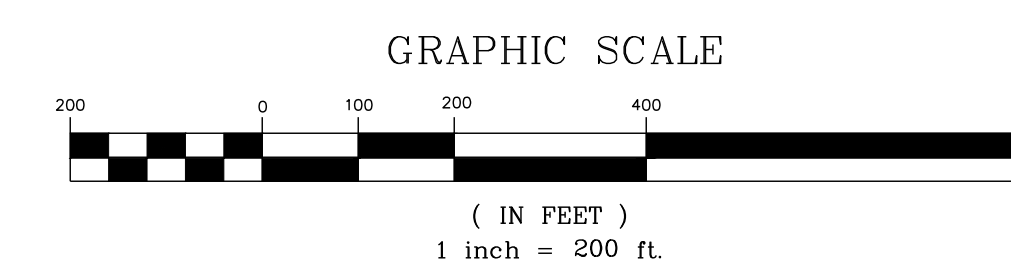
---	EXISTING ADJOINER PROPERTY LINE
---	EXISTING EDGE OF PAVEMENT
---	EX. MAJOR CONTOURS
---	EX. MINOR CONTOURS
---	SILT FENCE/LIMITS OF DISTURBANCE
---	LIMITS OF DISTURBANCE
---	TREE PROTECTION LINE
---	TEMPORARY DITCH
---	BAFFLES
---	TEMPORARY SLOPE DRAIN
---	TEMPORARY SKIMMER
---	SILT FENCE OUTLET
---	CHECK DAM
---	DISSIPATOR PAD
---	CONSTRUCTION ENTRANCE
---	EXISTING WETLAND

NO.	REVISIONS	DATE
1		
2		

**STRONGROCK ENGINEERING GROUP**  
 305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM  
 STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166

STRONG ROCK PROJECT	STRONG ROCK PROJECT
PSP-24-03	PSP-24-03
NOT FOR CONSTRUCTION	NOT FOR CONSTRUCTION
SCALE	SCALE
AS SHOWN	AS SHOWN
DESIGNED BY	JWL
DRAWN BY	SRG
CHECKED BY	JWL

**RESERVE @ MITCHELL MILL**  
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA  
**CONSTRUCTION PLANS**  
**EROSION CONTROL PLAN**  
**OVERALL PHASE 3 - STAGE 1**



THIS PLANSET AND ANY ASSOCIATED DOCUMENTS ARE PRELIMINARY AND NOT AUTHORIZED FOR CONSTRUCTION UNTIL SIGNED, DATED, AND OFFICIALLY RELEASED FOR CONSTRUCTION BY THE ENGINEER OF RECORD.