

HILLS AT HARRIS CREEK

PRELIMINARY SUBDIVISION PLAT V2-PSP-24-03

SITE INFORMATION:

LOCATION: 0 - 5326 MITCHELL MILL ROAD
 COUNTY: WAKE COUNTY
 PARENT PIN: 1757758529, 1757761273, 1757778982, 1757750520
 DB/PG: 001318 / 000333
 ZONING: RM-CZ CLUSTER DEVELOPMENT
 GROSS ACREAGE: 5,029,513 SF (115.46 AC)
 25' ROW DEDICATION ACREAGE: 43,196 SF (0.99 AC)
 NET ACREAGE: 4,986,317 SF (114.47 AC)

MINIMUM BUILDING SETBACKS:
 FRONT YARD: 20'
 SIDE YARD: 10'
 REAR YARD: 20'
 CORNER YARD: 12'

RIGHT OF WAY & OTHER AREAS:
 NATURAL WETLANDS: 657,515 SF (15.09 AC)

MAXIMUM ALLOWED NUMBER OF LOTS: 225 LOTS
TOTAL NUMBER PROPOSED LOTS: 221 LOTS
MINIMUM LOT FRONTAGE: 50'
MINIMUM REQUIRED LOT SIZE: 8,000 SF

OPEN SPACE BREAKDOWN:
 PROPERTY BOUNDARY: 4,986,317 SF (114.47 AC)
 REQUIRED OPEN SPACE(SECTION 3.1.B.1): 1,994,527 SF (45.79 AC)
 PROVIDED OPEN SPACE: 2,235,966 SF (51.33 AC)
 CLUSTER OPTION OPEN SPACE CALCULATIONS: SEE SHEET C-1.3
 ACTIVE/PASSIVE OPEN SPACE CALCULATIONS: SEE SHEET C-1.4

IMPERVIOUS AREAS:
 ROADWAYS & SIDEWALKS: 513,906 SF (11.80 AC)
 PONDS: 101,273 SF (2.32 AC)
 BUILD UPON AREA (BUA): 961,315 SF (22.07 AC)
 TOTAL ON-SITE IMPERVIOUS AREA: 1,576,494 SF (36.19 AC)
 TOTAL ON-SITE IMPERVIOUS PERCENT: 31.62%

CURRENT & PROPOSED USE AREAS:
 CURRENT USE: WAKE COUNTY AGRICULTURAL
 PROPOSED USE: MEDIUM DENSITY RESIDENTIAL

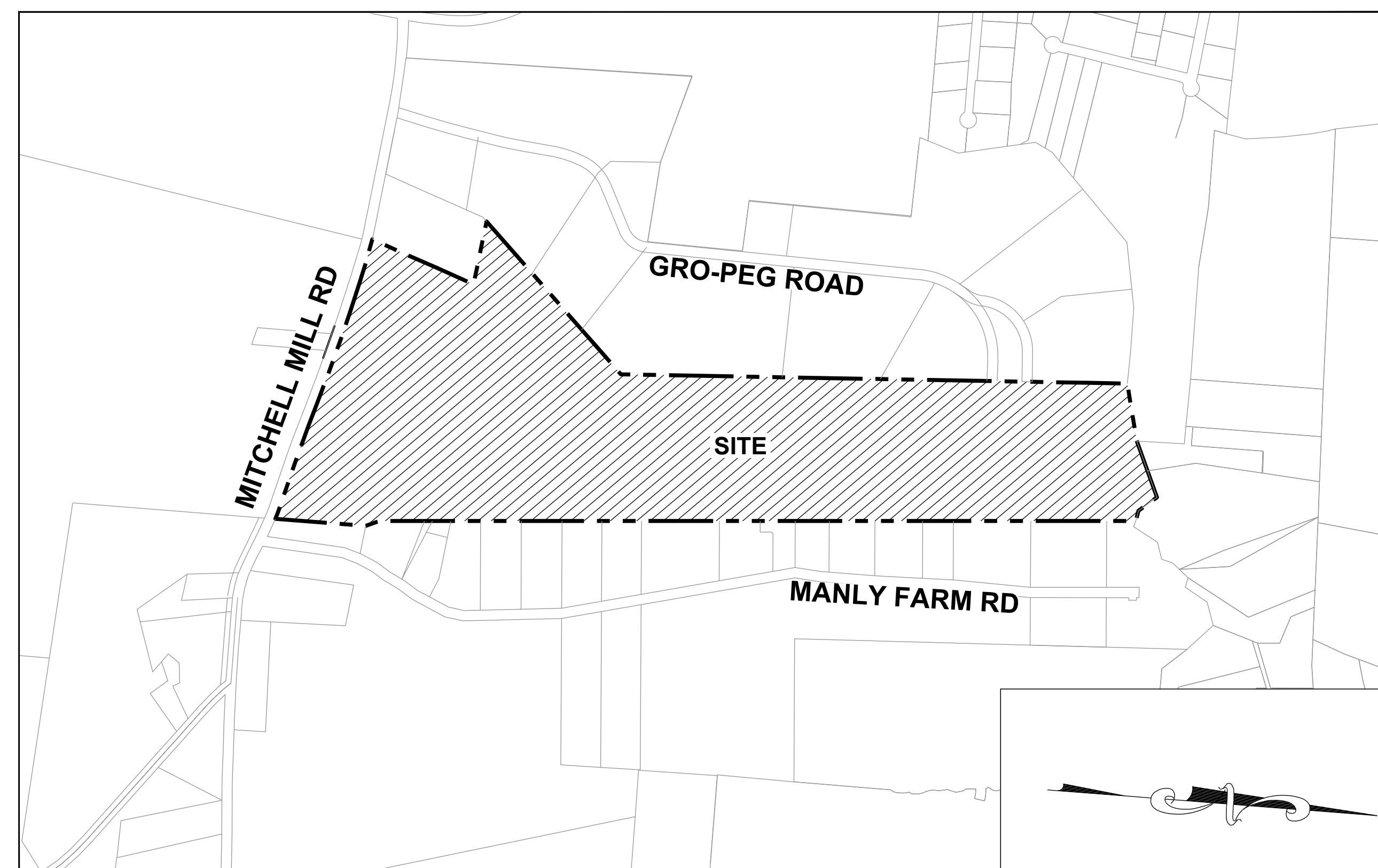
WATERSHED, RIVER BASIN:
 THIS PROJECT IS LOCATED WITHIN THE NEUSE RIVER BASIN

LOT ACREAGE:

LOT TYPE	DSF	LOTS
LOT TYPE (50'x160')	68	68 LOTS
LOT TYPE (55'x146')	16	16 LOTS
LOT TYPE (60'x134')	56	56 LOTS
LOT TYPE (65'x125')	52	52 LOTS
LOT TYPE (70'x115')	15	15 LOTS
LOT TYPE (80'x100')	14	14 LOTS
TOTAL NUMBER PROPOSED LOTS:	221	221 LOTS
MINIMUM PROPOSED LOT SIZE:	8,000	SF
MAXIMUM PROPOSED LOT SIZE:	26,428	SF
MINIMUM LOT WIDTH:	50'	
PROPOSED DENSITY:	1.93	UNITS/AC

DISTURBED AREA:
 TOTAL DISTURBED AREA: 3,639,480 SF (83.55 AC)

TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
 PROJECT NUMBER: PSP-24-03



VICINITY MAP
 1" = 600'

STREET NAMES	PROPOSED ROW	PAVEMENT WIDTH	LINEAR FEET
A	50-70 Ft	24-32 Ft	2,575.07
B	50 Ft	24 Ft	1,253.10
C	50-60 Ft	24-32 Ft	597.86
F	50 Ft	24 Ft	1,090.75
G	50 Ft	24 Ft	1,072.02
H	50 Ft	24 Ft	1,047.13
I	62 Ft	36 Ft	849.39
J	50 Ft	24 Ft	1,154.99
K	50 Ft	24 Ft	347.23
L	50 Ft	24 Ft	2,271.75

OWNER:
 ALAN&RANDY WATKINS/LAURA AND RANDALL WATKINS/
 ELLIS LAND INVESTMENT COMPANY, LLC
 ADDRESS: 305 CHURCH AT NORTH HILLS STREET, SUITE 1110
 CITY/STATE/ZIP: RALEIGH, NC 27609
 PHONE: 919-824-6088
 EMAIL: jason@ellisdevgroup.com.

DEVELOPER:
 ELLIS DEVELOPMENTS NC, LLC
 CONTACT NAME: JASON PFISTER
 ADDRESS: 305 CHURCH AT NORTH HILLS STREET, SUITE 1110
 CITY/STATE/ZIP: RALEIGH, NC 27609
 PHONE: 919-824-6088
 EMAIL: jason@ellisdevgroup.com.

CIVIL ENGINEERING:
 STRONG ROCK ENGINEERING GROUP, PLLC
 PO BOX 55992
 RALEIGH, NC 27624
 COMPANY LICENSE #: P-2166
 PHONE: 984-200-1932 (O)
 information@strongrockgroup.com

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NOTES:
 1. SEE SHEET C-1.1 FOR ZONING CONDITIONS.
 2. THIS DEVELOPMENT IS CONTINGENT UPON THE COMPLETION OF THE "HARRIS CREEK SANITARY SEWER REPLACEMENT S-5037" PERMIT. THE SEWER REPLACEMENT IMPROVEMENTS SHALL BE INSTALLED, INSPECTED, AND ACCEPTED BY CITY OF RALEIGH PRIOR TO RECORDATION OF LOTS FOR THIS DEVELOPMENT.
 3. ALL OFFSITE SEWER EASEMENTS MUST BE APPROVED, SIGNED AND RECORDED WITH RALEIGH DEED TEMPLATE PRIOR TO CD APPROVAL.

THIS PLANSET AND ANY ASSOCIATED DOCUMENTS ARE PRELIMINARY AND NOT AUTHORIZED FOR CONSTRUCTION UNTIL SIGNED, DATED, AND OFFICIALLY RELEASED FOR CONSTRUCTION BY THE ENGINEER OF RECORD.



06/30/2024
 08/30/2024

TOWN OF ROLESVILLE V1-PSP-24-03
 TOWN OF ROLESVILLE V2-PSP-24-03

0
 1

NO.
 DATE

REVISIONS

SEAL
 NORTH CAROLINA PROFESSIONAL ENGINEER
 SEAL
 036225
 JUSTIN W. LAMBERT

STRONGROCK
 ENGINEERING GROUP

STRONG ROCK ENGINEERING GROUP, PLLC COMPANY LICENSE # P-2166
 305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT
 NOT FOR CONSTRUCTION
 SCALE AS SHOWN
 DESIGNED BY JWL
 DRAWN BY SRG
 CHECKED BY JWL

HILLS AT HARRIS CREEK
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

COVER SHEET

DRAWING SHEET
C-1.0

01 OF 57

GENERAL CONSTRUCTION NOTES:

- 1. THE SUBJECT PROPERTY SHALL BE DEVELOPED GENERALLY IN ACCORDANCE WITH THE CONCEPT SKETCH PLAN ATTACHED HERETO AS EXHIBIT ONE AND INCORPORATED HEREIN AS IF FULLY SET OUT. LOCATIONS SHOWN FOR COMMITTED ELEMENTS INCLUDING, BUT NOT LIMITED TO GREENWAYS, STREETS, AND OPEN SPACE AREAS SHOWN ON THE CONCEPT SKETCH PLAN, ARE CONCEPTUAL AND PROVIDED FOR ILLUSTRATION AND CONTEXT ONLY. FINAL LOCATIONS OF ELEMENTS SHALL BE DETERMINED AT SUBSEQUENT STAGES THROUGH THE TOWN'S DEVELOPMENT REVIEW APPROVAL PROCESSES.
2. DENSITY: THE PROPERTY MAY BE DEVELOPED WITH UP TO A MAXIMUM OF 225 SINGLE FAMILY DETACHED DWELLING UNITS.
3. AFFORDABLE HOUSING: PRIOR TO THE ISSUANCE OF THE FIRST BUILDING PERMIT, TWENTY THOUSAND DOLLARS AND NO CENTS (\$20,000.00) SHALL BE DONATED TO HOMES FOR HEROES (OR ANOTHER NON-PROFIT ORGANIZATION WITH A SUBSTANTIALLY SIMILAR MISSION STATEMENT). A SIGNED AND NOTARIZED AFFIDAVIT FROM THE BENEFITTED CHARITY SHALL BE PROVIDED AS EVIDENCE OF PERFORMANCE OF THIS COMMITMENT.
4. POLLINATOR PLANTINGS: AT LEAST FOUR ACRES OF THE LANDSCAPING PLANTED WITHIN THE DUKE ENERGY POWER LINE EASEMENT ON THE SUBJECT PROPERTY SHALL UTILIZE PLANT MATERIALS THAT ARE LISTED AS NATIVE POLLINATOR PLANTS ON NORTH CAROLINA WILDLIFE FEDERATION ("NCWF") OR OTHER RESOURCES FOR NATIVE PLANTS RECOMMENDED BY THE NCWF. THIS LANDSCAPE ELEMENT SHALL BE IDENTIFIED AS A "FEATURE" IN THE APPROPRIATE PROPOSED LOT WITHIN THE PRELIMINARY SUBDIVISION PLAT DRAWINGS, AND THEN AGAIN IDENTIFIED AND FULLY DETAILED ON LANDSCAPE PLAN DRAWINGS INCLUDED IN THE CONSTRUCTION INFRASTRUCTURE DRAWINGS, AND THIS SHALL BE CONSIDERED INFRASTRUCTURE THAT IS INSPECTED FOR (INSTALLATION) COMPLIANCE BY/AT THE TIME OF SUBDIVISION CLOSE-OUT. APPLICANT MAY PROVIDE THIS FEATURE EARLIER IN THE DEVELOPMENT PROCESS BY EVIDENCE OF PHOTO DOCUMENTATION AND INSPECTION REPORT BY THE TOWN INFRASTRUCTURE INSPECTOR OR OTHER STAFF.
5. RECREATIONAL AMENITIES: THE FOLLOWING RECREATIONAL AMENITIES SHALL BE PROVIDED GENERALLY AS SHOWN ON THE RECREATIONAL AMENITIES PLAN ATTACHED HERETO AS EXHIBIT TWO AS A PART OF THE DEVELOPMENT OF THE SUBJECT PROPERTY AND SHALL BE DEDICATED TO THE SUBDIVISION'S HOMEOWNER'S ASSOCIATION (HOA). THESE AMENITIES SHALL BE IDENTIFIED AS A "FEATURE" IN THE APPROPRIATE PROPOSED LOT WITHIN THE PRELIMINARY SUBDIVISION PLAT DRAWINGS, AND THEN AGAIN IDENTIFIED AND DETAILED IN THE CONSTRUCTION INFRASTRUCTURE DRAWINGS, AND THIS SHALL BE CONSIDERED INFRASTRUCTURE THAT IS INSPECTED FOR (INSTALLATION) COMPLIANCE BY/AT THE TIME OF SUBDIVISION CLOSE-OUT. APPLICANT MAY PROVIDE THIS FEATURE EARLIER IN THE DEVELOPMENT PROCESS BY EVIDENCE OF PHOTO DOCUMENTATION AND INSPECTION REPORT BY THE TOWN INFRASTRUCTURE INSPECTOR OR OTHER STAFF.
6. FOUNDATIONS: ALL HOMES SHALL INCLUDE EITHER CRAWL SPACE FOUNDATIONS OR STEM WALL FOUNDATION (AS THEY ARE GENERALLY DEFINED IN THE HOME BUILDING INDUSTRY). ANY STEM WALL FOUNDATIONS SHALL HAVE AN AVERAGE OF AT LEAST EIGHTEEN INCHES (18") IN HEIGHT OF REVEAL ABOVE THE FINISHED GROUND SURFACE ACROSS THE FRONT FAÇADE OF THE HOME. THERE SHALL BE NO EXPOSED CONCRETE ON ANY PORTION OF THE STEM WALL FOUNDATION ON ANY SIDE OF THE HOME FACING AND DIRECTLY PARALLEL TO A PUBLIC STREET. COMPLIANCE WITH THIS CONDITION SHALL BE DEMONSTRATED BY NOTING THE FOLLOWING ON THE PLANS SUBMITTED WITH THE RESIDENTIAL BUILDING PERMIT APPLICATION: I) THE AVERAGE STEM WALL HEIGHT FOR THE FRONT FAÇADE OF THE STEM WALL FOUNDATION, AND II) THE BUILDING MATERIALS TO BE USED (STONE VENEER OR BRICK) ON THE STEM WALL FOUNDATION FAÇADE ON ANY SIDE OF THE HOME FACING A PUBLIC STREET.
7. MINIMUM DWELLING SIZE: EACH SINGLE FAMILY DETACHED DWELLING UNIT SHALL CONTAIN A MINIMUM GROSS BUILDING SQUARE FOOTAGE OF 2,000 SQUARE FEET.
8. DRIVEWAY ACCESS TO NEIGHBORING PROPERTIES: TWO PRIVATE DRIVEWAYS (SHOWN AS DRIVEWAY A AND DRIVEWAY B ON THE ATTACHED EXHIBIT ONE) SHALL BE CONSTRUCTED TO CONNECT THE PROPERTY TO THE TWO ADJACENT PROPERTIES (IDENTIFIED AS WAKE COUNTY PIN'S 1757657746 & 1757658917) THAT CURRENTLY ACCESS MITCHELL MILL ROAD VIA THE PRIVATE ROAD KNOWN AS ROCK FARM ROAD (THE "ROCK FARM ROAD PROPERTIES"). ROCK FARM ROAD WILL BE ABANDONED AND REMOVED IN CONNECTION WITH THE DEVELOPMENT OF THE PROPERTY. ACCESS EASEMENTS SHALL BE PROVIDED TO THE ROCK FARM ROAD PROPERTIES TO PROVIDE INGRESS/EGRESS TO THE ROCK FARM ROAD PROPERTIES THROUGH DRIVEWAY A AND DRIVEWAY B PRIOR TO THE ABANDONMENT AND REMOVAL OF ROCK FARM ROAD.
9. GREENWAY AND SHARED USE PATH: A 10' WIDE PUBLIC SHARED USE PATH (LABELED AS "SHARED USE PATH" ON THE ATTACHED EXHIBIT ONE) SHALL BE CONSTRUCTED AND DEDICATED TO THE TOWN TO CONNECT TO THE 10' WIDE PUBLIC GREENWAY (LABELED AS THE PUBLIC GREENWAY ON THE ATTACHED EXHIBIT ONE).
10. FUTURE GREENWAY EXPANSION: THE 50' WIDE "GREENWAY EASEMENT" AS SHOWN ON EXHIBIT ONE, SHALL BE DEDICATED TO THE TOWN AS A FUTURE PUBLIC GREENWAY.
11. CONSTRUCT A WESTBOUND(MITCHELL MILL ROAD) RIGHT-TURN LANE WITH 50' OF STORAGE AT THE SITE ACCESS #1.

Town of Rolesville Planning Department Checklist

- [X] A vicinity map of the site, illustrating the boundaries of the site, north arrow, and scale reference
[X] Site Data Table of typical property information (Property Legal Description, acreage/square footage, etc)
[X] If Commercial - Square footage of proposed building/use/development on, approximate proposed Impervious Coverage, approximate parking calculations, if multi-family the number of Dwelling units, etc.
[X] If Residential - Number of proposed development lots (including by type of lots/use), density (proposed/permited), approximate parking calculations,
[X] Required/Provided calculations for open space
[X] Existing and Proposed Use and Zoning District of property and adjacent properties
[X] Drawing depicting the details provided above and general concept of development such as -
• Lot layout and size/dimension of lots,
• Proposed building layout and/or general footprint locations
• Vehicular circulation / street layout including existing/proposed right-of-way widths (public, alley, private)
• Pedestrian circulation including Greenways / Sidepaths / Bike Lanes,
• General Utility access and points of connection / extensions,
• Buffers (Street/Perimeter), Open/communal spaces, stormwater control measures etc.
[X] Name, address, and contact information for property owner and/or Applicant
[X] Name/information of professional who created Concept Plan
[] Any other information requested by Planning Department staff

Table with columns: SR#EG, TOWN OF ROLESVILLE V1-FSP-24-03, TOWN OF ROLESVILLE V2-FSP-24-03, and BY. Includes a circular professional seal for Alan Watkins, Engineer, No. 036225.

Exhibit Three
REZ-24-02/Hills at Harris Creek

Conditions of Approval
Date: April 30, 2024

- 1. The subject property shall be developed generally in accordance with the Concept Sketch Plan attached hereto as Exhibit One and incorporated herein as if fully set out. Locations shown for committed elements including, but not limited to Greenways, streets, and open space areas shown on the Concept Sketch Plan, are conceptual and provided for illustration and context only. Final locations of elements shall be determined at subsequent stages through the Town's development review approval processes.
2. Density: The property may be developed with up to a maximum of 225 single family detached dwelling units.
3. Affordable Housing: Prior to the issuance of the first building permit, Twenty Thousand Dollars and No Cents (\$20,000.00) shall be donated to Homes for Heroes (or another non-profit organization with a substantially similar mission statement). A signed and notarized affidavit from the benefitted charity shall be provided as evidence of performance of this commitment.
4. Pollinator Plantings: At least four acres of the landscaping planted within the Duke Energy power line easement on the subject property shall utilize plant materials that are listed as Native Pollinator Plants on North Carolina Wildlife Federation ("NCWF") or other resources for native plants recommended by the NCWF. This landscape element shall be identified as a "feature" in the appropriate proposed Lot within the Preliminary Subdivision Plat drawings, and then again identified and fully detailed on landscape plan drawings included in the Construction Infrastructure Drawings, and this shall be considered infrastructure that is inspected for (installation) compliance by/at the time of subdivision close-out. Applicant may provide this feature earlier in the development process by evidence of photo documentation and inspection report by the Town infrastructure inspector or other staff.
5. Recreational Amenities: The following recreational amenities shall be provided generally as shown on the Recreational Amenities Plan attached hereto as Exhibit Two as a part of the development of the subject property and shall be dedicated to the subdivision's homeowner's association (HOA). These amenities shall be identified as a "feature" in the appropriate proposed Lot within the Preliminary Subdivision Plat drawings, and then again identified and detailed in the Construction Infrastructure Drawings, and this shall be considered infrastructure that is inspected for (installation) compliance by/at the time of subdivision close-out. Applicant may provide this feature earlier in the development process by evidence of photo documentation and inspection report by the Town infrastructure inspector or other staff.
i. A swimming pool and cabana, including changing rooms and restrooms shall be constructed prior to the issuance of the 150th residential dwelling unit building permit;
ii. At least one fenced playground shall be constructed prior to the issuance of the 150th residential dwelling unit building permit;
iii. At least one fenced dog park shall be constructed prior to the issuance of

- the 150th residential dwelling unit building permit;
iv. At least one (1) garden park shall be provided prior to the issuance of the 200th residential dwelling unit building permit.

- 6. Foundations: All homes shall include either crawl space foundations or stem wall foundation (as they are generally defined in the home building industry). Any stem wall foundations shall have an average of at least eighteen inches (18") in height of reveal above the finished ground surface across the front facade of the home. There shall be no exposed concrete on any portion of the stem wall foundation on any side of the home facing and directly parallel to a public street. Compliance with this condition shall be demonstrated by noting the following on the plans submitted with the residential building permit application: i) the average stem wall height for the front facade of the stem wall foundation, and ii) the building materials to be used (stone veneer or brick) on the stem wall foundation facade on any side of the home facing a public street.
7. Minimum Dwelling Size: Each single family detached dwelling unit shall contain a minimum gross building square footage of 2,000 square feet.
8. Driveway Access to Neighboring Properties: Two private driveways (shown as Driveway A and Driveway B on the attached Exhibit One) shall be constructed to connect the property to the two adjacent properties (identified as Wake County PIN's 1757657746 & 1757658917) that currently access Mitchell Mill Road via the private road known as Rock Farm Road (the "Rock Farm Road Properties"). Rock Farm Road will be abandoned and removed in connection with the development of the property. Access easements shall be provided to the Rock Farm Road Properties to provide ingress/egress to the Rock Farm Road Properties through Driveway A and Driveway B prior to the abandonment and removal of Rock Farm Road.
9. Greenway and Shared Use Path: A 10' wide public shared use path (labeled as "Shared Use Path" on the attached Exhibit One) shall be constructed and dedicated to the Town to connect to the 10' wide public greenway (labeled as the Public Greenway on the attached Exhibit One).
10. Future Greenway Expansion: The 50' wide "Greenway Easement" as shown on Exhibit One, shall be dedicated to the Town as a future public greenway.

Authentigi ID: 4C37A263-544B-8F11-8EC3-0224E2708E1

The foregoing zoning conditions have been voluntarily offered by the property owner. This page may be photocopied if additional space is needed.

Signature: Alan Watkins 07/26/24 Print Name: Alan Watkins & Melody Watkins
Date: Randy Watkins 07/26/24 Print Name: Randy & Donna Watkins
Signature: Laura Watkins 07/27/24 Print Name: Laura Watkins
Date: Randall Watkins 07/27/24 Print Name: Randall Watkins
Signature: Ellis Land Investment Company, LLC By: Stephen Ellis, Manager
Date:



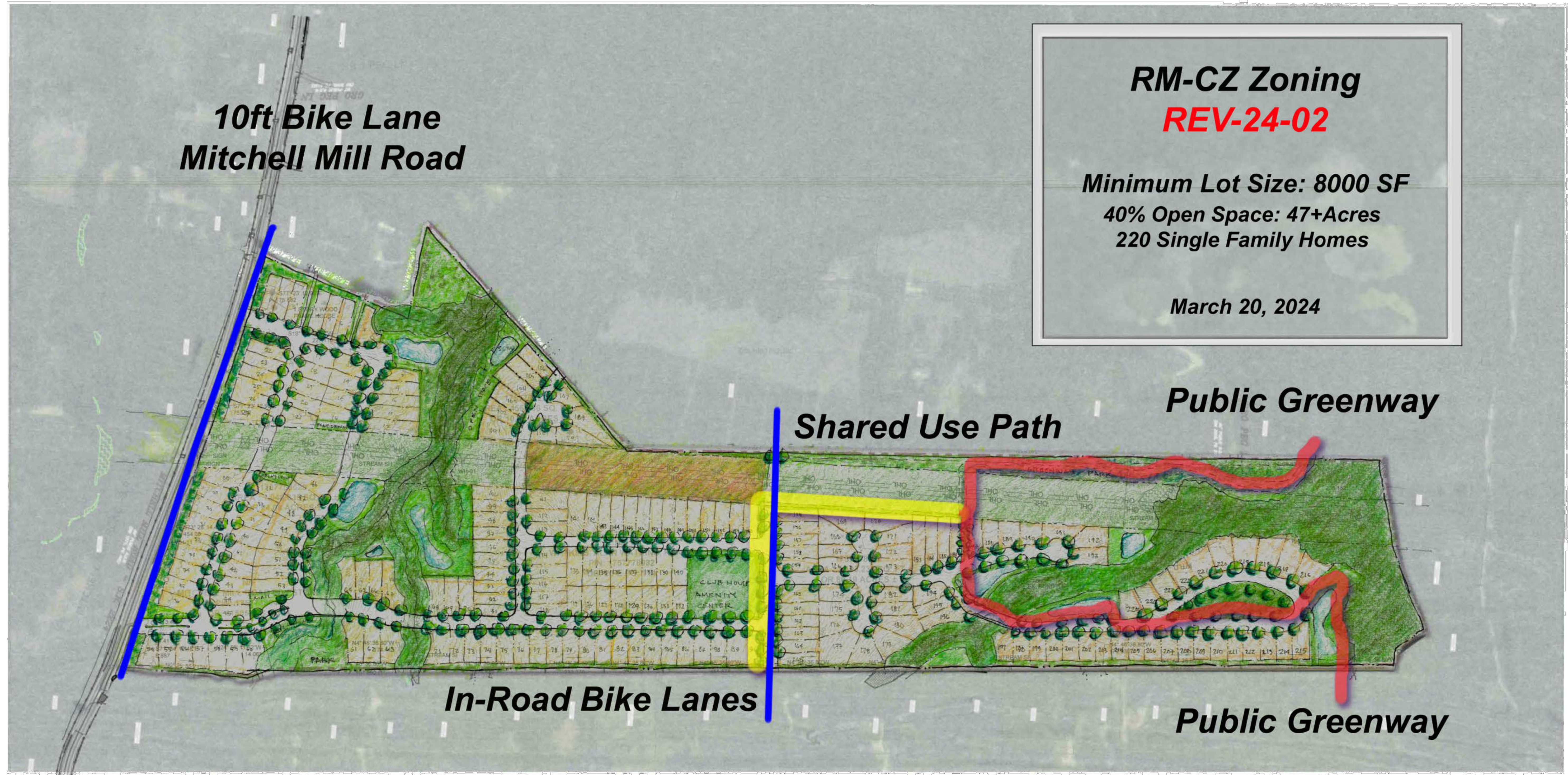
Table with columns: STRONGROCK PROJECT, NOT FOR CONSTRUCTION, SCALE AS SHOWN, DESIGNED BY JWL, DRAWN BY SRG, CHECKED BY JWL.

HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
ZONING CONDITIONS

DRAWING SHEET
C-1.1

V2 - REZ-24-02

EXHIBIT ONE CONCEPT SKETCH PLAN



RM-CZ Zoning
REV-24-02

Minimum Lot Size: 8000 SF
40% Open Space: 47+Acres
220 Single Family Homes

March 20, 2024

No.	REVISIONS	DATE	BY
0			
1			



STRONGROCK
ENGINEERING GROUP

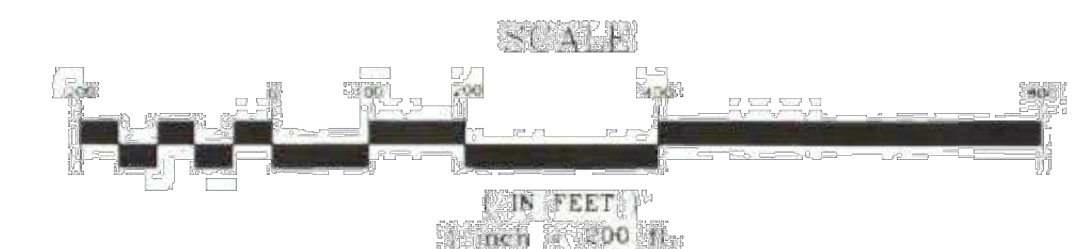
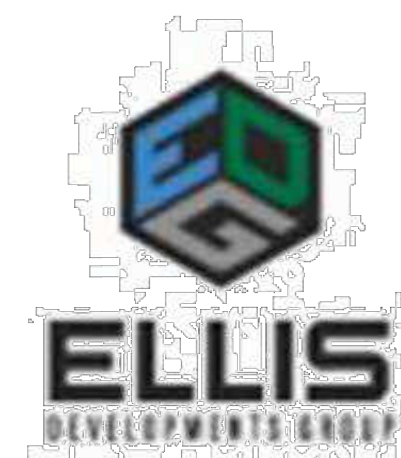
STRONG ROCK ENGINEERING GROUP, PLLC (COMPANY LICENSE # P-2166)
305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL
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HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

CONCEPT SKETCH PLAN

DRAWING SHEET
C-1.2

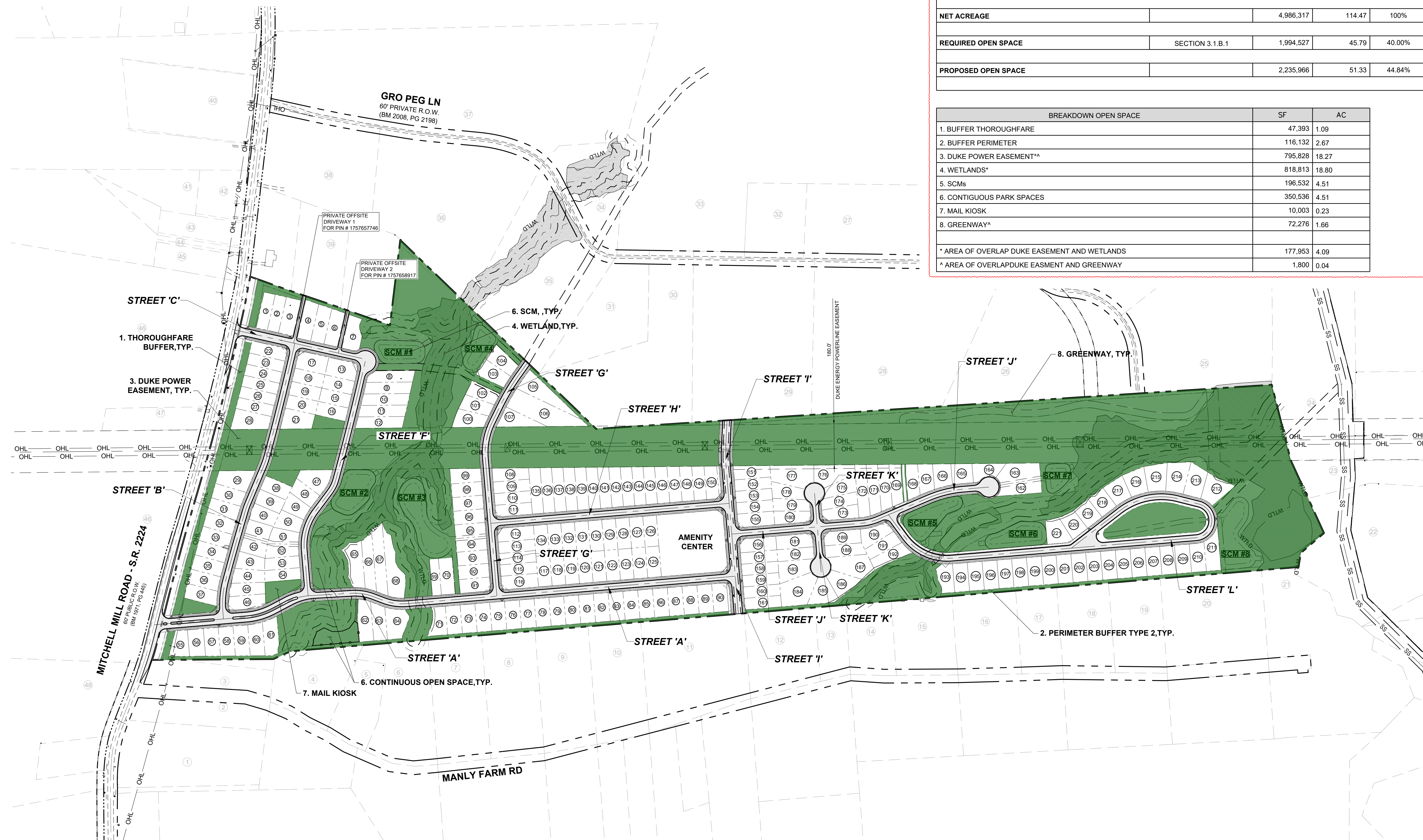


THIS PLANSET AND ANY ASSOCIATED DOCUMENTS ARE PRELIMINARY AND NOT AUTHORIZED FOR CONSTRUCTION UNTIL SIGNED, DATED, AND OFFICIALLY RELEASED FOR CONSTRUCTION BY THE ENGINEER OF RECORD.

NOTES:
 * PER TOWN OF ROLESVILLE LDO 3.1.B.1 OPEN SPACE WITHIN CLUSTER DEVELOPMENT
 SEE SHEET C-3.0 FOR ADJACENT PROPERTY DETAILS

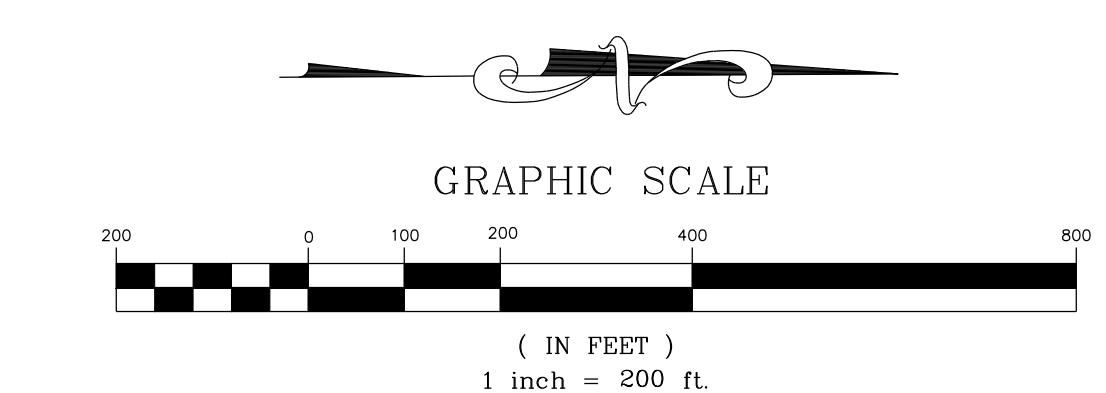
CLUSTER OPTION OPEN SPACE				
RM-CZ CLUSTER DEVELOPMENT	Code section	SF	AC	%
NET ACREAGE		4,986,317	114.47	100%
REQUIRED OPEN SPACE	SECTION 3.1.B.1	1,994,527	45.79	40.00%
PROPOSED OPEN SPACE		2,235,966	51.33	44.84%

BREAKDOWN OPEN SPACE			SF	AC
1. BUFFER THOROUGHFARE			47,393	1.09
2. BUFFER PERIMETER			116,132	2.67
3. DUKE POWER EASEMENT**			795,828	18.27
4. WETLANDS*			818,813	18.80
5. SCMs			196,532	4.51
6. CONTIGUOUS PARK SPACES			350,536	4.51
7. MAIL KIOSK			10,003	0.23
8. GREENWAY*			72,276	1.66
* AREA OF OVERLAP DUKE EASEMENT AND WETLANDS			177,953	4.09
^ AREA OF OVERLAPDUKE EASMENT AND GREENWAY			1,800	0.04



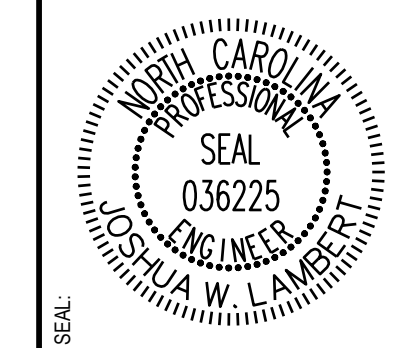
LEGEND:

	EXISTING PROPERTY LINE
	ROADWAY CENTER LINE
	PROPOSED PROPERTY LINE
	ROLESVILLE STANDARD VALLEY CURB



THIS PLANSET AND ANY ASSOCIATED DOCUMENTS ARE PRELIMINARY AND NOT AUTHORIZED FOR CONSTRUCTION UNTIL SIGNED, DATED, AND OFFICIALLY RELEASED FOR CONSTRUCTION BY THE ENGINEER OF RECORD.

NO.	REVISIONS	DATE	BY
0			
1			



STRONGROCK
 ENGINEERING GROUP

STRONG ROCK ENGINEERING GROUP, PLLC COMPANY LICENSE # P-2166
 305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONGROCK PROJECT	NOT FOR CONSTRUCTION	AS SHOWN	JWL	SRG	JWL
SCALE	DESIGNED BY	DRAWN BY	CHECKED BY		

HILLS AT HARRIS CREEK
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

OVERALL OPEN SPACE PLAN

DRAWING SHEET
C-1.3

04 OF 57

NOTES:
SEE SHEET C-3.0 FOR ADJACENT PROPERTY DETAILS

REQUIRED PASSIVE AND ACTIVE OPEN SPACE			
NET ACREAGE	CODE SECTION	SF	AC
		4,986,317	114.47
			100
REQUIRED PASSIVE OPEN SPACE	SECTION 6.2.1.D	598,358	13.74
REQUIRED ACTIVE OPEN SPACE	SECTION 6.2.1.G.12	299,179	6.87
			6.0%
PROPOSED PASSIVE OPEN SPACE			
P1: POLLINATOR GARDEN		177,463	4.07
P2: DOG PARK		140,874	3.23
P3: LAWN AND MEADOWS		440,706	10.12
P4: GREENWAY AND NATURAL AREA		180,647	3.69
TOTAL PROPOSED PASSIVE OPEN SPACE		919,690	21.11
			18.44%
PROPOSED ACTIVE OPEN SPACE			
MEDIUM 1: AMENITY CENTER		82,409	1.89
MEDIUM 2: PARK		49,986	1.15
SMALL 1: POCKET PARK		12,228	0.28
SUBTOTAL REQUIRED ACTIVE OPEN SPACE		144,623	3.32
			2.90%
ADDITIONAL PROPOSED ACTIVE OPEN SPACE			
AS1: EXERCISE TRACK		51,262	1.18
AS2: IPEMA 1: PLAYGROUND		7,490	0.17
AS3: POCKET PARK II		6,792	0.16
AS4: POCKET PARK III		6,448	0.15
AS5: DISK GOLF		40,486	0.93
AS6: RUNNING COURSE (12 LAPS PER MILE)		46,571	1.07
SUBTOTAL ADDITIONAL PROPOSED ACTIVE OPEN SPACE		159,049	3.65
			3.19%
TOTAL PROPOSED ACTIVE OPEN SPACE		303,672	6.97
			6.09%

NO.	DATE	REVISIONS
0		
1		

STRONGROCK
ENGINEERING GROUP

STRONG ROCK ENGINEERING GROUP, PLLC COMPANY LICENSE # P-2166
305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

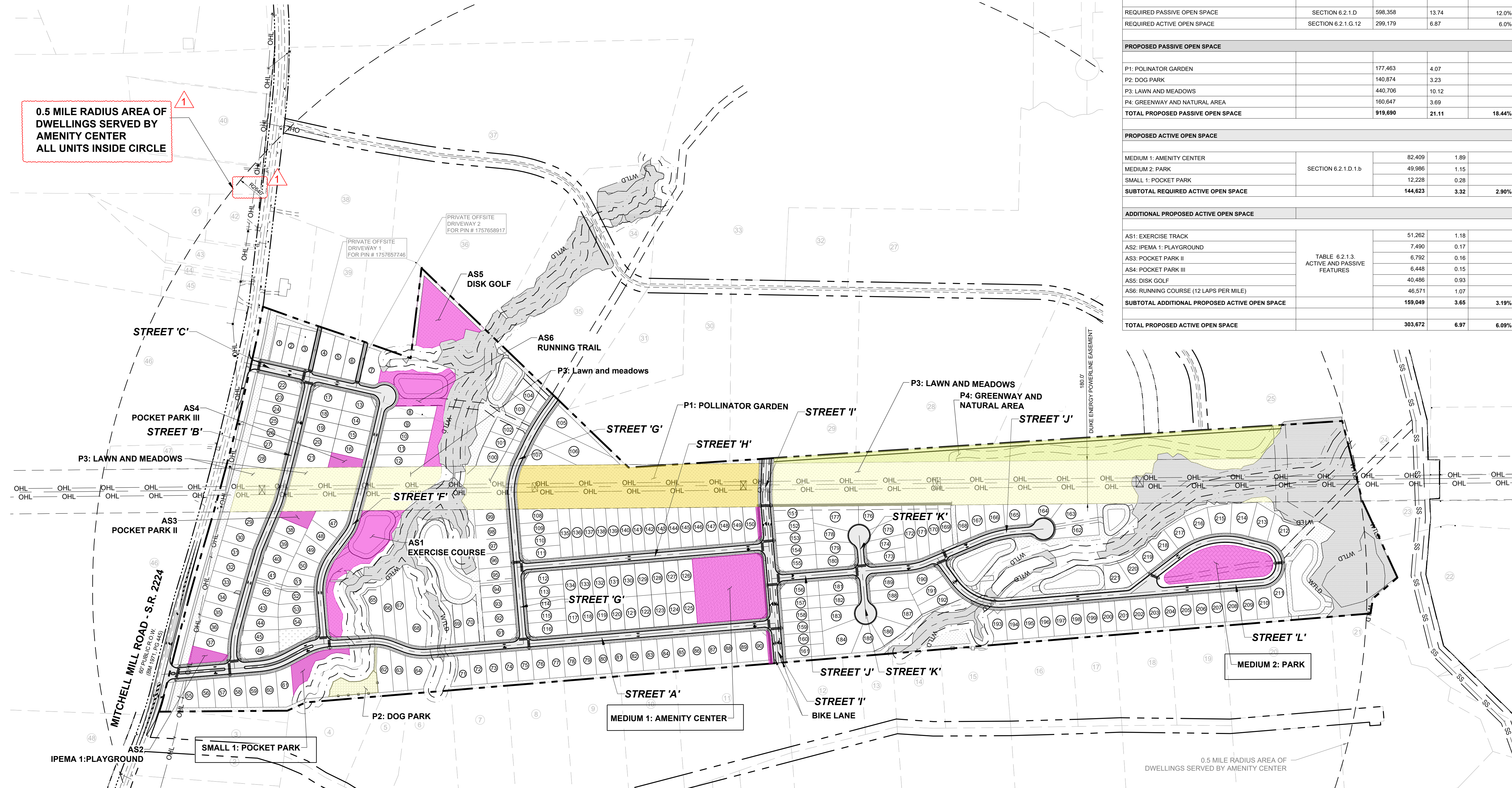
STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	AS SHOWN	JWL	SRG	JWL
SCALE	DESIGNED BY	DRAWN BY	CHECKED BY		

HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

ACTIVE-PASSIVE OPEN SPACE REQUIREMENTS

DRAWING SHEET
C-1.4

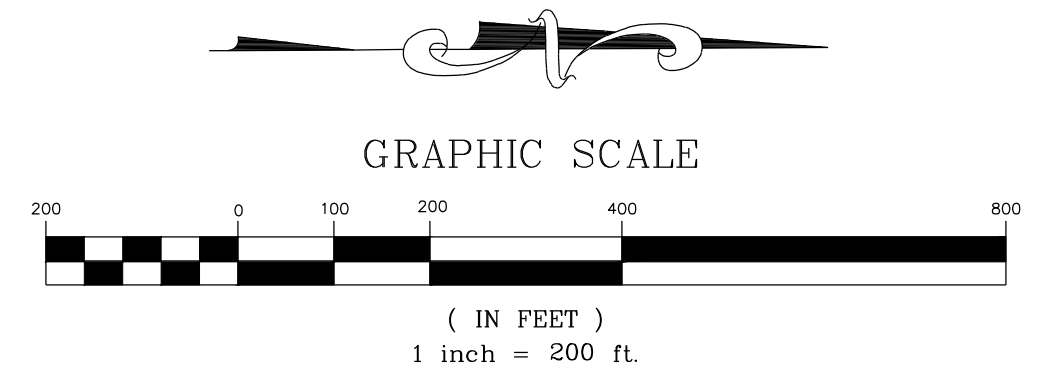
05 OF 57



0.5 MILE RADIUS AREA OF DWELLINGS SERVED BY AMENITY CENTER
ALL UNITS INSIDE CIRCLE

LEGEND:

	EXISTING PROPERTY LINE
	ROADWAY CENTER LINE
	PROPOSED PROPERTY LINE
	ROLESVILLE STANDARD VALLEY CURB
	PROPOSED ACTIVE OPEN SPACE
	PROPOSED PASSIVE OPEN SPACE
	OPEN SPACE
	EXISTING WETLAND



THIS PLANSET AND ANY ASSOCIATED DOCUMENTS ARE PRELIMINARY AND NOT AUTHORIZED FOR CONSTRUCTION UNTIL SIGNED, DATED, AND OFFICIALLY RELEASED FOR CONSTRUCTION BY THE ENGINEER OF RECORD.

GENERAL CONSTRUCTION NOTES:

1. SEE GENERAL NOTES ON SHEET C-4.0.
2. WITHIN ALL NOTES, THE TERM CONTRACTOR WILL MEAN THE GENERAL CONTRACTOR AND ANY SUBCONTRACTORS OR VENDORS PERFORMING WORK ON THE PROJECT.
3. ANY CONTRACTOR SUBMITTING A BID FOR THIS PROJECT SHALL MAKE A SITE VISIT PRIOR TO SUBMITTING BID.
4. BOUNDARY DATA PERFORMED BY TAYLOR LAND CONSULTANTS. SEE SURVEY FOR BENCHMARK & TBM INFORMATION. SURVEY IS REFERENCED TO NC GRID NAD 83. REFER TO EXISTING CONDITIONS PLAN
5. ANY RELOCATION OF BENCHMARKS SHALL BE PERFORMED BY A NC LICENSED SURVEYOR.
6. ALL WORK, CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE TOWN OF ROLESVILLE, WAKE COUNTY, NCDOT OR & CITY OF RALEIGH STANDARDS AND SPECIFICATIONS, LATEST EDITION.
7. ALL WORK, CONSTRUCTION AND MATERIALS WITHIN NCDOT RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE 2018 NCDOT STANDARDS SPECIFICATIONS FOR ROADS AND STRUCTURES.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK ZONE TRAFFIC CONTROL IN OR ADJACENT TO NCDOT RIGHT-OF-WAY. TRAFFIC CONTROL SHALL BE MAINTAINED AT ALL TIMES WITH PROPER SIGNAGE, SIGNALS, LIGHTING, FLAGMEN. ALL SIGNS, PAVEMENT MARKINGS AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.
9. COPIES OF ALL PERMITS AND APPROVED PLANS MUST BE KEPT ON SITE IN A PERMIT BOX THAT IS CONSPICUOUSLY LOCATED AND EASILY ACCESSIBLE DURING CONSTRUCTION. THIS INCLUDES APPROVED CONSTRUCTION PLANS, APPROVED EROSION CONTROL PLANS, ENCROACHMENT AGREEMENTS, DRIVEWAY PERMITS, WATER/SEWER PERMITS, ETC.
10. LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE AND MUST BE FIELD VERIFIED. CONTACT THE NC ONE CALL CENTER AT LEAST 72 HOURS PRIOR TO DIGGING @ 1.800.632.4949. UNDERGROUND LINES SHOWN HEREON ARE APPROXIMATE OR AS REPORTED BY VARIOUS RESPONSIBLE PARTIES. THE SURVEYOR DOES NOT GUARANTEE THAT ANY UNDERGROUND STRUCTURES SUCH AS UTILITIES, TANKS AND PIPES ARE LOCATED HEREON.
11. THE CONTRACTOR SHALL NOTIFY AND COOPERATE WITH ALL UTILITY COMPANIES OR FIRMS HAVING FACILITIES ON OR ADJACENT TO THE SITE BEFORE DISTURBING, ALTERING, REMOVING, RELOCATING, ADJUSTING OR CONNECTING TO SAID FACILITIES.
12. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ANY TOWN, CITY OF RALEIGH OR NCDOT DAMAGED PROPERTY. THE CONTRACTOR SHALL REPAIR THE DAMAGED PROPERTY TO THE LATEST STANDARDS AND SPECIFICATIONS OF THE AGENCY HOLDING JURISDICTION AT NO COST TO THE OWNER.
13. ANY DAMAGE DONE TO PRIVATE PROPERTY OWNERS SIGNS, MAILBOX, DRIVEWAY CULVERTS, LANDSCAPING OR OTHER PROPERTY SHALL BE RESTORED TO ORIGINAL CONDITION. AT NO COST TO OWNER.
14. CONTRACTOR IS RESPONSIBLE FOR FENCING AND SECURITY OF HIS LAYDOWN AND STORAGE AREA.
15. THE CONTRACTOR IS REQUIRED TO MEET ALL APPLICABLE FEDERAL, OSHA, STATE AND LOCAL REGULATIONS CONCERNING PROJECT SAFETY AND ASSUMES FULL RESPONSIBILITY FOR SAFETY ON THE PROJECT.
16. CONTRACTOR SHALL KEEP ALL ROADS FREE OF DIRT AND DEBRIS AT ALL TIMES.
17. CONTRACTOR SHALL PROTECT EXISTING PAVEMENTS AND UTILITIES FROM HEAVY EARTH MOVING EQUIPMENT. PROVIDE TRAFFIC CONTROL AND ADEQUATE PROTECTION METHODS AT ALL EQUIPMENT CROSSINGS.
18. ALL STRUCTURAL FILL MATERIAL SHALL BE FREE OF ALL STICKS, ROCKS, AND CLUMPS OF MUD. ALL ROCKS GREATER THAN 3" DURING EXCAVATION SHALL BE REMOVED.
19. CONCRETE SIDEWALKS THAT ARE TO BE REMOVED SHALL BE CUT BACK TO NEAREST EXPANSION OR CONTROL JOINT AND REPLACED WITH 4-INCH CONCRETE SIDEWALK FINISHED TO MATCH EXISTING SIDEWALKS.
20. CONTRACTOR TO COORDINATE WITH CITY OF RALEIGH FOR TEMPORARY WATER NEEDED DURING CONSTRUCTION. IF PERMITTED TO CONNECT TO EXISTING FIRE HYDRANT A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTER WILL BE REQUIRED.
21. THE TRANSITION OF PROPOSED ROADWAY TO EXISTING ROADWAY SHALL BE DONE WITH A MINIMUM 8-FT TRANSITION WHERE THE EXISTING PAVEMENT IS MILLED TO A MINIMUM DEPTH OF 1-1/2" AND OVERLAP.
22. ALL PAVEMENT SAW CUTS SHALL BE NEAT, STRAIGHT AND FULL DEPTH.
23. ALL RIP-RAP IS TO BE INSTALLED WITH NON-WOVEN FILTER FABRIC BENEATH (MIRAFI 140N OR APPROVED EQUAL).
24. HDPE PIPE SHALL BE ADS N-12 WT (ASTM D3212) OR APPROVED EQUAL INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS REQUIREMENTS AND RECOMMENDATIONS.
25. ALL SITE CONSTRUCTION MUST BE INSPECTED BY THE GEOTECHNICAL ENGINEER AT THE FOLLOWING STAGES:
 - A. COMPLETION OF GRADING SUBGRADE PRIOR TO PLACING STONE BASE.
 - B. COMPLETION OF STONE PLACEMENT PRIOR TO PAVING.
 - C. FINAL INSPECTION WHEN ALL WORK IS COMPLETE.

26. PRIOR TO PLACING CABG STONE BASE, THE CONTRACTOR SHOULD NOTIFY THE GEOTECHNICAL ENGINEER TO INSPECT THE PROOF ROLL OF THE SUBGRADE. ANY STONE PLACED WITHOUT PRIOR APPROVAL WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SUBJECT TO RE-CONSTRUCTION IF SUBGRADE DOES NOT MEET TOWN AND NCDOT STANDARDS & SPECIFICATIONS.
27. ALL UTILITY SERVICES, (POWER, TELEPHONE, CABLE, ETC.) ARE PROPOSED TO BE UNDERGROUND. THE CONTRACTOR SHALL COORDINATE WITH THE PRIVATE UTILITY SERVICE COMPANIES FOR ANY REQUIRED CONDUITS OR POINT OF CONTACT CONDITIONS.
28. ALL PUBLIC UTILITIES THAT REQUIRE AN ENGINEERING CERTIFICATION MUST BE INSPECTED BY A PROFESSIONAL ENGINEER ON A PERIODIC BASIS. THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER WHEN INSTALLING UTILITIES FOR PERIODIC INSPECTIONS. THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER AT THE TIME OF PRESSURE TESTING AND WATER LINE DISINFECTION. THE CONTRACTOR SHALL SUPPLY THE PROJECT ENGINEER PRESSURE TEST RESULTS.
29. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS AND FIELD CONDITIONS WHEN POSSIBLE, BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS WELL IN ADVANCE OF TRENCHING. IF THE CLEARANCES ARE LESS THAN SPECIFIED ON THE PLANS OR 12 INCHES, WHICH EVER IS LESS, CONTACT THE PROJECT ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
30. THE CONTRACTOR SHALL INCLUDE IN HIS CONTRACT PRICE THE REMOVAL AND DISPOSAL, TO AN APPROVED NCDENR LOCATION, OF ANY EXCESS TOPSOIL OR UNCLASSIFIED EXCAVATION HE DETERMINES IS NOT REQUIRED TO PERFORM THE FINAL GRADING AND LANDSCAPING OPERATION.
31. THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE DAILY RECORD KEEPING OF THE AS-BUILT CONDITION OF ALL OF THE UNDERGROUND UTILITIES, CONSTRUCTION STAKEOUT ASSOCIATED WITH THE PROJECT. PREPARATION OF THE NECESSARY/REQUIRED AS-BUILT PLANS TO BE SUBMITTED TO TOWN OF ROLESVILLE AND/OR CITY RALEIGH PUBLIC UTILITIES AND/OR ALL OTHER INFORMATION REQUIRED IN CONNECTION WITH RELEASE OF BONDS.
32. THE CONTRACTOR SHALL INCLUDE IN THE PRICE, ANY AND ALL COSTS ASSOCIATED WITH PROVIDING A PROFESSIONAL ENGINEER ON SITE IF REQUIRED, DURING THE CONSTRUCTION OF THE STORMWATER MANAGEMENT FACILITIES, UNDERGROUND UTILITIES, ETC. AS REQUIRED FOR AS-BUILT CERTIFICATION.
33. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL REQUIRED/NECESSARY SHEETING, SHORING, AND SPECIAL EXCAVATION MEASURES REQUIRED ON THE PROJECT TO MEET OSHA, FEDERAL, STATE AND LOCAL REGULATIONS PURSUANT TO THE INSTALLATION OF THE WORK INDICATED ON THE DRAWINGS. NCDOT, TOWN OF ROLESVILLE, CITY OF RALEIGH, & ENGINEER OF RECORD ACCEPT NO RESPONSIBILITY FOR THE DESIGN TO INSTALL SAID ITEMS.
34. TESTING BY CONTRACTOR: CONTRACTOR SHALL EMPLOY AT HIS EXPENSE AN OUTSIDE INDEPENDENT SOIL TESTING SERVICE (APPROVED BY THE OWNER) TO PERFORM SOIL TESTING AND INSPECTION SERVICE FOR QUALITY CONTROL TESTING DURING EARTHWORK OPERATIONS. COPIES OF RESULTS OF TESTS SHALL BE SUBMITTED BY THE TESTING SERVICE DIRECTLY TO THE CONTRACTOR, THE OWNER, AND THE APPLICABLE APPROVING AGENCY. --THE TESTING SERVICE WILL CLASSIFY PROPOSED ON-SITE AND BORROW SOILS TO VERIFY THAT SOILS COMPLY WITH SPECIFIED REQUIREMENTS AND TO PERFORM REQUIRED FIELD AND LABORATORY TESTING. (MINIMUM REQUIRED SOIL BEARING CAPACITY IS NOTED ON THE STRUCTURAL DRAWINGS). --IN PAVED AND BUILDING SLAB AREAS, THE TESTING SERVICE SHALL MAKE AT LEAST ONE FIELD DENSITY TEST FOR EACH 2000 SQUARE FEET OF FILL IN EACH COMPACTED FILL LAYER. IF A TEST SHOULD FAIL TO MEET REQUIRED DENSITY, THE CONTRACTOR SHALL RE-COMPACT THAT LAYER. THE SOIL TESTING SERVICE SHALL PERFORM ADDITIONAL TESTS AT THE CONTRACTOR'S EXPENSE TO SHOW THAT THE FAILED LAYER HAS REACHED THE REQUIRED COMPACTION. --IN FOUNDATION WALL AREAS, THE TESTING SERVICE SHALL MAKE AT LEAST ONE FIELD DENSITY TEST FOR EACH 100 FEET OR LESS OF WALL LENGTH OF FILL IN EACH COMPACTED FILL LAYER, WITH NO LESS THAN TWO TESTS ALONG A WALL FACE. IF A TEST SHOULD FAIL TO MEET REQUIRED DENSITY, THE CONTRACTOR SHALL RE-COMPACT THAT LAYER. THE SOIL TESTING SERVICE SHALL PERFORM ADDITIONAL TESTS AT THE CONTRACTOR'S EXPENSE TO SHOW THAT THE FAILED LAYER HAS REACHED THE REQUIRED COMPACTION.
35. COMPACTION: COMPACT EACH LAYER OF BACKFILL AND FILL SOIL MATERIALS AND THE TOP 12" OF SUBGRADE IN CUT AREAS TO 98% OF MAXIMUM DENSITY IN ACCORDANCE WITH AASHTO T99 FOR STRUCTURES, SLABS, AND PAVEMENTS AND 95% OF MAXIMUM DENSITY FOR EMBANKMENTS OR UNPAVED AREAS. MAX LIFT THICKNESS FOR FILL AREAS IS 8 INCHES.
36. DESIGN/FIELD CONDITIONS QUITE EASILY MAY VARY FROM THAT REPRESENTED IN THE INITIAL SOILS REPORT AND/OR TOPOGRAPHICAL REPORT. ISOLATED AREAS MAY SHOW UP WEAK AND ADVERSE SOILS OR GROUNDWATER CONDITIONS MAY BE DISCOVERED THAT WERE NOT REVEALED DURING THE INITIAL SOILS INVESTIGATION. THEREFORE, THE OWNER/CLIENT IS TO BE AWARE THAT ENGINEER OF RECORD WILL NOT AND CANNOT BE HELD RESPONSIBLE FOR ANY FAILURES TO EITHER A STREET OR PARKING LOT PAVEMENT DESIGN UNLESS WE CAN BE FULLY AND TOTALLY INVOLVED IN THE CONSTRUCTION PROCESS WHICH MAY INCLUDE, BUT MAY NOT NECESSARILY BE LIMITED TO, TESTING SUBGRADE AND BASE DENSITY, ENGAGING THE GEOTECHNICAL ENGINEER FOR THE EVALUATION OF THE SUBGRADE AND FOR THE OBSERVATION OF PROOF ROLLING SUBGRADE AND BASE AT VARIOUS STEPS OF CONSTRUCTION, OPPORTUNITY FOR THE DESIGN ENGINEER TO CALL IN A GEOTECHNICAL ENGINEER FOR CONSULTATION AND ADVICE, ETC. - STEPS WHICH TAKEN ALTOGETHER WITH THE INITIAL DESIGN SHOWN ON THE PLANS, CONSTITUTE THE COMPLETE DESIGN OF THE ROAD, STREET OF PARKING AREA (PRIVATE OR PUBLIC), THE DESIGN ENGINEER MUST BE GIVEN THE FULL LATITUDE AND OPPORTUNITY TO COMPLETE THE DESIGN BY FULLY PARTICIPATING IN THE CONSTRUCTION PROCESS. PLAN DESIGN IS A SMALL PORTION OF THE DESIGN AND CANNOT BE SEPARATED FROM THE CONSTRUCTION PROCESS IF THE OWNER'S/CLIENT'S DESIRE IS TO HAVE THE DESIGN ENGINEER STAND BEHIND THE COMPLETED DESIGNED PROJECT.
37. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDING PADS.
38. THE SITE PREVIOUSLY CONTAINED RESIDENTIAL / FARM STRUCTURES CONTRACTOR RESPONSIBLE FOR REMOVAL OF ANY FOUNDATIONS AND SEPTIC SYSTEMS PER NCDNR REQUIREMENTS.

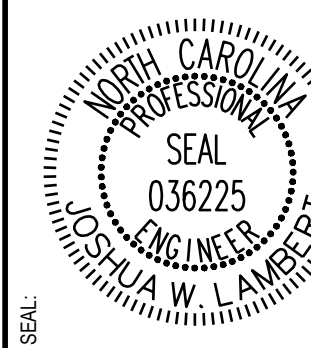

GENERAL ABBREVIATIONS:

IDENTIFIER	DESCRIPTION
&	AND
CL	CENTERLINE
Ø	DIAMETER OR ROUND
PL	PROPERTY LINE
ABC	AGGREGATE BASE ASPH ASPHALT
AVE	AVENUE
BLVD	BOULEVARD
BLDG	BUILDING
BOC	BACK OF CURB
BW	BOTTOM OF WALL
CB	CATCH BASIN
CI	CURB INLET
CIP	CAST IRON PIPE
CLS	CLASS
CJ	CONTROL JOINT
CO	CLEANOUT
CONC	CONCRETE
DI	DROP INLET
DIA	DIAMETER
DIP	DUCTILE IRON PIPE
DOM	DOMESTIC
DR	DRIVE
(XX)	EXISTING ELEVATION
E	EAST, EASTING
EL	ELEVATION
EJ	EXPANSION JOINT
EOP	EDGE OF PAVEMENT
EX	EXISTING
EVAP	EVAPORATIVE
FDC	FIRE DEPARTMENT CONNECTION
FES	FLARED END SECTION
FFE	FINISHED FLOOR ELEVATION
FG	FINISHED GRADE
FHA	FIRE HYDRANT ASSEMBLY
FL	FLOW LINE
FT	FOOT OR FEET
G	GAS
GALV	GALVANIZED
GB	GRADE BREAK
GE	GENERAL ELECTRIC
GR	GRADE
HDPE	HIGH DENSITY POLYETHYLENE
HORIZ	HORIZONTAL
HOV	HIGH OCCUPANCY VEHICLE
HP	HIGH POINT
IAW	IN ACCORDANCE WITH
I.H.	INTERSTATE HIGHWAY
INV	INVERT
LEN	LENGTH

GENERAL ABBREVIATIONS:

IDENTIFIER	DESCRIPTION
LEV	LOW EMISSION VEHICLE
LF	LINEAR FEET
LP	LOW POINT
MAX	MAXIMUM
MH	MANHOLE
MIN	MINIMUM
N	NORTH, NORTHING
NCDENR	NORTH CAROLINA DEPARTMENT OF ENVIRONMENT & NATURAL RESOURCES
NCDOT	NORTH CAROLINA DEPARTMENT OF TRANSPORTATION
NTS	NOT TO SCALE
OH	OVERHEAD
OCB	OFF-SET CATCH BASIN
PCC	PORTLAND CEMENT CONCRETE
PE	POLYETHYLENE
PKWY	PARKWAY
POC	POINT OF CONNECTION
PVC	POLYVINYL CHLORIDE
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
R.O.W	RIGHT OF WAY
RPDA	REDUCED PRESSURE DETECTOR ASSEMBLY
RPZ	REDUCED PRESSURE ZONE
S	SOUTH
SD	STORM DRAIN
SDMH	STORM DRAIN MANHOLE
SDE	SIGHT DISTANCE EASEMENT
SSMH	SANITARY SEWER MANHOLE
SS	SANITARY SEWER
STA	STATION
STD	STANDARD
ST.STL	STAINLESS STEEL
SWPPP	STORMWATER POLLUTION PREVENTION PLAN
TB	TOP OF BARRIER
TCTOC	TOP OF CURB
TD	TEMPORARY DIVERSION
TH	TEST HEADER
TOP	TOP OF PIPE
TP	TOP OF PAD
TYP	TYPICAL
TW	TOP OF WALL
UG	UNDERGROUND
VEG	VEGETATED
VERT	VERTICAL
W	WEST
W/	WITH
W/O	WITHOUT
YI	YARD INLET
CRZ	CRITICAL ROOT ZONE

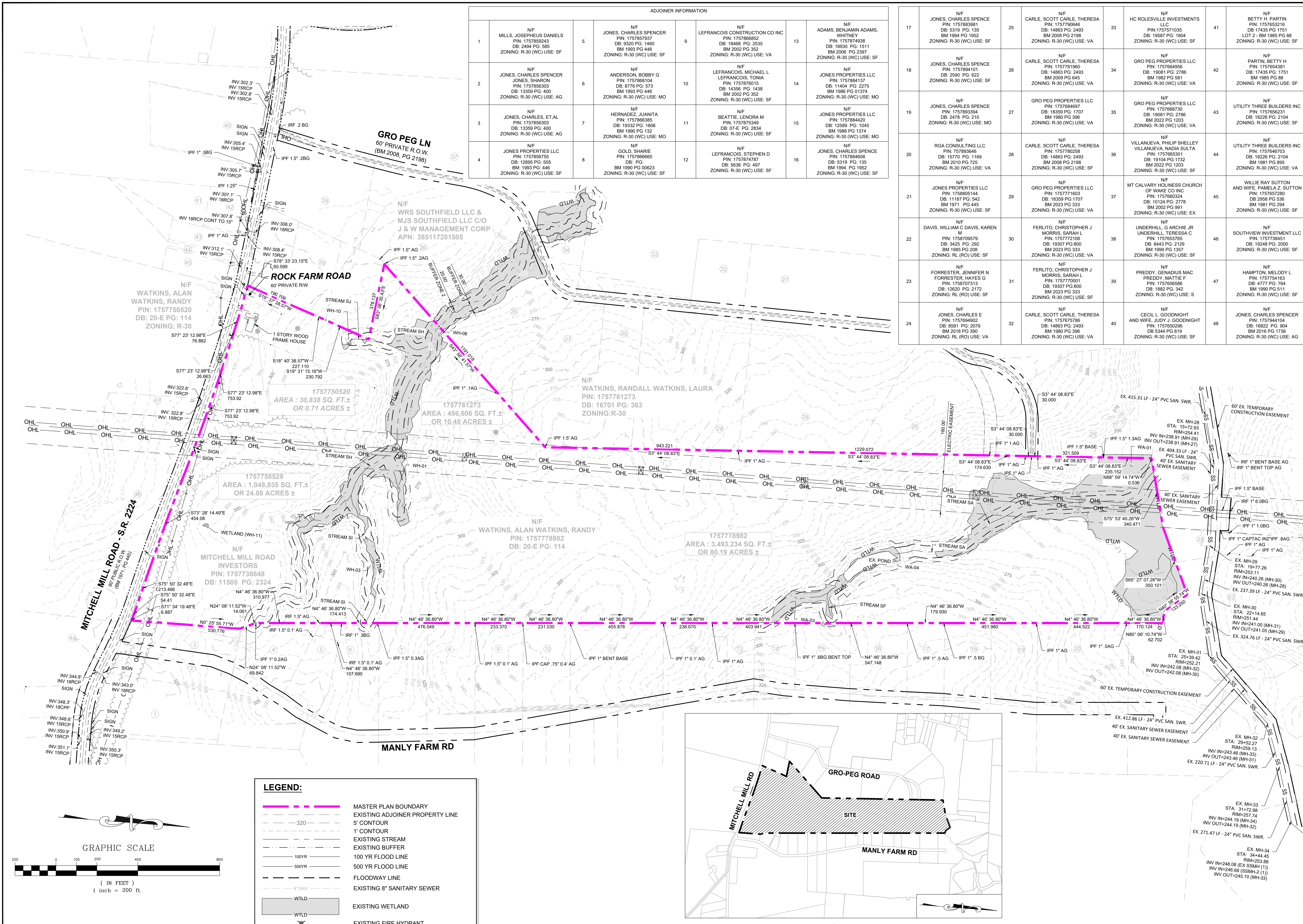
** ALL SYMBOLS & ABBREVIATIONS SHOWN ON THIS SHEET MAY OR MAY NOT BE USED IN THIS DRAWING PACKAGE **

TOWN OF ROLESVILLE V1-FSP-24-03 TOWN OF ROLESVILLE V2-FSP-24-03	06/30/2024 08/30/2024	0 1	1 2 3 4 5 6 7 8 9 10 11 12	REVISIONS NO	DATE BY
					
					
STRONGROCK ENGINEERING GROUP, PLLC COMPANY LICENSE # P-2166 305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 INFORMATION@STRONGROCKGROUP.COM					
STRONGROCK PROJECT NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL	

HILLS AT HARRIS CREEK
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
CIVIL NOTES

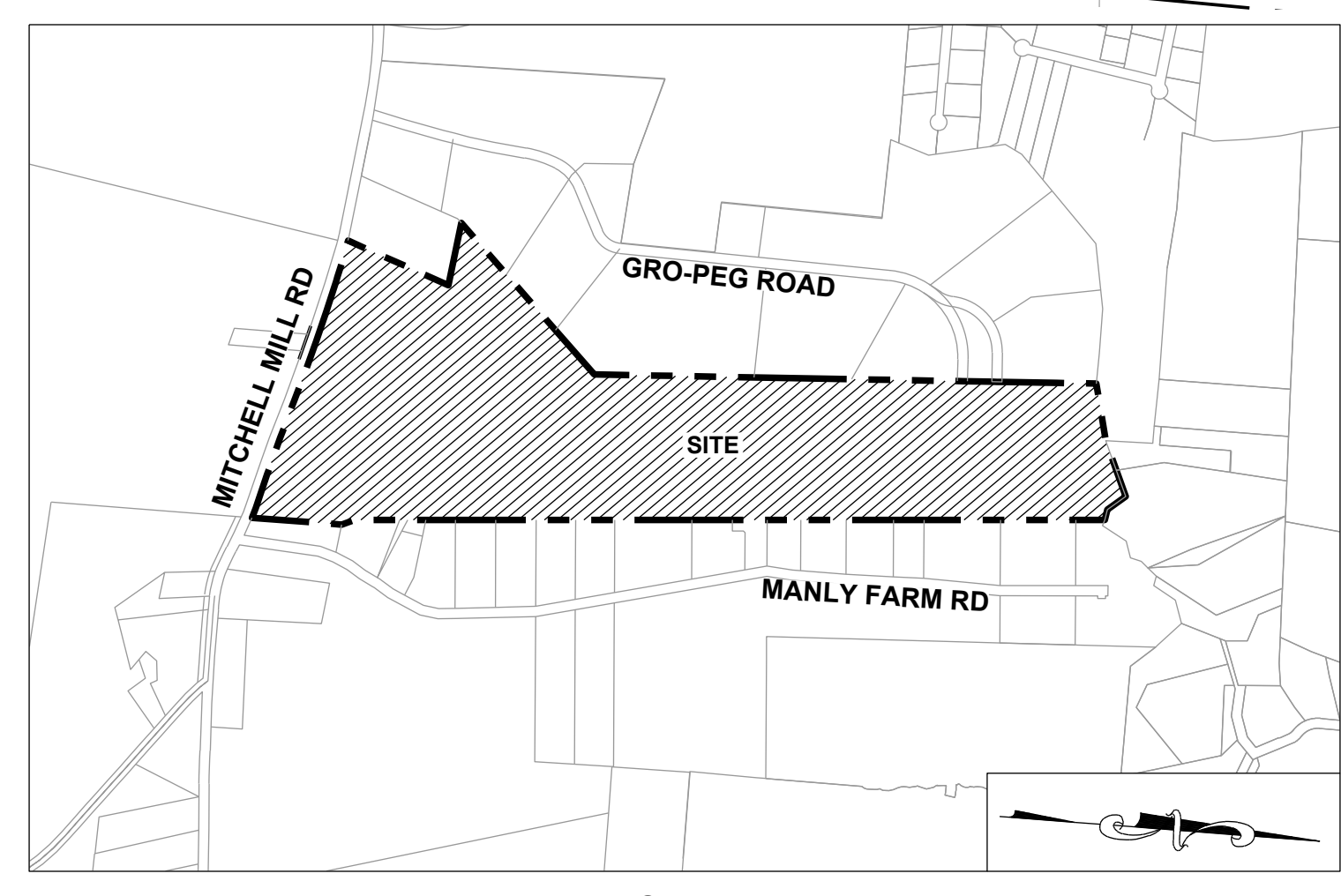
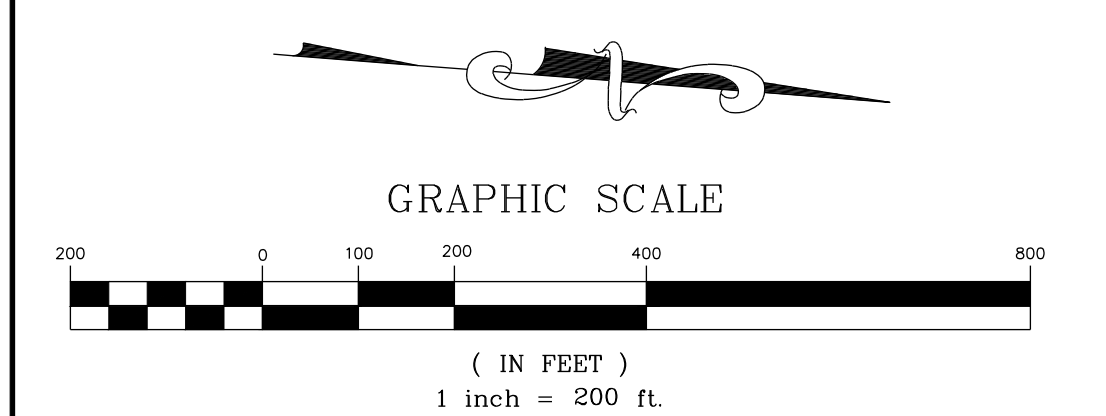
ADJOINER INFORMATION					
1	N/F MILLS, JOSEPHUS DANIELS PIN: 172785243 DB: 2494 PG: 585 ZONING: R-30 (WC) USE: SF	5	N/F JONES, CHARLES SPENCER PIN: 1757857937 DB: 6320 PG: 1460 BM 1993 PG 446 ZONING: R-30 (WC) USE: SF	9	N/F LEFRANCOIS CONSTRUCTION CO INC PIN: 1757866852 DB: 18468 PG: 2935 BM 2002 PG 352 ZONING: R-30 (WC) USE: VA
2	N/F JONES, CHARLES SPENCER PIN: 172785243 DB: 13359 PG: 400 ZONING: R-30 (WC) USE: AG	6	N/F ANDERSON, BOBBY G PIN: 1757868104 DB: 6776 PG: 573 BM 1993 PG 446 ZONING: R-30 (WC) USE: MO	10	N/F LEFRANCOIS, MICHAEL L PIN: 1757876015 DB: 14358 PG: 1458 BM 2002 PG 352 ZONING: R-30 (WC) USE: SF
3	N/F JONES, CHARLES, ET AL PIN: 1757856303 DB: 13359 PG: 400 ZONING: R-30 (WC) USE: AG	7	N/F HERNANDEZ, JUANITA PIN: 1757866385 DB: 19332 PG: 1806 BM 1990 PG 132 ZONING: R-30 (WC) USE: MO	11	N/F BEATTIE, LENORA M PIN: 1757875349 DB: 07-E PG: 2834 ZONING: R-30 (WC) USE: SF
4	N/F JONES PROPERTIES LLC PIN: 1757856755 DB: 12895 PG: 505 BM: 1993 PG: 446 ZONING: R-30 (WC) USE: SF	8	N/F GOLD, SHARIE PIN: 1757866690 DB: PG: BM 1990 PG 00623 ZONING: R-30 (WC) USE: SF	12	N/F LEFRANCOIS, STEPHEN D PIN: 1757874787 DB: 5638 PG: 487 ZONING: R-30 (WC) USE: SF
				13	N/F ADAMS, BENJAMIN ADAMS, WHITNEY PIN: 1757874938 DB: 18930 PG: 1511 BM 2006 PG 2397 ZONING: R-30 (WC) USE: SF
				14	N/F JONES PROPERTIES LLC PIN: 1757864137 DB: 11404 PG: 2275 BM 1986 PG 01374 ZONING: R-30 (WC) USE: MO
				15	N/F JONES PROPERTIES LLC PIN: 1757864420 DB: 12589 PG: 1045 BM 1986 PG 1374 ZONING: R-30 (WC) USE: MO
				16	N/F JONES, CHARLES SPENCER PIN: 1757864608 DB: 5319 PG: 135 BM 1994 PG 1952 ZONING: R-30 (WC) USE: SF

17	N/F JONES, CHARLES SPENCER PIN: 1757863881 DB: 5319 PG: 135 BM 1994 PG 1952 ZONING: R-30 (WC) USE: SF	25	N/F CARLE, SCOTT CARLE, THERESA PIN: 175790646 DB: 14863 PG: 2493 BM 2008 PG 2198 ZONING: R-30 (WC) USE: VA	33	N/F HC ROLESVILLE INVESTMENTS LLC PIN: 1757571035 DB: 19587 PG: 1804 ZONING: R-30 (WC) USE: SF	41	N/F BETTY H FARTIN LLC DB: 17435 PG 1751 LOT 2 - BM 1985 PG 88 ZONING: R-30 (WC) USE: SF
18	N/F JONES, CHARLES SPENCER PIN: 1757864101 DB: 2590 PG: 622 ZONING: R-30 (WC) USE: SF	26	N/F CARLE, SCOTT CARLE, THERESA PIN: 1757894101 DB: 14863 PG: 2493 BM 2009 PG 645 ZONING: R-30 (WC) USE: VA	34	N/F GRO PEG PROPERTIES LLC PIN: 1757864956 DB: 19081 PG: 2786 BM 1982 PG 581 ZONING: R-30 (WC) USE: VA	42	N/F FARTIN, BETTY H PIN: 1757654381 DB: 17435 PG: 1751 BM 1985 PG 88 ZONING: R-30 (WC) USE: SF
19	N/F JONES, CHARLES SPENCER PIN: 1757864101 DB: 2590 PG: 622 ZONING: R-30 (WC) USE: SF	27	N/F GRO PEG PROPERTIES LLC PIN: 1757864997 DB: 18359 PG: 1707 BM 1980 PG 396 ZONING: R-30 (WC) USE: VA	35	N/F GRO PEG PROPERTIES LLC PIN: 1757668730 DB: 19081 PG: 2786 BM 2022 PG 1203 ZONING: R-30 (WC) USE: VA	43	N/F UTILITY THREE BUILDERS INC PIN: 1757658231 DB: 18226 PG: 2104 ZONING: R-30 (WC) USE: SF
20	N/F RGA CONSULTING LLC PIN: 1757893646 DB: 15720 PG: 1169 BM 2010 PG 2198 ZONING: R-30 (WC) USE: VA	28	N/F CARLE, SCOTT CARLE, THERESA PIN: 175780258 DB: 14863 PG: 2493 BM 2008 PG 2198 ZONING: R-30 (WC) USE: SF	36	N/F VILLANUEVA, PHILIP SHELLEY VILLANUEVA, NADIA SULTA PIN: 1757665301 DB: 19104 PG: 1732 BM 2022 PG 1203 ZONING: R-30 (WC) USE: SF	44	N/F UTILITY THREE BUILDERS INC PIN: 1757648703 DB: 18226 PG: 2104 BM 1981 PG 895 ZONING: R-30 (WC) USE: VA
21	N/F JONES PROPERTIES LLC PIN: 1757805144 DB: 11187 PG: 542 ZONING: R-30 (WC) USE: SF	29	N/F GRO PEG PROPERTIES LLC PIN: 175771603 DB: 18359 PG: 1707 BM 2023 PG 333 ZONING: R-30 (WC) USE: VA	37	N/F MT CALVARY HOLINESS CHURCH OF WAKE CO INC PIN: 1757690324 DB: 10124 PG: 2778 BM 2002 PG 991 ZONING: R-30 (WC) USE: EX	45	N/F WILLIE RAY SUTTON AND WIFE, PAMELA Z SUTTON PIN: 1757652820 DB: 2958 PG: 536 BM 1981 PG 284 ZONING: R-30 (WC) USE: SF
22	N/F DAVIS, WILLIAM C DAVIS, KAREN PIN: 1758709579 DB: 3425 PG: 292 BM 1983 PG 333 ZONING: RL (RO) USE: SF	30	N/F FERLITO, CHRISTOPHER J MORRIS, SARAH L PIN: 175772106 DB: 19307 PG: 800 BM 2023 PG 333 ZONING: RL (RO) USE: VA	38	N/F UNDERHILL, G ARCHIE JR TERESSA C PIN: 1757653765 DB: 8443 PG: 2129 BM 1989 PG 1357 ZONING: R-30 (WC) USE: SF	46	N/F SOUTHVIEW INVESTMENT LLC PIN: 1757738451 DB: 19248 PG: 2000 ZONING: R-30 (WC) USE: SF
23	N/F FORRESTER, JENNIFER N FORRESTER, HAYES G PIN: 1758707313 DB: 1820 PG: 2172 ZONING: RL (RO) USE: SF	31	N/F FERLITO, CHRISTOPHER J MORRIS, SARAH L PIN: 175770301 DB: 19307 PG: 800 BM 2023 PG 333 ZONING: RL (RO) USE: SF	39	N/F PREDDY, GENADIUS MAC PREDDY, MATTIE F PIN: 1757656586 DB: 1882 PG: 342 ZONING: R-30 (WC) USE: S	47	N/F HAMPTON, MELODY L PIN: 1757541663 DB: 4777 PG: 764 BM 1990 PG 511 ZONING: R-30 (WC) USE: SF
24	N/F JONES, CHARLES E PIN: 1757649002 DB: 6581 PG: 2079 BM 2016 PG 390 ZONING: RL (RO) USE: VA	32	N/F CARLE, SCOTT CARLE, THERESA PIN: 1757675786 DB: 14863 PG: 2493 BM 1980 PG 396 ZONING: R-30 (WC) USE: VA	40	N/F CECIL L GOODNIGHT AND WIFE, JUDY J GOODNIGHT PIN: 1757652296 DB: 5344 PG 819 ZONING: R-30 (WC) USE: SF	48	N/F JONES, CHARLES SPENCER PIN: 1757944104 DB: 16822 PG: 904 BM 2016 PG 1736 ZONING: R-30 (WC) USE: AG



LEGEND:

- MASTER PLAN BOUNDARY
- EXISTING ADJOINER PROPERTY LINE
- 5' CONTOUR
- 1' CONTOUR
- EXISTING STREAM
- EXISTING BUFFER
- EXISTING FLOOD LINE
- 100 YR FLOOD LINE
- 500 YR FLOOD LINE
- FLOODWAY LINE
- EXISTING 8" SANITARY SEWER
- EXISTING WETLAND
- EXISTING FIRE HYDRANT



08/30/2024
08/30/2024

TOWN OF ROLESVILLE V-FSP-24-03
TOWN OF ROLESVILLE V-FSP-24-03

NO. REVISIONS DATE

SEAL: NORTH CAROLINA PROFESSIONAL ENGINEER 036225 JUSTIN W. LAMBERT

STRONGROCK
ENGINEERING GROUP

STRONG ROCK ENGINEERING GROUP, PLLC COMPANY LICENSE # P-2166
305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT
NOT FOR CONSTRUCTION
SCALE AS SHOWN
DESIGNED BY JWL
DRAWN BY SRG
CHECKED BY JWL

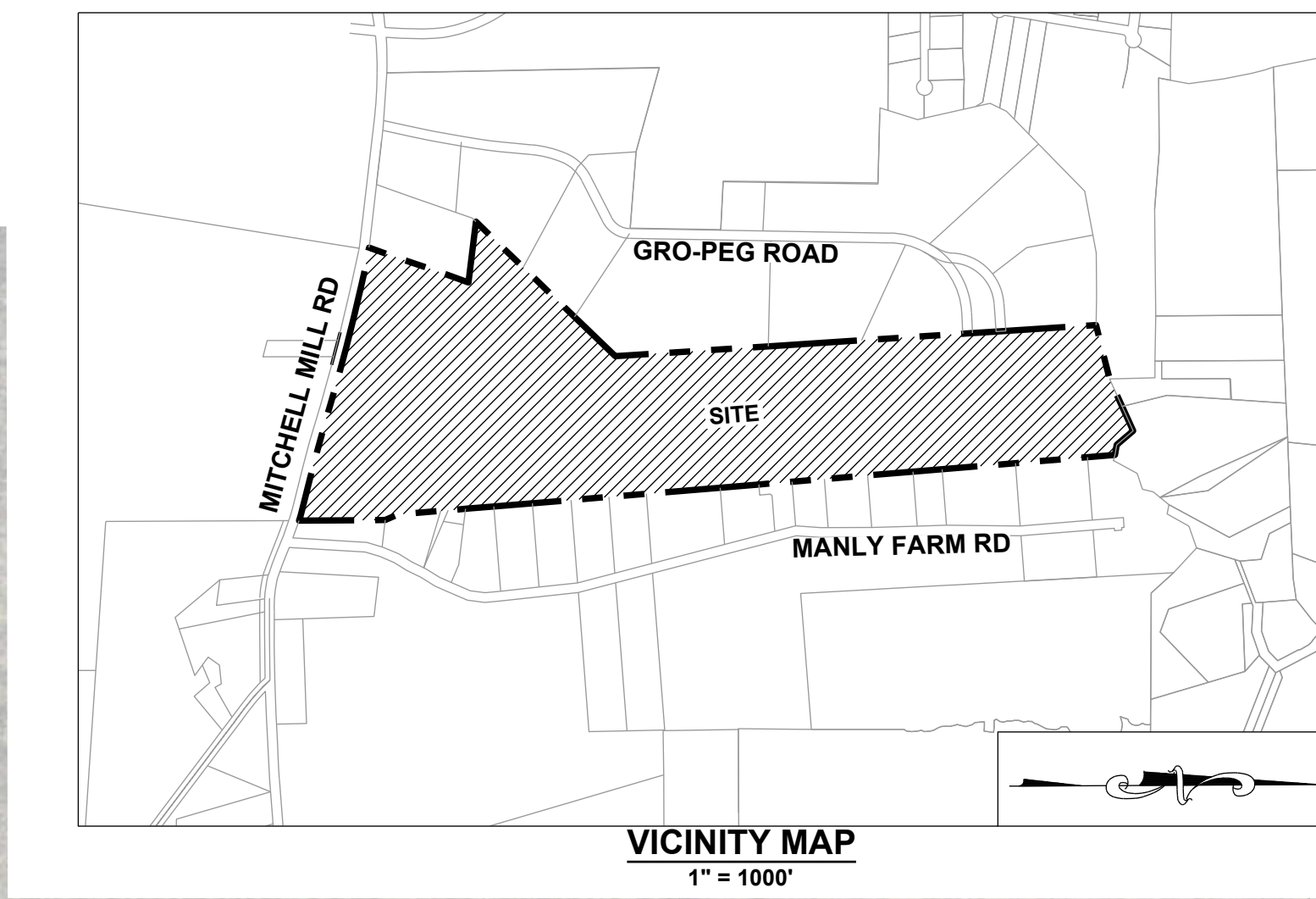
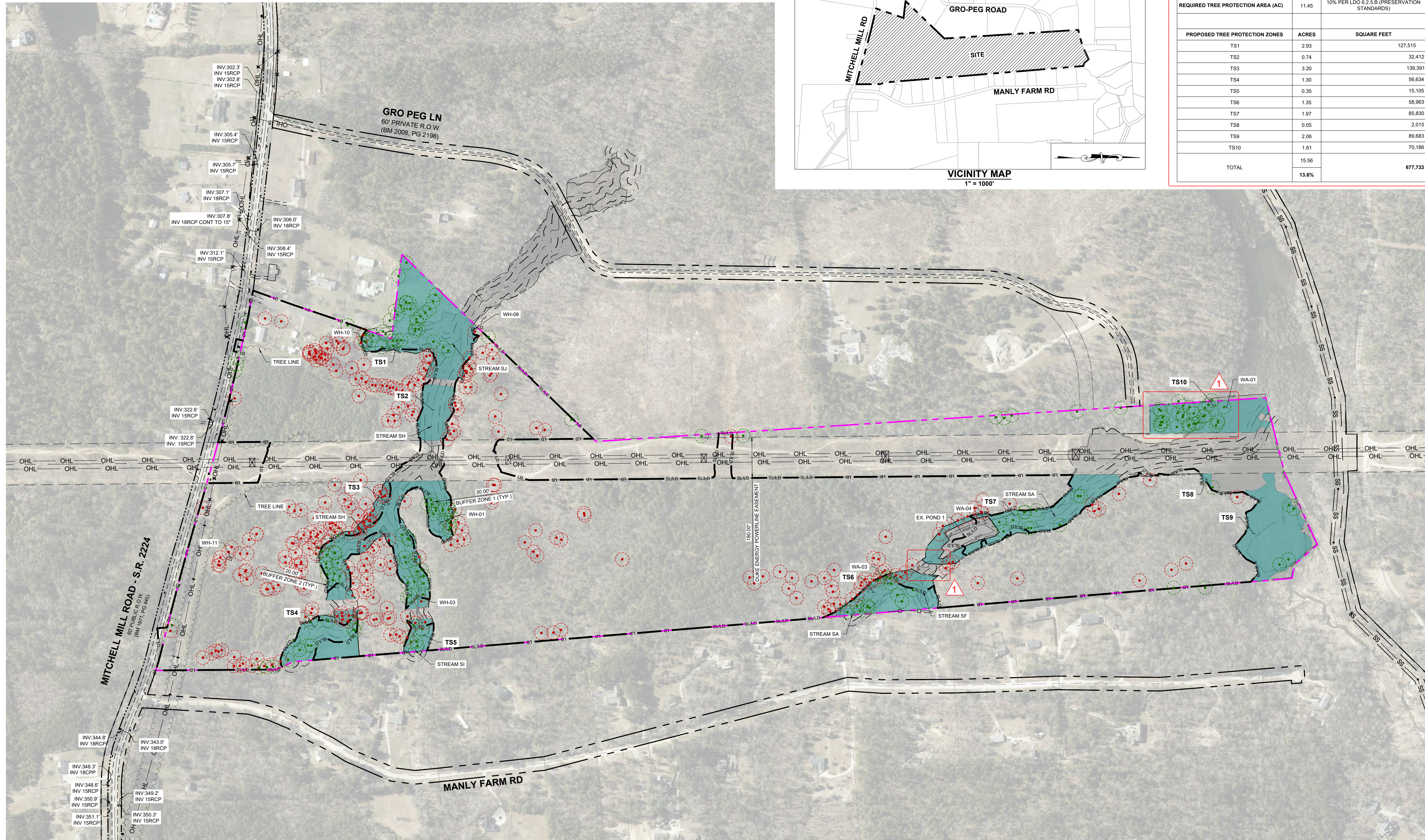
HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

EXISTING CONDITIONS PLAN

DRAWING SHEET
C-3.0

07 OF 57

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VEGETATION PRESERVATION CALCULATIONS		
PROJECT: SECTION 1		
ZONING:	RM - CZ	
TOTAL SITE AREA:	114.47	
REQUIRED TREE PROTECTION AREA (AC)	11.45	10% PER LDO 6.2.5.B (PRESERVATION STANDARDS)
PROPOSED TREE PROTECTION ZONES	ACRES	SQUARE FEET
TS1	2.93	127,515
TS2	0.74	32,412
TS3	3.20	139,391
TS4	1.30	56,634
TS5	0.35	15,105
TS6	1.35	58,963
TS7	1.97	85,830
TS8	0.05	2,015
TS9	2.06	89,683
TS10	1.61	70,186
TOTAL	15.56	677,733
	13.6%	

NO.	REVISIONS	DATE	BY
0			
1			

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DESIGNED BY	DRAWN BY	CHECKED BY			

HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

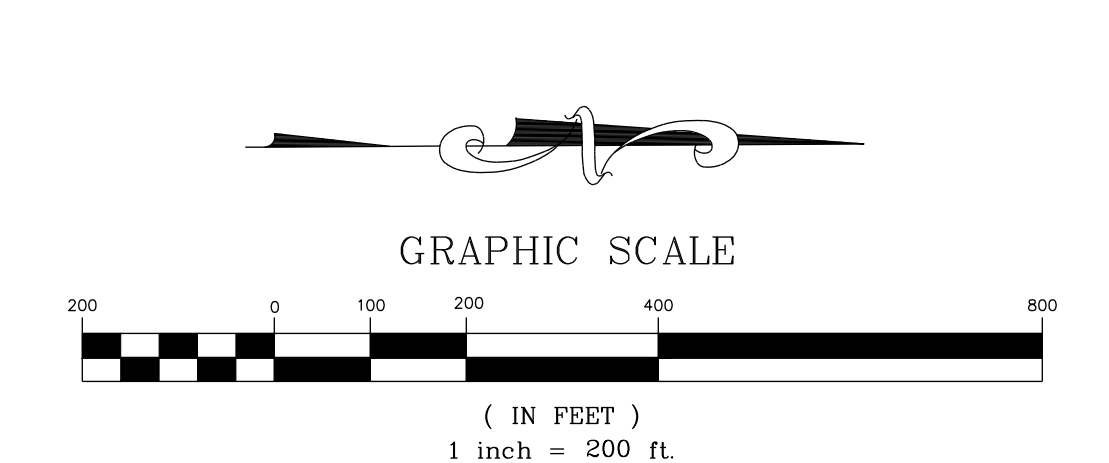
TREE PROTECTION PLAN

DRAWING SHEET
C-3.1

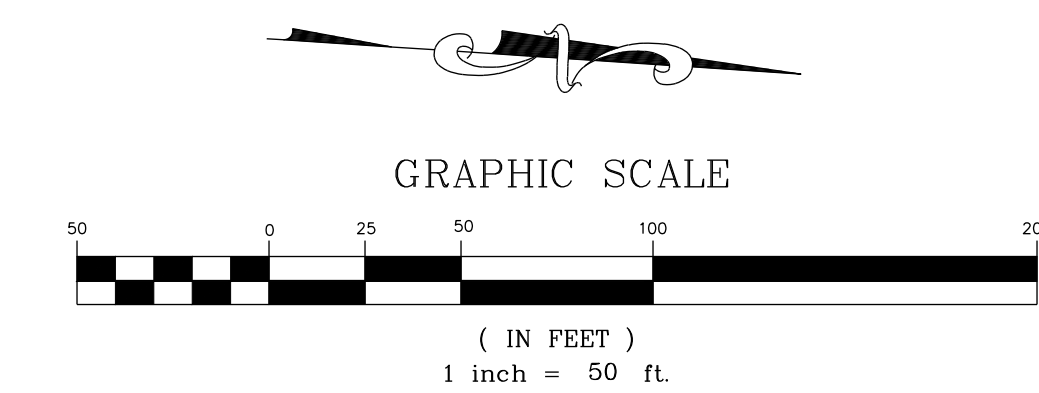
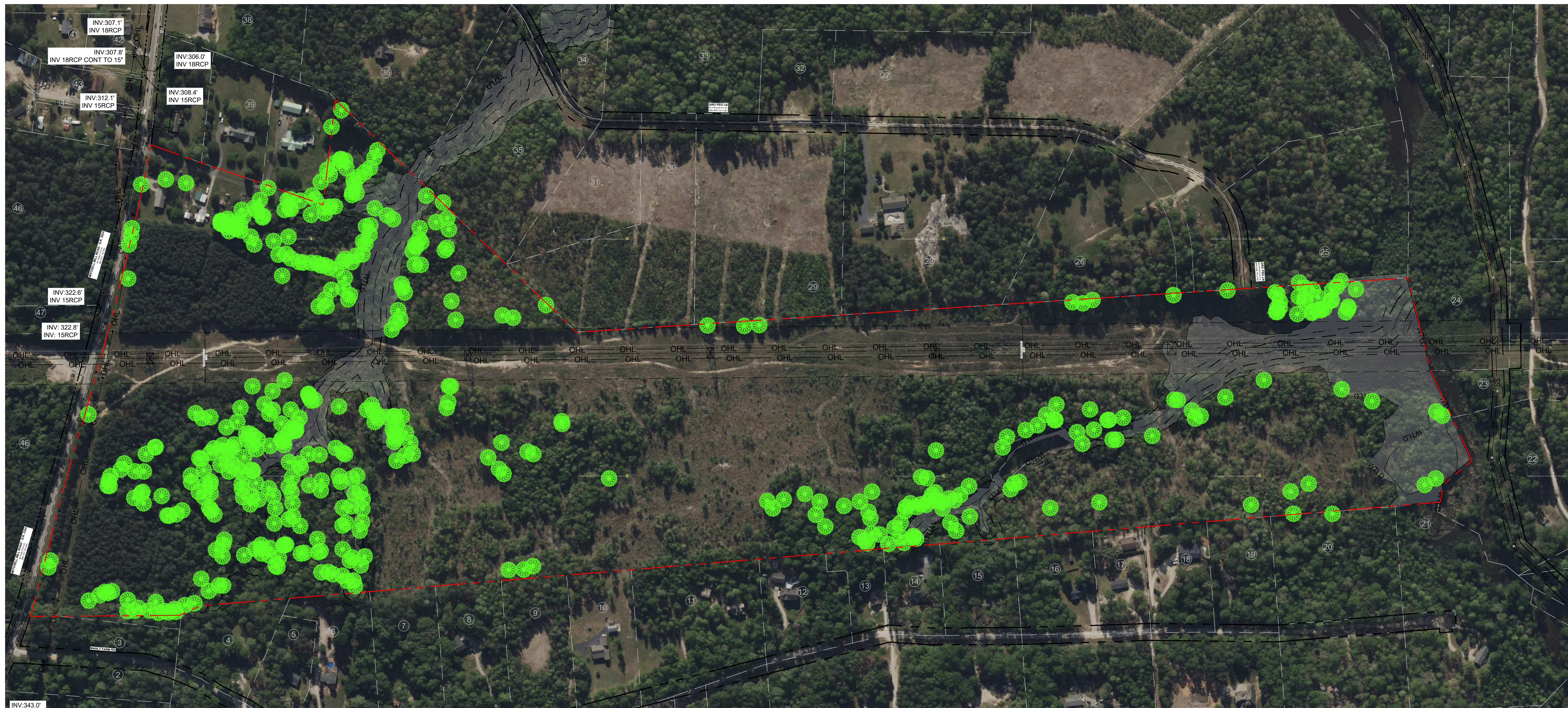
08 OF 57

NOTES:
SEE SHEET C-3.0 FOR ADJACENT PROPERTY DETAILS

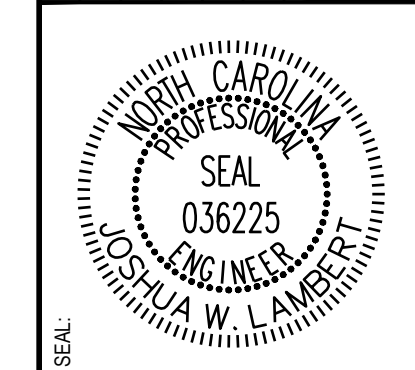
LEGEND:			
	PROPERTY LINE		TREES TO BE PRESERVED
	EXISTING ADJOINER PROPERTY LINE		TREES TO BE REMOVED
	EXISTING STREAM		CRZ FOR TREES TO BE PRESERVED
	EXISTING BUFFER		CRZ FOR TREES TO BE REMOVED
	FLOODWAY LINE		LIMIT OF DISTURBANCE
	EXISTING 8" SANITARY SEWER		SILT FENCE/LIMIT OF DISTURBANCE
	TREE PROTECTION FENCE		
	EXISTING FIRE HYDRANT		
	EXISTING WETLAND		
	TREE PROTECTION AREA - NC ZONE		



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No.	REVISIONS	DATE	BY
0			
1			



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---------------------	----------------------	----------------	-----------------	--------------	----------------

HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

OVERALL TREE INVENTORY MAP

DRAWING SHEET
C-3.2

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SITE KEY PLAN

LEGEND:

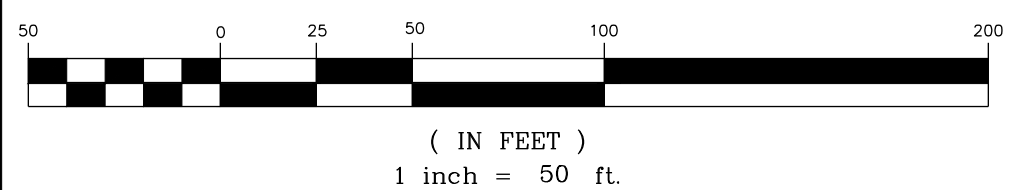
SEE SHEET C-3.11 FOR TREE LEGEND TABLES

NOTES:

SEE SHEET C-3.0 FOR ADJACENT PROPERTY DETAILS



GRAPHIC SCALE



FOR CONTINUATION, SEE C-3.5

NO.	REVISIONS	DATE	BY
0			
1			



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HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

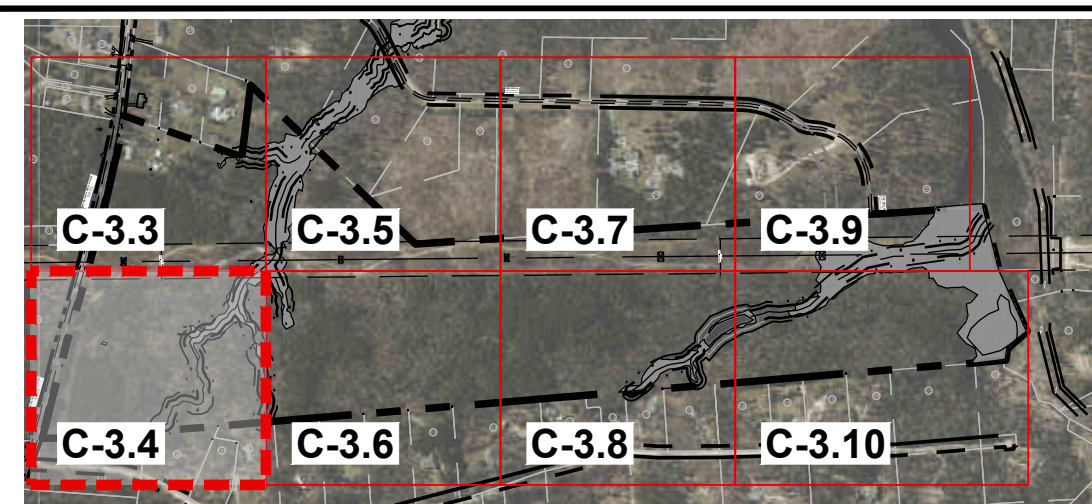
PARTIAL TREE INVENTORY MAP I

DRAWING SHEET
C-3.3

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FOR CONTINUATION, SEE C-3.3

MATCH LINE



SITE KEY PLAN

LEGEND:

SEE SHEET C-3.4 FOR TREE LEGEND TABLES

NOTES:

SEE SHEET C-3.0 FOR ADJACENT PROPERTY DETAILS



GRAPHIC SCALE



(IN FEET)
1 inch = 50 ft.

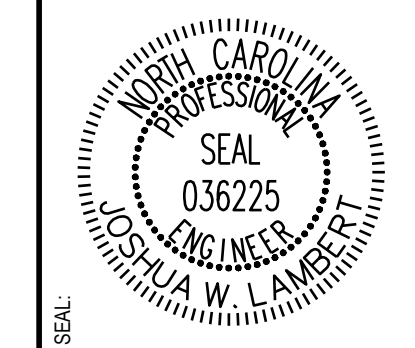


MITCHELL MILL ROAD - S.R. 2224
 80' PUBLIC R.O.W.
 (BM 1971, PG 445)

MANLY FARM RD

FOR CONTINUATION, SEE C-3.8
MATCH LINE

NO.	REVISIONS	DATE	BY
0			
1			



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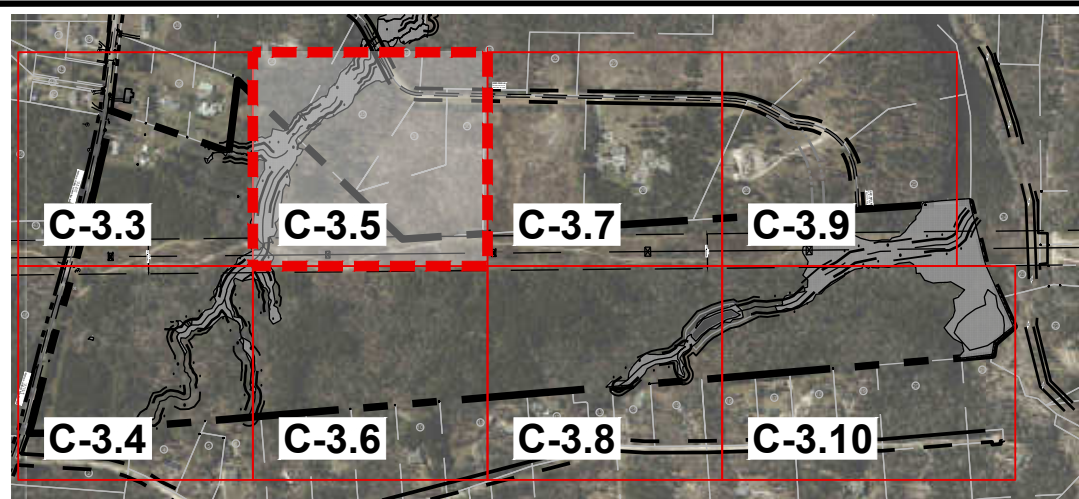
STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL
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HILLS AT HARRIS CREEK
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

PARTIAL TREE INVENTORY MAP II

DRAWING SHEET
C-3.4

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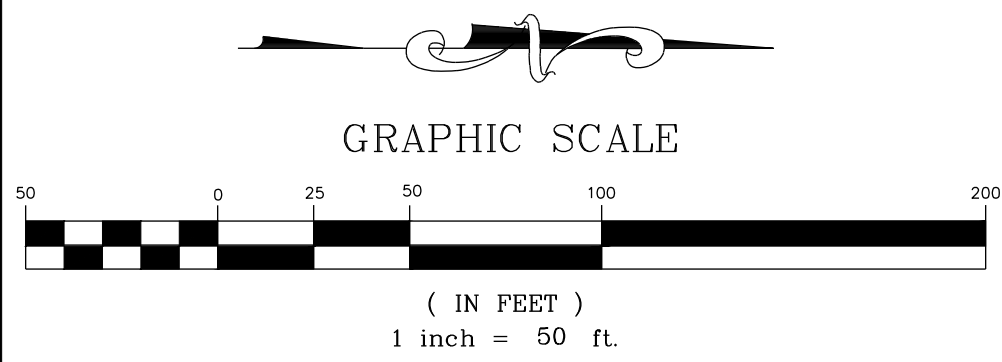
SITE KEY PLAN

LEGEND:

SEE SHEET C-3.11 FOR TREE LEGEND TABLES

NOTES:

SEE SHEET C-3.0 FOR ADJACENT PROPERTY DETAILS



FOR CONTINUATION, SEE C-3.3

MATCH LINE



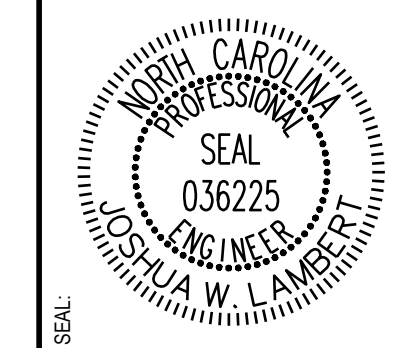
FOR CONTINUATION, SEE C-3.7

MATCH LINE

MATCH LINE

FOR CONTINUATION, SEE C-3.6

0	TOWN OF ROLESVILLE V1-FSP-24-03	05/30/2024	ISREG
1	TOWN OF ROLESVILLE V2-FSP-24-03	08/30/2024	ISREG



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HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

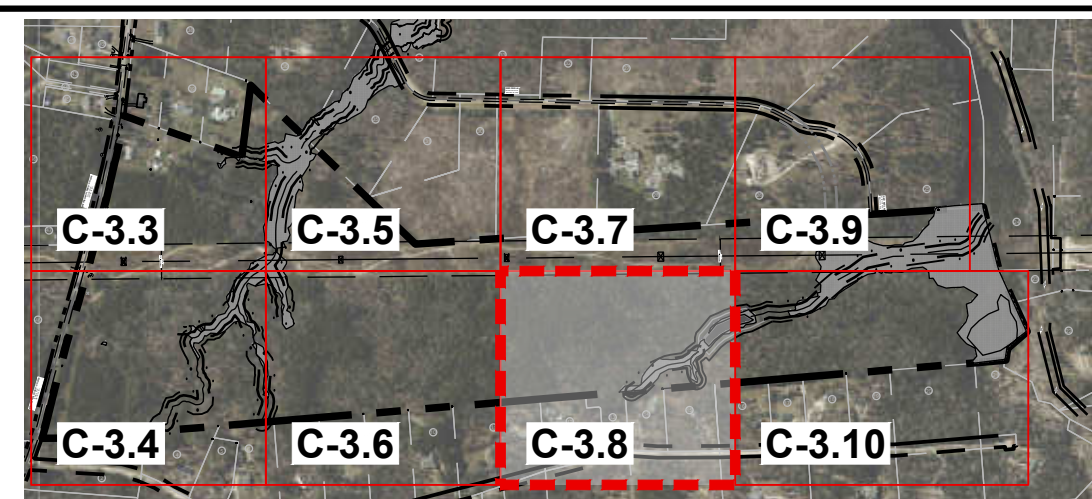
PARTIAL TREE INVENTORY MAP III

DRAWING SHEET
C-3.5

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FOR CONTINUATION, SEE C-3.7

MATCH LINE



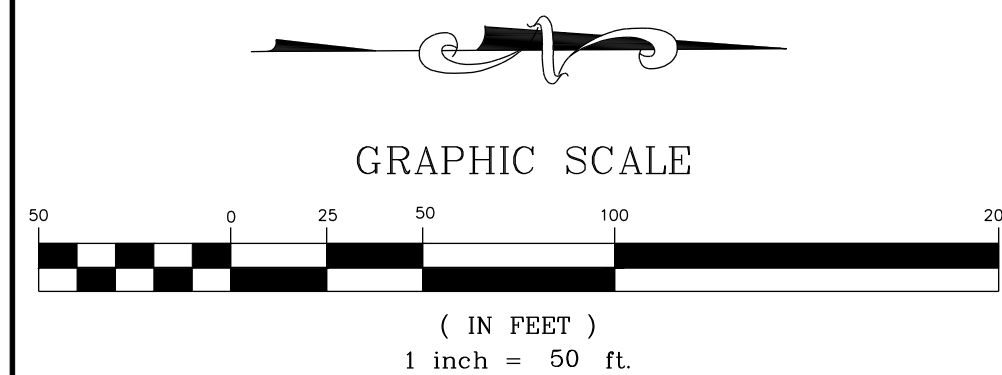
SITE KEY PLAN

LEGEND:

SEE SHEET C-3.11 FOR TREE LEGEND TABLES

NOTES:

SEE SHEET C-3.0 FOR ADJACENT PROPERTY DETAILS



FOR CONTINUATION, SEE C-3.8

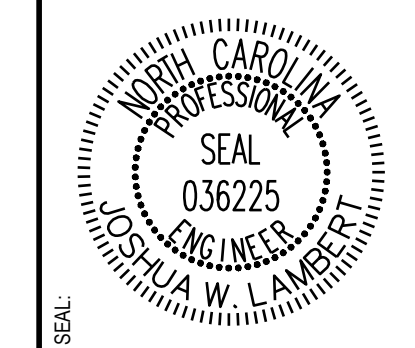
MATCH LINE



FOR CONTINUATION, SEE C-3.10

MATCH LINE

NO.	REVISIONS	DATE	BY
0			
1			



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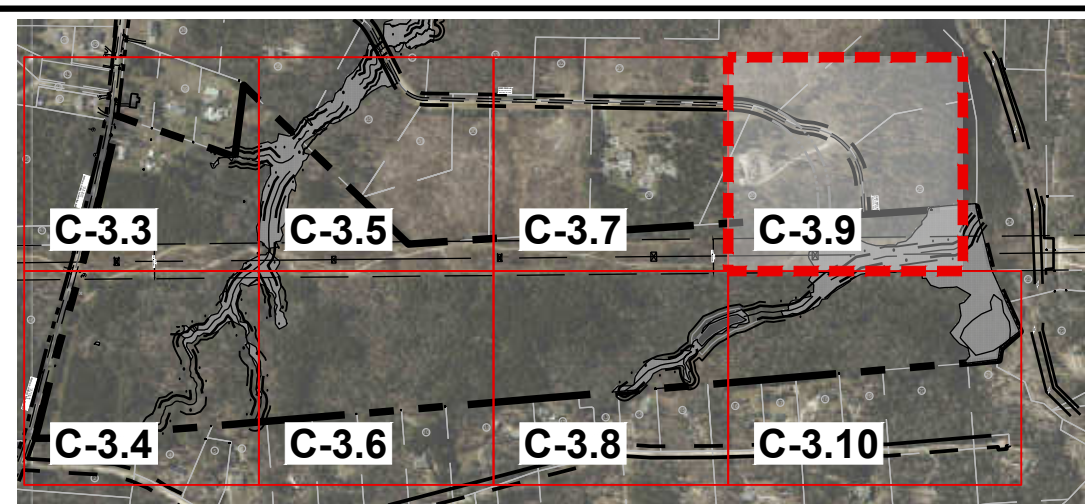
STRONGROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL
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HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

PARTIAL TREE INVENTORY MAP VI

DRAWING SHEET
C-3.8

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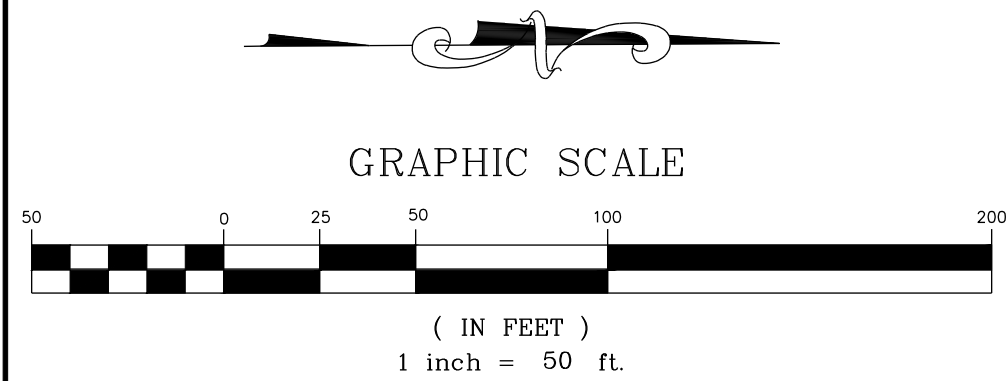
SITE KEY PLAN

LEGEND:

SEE SHEET C-3.11 FOR TREE LEGEND TABLES

NOTES:

SEE SHEET C-3.0 FOR ADJACENT PROPERTY DETAILS



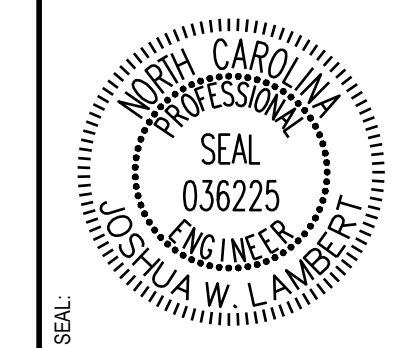
FOR CONTINUATION, SEE C-3.7
MATCH LINE

GRO PEG LN
60 PRIVATE R.O.W.
(BM 2000, PG 2198)

MATCH LINE

FOR CONTINUATION, SEE C-3.10

No.	REVISIONS	DATE	BY
0		05/30/2024	ISREG
1		08/30/2024	ISREG



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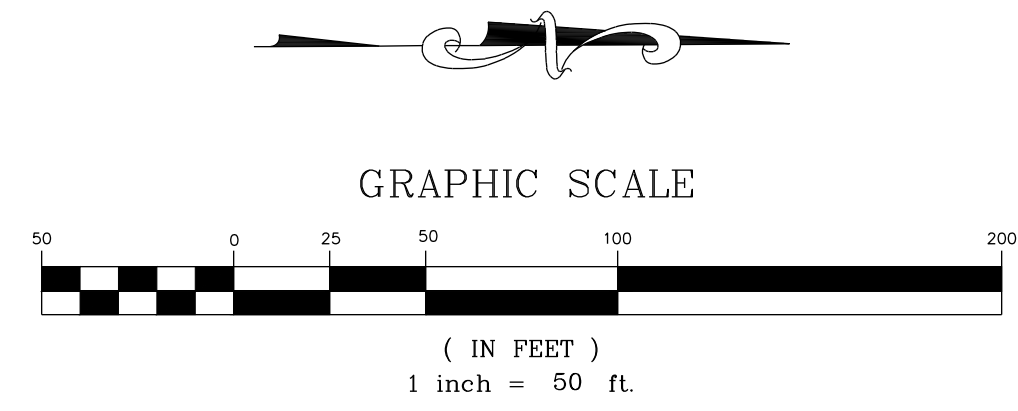
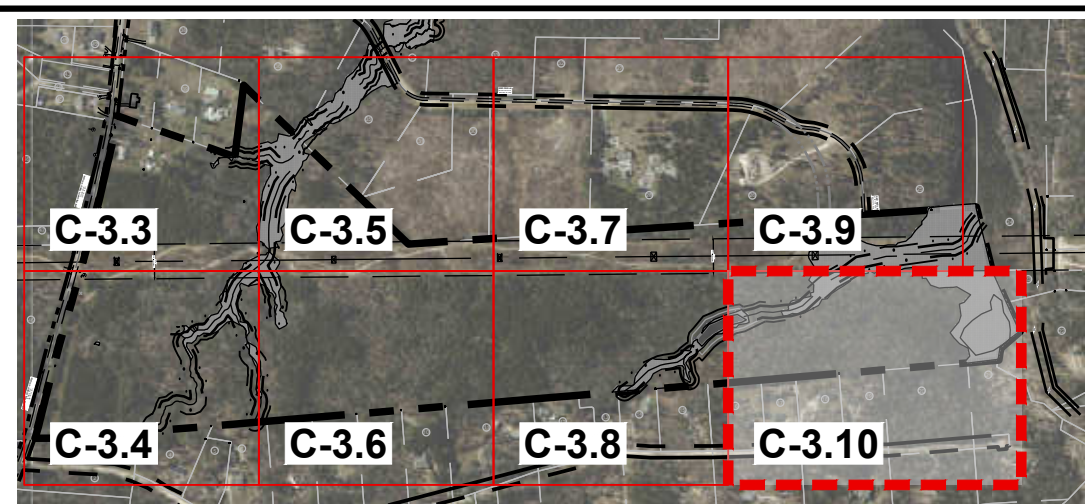
STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL
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HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

PARTIAL TREE INVENTORY MAP VII

DRAWING SHEET
C-3.9

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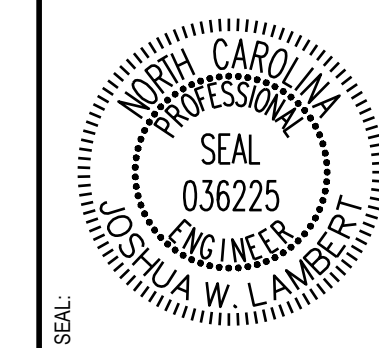
SITE KEY PLAN

LEGEND:

SEE SHEET C-3.11 FOR TREE LEGEND TABLES



NO.	REVISIONS	DATE	BY
0			
1			



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HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
PARTIAL TREE INVENTORY MAP VIII

DRAWING SHEET
C-3.10

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Tree Code	Botanical Name	Dbh 1	Condition Class
1	QUNI	20	Fair
2	PITA	25	Fair
3	CEOC	26	Fair
4	ULAL	23	Fair
5	PIST	25	Fair
6	CAIL	28	Fair
7	CAIL	22	Fair
8	PITA	21	Fair
9	PITA	20	Fair
10	PITA	24	Fair
11	PITA	26	Fair
12	PITA	24	Fair
13	PITA	23	Fair
14	PITA	21	Fair
15	LITU	18	Fair
16	PITA	26	Fair
17	PITA	24	Fair
18	PITA	21	Fair
19	PITA	25	Fair
20	PITA	20	Fair
21	PITA	21	Fair
22	LITU	21	Fair
23	PITA	33	Poor
24	PITA	26	Fair
25	PITA	24	Fair
26	PLOC	29	Fair
27	PLOC	27	Fair
28	ULAM	18	Poor
29	PITA	24	Fair
30	LITU	25	Fair
31	LITU	21	Fair
32	LITU	20	Fair
33	LITU	25	Fair
34	LITU	21	Fair
35	LITU	19	Fair
36	ULAM	18	Fair
37	LITU	24	Fair
38	LITU	28	Poor
39	CEOC	21	Fair
40	LIST	17	Fair
41	PITA	24	Fair
42	QUAL	21	Fair
43	PITA	24	Fair
44	PITA	25	Fair
45	CATO	21	Fair
46	LITU	25	Fair
47	PITA	20	Fair
48	PITA	26	Fair
49	LITU	24	Fair
50	LITU	19	Fair
51	PITA	25	Fair
52	LITU	26	Fair
53	LITU	22	Fair
54	LITU	24	Fair
55	LITU	26	Fair
56	LITU	25	Fair
57	LITU	26	Fair
58	LITU	27	Fair
59	LITU	20	Fair
60	LITU	27	Fair
61	LIST	24	Fair
62	QUFA	18	Fair
63	PITA	21	Fair
64	PITA	40	Fair
65	LITU	24	Fair
66	LITU	18	Fair
67	LITU	22	Fair
68	ACRU	22	Poor
69	LITU	21	Fair
70	LITU	28	Fair
71	LITU	21	Fair
72	PITA	24	Fair
73	PITA	20	Fair
74	PITA	22	Fair
75	LITU	26	Fair
76	QUFA	26	Fair
77	QUAL	25	Fair
78	QUFA	28	Fair
79	QUAL	20	Fair
80	QUAL	30	Fair
81	QURU	19	Fair

Tree Code	Botanical Name	Dbh 1	Condition Class
82	QUAL	24	Fair
83	QURU	20	Fair
84	LITU	26	Fair
85	QURU	19	Fair
86	QUAL	32	Fair
87	QUAL	18	Fair
88	QUAL	24	Fair
89	QUAL	33	Fair
90	QUAL	22	Fair
91	QUAL	24	Fair
92	PITA	24	Fair
93	PITA	25	Fair
94	PITA	25	Fair
95	PITA	31	Fair
96	PITA	25	Fair
97	PITA	24	Fair
98	LIST	19	Fair
99	ULAL	18	Fair
100	LITU	21	Fair
101	PITA	24	Fair
102	PITA	21	Fair
103	LITU	31	Fair
104	PITA	24	Fair
105	ACRU	23	Fair
106	NYSY	18	Fair
107	PITA	24	Fair
108	PITA	23	Fair
109	LITU	24	Fair
110	LIST	19	Fair
111	PITA	25	Fair
112	PITA	20	Fair
113	PITA	21	Fair
114	PITA	26	Fair
115	QUAL	48	Fair
116	ACRU	18	Fair
117	QUAL	26	Fair
118	QUAL	25	Fair
119	LITU	19	Fair
120	PITA	21	Fair
121	PITA	20	Fair
122	QUAL	20	Fair
123	QUAL	27	Fair
124	ACRU	20	Fair
125	CATO	25	Fair
126	ACRU	25	Fair
127	QUAL	20	Fair
128	PITA	25	Fair
129	LIST	20	Fair
130	PITA	24	Fair
131	QUAL	21	Fair
132	CATO	18	Fair
133	QUAL	25	Fair
134	OXAR	18	Fair
135	ACRU	18	Fair
136	QUAL	20	Fair
137	QUAL	25	Fair
138	QURU	20	Fair
139	QUAL	18	Fair
140	QURU	18	Fair
141	QURU	20	Fair
142	LITU	20	Fair
143	QURU	20	Fair
144	LITU	24	Fair
145	QURU	19	Fair
146	FRAM	24	Fair
147	QUAL	19	Fair
148	LITU	24	Fair
149	PITA	20	Fair
150	PITA	20	Fair
151	PITA	21	Fair
152	PITA	21	Fair
153	PITA	20	Fair
154	PITA	21	Fair
155	PITA	21	Fair
156	PITA	20	Fair
157	PITA	22	Fair
158	QUAL	19	Fair
159	LIST	19	Fair
160	LIST	21	Fair
161	ACRU	25	Fair
162	ACRU	20	Fair

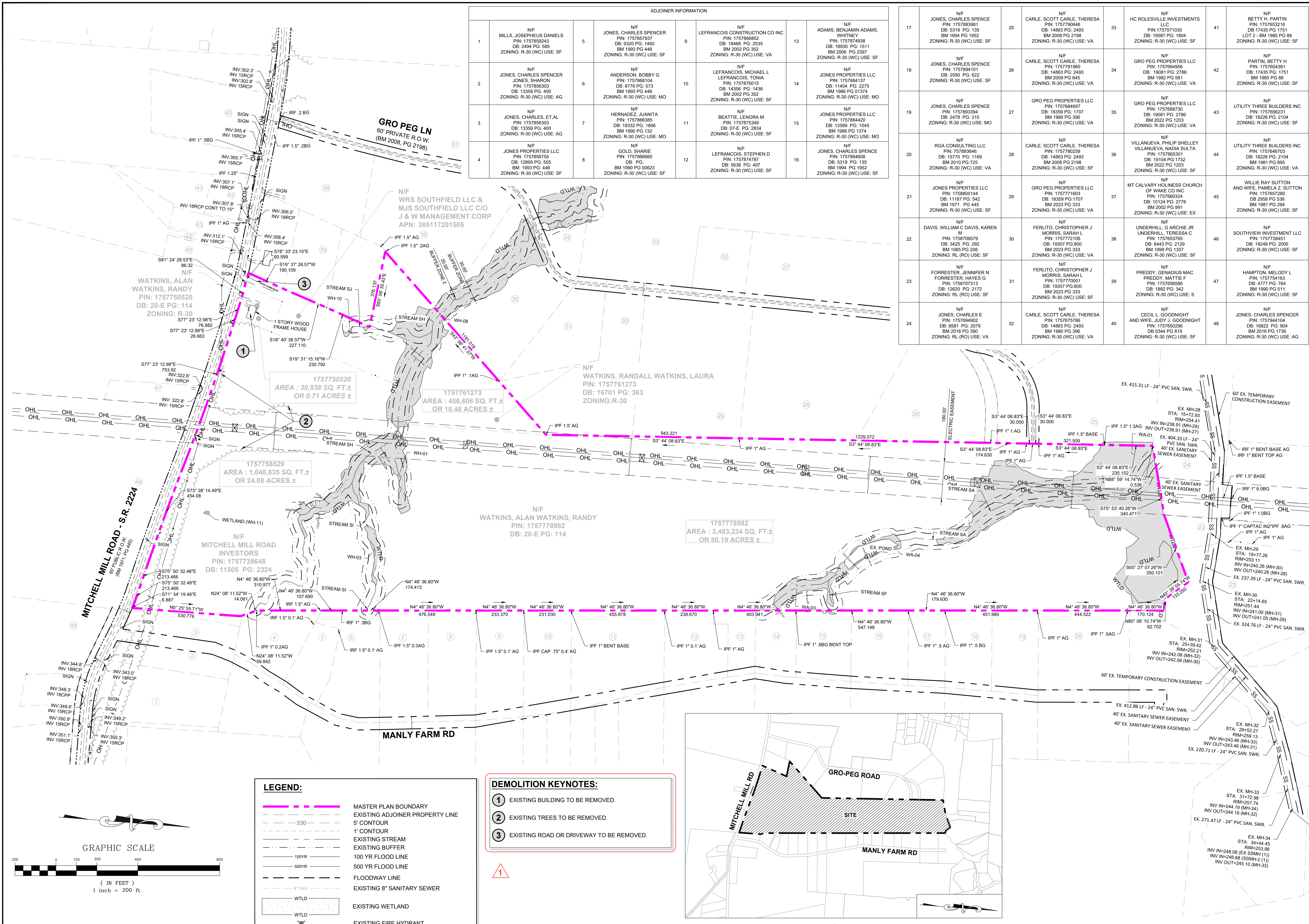
Tree Code	Botanical Name	Dbh 1	Condition Class
163	PITA	20	Fair
164	PITA	20	Fair
165	ACRU	25	Good
166	LITU	20	Good
167	PITA	20	Good
168	PITA	22	Fair
169	PITA	24	Fair
170	PITA	20	Good
171	PITA	26	Fair
172	PITA	24	Fair
173	QUNI	18	Good
174	QUNI	25	Dead
175	QUNI	31	Good
176	LITU	29	Poor
177	LITU	35	Fair
178	LITU	18	Good
179	PLAC1	23	Poor
180	PLAC1	18	Fair
181	LITU	36	Good
182	PLAC1	25	Good
183	LITU	28	Good
184	LIST	18	Good
185	LIST	21	Good
186	LITU	24	Fair
187	QUAL	18	Good
188	LITU	18	Fair
189	LITU	21	Poor
190	LITU	23	Poor
191	QUAL	22	Good
192	QUAL	24	Good
193	LITU	25	Fair
194	LITU	18	Fair
195	LITU	19	Fair
196	PLAC1	23	Good
197	LITU	20	Fair
198	LITU	19	Good
199	LITU	18	Good
200	PITA	30	Good
201	PITA	20	Good
202	PITA	27	Good
203	PITA	28	Good
204	LIST	18	Good
205	LITU	20	Good
206	LITU	18	Good
207	ACRU	26	Good
208	ACRU	29	Fair
209	CEOC	24	Good
210	ACRU	24	Good
211	PITA	32	Good
212	ACRU	30	Poor
213	LIST	21	Good
214	PISE	31	Fair
215	ACRU	15	Fair
216	LITU	27	Fair
217	ACRU	18	Poor
218	LITU	21	Good
219	LITU	36	Good
220	LITU	20	Poor
221	LITU	32	Fair
222	LITU	35	Fair
223	LITU	22	Fair
224	ACRU	24	Fair
225	QUAL	28	Good
226	LITU	18	Fair
227	LITU	25	Poor
228	LITU	23	Good
229	LITU	23	Fair
230	LITU	26	Good
231	LITU	35	Poor
232	LITU	31	Poor
233	LITU	22	Fair
234	LITU	28	Poor
235	LITU	25	Fair
236	QUAL	26	Good
237	QUAL	20	Good
238	LITU	18	Fair
239	LITU	22	Good
240	PITA	22	Good
241	LITU	22	Good
242	PLAC1	19	Good
243	LITU	18	Fair

Tree Code	Botanical Name	Dbh 1	Condition Class
244	LITU	18	Good
245	QURU	19	Good
246	QURU	24	Fair
247	QUAL	18	Good
248	QUAL	25	Poor
249	QUAL	23	Poor
250	QURU	21	Good
251	QURU	19	Fair
252	ACRU	18	Poor
253	ULAM	35	Poor
254	QUAL	25	Good
255	ACRU	28	Fair
256	QUNI	18	Fair
257	ACRU	18	Good
258	LITU	19	Good
259	PLOC	38	Good
260	LITU	30	Good
261	LITU	21	Good
262	LITU	24	Fair
263	LITU	31	Poor
264	LITU	42	Fair
265	LITU	24	Good
266	LITU	28	Good
267	LITU	31	Fair
268	QUAL	33	Poor
269	QURU	24	Fair
270	QUAL	24	Good
271	QURU	31	Fair
272	PITA	27	Fair
273	QUAL	38	Fair
274	QUAL	40	Fair
275	LITU	20	Fair
276	LITU	21	Fair
277	LITU	24	Fair
278	PITA	23	Dead
279	ACRU	24	Dead
280	LITU	26	Fair
281	PLOC	28	Poor
282	LITU	28	Fair
283	PITA	23	Fair
284	PITA	24	Dead
285	PITA	24	Fair
286	PLOC	24	Fair
287	LITU	25	Dead
288	LITU	22	Fair
289	LITU	16	Poor
290	LIST	24	Fair
291	LIST	18	Fair
292	LITU	28	Fair
293	PITA	24	Fair
294	PLOC	23	Fair
295	ACRU	24	Poor
296	LITU	20	Fair
297	QURU	26	Fair
298	LITU	20	Fair
299	QUAL	19	Fair
300	PITA	21	Fair
301	LITU	18	Fair
302	PITA	20	Fair
303	QUFA	20	Fair
304	LITU	20	Fair
305	QURU	20	Fair
306	PITA	20	Fair
307	PITA	20	Fair
308	PITA	20	Fair
309	PITA	24	Fair
310	PITA	20	Fair
311	QURU	18	Fair
312	QUAL	20	Fair
313	PITA	21	Fair
314	PITA	21	Fair
315	PITA	20	Fair
316	PITA	20	Fair
317	LITU	23	Fair
318	LITU	20	Fair
319	QUAL	37	Fair
320	QUAL	36	Fair
321	PITA	20	Fair
322	PITA	20	Fair
323	PITA	24	Fair
324	QUAL	23	Fair

Tree Code	Botanical Name	Dbh 1	Condition Class
325	QUAL	27	Fair
326	PITA	20	Fair
327	QUAL	27	Fair
328	PLOC	22	Fair
329	QUFA	24	Poor
330	LITU	20	Fair
331	PITA	24	Fair
332	LITU	19	Fair
333	LITU	19	Fair
334	QURU	23	Fair
335	QURU	25	Fair
336	LITU	20	Fair
337	QUFA	24	Fair
338	LITU	21	Fair
339	LITU	27	Fair
340	LITU	19	Fair
341	QUNI	20	Fair
342	QURU	19	Fair
343	LITU	18	Fair
344	LITU	18	Fair
345	LITU	19	Fair
346	PITA	23	Fair
347	PITA	23	Fair
348	ACRU	18	Fair
349	PITA	24	Fair
350	LIST	23	Fair
351	QUNI	20	Fair
352	QUNI	36	Fair
353	QUNI	32	Fair
354	PITA	20	Fair
355	LIST	20	Fair
356	LITU	24	Poor
357	LITU	24	Fair
358	LITU	19	Fair
359	LITU	19	Fair
360	LITU	25	Fair
361	LIST	18	Fair
362	QUNI	26	Fair
363	ILOP	18	Fair
364	LIST	18	Fair
365	LITU	23	Fair
366	LITU	19	Fair
367	LITU	23	Fair
368	LITU	18	Fair
369	LITU	20	Fair
370	QURU	18	Fair
371	LITU	23	

ADJOINER INFORMATION			
1	N/F MILLS, JOSEPHUS DANIELS PIN: 175785243 DB: 2494 PG. 585 ZONING: R-30 (WC) USE: SF	5	N/F JONES, CHARLES SPENCER PIN: 1757857937 DB: 5320 PG. 1460 BM 1993 PG. 446 ZONING: R-30 (WC) USE: SF
2	N/F JONES, CHARLES SPENCER PIN: 1757856303 DB: 13359 PG. 400 ZONING: R-30 (WC) USE: AG	6	N/F ANDERSON, BOBBY G PIN: 1757868104 DB: 8776 PG. 573 BM 1993 PG. 446 ZONING: R-30 (WC) USE: MO
3	N/F JONES, CHARLES, ET AL PIN: 1757856303 DB: 13359 PG. 400 ZONING: R-30 (WC) USE: AG	7	N/F HERNANDEZ, JUANITA PIN: 1757863855 DB: 19332 PG. 1806 BM 1990 PG. 132 ZONING: R-30 (WC) USE: MO
4	N/F JONES PROPERTIES LLC PIN: 1757857555 DB: 12895 PG. 505 BM: 1993 PG. 446 ZONING: R-30 (WC) USE: SF	8	N/F GOLD, SHARIE PIN: 1757866690 DB: PG. BM 1990 PG. 00623 ZONING: R-30 (WC) USE: SF
		9	N/F LEFRANCOIS CONSTRUCTION CO INC PIN: 1757866652 DB: 18468 PG. 2535 BM 2002 PG. 352 ZONING: R-30 (WC) USE: VA
		10	N/F LEFRANCOIS, MICHAEL L LEFRANCOIS, TONIA PIN: 1757876015 DB: 14358 PG. 1438 BM 2002 PG. 352 ZONING: R-30 (WC) USE: SF
		11	N/F BEATTIE, LENORA M PIN: 1757875349 DB: 07-E PG. 2834 ZONING: R-30 (WC) USE: SF
		12	N/F LEFRANCOIS, STEPHEN D PIN: 1757874787 DB: 5638 PG. 497 ZONING: R-30 (WC) USE: SF
		13	N/F ADAMS, BENJAMIN ADAMS, WHITEY PIN: 1757890646 DB: 18930 PG. 1511 BM 2006 PG. 2397 ZONING: R-30 (WC) USE: SF
		14	N/F JONES PROPERTIES LLC PIN: 1757864137 DB: 11404 PG. 2275 BM 1986 PG. 01374 ZONING: R-30 (WC) USE: MO
		15	N/F JONES PROPERTIES LLC PIN: 1757884420 DB: 12589 PG. 1045 BM 1986 PG. 1374 ZONING: R-30 (WC) USE: MO
		16	N/F JONES, CHARLES SPENCER PIN: 1757884608 DB: 5319 PG. 135 BM 1994 PG. 1952 ZONING: R-30 (WC) USE: SF

17	N/F JONES, CHARLES SPENCER PIN: 1757893881 DB: 5319 PG. 135 BM 1994 PG. 1952 ZONING: R-30 (WC) USE: SF	25	N/F CARLE, SCOTT CARLE, THERESA PIN: 1757906646 DB: 14863 PG. 2493 BM 2008 PG. 2198 ZONING: R-30 (WC) USE: VA	33	N/F HC ROLESVILLE INVESTMENTS LLC PIN: 1757571035 DB: 19587 PG. 1804 ZONING: R-30 (WC) USE: SF	41	N/F BETTY H FARTIN PIN: 1757653216 DB: 17435 PG. 1751 LOT 2 - BM 1985 PG. 88 ZONING: R-30 (WC) USE: SF
18	N/F JONES, CHARLES SPENCER PIN: 1757894011 DB: 2590 PG. 622 ZONING: R-30 (WC) USE: SF	26	N/F CARLE, SCOTT CARLE, THERESA PIN: 1757891990 DB: 14863 PG. 2493 BM 2009 PG. 645 ZONING: R-30 (WC) USE: VA	34	N/F GRO PEG PROPERTIES LLC PIN: 1757649596 DB: 19081 PG. 2786 BM 1982 PG. 581 ZONING: R-30 (WC) USE: VA	42	N/F FARTIN, BETTY H PIN: 1757654381 DB: 17435 PG. 1751 BM 1985 PG. 88 ZONING: R-30 (WC) USE: SF
19	N/F JONES, CHARLES SPENCER PIN: 1757884697 DB: 16369 PG. 1707 BM 2022 PG. 2103 ZONING: R-30 (WC) USE: MO	27	N/F GRO PEG PROPERTIES LLC PIN: 1757684697 DB: 16369 PG. 1707 BM 1980 PG. 396 ZONING: R-30 (WC) USE: VA	35	N/F GRO PEG PROPERTIES LLC PIN: 1757687301 DB: 19081 PG. 2786 BM 2022 PG. 1203 ZONING: R-30 (WC) USE: VA	43	N/F UTILITY THREE BUILDERS INC PIN: 1757658231 DB: 18226 PG. 2104 ZONING: R-30 (WC) USE: SF
20	N/F RGA CONSULTING LLC PIN: 1757893646 DB: 15720 PG. 1169 BM 2010 PG. 725 ZONING: R-30 (WC) USE: VA	28	N/F CARLE, SCOTT CARLE, THERESA PIN: 1757802528 DB: 14863 PG. 2493 BM 2008 PG. 2198 ZONING: R-30 (WC) USE: SF	36	N/F VILLANUEVA, PHILIP SHELLEY VILLANUEVA, NADIA SULTA PIN: 1757665301 DB: 19104 PG. 1732 BM 2022 PG. 1203 ZONING: R-30 (WC) USE: SF	44	N/F UTILITY THREE BUILDERS INC PIN: 1757648703 DB: 18226 PG. 2104 BM 1981 PG. 895 ZONING: R-30 (WC) USE: VA
21	N/F JONES PROPERTIES LLC PIN: 1758805144 DB: 11187 PG. 542 BM 1991 PG. 445 ZONING: R-30 (WC) USE: SF	29	N/F GRO PEG PROPERTIES LLC PIN: 1757716033 DB: 18359 PG. 1707 BM 2023 PG. 333 ZONING: R-30 (WC) USE: VA	37	N/F MT CALVARY HOLINESS CHURCH OF WAKE CO INC PIN: 1757690324 DB: 10124 PG. 2778 BM 2002 PG. 991 ZONING: R-30 (WC) USE: EX	45	N/F WILLIE RAY SUTTON AND WIFE, PAMELA Z. SUTTON PIN: 1757678280 DB: 2958 PG. 536 BM 1981 PG. 284 ZONING: R-30 (WC) USE: SF
22	N/F DAVIS, WILLIAM C DAVIS, KAREN PIN: 1758709579 DB: 3425 PG. 292 BM 1989 PG. 308 ZONING: RL (RO) USE: SF	30	N/F FERLITO, CHRISTOPHER J MORRIS, SARAH L PIN: 1757721066 DB: 19307 PG. 800 BM 2023 PG. 333 ZONING: RL (RO) USE: VA	38	N/F UNDERHILL, G. ARCHIE JR UNDERHILL, TERESSA C PIN: 1757537655 DB: 8443 PG. 2129 BM 1989 PG. 1357 ZONING: R-30 (WC) USE: SF	46	N/F SOUTHVIEW INVESTMENT LLC PIN: 1757738451 DB: 19248 PG. 2000 ZONING: R-30 (WC) USE: SF
23	N/F FORRESTER, JENNIFER N FORRESTER, HAYES G PIN: 1758707313 DB: 12820 PG. 2172 ZONING: RL (RO) USE: SF	31	N/F FERLITO, CHRISTOPHER J MORRIS, SARAH L PIN: 1757700011 DB: 19307 PG. 800 BM 2023 PG. 333 ZONING: RL (RO) USE: SF	39	N/F PREDDY, GENADIUS MAC PREDDY, MATTIE F PIN: 1757656586 DB: 1882 PG. 342 ZONING: R-30 (WC) USE: S	47	N/F HAMPTON, MELODY L PIN: 1757754163 DB: 4777 PG. 764 BM 1990 PG. 511 ZONING: R-30 (WC) USE: SF
24	N/F JONES, CHARLES E PIN: 1757694902 DB: 6581 PG. 2079 BM 2016 PG. 390 ZONING: RL (RO) USE: VA	32	N/F CARLE, SCOTT CARLE, THERESA PIN: 1757615786 DB: 14863 PG. 2493 BM 1980 PG. 396 ZONING: R-30 (WC) USE: VA	40	N/F CECIL L. GOODNIGHT AND WIFE, JUDY J. GOODNIGHT PIN: 1757652296 DB: 5344 PG. 819 ZONING: R-30 (WC) USE: SF	48	N/F JONES, CHARLES SPENCER PIN: 1757944104 DB: 16822 PG. 904 BM 2016 PG. 1736 ZONING: R-30 (WC) USE: AG

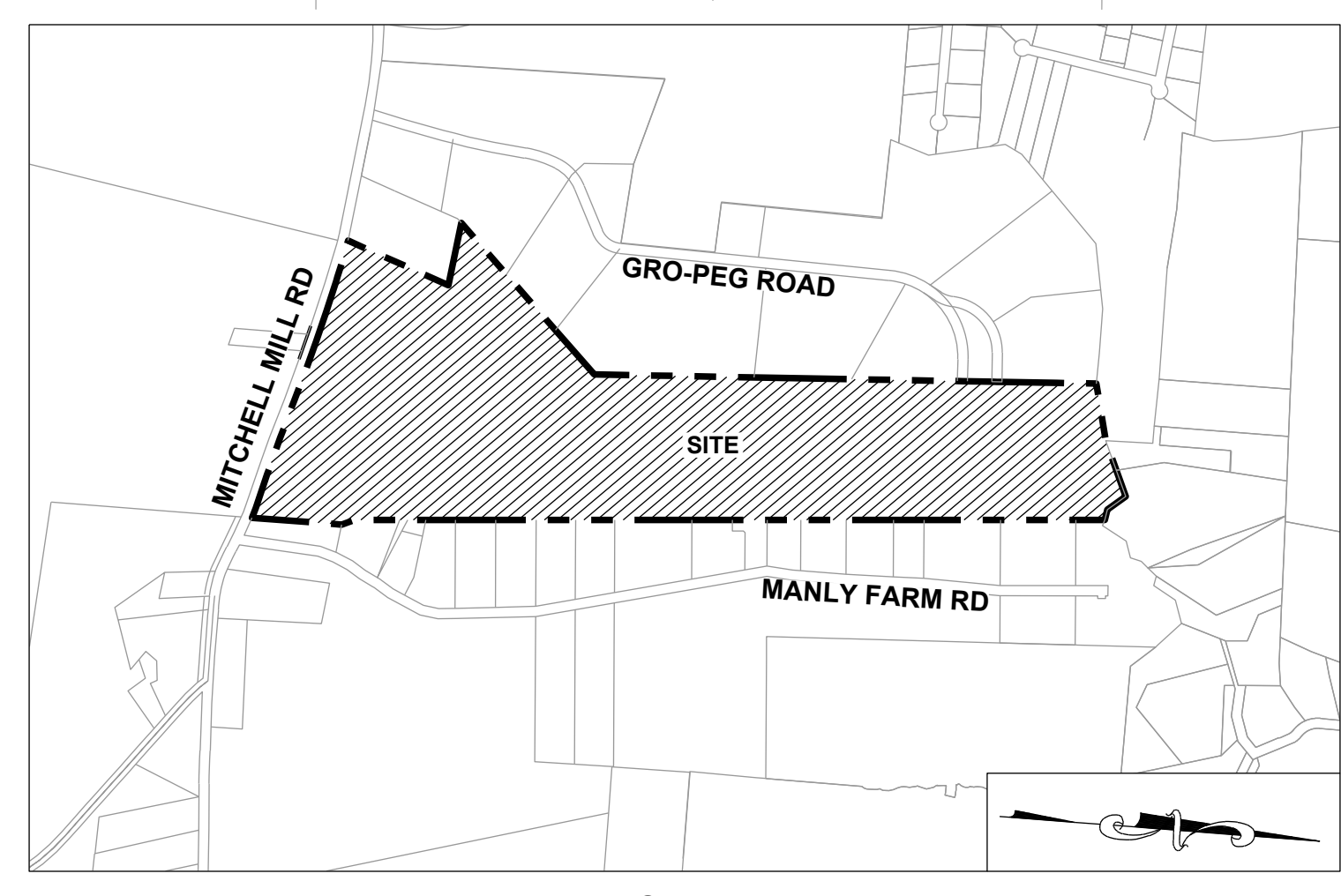
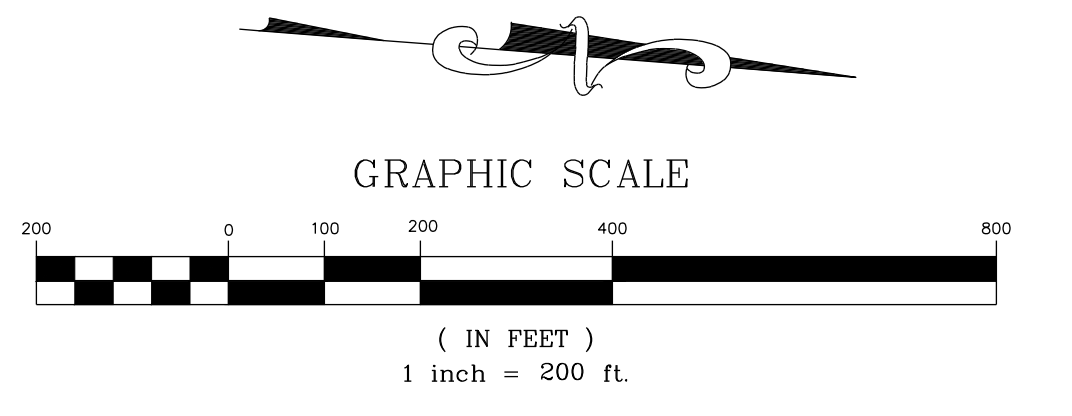


LEGEND:

- MASTER PLAN BOUNDARY
- EXISTING ADJOINER PROPERTY LINE
- 5' CONTOUR
- 1' CONTOUR
- EXISTING STREAM
- EXISTING BUFFER
- 100 YR FLOOD LINE
- 500 YR FLOOD LINE
- FLOODWAY LINE
- EXISTING 8" SANITARY SEWER
- EXISTING WETLAND
- EXISTING FIRE HYDRANT

DEMOLITION KEYNOTES:

- ① EXISTING BUILDING TO BE REMOVED.
- ② EXISTING TREES TO BE REMOVED.
- ③ EXISTING ROAD OR DRIVEWAY TO BE REMOVED.



08/30/2024
08/30/2024

TOWN OF ROLESVILLE V1-FSP-24-03
TOWN OF ROLESVILLE V2-FSP-24-03

0 1

NO. REVISIONS DATE BY

SEAL: NORTH CAROLINA PROFESSIONAL ENGINEER SEAL 036225 JUSTIN W. L. AMBERY

STRONGROCK
ENGINEERING GROUP

STRONG ROCK ENGINEERING GROUP, PLLC (COMPANY LICENSE # P-2166)
305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT
NOT FOR CONSTRUCTION
SCALE AS SHOWN
DESIGNED BY JWL
DRAWN BY SRG
CHECKED BY JWL

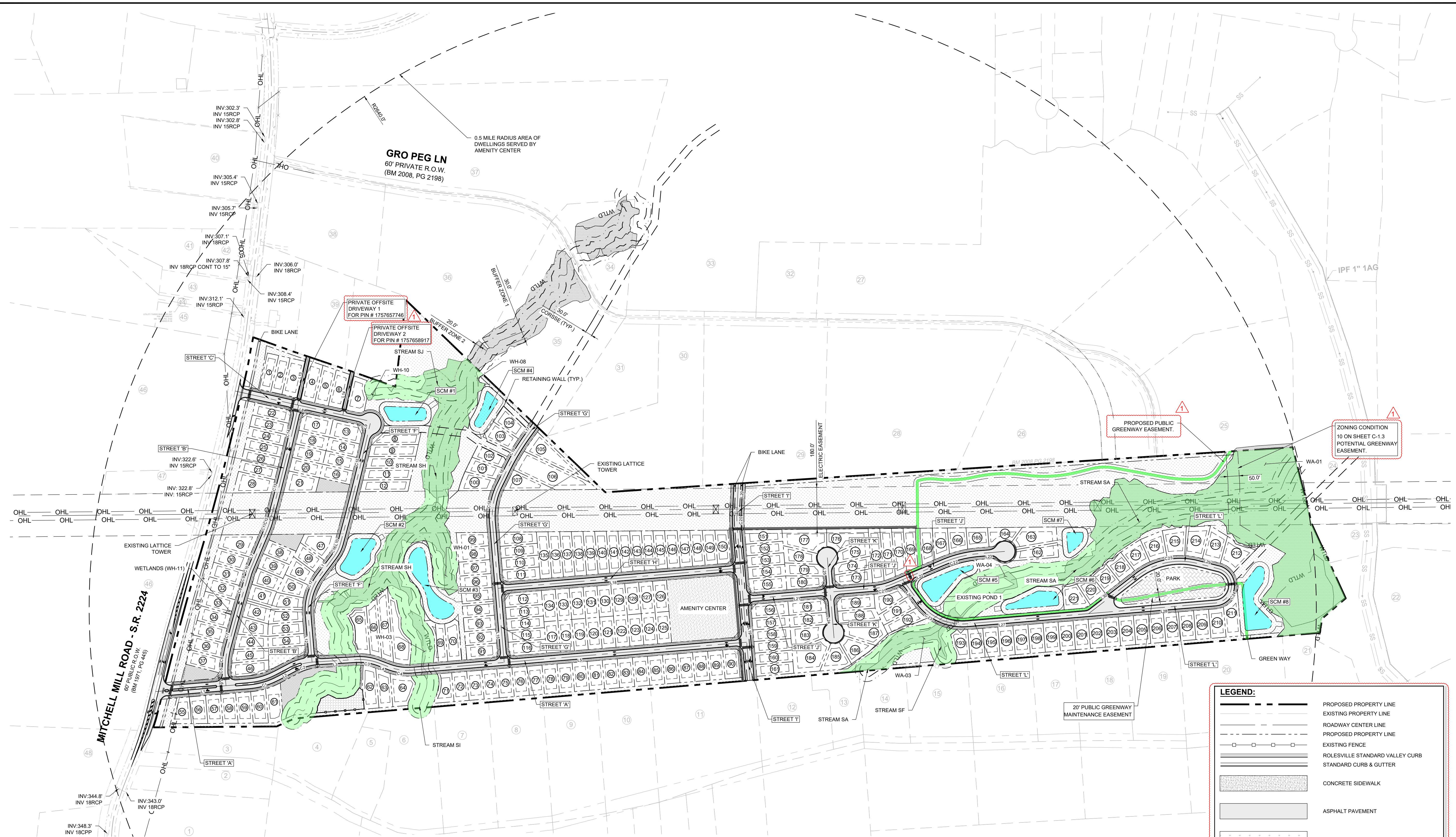
HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

DEMOLITION PLAN

DRAWING SHEET
C-4.0

19 OF 57

THIS PLANSET AND ANY ASSOCIATED DOCUMENTS ARE PRELIMINARY AND NOT AUTHORIZED FOR CONSTRUCTION UNTIL SIGNED, DATED, AND OFFICIALLY RELEASED FOR CONSTRUCTION BY THE ENGINEER OF RECORD.



NAME	ROADWAY	LENGTH	DIRECTION	BEGIN STATION	END STATION
L1	STREET A	404.98'	N4°46'37"W	0+00.00	4+04.98
L2	STREET A	68.03'	N27°46'10"W	5+25.37	5+93.39
L3	STREET A	184.24'	N3°15'35"W	7+00.34	8+84.57
L4	STREET A	46.26'	N20°52'47"E	9+81.48	10+27.73
L5	STREET A	1444.35'	N4°46'37"W	11+30.73	25+75.07
L6	STREET B	31.86'	N85°13'23"E	12+21.25	12+53.10
L7	STREET B	184.12'	S67°13'00"E	5+50.70	7+34.81
L8	STREET C	597.86'	N12°36'47"E	0+00.00	5+97.86
L9	STREET C	63.09'	S77°06'48"E	5+97.86	6+60.95
L10	STREET C	4.31'	S74°45'22"E	11+38.08	11+42.39
L11	STREET C	108.53'	S53°18'23"E	11+98.55	13+07.07
L12	STREET C	200.59'	N85°13'23"E	14+88.02	16+88.61
L13	STREET D	213.11'	S77°23'13"E	0+00.00	2+13.11
L14	PRIVATE DRIVE E	191.35'	S77°23'13"E	0+00.00	1+91.35
L15	STREET G	605.78'	N85°13'23"E	4+66.25	10+72.02

NAME	ROADWAY	LENGTH	DIRECTION	BEGIN STATION	END STATION
L16	STREET G	74.99'	S63°56'33"E	2+29.81	3+04.79
L17	STREET G	62.35'	S54°20'54"E	0+00.00	0+62.35
L18	STREET H	1047.13'	N4°46'37"W	0+00.00	10+47.13
L19	STREET I	653.91'	S85°13'23"W	0+00.00	6+53.91
L20	STREET I	120.22'	N87°11'53"W	7+29.18	8+49.39
L21	STREET J	571.09'	N4°46'37"W	0+00.00	5+71.09
L22	STREET J	240.36'	N22°57'44"W	6+44.09	8+84.45
L23	STREET J	111.85'	N4°46'37"W	10+43.15	11+54.99
L24	STREET K	198.62'	N85°13'23"E	1+48.62	3+47.23
L25	STREET K	148.61'	N85°13'23"E	0+00.00	1+48.61
L26	STREET L	121.11'	N53°33'15"E	0+00.00	1+21.11
L27	STREET L	1074.38'	N4°46'37"W	3+55.27	14+29.64
L28	STREET L	1074.38'	N4°46'37"W	3+55.27	14+29.64
L29	STREET L	94.19'	S14°07'11"W	16+40.53	17+34.71
L30	STREET L	265.67'	S37°42'28"E	20+06.09	22+71.75

NAME	ROADWAY	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD DIRECTION	BEGIN STATION	END STATION
C1	STREET A	300.00'	120.39'	119.58'	N16°16'24"W	4+04.98	5+25.36
C2	STREET A	250.00'	106.94'	106.13'	N15°30'53"W	5+93.39	7+00.33
C3	STREET A	230.00'	96.90'	96.19'	N8°48'36"E	8+84.57	9+81.47
C4	STREET A	230.00'	102.99'	102.13'	N8°03'05"E	10+27.73	11+30.72
C5	STREET B	400.00'	137.43'	136.75'	S84°56'03"E	10+83.81	12+21.24
C6	STREET B	400.00'	137.43'	136.75'	S84°56'03"E	10+83.81	12+21.24
C7	STREET B	10746.00'	322.14'	322.12'	S74°13'58"E	7+61.68	10+83.81
C8	STREET B	10746.00'	322.14'	322.12'	S74°13'58"E	7+61.68	10+83.81
C9	STREET B	10746.00'	322.14'	322.12'	S74°13'58"E	7+61.68	10+83.81
C10	STREET B	250.00'	26.87'	26.85'	S70°17'43"E	7+34.81	7+61.68
C11	STREET B	250.00'	33.07'	33.05'	S71°00'24"E	5+17.62	5+50.70
C12	STREET B	250.00'	33.07'	33.05'	S71°00'24"E	5+17.62	5+50.70
C13	STREET B	11280.00'	517.62'	517.58'	S76°06'40"E	0+00.00	5+17.62

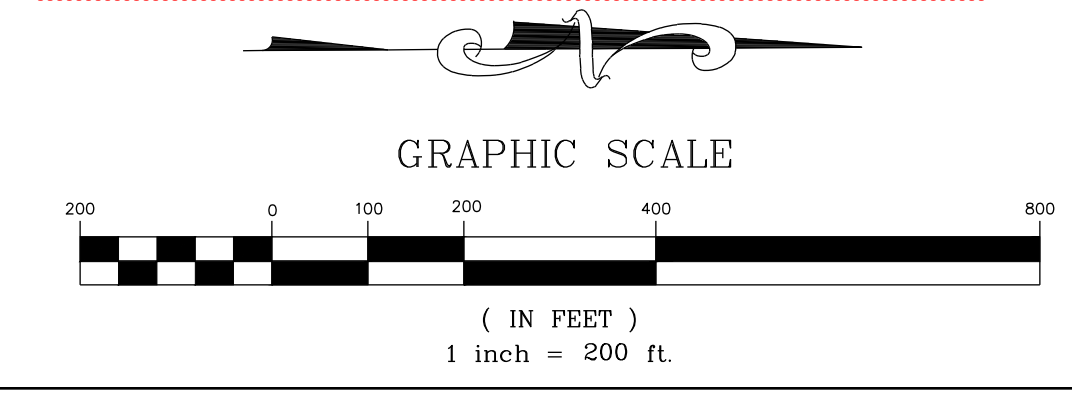
NAME	ROADWAY	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD DIRECTION	BEGIN STATION	END STATION
C14	STREET B	11280.00'	517.62'	517.58'	S76°06'40"E	0+00.00	5+17.62
C15	STREET C	11598.00'	477.13'	477.10'	S75°56'05"E	6+60.95	11+38.08
C16	STREET C	1500.00'	56.16'	55.83'	S64°01'53"E	11+42.39	11+98.54
C17	STREET C	250.00'	180.95'	177.02'	S74°02'30"E	13+07.07	14+88.02
C18	STREET G	300.00'	161.45'	159.51'	S79°21'35"E	3+04.79	4+66.24
C19	STREET G	1000.00'	167.45'	167.26'	S59°08'44"E	0+62.35	2+29.81
C20	STREET I	569.00'	75.26'	75.21'	S89°00'45"W	6+53.91	7+29.18
C21	STREET J	230.00'	73.00'	72.69'	N13°52'10"W	5+71.09	6+44.09
C22	STREET J	500.00'	158.70'	158.03'	N13°52'10"W	8+84.45	10+43.14
C23	STREET L	230.00'	234.16'	224.17'	N24°23'19"E	1+21.11	3+55.27
C24	STREET L	75.00'	210.88'	147.97'	N85°19'43"W	14+29.64	16+40.53
C25	STREET L	300.00'	271.37'	262.21'	S11°47'39"E	17+34.71	20+06.08

NOTES:
THIS IS A SINGLE PHASE PROJECT.
SEE SHEET C-3.0 FOR ADJACENT PROPERTY DETAILS

LOT SIZE MINIMUMS	LOT
A: 50' x 160'	68
B: 55' x 146'	16
C: 60' x 134'	56
D: 65' x 125'	52
E: 70' x 115'	15
F: 80' x 100'	14
TOTAL	221

LEGEND:

- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- ROADWAY CENTER LINE
- PROPOSED PROPERTY LINE
- EXISTING FENCE
- ROLESVILLE STANDARD VALLEY CURB
- STANDARD CURB & GUTTER
- CONCRETE SIDEWALK
- ASPHALT PAVEMENT
- OPEN SPACE
- WTLD
- EXISTING WETLAND
- RESERVE OPEN AREA
- POND AREA
- GREEN WAY



STRONG ROCK ENGINEERING GROUP
 HILLS AT HARRIS CREEK
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
 OVERALL SITE PLAN
 DRAWING SHEET C-5.0
 20 OF 57

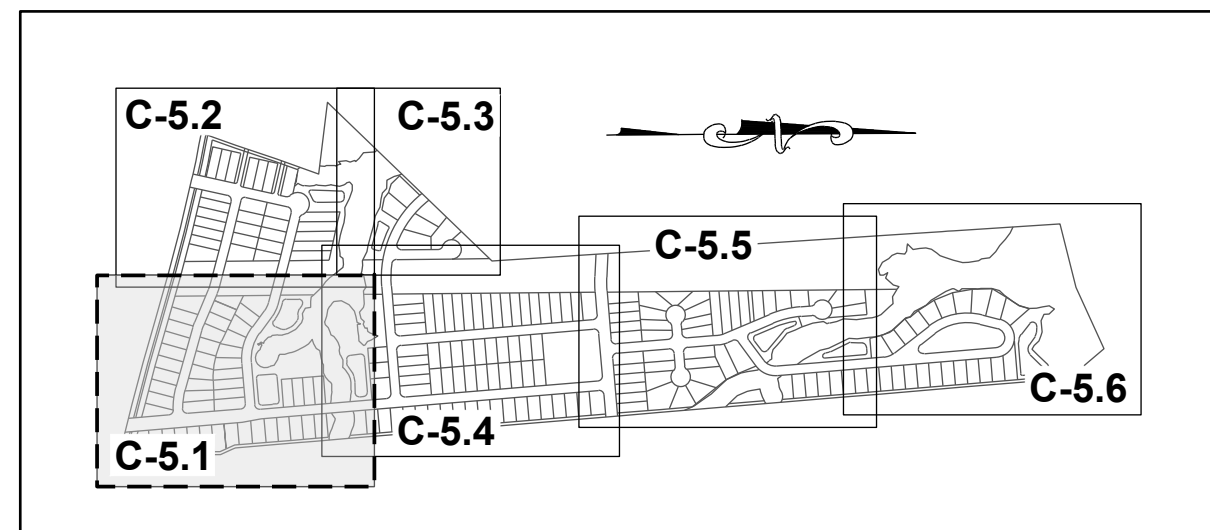
SEAL: NORTH CAROLINA PROFESSIONAL ENGINEER SEAL 036225 JUSTIN W. LAMBERT

REVISIONS: 0, 1

DATE: 08/30/2024

BY: []

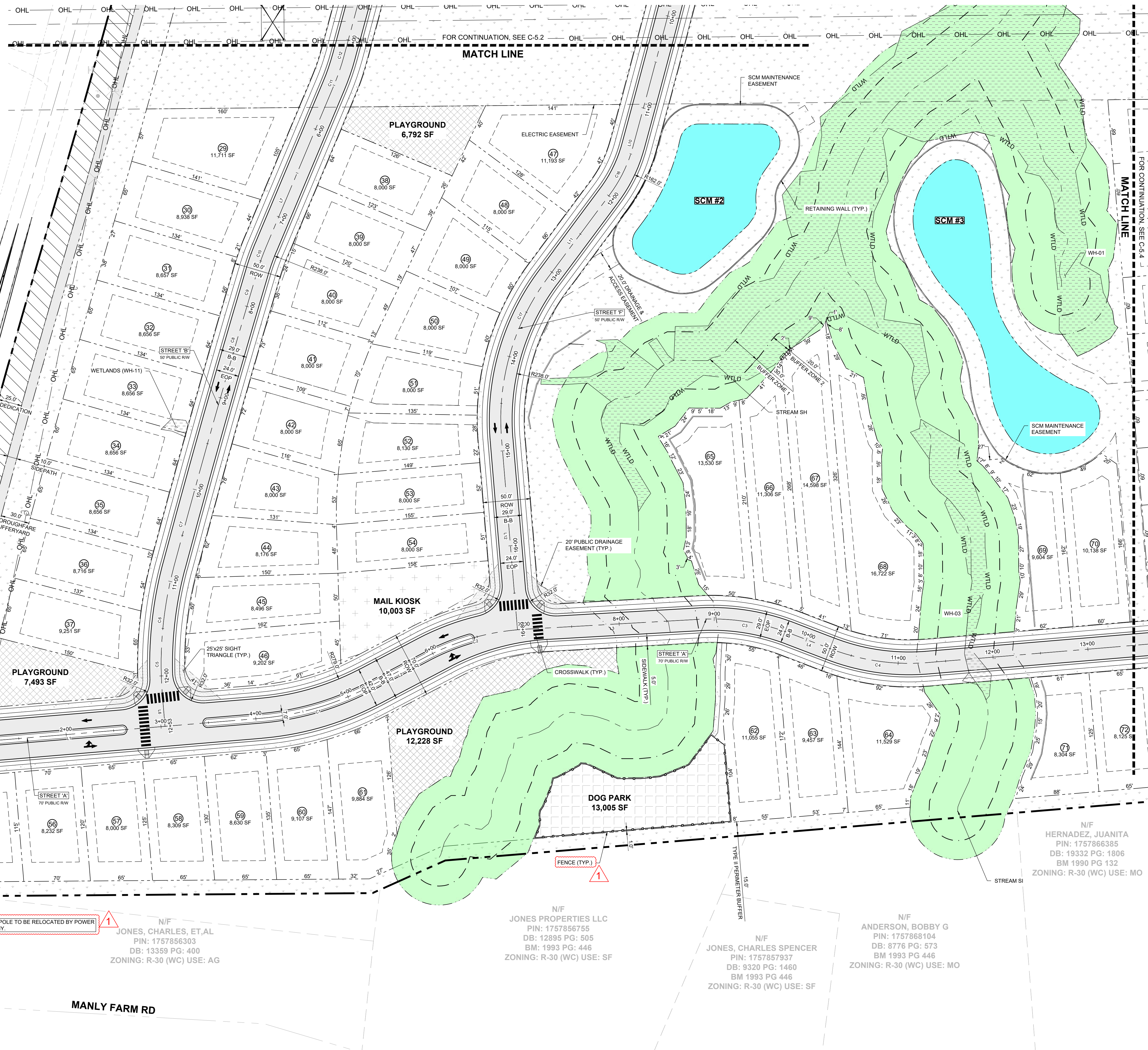
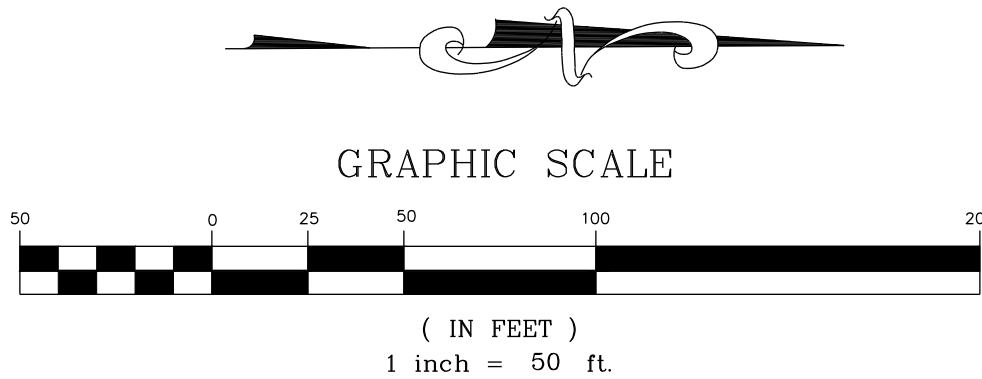
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SITE KEY PLAN

LEGEND:

SEE SHEET C-5.0 FOR LEGEND, LINE AND CURVE TABLES



N/F SOUTHVIEW INVESTMENT LLC
PIN: 1757738451
DB: 19248 PG: 2000
ZONING: R-30 (WC) USE: SF

MITCHELL MILL ROAD - S.R. 2224
60' PUBLIC R.O.W.
(BM 1971, PG 445)

PLAYGROUND
7,493 SF

MAIL KIOSK
10,003 SF

PLAYGROUND
12,228 SF

DOG PARK
13,005 SF

PLAYGROUND
6,792 SF

N/F JONES, CHARLES, ET.AL
PIN: 1757856303
DB: 13359 PG: 400
ZONING: R-30 (WC) USE: AG

N/F JONES PROPERTIES LLC
PIN: 1757856755
DB: 12895 PG: 505
BM: 1993 PG: 446
ZONING: R-30 (WC) USE: SF

N/F JONES, CHARLES SPENCER
PIN: 1757857937
DB: 9320 PG: 1460
BM 1993 PG 446
ZONING: R-30 (WC) USE: SF

N/F ANDERSON, BOBBY G
PIN: 1757868104
DB: 8776 PG: 573
BM 1993 PG 446
ZONING: R-30 (WC) USE: MO

N/F HERNANDEZ, JUANITA
PIN: 1757866385
DB: 19332 PG: 1806
BM 1990 PG 132
ZONING: R-30 (WC) USE: MO

NO.	REVISIONS	DATE	BY
0			
1			



STRONGROCK

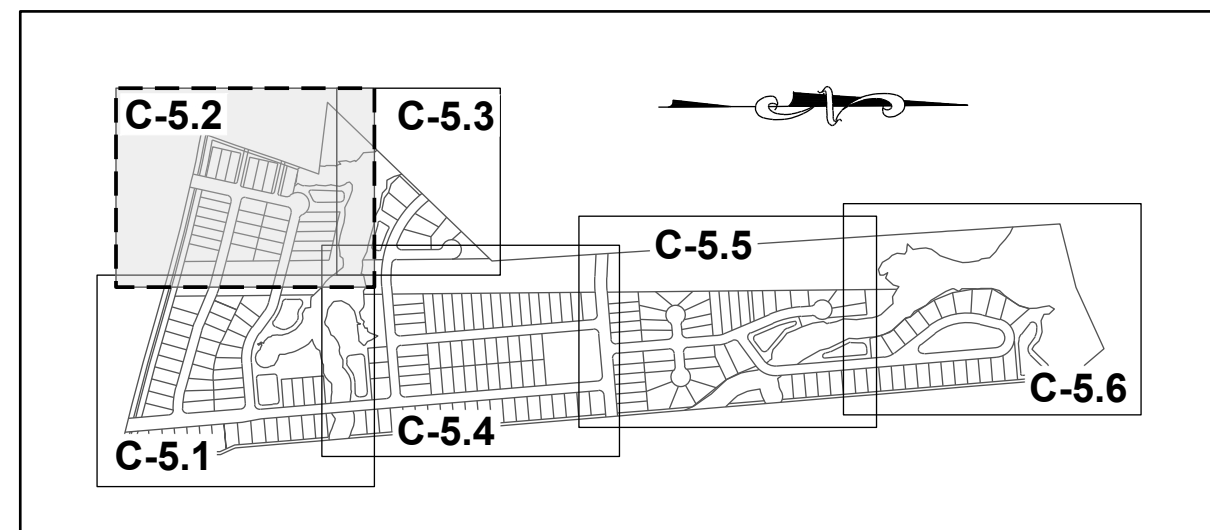
ENGINEERING GROUP

STRONGROCK PROJECT	NOT FOR CONSTRUCTION	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY

HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
PARTIAL SITE PLAN I

DRAWING SHEET
C-5.1

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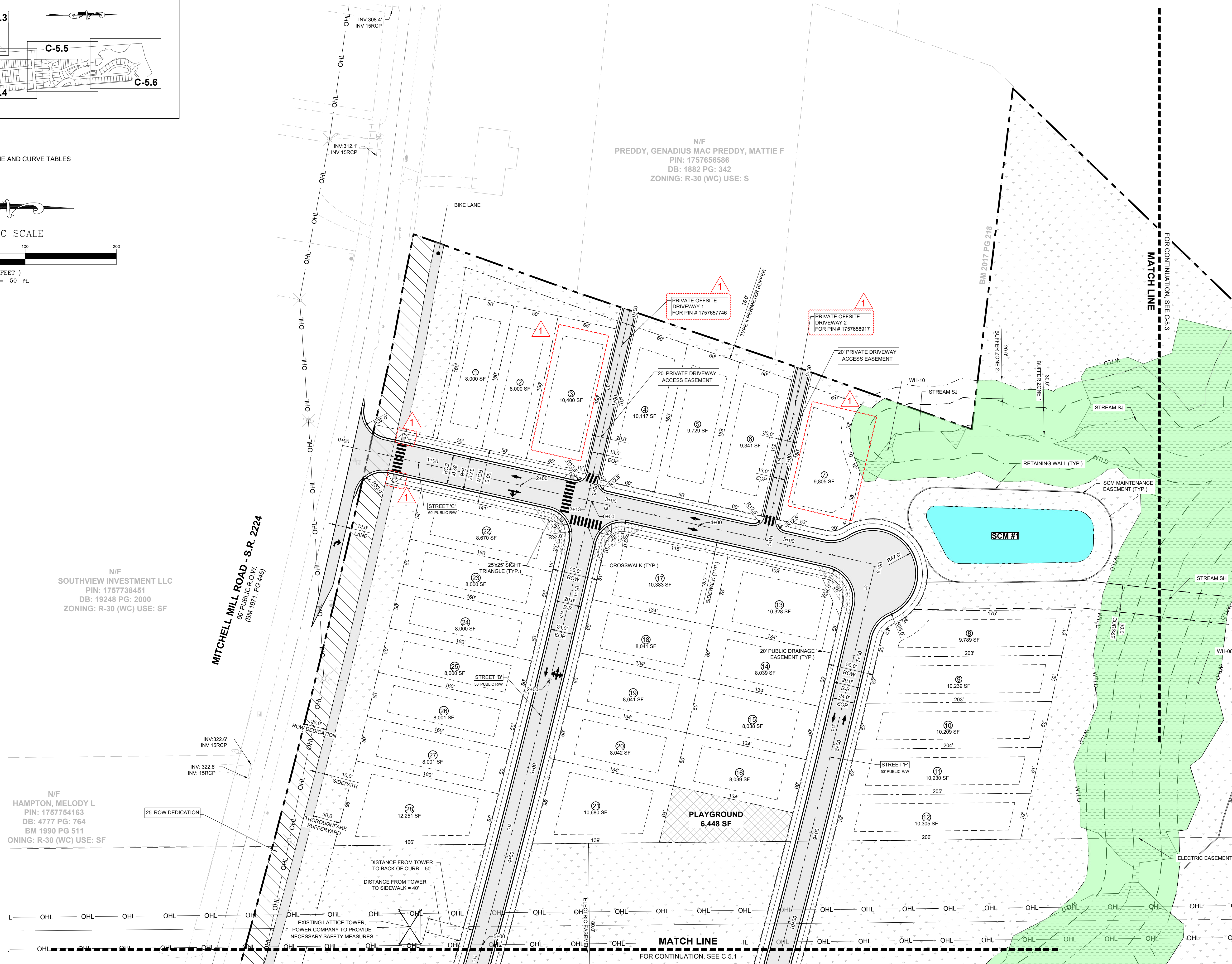
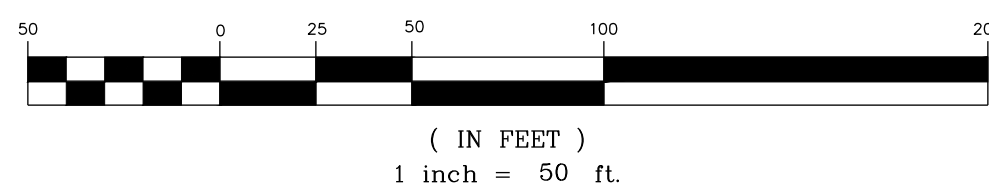
SITE KEY PLAN

LEGEND:

SEE SHEET C-5.0 FOR LEGEND, LINE AND CURVE TABLES



GRAPHIC SCALE



N/F
SOUTHVIEW INVESTMENT LLC
PIN: 1757738451
DB: 19248 PG: 2000
ZONING: R-30 (WC) USE: SF

MITCHELL MILL ROAD - S.R. 2224
60' PUBLIC R.O.W.
(BM 1971, PG. 445)

N/F
HAMPTON, MELODY L
PIN: 1757754163
DB: 4777 PG: 764
BM 1990 PG 511
ONING: R-30 (WC) USE: SF

N/F
PREDDY, GENADIUS MAC PREDDY, MATTIE F
PIN: 1757656586
DB: 1882 PG: 342
ZONING: R-30 (WC) USE: S

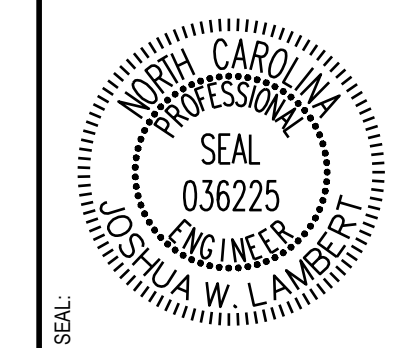
PRIVATE OFFSITE DRIVEWAY 2 FOR PIN # 1757657746

PRIVATE OFFSITE DRIVEWAY 1 FOR PIN # 1757658917

PLAYGROUND 6,448 SF

SCM #1

NO.	REVISIONS	DATE	BY
0			
1			



STRONGROCK
ENGINEERING GROUP

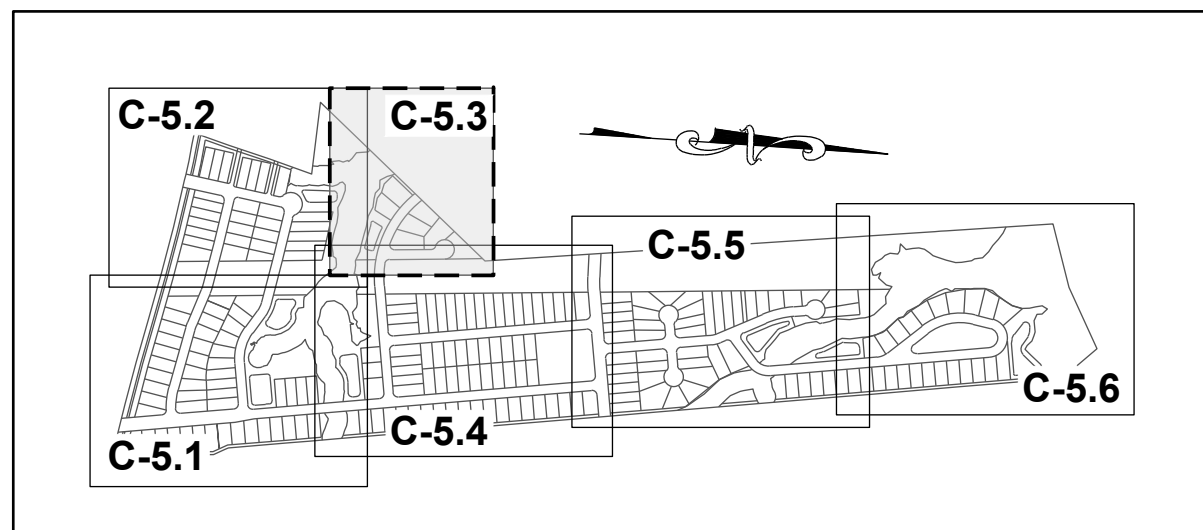
STRONG ROCK ENGINEERING GROUP, PLLC (COMPANY LICENSE # P-2166)
305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY	DRAWN BY	CHECKED BY
			JWL	SRG	JWL

HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

PARTIAL SITE PLAN II

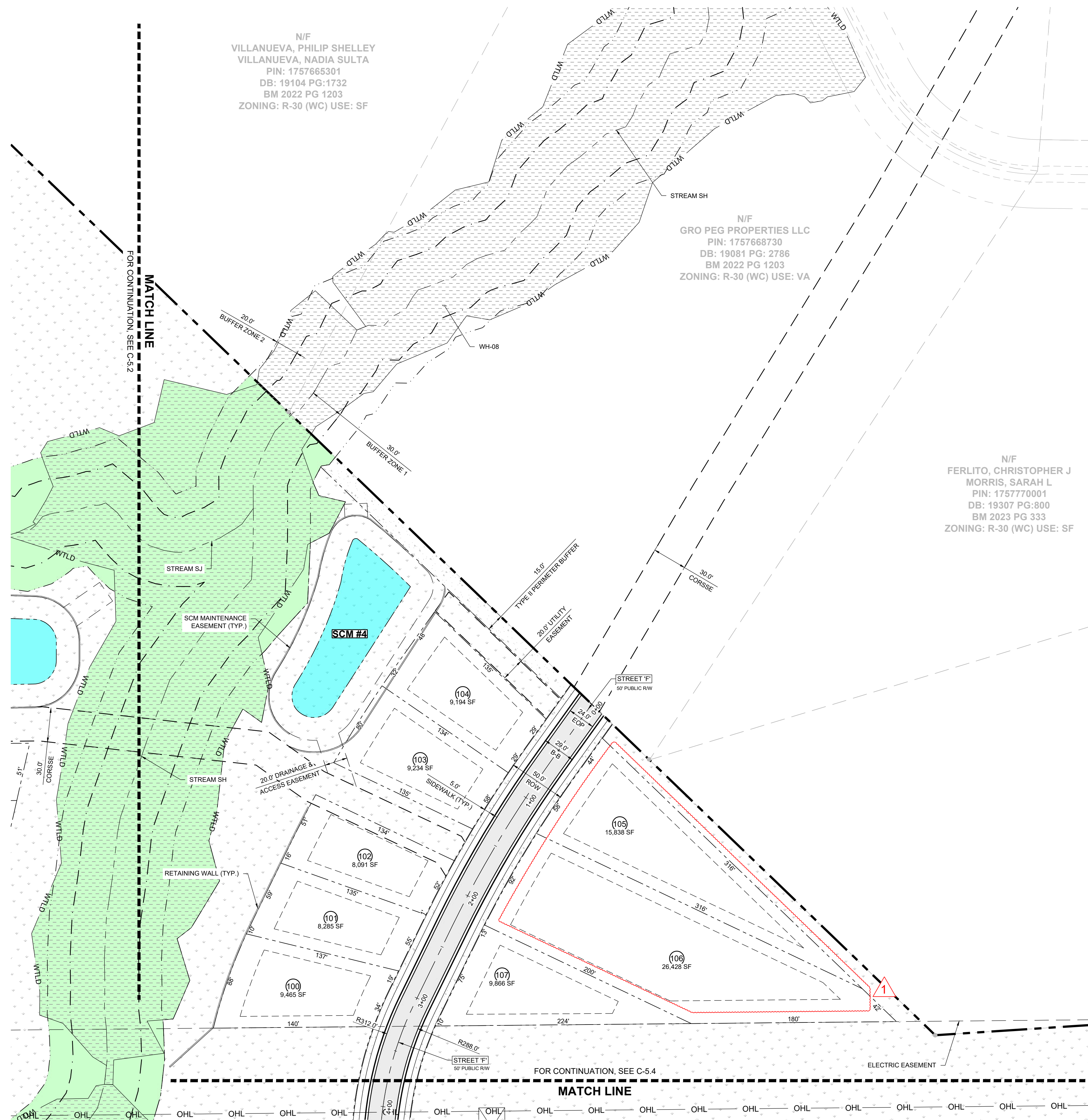
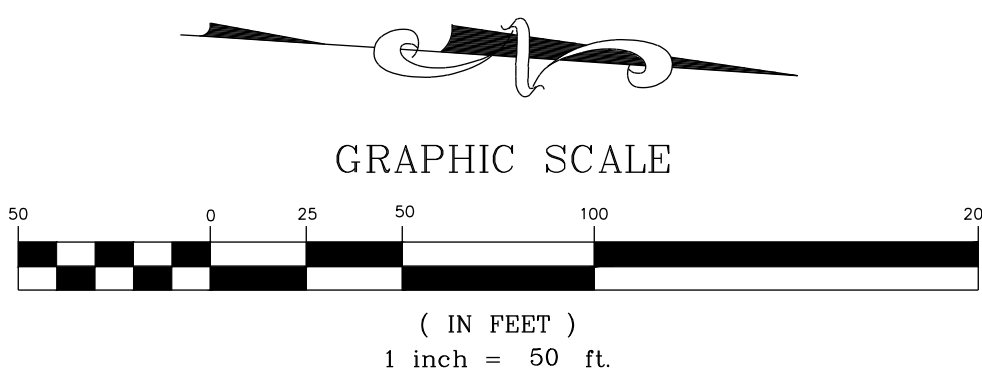
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SITE KEY PLAN

LEGEND:

SEE SHEET C-5.0 FOR LEGEND, LINE AND CURVE TABLES



NO.	DATE	REVISIONS	BY
0	06/30/2024		
1	08/30/2024		



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305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL
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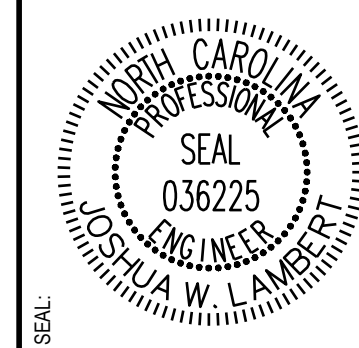
HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

PARTIAL SITE PLAN III

DRAWING SHEET
C-5.3

THIS PLANSET AND ANY ASSOCIATED DOCUMENTS ARE PRELIMINARY AND NOT AUTHORIZED FOR CONSTRUCTION UNTIL SIGNED, DATED, AND OFFICIALLY RELEASED FOR CONSTRUCTION BY THE ENGINEER OF RECORD.

NO.	REVISIONS	DATE	BY
0			
1			



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305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

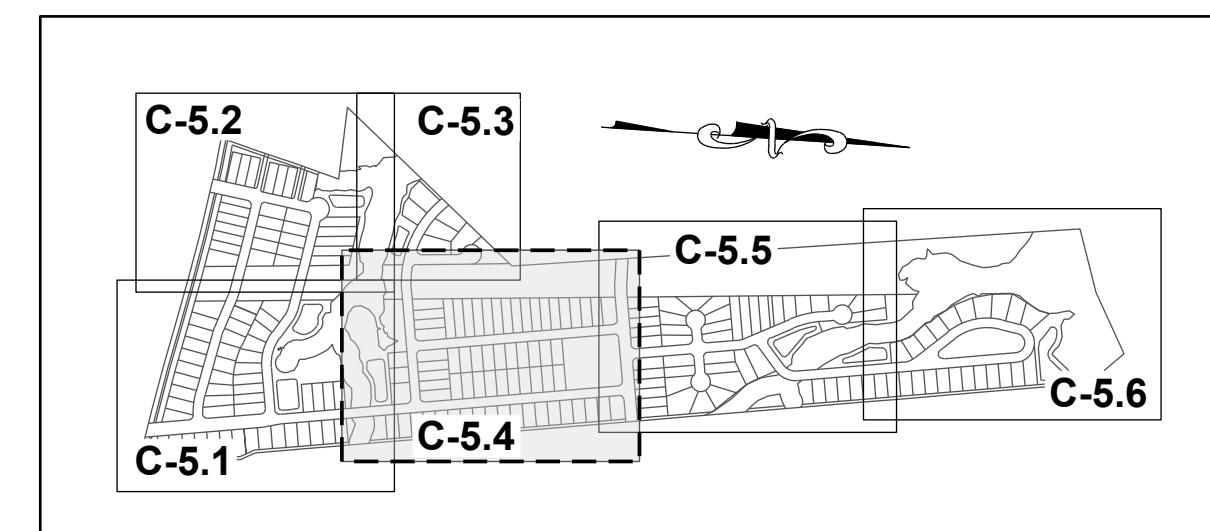
STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	JWL	SRG	JWL
			DESIGNED BY	DRAWN BY	CHECKED BY

HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

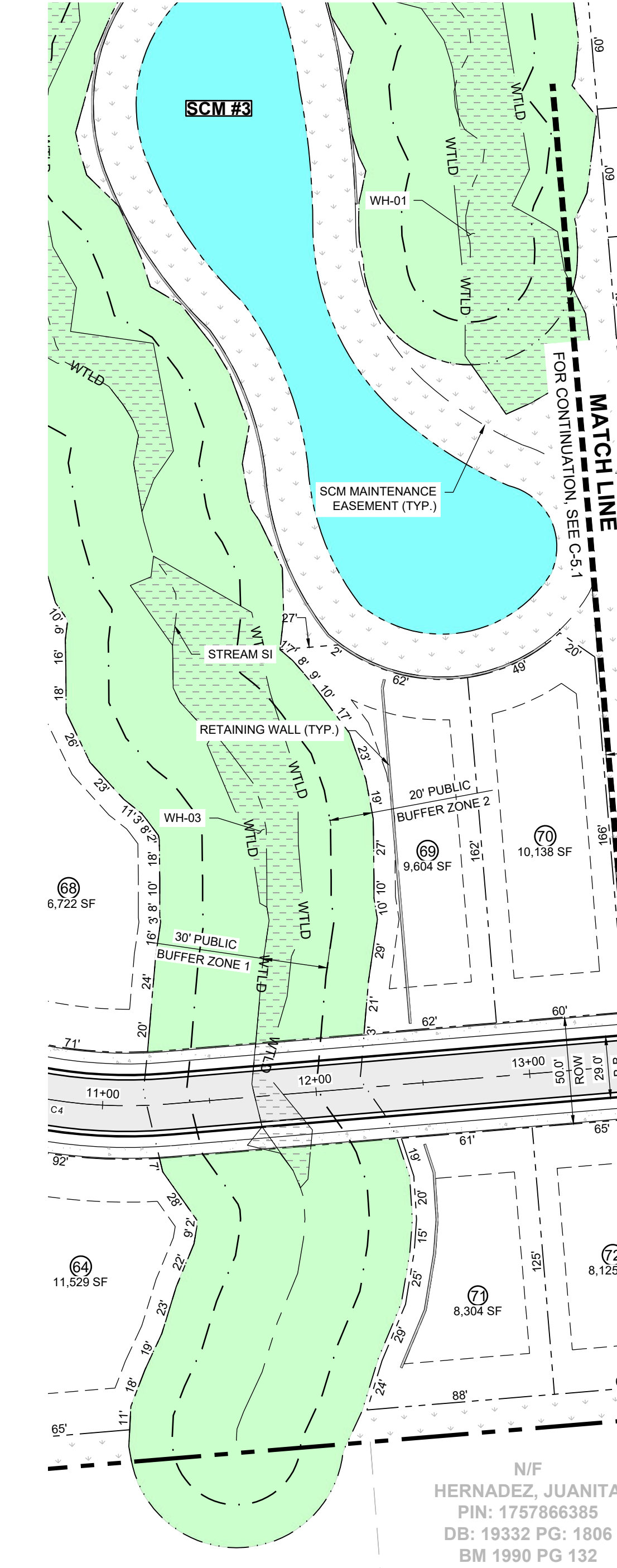
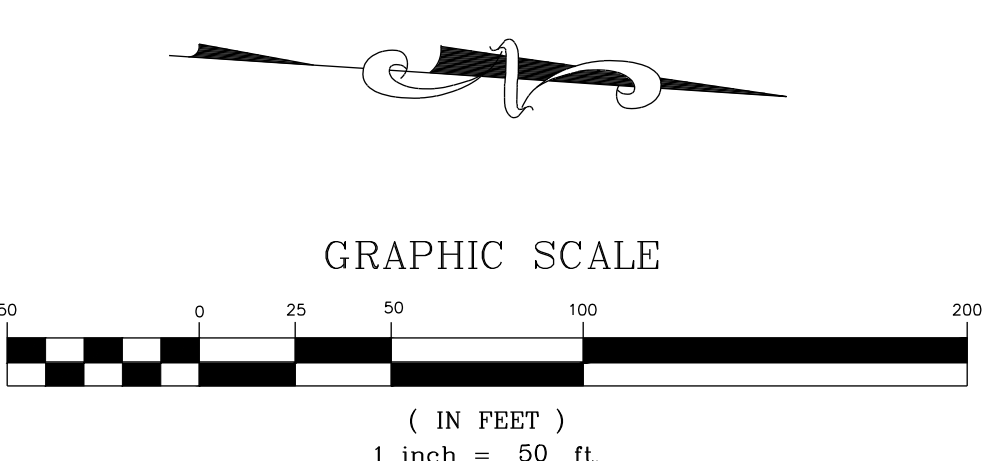
PARTIAL SITE PLAN IV

N/F
BEATTIE, LENORA M
PIN: 1757875349
DB: 07-E PG: 2834
ZONING: R-30 (WC) USE: SF

DRAWING SHEET
C-5.4



SITE KEY PLAN
LEGEND:
SEE SHEET C-5.0 FOR LEGEND, LINE AND CURVE TABLES



N/F
HERNADEZ, JUANITA
PIN: 1757866385
DB: 19332 PG: 1806
BM 1990 PG 132
ZONING: R-30 (WC) USE: MO

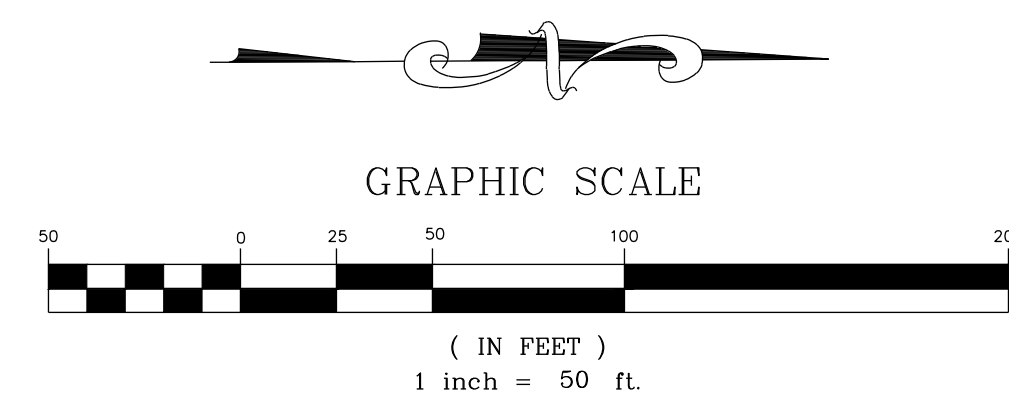
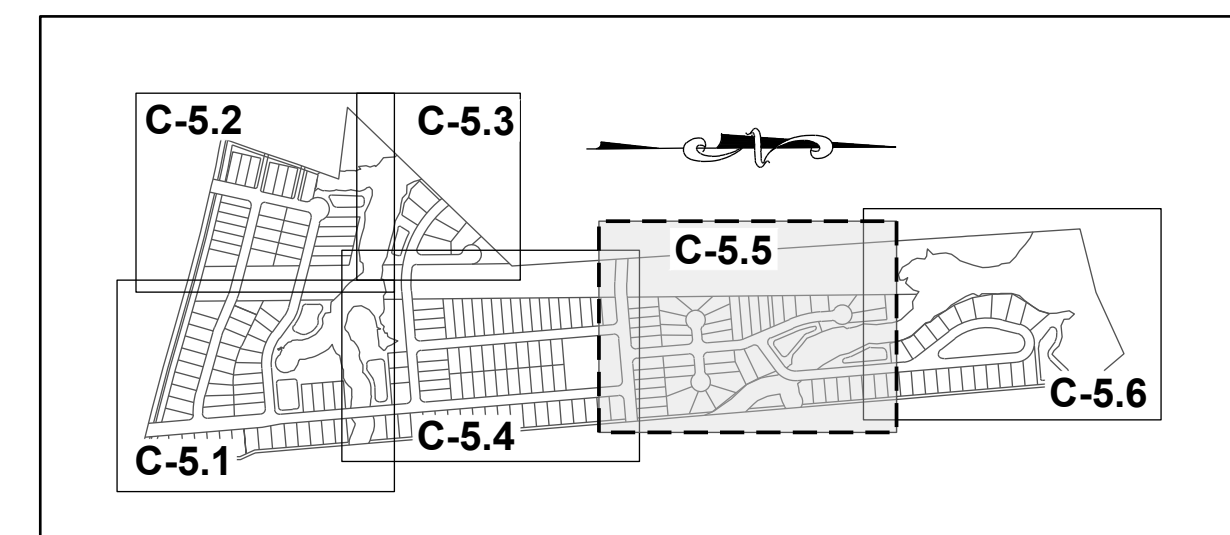
N/F
GOLD, SHARIE
PIN: 1757866660
DB: PG:
BM 1990 PG 00623
ZONING: R-30 (WC) USE: SF

N/F
LEFRANCOIS CONSTRUCTION CO INC
PIN: 1757866852
DB: 18468 PG: 2535
BM 2002 PG 352
ZONING: R-30 (WC) USE: VA

N/F
LEFRANCOIS, MICHAEL L LEFRANCOIS, TONIA
PIN: 1757876015
DB: 14356 PG: 1438
BM 2002 PG 352
ZONING: R-30 (WC) USE: SF

N/F
BEATTIE, LENORA M
PIN: 1757875349
DB: 07-E PG: 2834
ZONING: R-30 (WC) USE: SF

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LEGEND: SEE SHEET C-5.0 FOR LEGEND, LINE AND CURVE TABLES

N/F CARLE, SCOTT CARLE, THERESA
PIN: 1757780258
DB: 14863 PG: 2493
BM 2008 PG 2198
ZONING: R-30 (WC) USE: SF

N/F CARLE, SCOTT CARLE, THERESA
PIN: 1757781960
DB: 14863 PG: 2493
BM 2009 PG 645
ZONING: R-30 (WC) USE: VA

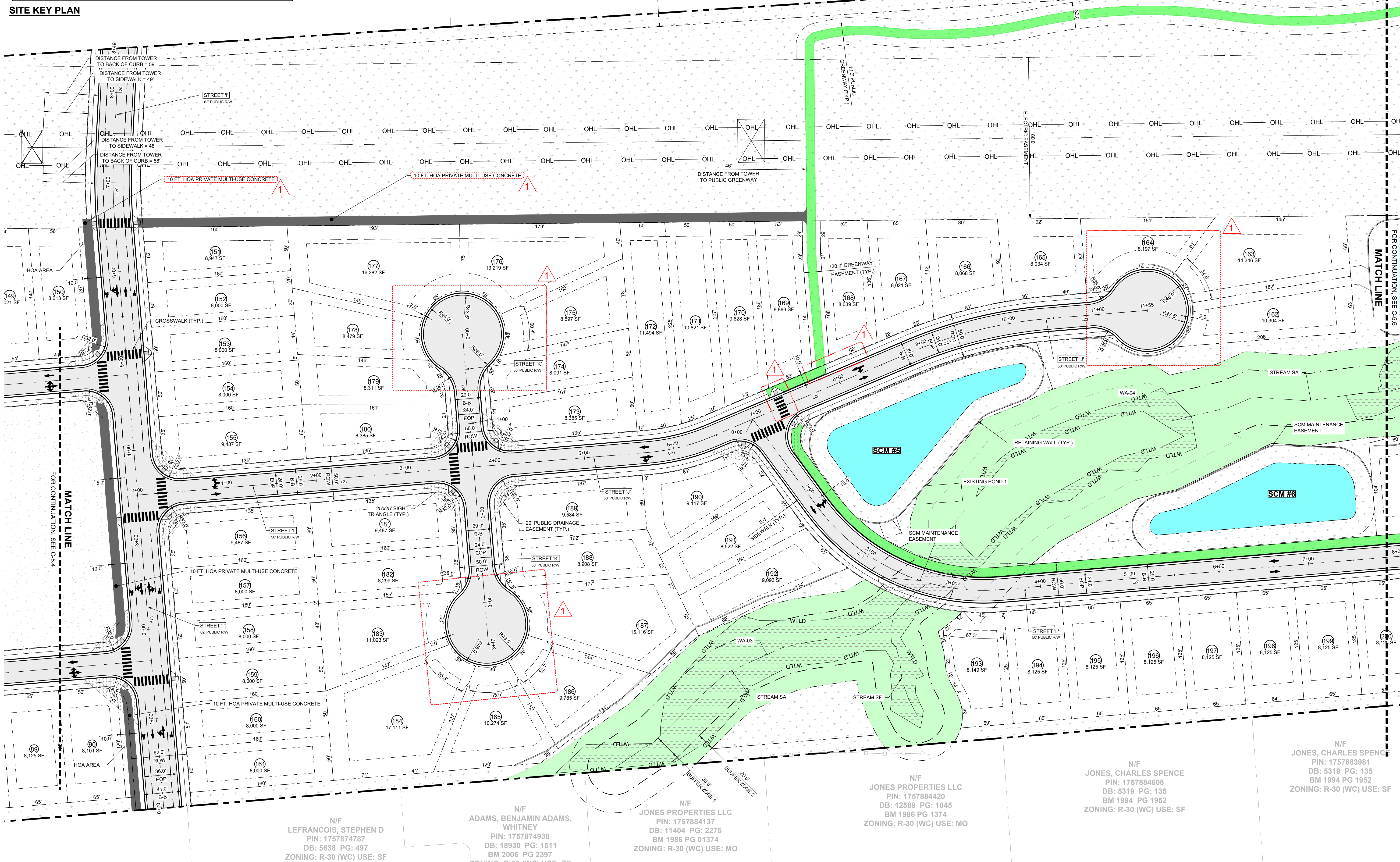


Table with columns: No., REVISIONS, DATE, BY.



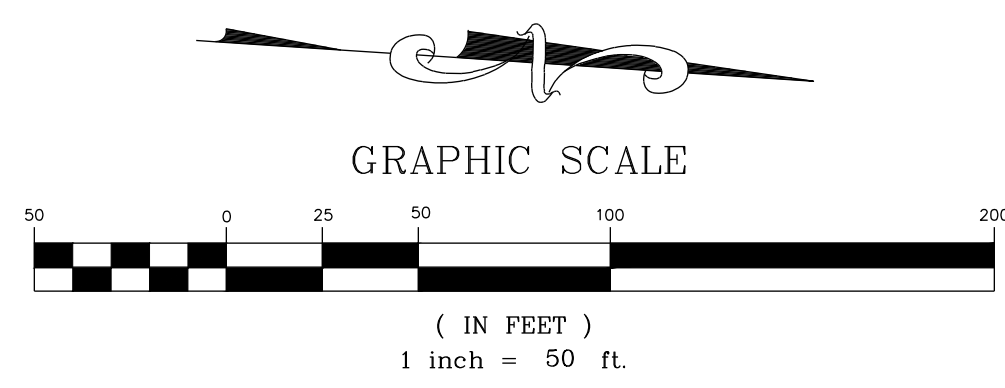
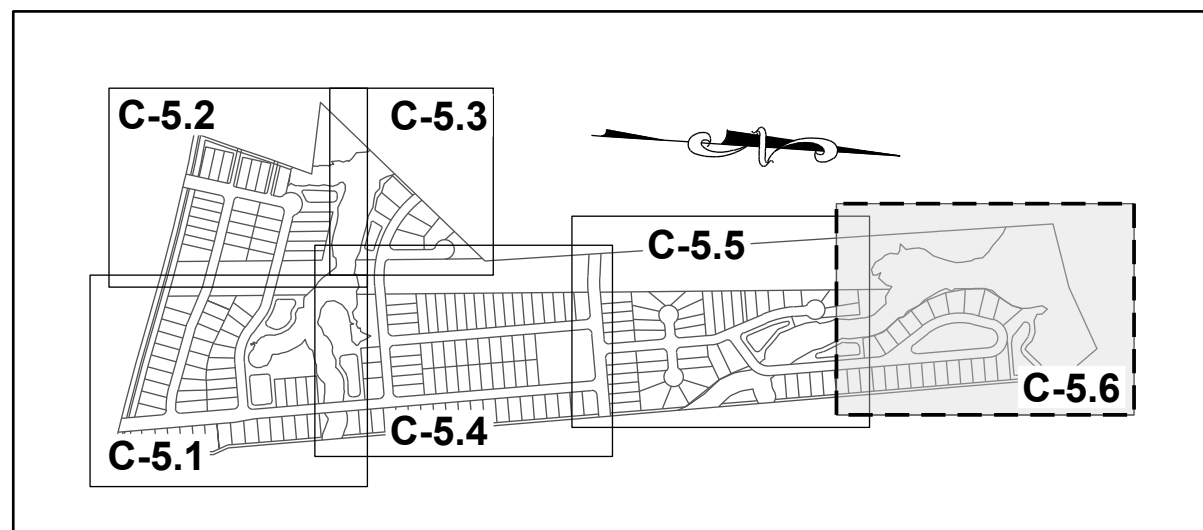
STRONGROCK
ENGINEERING GROUP
STRONG ROCK ENGINEERING GROUP PLLC COMPANY LICENSE # P-2166
305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

Table with columns: STRONG ROCK PROJECT, NOT FOR CONSTRUCTION, SCALE, AS SHOWN, DESIGNED BY, DRAWN BY, CHECKED BY.

HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
PARTIAL SITE PLAN V

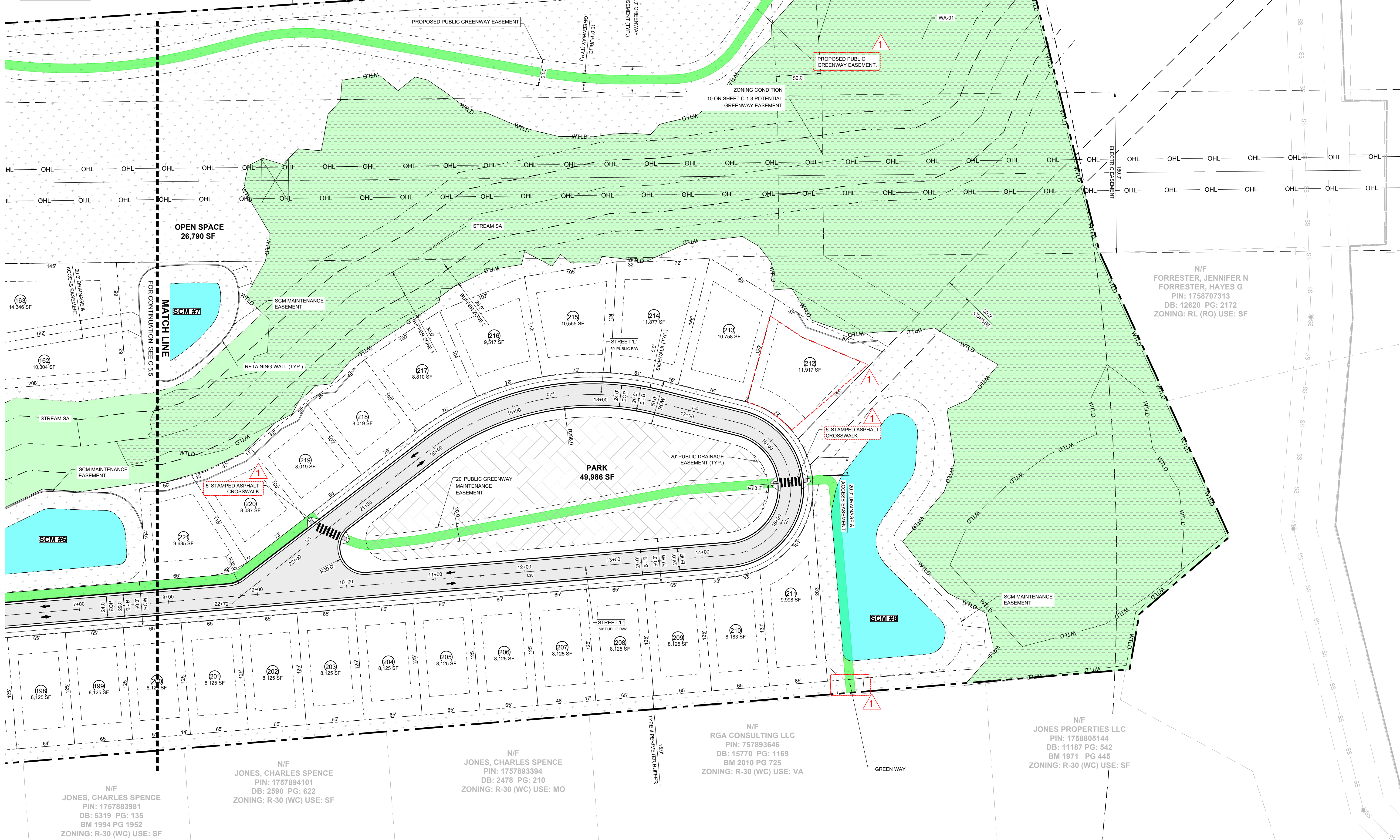
DRAWING SHEET
C-5.5

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LEGEND:
SEE SHEET C-5.0 FOR LEGEND, LINE AND CURVE TABLES

SITE KEY PLAN



NO.	REVISIONS	DATE	BY
0			
1			



STRONGROCK
ENGINEERING GROUP

STRONG ROCK ENGINEERING GROUP, PLLC COMPANY LICENSE # P-2168
305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY	DRAWN BY	CHECKED BY

HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

PARTIAL SITE PLAN VI

DRAWING SHEET
C-5.6

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LOT SIZE TABLE		
LOT NUMBER	AREA (SF)	LOT FRONTAGE (LF)
1	8,000	50
2	8,000	50
3	10,400	65
4	10,117	60
5	9,729	60
6	9,341	60
7	9,805	81
8	9,789	70
9	10,239	52
10	10,209	52
11	10,230	52
12	10,305	52
13	10,328	78
14	8,039	60
15	8,038	60
16	8,039	60
17	10,383	78
18	8,041	60
19	8,041	60
20	8,042	60

LOT SIZE TABLE		
LOT NUMBER	AREA (SF)	LOT FRONTAGE (LF)
21	10,680	91
22	8,670	55
23	8,000	50
24	8,000	50
25	8,000	50
26	8,001	50
27	8,001	50
28	12,251	62
29	11,711	98
30	8,938	66
31	8,657	64
32	8,656	64
33	8,656	64
34	8,656	64
35	8,656	64
36	8,716	64
37	9,251	66
38	8,000	64
39	8,000	66
40	8,000	73

LOT SIZE TABLE		
LOT NUMBER	AREA (SF)	LOT FRONTAGE (LF)
41	8,000	73
42	8,000	72
43	8,000	74
44	8,176	65
45	8,496	59
46	9,202	62
47	11,193	115
48	8,000	66
49	8,000	65
50	8,000	64
51	8,000	55
52	8,130	52
53	8,000	52
54	8,000	51
55	8,099	60
56	8,232	70
57	8,000	65
58	8,309	65
59	8,630	65
60	9,107	65

LOT SIZE TABLE		
LOT NUMBER	AREA (SF)	LOT FRONTAGE (LF)
61	9,884	68
62	11,055	58
63	9,457	66
64	11,529	101
65	13,530	61
66	11,306	51
67	14,598	55
68	16,722	75
69	9,604	59
70	10,138	60
71	8,304	57
72	8,125	65
73	8,125	65
74	8,125	65
75	8,125	65
76	8,125	65
77	8,125	65
78	8,125	65
79	8,125	65
80	8,125	65

LOT SIZE TABLE		
LOT NUMBER	AREA (SF)	LOT FRONTAGE (LF)
81	8,125	65
82	8,125	65
83	8,125	65
84	8,125	65
85	8,125	65
86	8,125	65
87	8,125	65
88	8,125	65
89	8,125	65
90	8,101	65
91	8,040	61
92	8,040	60
93	8,040	60
94	8,040	60
95	8,040	60
96	8,040	60
97	8,040	60
98	8,040	60
99	8,395	59
100	9,465	59

LOT SIZE TABLE		
LOT NUMBER	AREA (SF)	LOT FRONTAGE (LF)
101	8,285	57
102	8,091	56
103	9,234	61
104	9,194	61
105	15,838	95
106	26,428	92
107	9,866	89
108	8,797	60
109	8,145	51
110	8,145	51
111	8,170	52
112	9,466	60
113	8,000	50
114	8,000	50
115	8,000	50
116	9,466	60
117	8,100	60
118	8,100	60
119	8,100	60
120	8,100	60

LOT SIZE TABLE		
LOT NUMBER	AREA (SF)	LOT FRONTAGE (LF)
121	8,100	60
122	8,100	60
123	8,100	60
124	8,100	60
125	8,100	60
126	8,100	60
127	8,100	60
128	8,100	60
129	8,100	60
130	8,100	60
131	8,100	60
132	8,100	60
133	8,100	60
134	8,100	60
135	10,067	50
136	9,882	50
137	9,697	50
138	9,512	50
139	9,327	50
140	9,142	50

LOT SIZE TABLE		
LOT NUMBER	AREA (SF)	LOT FRONTAGE (LF)
141	8,957	50
142	8,772	50
143	8,587	50
144	8,402	50
145	8,218	50
146	8,667	54
147	8,436	54
148	8,221	54
149	8,021	54
150	8,013	56
151	8,947	60
152	8,000	50
153	8,000	50
154	8,000	50
155	9,487	60
156	9,487	60
157	8,000	50
158	8,000	50
159	8,000	50
160	8,000	50

LOT SIZE TABLE		
LOT NUMBER	AREA (SF)	LOT FRONTAGE (LF)
161	8,000	50
162	10,304	53
163	14,346	53
164	8,197	121
165	8,034	92
166	8,068	81
167	8,021	68
168	8,039	58
169	8,883	53
170	9,828	53
171	10,821	52
172	11,494	50
173	8,385	48
174	8,091	57
175	8,597	51
176	13,219	78
177	16,282	81
178	8,479	52
179	8,311	59
180	8,385	50

LOT SIZE TABLE		
LOT NUMBER	AREA (SF)	LOT FRONTAGE (LF)
181	9,487	60
182	8,299	56
183	11,023	67
184	17,111	56
185	10,274	55
186	9,785	53
187	15,116	66
188	8,908	56
189	9,584	60
190	9,117	55
191	8,522	60
192	9,093	62
193	8,149	69
194	8,125	65
195	8,125	65
196	8,125	65
197	8,125	65
198	8,125	65
199	8,125	65
200	8,125	65

LOT SIZE TABLE		
LOT NUMBER	AREA (SF)	LOT FRONTAGE (LF)
201	8,125	65
202	8,125	65
203	8,125	65
204	8,125	65
205	8,125	65
206	8,125	65
207	8,125	65
208	8,125	65
209	8,125	65
210	8,183	65
211	9,998	81
212	11,917	82
213	10,758	80
214	11,877	81
215	10,555	81
216	9,517	81
217	8,810	81
218	8,019	80
219	8,019	80
220	8,087	80
221	9,635	105

06/30/2024	08/30/2024
TOWN OF ROLESVILLE V1-FSP-24-03	TOWN OF ROLESVILLE V2-FSP-24-03
1	0
NO.	NO.
REVISIONS	DATE

STRONGROCK
ENGINEERING GROUP

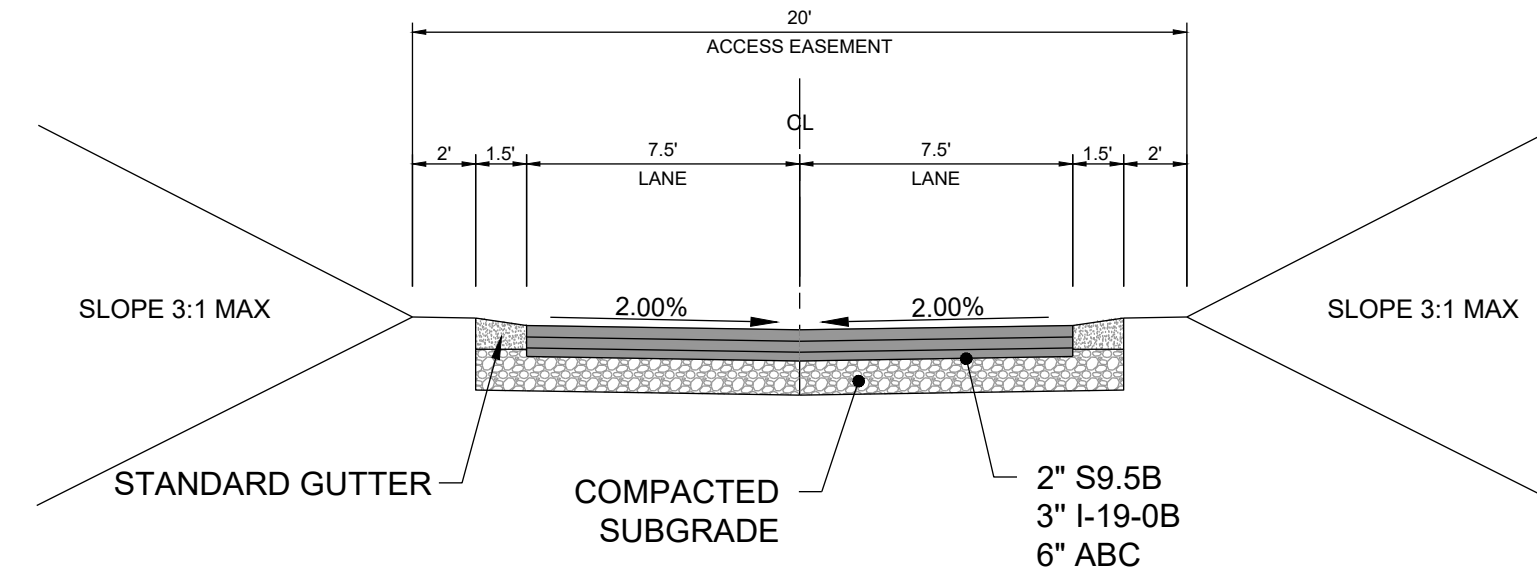
STRONG ROCK ENGINEERING GROUP, PLLC COMPANY LICENSE # P-2166
3015 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY	DRAWN BY	CHECKED BY
			JWL	JWL	JWL

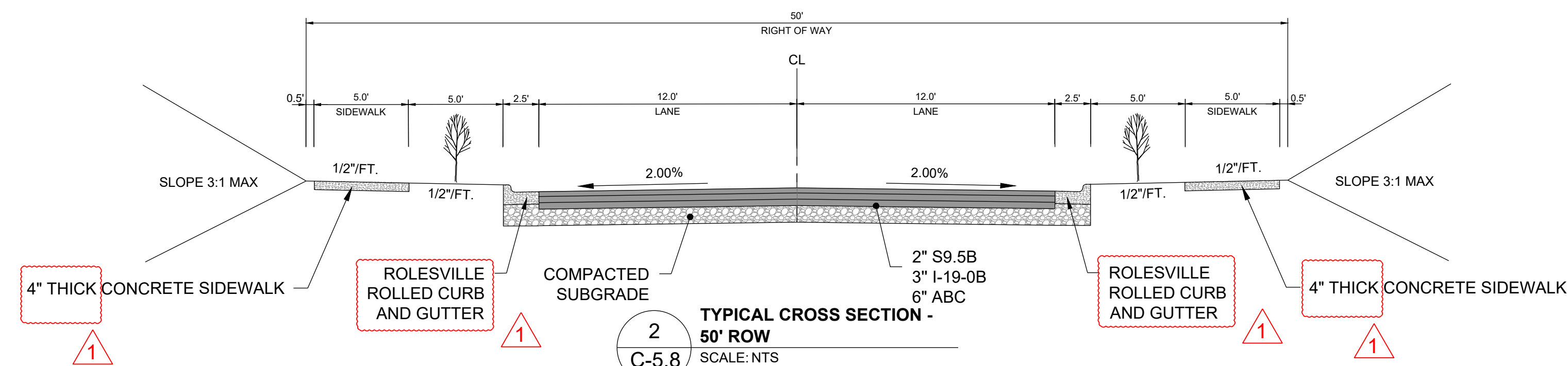
HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

LOT SIZE TABLES

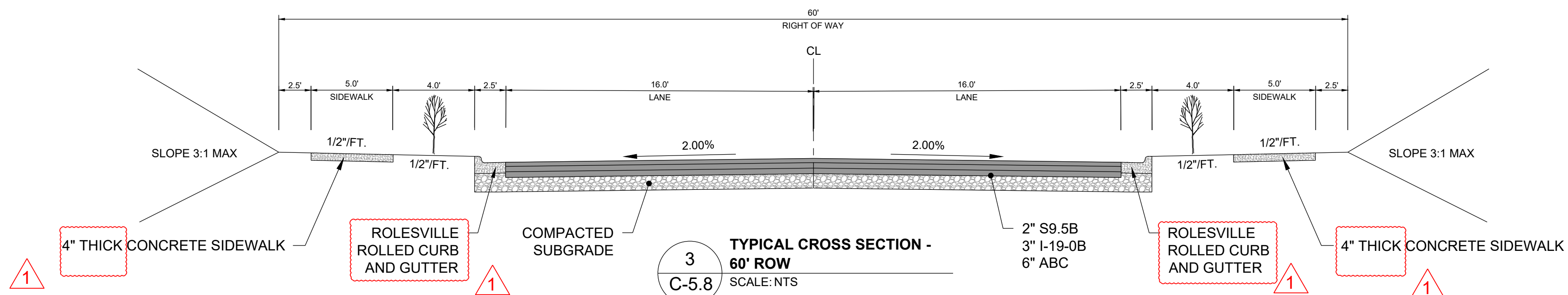
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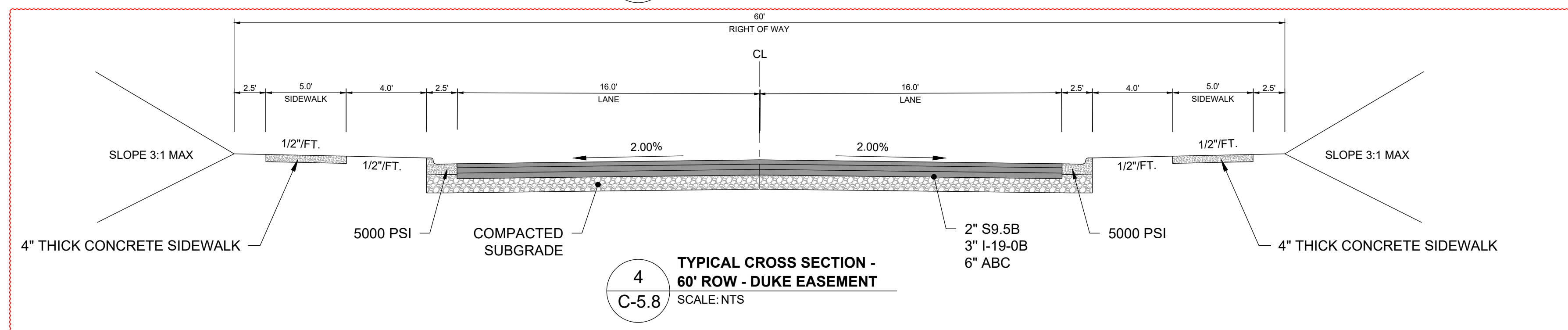
1
TYPICAL CROSS SECTION -
20' PRIVATE OFFSITE DRIVEWAY
C-5.8 SCALE: NTS



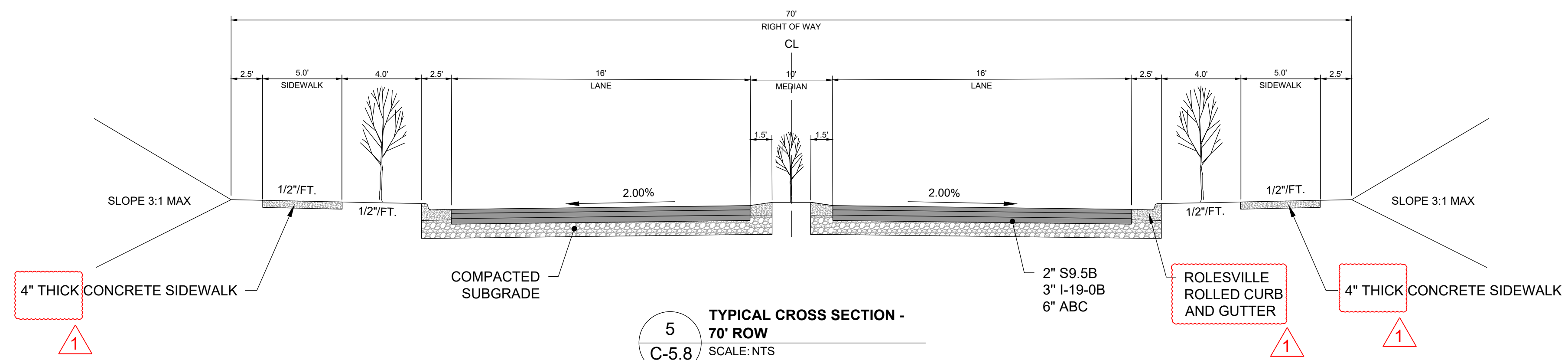
2
TYPICAL CROSS SECTION -
50' ROW
C-5.8 SCALE: NTS



3
TYPICAL CROSS SECTION -
60' ROW
C-5.8 SCALE: NTS



4
TYPICAL CROSS SECTION -
60' ROW - DUKE EASEMENT
C-5.8 SCALE: NTS



5
TYPICAL CROSS SECTION -
70' ROW
C-5.8 SCALE: NTS

NO.	DATE	BY
0		
1		



STRONGROCK
ENGINEERING GROUP

STRONG ROCK ENGINEERING GROUP, PLLC | COMPANY LICENSE # P-2166
306 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL
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HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

TYPICAL STREET SECTION

DRAWING SHEET
C-5.8

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0	TOWN OF ROLESVILLE V1-FSP-24-03	05/30/2024	ISREG
1	TOWN OF ROLESVILLE V2-FSP-24-03	08/30/2024	ISREG



STRONGROCK
ENGINEERING GROUP

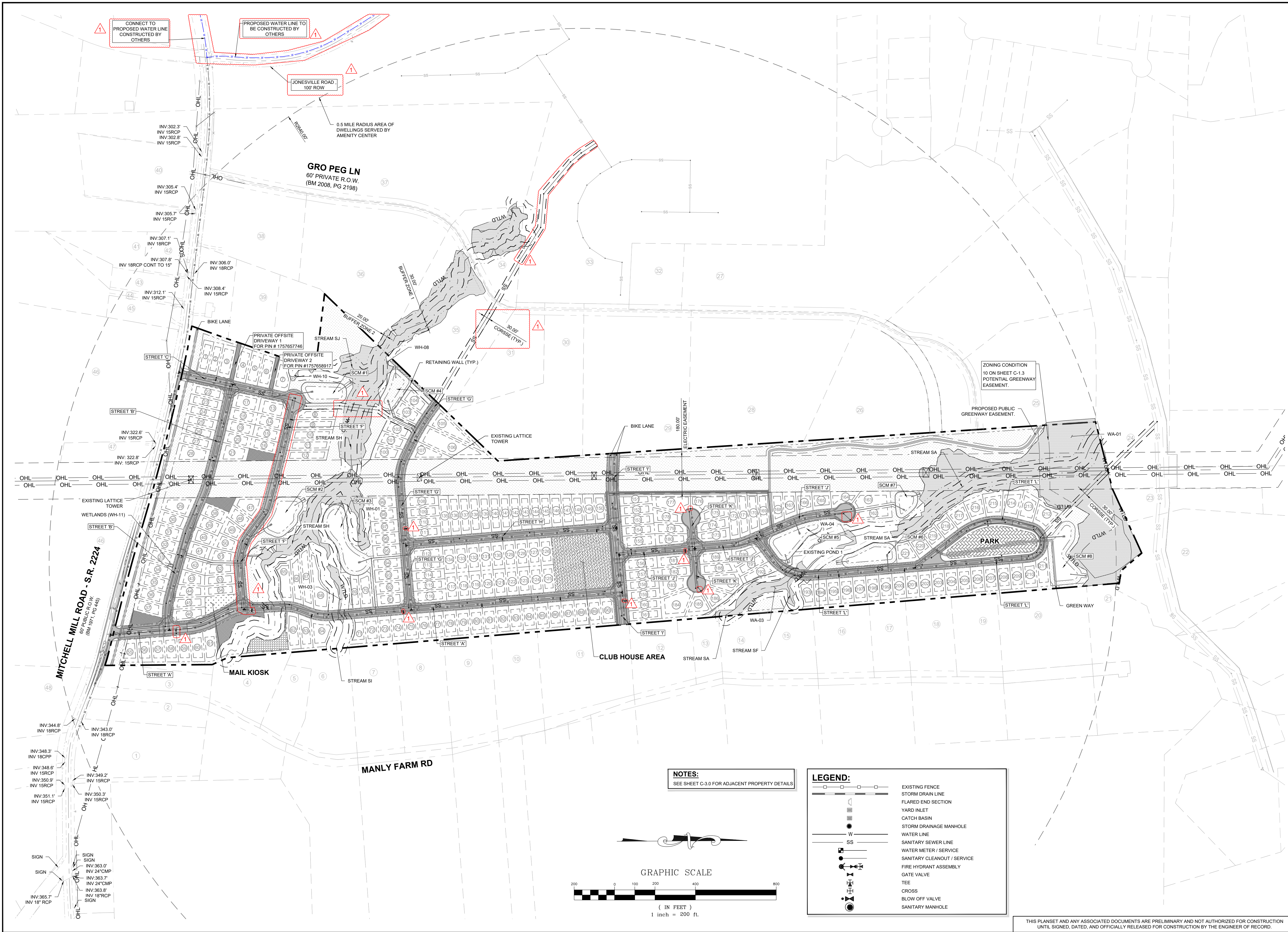
STRONG ROCK ENGINEERING GROUP, PLLC (COMPANY LICENSE # P-2166)
305 CHURCH AT NORTH HILLS STREET, SUITE 1110-PALEIGH, NC 27659 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	JWL	SRG	JWL
			DESIGNED BY	DRAWN BY	CHECKED BY

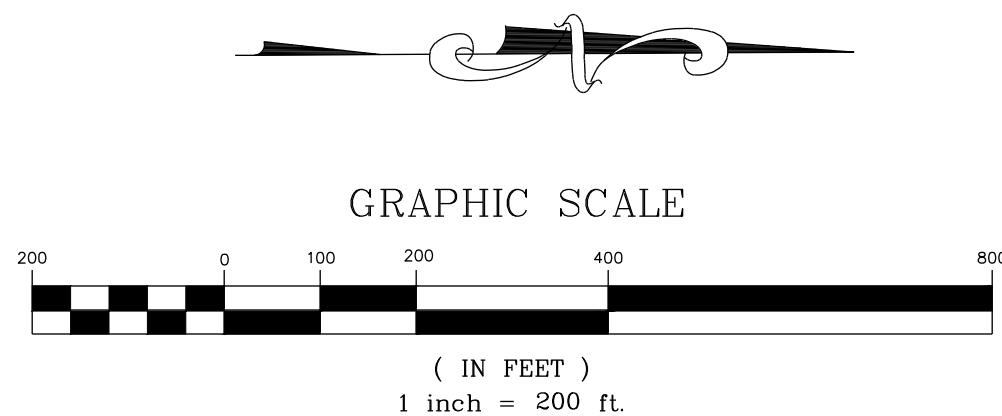
HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

OVERALL UTILITY PLAN

DRAWING SHEET
C-6.0



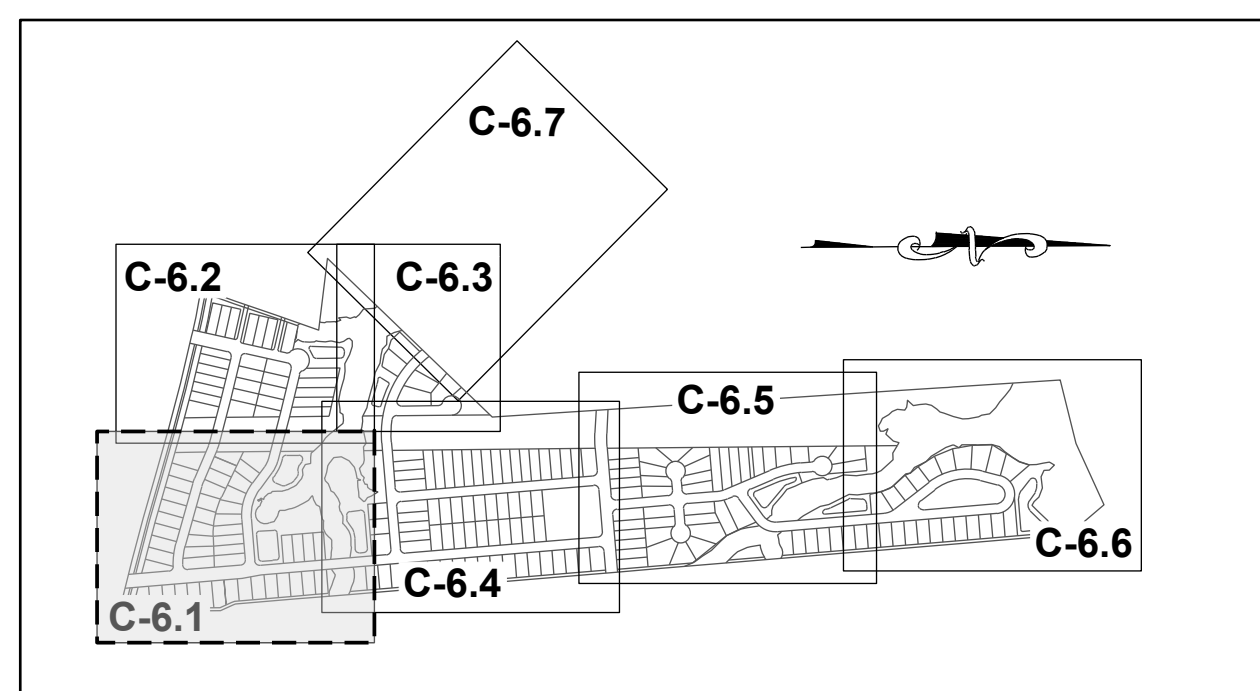
NOTES:
SEE SHEET C-3.0 FOR ADJACENT PROPERTY DETAILS



LEGEND:

	EXISTING FENCE
	STORM DRAIN LINE
	FLARED END SECTION
	YARD INLET
	CATCH BASIN
	STORM DRAINAGE MANHOLE
	WATER LINE
	SANITARY SEWER LINE
	WATER METER / SERVICE
	SANITARY CLEANOUT / SERVICE
	FIRE HYDRANT ASSEMBLY
	GATE VALVE
	TEE
	CROSS
	BLOW OFF VALVE
	SANITARY MANHOLE

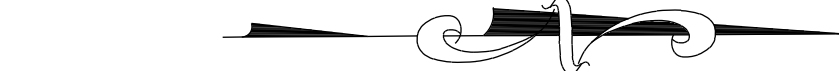
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SITE KEY PLAN

LEGEND:

SEE SHEET C-6.0 FOR LEGEND.



GRAPHIC SCALE



(IN FEET)
1 inch = 50 ft.

N/F
SOUTHVIEW INVESTMENT LLC
PIN: 1757738451
DB: 19248 PG: 2000
ZONING: R-30 (WC) USE: SF

MITCHELL MILL ROAD - S.R. 2224
60' PUBLIC R.O.W.
(BM 1971, PG 445)

N/F
JONES, CHARLES, ET,AL
PIN: 1757856303
DB: 13359 PG: 400
ZONING: R-30 (WC) USE: AG

N/F
JONES PROPERTIES LLC
PIN: 1757856755
DB: 12895 PG: 505
BM: 1993 PG: 446
ZONING: R-30 (WC) USE: SF

N/F
JONES, CHARLES SPENCER
PIN: 1757857937
DB: 9320 PG: 1460
BM 1993 PG 446
ZONING: R-30 (WC) USE: SF

N/F
ANDERSON, BOBBY G
PIN: 1757868104
DB: 8776 PG: 573
BM 1993 PG 446
ZONING: R-30 (WC) USE: MO

N/F
HERNADEZ, JUANITA
PIN: 1757866385
DB: 19332 PG: 1806
BM 1990 PG 132
ZONING: R-30 (WC) USE: MO

HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

PARTIAL UTILITY PLAN I

DRAWING SHEET

C-6.1

30 OF 57

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NO.	REVISIONS	DATE	BY
0			
1			

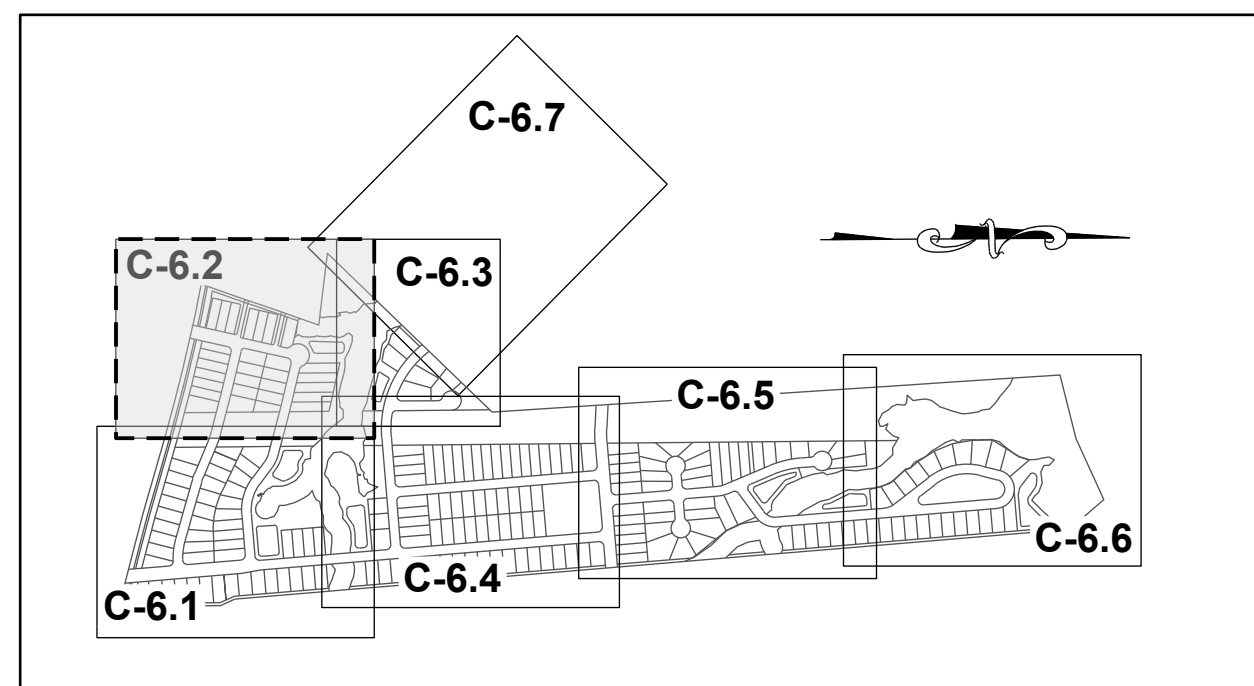


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ENGINEERING GROUP

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STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE	AS SHOWN	JWL	SRG	JWL	SRG

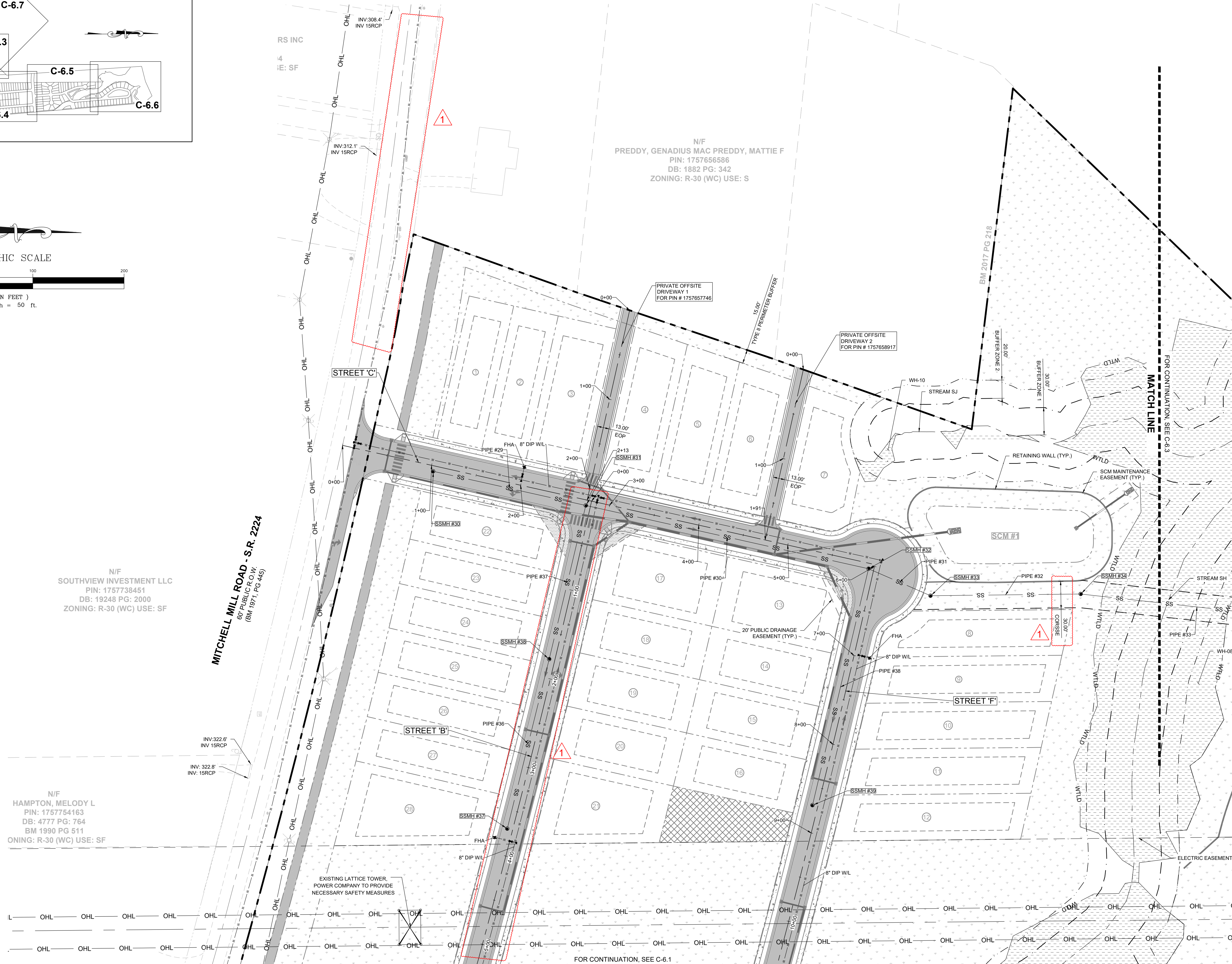
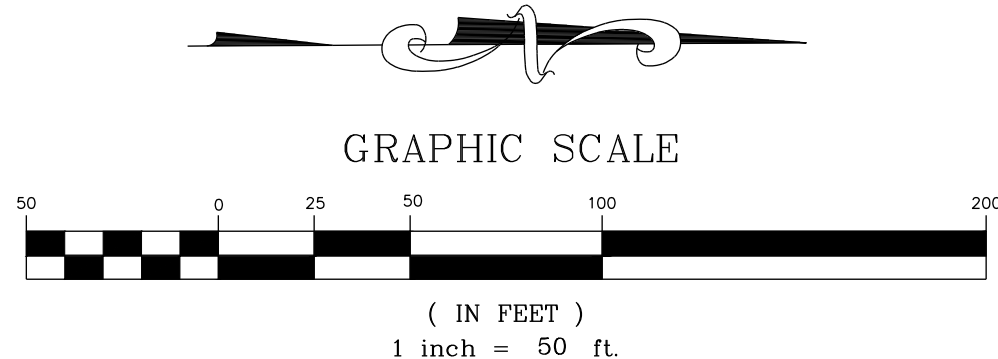
DESIGNED BY	DRAWN BY	CHECKED BY



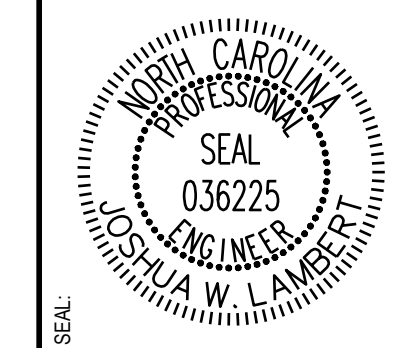
SITE KEY PLAN

LEGEND:

SEE SHEET C-6.0 FOR LEGEND.



NO.	REVISIONS	DATE	BY
0			
1			



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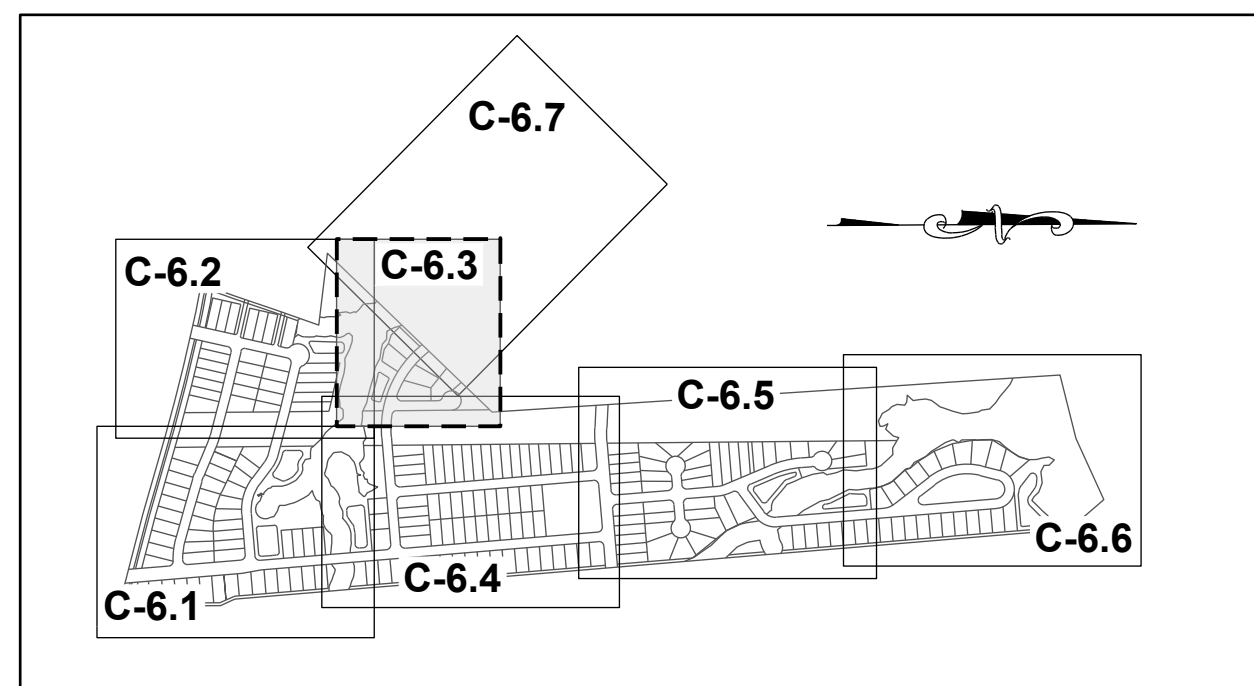
STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	AS SHOWN	JWL	SRG	JWL

HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

PARTIAL UTILITY PLAN II

DRAWING SHEET
C-6.2

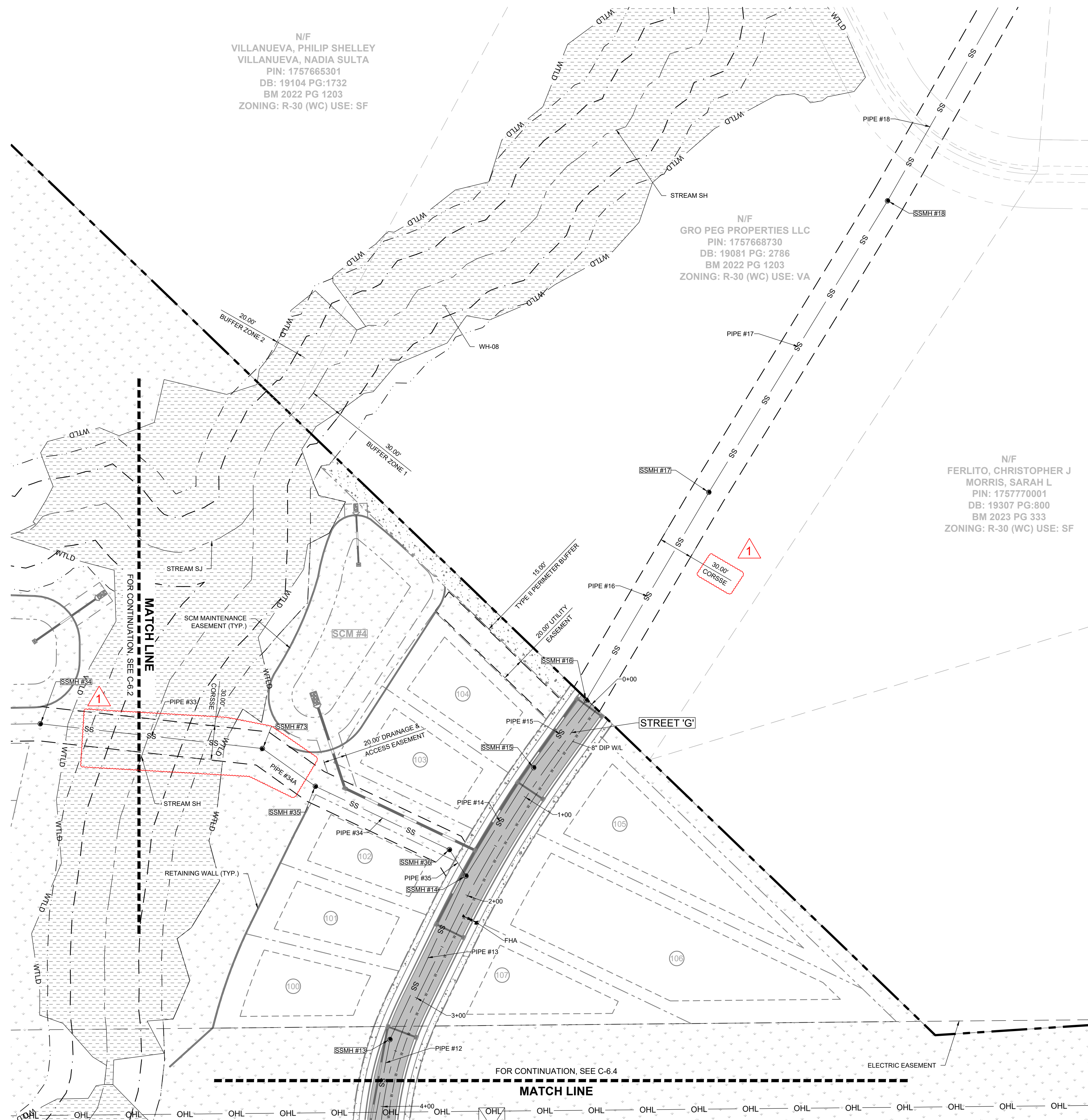
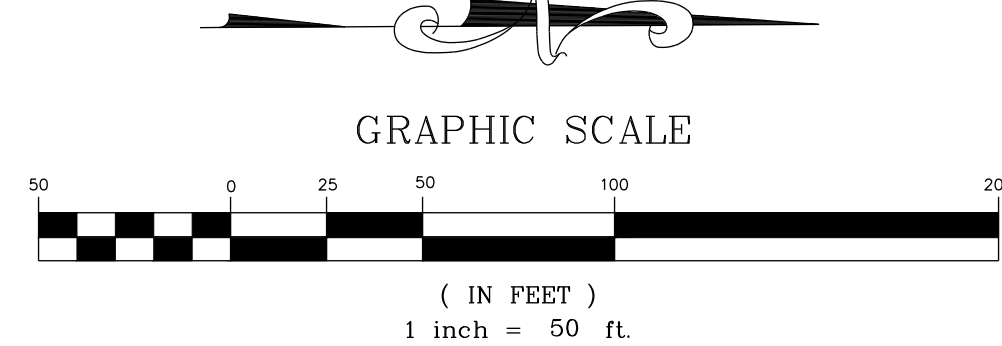
THIS PLANSET AND ANY ASSOCIATED DOCUMENTS ARE PRELIMINARY AND NOT AUTHORIZED FOR CONSTRUCTION UNTIL SIGNED, DATED, AND OFFICIALLY RELEASED FOR CONSTRUCTION BY THE ENGINEER OF RECORD.



SITE KEY PLAN

LEGEND:

SEE SHEET C-6.0 FOR LEGEND.

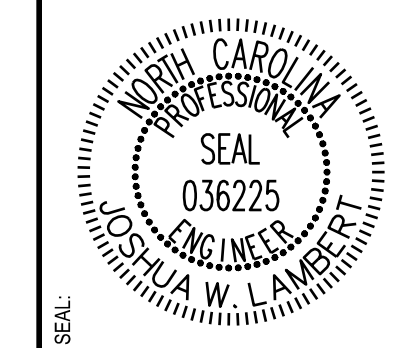


N/F
VILLANUEVA, PHILIP SHELLEY
VILLANUEVA, NADIA SULTA
PIN: 1757665301
DB: 19104 PG:1732
BM 2022 PG 1203
ZONING: R-30 (WC) USE: SF

N/F
GRO PEG PROPERTIES LLC
PIN: 1757668730
DB: 19081 PG: 2786
BM 2022 PG 1203
ZONING: R-30 (WC) USE: VA

N/F
FERLITO, CHRISTOPHER J
MORRIS, SARAH L
PIN: 1757770001
DB: 19307 PG:800
BM 2023 PG 333
ZONING: R-30 (WC) USE: SF

NO.	DATE	REVISIONS	BY
0	05/30/2024		
1	08/30/2024		



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306 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

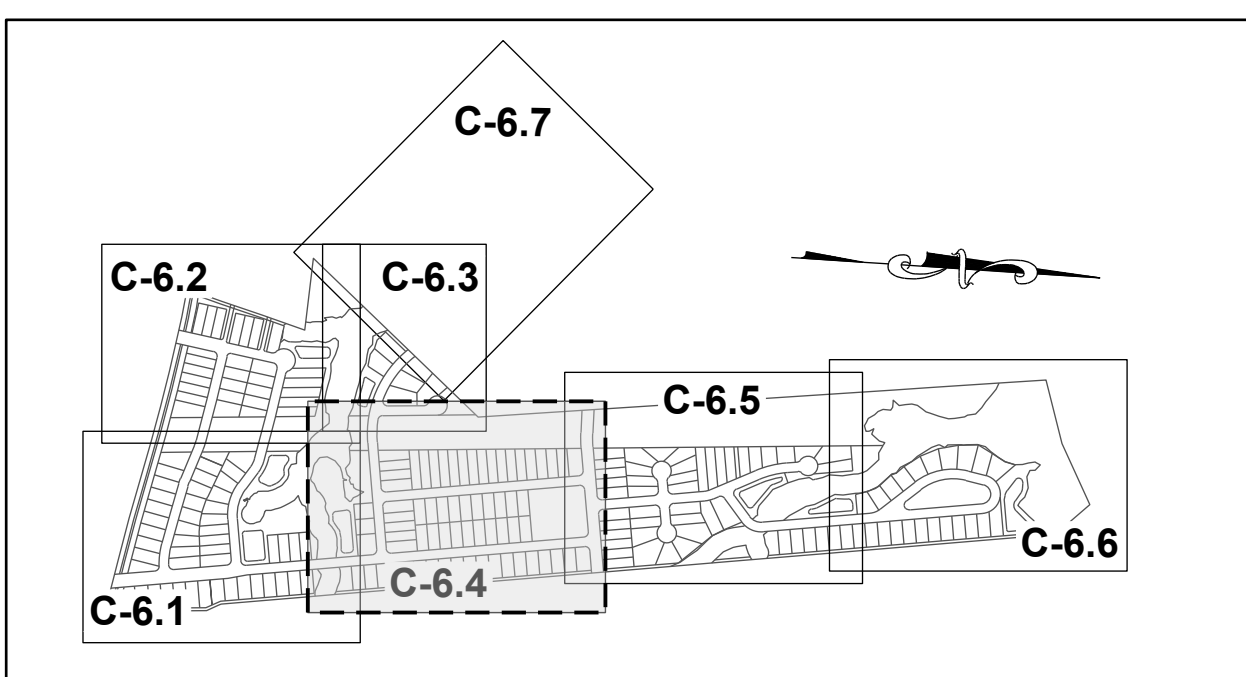
STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	JWL	SRG	JWL
			DESIGNED BY	DRAWN BY	CHECKED BY

HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

PARTIAL UTILITY PLAN III

DRAWING SHEET
C-6.3

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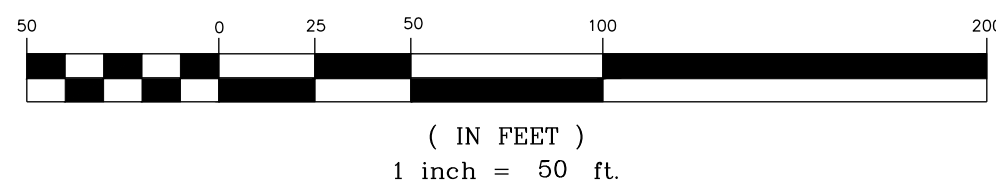
SITE KEY PLAN

LEGEND:

SEE SHEET C-6.0 FOR LEGEND.



GRAPHIC SCALE



N/F
HERNADEZ, JUANITA
PIN: 1757866385
DB: 19332 PG: 1806
BM 1990 PG 132
ZONING: R-30 (WC) USE: MO

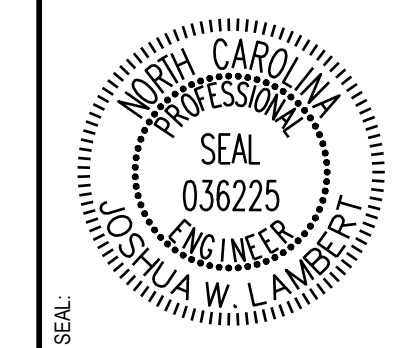
N/F
GOLD, SHARIE
PIN: 1757866660
DB: PG:
BM 1990 PG 00623
ZONING: R-30 (WC) USE: SF

N/F
LEFRANCOIS CONSTRUCTION CO INC
PIN: 1757866852
DB: 18468 PG: 2535
BM 2002 PG 352
ZONING: R-30 (WC) USE: VA

N/F
LEFRANCOIS, MICHAEL L LEFRANCOIS, TONIA
PIN: 1757876015
DB: 14356 PG: 1438
BM 2002 PG 352
ZONING: R-30 (WC) USE: SF

N/F
BEATTIE, LENORA M
PIN: 1757875349
DB: 07-E PG: 2834
ZONING: R-30 (WC) USE: SF

NO.	REVISIONS	DATE	BY
0			
1			



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ENGINEERING GROUP

STRONGROCK PROJECT	NOT FOR CONSTRUCTION	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
		AS SHOWN	JWL	SRG	JWL

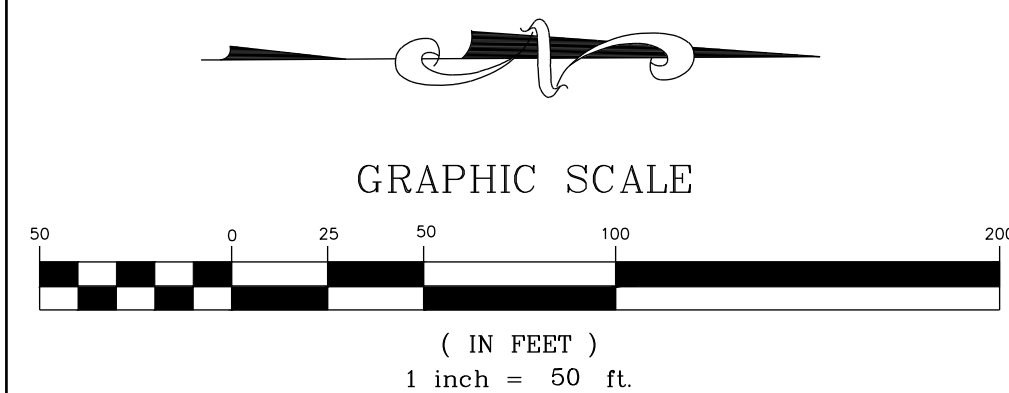
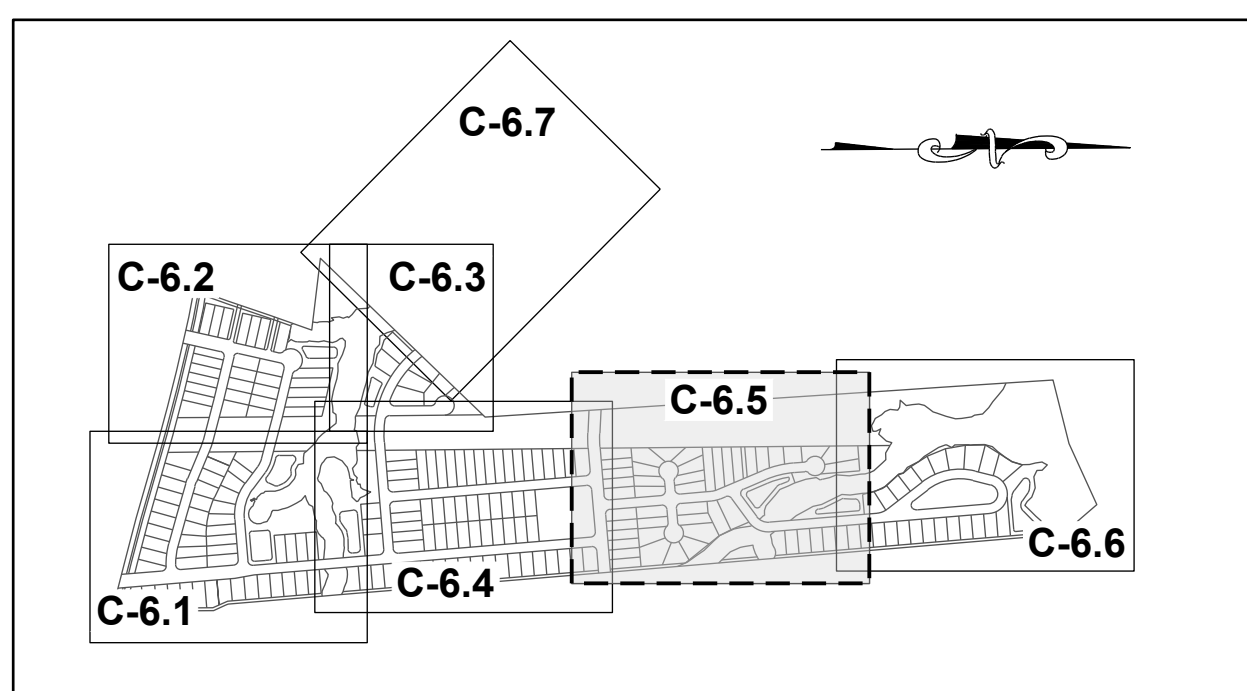
HILLS AT HARRIS CREEK

TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

PARTIAL UTILITY PLAN IV

DRAWING SHEET
C-6.4

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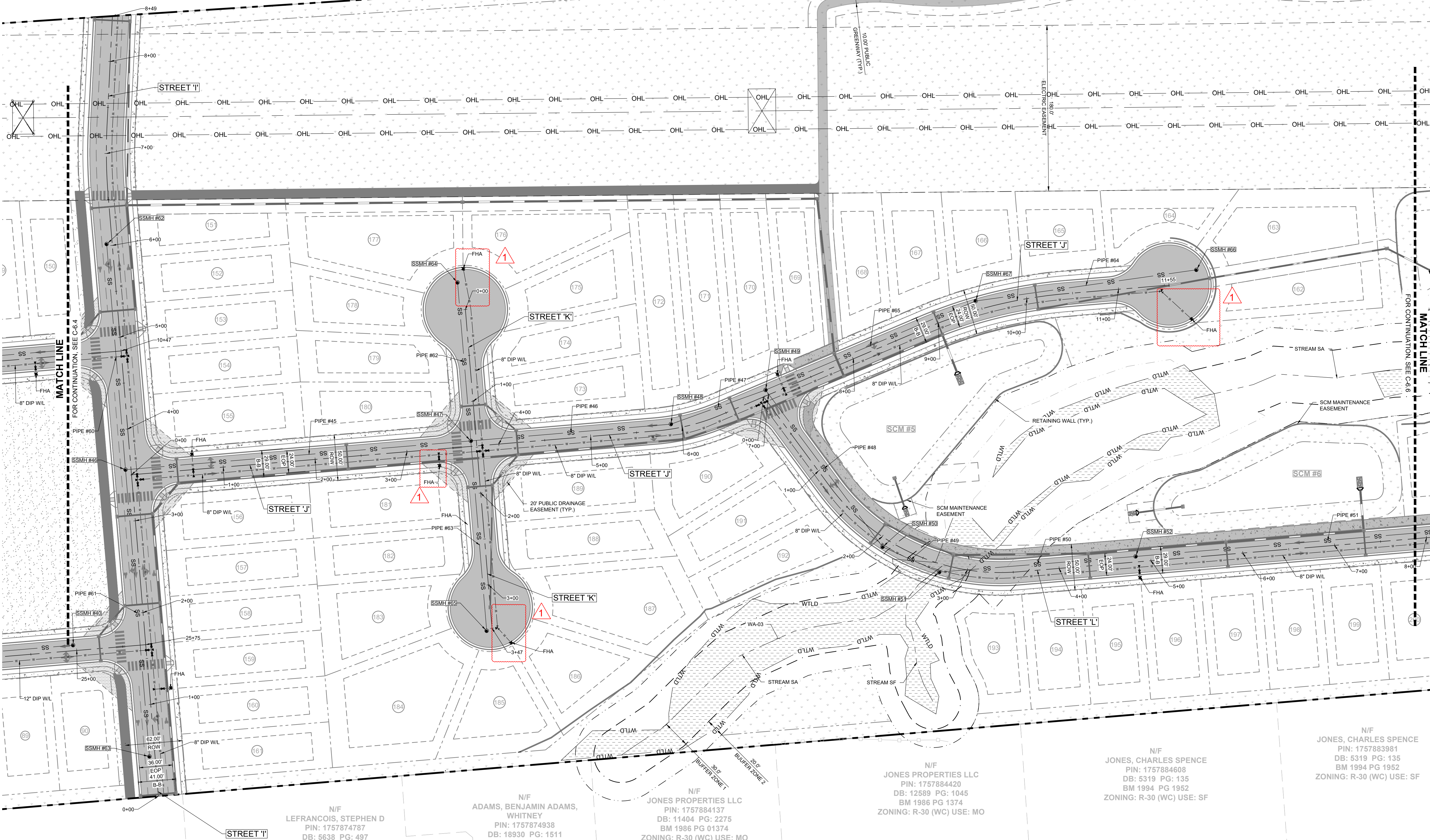


**SITE KEY PLAN
LEGEND:**

SEE SHEET C-6.0 FOR LEGEND.

N/F
CARLE, SCOTT CARLE, THERESA
PIN: 1757780258
DB: 14863 PG: 2493
BM 2008 PG 2198
ZONING: R-30 (WC) USE: SF

N/F
CARLE, SCOTT CARLE, THERESA
PIN: 1757781960
DB: 14863 PG: 2493
BM 2009 PG 645
ZONING: R-30 (WC) USE: VA



N/F
LEFRANCOIS, STEPHEN D
PIN: 1757874787
DB: 5638 PG: 497
ZONING: R-30 (WC) USE: SF

N/F
ADAMS, BENJAMIN ADAMS,
WHITNEY
PIN: 1757874938
DB: 18930 PG: 1511
BM 2006 PG 2397
ZONING: R-30 (WC) USE: SF

N/F
JONES PROPERTIES LLC
PIN: 1757884137
DB: 11404 PG: 2275
BM 1986 PG 01374
ZONING: R-30 (WC) USE: MO

N/F
JONES PROPERTIES LLC
PIN: 1757884420
DB: 12589 PG: 1045
BM 1986 PG 1374
ZONING: R-30 (WC) USE: MO

N/F
JONES, CHARLES SPENCE
PIN: 1757884608
DB: 5319 PG: 135
BM 1994 PG 1952
ZONING: R-30 (WC) USE: SF

N/F
JONES, CHARLES SPENCE
PIN: 1757883981
DB: 5319 PG: 135
BM 1994 PG 1952
ZONING: R-30 (WC) USE: SF

NO.	REVISIONS	DATE	BY
0			
1			



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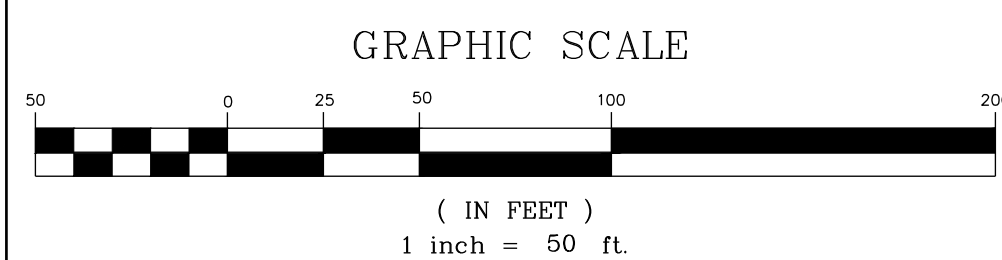
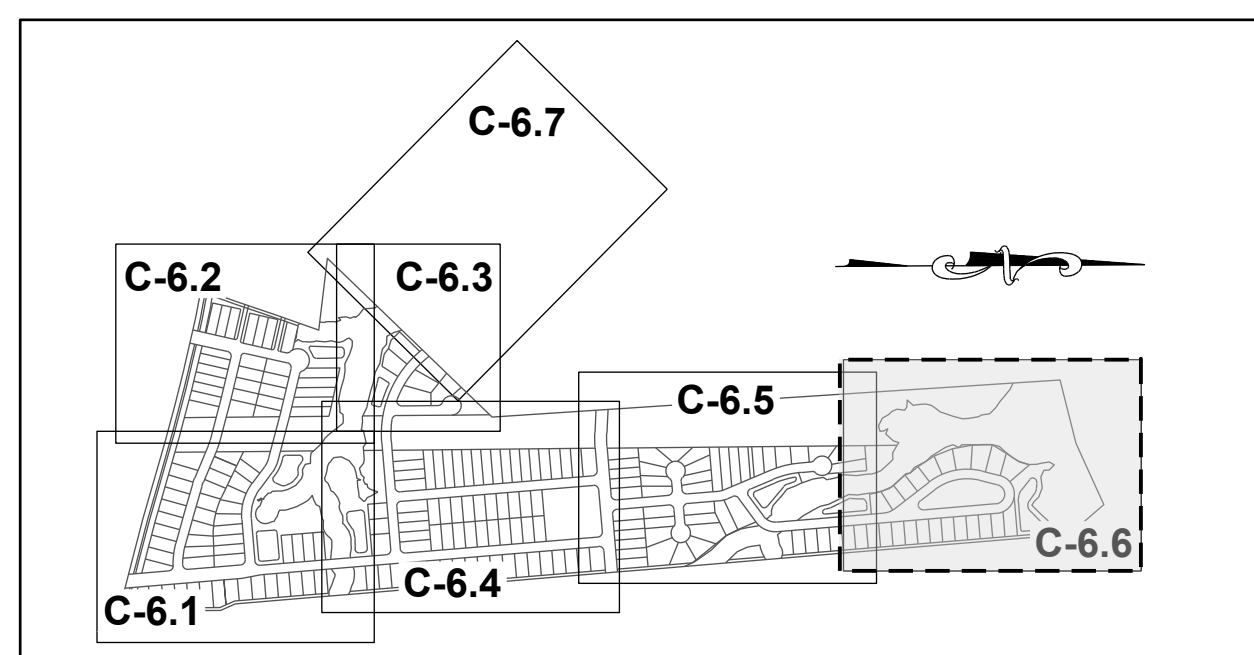
STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	JWL	SRG	JWL
DESIGNED BY	DRAWN BY	CHECKED BY			

HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

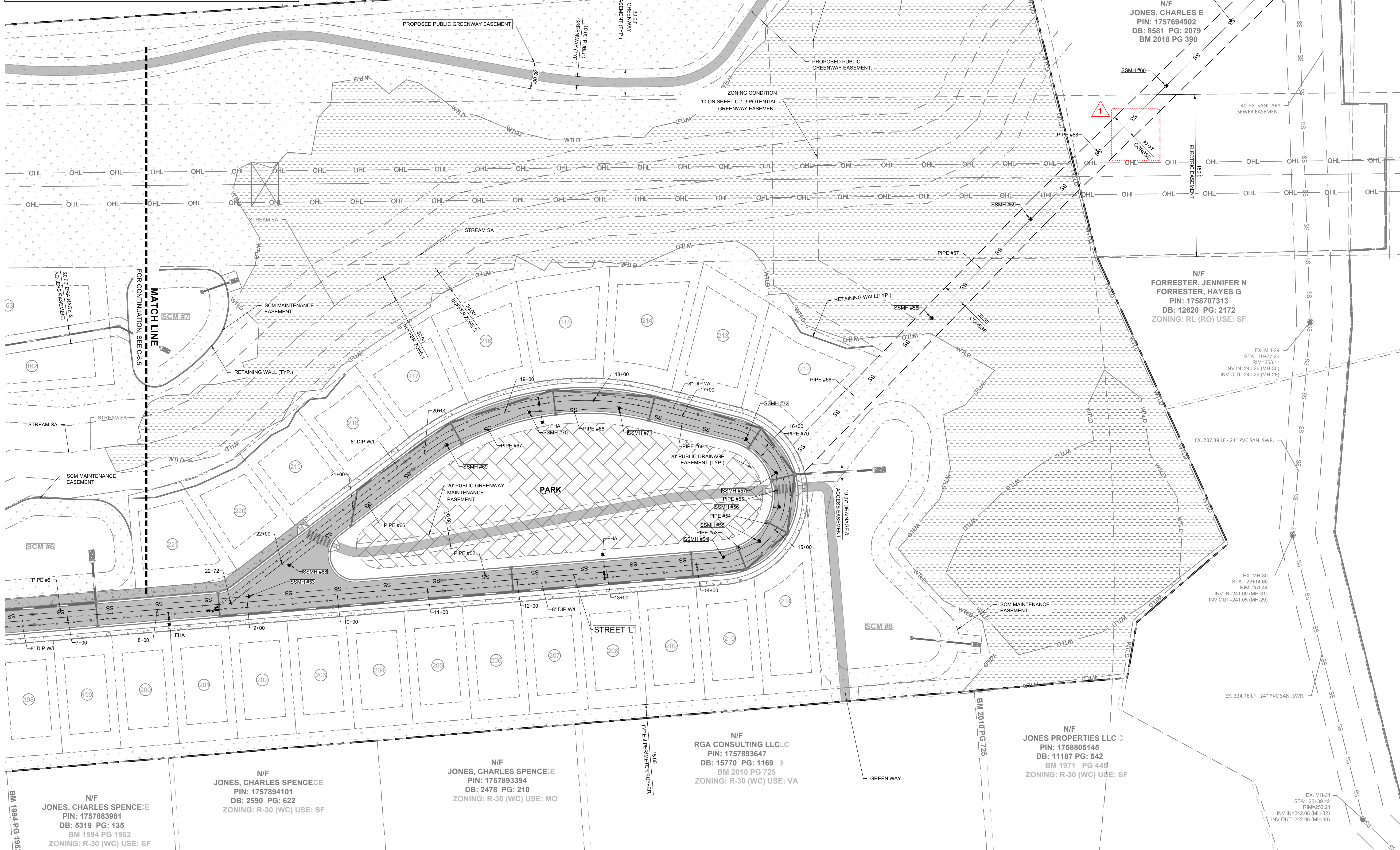
PARTIAL UTILITY PLAN V

DRAWING SHEET
C-6.5

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SITE KEY PLAN
LEGEND:
 SEE SHEET C-6.0 FOR LEGEND.



NO.	REVISIONS	DATE	BY
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1			



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 ENGINEERING GROUP
 305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONGROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	JWL	SRG	JWL
DESIGNED BY	DRAWN BY	CHECKED BY			

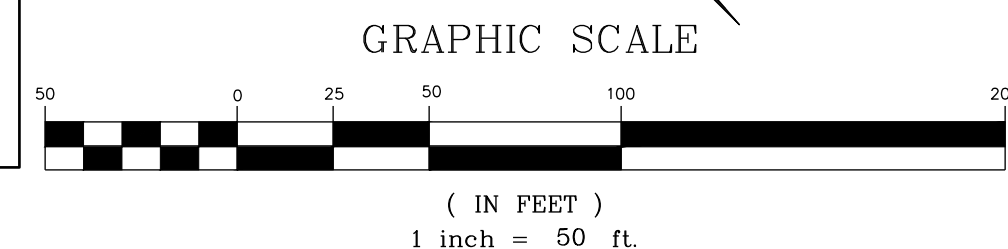
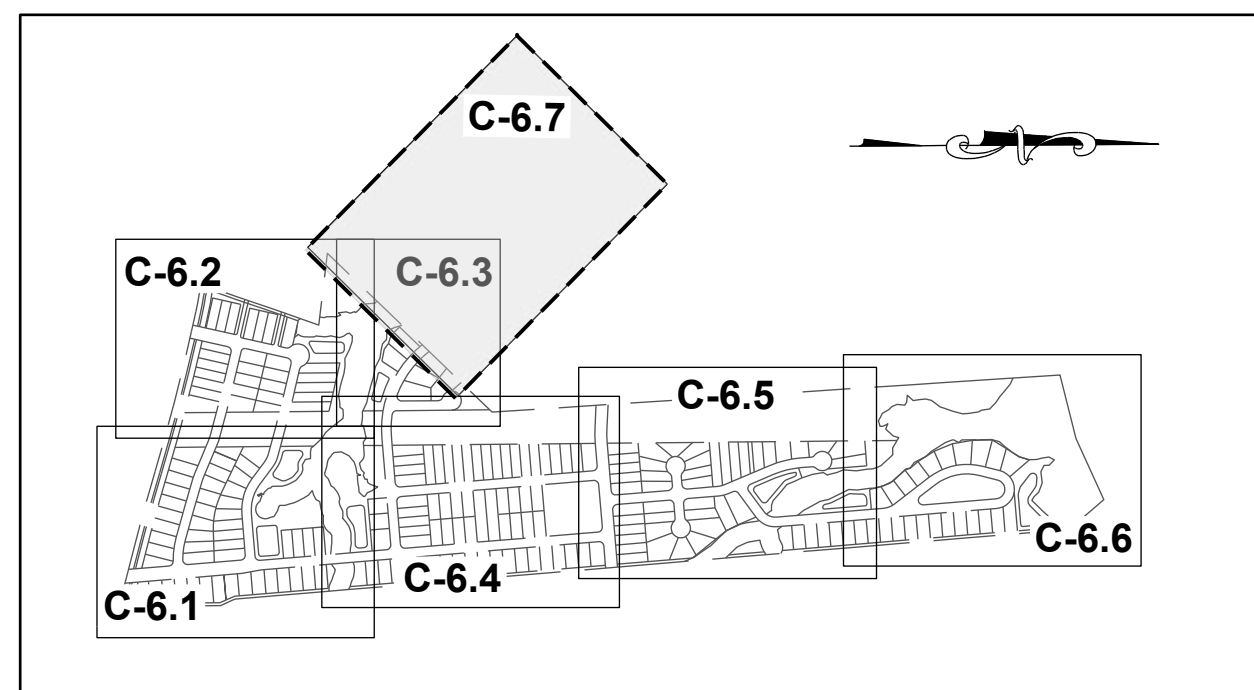
HILLS AT HARRIS CREEK
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

PARTIAL UTILITY PLAN VI

DRAWING SHEET
C-6.6

35 OF 57

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SITE KEY PLAN

LEGEND:

SEE SHEET C-6.0 FOR LEGEND.

N/F
VILLANUEVA, PHILIP SHELLEY
VILLANUEVA, NADIA SULTA
PIN: 1757665301
DB: 19104 PG:1732
BM 2022 PG 1203
ZONING: R-30 (WC) USE: SF

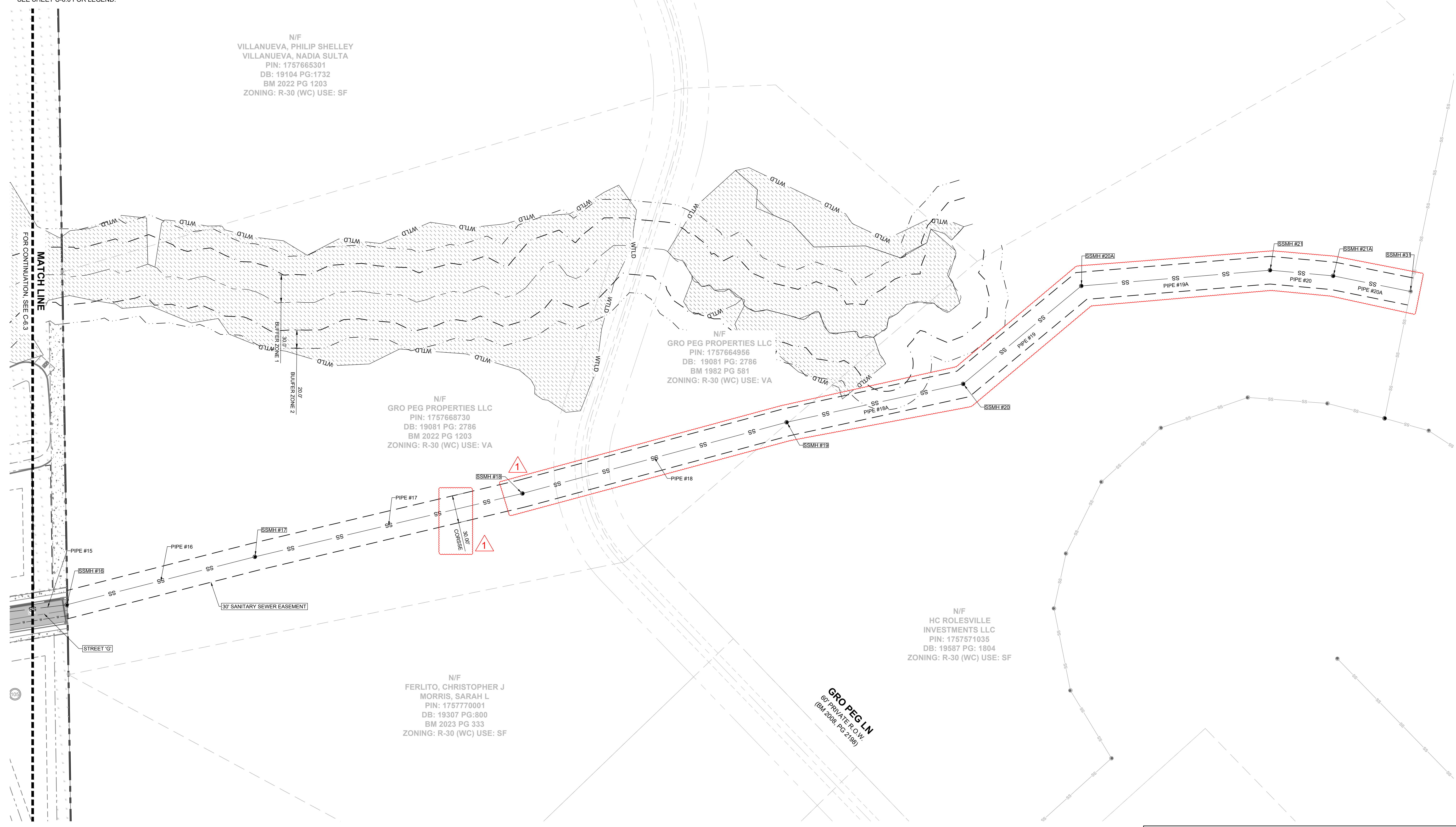
N/F
GRO PEG PROPERTIES LLC
PIN: 1757664956
DB: 19081 PG: 2786
BM 1982 PG 581
ZONING: R-30 (WC) USE: VA

N/F
GRO PEG PROPERTIES LLC
PIN: 1757668730
DB: 19081 PG: 2786
BM 2022 PG 1203
ZONING: R-30 (WC) USE: VA

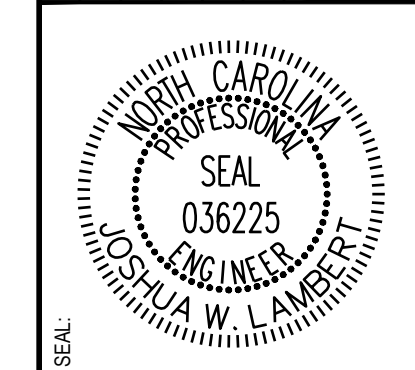
N/F
HC ROLESVILLE
INVESTMENTS LLC
PIN: 1757571035
DB: 19587 PG: 1804
ZONING: R-30 (WC) USE: SF

N/F
FERLITO, CHRISTOPHER J
MORRIS, SARAH L
PIN: 1757770001
DB: 19307 PG:800
BM 2023 PG 333
ZONING: R-30 (WC) USE: SF

GRO PEG LN
80' PRIVATE R.O.W.
(BM 2008 PG 2189)



NO.	REVISIONS	DATE	BY
0			
1			



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SCALE	DESIGNED BY	DRAWN BY	CHECKED BY	

HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

PARTIAL UTILITY PLAN VII

DRAWING SHEET
C-6.7

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SSMH TABLE					
SSMH NO	SIZE	TOP	INV. IN	INV. OUT	DEPTH
SSMH #01	4'	331.40		325.59 N	5.80
SSMH #02	4'	316.96	310.80 S 297.42 W	297.42 N	19.53
SSMH #03	4'	306.58	292.63 S	292.63 NW	13.95
SSMH #04	4'	303.09	288.54 SE	288.54 N	14.55
SSMH #05	4'	302.39	286.41 S 285.67 W	286.19 N	16.72
SSMH #06	4'	304.52	285.01 S	284.81 N	19.71
SSMH #07	4'	305.24	284.07 S	284.05 N	21.19
SSMH #08	4'	304.14	283.79 S	283.59 N	20.55
SSMH #09	4'	321.06	281.59 S 314.90 N	281.39 W	39.67
SSMH #10	4'	295.58	279.79 E 287.08 N	279.59 W	15.99
SSMH #11	4'	293.64	278.20 E	278.00 W	15.65
SSMH #12	4'	295.97	277.75 E	277.55 W	18.43
SSMH #13	4'	298.96	277.17 E	276.97 NW	21.99
SSMH #14	4'	299.16	276.18 SE 273.21 SW	273.01 NW	26.16
SSMH #15	4'	294.41	272.45 SE	272.25 NW	21.96
SSMH #16	4'	290.00	271.87 SE	271.67 NW	18.32
SSMH #17	4'	289.61	270.62 SE	270.26 NW	19.35
SSMH #18	4'	267.82	261.97 SE	261.73 NW	6.09
SSMH #19	4'	261.48	241.83 SE	241.63 NW	19.85
SSMH #20	4'	251.03	240.65 SE	240.44 W	10.60
SSMH #20A	4'	244.59	239.61 E	239.41 NW	5.18
SSMH #21	4'	250.70	238.38 SE	238.18 NW	12.53
SSMH #21A	4'	252.46	237.83 SE	237.63 NW	14.83
SSMH #22	4'	311.70		305.90 E	5.80
SSMH #23	4'	306.55	300.78 W	300.19 E	6.36
SSMH #24	4'	307.16	299.30 W	299.10 E	8.07
SSMH #25	4'	313.72	298.20 W	298.00 E	15.72
SSMH #26	4'	298.19		292.31 SE	5.88
SSMH #28	4'	293.23	288.73 NW	288.53 E	4.69
SSMH #29	4'	294.71	287.03 W	286.83 E	7.88
SSMH #30	4'	313.38		307.56 N	5.82
SSMH #31	4'	298.33	292.51 S 291.05 E	283.41 N	14.95
SSMH #32	4'	290.37	283.36 E 277.65 S	277.45 NE	12.92
SSMH #33	4'	291.54	277.08 SW	276.88 N	14.66
SSMH #34	4'	279.85	276.05 S	275.85 N	4.00
SSMH #35	4'	288.27	274.39 SW	274.19 NE	14.08
SSMH #36	4'	299.50	273.54 SW	273.34 NE	26.15
SSMH #37	4'	306.41		299.35 W	7.06

SSMH TABLE					
SSMH NO	SIZE	TOP	INV. IN	INV. OUT	DEPTH
SSMH #38	4'	299.17	292.11 E	291.91 W	7.26
SSMH #39	4'	307.13		302.23 W	4.90
SSMH #40	4'	352.29		346.50 S	5.79
SSMH #41	4'	355.03	344.83 N	344.63 S	10.40
SSMH #42	4'	331.90	326.33 N	325.79 S	6.11
SSMH #43	4'	333.37		327.68 S	5.69
SSMH #44	4'	332.45	325.87 N	325.67 S	6.78
SSMH #45	4'	306.60	300.91 N	297.90 S	8.70
SSMH #46	4'	339.69	316.70 W 334.00 E	316.50 N	23.19
SSMH #47	4'	332.51	314.62 S 325.85 W 317.25 E	314.42 N	18.09
SSMH #48	4'	320.32	313.33 S	313.13 N	7.19
SSMH #49	4'	320.05	312.58 S 291.33 NW	291.13 NE	28.92
SSMH #50	4'	312.14	290.07 SW	289.87 NE	22.27
SSMH #51	4'	309.75	289.59 SW	289.39 N	20.37
SSMH #52	4'	301.99	286.49 S	286.29 N	15.70
SSMH #53	4'	285.15	278.21 S	277.85 N	7.30
SSMH #54	4'	265.98	259.71 S	259.50 NW	6.48
SSMH #55	4'	264.16	258.18 SE	257.92 NW	6.25
SSMH #56	4'	262.77	256.83 SE	256.62 W	6.16
SSMH #57	4'	262.03	256.20 E 255.07 SW	254.48 NW	7.55
SSMH #58	4'	246.00	241.75 SE	241.75 NW	4.25
SSMH #59	4'	246.00	240.98 SE	240.98 NW	5.02
SSMH #60	4'	246.00	239.92 SE	239.92 NW	6.08
SSMH #61	4'	252.32	238.91 SE		13.41
SSMH #62	4'	323.62		317.93 E	5.69
SSMH #63	4'	345.16		339.47 W	5.69
SSMH #64	4'	343.91		337.25 E	6.66
SSMH #65	4'	325.12		318.29 W	6.84
SSMH #66	4'	299.67		293.98 S	5.69
SSMH #67	4'	313.36	292.77 N	292.57 SE	20.79
SSMH #68	4'	280.27		273.06 NW	7.21
SSMH #69	4'	266.61	259.69 SE	259.49 N	7.13
SSMH #70	4'	263.66	257.97 S	257.56 N	6.10
SSMH #71	4'	262.35	256.49 S	256.29 N	6.06
SSMH #72	4'	261.66	255.59 S	255.39 NE	6.27
SSMH #73	4'	279.18	274.88 S	274.68 NE	4.53

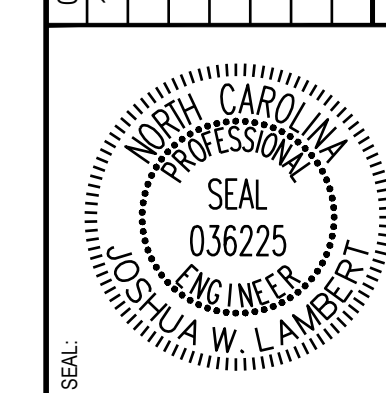
PIPE TABLE						
PIPE NO	TYPE	SIZE	LF	INV. IN	INV. OUT	GRADE
PIPE #1	PVC Pipe	8"	165	325.59	310.80	8.96%
PIPE #2	PVC Pipe	8"	178	297.42	292.63	2.70%
PIPE #3	PVC Pipe	8"	151	292.63	288.54	2.72%
PIPE #4	PVC Pipe	8"	67	288.54	286.41	3.19%
PIPE #5	PVC Pipe	8"	236	286.19	285.01	0.50%
PIPE #6	PVC Pipe	8"	148	284.81	284.07	0.50%
PIPE #7	PVC Pipe	8"	53	284.05	283.79	0.50%
PIPE #8	PVC Pipe	8"	398	283.59	281.59	0.50%
PIPE #9	PVC Pipe	8"	320	281.39	279.79	0.50%
PIPE #10	PVC Pipe	8"	280	279.59	278.20	0.50%
PIPE #11	PVC Pipe	8"	50	278.00	277.75	0.50%
PIPE #12	PVC Pipe	8"	77	277.55	277.17	0.50%
PIPE #13	PVC Pipe	8"	158	276.97	276.18	0.50%
PIPE #14	PVC Pipe	8"	112	273.01	272.45	0.50%
PIPE #15	PVC Pipe	8"	75	272.25	271.87	0.50%
PIPE #16	PVC Pipe	8"	211	271.67	270.62	0.50%
PIPE #17	PVC Pipe	8"	299	270.26	261.97	2.77%
PIPE #18	PVC Pipe	8"	298	261.73	241.83	6.68%
PIPE #18A	PVC Pipe	8"	197	241.63	240.65	0.50%
PIPE #19	PVC Pipe	8"	167	240.44	239.61	0.50%
PIPE #19A	PVC Pipe	8"	206	239.41	238.38	0.50%
PIPE #20	PVC Pipe	8"	69	238.18	237.83	0.50%
PIPE #20A	PVC Pipe	8"	86	237.63	237.00	0.73%
PIPE #21	PVC Pipe	8"	148	305.90	300.78	3.46%
PIPE #22	PVC Pipe	8"	179	300.19	299.30	0.50%
PIPE #23	PVC Pipe	8"	179	299.10	298.20	0.50%
PIPE #24	PVC Pipe	8"	115	298.00	297.42	0.50%
PIPE #25	PVC Pipe	8"	178	292.31	288.73	2.01%
PIPE #27	PVC Pipe	8"	102	288.53	287.03	1.48%
PIPE #28	PVC Pipe	8"	232	286.83	285.67	0.50%
PIPE #29	PVC Pipe	8"	171	307.56	292.51	8.78%
PIPE #30	PVC Pipe	8"	318	283.41	277.65	1.81%
PIPE #31	PVC Pipe	8"	74	277.45	277.08	0.50%
PIPE #32	PVC Pipe	8"	165	276.88	276.05	0.50%
PIPE #33	PVC Pipe	8"	196	275.85	274.88	0.50%
PIPE #34	PVC Pipe	8"	130	274.19	273.54	0.50%
PIPE #34A	PVC Pipe	8"	57	274.68	274.39	0.50%
PIPE #35	PVC Pipe	8"	27	273.34	273.21	0.50%

PIPE TABLE						
PIPE NO	TYPE	SIZE	LF	INV. IN	INV. OUT	GRADE
PIPE #36	PVC Pipe	8"	191	299.35	292.11	3.79%
PIPE #37	PVC Pipe	8"	173	291.91	291.05	0.50%
PIPE #38	PVC Pipe	8"	266	302.23	283.36	7.09%
PIPE #39	PVC Pipe	8"	334	346.50	344.83	0.50%
PIPE #40	PVC Pipe	8"	350	344.63	326.33	5.23%
PIPE #41	PVC Pipe	8"	291	325.79	314.90	3.75%
PIPE #42	PVC Pipe	8"	362	327.68	325.87	0.50%
PIPE #43	PVC Pipe	8"	349	325.67	300.91	7.10%
PIPE #44	PVC Pipe	8"	279	297.90	287.08	3.88%
PIPE #45	PVC Pipe	8"	376	316.50	314.62	0.50%
PIPE #46	PVC Pipe	8"	218	314.42	313.33	0.50%
PIPE #47	PVC Pipe	8"	109	313.13	312.58	0.50%
PIPE #48	PVC Pipe	8"	212	291.13	290.07	0.50%
PIPE #49	PVC Pipe	8"	67	289.87	289.59	0.42%
PIPE #50	PVC Pipe	8"	214	289.39	286.49	1.36%
PIPE #51	PVC Pipe	8"	418	286.29	278.21	1.93%
PIPE #52	PVC Pipe	8"	528	277.85	259.71	3.44%
PIPE #53	PVC Pipe	8"	44	259.50	258.18	3.02%
PIPE #54	PVC Pipe	8"	44	257.92	256.83	2.48%
PIPE #55	PVC Pipe	8"	38	256.62	256.20	1.11%
PIPE #56	PVC Pipe	8"	244	254.48	241.75	5.22%
PIPE #57	PVC Pipe	8"	155	241.75	240.98	0.50%
PIPE #58	PVC Pipe	8"	211	240.98	239.92	0.50%
PIPE #59	PVC Pipe	8"	203	239.92	238.91	0.50%
PIPE #60	PVC Pipe	8"	246	317.93	316.70	0.50%
PIPE #61	PVC Pipe	8"	312	339.47	334.00	1.75%
PIPE #62	PVC Pipe	8"	173	337.25	325.85	6.61%
PIPE #63	PVC Pipe	8"	207	318.29	317.25	0.50%
PIPE #64	PVC Pipe	8"	242	293.98	292.77	0.50%
PIPE #65	PVC Pipe	8"	248	292.57	291.33	0.50%
PIPE #66	PVC Pipe	8"	219	273.06	259.69	6.11%
PIPE #67	PVC Pipe	8"	98	259.49	257.97	1.54%
PIPE #68	PVC Pipe	8"	100	257.56	256.49	1.07%
PIPE #69	PVC Pipe	8"	145	256.29	255.59	0.48%
PIPE #70	PVC Pipe	8"	51	255.39	255.07	0.64%

LEGEND:

SEE UTILITY PLAN ON THE PREVIOUS PAGE

NO.	DATE	REVISIONS
0		
1		



STRONGROCK
ENGINEERING GROUP

STRONG ROCK ENGINEERING GROUP, PLLC COMPANY LICENSE # P-2166
305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL
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HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

SANITARY SEWER TABLE

DRAWING SHEET
C-6.8

THIS PLANSET AND ANY ASSOCIATED DOCUMENTS ARE PRELIMINARY AND NOT AUTHORIZED FOR CONSTRUCTION UNTIL SIGNED, DATED, AND OFFICIALLY RELEASED FOR CONSTRUCTION BY THE ENGINEER OF RECORD.

0	TOWN OF ROLESVILLE V1-FSP-24-03	05/30/2024	ISREG
1	TOWN OF ROLESVILLE V2-FSP-24-03	08/30/2024	ISREG



STRONGROCK
ENGINEERING GROUP

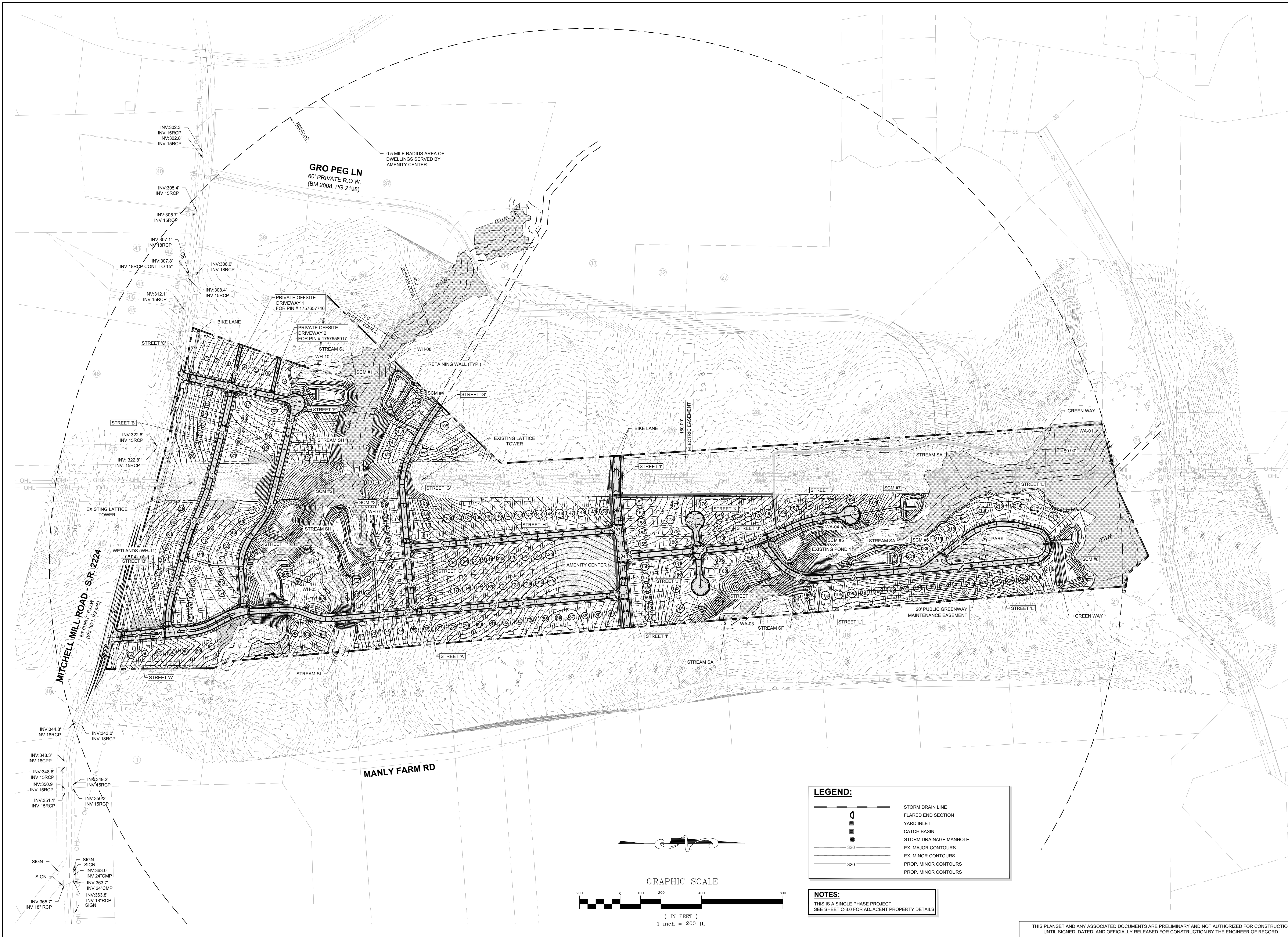
STRONG ROCK ENGINEERING GROUP PLLC COMPANY LICENSE # P-2166
305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL
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HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

OVERALL GRADING & DRAINAGE PLAN

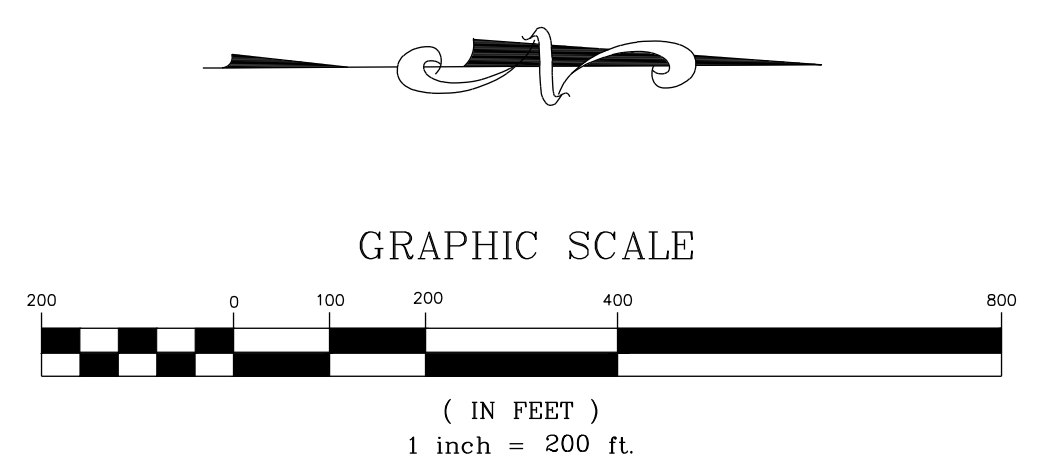
DRAWING SHEET
C-7.0



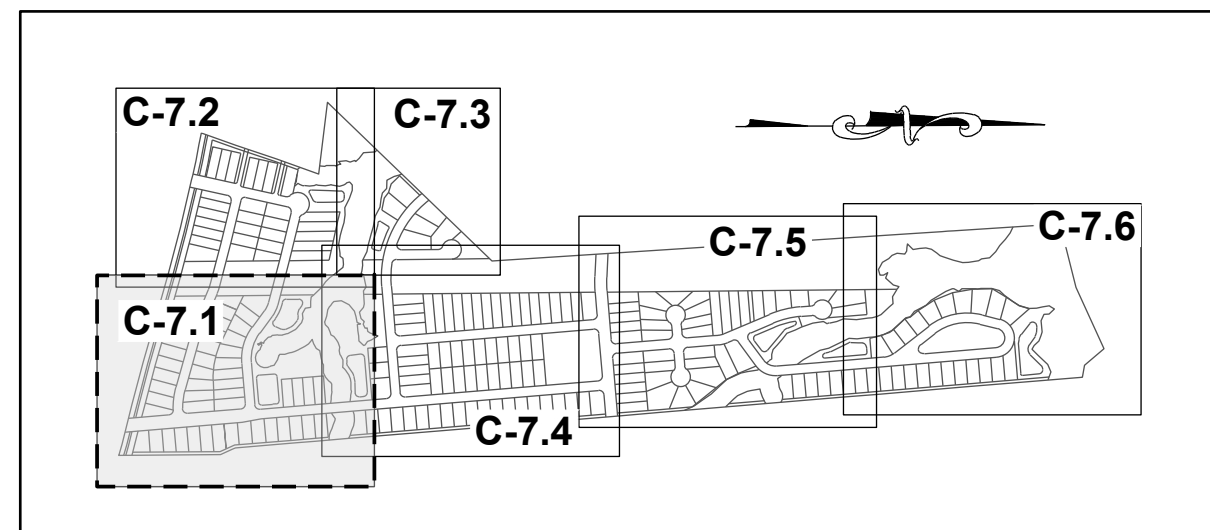
LEGEND:

- STORM DRAIN LINE
- FLARED END SECTION
- YARD INLET
- CATCH BASIN
- STORM DRAINAGE MANHOLE
- 320 — EX. MAJOR CONTOURS
- 320 — EX. MINOR CONTOURS
- 320 — PROP. MINOR CONTOURS
- 320 — PROP. MINOR CONTOURS

NOTES:
THIS IS A SINGLE PHASE PROJECT.
SEE SHEET C-3.0 FOR ADJACENT PROPERTY DETAILS.



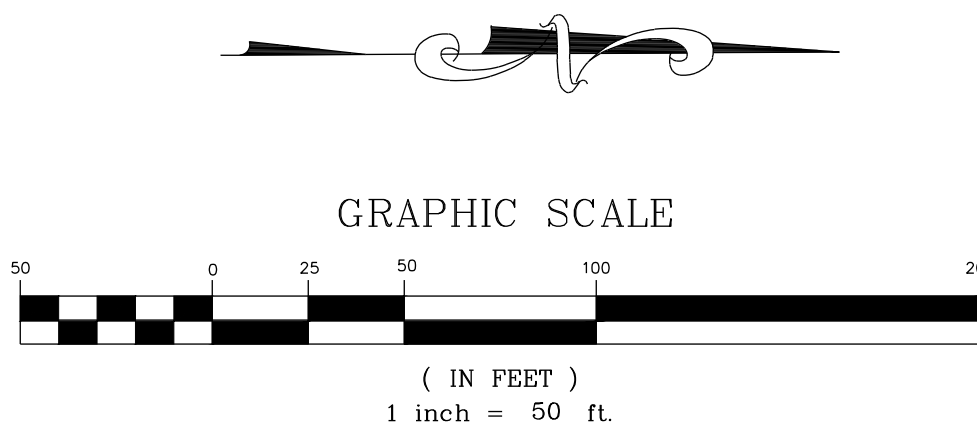
THIS PLANSET AND ANY ASSOCIATED DOCUMENTS ARE PRELIMINARY AND NOT AUTHORIZED FOR CONSTRUCTION UNTIL SIGNED, DATED, AND OFFICIALLY RELEASED FOR CONSTRUCTION BY THE ENGINEER OF RECORD.



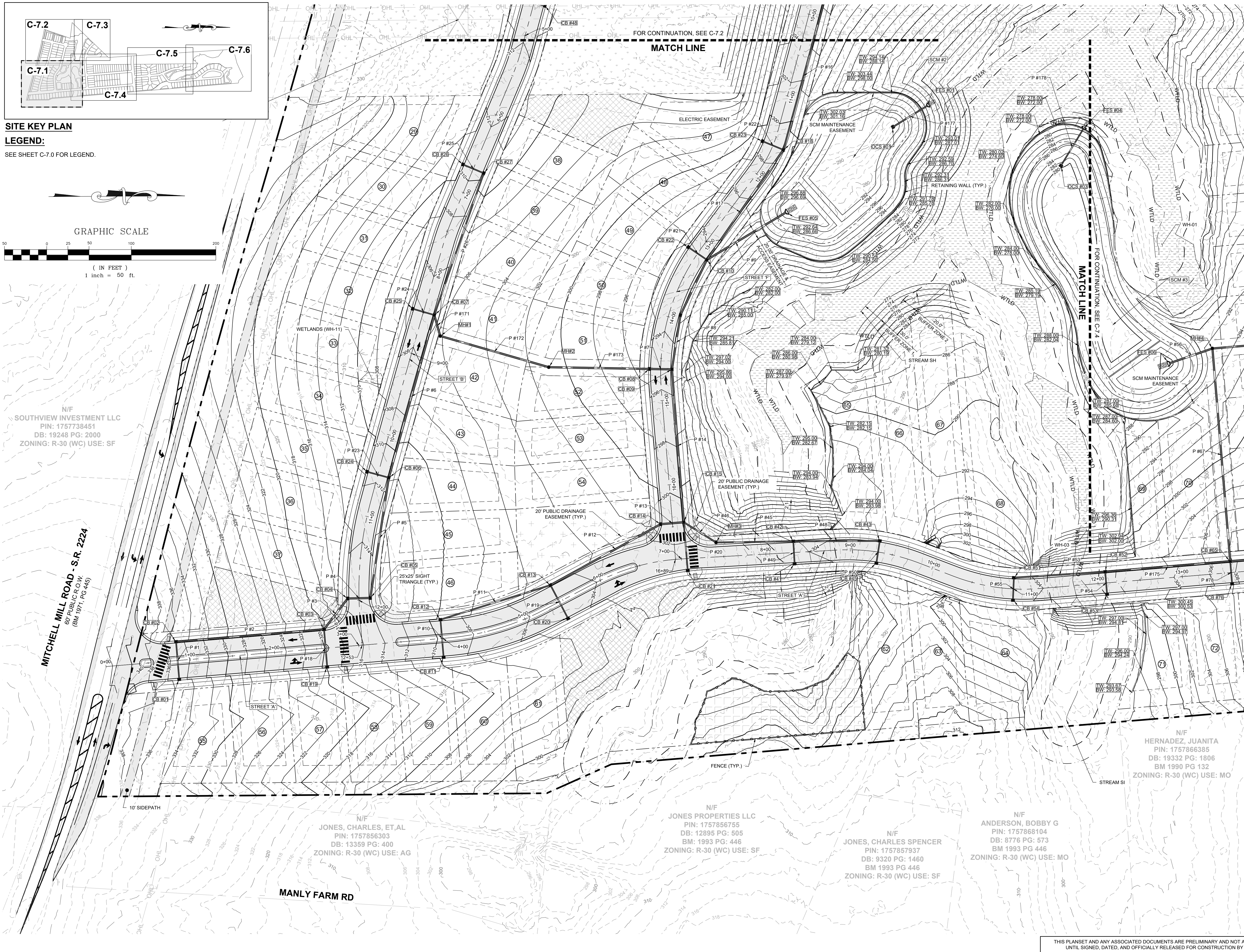
SITE KEY PLAN

LEGEND:

SEE SHEET C-7.0 FOR LEGEND.



(IN FEET)
1 inch = 50 ft.



N/F
SOUTHVIEW INVESTMENT LLC
PIN: 1757738451
DB: 19248 PG: 2000
ZONING: R-30 (WC) USE: SF

MITCHELL MILL ROAD - S.R. 2224
60' PUBLIC ROW
(BM 1871, PG 445)

N/F
JONES, CHARLES, ET AL
PIN: 1757856303
DB: 13359 PG: 400
ZONING: R-30 (WC) USE: AG

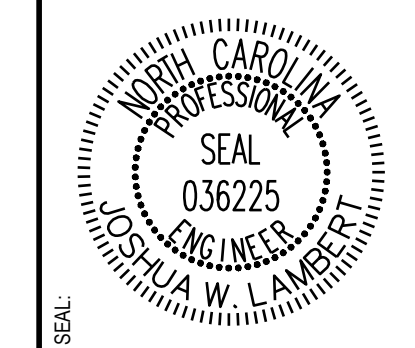
N/F
JONES PROPERTIES LLC
PIN: 1757856755
DB: 12895 PG: 505
BM: 1993 PG: 446
ZONING: R-30 (WC) USE: SF

N/F
JONES, CHARLES SPENCER
PIN: 1757857937
DB: 9320 PG: 1460
BM 1993 PG 446
ZONING: R-30 (WC) USE: SF

N/F
ANDERSON, BOBBY G
PIN: 1757888104
DB: 8776 PG: 573
BM 1993 PG 446
ZONING: R-30 (WC) USE: MO

N/F
HERNADEZ, JUANITA
PIN: 1757866385
DB: 19332 PG: 1806
BM 1990 PG 132
ZONING: R-30 (WC) USE: MO

0	TOWN OF ROLESVILLE V1-FSP-24-03	08/30/2024	IS/EC
1	TOWN OF ROLESVILLE V2-FSP-24-03	08/30/2024	IS/EC



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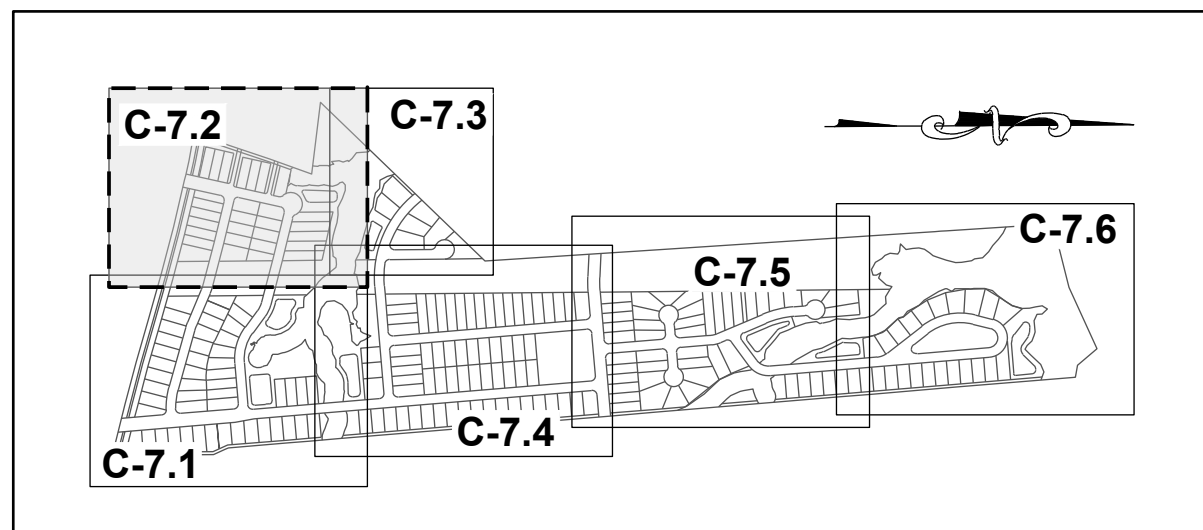
STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	AS SHOWN	JWL	SRG	JWL
SCALE	DESIGNED BY	DRAWN BY	CHECKED BY		

HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

PARTIAL GRADING & DRAINAGE PLAN I

DRAWING SHEET
C-7.1

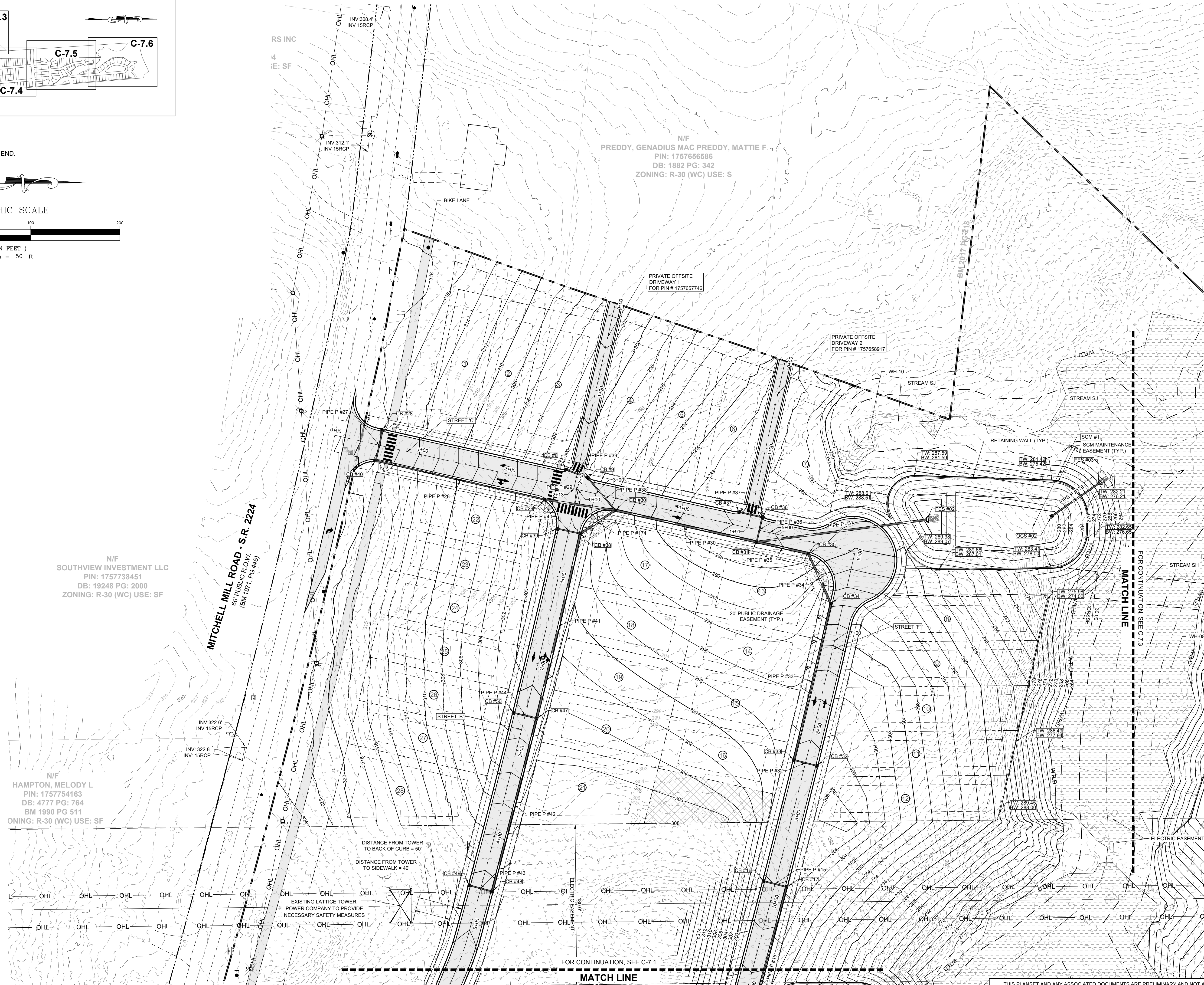
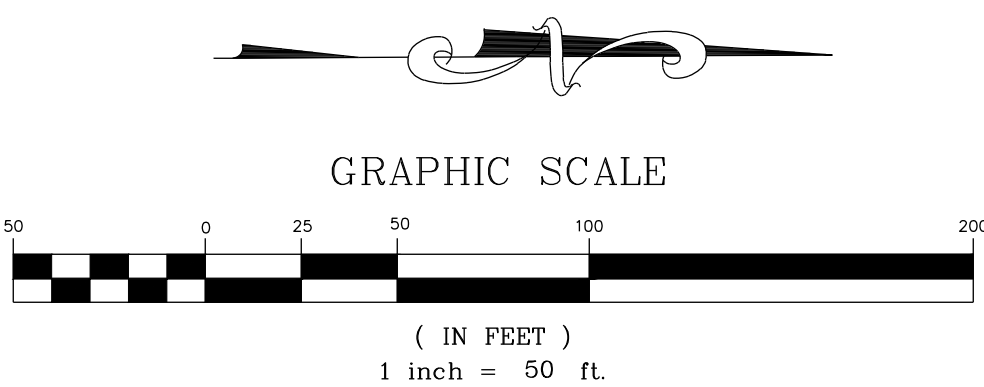
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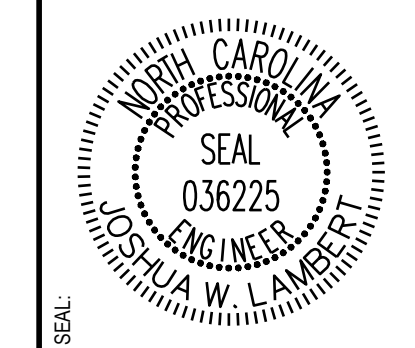
SITE KEY PLAN

LEGEND:

SEE SHEET C-7.0 FOR LEGEND.



NO.	REVISIONS	DATE	BY
0			
1			



STRONGROCK
ENGINEERING GROUP

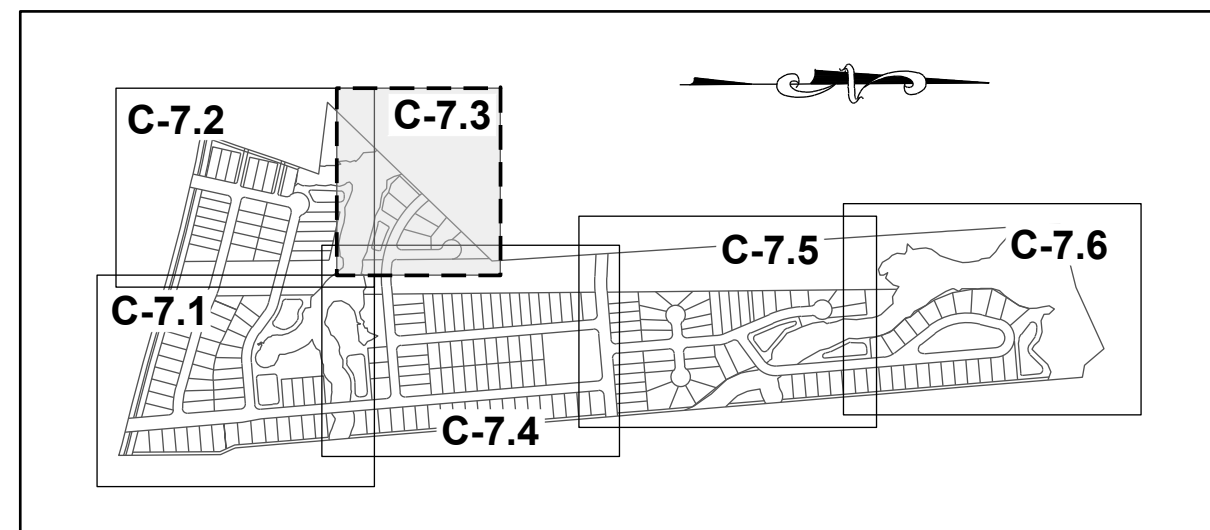
STRONG ROCK ENGINEERING GROUP, PLLC (COMPANY LICENSE # P-2166)
305 CHURCH AT NORTH HILLS STREET, SUITE 1110 PALEIGH, NC 27659 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL
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HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

**PARTIAL GRADING & DRAINAGE
PLAN II**

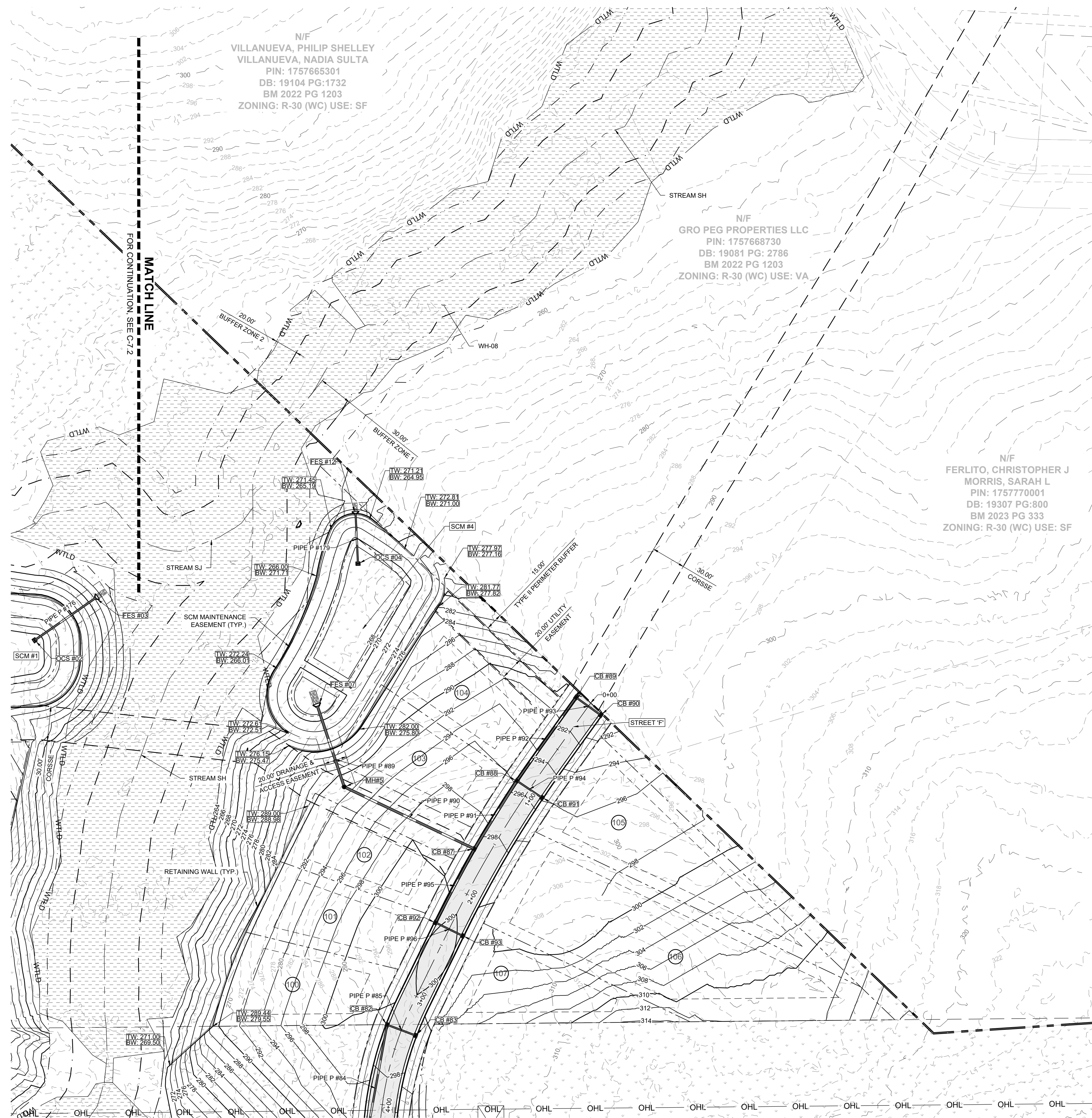
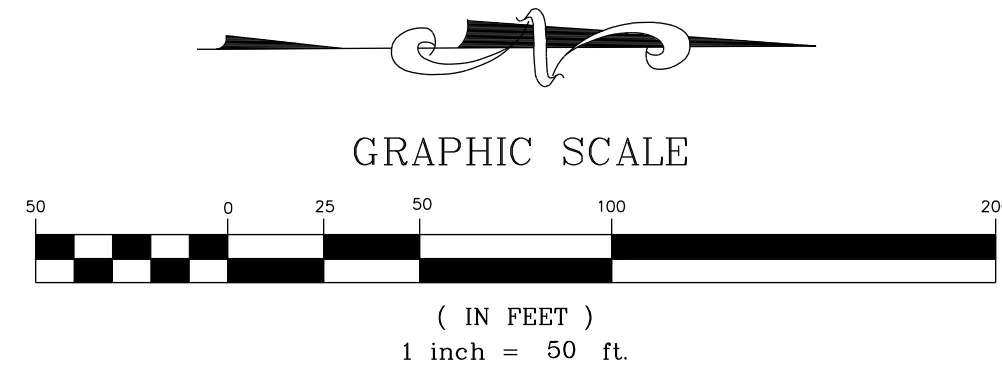
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SITE KEY PLAN

LEGEND:

SEE SHEET C-7.0 FOR LEGEND.



N/F VILLANUEVA, PHILIP SHELLEY
VILLANUEVA, NADIA SULTA
PIN: 1757665301
DB: 19104 PG:1732
BM 2022 PG 1203
ZONING: R-30 (WC) USE: SF

N/F GRO PEG PROPERTIES LLC
PIN: 1757668730
DB: 19081 PG: 2786
BM 2022 PG 1203
ZONING: R-30 (WC) USE: VA

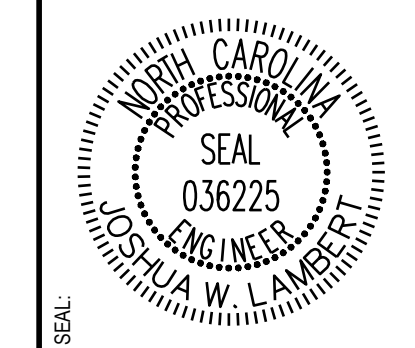
N/F FERLITO, CHRISTOPHER J
MORRIS, SARAH L
PIN: 1757770001
DB: 19307 PG:800
BM 2023 PG 333
ZONING: R-30 (WC) USE: SF

MATCH LINE
FOR CONTINUATION, SEE C-7.2

FOR CONTINUATION, SEE C-7.4

MATCH LINE

0	TOWN OF ROLESVILLE V1-FSP-24-03	06/30/2024	ISREG
1	TOWN OF ROLESVILLE V2-FSP-24-03	08/30/2024	ISREG



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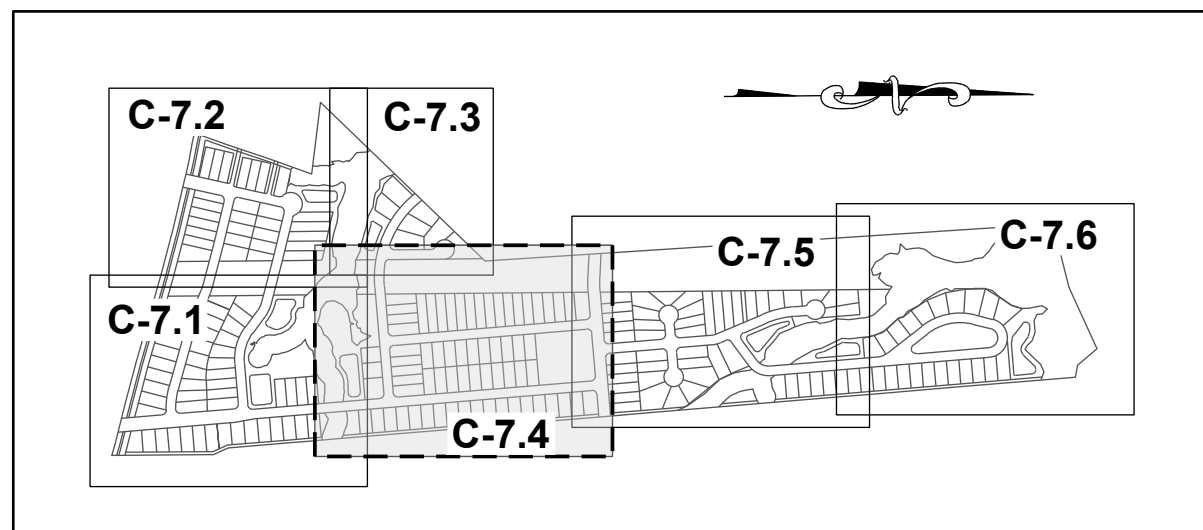
STRONGROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL
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HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

**PARTIAL GRADING & DRAINAGE
PLAN III**

DRAWING SHEET
C-7.3

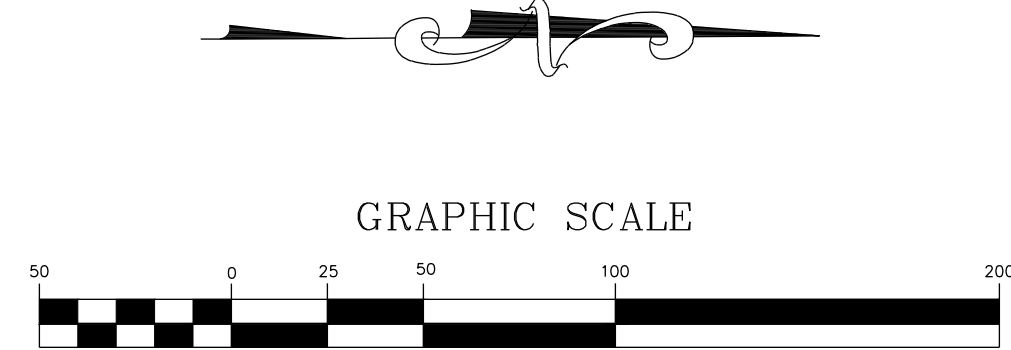
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SITE KEY PLAN

LEGEND:

SEE SHEET C-7.0 FOR LEGEND.



N/F
HERNADEZ, JUANITA
PIN: 1757866385
DB: 19332 PG: 1806
BM 1990 PG 132
ZONING: R-30 (WC) USE: MO

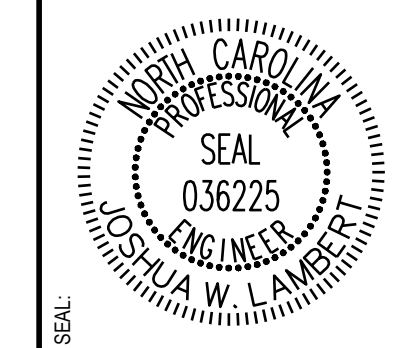
N/F
GOLD, SHARIE
PIN: 1757866660
DB: PG:
BM 1990 PG 00623
ZONING: R-30 (WC) USE: SF

N/F
LEFRANCOIS CONSTRUCTION CO INC
PIN: 1757866852
DB: 18468 PG: 2535
BM 2002 PG 352
ZONING: R-30 (WC) USE: VA

N/F
LEFRANCOIS, MICHAEL L LEFRANCOIS, TONIA
PIN: 1757876015
DB: 14356 PG: 1438
BM 2002 PG 352
ZONING: R-30 (WC) USE: SF

N/F
BEATTIE, LENORA M
PIN: 1757875349
DB: 07-E PG: 2834
ZONING: R-30 (WC) USE: SF

NO.	REVISIONS	DATE	BY
0			
1			



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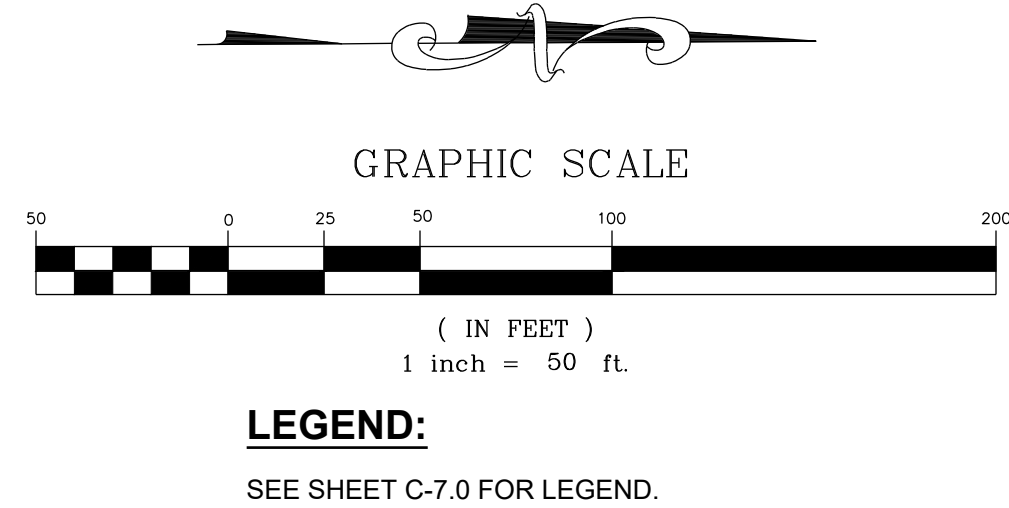
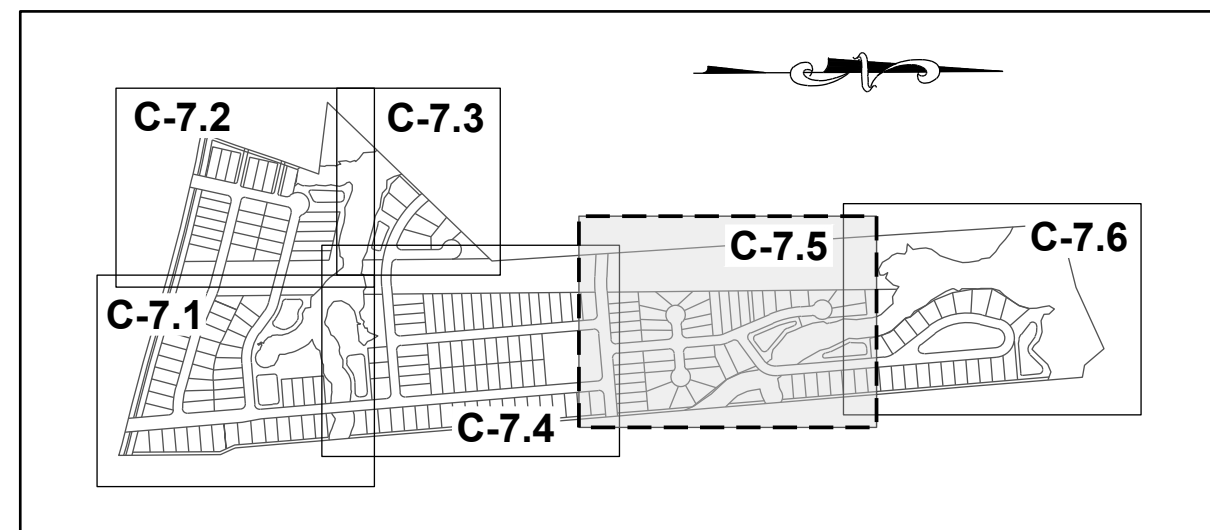
STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	JWL	SRG	JWL
			DESIGNED BY	DRAWN BY	CHECKED BY

HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

PARTIAL GRADING & DRAINAGE PLAN IV

DRAWING SHEET
C-7.4

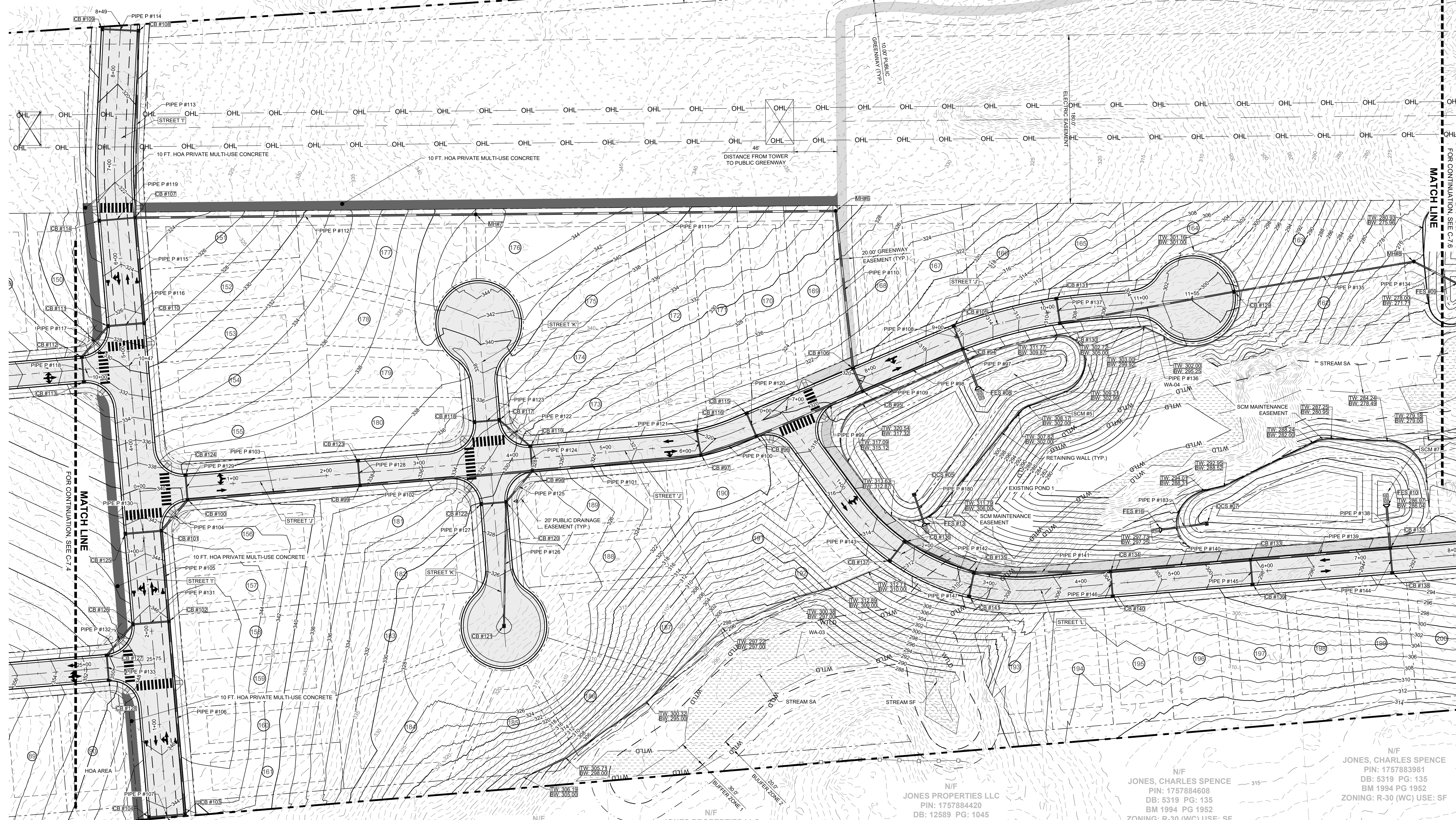
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SITE KEY PLAN

N/F CARLE, SCOTT CARLE, THERESA
PIN: 1757780258
DB: 14863 PG: 2493
BM 2008 PG 2198
ZONING: R-30 (WC) USE: SF

N/F CARLE, SCOTT CARLE, THERESA
PIN: 1757781960
DB: 14863 PG: 2493
BM 2009 PG 645
ZONING: R-30 (WC) USE: VA



NO.	REVISIONS	DATE	BY
0			
1			



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SCALE	AS SHOWN
DESIGNED BY	JWL
DRAWN BY	SRG
CHECKED BY	JWL

HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

PARTIAL GRADING & DRAINAGE PLAN V

N/F LEFRANCOIS, STEPHEN D
PIN: 1757874787
DB: 5638 PG: 497
ZONING: R-30 (WC) USE: SF

N/F ADAMS, BENJAMIN ADAMS, WHITNEY
PIN: 1757874938
DB: 18930 PG: 1511
BM 2006 PG 2397
ZONING: R-30 (WC) USE: SF

N/F JONES PROPERTIES LLC
PIN: 1757884137
DB: 11404 PG: 2275
BM 1986 PG 01374
ZONING: R-30 (WC) USE: MO

N/F JONES PROPERTIES LLC
PIN: 1757884420
DB: 12589 PG: 1045
BM 1986 PG 1374
ZONING: R-30 (WC) USE: MO

N/F JONES, CHARLES SPENCE
PIN: 1757884608
DB: 5319 PG: 135
BM 1994 PG 1952
ZONING: R-30 (WC) USE: SF

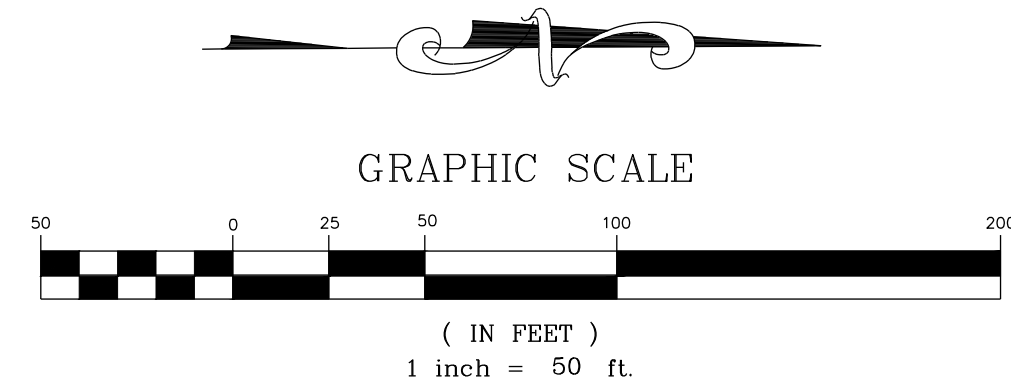
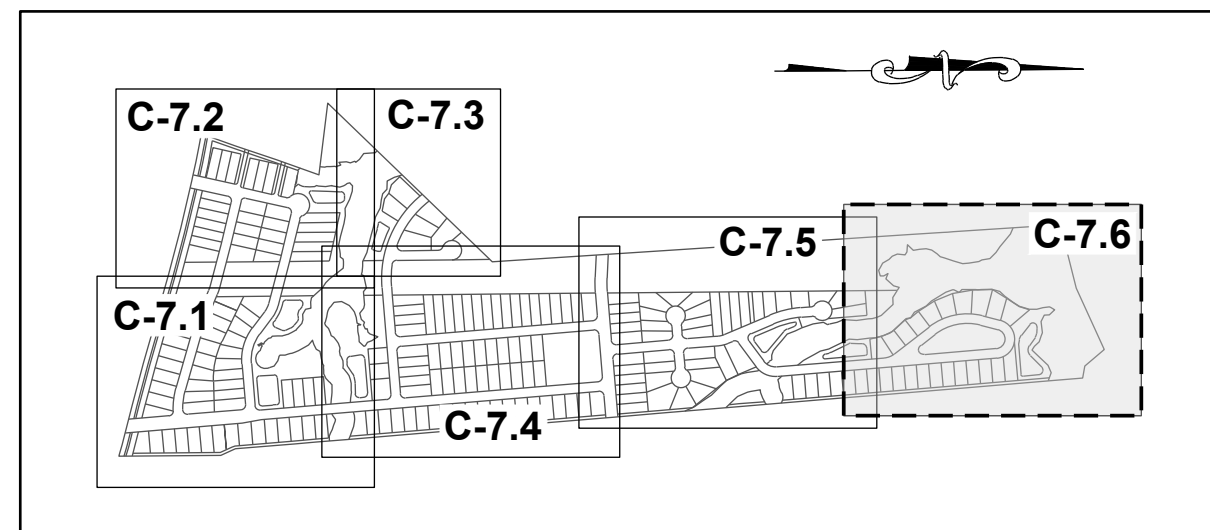
N/F JONES, CHARLES SPENCE
PIN: 1757883981
DB: 5319 PG: 135
BM 1994 PG 1952
ZONING: R-30 (WC) USE: SF

DRAWING SHEET

C-7.5

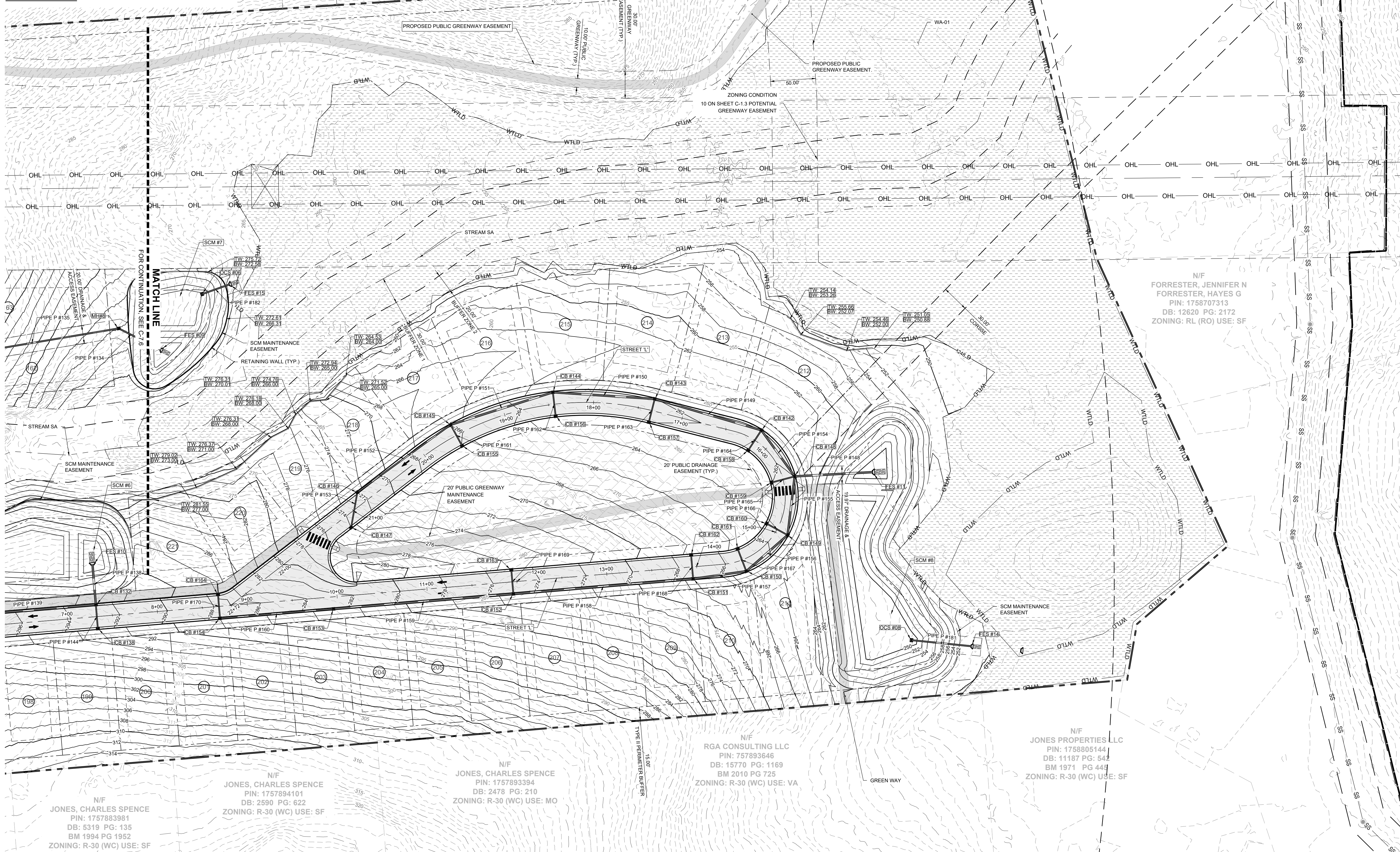
43 OF 57

THIS PLANSET AND ANY ASSOCIATED DOCUMENTS ARE PRELIMINARY AND NOT AUTHORIZED FOR CONSTRUCTION UNTIL SIGNED, DATED, AND OFFICIALLY RELEASED FOR CONSTRUCTION BY THE ENGINEER OF RECORD.



LEGEND:
SEE SHEET C-7.0 FOR LEGEND.

SITE KEY PLAN



N/F
JONES, CHARLES SPENCE
PIN: 1757883981
DB: 5319 PG: 135
BM 1994 PG 1952
ZONING: R-30 (WC) USE: SF

N/F
JONES, CHARLES SPENCE
PIN: 1757894101
DB: 2590 PG: 622
ZONING: R-30 (WC) USE: SF

N/F
JONES, CHARLES SPENCE
PIN: 1757893394
DB: 2478 PG: 210
ZONING: R-30 (WC) USE: MO

N/F
RGA CONSULTING LLC
PIN: 757893646
DB: 15770 PG: 1169
BM 2010 PG 725
ZONING: R-30 (WC) USE: VA

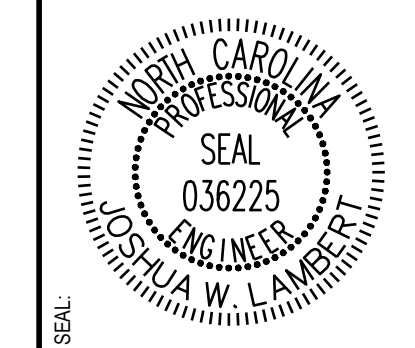
N/F
JONES PROPERTIES LLC
PIN: 1758805144
DB: 11187 PG: 542
BM 1971 PG 443
ZONING: R-30 (WC) USE: SF

N/F
CARLE, SCOTT CARLE, THERESA
PIN: 1757790646
DB: 14863 PG: 2493
BM 2008 PG 2198
ZONING: R-30 (WC) USE: VA

N/F
JONES, CHARLES E
PIN: 1757694902
DB: 8581 PG: 2079
BM 2018 PG 390
ZONING: RL (RO) USE: VA

N/F
FORRESTER, JENNIFER N
FORRESTER, HAYES G
PIN: 1758707313
DB: 12620 PG: 2172
ZONING: RL (RO) USE: SF

NO.	REVISIONS	DATE	BY
0			
1			



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305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL
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HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

**PARTIAL GRADING & DRAINAGE
PLAN VI**

DRAWING SHEET
C-7.6

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PLANT SCHEDULE									
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	CONTAINER	CALIPER	DETAIL	
TREES									
	CELL VI	23	CELTIS LAEVIGATA	SUGAR HACKBERRY	10' HT.	B&B	2.5"		
	CHI WHK	24	CHIONANTHUS VIRGINICUS 'WHITE KNIGHT'	WHITE KNIGHT WHITE FRINGETREE	8' HT.	B&B	1.5"		
	GYM KEN	16	GYMNOCLADUS DIOICUS	KENTUCKY COFFEETREE	10' HT.	B&B	2.5"		
	HAL JER	23	HALESIA CAROLINA 'JERSEY BELLE'	JERSEY BELLE CAROLINA SILVERBELL	8' HT.	B&B	1.5"		
	OST NHT	25	OSTRYA VIRGINIANA 'JFS-KWS'	AUTUMN TREASURE® AMERICAN HOPHORNBEAM	8' HT.	B&B	1.5"		
	QUE GOB	159	QUERCUS ACUTISSIMA 'GOBBLER'	SAWTOOTH OAK	10' HT.	B&B	2.5"		
	QUE FAL	124	QUERCUS FALCATA	SOUTHERN RED OAK	12' HT.	B&B	2.5"		
	QUE NUT	150	QUERCUS NUTTALLII 'QNTA'	HIGHPOINT® NUTTALL OAK	12' HT.	B&B	2.5"		
		544	SUBTOTAL:						

LEGEND:

- PROPOSED PROPERTY LINE
- - - EXISTING PROPERTY LINE
- ROADWAY CENTER LINE
- - - PROPOSED PROPERTY LINE
- ==== VALLEY/ROLLED CURB & GUTTER
- ==== STANDARD CURB & GUTTER
- CONCRETE SIDEWALK
- ASPHALT PAVEMENT
- OPEN SPACE
- WTLD
- EXISTING WETLAND

0	1	No.	DATE	BY

STRONGROCK ENGINEERING GROUP

305 CHURCH AT NORTH HILLS STREET, SUITE 1110 PALEIGH, NC 27669 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK ENGINEERING GROUP, PLLC COMPANY LICENSE # P-2166

STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	JWL	SRG	JWL
			DESIGNED BY	DRAWN BY	CHECKED BY

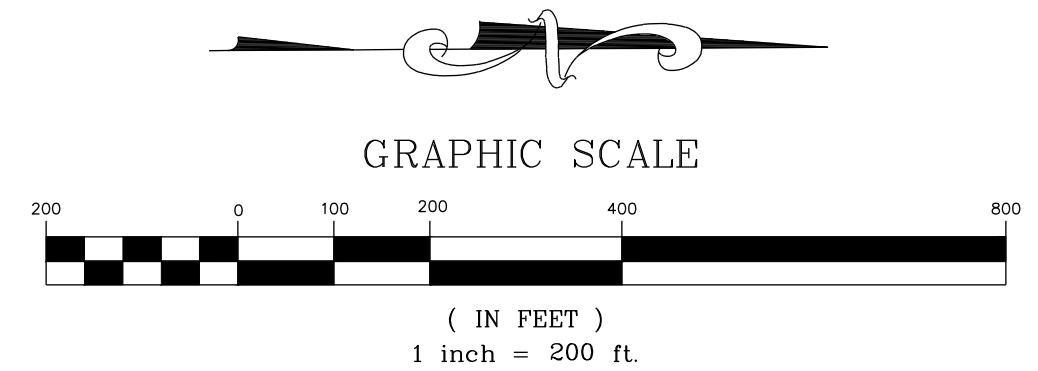
HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

OVERALL LANDSCAPE PLAN

DRAWING SHEET
C-8.0



1



NOTES:
SEE SHEET C-3.0 FOR ADJACENT PROPERTY DETAILS

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BUFFER CALCULATIONS			
PROJECT: ELLIS - MITCHELL MILLS			
ZONING: RM - CZ			
TOTAL LINEAR FOOTAGE (LF)	7,116	TABEL 6.2.2.1.F.2 PERIMETER BUFFERTYPE 2	
15 FT BUFFERS:			
NUMBER OF PLANTS	REQUIRED	PROVIDED	
CANOPY TREES	213.5	213	
UNDERSTORY	71.2	71	
SHRUBS	3,544	3,550	
30 FT STREET BUFFERS:			
ZONING: RM - CZ			
TOTAL LINEAR FOOTAGE (LF)	1,580.9	TABEL 6.2.2.2. STREET TREES	
POWERLINE SECTION			
EXCLUDING POWER LINE	187.1		
EXCLUDING POWER LINE	1,393.8		
NUMBER OF PLANTS UNDER POWEREASEMENT			
REQUIRED		PROVIDED	
UNDERSTORY TREES	9.4	10	
NUMBER OF CANOPY TREES IN STREET BUFFER			
REQUIRED		PROVIDED	
CANOPY TREES	34.8	35	

30' THOROUGHFARE BUFFER								
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	CONTAINER	CALIPER	DETAIL
CANOPY BUFFER								
+	GIN AUT	9	GINKGO BILOBA 'AUTUMN GOLD'	AUTUMN GOLD MAIDENHAIR TREE	10' HT.	B&B		
+	MAG GRA	4	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	12' HT.	B&B	3.0'	
+	QUE MAC	22	QUERCUS MACROCARPA	BURR OAK	12' HT.	B&B	2.5'	
SUBTOTAL:		35						
UNDERSTORY BUFFER								
+	AME ARB	2	AMELANCHIER ARBOREA	DOWNY SERVICEBERRY	6' HT.	POT	1.5'	
+	COR CHE	4	CORNUS FLORIDA 'CHEROKEE BRAVE'	CHEROKEE BRAVE DOGWOOD	5' HT.	POT	1.5'	
+	VIB CHI	4	VIBURNUM AWABUKI 'CHINDO'	CHINDO SWEET VIBURNUM	5' HT.	POT	1.5'	
SUBTOTAL:		10						

PERIMETER BUFFER TYPE 2										
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	CONTAINER	CALIPER	DETAIL		
CANOPY BUFFER										
+	ACE FLD	48	ACER FLORIDANUM	SOUTHERN SUGAR MAPLE	12' HT.	POT	2.5'			
+	NYS SYL	71	NYSSA SYLVATICA	TUPELO	12' HT.	POT	2.5'			
+	GOU NUT	46	QUERCUS NUTTALLII	NUTTALL OAK	12' HT.	POT	2.5'			
+	QUE PR2	48	QUERCUS PALUSTRIS 'PRINGREEN'	GREEN PILLAR PIN OAK	12' HT.	POT	2.5'			
SUBTOTAL:		213								
UNDERSTORY BUFFER										
+	AME ARB	27	AMELANCHIER ARBOREA	DOWNY SERVICEBERRY	6' HT.	POT	1.5'			
+	CER EAS	44	CERCIS CANADENSIS	EASTERN REDBUD MULTI-TRUNK	5' HT.	POT	1.5'			
SUBTOTAL:		71								
BUFFER SHRUBS										
+	ASC TUB	215	ASCLEPIAS TUBEROSA	BUTTERFLY MILKWEED	3 GAL.	POT		SPACING	DETAIL	
+	CEA AME	707	CEANOTHUS AMERICANUS	NEW JERSEY TEA	3 GAL.	POT		48" o.c.		
+	CLE HUM	480	CLETHR ALNIFOLIA 'HUMMINGBIRD'	HUMMINGBIRD SUMMERSWEET	3 GAL.	POT		48" o.c.		
+	HYP FRO	225	HYPERICUM FRONDOSUM 'SUNBURST'	SUNBURST ST. JOHN'S WORT	3 GAL.	POT		48" o.c.		
+	ILE GOS	225	ILEX CRENATA 'GOLDEN SOFT TOUCH'	GOLDEN SOFT TOUCH JAPANESE HOLLY	3 GAL.	POT		48" o.c.		
+	ILE SHA	485	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKERRY HOLLY	3 GAL.	POT		48" o.c.		
+	MUH AU2	264	MUHLENBERGIA CAPILLARIS 'AUTUMN BLUSH'	AUTUMN BLUSH PINK MUHLY GRASS	3 GAL.	POT		48" o.c.		
+	PAN NOR	225	PANICUM VIRGATUM 'NORTHWIND'	NORTHWIND SWITCH GRASS	3 GAL.	POT		48" o.c.		
+	VIB DWA	714	VIBURNUM TINUS 'DWARF'	DWARF LAURUSTINUS	3 GAL.	POT		48" o.c.		
SUBTOTAL:		3,550								



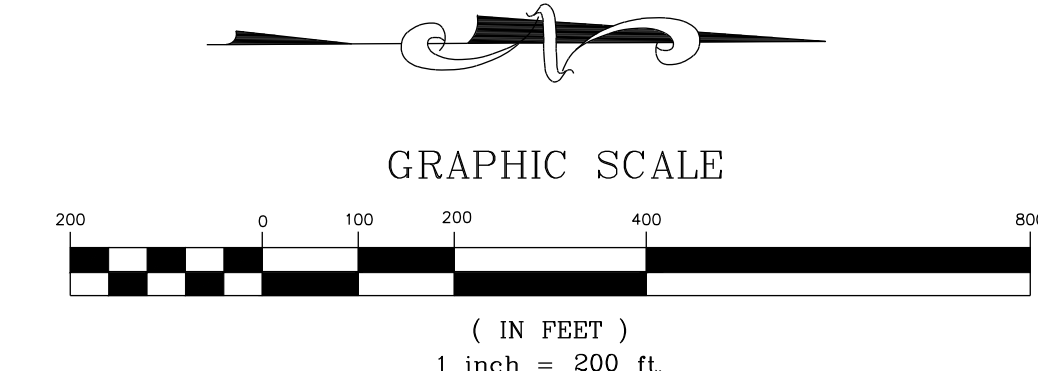
NO.	REVISIONS	DATE	BY
0			
1			

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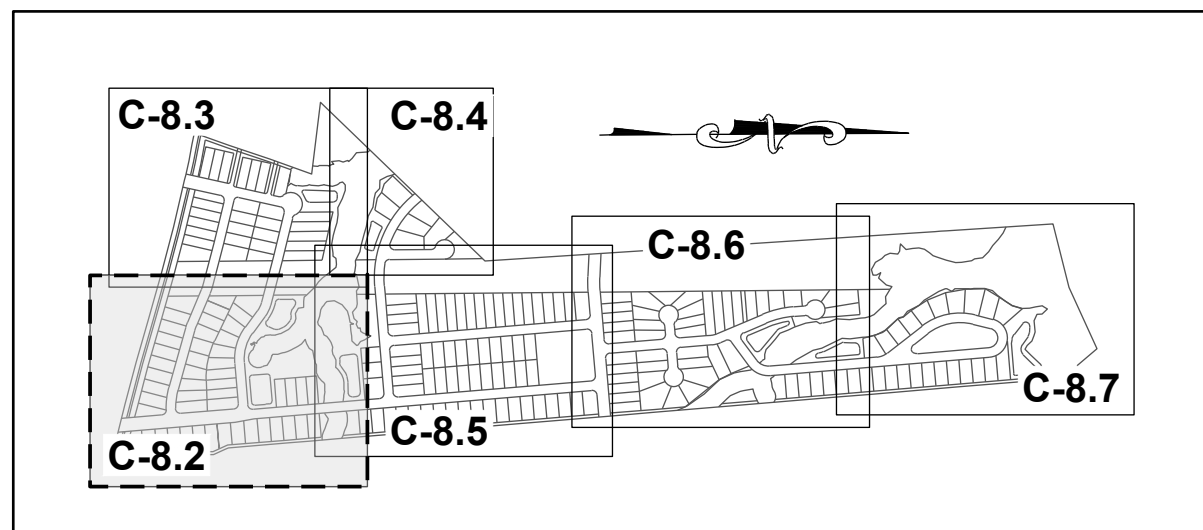
STRONGROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL
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HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
PERIMETER BUFFER PLAN



NOTES:
SEE SHEET C-3.0 FOR ADJACENT PROPERTY DETAILS

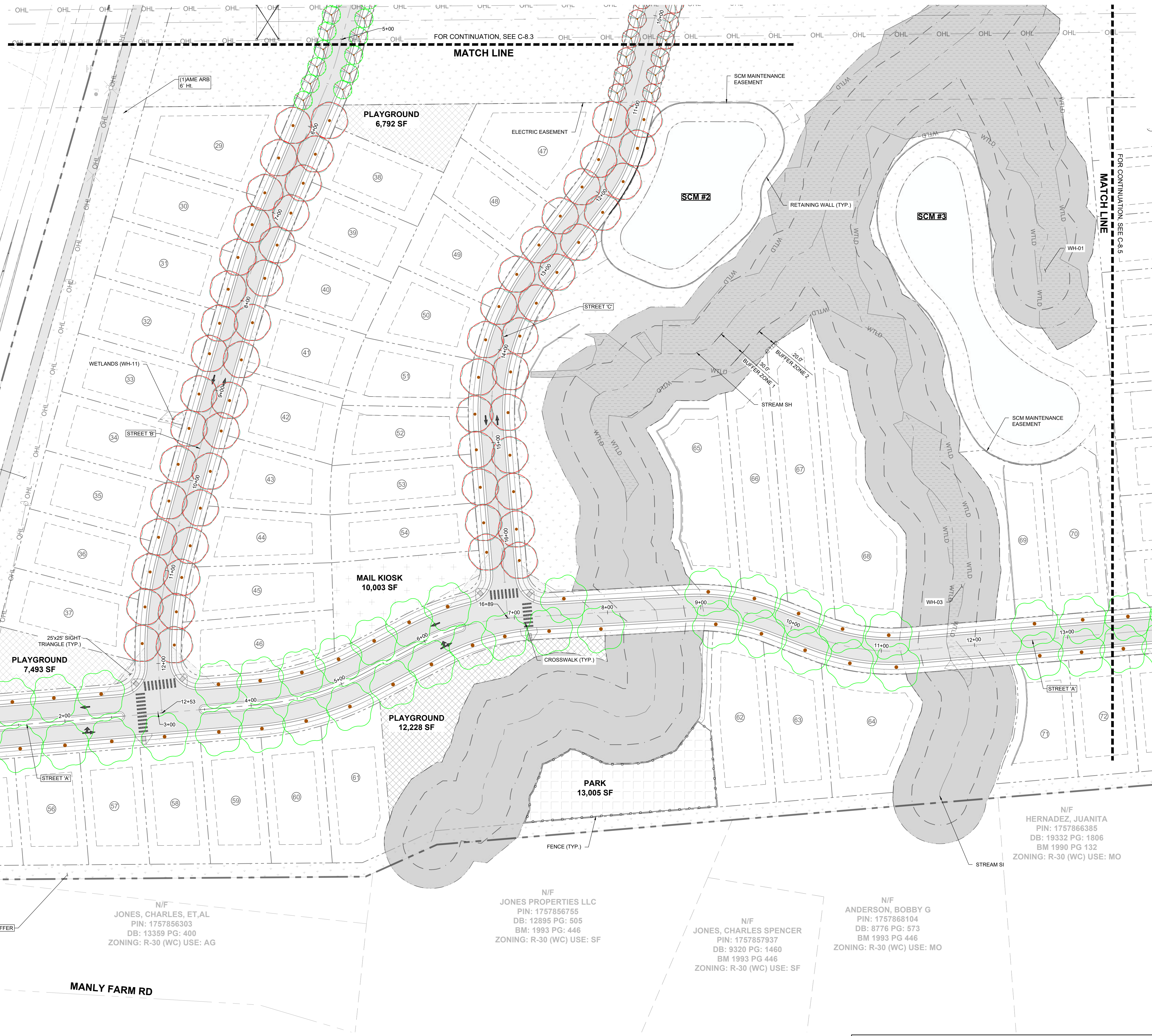
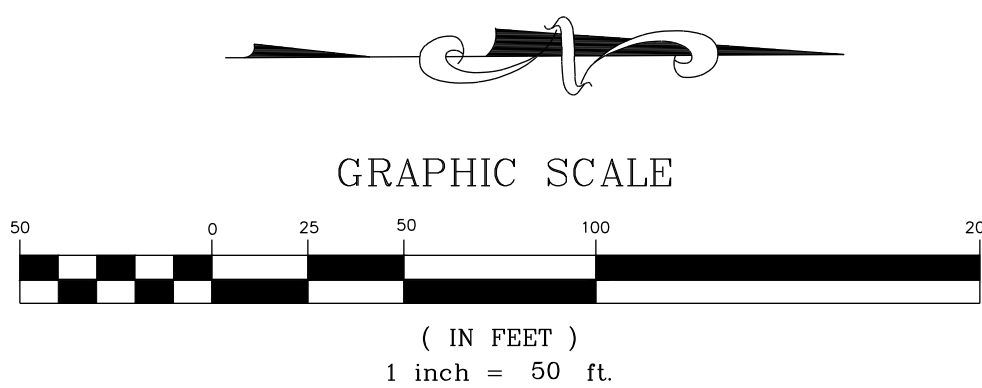
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SITE KEY PLAN

LEGEND:

SEE SHEET C-8.0 FOR LEGEND



N/F SOUTHVIEW INVESTMENT LLC
PIN: 1757738451
DB: 19248 PG: 2000
ZONING: R-30 (WC) USE: SF

MITCHELL MILL ROAD - S.R. 2224
60' PUBLIC R.O.W.
(BM 1971, PG 445)

25x25' SIGHT TRIANGLE (TYP.)

PLAYGROUND 7,493 SF

MAIL KIOSK 10,003 SF

PLAYGROUND 12,228 SF

PARK 13,005 SF

N/F JONES, CHARLES, ET.AL
PIN: 1757856303
DB: 13359 PG: 400
ZONING: R-30 (WC) USE: AG

N/F JONES PROPERTIES LLC
PIN: 1757856755
DB: 12895 PG: 505
BM: 1993 PG: 446
ZONING: R-30 (WC) USE: SF

N/F JONES, CHARLES SPENCER
PIN: 1757857937
DB: 9320 PG: 1460
BM 1993 PG 446
ZONING: R-30 (WC) USE: SF

N/F ANDERSON, BOBBY G
PIN: 1757868104
DB: 8776 PG: 573
BM 1993 PG 446
ZONING: R-30 (WC) USE: MO

N/F HERNANDEZ, JUANITA
PIN: 1757866385
DB: 19332 PG: 1806
BM 1990 PG 132
ZONING: R-30 (WC) USE: MO

MANLY FARM RD

NO.	REVISIONS	DATE	BY
0			
1			



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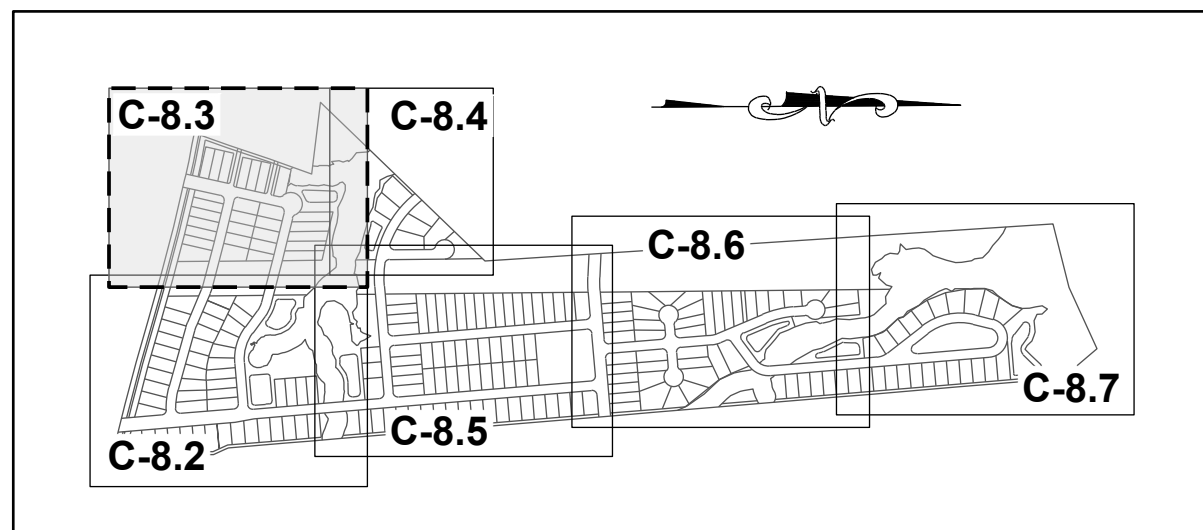
STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
		AS SHOWN	JWL	SRG	JWL

HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

PARTIAL LANDSCAPE PLAN I

DRAWING SHEET
C-8.2

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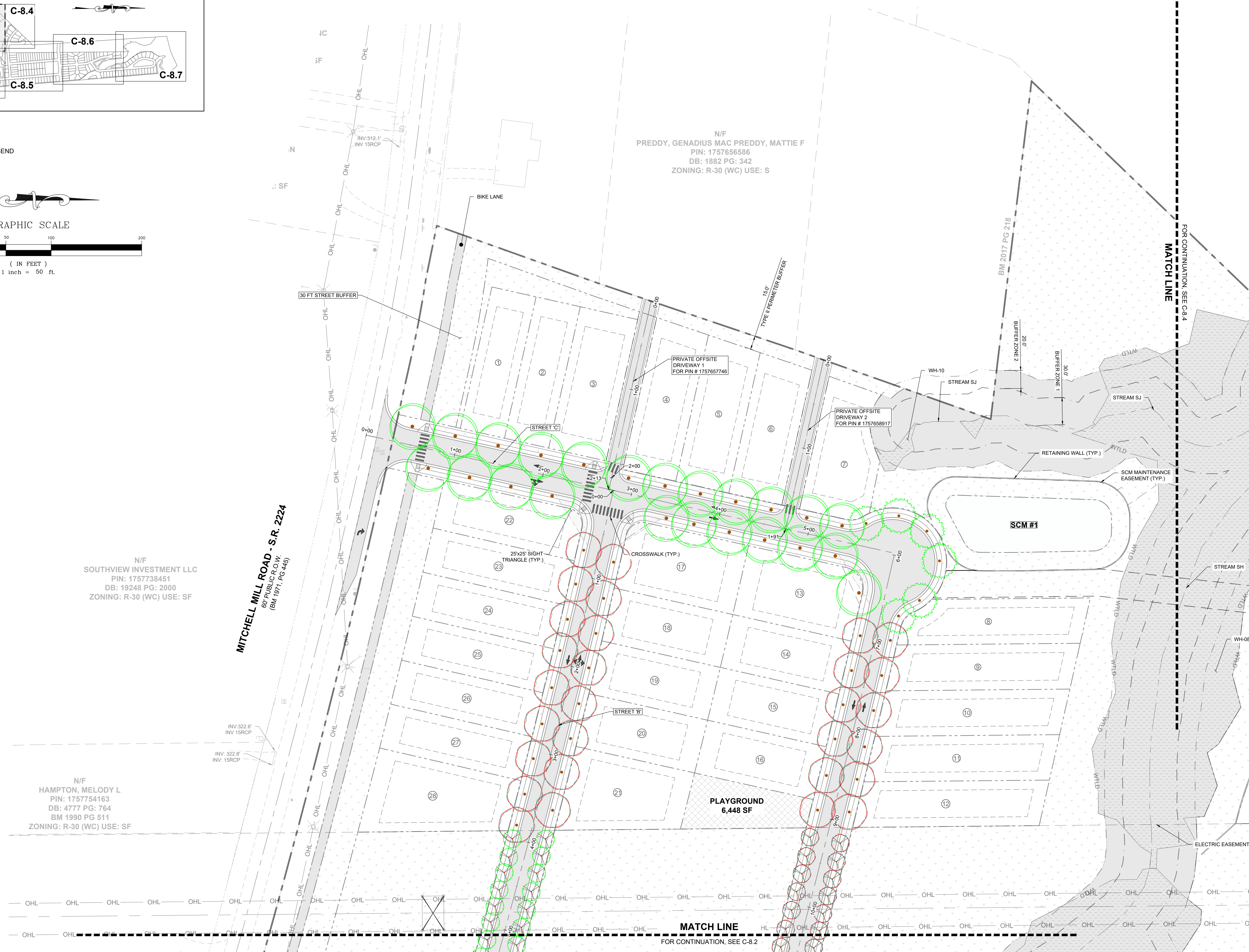
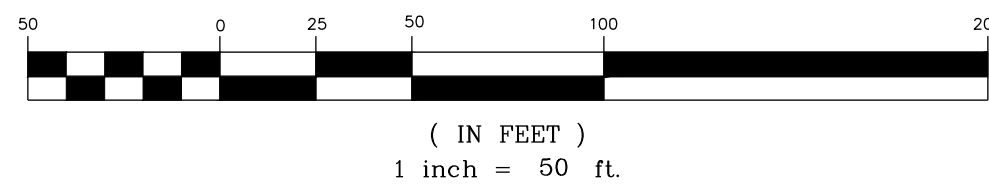
SITE KEY PLAN

LEGEND:

SEE SHEET C-8.0 FOR LEGEND



GRAPHIC SCALE



NO.	REVISIONS	DATE	BY
0			
1			



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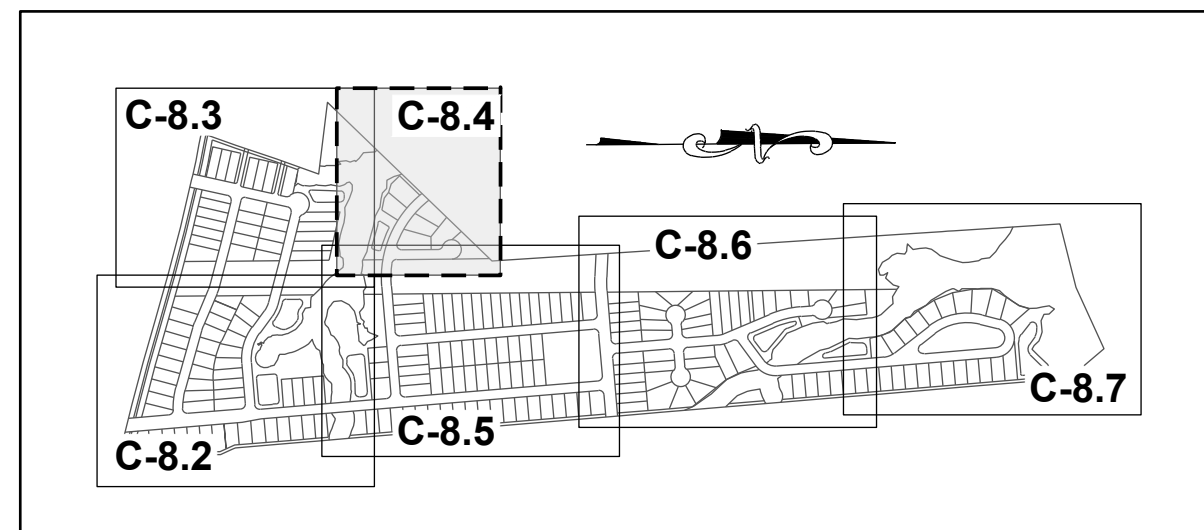
STRONGROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL
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HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

PARTIAL LANDSCAPE PLAN II

DRAWING SHEET
C-8.3

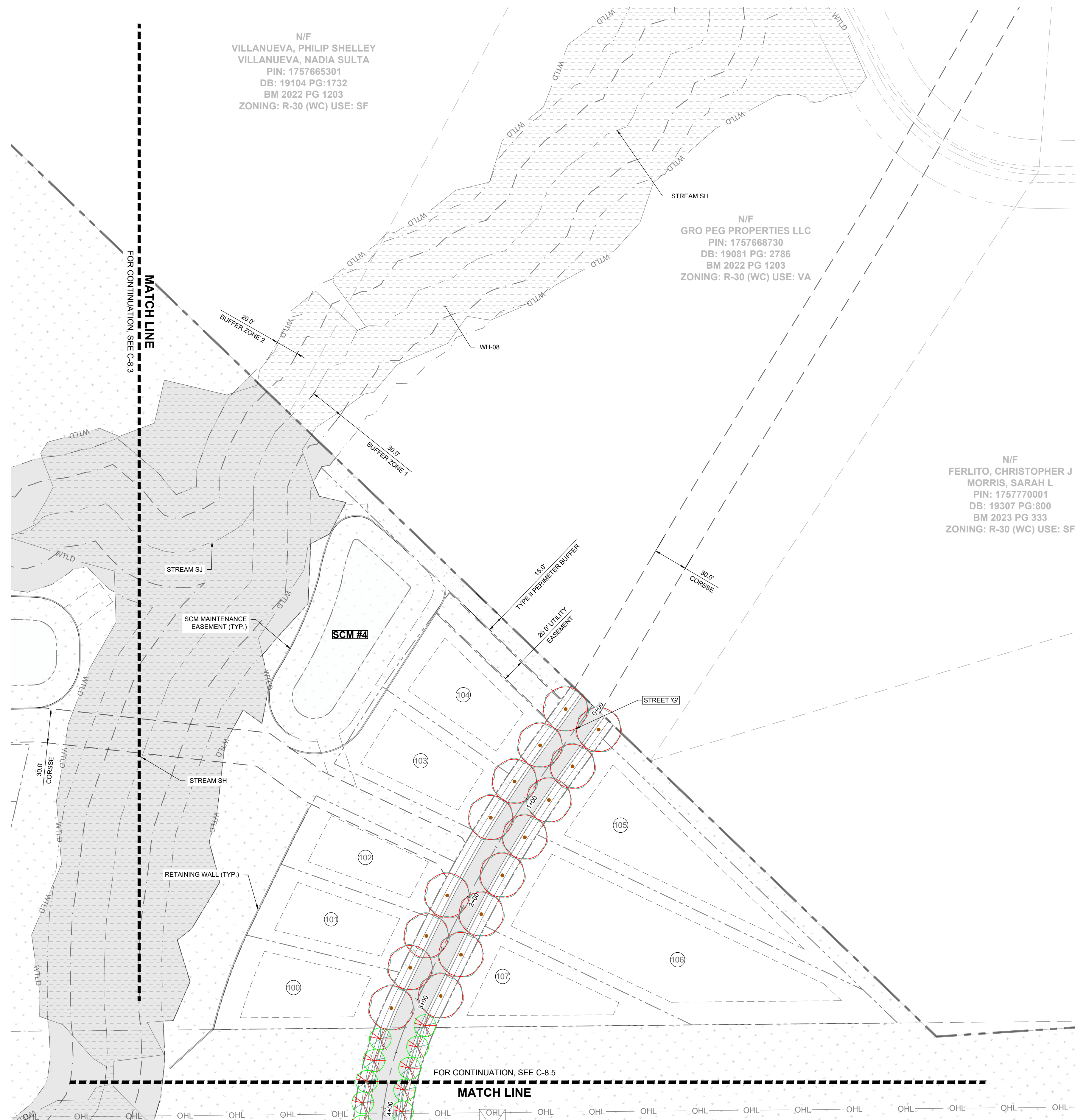
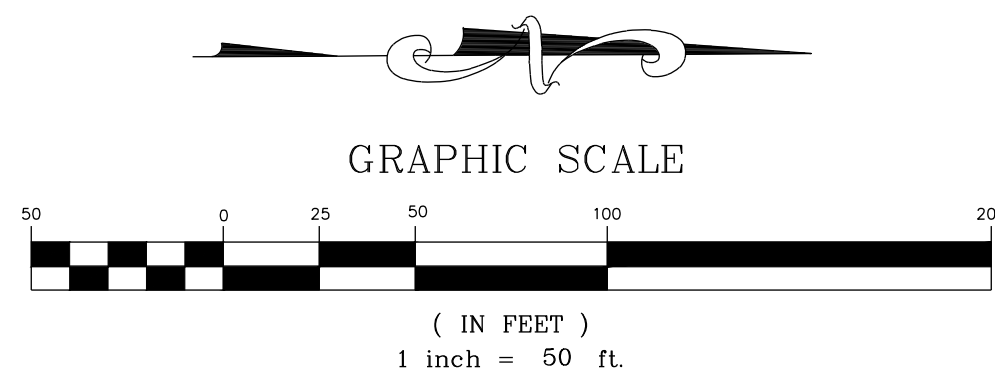
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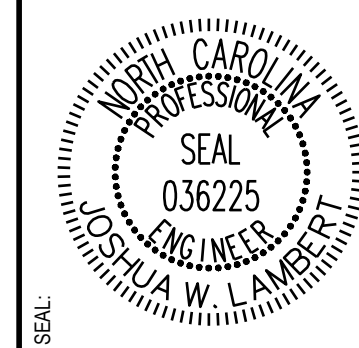
SITE KEY PLAN

LEGEND:

SEE SHEET C-8.0 FOR LEGEND



NO.	DATE	REVISIONS	BY
0	06/30/2024		
1	08/30/2024		



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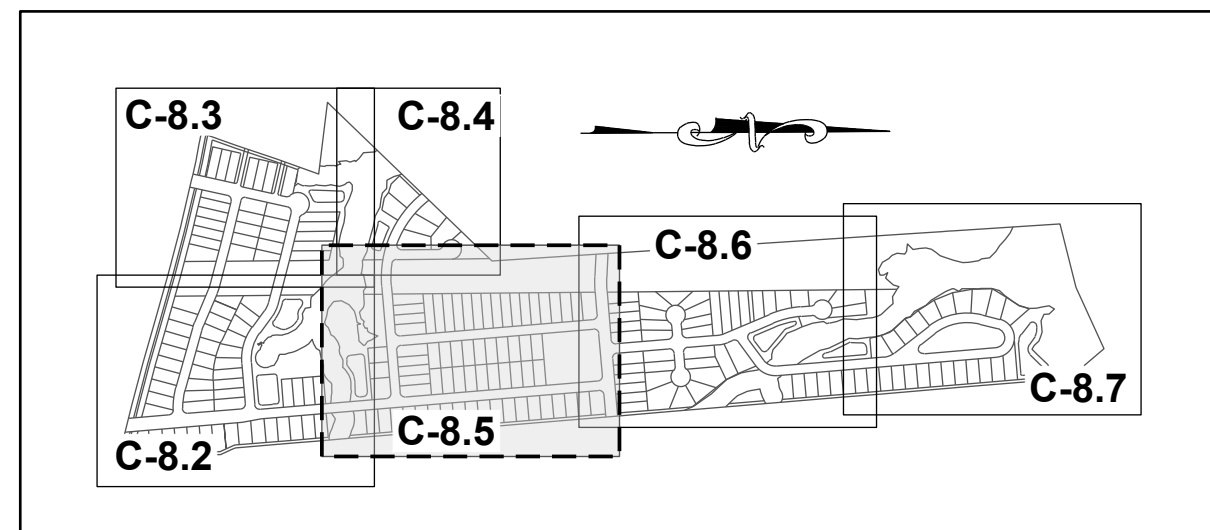
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STRONGROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL
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HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
PARTIAL LANDSCAPE PLAN III

DRAWING SHEET
C-8.4

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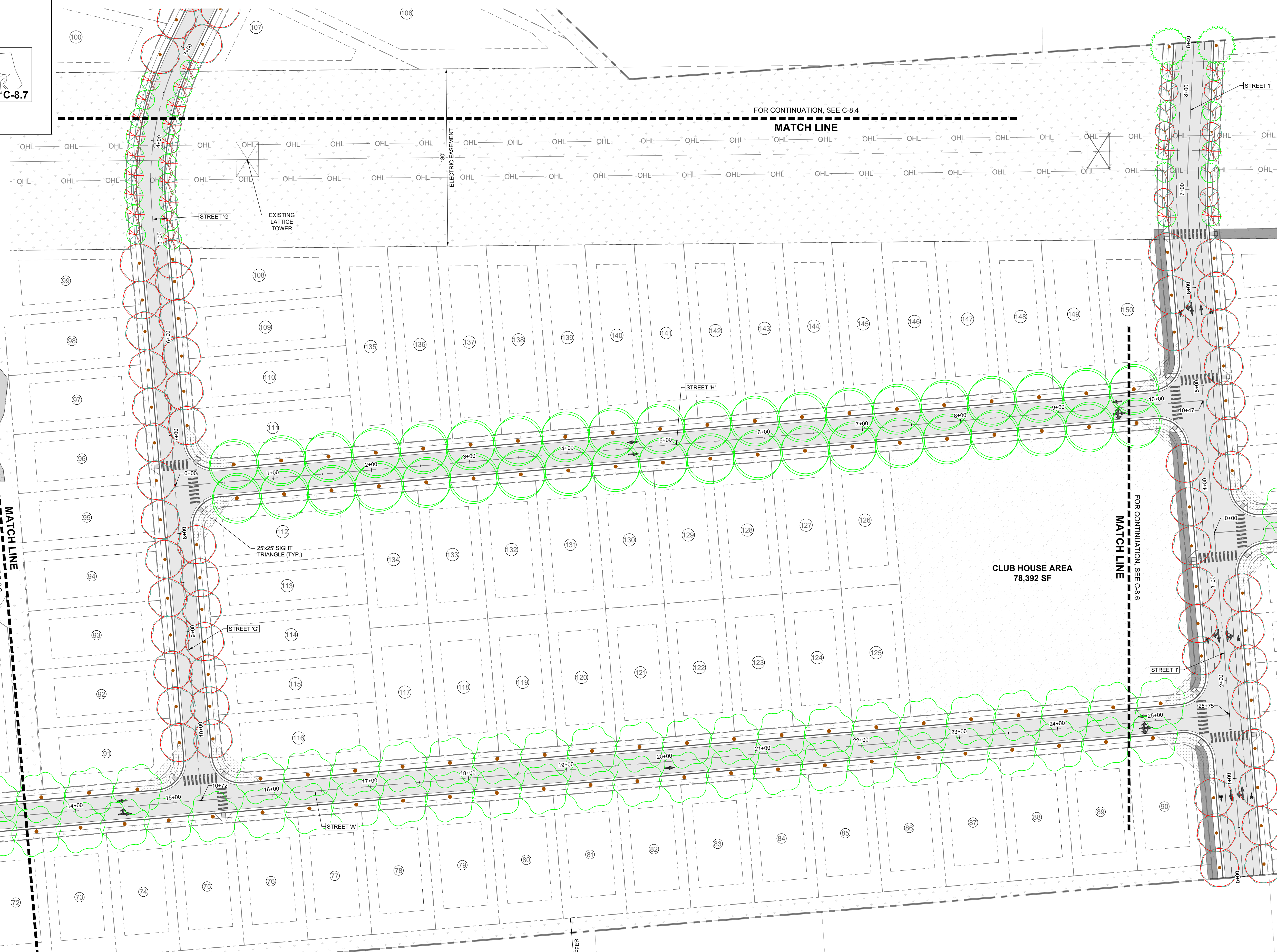
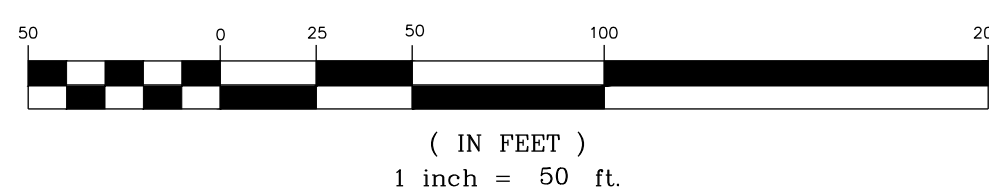
SITE KEY PLAN

LEGEND:

SEE SHEET C-8.0 FOR LEGEND



GRAPHIC SCALE



N/F
HERNADEZ, JUANITA
PIN: 1757866385
DB: 19332 PG: 1806
BM 1990 PG 132
ZONING: R-30 (WC) USE: MO

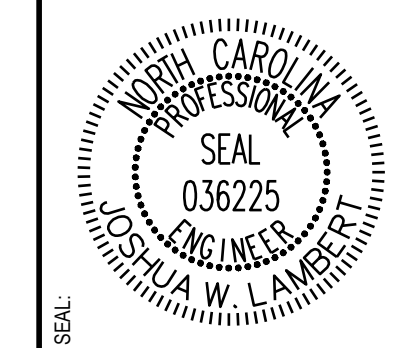
N/F
GOLD, SHARIE
PIN: 1757866660
DB: PG:
BM 1990 PG 00623
ZONING: R-30 (WC) USE: SF

N/F
LEFRANCOIS CONSTRUCTION CO INC
PIN: 1757866852
DB: 18468 PG: 2535
BM 2002 PG 352
ZONING: R-30 (WC) USE: VA

N/F
LEFRANCOIS, MICHAEL L LEFRANCOIS, TONIA
PIN: 1757876015
DB: 14356 PG: 1438
BM 2002 PG 352
ZONING: R-30 (WC) USE: SF

N/F
BEATTIE, LENORA M
PIN: 1757875349
DB: 07-E PG: 2834
ZONING: R-30 (WC) USE: SF

NO.	REVISIONS	DATE	BY
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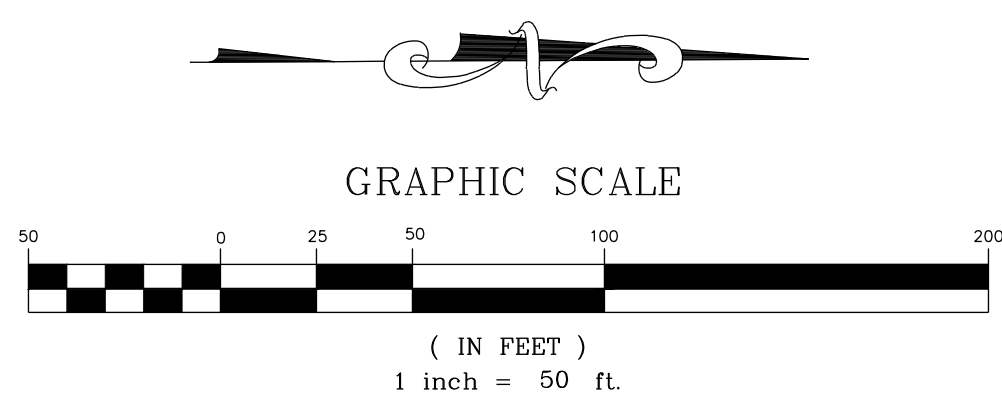
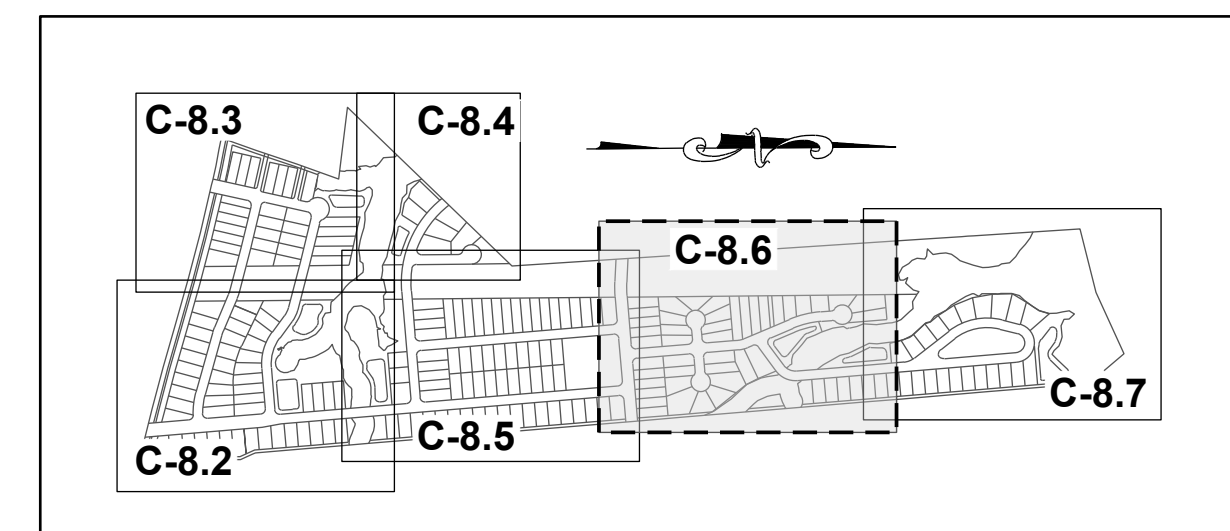
STRONG ROCK ENGINEERING GROUP, PLLC COMPANY LICENSE # P-2166
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STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY	DRAWN BY	CHECKED BY
			JWL	SRG	JWL

HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
PARTIAL LANDSCAPE PLAN IV

DRAWING SHEET
C-8.5

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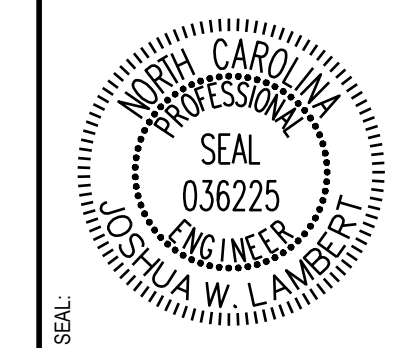
LEGEND:
SEE SHEET C-8.0 FOR LEGEND

N/F
CARLE, SCOTT CARLE, THERESA
PIN: 1757780258
DB: 14863 PG: 2493
BM 2008 PG 2198
ZONING: R-30 (WC) USE: SF

N/F
CARLE, SCOTT CARLE, THERESA
PIN: 1757781960
DB: 14863 PG: 2493
BM 2009 PG 645
ZONING: R-30 (WC) USE: VA



NO.	REVISIONS	DATE	BY
0			
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HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

PARTIAL LANDSCAPE PLAN V

DRAWING SHEET
C-8.6

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N/F
LEFRANCOIS, STEPHEN D
PIN: 1757874787
DB: 5638 PG: 497
ZONING: R-30 (WC) USE: SF

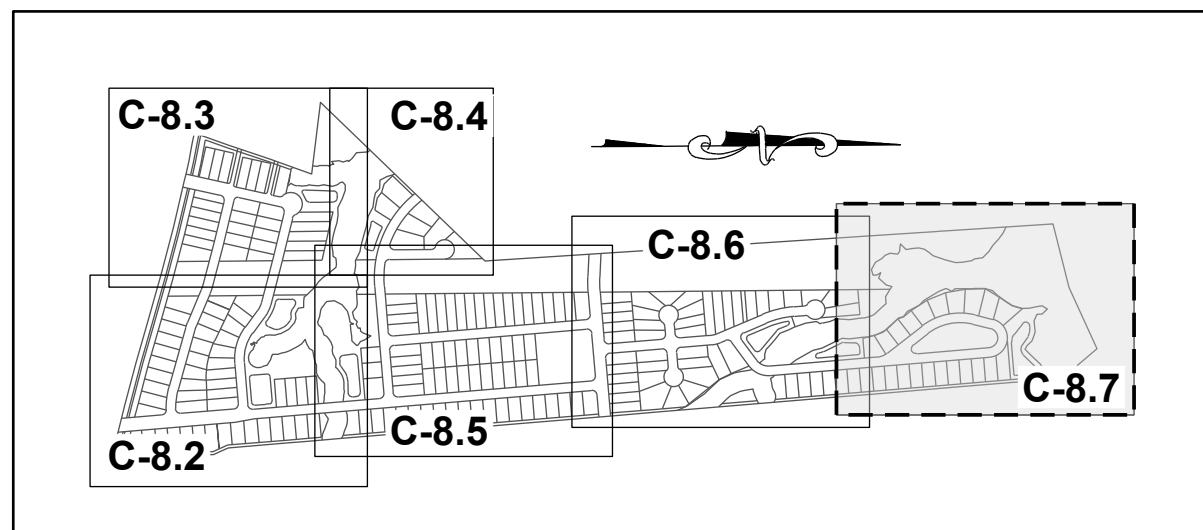
N/F
ADAMS, BENJAMIN ADAMS,
WHITNEY
PIN: 1757874938
DB: 18930 PG: 1511
BM 2006 PG 2397
ZONING: R-30 (WC) USE: SF

N/F
JONES PROPERTIES LLC
PIN: 1757884137
DB: 11404 PG: 2275
BM 1986 PG 01374
ZONING: R-30 (WC) USE: MO

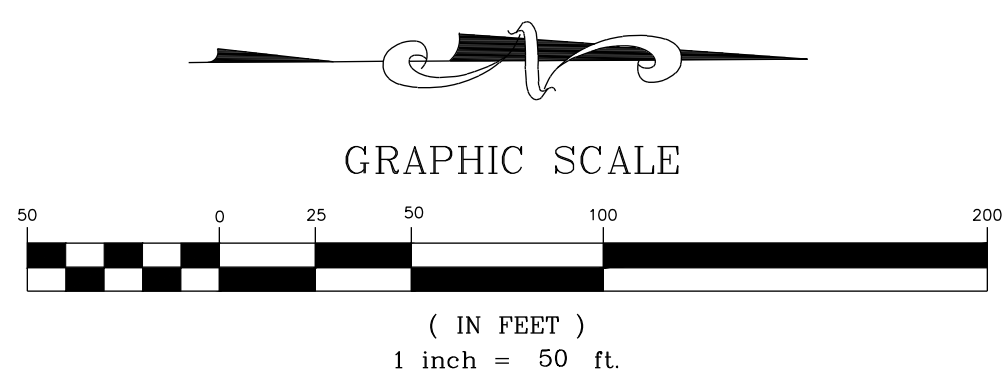
N/F
JONES PROPERTIES LLC
PIN: 1757884420
DB: 12589 PG: 1045
BM 1986 PG 1374
ZONING: R-30 (WC) USE: MO

N/F
JONES, CHARLES SPENCE
PIN: 1757884608
DB: 5319 PG: 135
BM 1994 PG 1952
ZONING: R-30 (WC) USE: SF

N/F
JONES, CHARLES SPENCE
PIN: 1757883981
DB: 5319 PG: 135
BM 1994 PG 1952
ZONING: R-30 (WC) USE: SF



SITE KEY PLAN



LEGEND: SEE SHEET C-8.0 FOR LEGEND



N/F CARLE, SCOTT CARLE, THERESA
PIN: 1757790646
DB: 14863 PG: 2493
BM 2008 PG 2198
ZONING: R-30 (WC) USE: VA

N/F JONES, CHARLES E
PIN: 1757694902
DB: 8581 PG: 2079
BM 2018 PG 390
ZONING: RL (RO) USE: VA

N/F FORRESTER, JENNIFER N
FORRESTER, HAYES G
PIN: 1758707313
DB: 12620 PG: 2172
ZONING: RL (RO) USE: SF

N/F RGA CONSULTING LLC
PIN: 757893646
DB: 15770 PG: 1169
BM 2010 PG 725
ZONING: R-30 (WC) USE: VA

N/F JONES PROPERTIES LLC
PIN: 1758805144
DB: 11187 PG: 542
BM 1971 PG 445
ZONING: R-30 (WC) USE: SF

N/F JONES, CHARLES SPENCE
PIN: 1757883981
DB: 5319 PG: 135
BM 1994 PG 1952
ZONING: R-30 (WC) USE: SF

N/F JONES, CHARLES SPENCE
PIN: 1757894101
DB: 2590 PG: 622
ZONING: R-30 (WC) USE: SF

N/F JONES, CHARLES SPENCE
PIN: 1757893394
DB: 2478 PG: 210
ZONING: R-30 (WC) USE: MO

NO.	REVISIONS	DATE	BY
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1			



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305 CHURCH AT NORTH HILLS STREET, SUITE 1110-PALEIGH, NC 27689 INFORMATION@STRONGROCKGROUP.COM

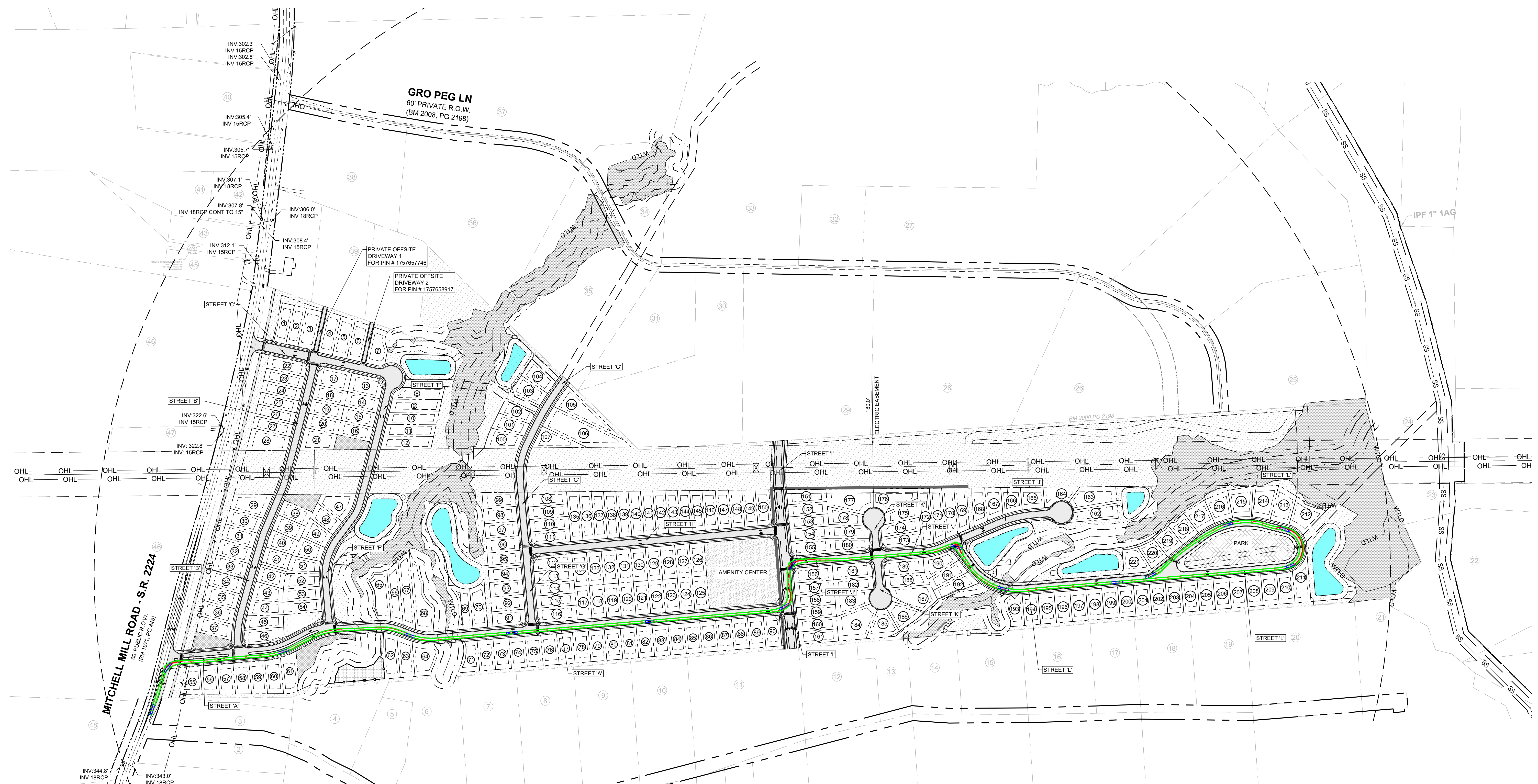
STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL
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HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

PARTIAL LANDSCAPE PLAN VI

DRAWING SHEET
C-8.7

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NO.	REVISIONS	DATE	BY
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HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

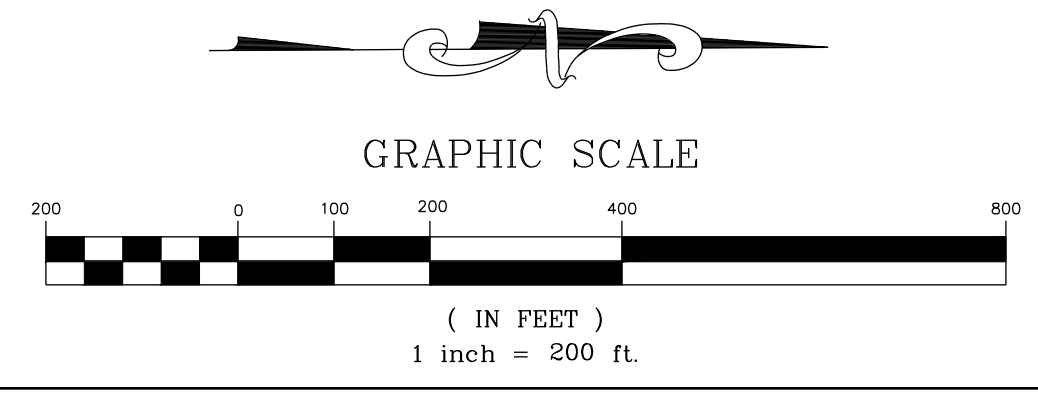
FIRE PLAN

DRAWING SHEET
C-9.0

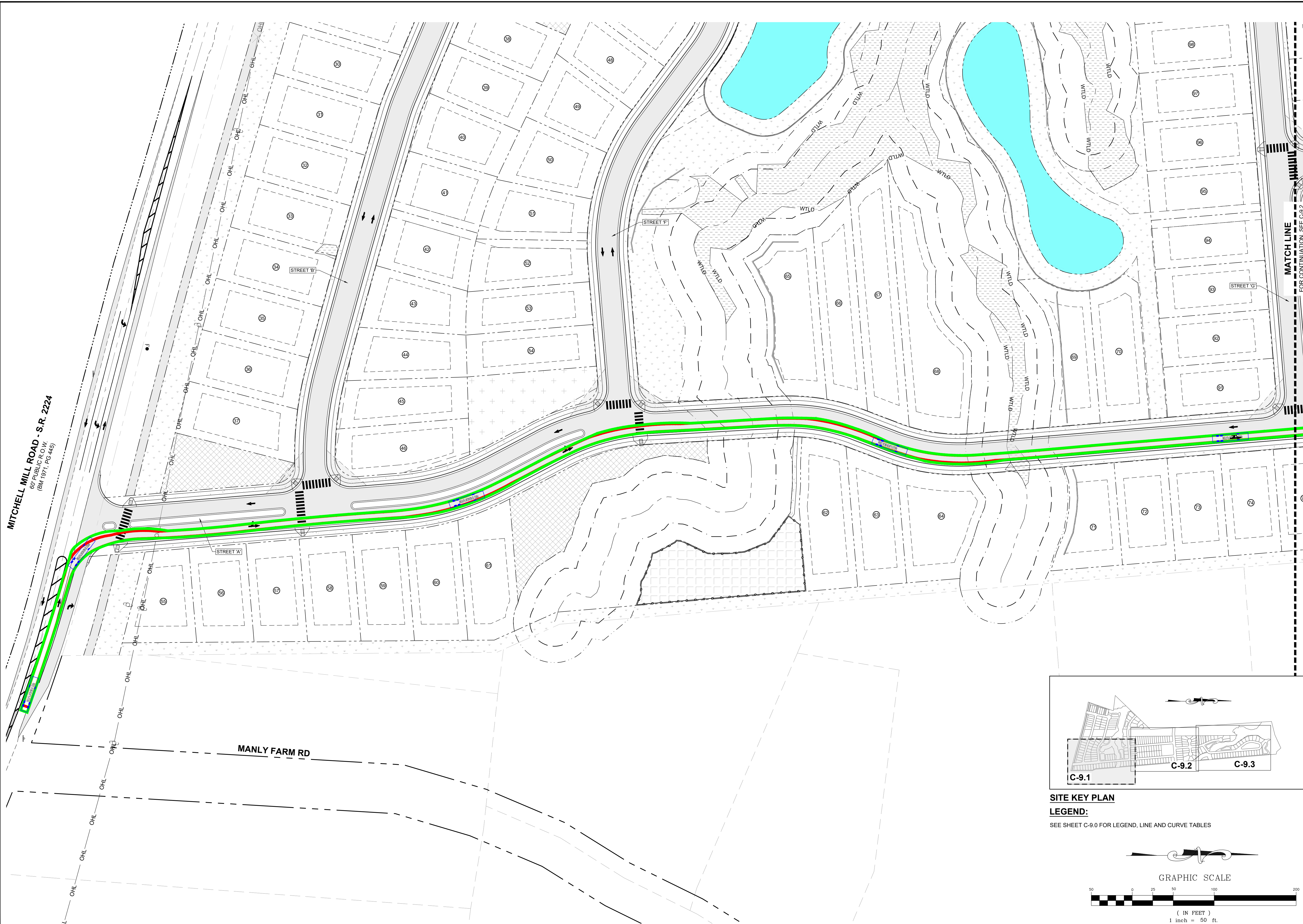
NOTES:
THIS IS A SINGLE PHASE PROJECT.
SEE SHEET C-3.0 FOR ADJACENT PROPERTY DETAILS

LEGEND:

- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- ROADWAY CENTER LINE
- PROPOSED PROPERTY LINE VALLEY/ROLLED CURB & GUTTER
- STANDARD CURB & GUTTER
- CONCRETE SIDEWALK
- ASPHALT PAVEMENT
- OPEN SPACE
- EXISTING WETLAND
- TRUCK BODY PATH OUTLINE
- WHEELS PATH OUTLINE
- FIRE TRUCK



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MITCHELL MILL ROAD - S.R. 2224
 60' PUBLIC R.O.W.
 (BM 1971, PG 445)

MANLY FARM RD

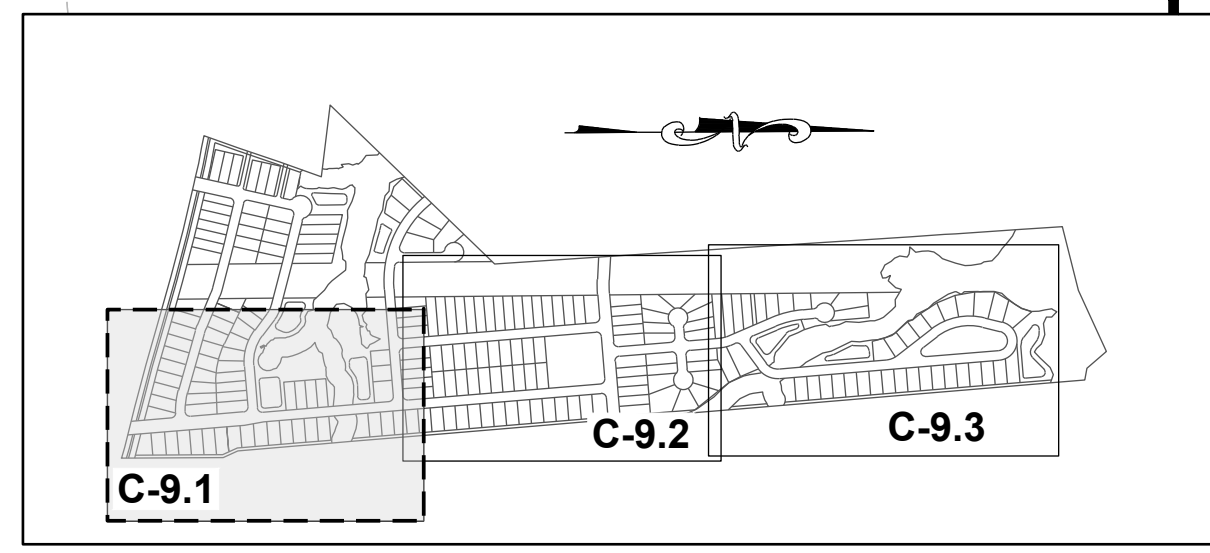
STREET 'B'

STREET 'A'

STREET 'F'

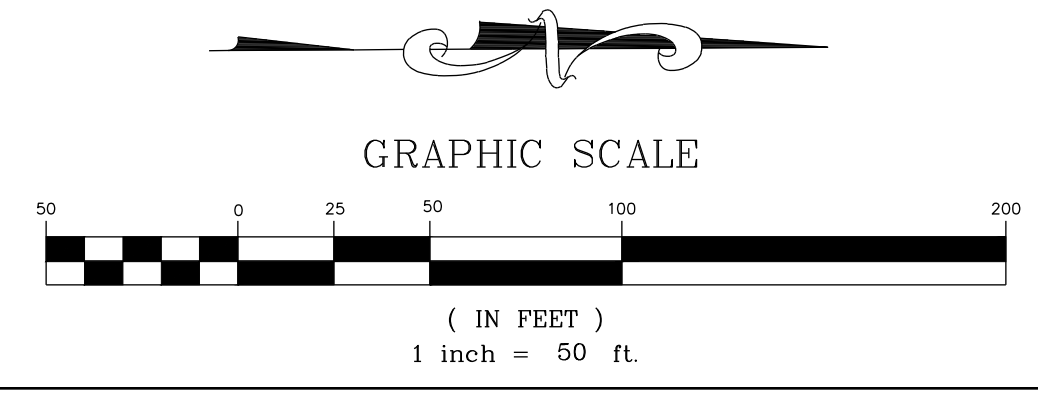
STREET 'G'

MATCH LINE
 FOR CONTINUATION, SEE C-9.2



SITE KEY PLAN

LEGEND:
 SEE SHEET C-9.0 FOR LEGEND, LINE AND CURVE TABLES



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0	TOWN OF ROLESVILLE V1-FSP-24-03	05/30/2024	ISREG
1	TOWN OF ROLESVILLE V2-FSP-24-03	08/30/2024	ISREG

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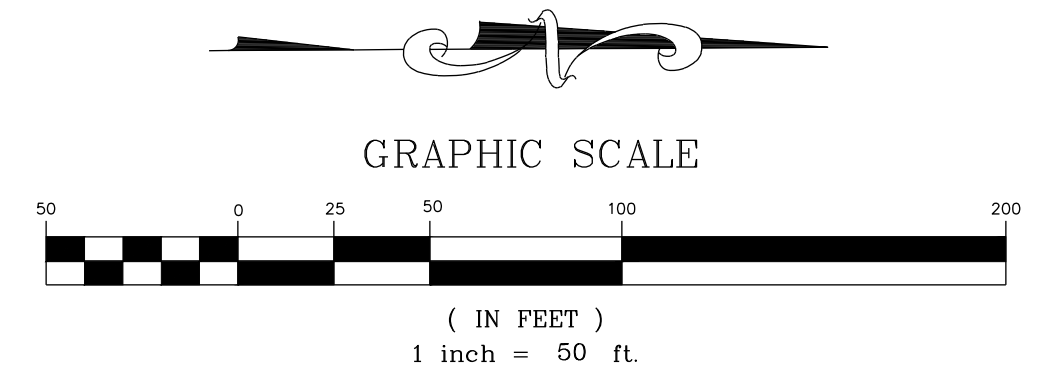
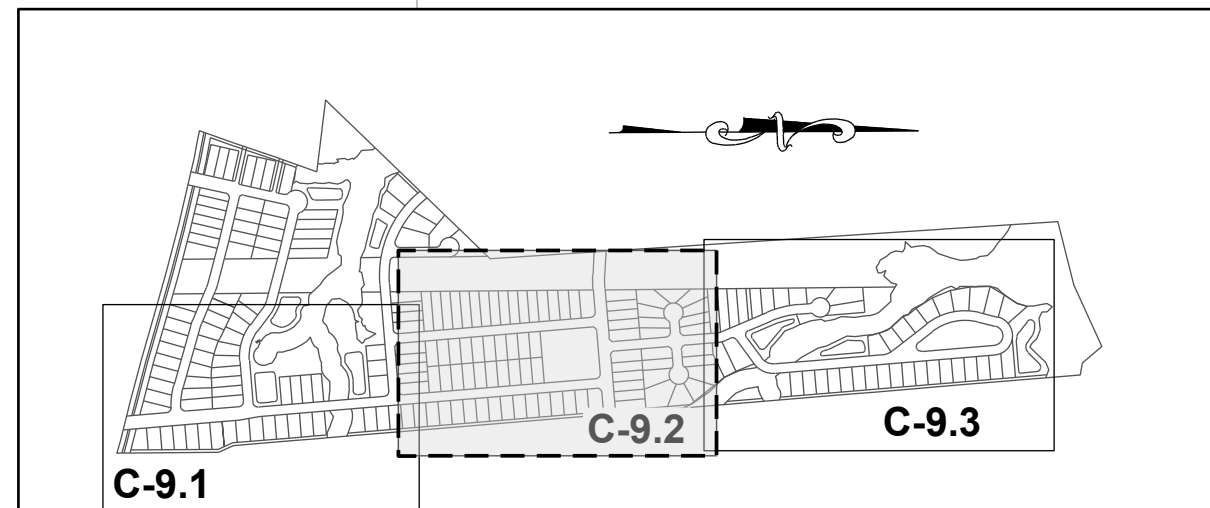
STRONG ROCK ENGINEERING GROUP, PLLC COMPANY LICENSE # P-2166
 305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 | INFORMATION@STRONGROCKGROUP.COM

STRONGROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL
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HILLS AT HARRIS CREEK
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

FIRE PLAN I

DRAWING SHEET
C-9.1



SITE KEY PLAN
LEGEND:
SEE SHEET C-9.0 FOR LEGEND, LINE AND CURVE TABLES

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NO.	REVISIONS	DATE	BY
0			
1			



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STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL
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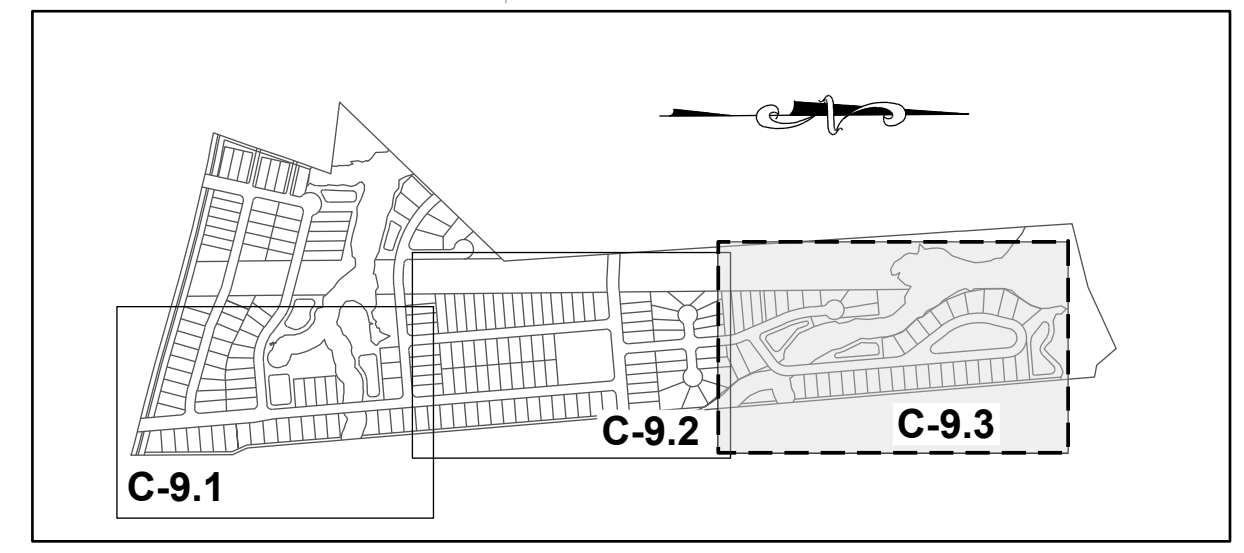
HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

FIRE PLAN II

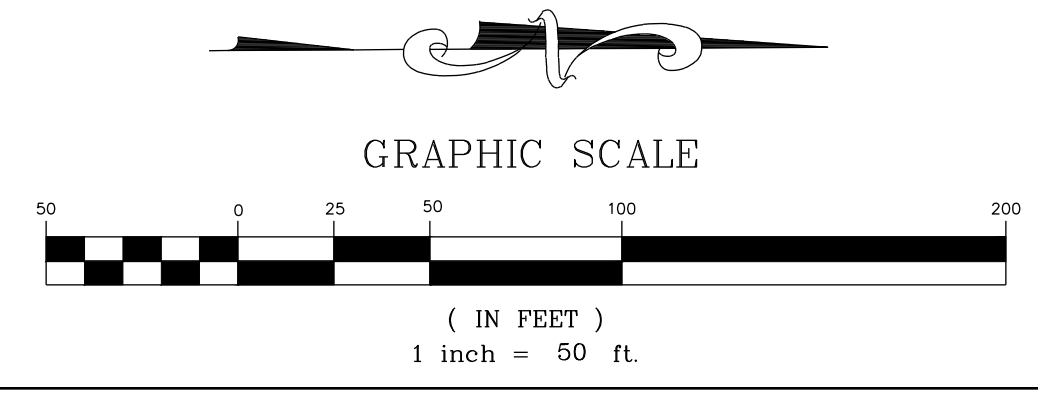
DRAWING SHEET
C-9.0



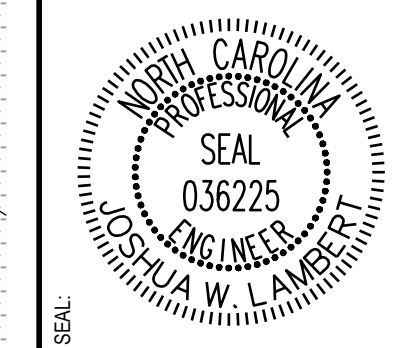
MATCH LINE
FOR CONTINUATION, SEE C-9.2



SITE KEY PLAN
LEGEND:
SEE SHEET C-9.0 FOR LEGEND, LINE AND CURVE TABLES



NO.	REVISIONS	DATE	BY
0	TOWN OF ROLESVILLE V1-FSP-24-03	05/30/2024	ISREG
1	TOWN OF ROLESVILLE V2-FSP-24-03	08/30/2024	ISREG



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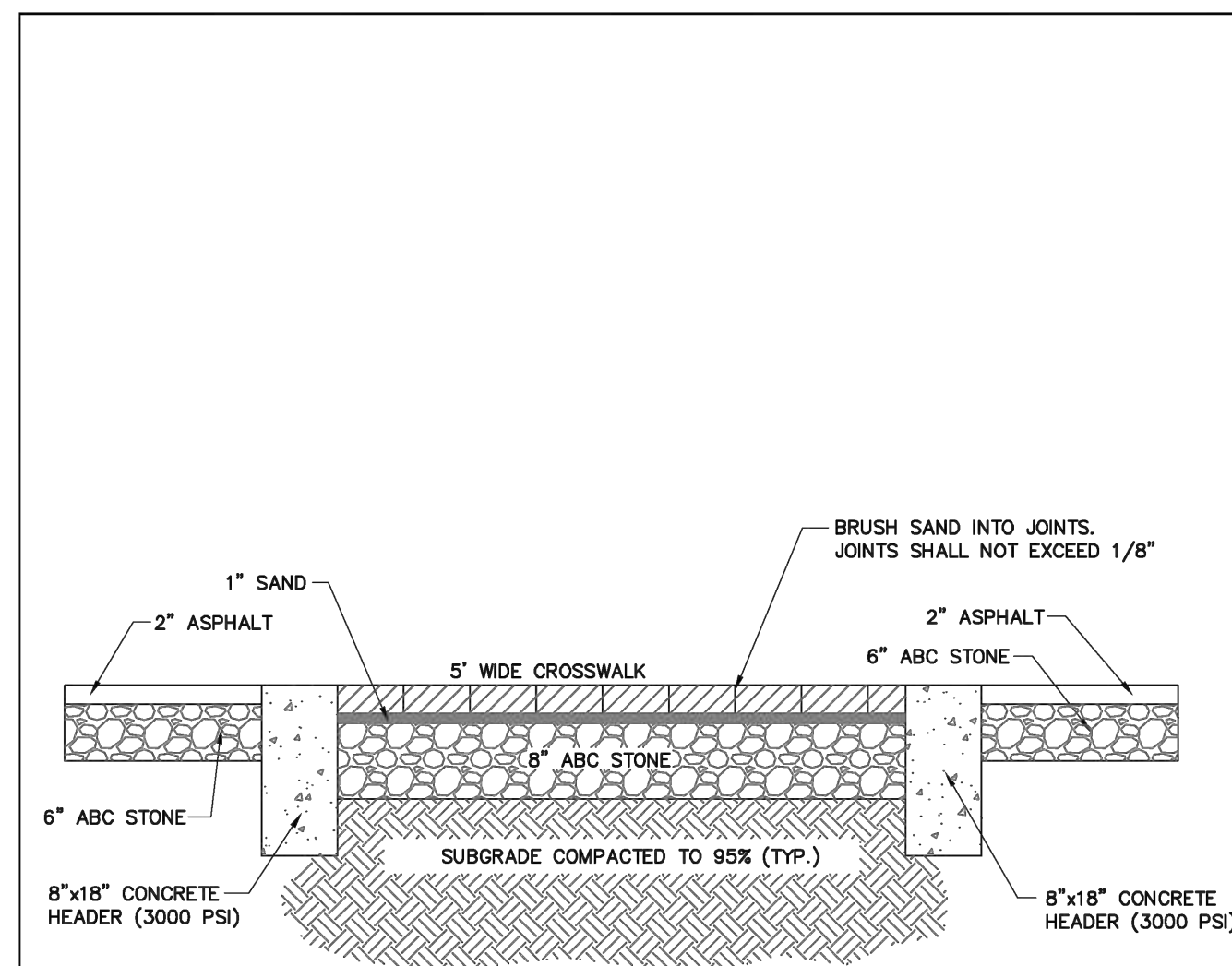
STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	DESIGNED BY JWL	DRAWN BY SRG	CHECKED BY JWL
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HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

FIRE PLAN III

DRAWING SHEET
C-9.0

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NOTE:
1. STAMPED CONCRETE OR ASPHALT MAY BE USED IN LIEU OF BRICK PAVERS.

REVISIONS		STD. NO.
DATE	DESCRIPTION	
TOWN OF KNIGHTDALE STANDARD DETAILS		BRICK CROSSWALK
		4.10

NO.	REVISIONS	DATE	BY
0	TOWN OF ROLESVILLE V1-FSP-24-03	05/30/2024	ISREG
1	TOWN OF ROLESVILLE V2-FSP-24-03	08/30/2024	ISREG



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			JWL	SRG	JWL

HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

SITE DETAILS

DRAWING SHEET
D-1.0