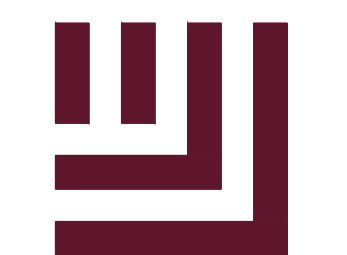


WALLBROOK-TOWNHOME AMENITY PLAN



McADAMS
The John R. McAdams Company, Inc.

2905 Meridian Parkway
Durham, NC 27713

phone 919. 361. 5000
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license number: C-0293

www.mcadamsco.com

CONTACT

SARA DONOHOE
DONOHOE@mcadamsco.com
PHONE: 919. 287. 0771

CLIENT

WALLBROOK LANDCO, LLC
4700 SIX FORKS RD, SUITE 150
RALEIGH, NORTH CAROLINA 27609

PROJECT DIRECTORY

S. MAIN STREET
ROLESVILLE, NORTH CAROLINA, 27571

SITE DEVELOPMENT PLAN
PROJECT NUMBER: CPR-19100
TOWN OF ROLESVILLE PROJECT NUMBER SP 22-09
DATE: NOVEMBER 11, 2022
SIGNATURE SET: JUNE 27, 2023
FIELD REVISION: AUGUST 30, 2024

SPECIAL USE PERMIT CONDITIONS

- USES AND MAXIMUM DENSITIES ARE LIMITED TO THOSE SHOWN ON EACH SITE ON THE CONCEPT PLAN. ANY RESIDENTIAL UNITS NOT DESIGNATED ON THE RESIDENTIAL-TOWNHOMES TRACT MAY BE USED ON ANY OF THE TRACTS LABELED FOR NON-RESIDENTIAL USES.
- PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY FOR THE FIRST RESIDENTIAL UNIT IN THE EAST SIDE AS SHOWN ON THE CONCEPT PLAN, DEVELOPER WILL COMPLETE THE EXTENSION OF WALL CREEK DRIVE TO MAIN STREET.
- IF APPLICANT SEEKS A CERTIFICATE OF OCCUPANCY PRIOR TO THE COMMENCEMENT OF WORK ON THE LAPP GRANT PROJECT IMPROVEMENTS, THEN PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY OF THE FIRST RESIDENTIAL UNIT IN THE EAST SIDE AND IN ACCORDANCE WITH THE "WALLBROOK DEVELOPMENT TIA ADDENDUM -- RESIDENTIAL-ONLY PHASE" DATED FEBRUARY 13, 2020, DEVELOPER WILL CONSTRUCT A 100' NORTHBOUND RIGHT TURN LANE AND A 100' SOUTHBOUND LEFT TURN LANE AT THE INTERSECTION OF WALL CREEK DRIVE (AS EXTENDED) AND MAIN STREET. IF WORK ON THE LAPP GRANT PROJECT IMPROVEMENTS IS COMMENCED BEFORE THE FIRST CERTIFICATE OF OCCUPANCY IS REQUESTED, DEVELOPER IS NOT REQUIRED TO CONSTRUCT THE AFOREMENTIONED IMPROVEMENTS.
- NO LATER THAN SIX MONTHS FOLLOWING THE COMPLETION OF THE LAPP GRANT PROJECT IMPROVEMENTS, DEVELOPER WILL COMPLETE BOTH 1) THE EXTENSION OF VIRGINIA WATER DRIVE TO MAIN STREET AND 2) THE EXTENSION OF BURLINGTON MILLS ROAD (AS REALIGNED) FROM MAIN STREET TO VIRGINIA WATER DRIVE.
- DEVELOPER WILL COMPLETE TRAFFIC IMPROVEMENTS AS SET FORTH IN OCTOBER 12, 2020 MEMO BY STANTEC.
- AS SHOWN ON THE "PRELIMINARY PLAT PLAN - SP 21-02," AREAS OF THE SITE EAST OF THE RIPARIAN STREAM AND ADJACENT TO WAKE COUNTY PINS 1758676836, 1758674619, 1758674416, 1758674204, 1758674100, AND 1758663984 SHALL NOT BE DEVELOPED WITH STRUCTURES OR IMPROVEMENTS.

SURVEY NOTES

- THE PROPERTY LIES IN ZONE "X" PER NATIONAL FLOOD INSURANCE PROGRAM RATE MAP (FIRM), WAKE COUNTY, NORTH CAROLINA, PANEL 1758, MAP NO. 3720175800J, DATED MAY 2, 2006.
- THE SURVEY IS REFERENCED TO THE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983, 2001 ADJUSTMENT, NAD83(2001). ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
- THE SUBJECT PARCEL IS ZONED CO-SUD (COMMERCIAL OUTLYING SPECIAL USE DISTRICT) PER WAKE COUNTY GIS.
- SURVEY WAS PREPARED BY JOHNSON, MIRMAN & THOMPSON UNDER THE SUPERVISION OF WILLIAM T. ROBBINS, PLS. FIELD WORK WAS COMPLETED MARCH 25, 2020.
- AREAS COMPUTED BY COORDINATE METHOD.
- NO CEMETERIES OBSERVED AS A RESULTS OF THE SURVEY.

DEVELOPER/OWNER CURRENT ZONING: CO SUD

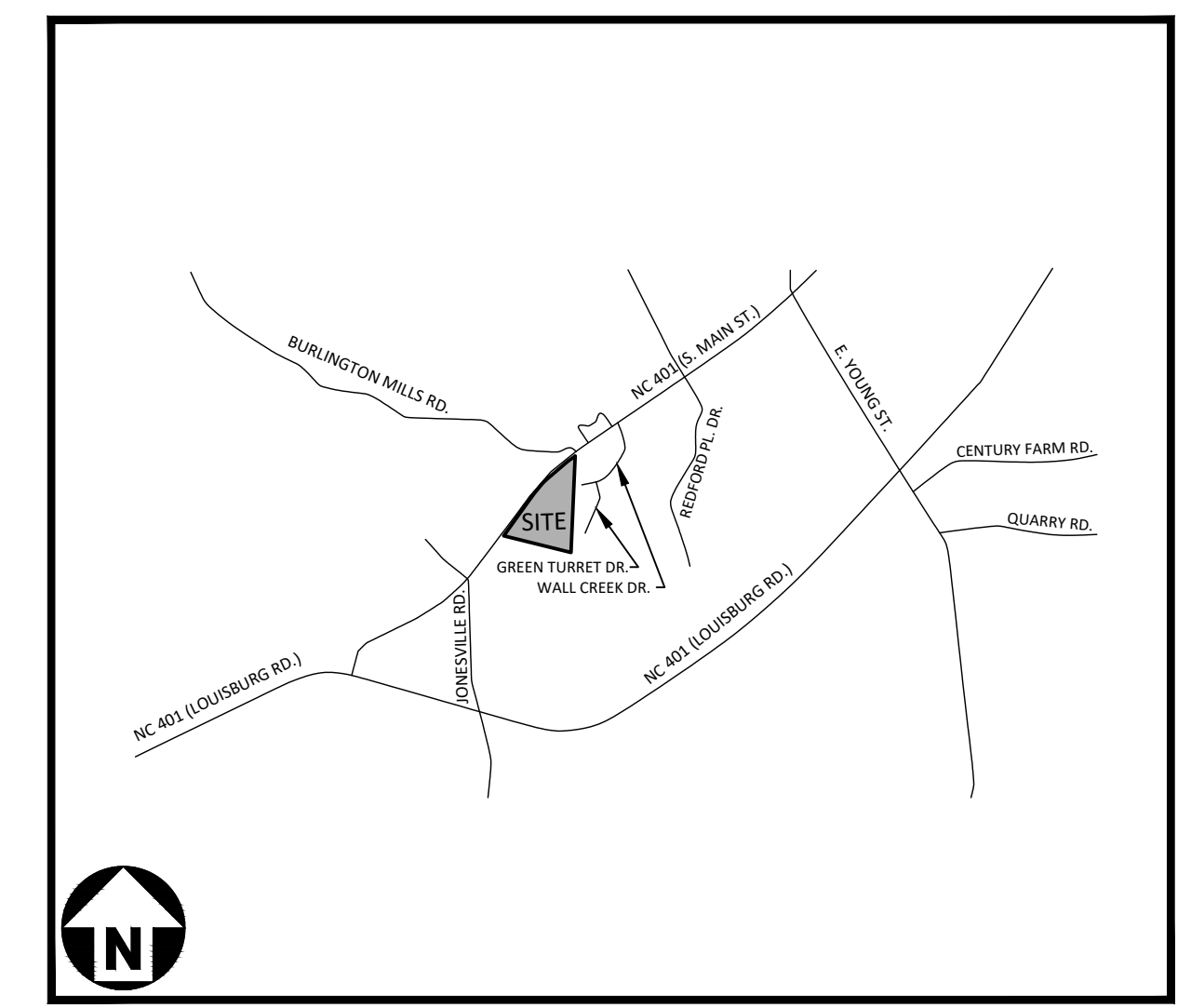
WALLBROOK LANDCO, LLC
4700 SIX FORKS RD, SUITE 150
RALEIGH, NC 27609

SURVEY BY:
JOHNSON, MIRMAN & THOMPSON
9201 ARBORETUM PARKWAY, SUITE 310
RICHMOND, VIRGINIA 23236

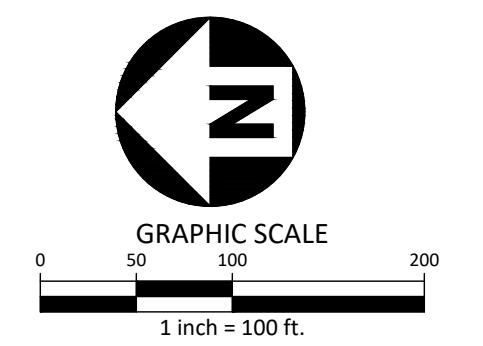
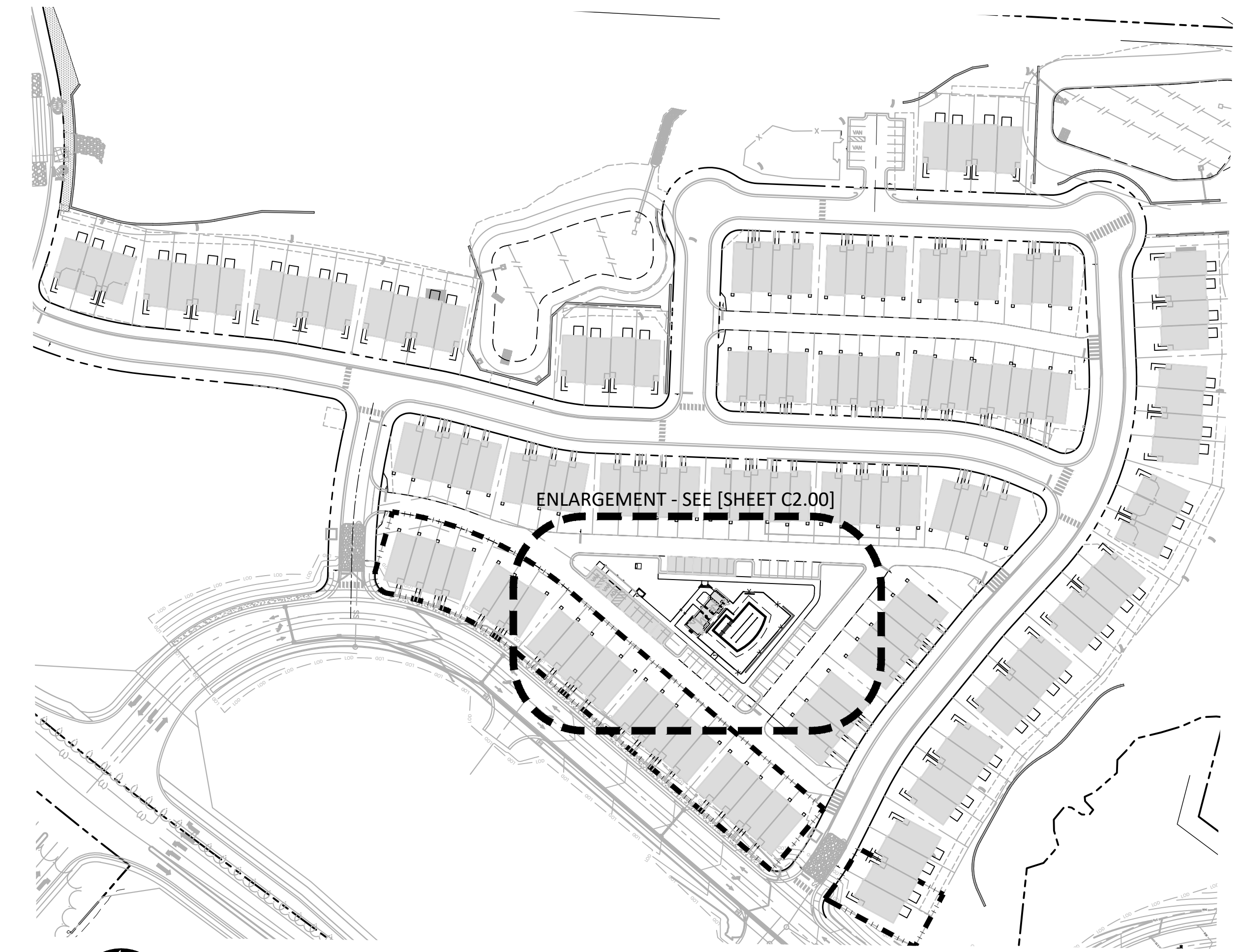
TOPOGRAPHIC MARCH 25, 2020
ALTA SURVEY MARCH 25, 2020

WILLIAM T. ROBBINS, PLS
NC LICENSE # 4192
804-323-9900

PARCEL OWNER LIST		
PIN	OWNER	AREA
1758-56-8976	WALLBROOK LANDCO, LLC 4700 SIX FORKS RD, SUITE 150 RALEIGH, NC 27609	42.324 AC.



VICINITY MAP
N.T.S.



CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

REVISION LIST:

REVISIONS BELOW ARE ASSOCIATED WITH THE FIELD REVISION DATED 08-27-2024:

- REVISED BUILDING FOOTPRINT TO INCORPORATE MAIL KIOSK
- REVISED SIDEWALK ACCESS TO THE FRONT ENTRY OF THE BUILDING
- REVISED SITE GRADING WHICH INCLUDES THE REMOVAL OF SOME SITE RETAINING WALLS
- REVISED STORM DRAINAGE
- MODIFIED POOL DECK AND SECONDARY GATE ENTRY TO ACCOMMODATE GRADING AND ADA ACCESS
- REVISED TRASH ENCLOSURE LOCATION
- UPDATED FOUNDATION PLANTING TO RESPOND TO THE ABOVE CHANGES

SHEET INDEX

NO.	PROJECT NOTES
C0.00	PROJECT NOTES
C2.00	SITE PLAN
C3.00	GRADING & STORM DRAINAGE PLAN
C4.00	UTILITY PLAN
C8.00	SITE DETAILS
C8.01	SITE DETAILS
C8.02	SEWER DETAILS
C8.03	WATER DETAILS
L5.00	LANDSCAPE PLAN
L5.01	LANDSCAPE NOTES AND DETAILS
A201	ARCHITECTURAL ELEVATIONS

SITE PLAN APPROVAL CONTINGENT ON PRIOR APPROVALS:
-SUP 20-02
-ANX 21-06
-PR 21-04
-SP 21-02
-CD 22-04

15.4.5 - Streets

15.4.5.1
Type of Street Required All subdivision lots shall abut at least 20 feet on a public street. All public streets shall be dedicated to the Town of Rolesville, the State of North Carolina or the public as determined appropriate by the Board of Commissioners of the Town of Rolesville. All public streets shall be built to the standards of this ordinance and all other applicable standards of the Town of Rolesville and the North Carolina Department of Transportation. Public streets not dedicated to the Town which are eligible for acceptance into the State Highway System shall be constructed to the standards necessary to be put on the State Highway System or the standards in this ordinance, whichever is stricter, in regard to each particular item and shall be put on such system. Streets not dedicated to the Town which are not eligible to be put on the State Highway System because there are too few lots or residences shall, nevertheless, be dedicated to the public and shall be in accordance with the standards in this ordinance or the standards necessary to be put on the State Highway System, whichever is stricter in regard to each particular item, so as to be eligible to be put on the system at a later date. A written maintenance agreement with provisions for maintenance of the street until it is put on the State System shall be included with the final plat.

15.4.5.2
Subdivision Street Disclosure Statement All streets shown on the final plat shall be designated in accordance with G.S. § 136-102.6 and designation as public shall be conclusively presumed an offer of dedication to the public. Where streets are dedicated to the public but not accepted into a municipal or the State system, before lots are sold, a statement explaining the status of the street shall be included with the final plat.

GENERAL NOTES:

SEE CASE CD 22-04 FOR OVERALL SITE DEVELOPMENT

SP 22-09 /
Wallbrook Townhomes Amenity Center
APPROVED
Date: June 27, 2023
William T. Robbins
Town of Rolesville Planning Department

SITE PERMITTING APPROVAL

Water and Sewer Permits (if applicable)
The City of Raleigh consents to the connection and extension of the City's Public Sewer System as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # _____

The City of Raleigh consents to the connection and extension of the City's Public Water System as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # _____

The City of Raleigh consents to the connection to its public sewer system and extension of the private sewer collection system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # _____

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION
Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State or Federal Law. All Construction must be in accordance with all Local, State, and Federal Rules and Regulations.
Electronic Approval: This approval is being issued electronically. This approval is valid only upon the signature of a City of Raleigh Review Officer below. The City will retain a copy of the approved plans. Any work authorized by this approval must proceed in accordance with the plans kept on file with the City. This electronic approval may not be edited once issued. Any modification to this approval once issued will invalidate this approval.
City of Raleigh Development Approval _____
City of Raleigh Review Officer _____

Digitally signed by
William T. O'Daniel
Date: 2024.08.30 15:54:56-04'00'

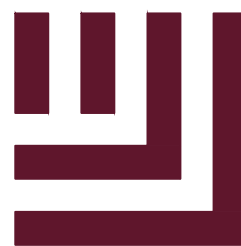
REVISIONS

NO.	DATE	PER TOWN COMMENTS
1	03.27.2023	PER TOWN COMMENTS
2	05.31.2023	PER TOWN COMMENTS
3	06.27.2023	SIGNATURE SET
4	08.30.2024	UPDATED AMENITY/MAIL KIOSK FOOTPRINT

SITE DEVELOPMENT PLAN:

WALLBROOK TOWNHOME AMENITY PLAN
ROLESVILLE, NORTH CAROLINA, 27517
ROLESVILLE PROJECT#: SP 22-09
MCADAMS PROJECT #: CPR-19100

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McAdams

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WALLBROOK LANDCO, LLC
4700 SIX FORKS RD, SUITE 150
RALEIGH, NORTH CAROLINA 27609

WALLBROOK-TOWNHOME
AMENITY PLAN
SITE DEVELOPMENT PLAN
ROLESVILLE, NORTH CAROLINA
TOWN OF ROLESVILLE PROJECT #: SP 22-09



Digitally signed by
William T O'Daniel
Date: 2024.08.30
15:57:55-04'00'

REVISIONS

Table with 4 columns: NO., DATE, PER TOWN COMMENTS, SIGNATURE SET

PLAN INFORMATION

PROJECT NO. CPR-19100
FILENAME CPR-19100-N2
CHECKED BY SRD
DRAWN BY CMXY
SCALE N/A
DATE 10.28.2022

SHEET

PROJECT NOTES

C0.00

GRADING NOTES

- 1. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION, FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.

RETAINING WALL NOTES

- 1. THE RETAINING WALL ALIGNMENT SHOWN ON THESE PLANS DEPICTS THE LOCATION OF THE FRONT FACE OF THE RETAINING WALL AT THE TOP OF THE WALL. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING RETAINING WALLS ARE NOT LOCATED IN ANY STREAM BUFFERS, AND THEIR CONSTRUCTION DOES NOT ENROACH INTO ANY ADJACENT PROPERTIES DUE TO ANY BATTER INCORPORATED IN THE DESIGN OF THE WALLS.

CITY OF RALEIGH PUBLIC UTILITIES STANDARD UTILITY NOTES (AS APPLICABLE)

- 1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
- 2. UTILITY SEPARATION REQUIREMENTS:
 - a) A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - b) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - c) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10" ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - d) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - e) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
 - f) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- 3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- 4. DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY.
- 5. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 6. SEWER BYPASS PUMPING - A BYPASS PLAN SEALED BY AN NC PROFESSIONAL ENGINEER SHALL BE PROVIDED TO RALEIGH WATER PRIOR TO PUMPING OPERATIONS FOR APPROVAL. THE OPERATIONS AND EQUIPMENT SHALL COMPLY WITH THE PUBLIC UTILITIES HANDBOOK.
- 7. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- 8. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- 9. INSTALL 3/4" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- 10. INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- 11. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- 12. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- 13. NCDOT / RAILROAD ENCRoACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- 14. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RW FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A UC / BLDG PERMIT. CONTACT (919) 996-4516 OR FOG@RALEIGHNC.GOV FOR MORE INFORMATION.
- 15. CROSS-CONNECTION CONTROL PROTECTIONS DEVICES ARE REQUIRED BASED ON THE DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA.
- 16. THE DEVICES SHALL MEET THE AMERICAN SOCIETY OF SANITARY ENGINEERING (SAE) STANDARDS AND BE ON THE UNIVERSITY OF SOUTHERN CAROLINA APPROVAL LIST.
- 17. THE DEVICE AND INSTALLATION SHALL MEET THE GUIDELINES OF APPENDIX A - GUIDELINES AND REQUIREMENTS FOR THE CROSS CONNECTION PROGRAM IN RALEIGH'S SERVICE AREA.
- 18. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS CONNECTION CONTROL PROGRAM, WHICH EVER IS MORE STRINGENT. CONTACT: CROSS.CONNECTION@RALEIGHNC.GOV FOR MORE INFORMATION.
- 19. NOTICE FOR PROJECTS THAT INVOLVE AN OVERSIZED MAIN OR URBAN MAIN REPLACEMENT. ANY CITY REIMBURSEMENT GREATER THAN \$250,000 MUST UNDERGO THE PUBLIC BIDDING PROCESS.

NOTES:

DEEDS OF EASEMENT FOR SANITARY SEWER PURPOSES TO CITY OF RALEIGH RECORDED IN BOOK 12249, PAGE 864 AND BOOK 12466, PAGE 1149 AND AS SHOWN ON RECORDED PLAT IN BOOK OF MAPS 2006, PAGES 2216 AND 2217, WAKE COUNTY REGISTRY.

(DEED OF EASEMENT SUPERSEDED BY BM 2008 PG 480 & 481)

RIGHT OF WAY AND UTILITY EASEMENTS RECORDED IN BOOK 13736, PAGES 1287 AND 1294 AND AS SHOWN ON RECORDED PLAT IN BOOK OF MAPS 2009, PAGE 1091, WAKE COUNTY REGISTRY.

(AS SHOWN ON SURVEY)

DEEDS OF EASEMENT FOR SANITARY SEWER PURPOSES TO CITY OF RALEIGH RECORDED IN BOOK 12249, PAGE 860 AND BOOK 12466, PAGE 1171 AND AS SHOWN ON RECORDED PLAT IN BOOK OF MAPS 2006, PAGES 2216 AND 2217, WAKE COUNTY REGISTRY.

GENERAL NOTES:

SEE CASE CD 22-04 FOR OVERALL SITE DEVELOPMENT

SITE PLAN NOTES

- 1. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST TOWN OF ROLESVILLE AND/OR NCDOT STANDARDS AND SPECIFICATIONS AS APPLICABLE.
- 2. ALL DIMENSIONS SHOWN ON SITE PLAN ARE MEASURED TO FACE OF CURB UNLESS OTHERWISE NOTED.
- 3. CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE ENGINEER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE OWNER.
- 4. EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED/RESTORED TO THEIR ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER, BY THE CONTRACTOR RESPONSIBLE FOR THE DAMAGE.
- 5. THE CONTRACTOR SHALL NOTE THAT THE DRAWINGS MAY NOT SHOW EVERY OFFSET, TRANSITION, FITTING, ETC. THAT MAY BE REQUIRED. THE CONTRACTOR SHALL INSTALL SUCH STANDARD APPURTENANCES AS REQUIRED TO CLOSELY FOLLOW THE GRADES AND ALIGNMENTS DEPICTED ON THE PLANS.
- 6. CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- 7. CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE UTILITY COMPANIES FOR ANY REQUIRED RELOCATIONS (I.E. POWER POLES, TELEPHONE PEDESTALS, WATER METERS, ETC.).
- 8. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION, FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- 9. ACCESSIBLE RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH NCDOT DETAILS.
- 10. ALL SIDEWALKS THAT CONNECT TO THE PUBLIC RIGHT-OF-WAY MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- 11. TYPICAL PAVEMENT SECTION DETAILS ARE SHOWN WITHIN THIS SET AND INTENDED TO BE A MINIMUM PAVEMENT SECTION REQUIREMENT. THE CURRENT GEOTECHNICAL REPORT SHALL OVER-RIDE ALL TYPICAL PAVEMENT SECTIONS SHOWN, IF THE GEOTECHNICAL ENGINEER DEEMS A HEAVIER SECTION IS REQUIRED.
- 12. EQUIPMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED APPROVAL HAS BEEN OBTAINED FROM THE OWNER IN WRITING PRIOR TO ORDERING OR INSTALLATION. THE CONTRACTOR SHALL WAIVE ANY CLAIM FOR ADDITIONAL COST RELATED TO SUBSTITUTION OF ALTERNATE EQUIPMENT.
- 13. ALL SIGNAGE ASSOCIATED WITH THE PUBLIC STREET SYSTEM SHALL ADHERE TO MUTCD STANDARDS AND SPECIFICATIONS.

NOTES:

- 1. ROADS LABELED AS PUBLIC WILL BE DEDICATED AS PUBLIC ROW TO BE MAINTAINED BY THE TOWN OF ROLESVILLE.
- 2. ROADS LABELED AS PRIVATE WILL BE DEDICATED AS PRIVATE AND BE MAINTAINED BY THE HOA.
- 3. GREENWAY EASEMENTS LABELED AS PUBLIC WILL BE DEDICATED AS PUBLIC AND BE MAINTAINED BY THE TOWN OF ROLESVILLE.
- 4. SANITARY SEWER EASEMENTS WILL BE DEDICATED AS PUBLIC EASEMENTS TO THE CITY OF RALEIGH.

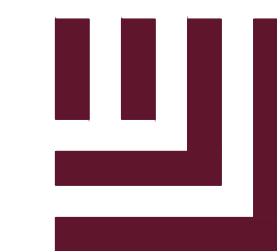
STORM DRAINAGE NOTES

- 1. ALL STORM DRAINAGE PIPES SHOWN SHALL BE REINFORCED CONCRETE (RCP) (MINIMUM CLASS III) UNLESS NOTED OTHERWISE. CONTRACTOR TO COORDINATE WITH THE GEOTECH TO VERIFY TYPE OF BEDDING REQUIRED BASED ON SOIL CONDITIONS. CONTRACTOR TO SELECT REQUIRED CLASS OF PIPE BASED ON DEPTH OF PIPE AND BEDDING PROVIDED PER THE AMERICAN CONCRETE PIPE ASSOCIATION GUIDELINES.
- 2. ALL STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF ROLESVILLE STANDARDS.
- 3. ALL CONCRETE SHALL MEET A MINIMUM 3000 PSI COMPRESSIVE STRENGTH.
- 4. ALL PIPE IN STORM DRAIN STRUCTURES SHALL BE STRUCK EVEN WITH INSIDE WALL.
- 5. ALL PIPE JOINTS SHALL BE MADE WITH PREFORMED JOINT SEALER, WHICH CONFORMS TO AASHTO SPECIFICATION M-198 FOR TYPE B FLEXIBLE PLASTIC GASKETS UNLESS OTHERWISE NOTED.
- 6. THE INTERIOR SURFACES OF ALL STORM DRAINAGE STRUCTURES SHALL BE POINTED UP AND SMOOTHED TO AN ACCEPTABLE STANDARD, USING MORTAR MIXED TO MANUFACTURER'S SPECIFICATIONS.
- 7. ALL BACKFILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATION MATTER, WASTE CONSTRUCTION MATERIAL OR OTHER OBJECTIONABLE MATERIAL. SAID MATERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER THE TAMPING BLOWS OR PROOF ROLLING.
- 8. MATERIALS DEEMED BY THE OWNER'S REPRESENTATIVE OR GEOTECH AS UNSUITABLE FOR BACKFILL PURPOSES SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL.
- 9. BACKFILLING OF TRENCHES SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PIPE IS LAID. THE FILL AROUND THE PIPE SHALL BE THOROUGHLY COMPACTED TO 95 % OF THE MAXIMUM DRY DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST. THE TOP EIGHT (8) INCHES SHALL BE COMPACTED TO 100 PERCENT STANDARD PROCTOR.
- 10. UNDER NO CIRCUMSTANCES SHALL WATER BE ALLOWED TO RISE IN UNBACKFILLED TRENCHES AFTER PIPE HAS BEEN PLACED.
- 11. ALL CONCRETE PIPE AND PRECAST STORM STRUCTURES SHALL MEET NCDOT STANDARDS BY MANUFACTURER.
- 12. CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL PIPE AND STRUCTURES FOR CRACKS OR BREAKS, PRIOR TO INSTALLATION. ANY DAMAGED ITEMS SHALL NOT BE INSTALLED.



Know what's below.
Call before you dig.

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.



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**WALLBROOK-TOWNHOME
AMENITY PLAN**
SITE DEVELOPMENT PLAN
ROLESVILLE, NORTH CAROLINA
TOWN OF ROLESVILLE PROJECT #: SP 22-09



REVISIONS

NO.	DATE	DESCRIPTION
1	03. 31. 2023	PER TOWN COMMENTS
2	05. 31. 2023	PER TOWN COMMENTS
3	06. 27. 2023	SIGNATURE SET
4	08. 30. 2024	UPDATED AMENITY/MAIL KIOSK FOOTPRINT

PLAN INFORMATION

PROJECT NO.	CPR-19100
FILENAME	CPR19100-LandArch-S1
CHECKED BY	SRD
DRAWN BY	CMXY
SCALE	1"=20'
DATE	10. 28. 2022

SHEET

SITE PLAN

C2.00

DETAIL KEY SCHEDULE

01	CONCRETE SIDEWALK	C8.00
02	ACCESSIBLE SIDEWALK RAMP	C8.00
03	POOL FENCE AND GATE	C8.00
04	LANDSCAPE DRAIN INLET	C8.00
05	TRASH ENCLOSURE	C8.00

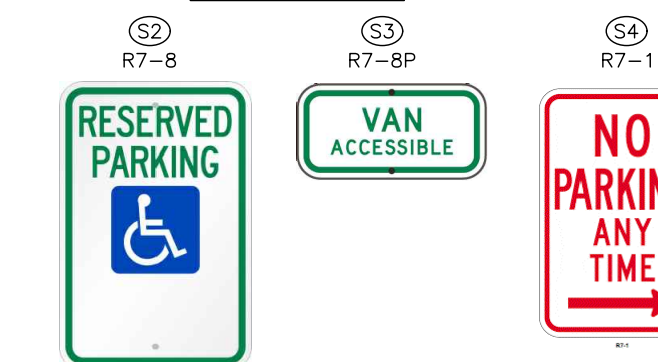
SITE LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE
	CENTERLINE
	DRAINAGE EASEMENT
	ACCESSIBLE RAMPS
	ACCESSIBLE ROUTE

KEY LEGEND

	ACCESSIBLE RAMP
	24" WHITE STOP BAR
	NO PARKING FIRE LANE
	24" WHITE CROSSWALK LINE (HIGH VISIBILITY)
	PRIVATE STORM DRAINAGE EASEMENT
	PUBLIC STORM DRAINAGE EASEMENT
	SANITARY SEWER EASEMENT

SITE SIGN KEY:



GENERAL NOTES:

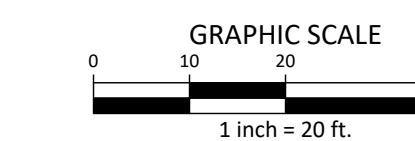
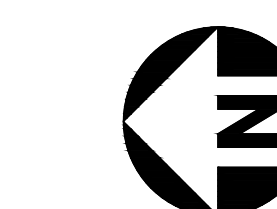
SEE CASE CD 22-04 FOR OVERALL SITE DEVELOPMENT

REQUIRED TOWNHOME PARKING

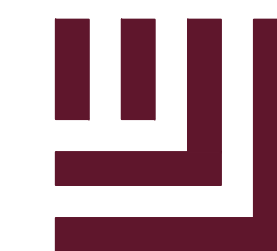
TOTAL UNITS	140
TOTAL 3 BEDROOM UNITS (2 SPACES/TH + 0.5 SPACES)	124
PER BEDROOM OVER 2) =	(124 x 2) + (124 x 0.5) = 310
TOTAL 4 BEDROOM UNITS (2 SPACES/TH + 0.5 SPACES)	16
PER BEDROOM OVER 2) =	(16 x 2) + (16 x 0.5) = 48
VISITOR PARKING	140 UNITS/4 = 35 SPACES
MAIL KIOSK PARKING	6 (SEE MAIL KIOSK CALCULATION TABLE)
TOTAL REQUIRED PARKING	399 SPACES
PROVIDED PARKING:	
Garage Parking	140 x 2 = 280
Driveway Parking	140 x 1 = 140
Street Parking	0
Mail Kiosk Parking	6 (1 ACCESSIBLE)
Dog Park Parking	11 (2 ACCESSIBLE)
Parking Lot Spaces	46 (12 AMENITY, 34 GUEST)
TOTAL PARKING PROVIDED	477 SPACES

MATERIALS LEGEND

SYMBOL	TYPE	STYLE/MANUFACTURER	COLOR/FINISH
	CONCRETE PAVING	3,000 PSI MIN. MUST MEET ALL STRUCTURAL AND GEOTECHNICAL REQUIREMENTS	MEDIUM BROOM FINISH PENDICULAR TO PATH OF TRAVEL



A:\Projects\CPR\CPR-19100\Production\Planning and LA\Amenity\Site Plan\Current Drawings\CPR19100-LandArch-S1.dwg, 8/30/2024, 3:05:49 PM, Jack Riche



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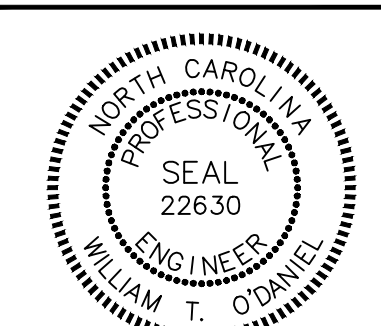
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**WALLBROOK-TOWNHOME
AMENITY PLAN
SITE DEVELOPMENT PLAN**
ROLESVILLE, NORTH CAROLINA
TOWN OF ROLESVILLE PROJECT #: SP 22-09



Digitally signed by
W.T. O'Daniel William T O'Daniel
Date: 2024.08.30
16:00:04-04'00'

REVISIONS

NO.	DATE	DESCRIPTION
1	03.31.2023	PER TOWN COMMENTS
2	05.31.2023	PER TOWN COMMENTS
3	06.27.2023	SIGNATURE SET
4	08.30.2024	UPDATED AMENITY/MAIL KIOSK FOOTPRINT

PLAN INFORMATION

PROJECT NO. CPR-19100
 FILENAME CPR19100-LandArch-G2
 CHECKED BY SRD
 DRAWN BY CMXY
 SCALE 1"=10'
 DATE 10.28.2022

SHEET

GRADING AND STORM DRAINAGE PLAN

C3.00

GRADING LEGEND

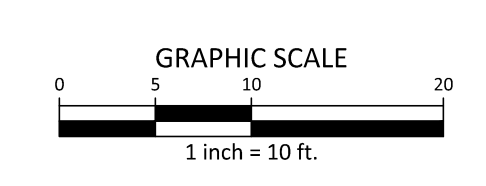
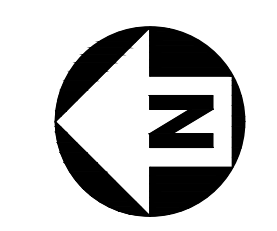
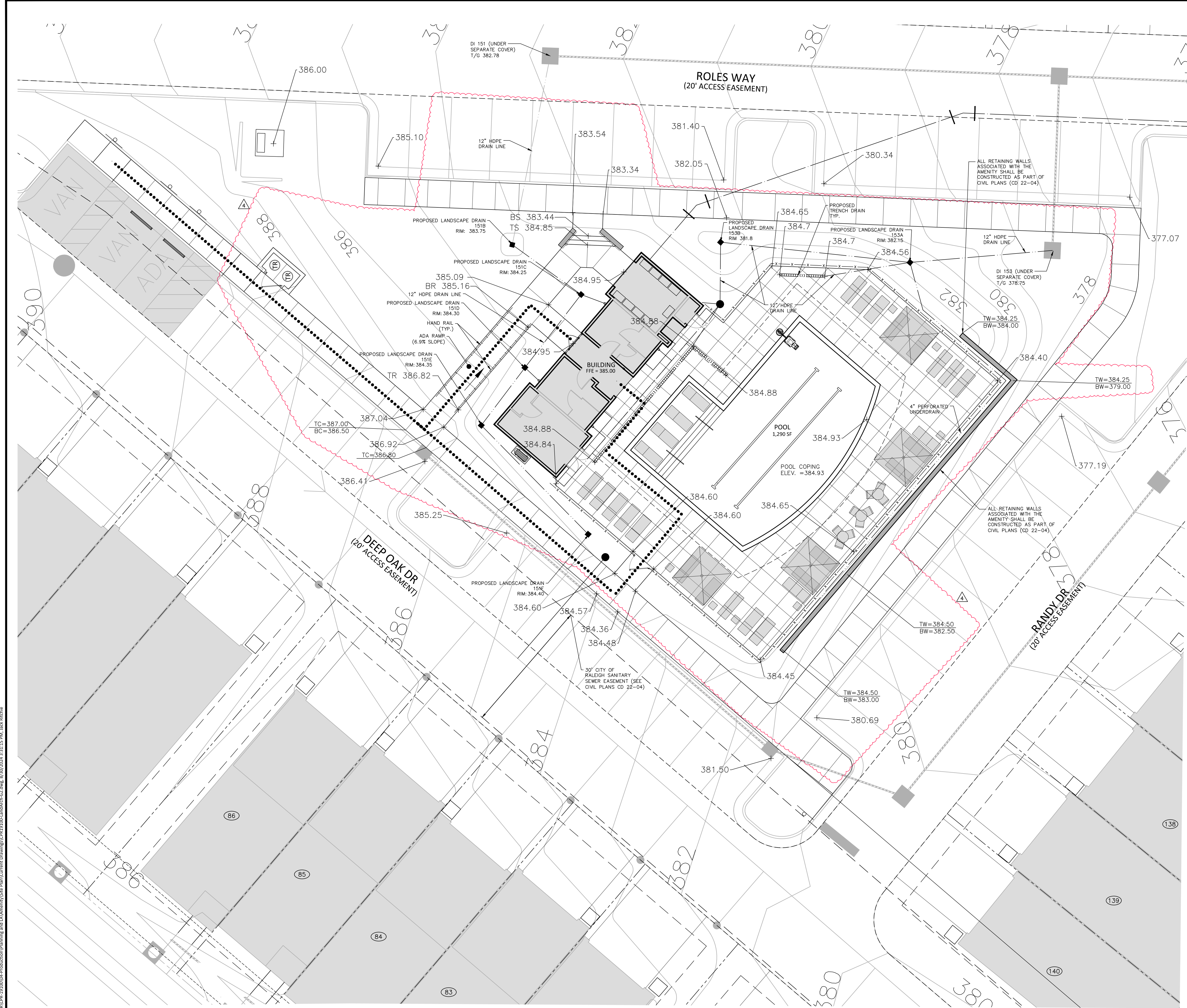
- FLARED END SECTION
- ENDWALL SECTION
- CATCH BASIN
- DROP INLET
- STORM SERVICE INLET
- STORM SERVICE ROOF-RAIN
- JUNCTION BOX
- DRAINAGE FLOW ARROW
- LINE BREAK SYMBOL
- TOP & BOTTOM CURB ELEVATIONS
- TOP OF WALL ELEVATION
- BOTTOM OF WALL ELEVATION
(NOTE: BOTTOM OF WALL IS GROUND ELEVATION NOT WALL FOUNDATION)
- SPOT ELEVATION
- STORM DRAINAGE
- STORM SERVICE LINE
- ROOF DRAIN, 8" ADS
NON-PERFORATED TUBING OR
EQUAL 1.0% MIN. SLOPE 3' MIN.
COVER PVC SCHEDULE 40 IN
TRAFFIC AREAS
- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE
- WOODED AREA
- MAJOR CONTOUR
- MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EASEMENT LINE
- ACCESSIBLE PARKING AREA
(2% MAX. SLOPE IN ALL DIRECTIONS)
- ACCESSIBLE ROUTE

KEY LEGEND

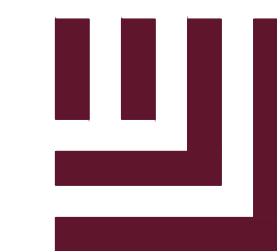
- ACCESSIBLE RAMP
- 24" WHITE STOP BAR
- NO PARKING FIRE LANE
- 24" WHITE CROSSWALK LINE (HIGH VISIBILITY)
- PRIVATE STORM DRAINAGE EASEMENT
- PUBLIC STORM DRAINAGE EASEMENT
- SANITARY SEWER EASEMENT

GENERAL NOTES:

SEE CASE CD 22-04 FOR OVERALL SITE DEVELOPMENT



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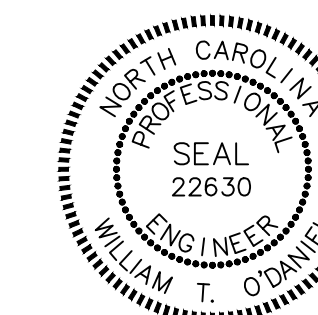
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**WALLBROOK-TOWNHOME
AMENITY PLAN**
SITE DEVELOPMENT PLAN
ROLESVILLE, NORTH CAROLINA
TOWN OF ROLESVILLE PROJECT #: SP 22-09



Digitally signed by
William T O'Daniel
Date: 2024.08.30
15:59:37-04'00'

REVISIONS

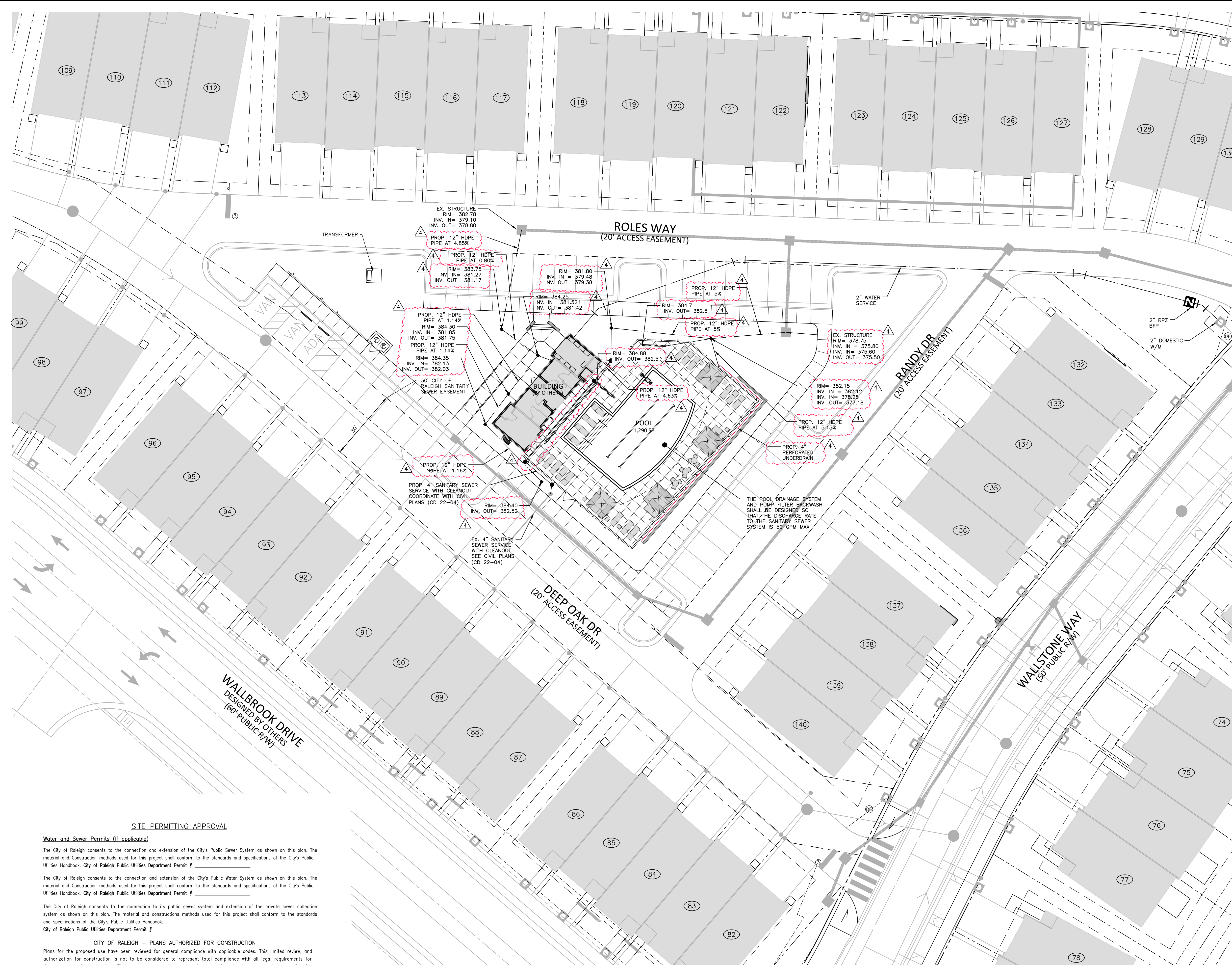
NO.	DATE	DESCRIPTION
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PLAN INFORMATION

PROJECT NO. CPR-19100
 FILENAME CPR19100-LandArch-U2
 CHECKED BY SRD
 DRAWN BY CMXY
 SCALE 1"=20'
 DATE 10.28.2022
 SHEET

UTILITY PLAN

C4.00



- KEY LEGEND**
- ⊕ ACCESSIBLE RAMP
 - ⊙ 24" WHITE STOP BAR
 - ⊙ NO PARKING FIRE LANE
 - ⊙ 24" WHITE CROSSWALK LINE (HIGH VISIBILITY)
 - PRD PRIVATE STORM DRAINAGE EASEMENT
 - PE PUBLIC STORM DRAINAGE EASEMENT
 - SSE SANITARY SEWER EASEMENT

- UTILITY LEGEND**
- FIRE HYDRANT ASSEMBLY
 - FIRE DEPARTMENT CONNECTION (FDC)
 - WATER METER
 - WATER VALVE
 - POST INDICATOR VALVE
 - VALVE IN MANHOLE
 - METER & VAULT
 - BACKFLOW PREVENTER
 - REDUCER
 - PLUG
 - BLOW-OFF ASSEMBLY
 - SANITARY SEWER MANHOLE
 - SEWER CLEAN-OUT
 - GREASE TRAP
 - SEWER FLOW DIRECTION ARROW
 - YARD LIGHTS
 - LIGHT POLE
 - POWER POLE
 - LINE BREAK SYMBOL
 - WATERLINE
 - UTILITY SLEEVE
 - SANITARY SEWER
 - SEWER SERVICE LINE
 - SEWER FORCE MAIN
 - GAS LINE
 - OVERHEAD UTILITY
 - UNDERGROUND ELECTRIC
 - TELEPHONE
 - EASEMENT LINE
 - ACCESSIBLE ROUTE

GENERAL NOTES:
 SEE CASE CD 22-04 FOR OVERALL SITE DEVELOPMENT

SITE PERMITTING APPROVAL

Water and Sewer Permits (if applicable)
 The City of Raleigh consents to the connection and extension of the City's Public Sewer System as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # _____

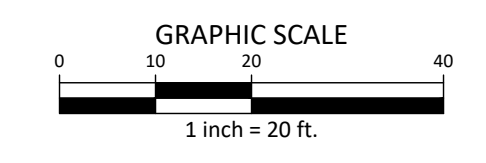
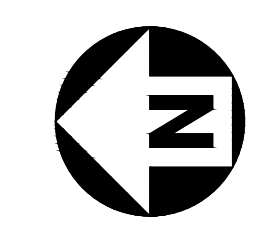
The City of Raleigh consents to the connection and extension of the City's Public Water System as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # _____

The City of Raleigh consents to the connection to its public sewer system and extension of the private sewer collection system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # _____

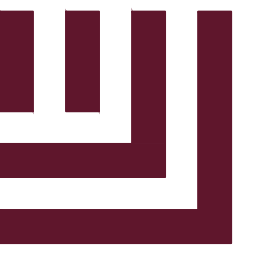
CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION
 Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State or Federal Law. All Construction must be in accordance with all Local, State, and Federal Rules and Regulations.

Electronic Approval: This approval is being issued electronically. This approval is valid only upon the signature of a City of Raleigh Review Officer below. The City will retain a copy of the approved plans. Any work authorized by this approval must proceed in accordance with the plans kept on file with the City. This electronic approval may not be edited once issued. Any modification to this approval once issued will invalidate this approval.

City of Raleigh Development Approval _____
 City of Raleigh Review Officer _____



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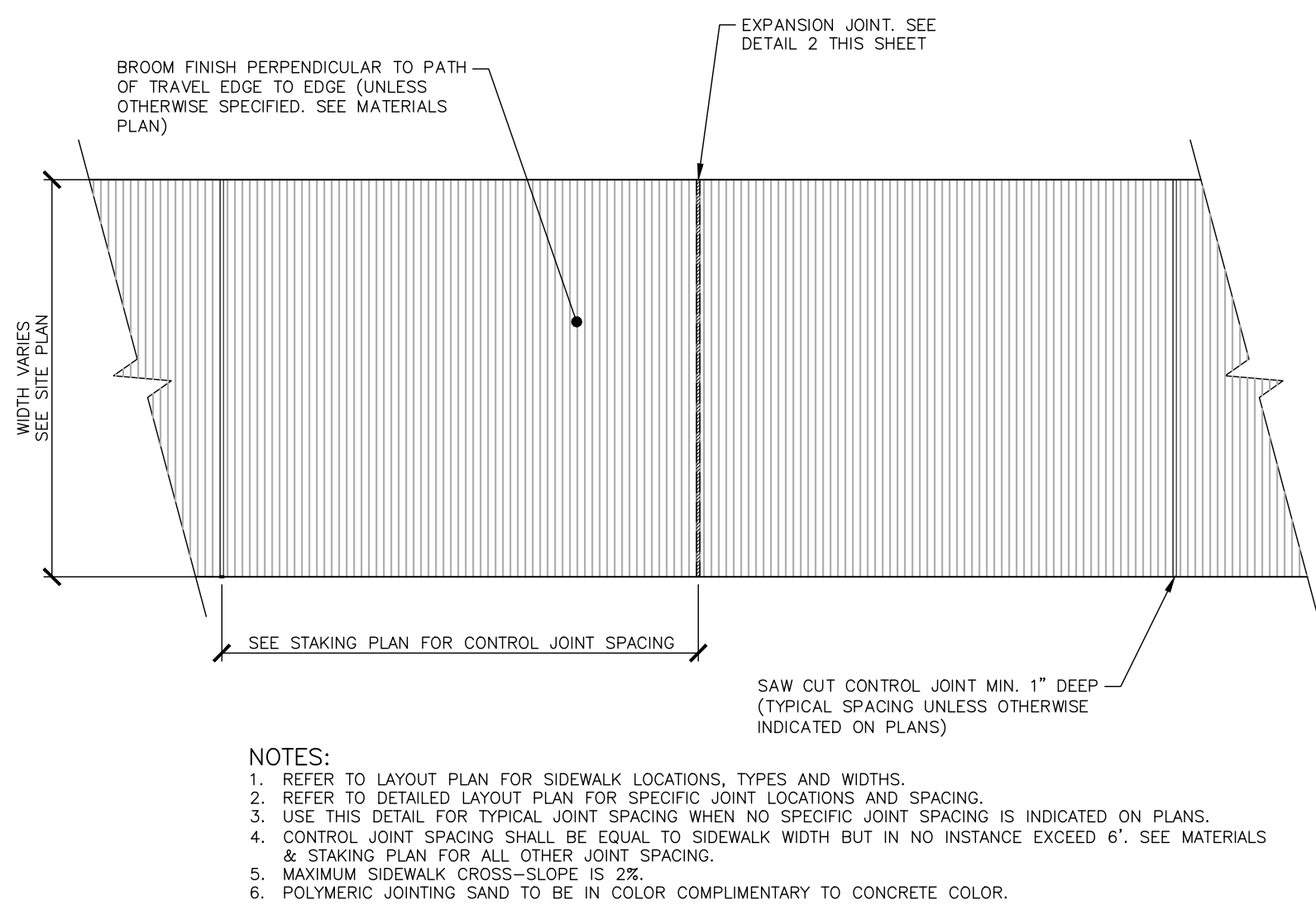
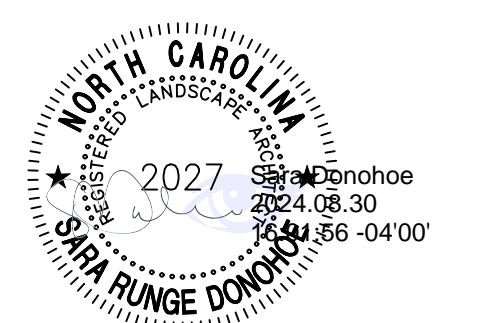
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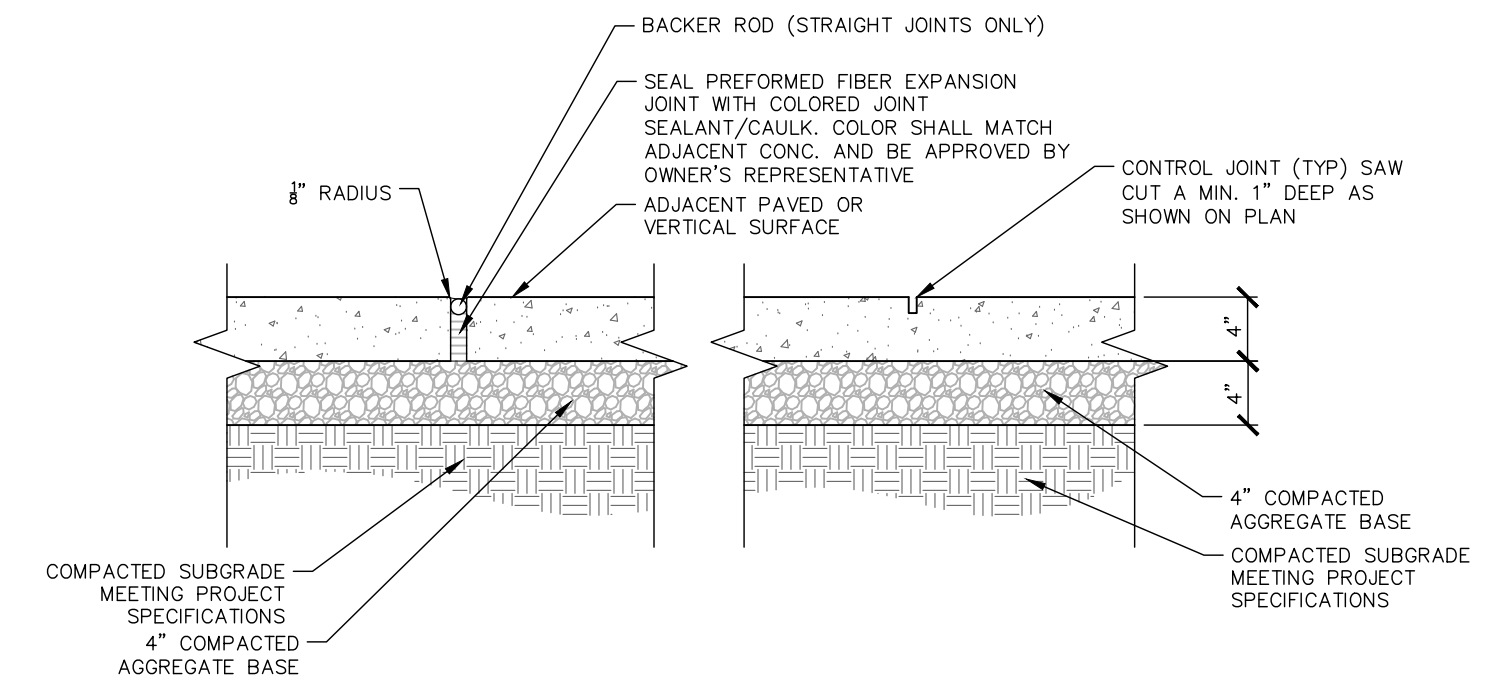
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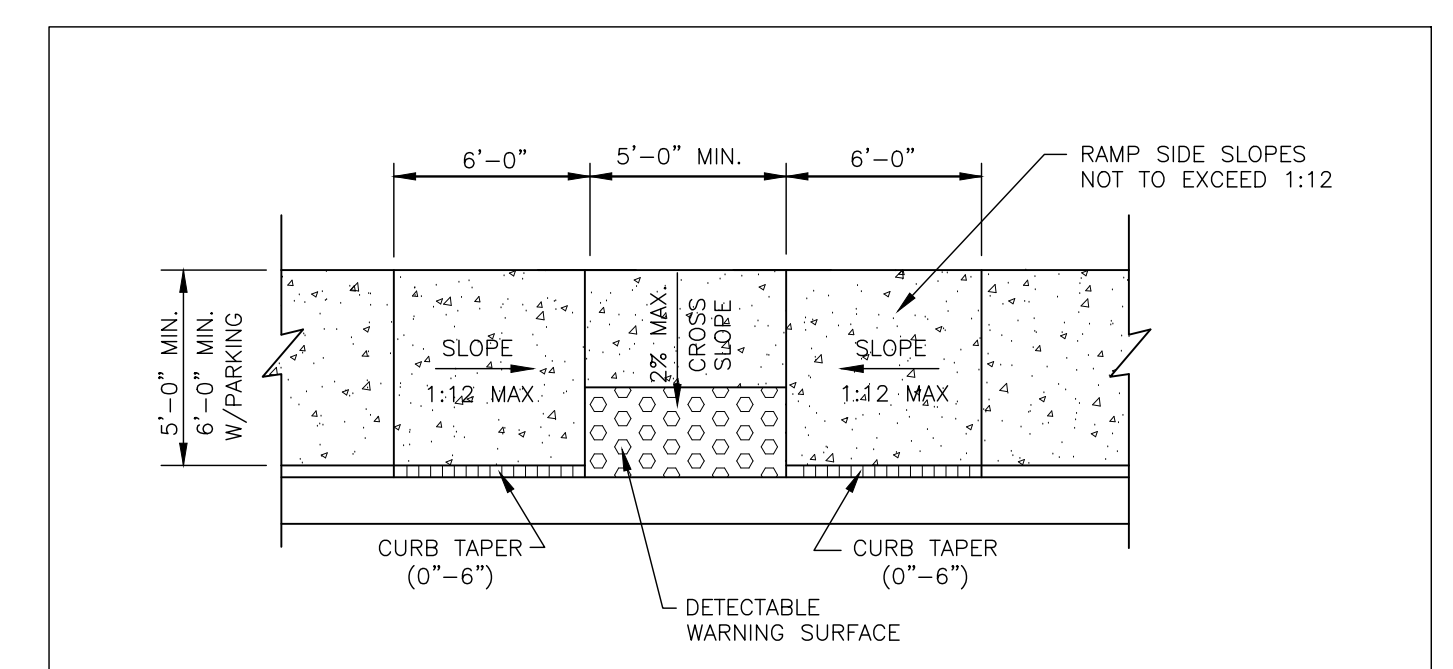
WALLBROOK-TOWNHOME
AMENITY PLAN
SITE DEVELOPMENT PLAN
ROLESVILLE, NORTH CAROLINA
TOWN OF ROLESVILLE PROJECT #: SP 22-09



- NOTES:
1. REFER TO LAYOUT PLAN FOR SIDEWALK LOCATIONS, TYPES AND WIDTHS.
2. REFER TO DETAILED LAYOUT PLAN FOR SPECIFIC JOINT LOCATIONS AND SPACING.
3. USE THIS DETAIL FOR TYPICAL JOINT SPACING WHEN NO SPECIFIC JOINT SPACING IS INDICATED ON PLANS.
4. CONTROL JOINT SPACING SHALL BE EQUAL TO SIDEWALK WIDTH BUT IN NO INSTANCE EXCEED 6'. SEE MATERIALS & STAKING PLAN FOR ALL OTHER JOINT SPACING.
5. MAXIMUM SIDEWALK CROSS-SLOPE IS 2%.
6. POLYMERIC JOINTING SAND TO BE IN COLOR COMPLEMENTARY TO CONCRETE COLOR.



- NOTES:
1. EXPANSION JOINTS SHALL BE INSTALLED WHERE CONCRETE PAVEMENT ABUTS ALL VERTICAL SURFACES INCLUDING BUT NOT LIMITED TO ALL BUILDINGS, STRUCTURES, STAIRS, CURBS, COLUMNS, WALLS, LIGHT POLES, ETC.
2. WHERE WALK ABUTS RIGID STRUCTURE, JOINT SHALL BE WATERTIGHT.
3. PROVIDE EXPANSION JOINTS @ 20' O.C. MAX UNLESS OTHERWISE SHOWN/REQUIRED. (SEE MATERIALS & STAKING PLAN)
4. CONTROL JOINT SPACING SHALL BE EQUAL TO SIDEWALK WIDTH BUT IN NO INSTANCE EXCEED 6'. SEE MATERIALS & STAKING PLAN FOR ALL OTHER JOINT SPACING.
5. SAW CUT TO A MIN. DEPTH OF 1". CONTRACTOR TO CLOSELY COORDINATE LOCATIONS AND DESIGNS PRIOR TO AND DURING CONSTRUCTION.
6. ALL CONCRETE SHALL BE 3,000 PSI UNLESS OTHERWISE REQUIRED BY PROJECT SPECIFICATIONS.
7. POLYMERIC JOINTING SAND TO BE IN COLOR COMPLEMENTARY TO CONCRETE COLOR.



NOTE: RAMP LANDING AREA SHALL RECEIVE A 24" DETECTABLE WARNING SURFACE OF COLOR TO CONTRAST WITH ADJOINING SURFACES PER ICC A117.1-2009 SECT. 705 REQUIREMENTS.

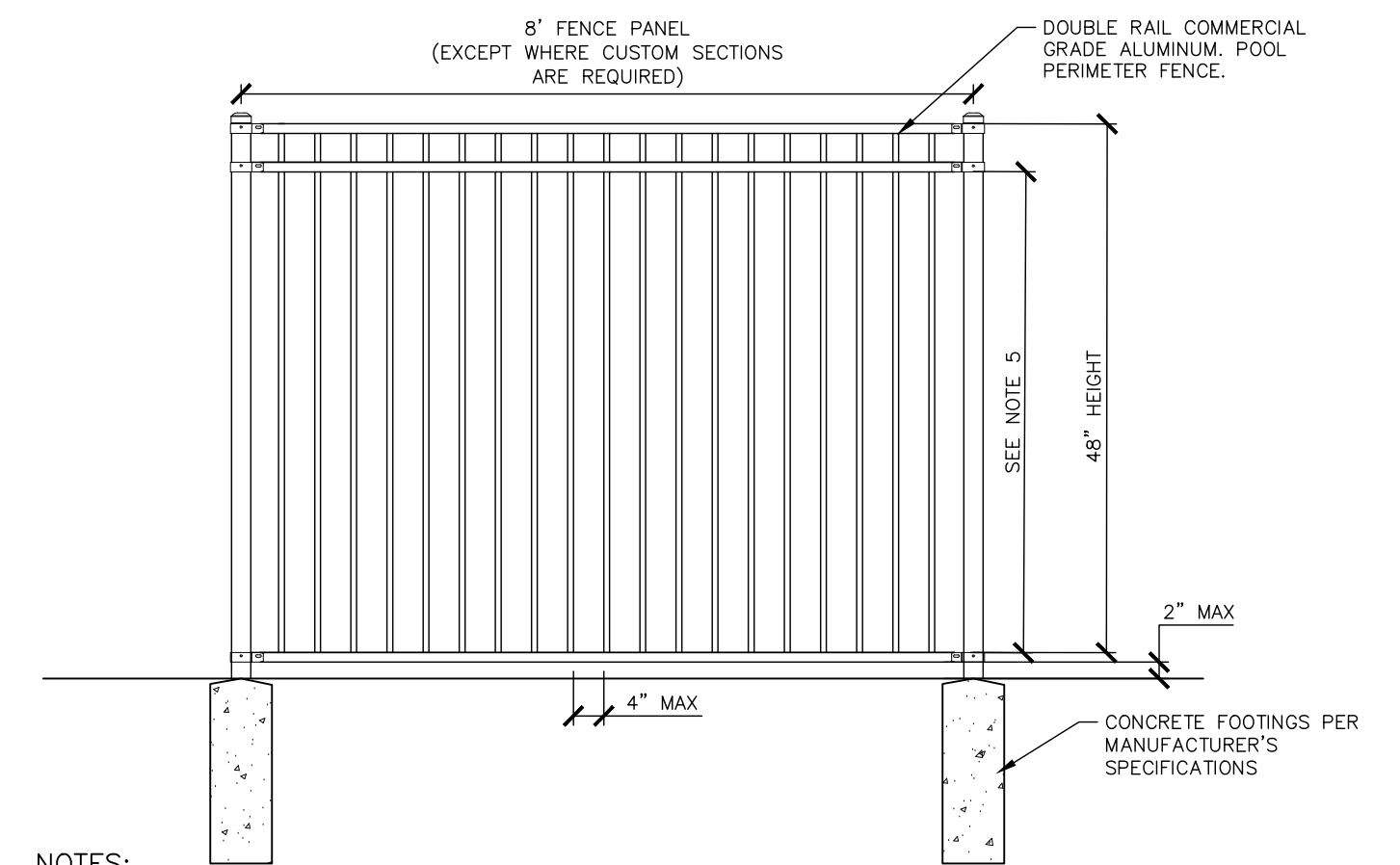
ACCESSIBLE SIDEWALK RAMP N.T.S.

01 CONCRETE SIDEWALK SCALE: 1"=1'-0"

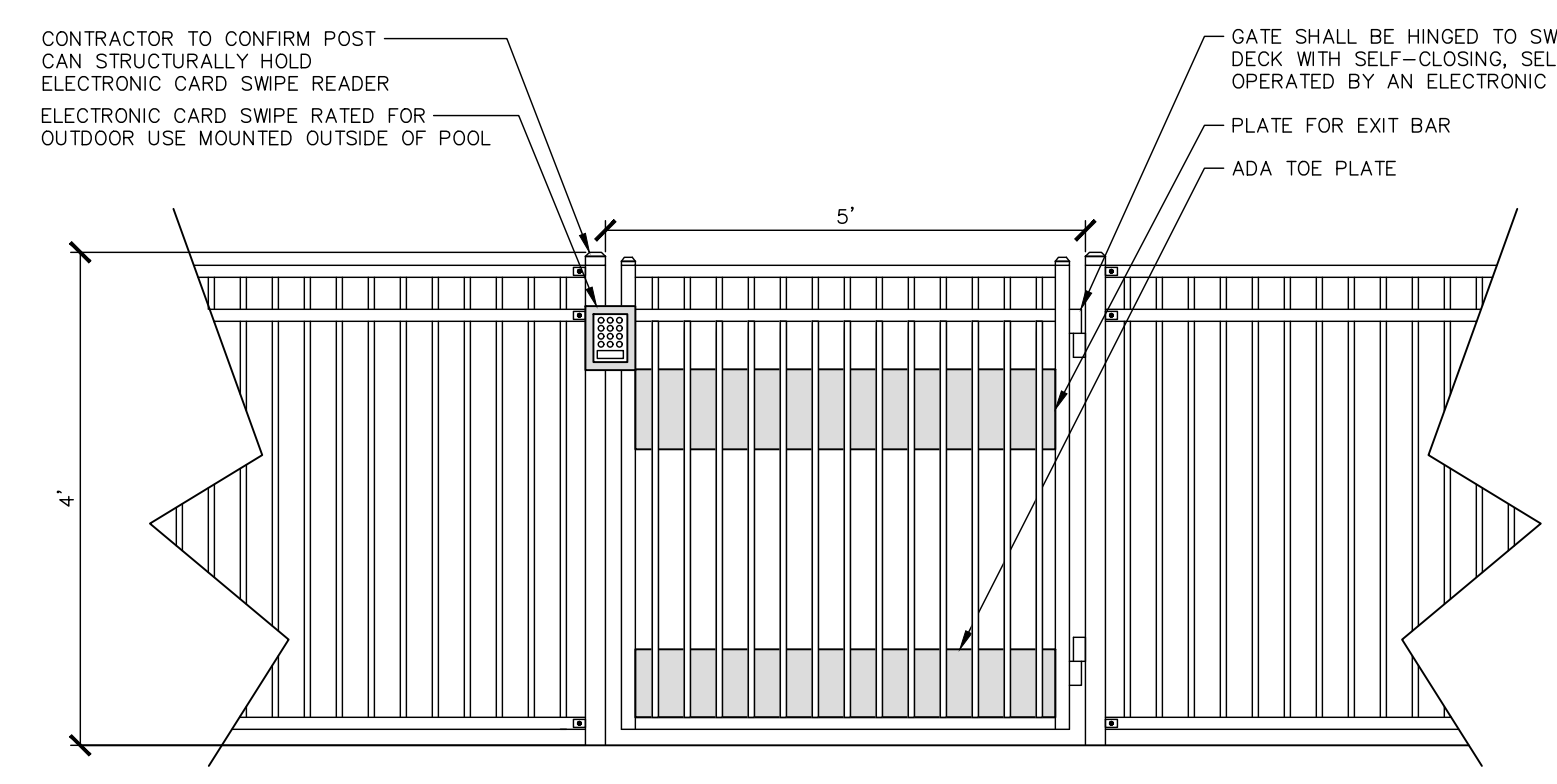
PLAN

SECTION

02 ACCESSIBLE SIDEWALK RAMP SCALE: NTS

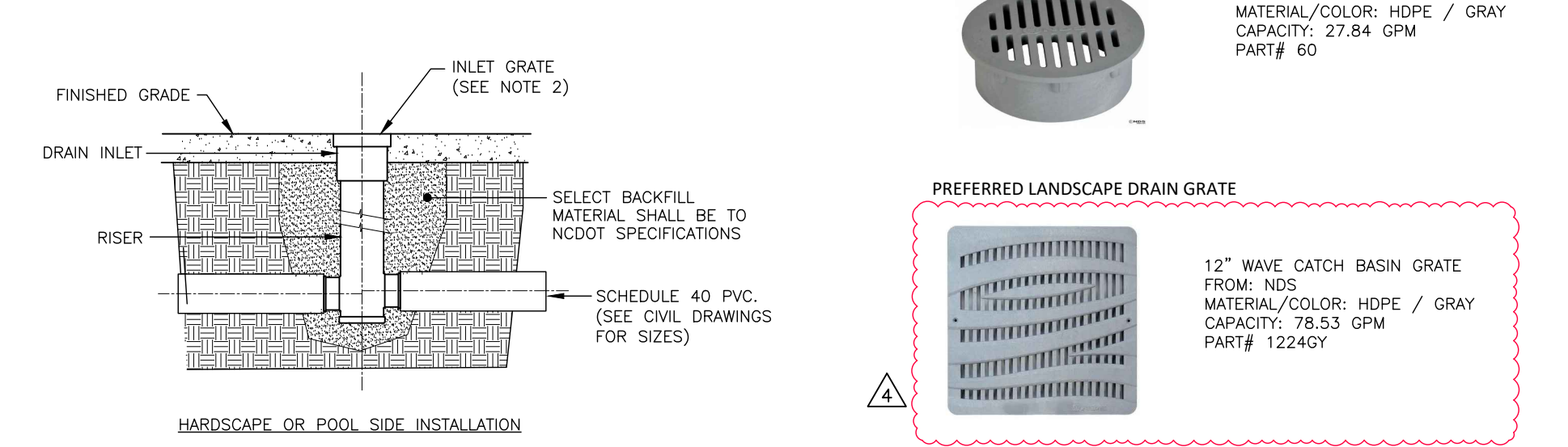


- NOTES:
1. ALL FASTENERS AND HARDWARE SHALL BE S.S.
2. FENCE TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
3. FENCE DIMENSIONS (OR EQUAL) - CONTRACTOR TO ENSURE FENCE MEETS ALL APPLICABLE POOL CODES COMMERCIAL STRENGTH ALUMINUM.
POSTS: 2 1/2" x 2 1/2"
RAILS: 1 1/2" x 1 1/2" - NO EXPOSED SCREW SYSTEM
PICKETS: 3/4" x 2 1/4" W/ 3 1/4" SPACING
COLOR: SATIN BLACK, SHOP APPLIED POWDER COAT
4. CONFIRM POOL FENCE MEETS LOCAL CODE CRITERIA
5. FOR POOL FENCING, THE HORIZONTAL SPACE BETWEEN VERTICAL MEMBERS SHALL NOT EXCEED 4 INCHES; WHERE THE HORIZONTAL SPACE BETWEEN VERTICAL MEMBERS EXCEEDS 1-3/4 INCHES THERE SHALL BE AT LEAST 30 INCHES BETWEEN ANY HORIZONTAL BOTTOM RAIL OR STRINGER AND THE NEXT HORIZONTAL RAIL OR STRINGER.

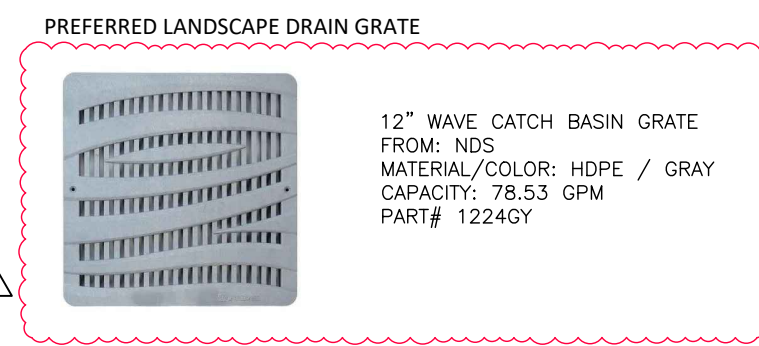


- NOTES:
1. GATE HARDWARE WILL BE OPERABLE WITH ONE HAND AND WILL NOT REQUIRE SOLETS OF FORCE, PINCHING, TIGHT GRASPING OR TWISTING OF THE WRIST TO OPERATE.
2. GATE ENTRY CONTROLS WILL BE LOCATED NOT LESS THAN 34" MINIMUM AND 48" MAXIMUM ABOVE FINISHED GRADE.
3. CONTRACTOR TO SUBMIT MANUFACTURER INFORMATION AND CUT SHEETS FOR LATCH PRIOR TO ORDERING. COORDINATE THE SYSTEM WITH OTHER SITE ACCESS CONTROLS AS REQUIRED.
4. CONFIRM POOL FENCE MEETS LOCAL CODE CRITERIA.
5. POOL GATE AND POOL FENCE TO BE FLUSH.
6. SELF-CLOSING LATCH IS TO BE MOUNTED ON THE POOL SIDE OF THE GATE AT A MAXIMUM 48" ABOVE FINISHED GRADE.
7. POOL GATE SHALL MEET ADA & ALL CODES. BRING ANY DISCREPANCIES TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
8. FENCE TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.

- MATERIAL AND SIZE:
1. GATE AND FENCE SHALL BE COMMERCIAL GRADE ALUMINUM (OR APPROVED EQUAL)
2. ALL FASTENERS AND HARDWARE SHALL BE S.S.
3. GATE DIMENSIONS (OR APPROVED EQUAL)
POSTS: 2 1/2" x 2 1/2"
RAILS: 1 1/2" x 1 1/2" - NO EXPOSED SCREW SYSTEM
PICKETS: 3/4" x 2 1/4" W/ 3 1/4" SPACING
FINISH: SATIN BLACK, SHOP APPLIED POWDER COAT

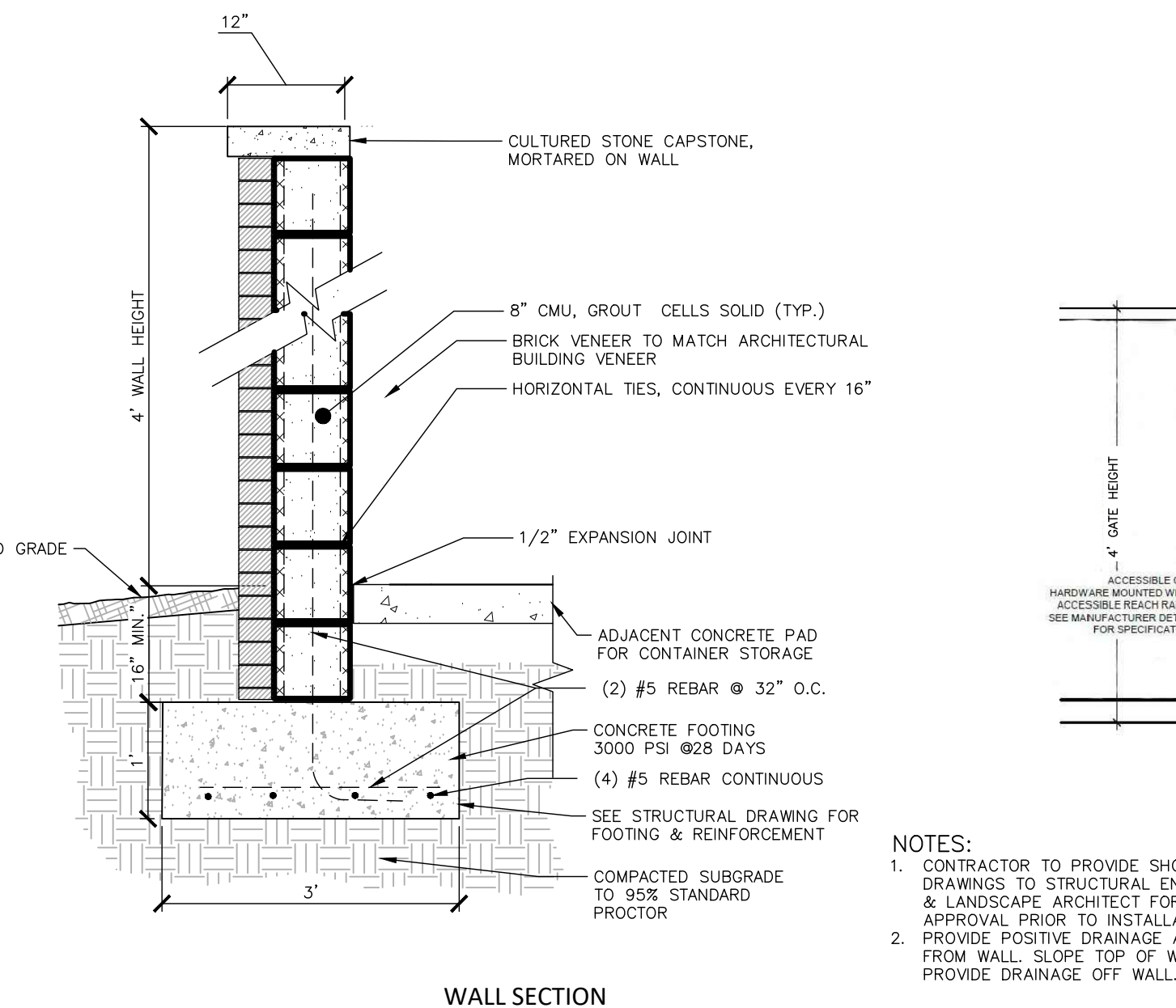


- NOTES:
1. PLANTING BED: "NYLOPLAST" DUCTILE IRON DOME GRATE.
2. HARDSCAPE: INLET GRATE TO BE "NYLOPLAST" SQUARE PEDESTRIAN LIGHT DUTY WITH BRONZE FINISH.
3. POOL DECK: INLET TO BE ROUND "NYLOPLAST" BRONZE CORROSIVE RESISTANT PEDESTRIAN GRADE.
4. FOLLOW MANUFACTURER'S GUIDELINES FOR MATERIAL REQUIREMENTS AND INSTALLATION METHODS.
5. SEE GRADING PLAN FOR ALL GRATE SIZES.



04 LANDSCAPE DRAIN INLET SCALE: NTS

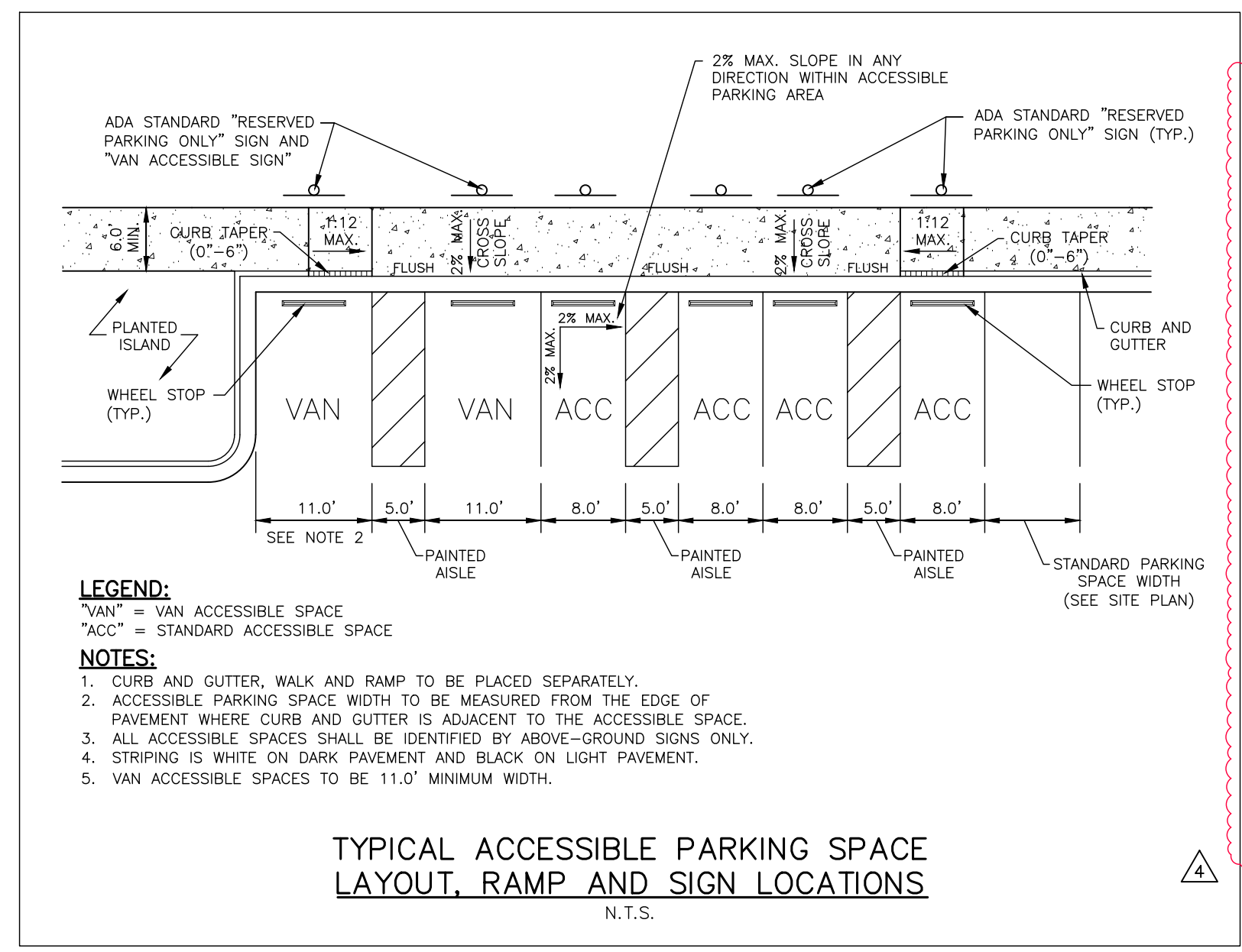
03 POOL FENCE AND GATE SCALE: NTS



- NOTES:
1. CONTRACTOR TO PROVIDE SHOP DRAWINGS TO STRUCTURAL ENGINEER & LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
2. PROVIDE POSITIVE DRAINAGE AWAY FROM WALL. SLOPE TOP OF WALL TO PROVIDE DRAINAGE OFF WALL.

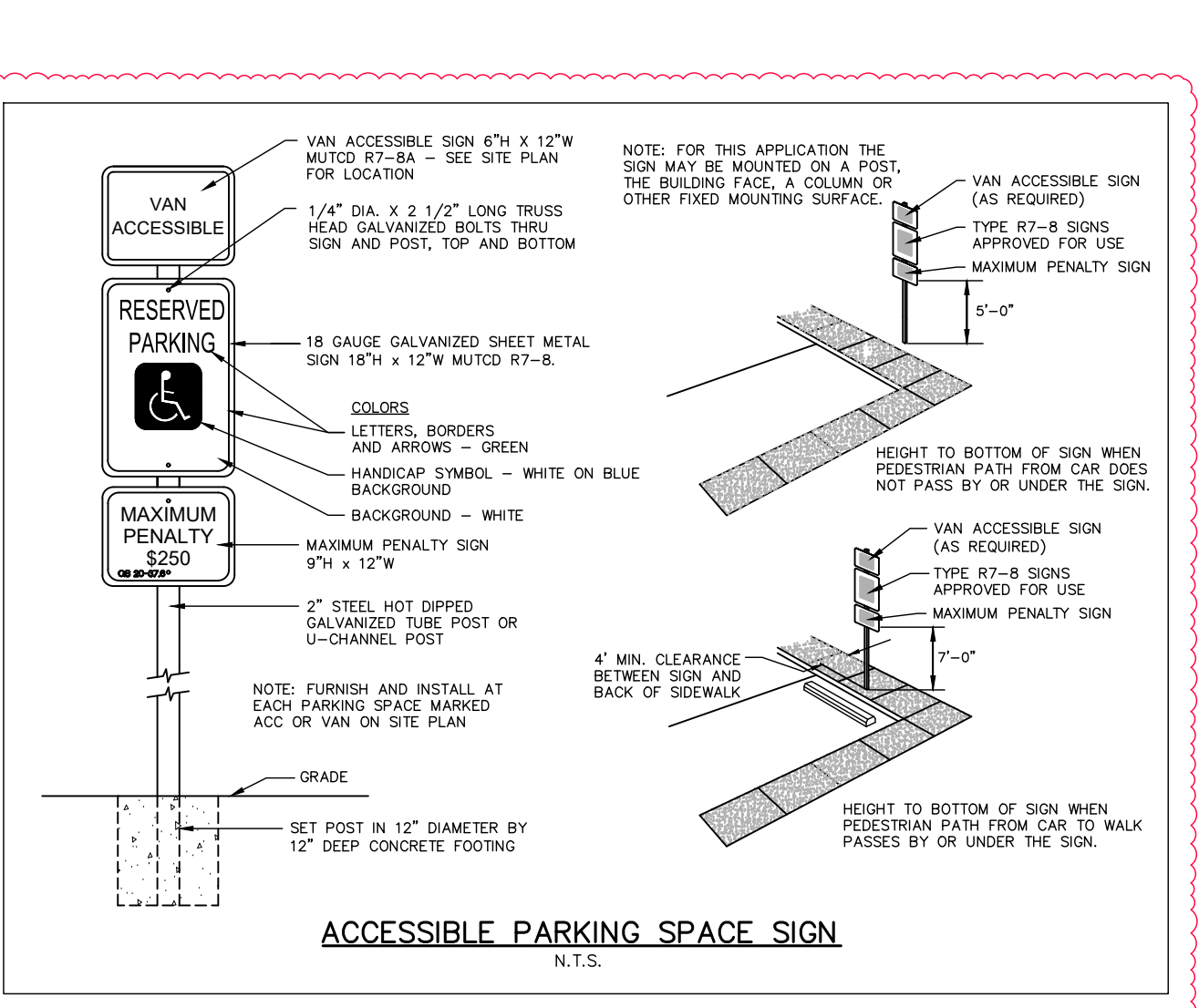
05 TRASH ENCLOSURE SCALE: NTS

WALL SECTION



- LEGEND:
"VAN" = VAN ACCESSIBLE SPACE
"ACC" = STANDARD ACCESSIBLE SPACE
NOTES:
1. CURB AND GUTTER, WALK AND RAMP TO BE PLACED SEPARATELY.
2. ACCESSIBLE PARKING SPACE WIDTH TO BE MEASURED FROM THE EDGE OF PAVEMENT WHERE CURB AND GUTTER IS ADJACENT TO THE ACCESSIBLE SPACE.
3. ALL ACCESSIBLE SPACES SHALL BE IDENTIFIED BY ABOVE-GROUND SIGNS ONLY.
4. STRIPING IS WHITE ON DARK PAVEMENT AND BLACK ON LIGHT PAVEMENT.
5. VAN ACCESSIBLE SPACES TO BE 11'-0" MINIMUM WIDTH.

06 VAN ADA PARKING DETAIL SCALE: NTS



- NOTES:
NOTE: FOR THIS APPLICATION THE SIGN MAY BE MOUNTED ON A POST, THE BUILDING FACE, A COLUMN OR OTHER FIXED MOUNTING SURFACE.
1. VAN ACCESSIBLE SIGN 6'11" x 12'11" FOR LOCATION
2. 1/4" DIA. X 2 1/2" LONG TRUSS HEAD GALVANIZED BOLTS THRU SIGN AND POST, TOP AND BOTTOM
3. 18 GAUGE GALVANIZED SHEET METAL SIGN 18"11" x 12'11" MATCH R7-B.
4. COLORS:
LETTERS, BORDERS AND ARROWS - GREEN
HANDICAP SYMBOL - WHITE ON BLUE BACKGROUND
BACKGROUND - WHITE
5. MAXIMUM PENALTY SIGN 9'11" x 12'11"
6. 2" STEEL HOT DIPPED GALVANIZED TUBE POST OR U-CHANNEL POST
NOTE: FURNISH AND INSTALL AT EACH PARKING SPACE MARKED ACC OR VAN ON SITE PLAN
7. 4" MIN. CLEARANCE BETWEEN SIGN AND BACK OF SIDEWALK
8. HEIGHT TO BOTTOM OF SIGN WHEN PEDESTRIAN PATH FROM CAR DOES NOT PASS BY OR UNDER THE SIGN.
9. VAN ACCESSIBLE SIGN (AS REQUIRED)
10. TYPE R7-B SIGNS APPROVED FOR USE
11. MAXIMUM PENALTY SIGN

ACCESSIBLE PARKING SPACE SIGN N.T.S.

REVISIONS

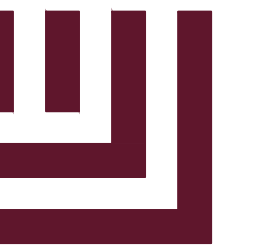
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PLAN INFORMATION

Table with columns: PROJECT NO., FILENAME, CHECKED BY, DRAWN BY, SCALE, DATE

SITE DETAILS C8.00

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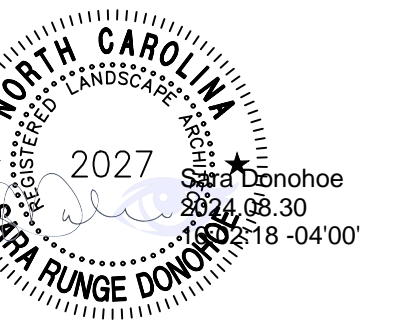
The John R. McAdams Company, Inc.
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WALLBROOK LANDCO, LLC
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RALEIGH, NORTH CAROLINA 27609

**WALLBROOK-TOWNHOME
AMENITY PLAN**
SITE DEVELOPMENT PLAN
ROLESVILLE, NORTH CAROLINA
TOWN OF ROLESVILLE PROJECT #: SP 22-09



REVISIONS

NO.	DATE	COMMENTS
1	03.31.2023	PER TOWN COMMENTS
2	05.31.2023	PER TOWN COMMENTS
3	06.27.2023	SIGNATURE SET
4	08.30.2024	UPDATED AMENITY/MAIL KIOSK FOOTPRINT

PLAN INFORMATION

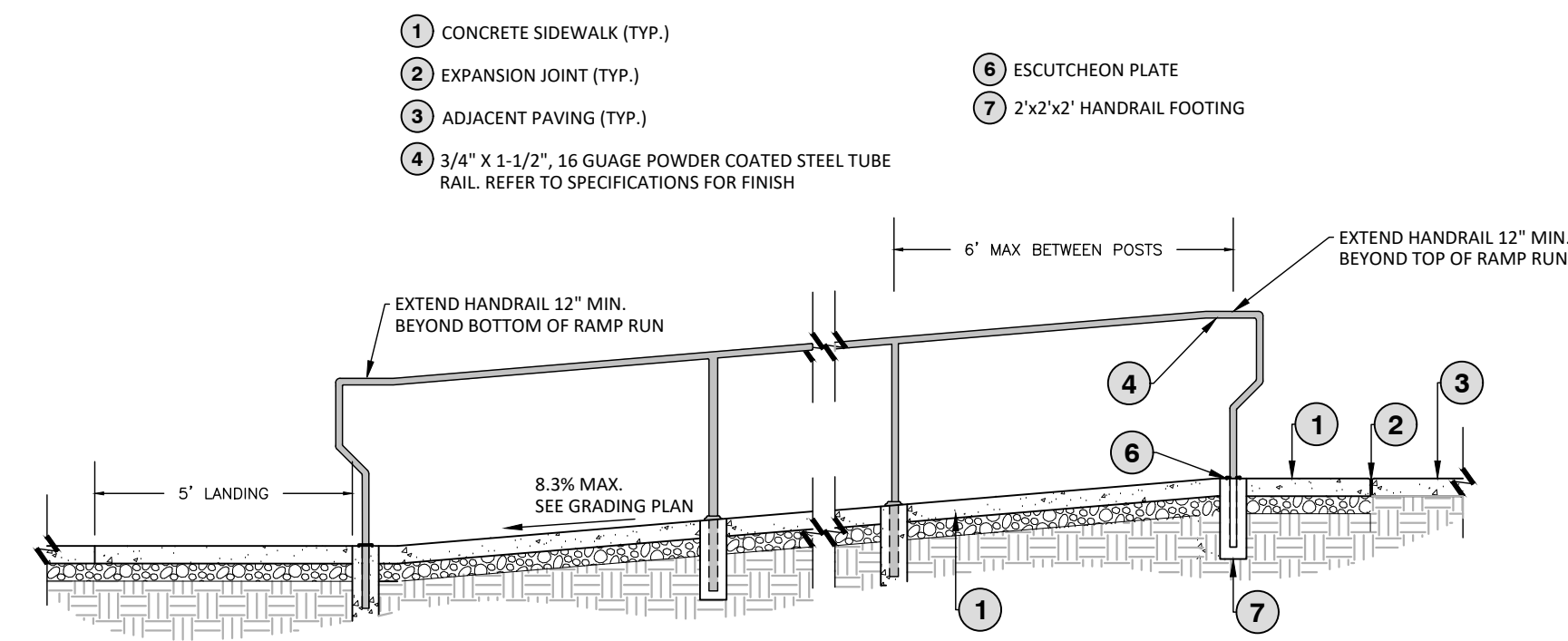
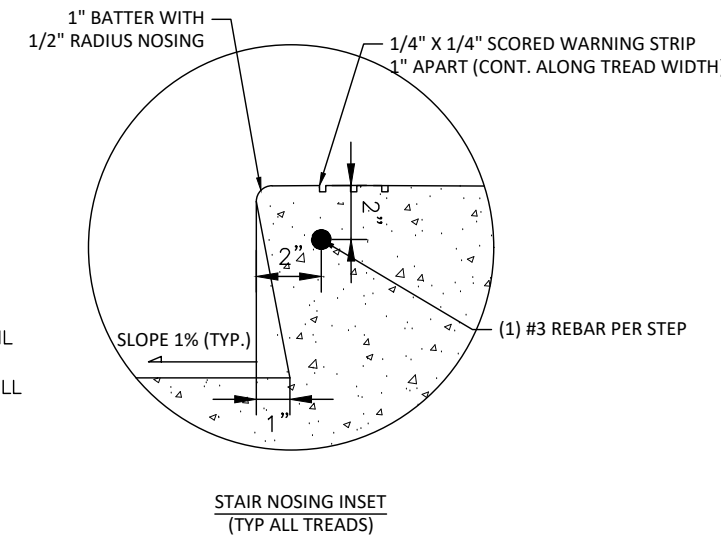
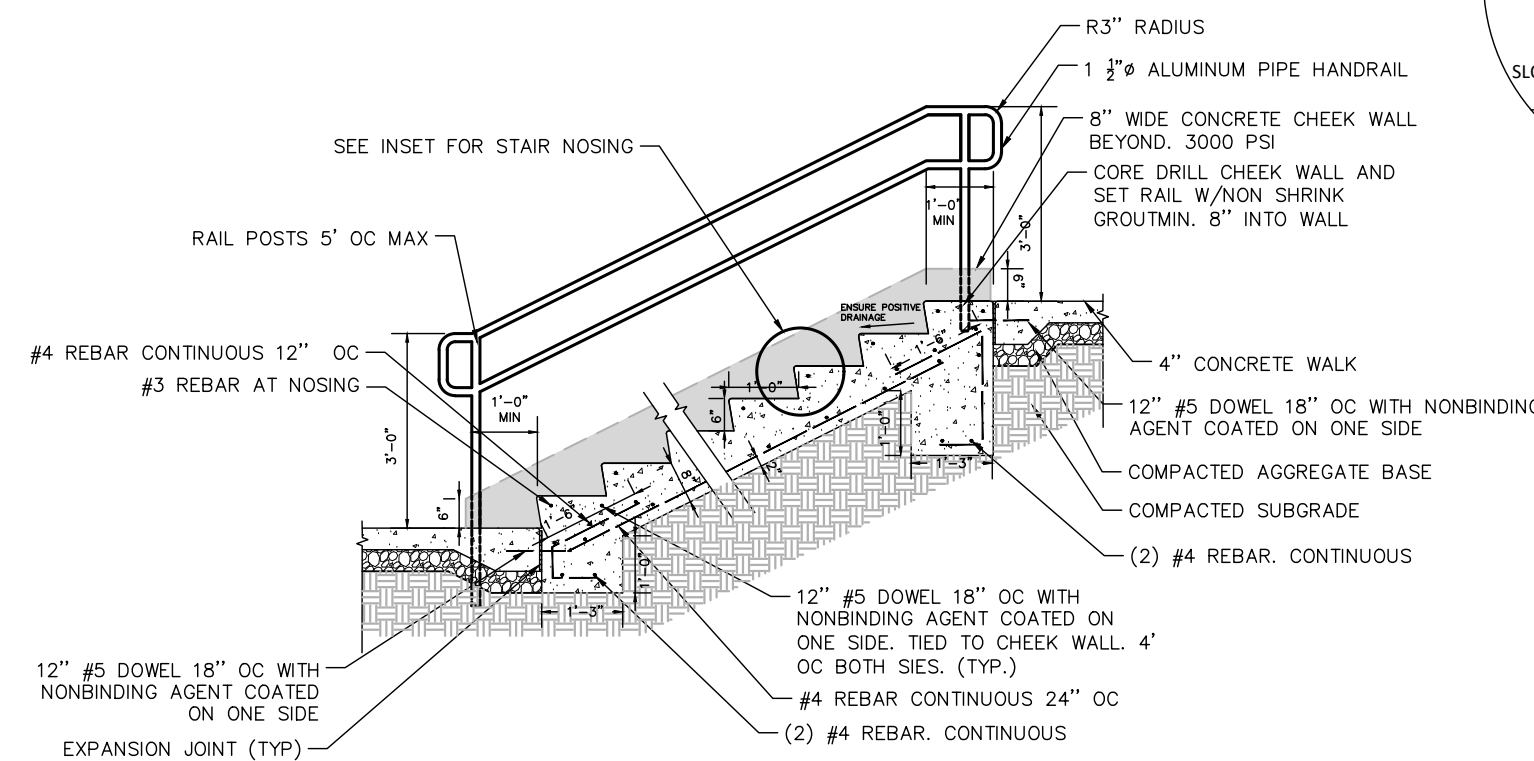
PROJECT NO.	CPR-19100
FILENAME	CPR-19100-D2
CHECKED BY	SRD
DRAWN BY	CMXY
SCALE	N/A
DATE	10.28.2022

SHEET

SITE DETAILS

C8.01

- NOTES:
1. ALL HANDRAIL SHALL BE ALUMINUM, POWDER COATED SILVER TO MEET ANMA-2604.
 2. ALL FASTENERS AND HARDWARE SHALL BE S.S.
 3. CONTINUOUS WELD ALL JOINTS & GRIND SMOOTH.
 4. MOUNT HANDRAIL INTO DRILLED HOLES IN THICKENED CONCRETE. SET WITH NON-SHRINK GROUT AND PROVIDE DECORATIVE COLLAR.
 5. HANDRAIL TO BE INSTALLED PER ALL APPLICABLE CODES.
 6. SEE SITE PLAN AND GRADING PLAN FOR QUANTITY AND LOCATION OF TREADS AND RISERS.
 7. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL BE OWNER / LANDSCAPE ARCHITECT.
 8. ALL REBAR 2" MINIMUM EMBEDMENT IN CONCRETE OR DIMENSION SHOWN



- NOTES:
1. NUMBER OF RAMPS AND LANDINGS VARY. SEE SITE PLAN AND GRADING PLAN FOR LOCATION AND HEIGHT OF RAMP.
 2. MAX. RAMP RUN 30 FT. WITH MAX. RISE OF 30 INCHES. PROVIDE LANDINGS 5 FT. LONG EQUAL TO WIDTH OF RAMP AT TOP AND BOTTOM OF EACH RAMP RUN.
 3. ALL FASTENERS AND HARDWARE SHALL BE S.S.
 4. ALL HANDRAIL COMPONENTS SHALL BE 3/4\"/>

01 CONCRETE STAIRS WITH HANDRAIL

SCALE: N.T.S.

02 ADA RAMP WITH HANDRAIL

SCALE: N.T.S.



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William T O'Daniel
Date: 2024.08.30
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REVISIONS

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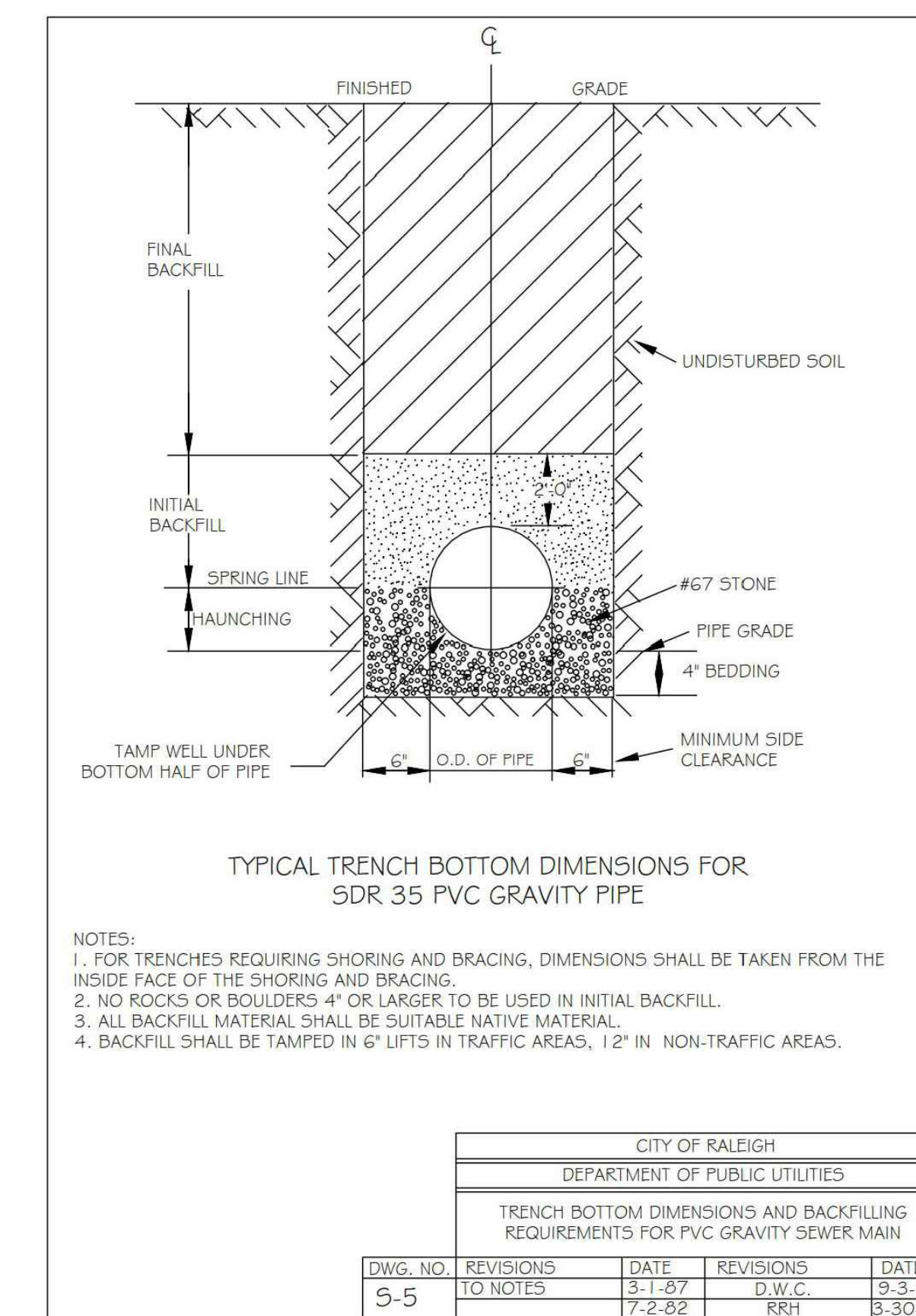
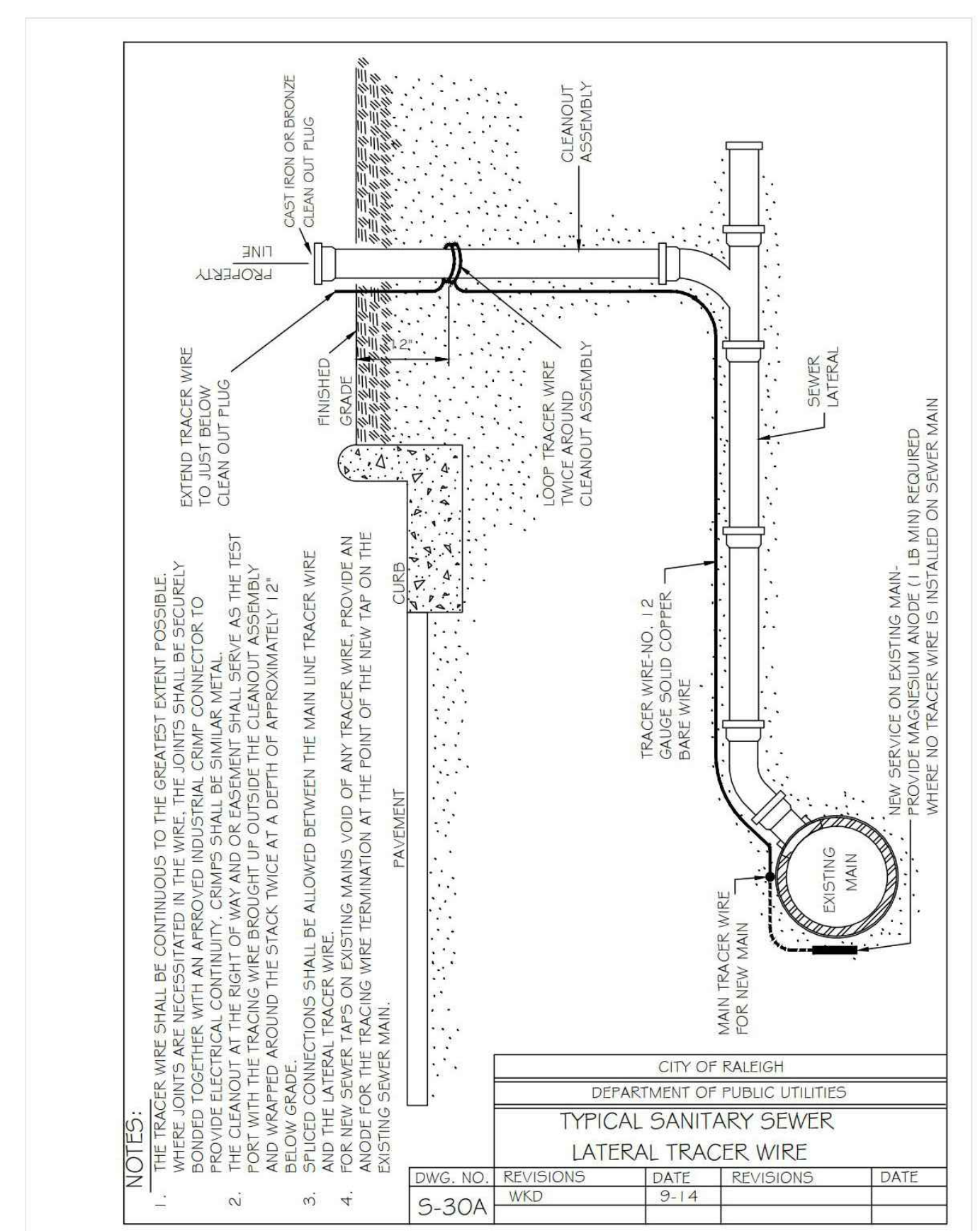
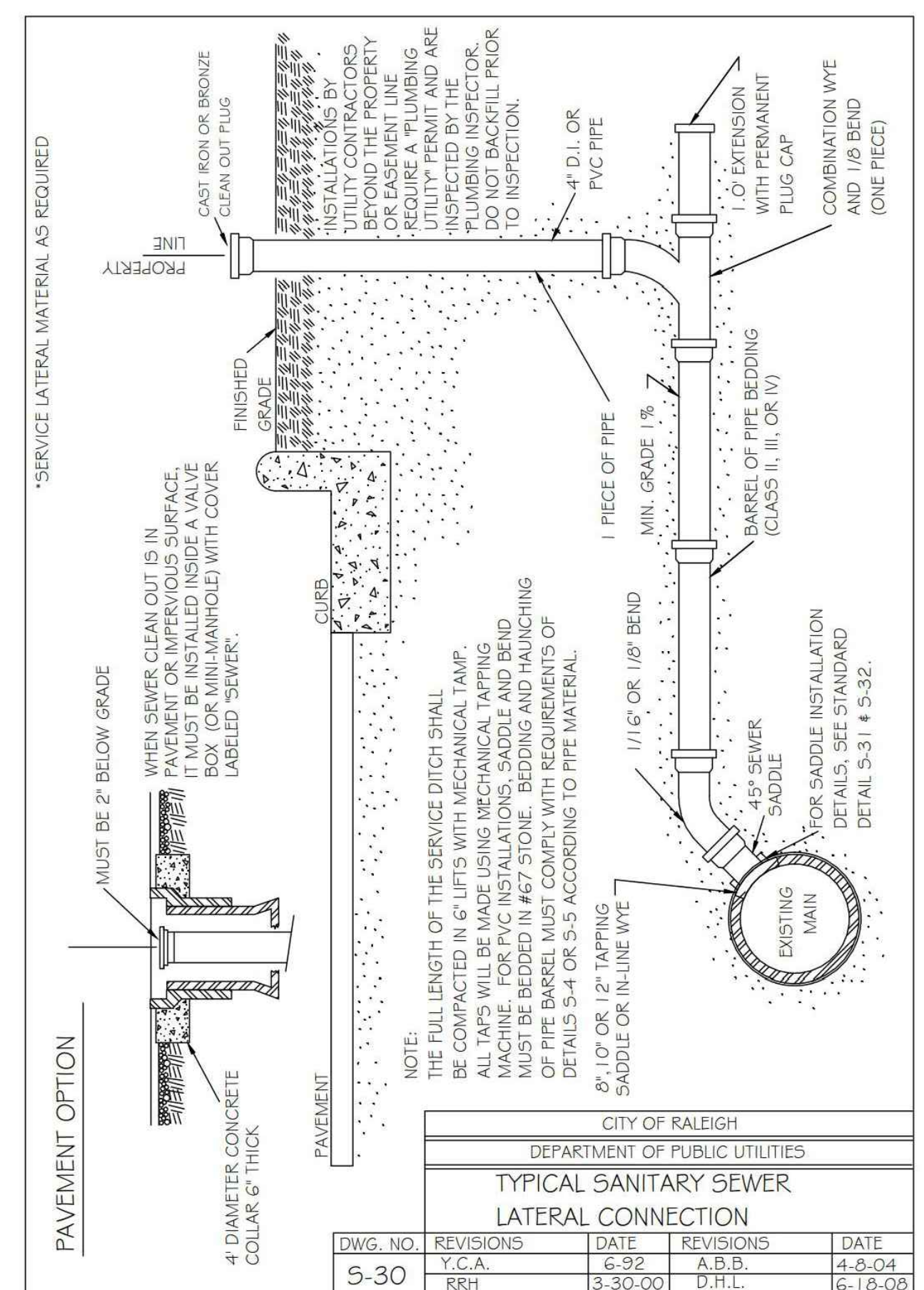
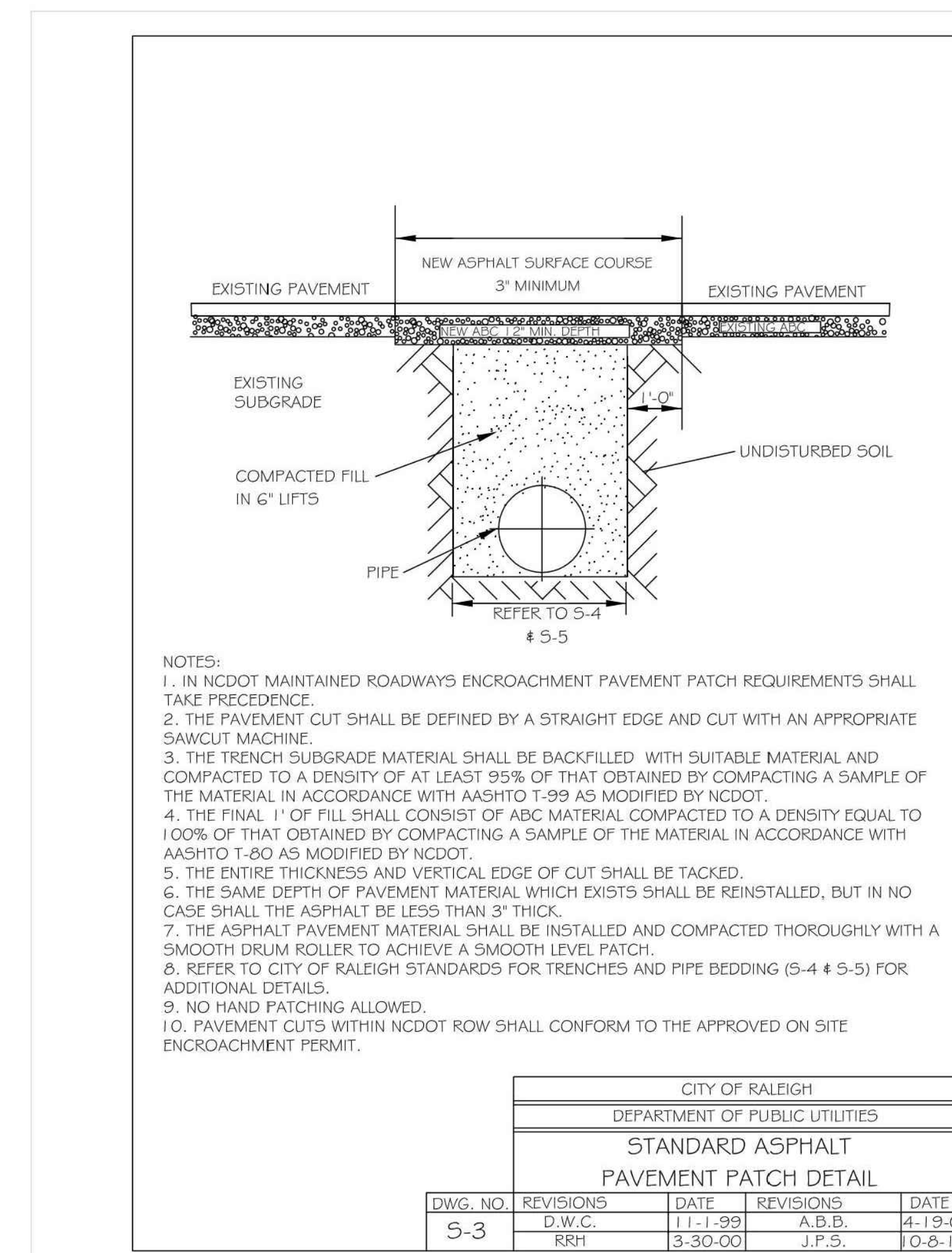
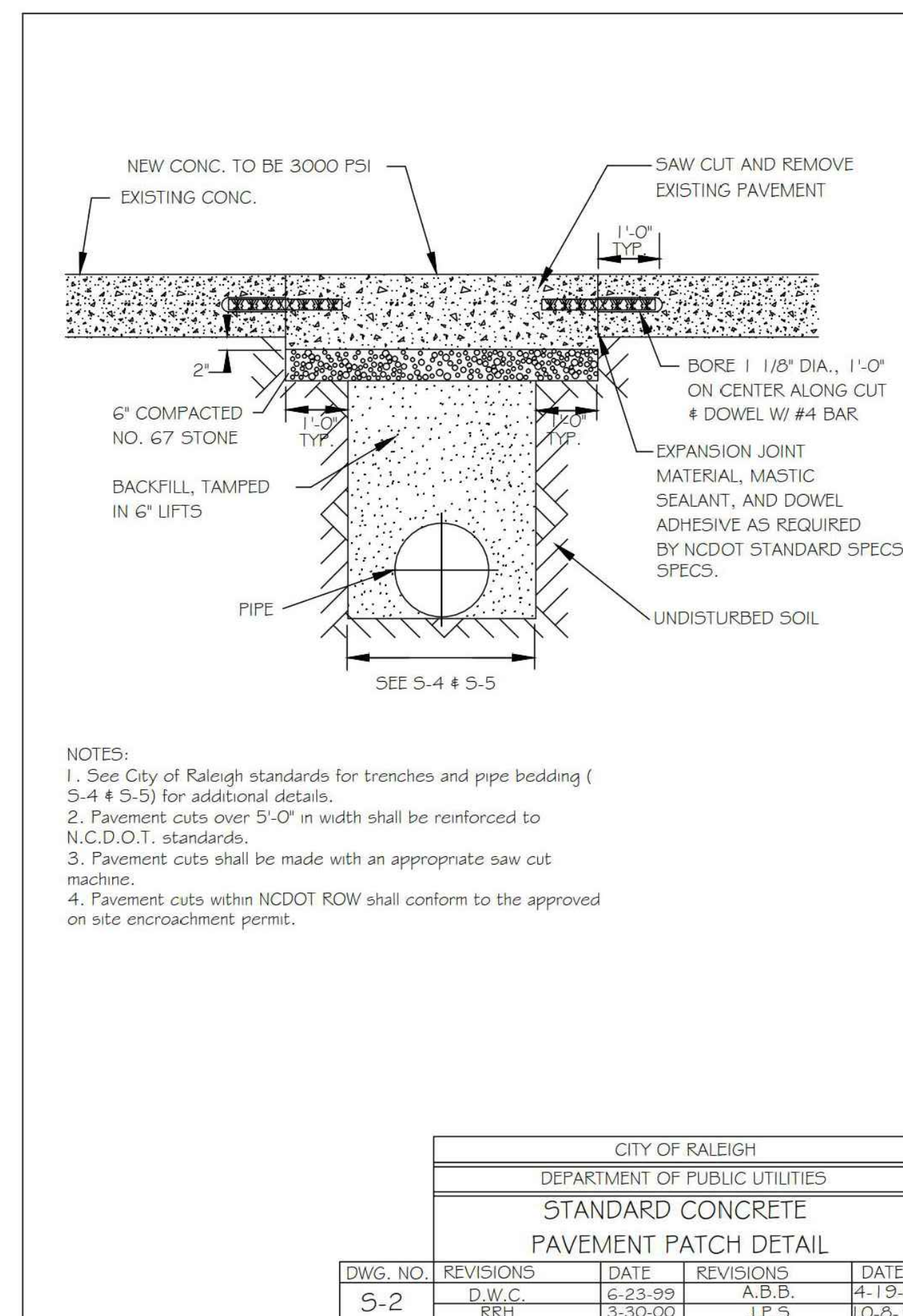
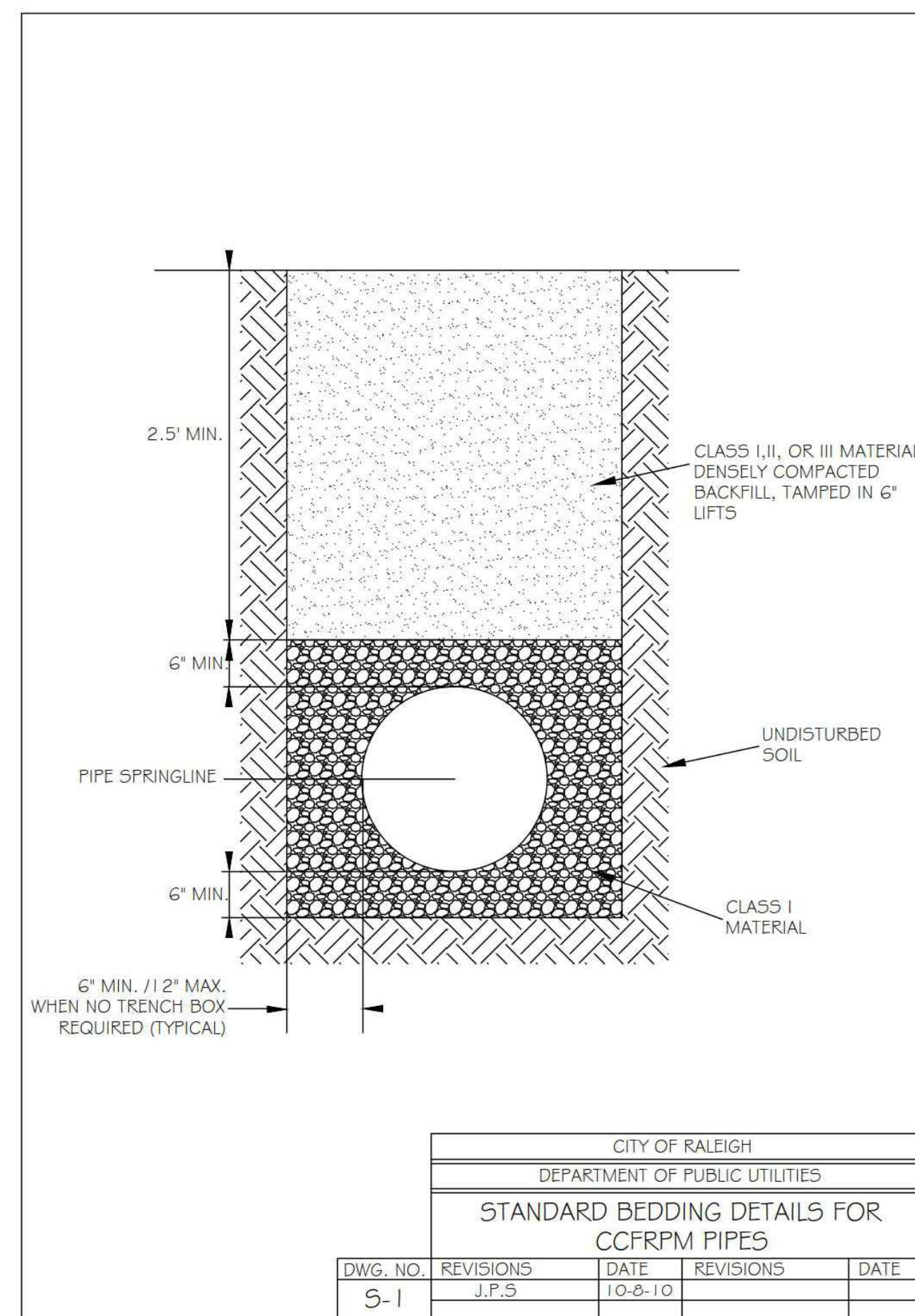
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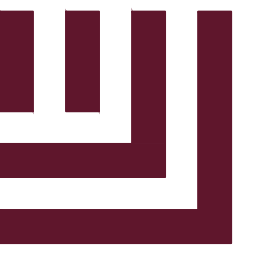
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FILENAME	CPR-19100-D2
CHECKED BY	SRD
DRAWN BY	CMXY
SCALE	N/A
DATE	10.28.2022

SHEET

SEWER DETAILS

C8.02





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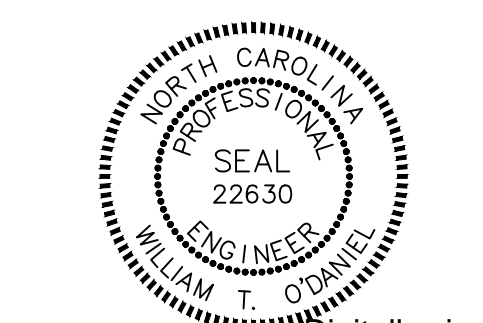
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WALLBROOK-TOWNHOME AMENITY PLAN SITE DEVELOPMENT PLAN

ROLESVILLE, NORTH CAROLINA
TOWN OF ROLESVILLE PROJECT #: SP 22-09



Digitally signed by
William T O'Daniel
Date: 2024.08.30
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REVISIONS

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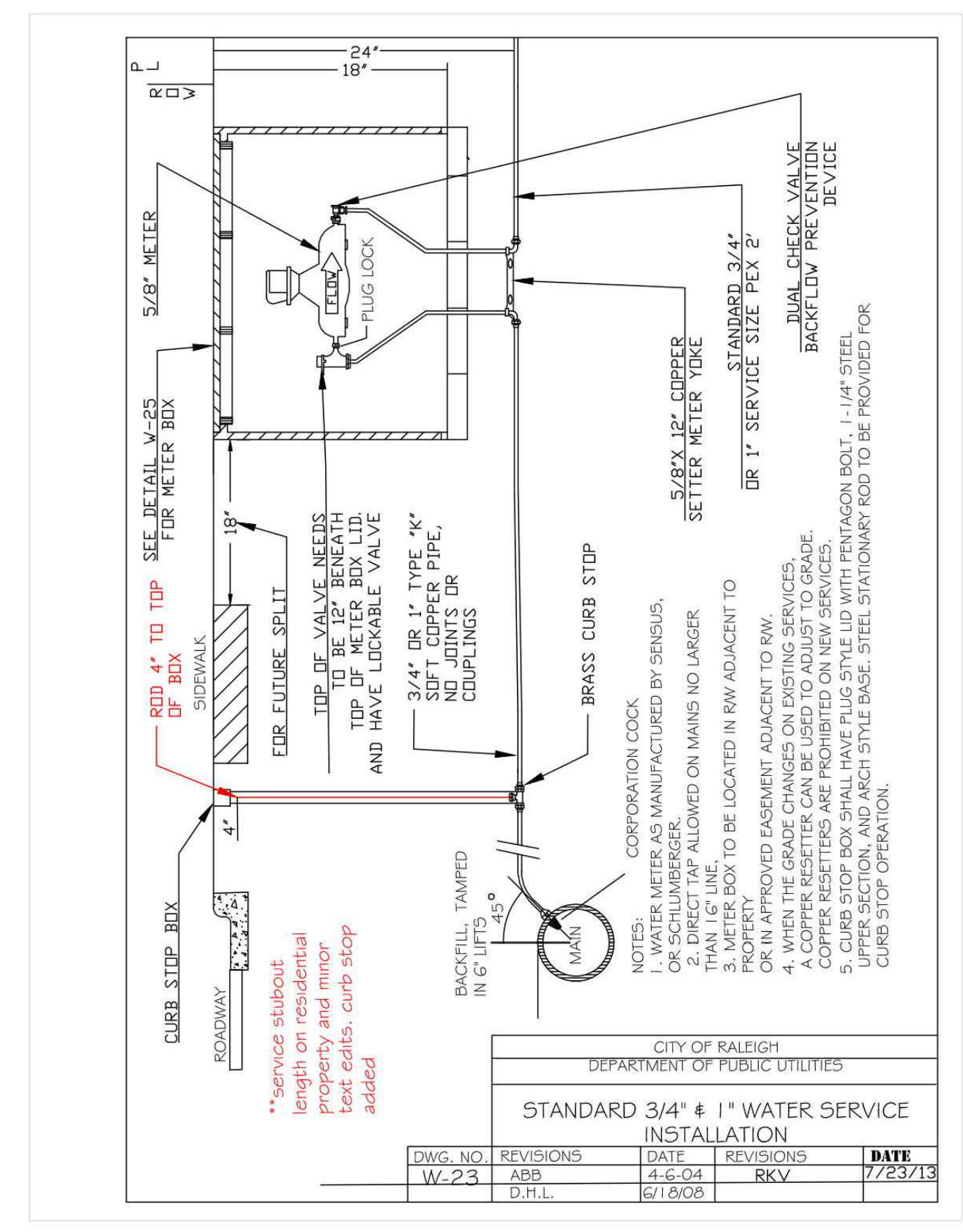
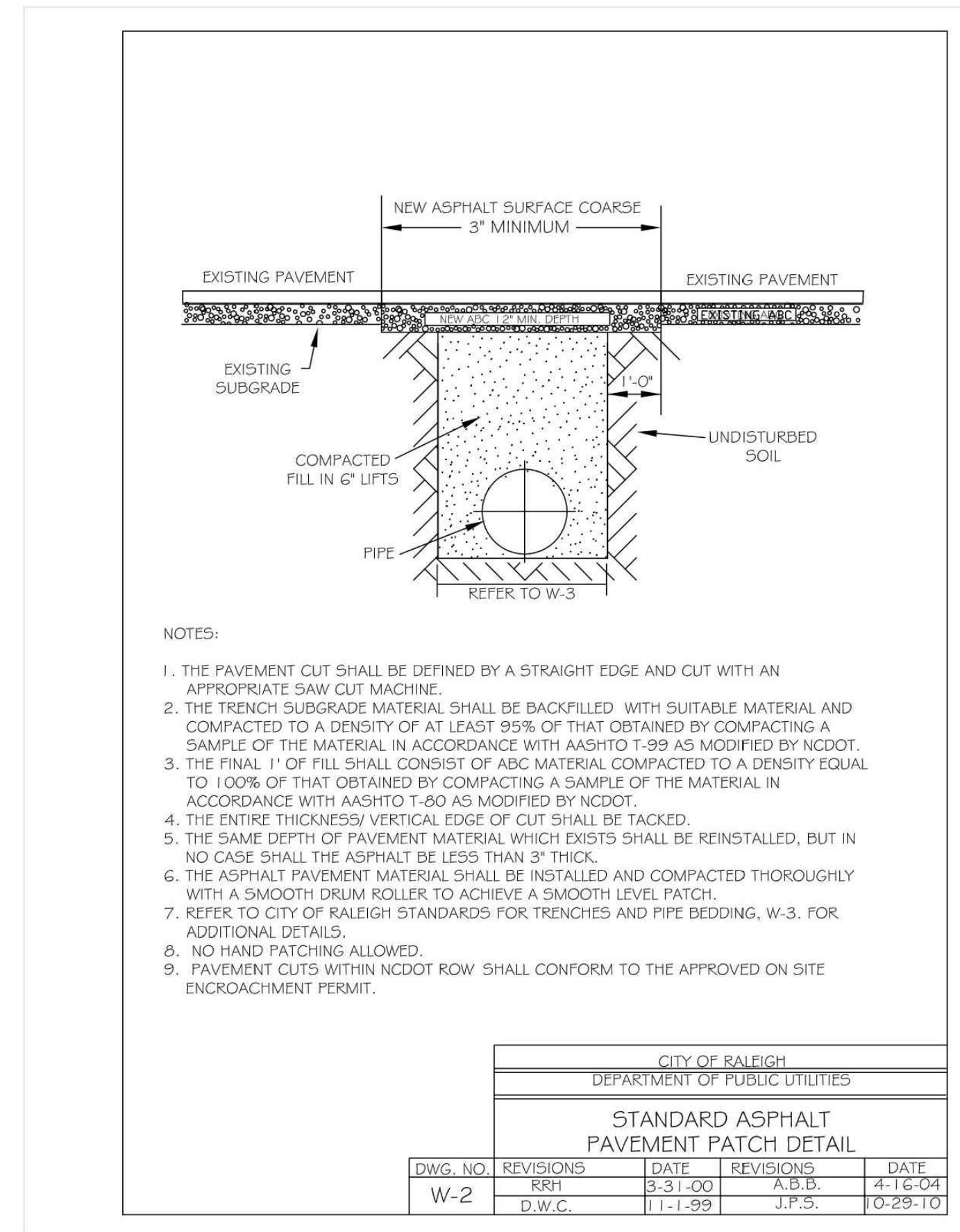
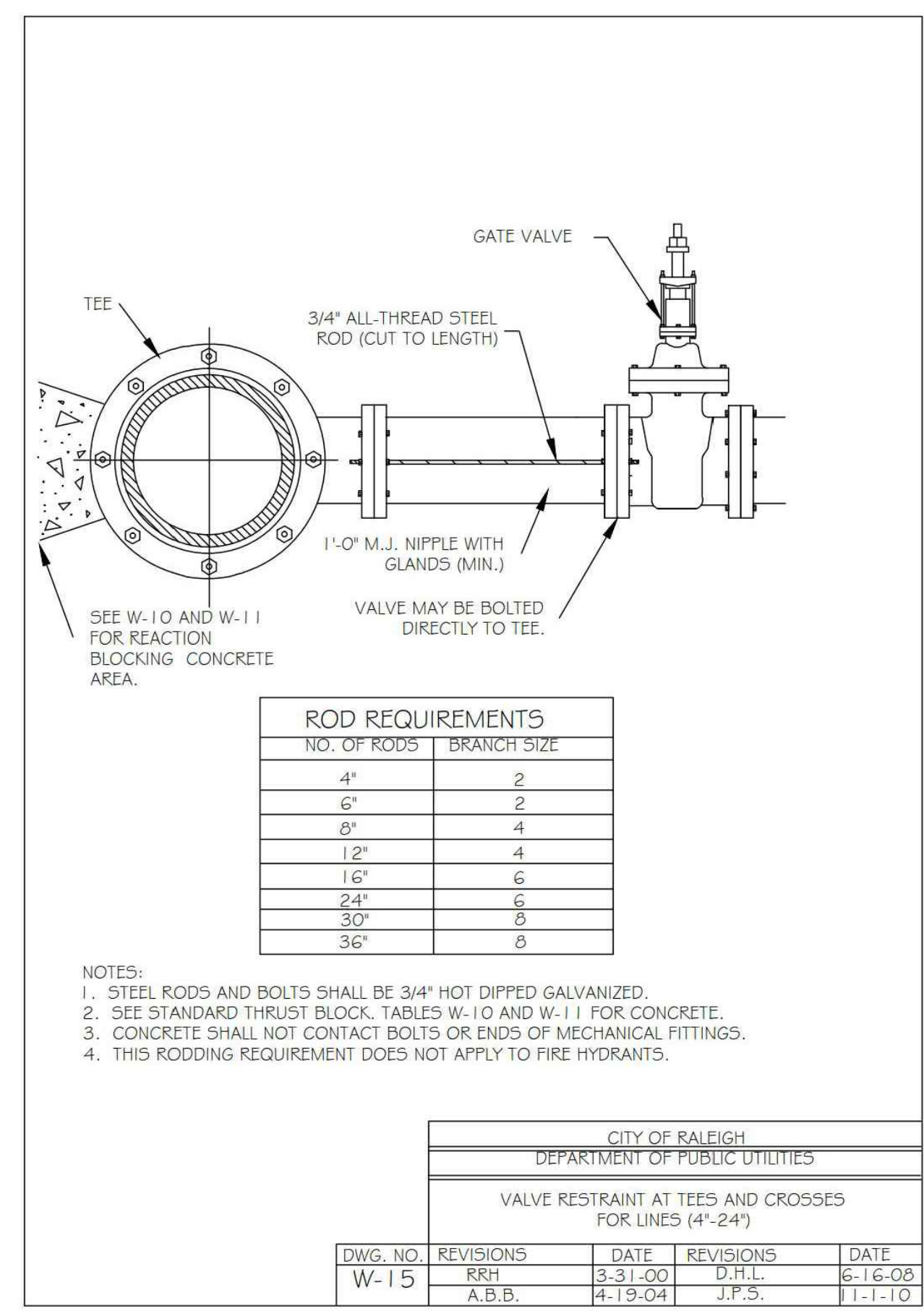
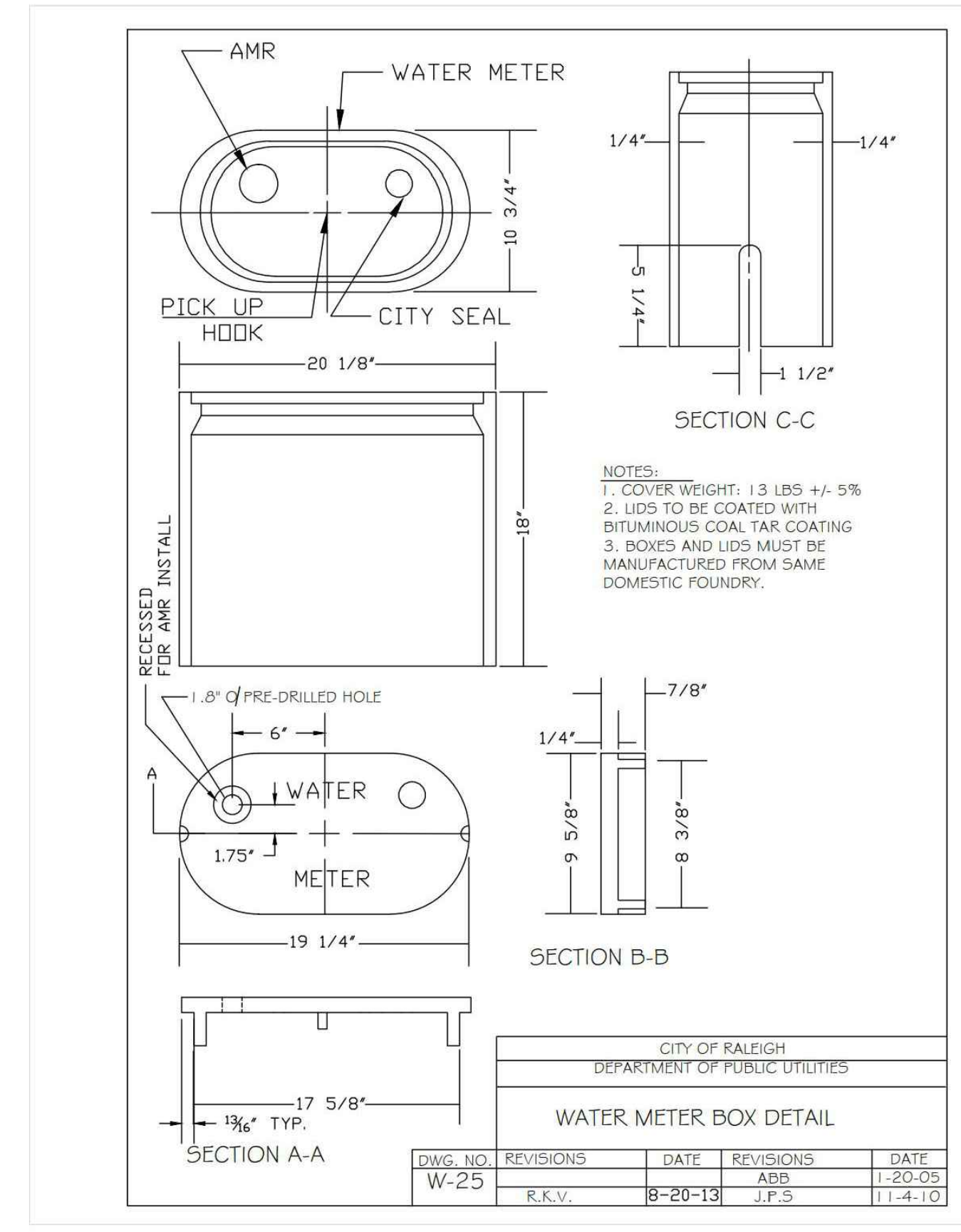
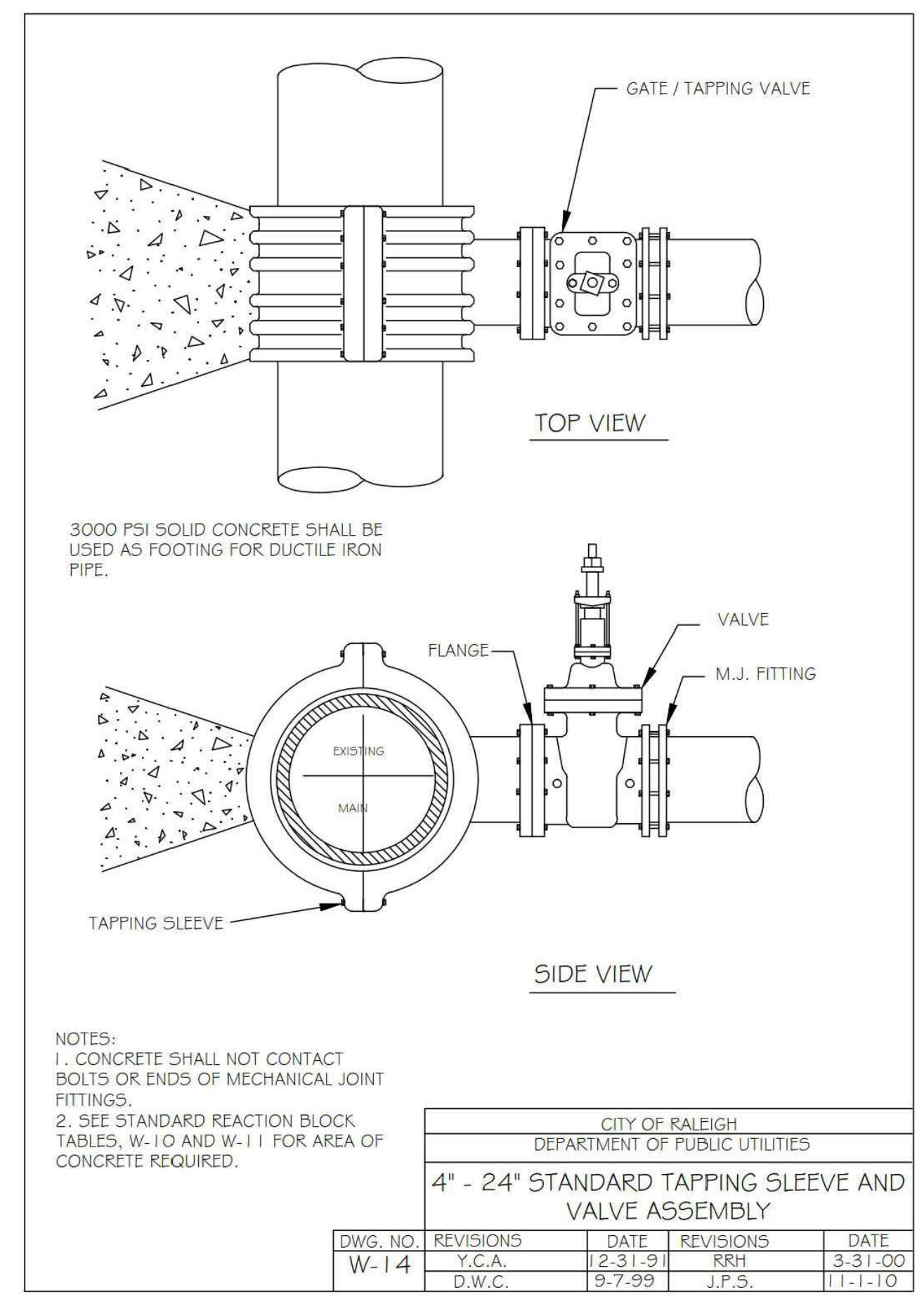
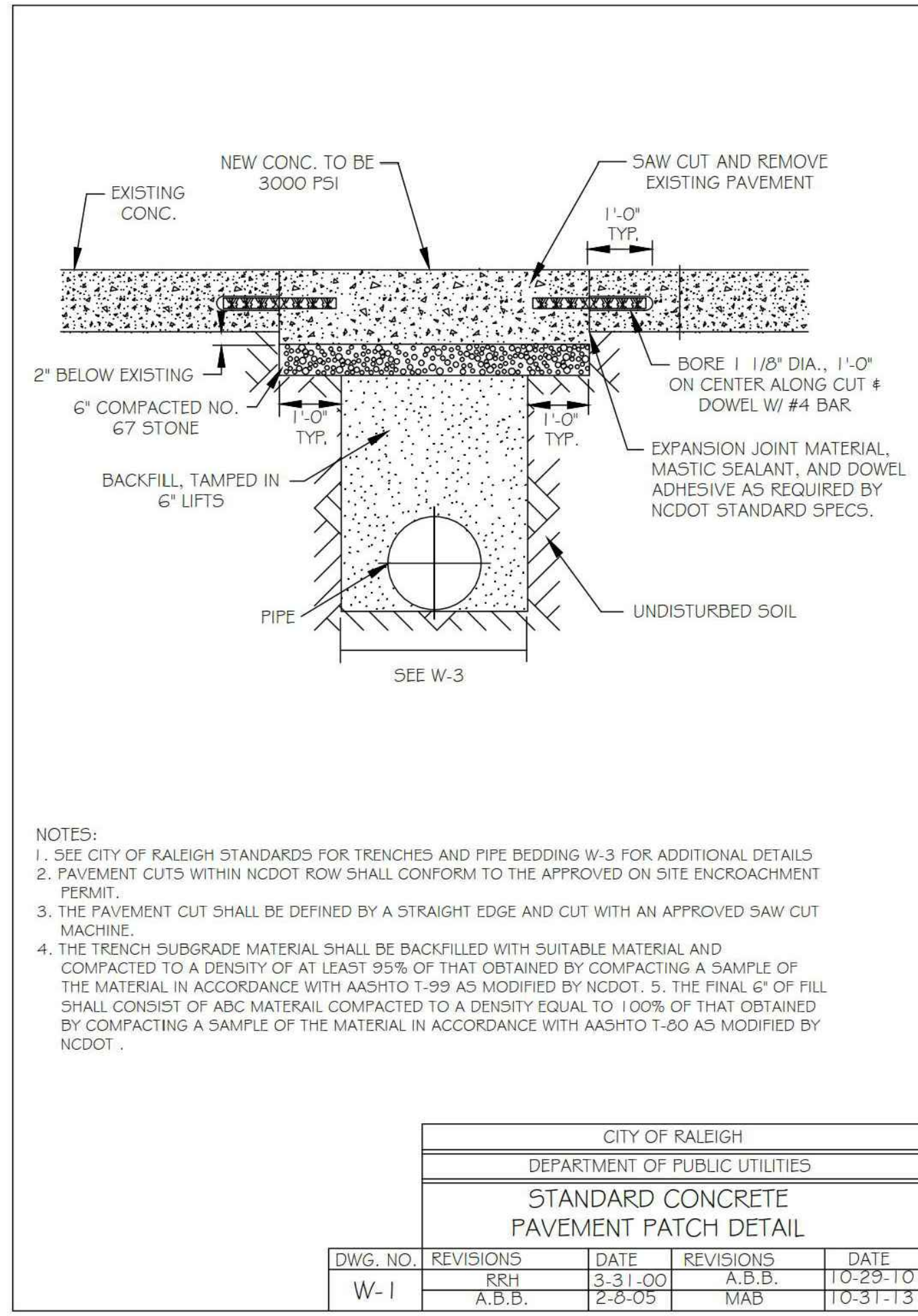
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SCALE N/A
DATE 10.28.2022

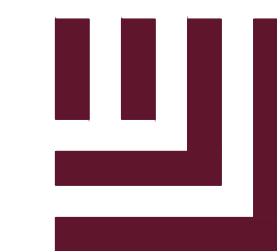
SHEET

WATER DETAILS

C8.03



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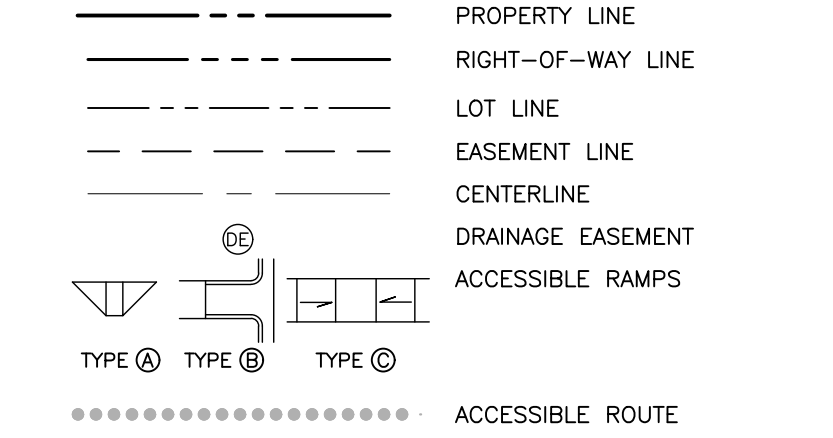
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 DATE 10. 28. 2022

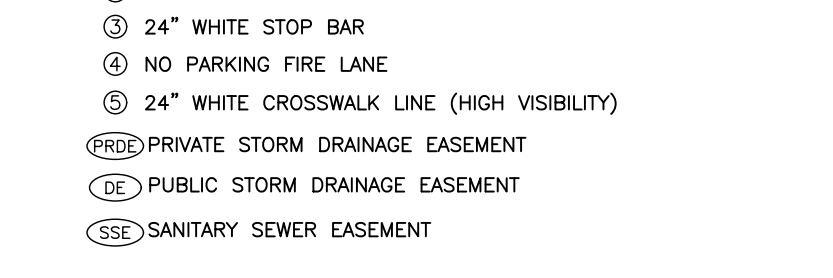
LANDSCAPE PLAN

L5.00

SITE LEGEND



KEY LEGEND

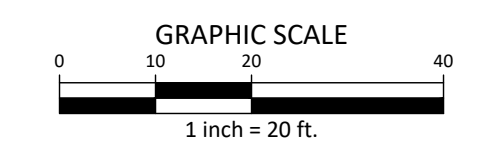
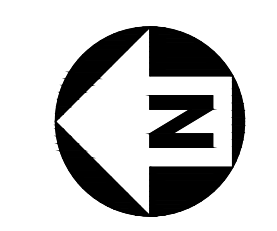
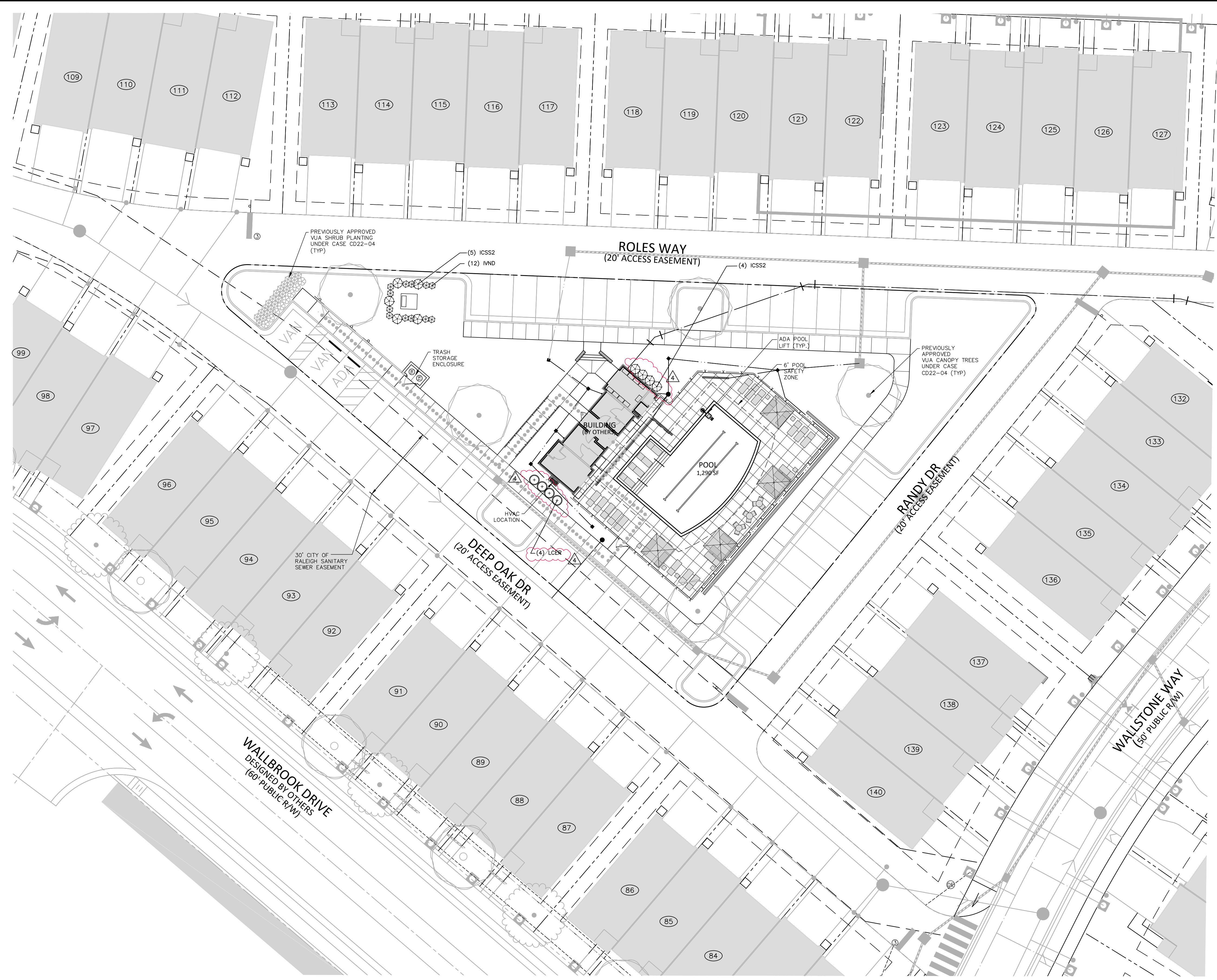


GENERAL NOTES:

SEE CASE CD 22-04 FOR OVERALL SITE DEVELOPMENT REGARDING PREVIOUSLY APPROVED PLANT MATERIAL. RELOCATE AS NECESSARY TO AVOID CONFLICTS WITH AMENITY PLANTINGS.

PLANT SCHEDULE

SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	HEIGHT	REMARKS
SHRUBS						
	ICSS2	9	Steeds Japanese Holly	Ilex crenata 'Steeds'	36"	
	LCER	4	Ever Red Loropetalum	Loropetalum chinense 'Ever Red'	30"	
EVERGREEN SHRUBS						
	IYND	12	Dwarf Yaupon	Ilex vomitoria 'Nana'	24" min	



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GENERAL LANDSCAPE NOTES:

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF ROLESVILLE AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR THE SITE INSPECTION BEFORE LANDSCAPE CONSTRUCTION AND INSTALLATION IN ORDER TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES BEFORE BEGINNING DEMOLITION OR INSTALLATION.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE NOTES, SPECIFICATIONS, DRAWINGS OR SITE CONDITIONS FOR RESOLUTION PRIOR TO INSTALLATION.
- ANY DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THIS PLAN IS FOR PLANTING PURPOSES ONLY. FOR INFORMATION REGARDING BUILDINGS, GRADING, WALLS, ETC., REFER TO ARCHITECTURE, SITE AND GRADING PLANS.
- VERIFICATION OF TOTAL PLANT QUANTITIES AS SHOWN IN THE PLANT SCHEDULE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- CONTRACTOR TO ENSURE PROPER STABILIZATION AND SEEDING OF THE SITE IN ACCORDANCE WITH APPLICABLE REGULATIONS.
- LANDSCAPE MATERIAL SHALL BE WELL FORMED, VIGOROUS, GROWING SPECIMENS WITH GROWTH TYPICAL OF VARIETIES SPECIFIED AND SHALL BE FREE FROM DAMAGE, INSECTS AND DISEASES. MATERIAL SHALL EQUAL OR SURPASS #1 QUALITY AS DEFINED IN THE CURRENT ISSUE OF "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- ALL PLANT MATERIAL IS TO BE CAREFULLY HANDLED BY THE ROOT BALL, NOT THE TRUNK, BRANCHES AND/OR FOLIAGE OF THE PLANT. MISHANDLED PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL IS TO BE WELL ROOTED, NOT ROOT BOUND, SUCH THAT THE ROOT BALL REMAINS INTACT THROUGHOUT THE PLANTING PROCESS. DEFICIENT PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT OR OWNER.
- ALL PLANTS TO BE A MINIMUM OF WHAT IS SPECIFIED IN THE PLANT SCHEDULE. ANY CHANGES OR SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND GOVERNING JURISDICTION PRIOR TO ANY HOLE BEING DUG.
- CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT TO ESTABLISH THE EXTENTS OF MULCH/SEED/SOD IF NOT SPECIFICALLY SHOWN ON PLANS.
- CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE IN ALL PLANTING AREAS.
- PROPOSED TREES TO BE PLANTED A MINIMUM 10 FEET FROM ANY LIGHT POLE AS MEASURED FROM TRUNK OF THE TREE TO THE POLE.
- PROPOSED TREES TO BE PLANTED A MINIMUM 5 FEET FROM ANY FIRE HYDRANT AS MEASURED FROM TRUNK OF THE TREE TO THE HYDRANT.
- CONTRACTOR SHALL COMPLETE SOIL TEST IN ALL PLANTING AREAS TO DETERMINE SOIL AMENDMENT REQUIREMENTS UNLESS WAIVED BY OWNER'S REPRESENTATIVE. CONTRACTOR SHALL ADJUST PH AND FERTILITY BASED UPON THE SOIL TEST RESULTS.
- TOPSOIL SHALL BE FREE OF MATERIAL LARGER THAN 1.0 INCH IN DIAMETER OR LENGTH AND SHALL NOT CONTAIN SLAG, CINDERS, STONES, LUMPS OF SOIL, STICKS, ROOTS, TRASH, OR OTHER EXTRANEOUS MATERIAL.
- LOOSEN SUBGRADE / SURFACE SOIL TO A MINIMUM DEPTH OF 6 INCHES. APPLY SOIL AMENDMENTS AND FERTILIZERS AS REQUIRED BY THE SOIL TEST RESULTS TO ACHIEVE A HEALTHY GROWING MEDIA AND MIX THOROUGHLY INTO TOP 4 INCHES OF SOIL. SPREAD PLANTING SOIL MIX TO A DEPTH OF 6 INCHES BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
- IF IMPORTED TOPSOIL IS REQUIRED, THE SUBGRADE SHALL BE SCARIFIED OR TILLED TO A DEPTH OF AT LEAST 6 INCHES PRIOR TO INSTALLATION OF IMPORTED TOPSOIL. FOLLOWING INSTALLATION OF IMPORTED TOPSOIL, THE TOPSOIL SHALL BE TILLED TO INTEGRATE THE SOIL PROFILES.
- PLANT MATERIALS ARE TO BE GUARANTEED FOR A PERIOD OF 12 MONTHS. PLANT MATERIALS WHICH REMAIN UNHEALTHY WILL BE REPLACED BY THE LANDSCAPE CONTRACTOR BEFORE THE EXPIRATION OF THE GUARANTEE PERIOD OR IMMEDIATELY IF SO DIRECTED BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
- ALL TREE PLANTINGS SHALL BE MULCHED TO A DEPTH OF 3 INCHES, AND WITH A MINIMUM 3 FOOT RADIUS FROM BASE OF TREE OR TO DRIPLINE. MULCH SHALL BE FREE OF TRASH AND MAINTAINED WEED FREE. MULCH SHALL NOT COVER THE ROOT FLARE. CONFIRM MULCH SPECIFICATIONS WITH OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
- DO NOT PRUNE TREES AND SHRUBS BEFORE DELIVERY. PROTECT BARK, BRANCHES, AND ROOT SYSTEMS FROM SUN SCALD, DRYING, SWEATING, WHIPPING, AND OTHER HANDLING AND TYING DAMAGE. DO NOT BEND OR BIND-TIE TREES OR SHRUBS IN SUCH A MANNER AS TO DESTROY THEIR NATURAL SHAPE. PROVIDE PROTECTIVE COVERING OF EXTERIOR PLANTS DURING DELIVERY. DO NOT DROP EXTERIOR PLANTS DURING DELIVERY AND HANDLING.
- DELIVER EXTERIOR PLANTS AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND INSTALL IMMEDIATELY. IMMEDIATELY AFTER UNLOADING, STAND THE TREES UP TO REDUCE THE RISK OF SUN SCALD. PROPERLY STAGED TREES ARE STANDING, UNLIFTED AND SPACED. UNLESS IMMEDIATELY INSTALLED, SET EXTERIOR PLANTS AND TREES IN SHADE, PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS MOIST.
- SEE LANDSCAPE DETAILS FOR TREE STAKING REQUIREMENTS.
- EXCAVATE EDGES OF ALL PLANTING BEDS TO 2 INCH DEPTH TO FORM A NEAT AND CRISP DEFINITION.
- CONTRACTOR SHALL REMOVE DEBRIS AND FINE GRADE ALL PLANTING AREAS PRIOR TO INSTALLATION.
- REMOVE GUY WIRES AND STAKES AT END OF WARRANTY PERIOD OR ESTABLISHMENT.
- FINISH GRADING: GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. GRADE TO WITHIN PLUS OR MINUS 1/2 INCH OF FINISH ELEVATION. ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES. LIMIT FINISHED GRADING TO AREAS THAT CAN BE PLANTED IN THE IMMEDIATE FUTURE.

WARRANTY & MAINTENANCE:

- WARRANTY:** INSTALLER SHALL REPAIR OR REPLACE ANY PLANTINGS THAT FAIL IN MATERIALS, WORKMANSHIP, OR GROWTH WITHIN ONE YEAR AFTER THE DATE OF SUBSTANTIAL COMPLETION. FAILURES INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING:
 - DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE, NEGLIGENCE, ABUSE BY OWNER, OR INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL.
 - STRUCTURAL FAILURES INCLUDING PLANTINGS FALLING OR BLOWING OVER.
- MAINTENANCE:** INITIAL MAINTENANCE SHALL BE PROVIDED IMMEDIATELY AFTER EACH AREA IS PLANTED AND CONTINUE UNTIL SUBSTANTIAL COMPLETION. UPON SUBSTANTIAL COMPLETION, MAINTENANCE FOR ALL PLANT MATERIAL SHALL BE PROVIDED FOR ONE YEAR AT A MINIMUM SHALL INCLUDE:
 - TREE AND SHRUB MAINTENANCE: MAINTAIN PLANTINGS BY PRUNING, CULTIVATING, WATERING, WEEDING, FERTILIZING, RESTORING PLANTING SAUCERS, AND RESETTling TO PROPER GRADES OR VERTICAL POSITION, AS REQUIRED TO ESTABLISH HEALTHY, VIABLE PLANTINGS. SPRAY OR TREAT AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE.
 - GROUND COVER AND PLANT MAINTENANCE: MAINTAIN AND ESTABLISH PLANTINGS BY WATERING, WEEDING, FERTILIZING, MULCHING, AND OTHER OPERATIONS AS REQUIRED TO ESTABLISH HEALTHY, VIABLE PLANTINGS.
 - PROTECT EXTERIOR PLANTS FROM DAMAGE DUE TO LANDSCAPE OPERATIONS, OPERATIONS BY OTHER CONTRACTORS AND TRADES, AND OTHERS. MAINTAIN PROTECTION DURING INSTALLATION AND MAINTENANCE PERIODS. TREAT, REPAIR, OR REPLACE DAMAGED PLANTINGS.

PLANTING SPECIFICATIONS:

GENERAL

- REFER TO CIVIL DRAWINGS FOR NOTES AND DETAILS ON SITE GRADING AND EROSION AND SEDIMENT CONTROL. REFER TO SEEDING AND SODDING NOTES FOR TURF GRASS INSTALLATION.
- CONTRACTOR TO SUBMIT A LIST OF PLANT MATERIALS AND SOURCES FOR REVIEW BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE AND INSTALLATION. CONTRACTOR TO COORDINATE ANY DISCREPANCIES OR SUBSTITUTIONS WITH LANDSCAPE ARCHITECT.
- DURING DELIVERY, STORAGE AND HANDLING, CONTRACTOR TO PROTECT AND MAINTAIN PLANT LIFE UNTIL PLANTED. PROVIDE PROTECTIVE COVERING OVER ALL PLANTINGS DURING TRANSPORT. ADEQUATELY PROTECT PLANTS FROM DRYING OUT, EXPOSURE OF ROOTS TO SUN, WIND OR EXTREMES OF HEAT AND COLD TEMPERATURES. IF PLANTING IS DELAYED MORE THAN 24 HOURS AFTER DELIVERY, STORE PLANTS IN LOCATION PROTECTED FROM SUN AND WIND AND PROVIDE ADEQUATE WATER TO THE ROOT BALL PACKAGE. PLANT MATERIAL DAMAGED AS A RESULT OF DELIVERY, STORAGE OR HANDLING WILL BE REJECTED.
- PLANTS, INCLUDING TREES, SHRUBS, GROUNDCOVERS, VINES AND ORNAMENTAL GRASSES, TO BE INSTALLED BETWEEN THE FOLLOWING DATES:
SPRING PLANTING SEASON: MARCH 15 TO JUNE 1
FALL PLANTING SEASON: SEPTEMBER 15 TO DECEMBER 1
- PROCEED WITH PLANTING ONLY WHEN EXISTING AND FORECASTED WEATHER CONDITIONS PERMIT. PLANT TREES AND SHRUBS AFTER FINISH GRADES ARE ESTABLISHED AND BEFORE PLANTING LAWNS. PROTECT LAWN AREAS TO REMAIN AND PROMPTLY REPAIR DAMAGE CAUSED BY PLANTING OPERATIONS.
- CONTRACTOR SHALL CAREFULLY EXAMINE THE CIVIL, RECORD AND SURVEY DRAWINGS TO BECOME FAMILIAR WITH EXISTING UNDERGROUND CONDITIONS BEFORE DIGGING. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BE AWARE OF ALL SURFACE AND SUBSURFACE CONDITIONS, AND TO NOTIFY THE LANDSCAPE ARCHITECT OF ANY CIRCUMSTANCES THAT WOULD NEGATIVELY IMPACT UNDERGROUND CONDITIONS OR THE HEALTH OF THE PLANTINGS.

PRODUCTS

- TREE AND SHRUB MATERIAL: FURNISH NURSERY-GROWN, TYPICAL OF THEIR SPECIES OR VARIETY, WITH NORMAL GROWTH HABIT, WELL DEVELOPED BRANCH STRUCTURE, HEALTHY FOLIAGE, AND VIGOROUS ROOT SYSTEMS IN ACCORDANCE WITH APPLICABLE REQUIREMENTS IN ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK". PLANTS SHALL BE FREE FROM DEFECTS OR DAMAGE, INCLUDING BUT NOT LIMITED TO, DISBURGING KNOTS, SUNSCALD INJURIES, FROST CRACKS, ABRASION OF THE BARK, PLANT DISEASES, INSECT EGGS, BORERS, FIRE ANTS, AND ALL FORMS OF INFESTATION.
- SOIL: ASTM D 5268 TOPSOIL, pH RANGE OF 5.5 TO 7. A MINIMUM OF 6 PERCENT ORGANIC MATERIAL CONTENT; FREE OF STONES 1 INCH OR LARGER IN ANY DIMENSION AND OTHER EXTRANEOUS MATERIALS HARMFUL TO PLANT GROWTH.
- SOIL AMENDMENTS:
 - ORGANIC COMPOST: WELL-COMPOSTED, STABLE AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH #14" SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DECISEMENS/M; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS.
 - INORGANIC SOIL AMENDMENTS: COMMERCIAL GRADE, FREE OF TOXIC MATERIALS.
- FERTILIZER: GRANULAR OR PELLET SLOW-RELEASE FERTILIZER CONSISTING OF 50 PERCENT WATER-INSOLUBLE NITROGEN, PHOSPHORUS AND POTASSIUM IN THE COMPOSITION AS DIRECTED BY SOIL ANALYSIS TESTING.
- ORGANIC MULCH: SHREDDED HARDWOOD IN NATURAL BROWN COLOR; 3" MAXIMUM SIZE IN LONGEST DIMENSION; FREE FROM DELETERIOUS MATERIALS AND SUITABLE FOR A TOP DRESSING OF TREES AND SHRUBS.
- STAKES AND GUYS: DEEPROOF ARBORTIE STAKING AND GUYING MATERIAL OR APPROVED EQUAL.

PLANTING INSTALLATION:

EXAMINATION AND PREPARATION

- INSTALLER TO EXAMINE AREAS TO RECEIVE EXTERIOR PLANTS FOR COMPLIANCE WITH REQUIREMENTS AND CONDITIONS AFFECTING INSTALLATION AND PERFORMANCE. PROCEED WITH INSTALLATION ONLY AFTER UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.
- PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES, AND LAWNS AND EXISTING PLANTINGS FROM DAMAGE CAUSED BY PLANTING OPERATIONS REFER TO CIVIL DRAWINGS FOR EROSION AND SEDIMENT CONTROL MEASURES.
- LAY OUT INDIVIDUAL TREE AND SHRUB LOCATIONS PER PLANTING PLAN. OBTAIN LANDSCAPE ARCHITECT'S ACCEPTANCE OF LAYOUT BEFORE PLANTING AND MAKE MINOR ADJUSTMENTS AS NEEDED.

PLANTING BED ESTABLISHMENT

- VERIFY SITE GRADING PRIOR TO DIGGING. LOOSEN SUBGRADE TO A MINIMUM DEPTH OF 8 INCHES. REMOVE STONES LARGER THAN 1 INCH IN ANY DIMENSION AND STICKS, ROOTS, RUBBISH AND OTHER EXTRANEOUS MATTER. APPLY TOP SOIL, FERTILIZER, LIME AND SOIL AMENDMENTS AND THOROUGHLY BLEND PLANTING SOIL MIX TO CREATE ACCEPTABLE PLANTING SOIL AS DESCRIBED THROUGHOUT PLAN.
- EXCAVATE CIRCULAR PITS AND TRENCHES WITH SIDES SLOPED INWARD, LEAVING THE CENTER AREA RAISED SLIGHTLY TO SUPPORT THE ROOT BALL AND ASSIST IN DRAINAGE. EXCAVATE APPROXIMATELY THREE TIMES AS WIDE AS BALL DIAMETER FOR BALLED AND BURLAPPED AND CONTAINER-GROWN STOCK. SCARIFY PIT OR TRENCH WALLS.

TREE, SHRUB, VINE, ORNAMENTAL GRASS AND GROUNDCOVER PLANTING

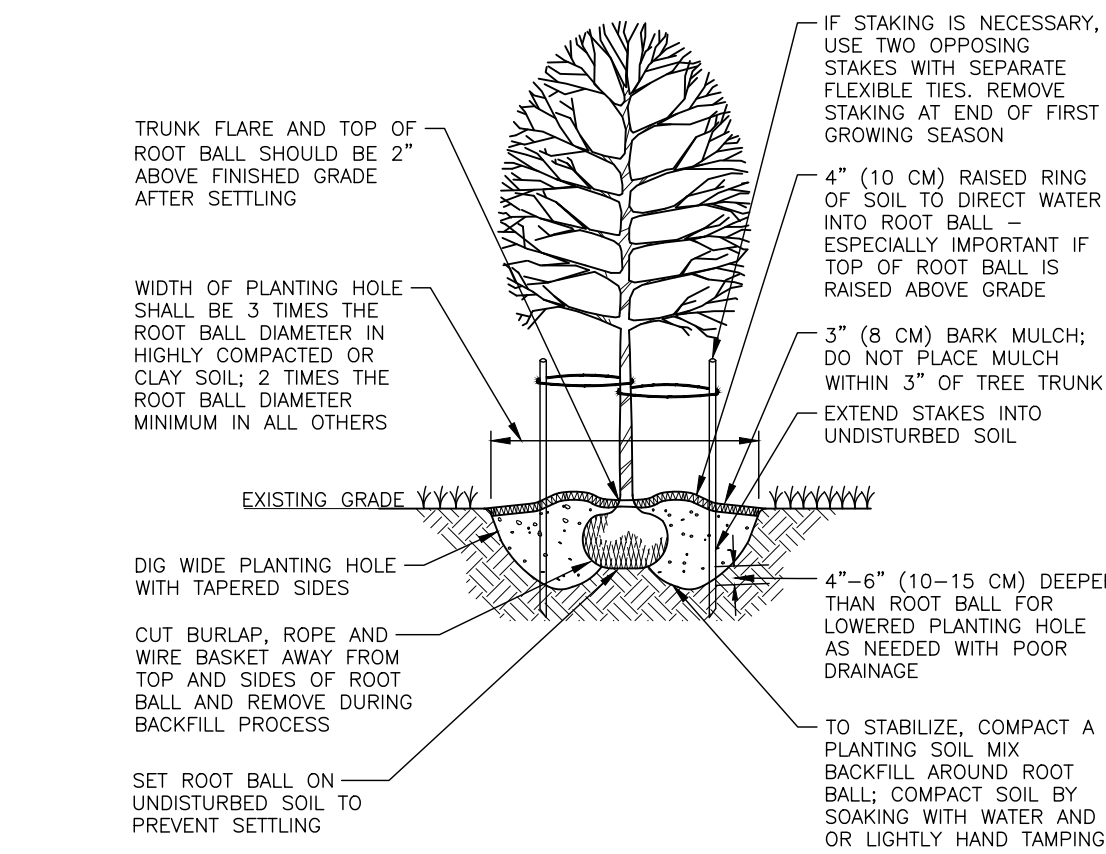
- SET BALLED AND BURLAPPED OR CONTAINER-GROWN STOCK PLUMB AND CENTER OF PIT OR TRENCH WITH ROOT BALL 1 INCH ABOVE ADJACENT FINISHED GRADES.
- REMOVE WIRE AND PALLETS ENTIRELY FROM ROOT BALL. REMOVE BURLAP FROM TOPS OF ROOT BALLS AND PARTIALLY FROM SIDES BUT DO NOT REMOVE FROM UNDER ROOT BALL. PLACE PLANTING SOIL MIX AROUND ROOT BALL IN LAYERS, TAMPING TO SETTLE MIX AND ELIMINATE VOIDS AND AIR POCKETS. WHEN PIT IS APPROXIMATELY ONE-HALF BACKFILLED, WATER THOROUGHLY BEFORE PLACING REMAINDER OF BACKFILL. WATER AGAIN AFTER PLACING AND TAMPING FINAL LAYER OF PLANTING SOIL MIX.
- APPLY 3-INCH MINIMUM AVERAGE THICKNESS OF ORGANIC MULCH EXTENDING 12 INCHES BEFORE EDGE OF PLANTING PIT OR TRENCH OR TO EDGE OF BEDLINE. DO NOT PLACE MULCH WITH 3 INCHES OF ROOT FLARE, TRUNK OR STEMS.
- PRUNE THIN AND SHAPE TREES AND SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICE AND TO RETAIN NATURAL CHARACTER. DO NOT CUT TREE LEADERS. REMOVE ONLY INJURED OR DEAD BRANCHES FROM FLOWERING TREES.
- INSTALL GUYING AND STAKING PER MANUFACTURER'S SPECIFICATIONS. REMOVE GUY WIRES AND STAKES AFTER TWO PLANTING ESTABLISHMENT SEASONS.
- DISPOSAL: REMOVE SURPLUS SOIL AND WASTE MATERIAL, INCLUDING EXCESS SUBSOIL, UNSUITABLE SOIL, TRASH, AND DEBRIS, AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.

GENERAL NOTES:

SEE CASE CD 22-04 FOR OVERALL SITE DEVELOPMENT

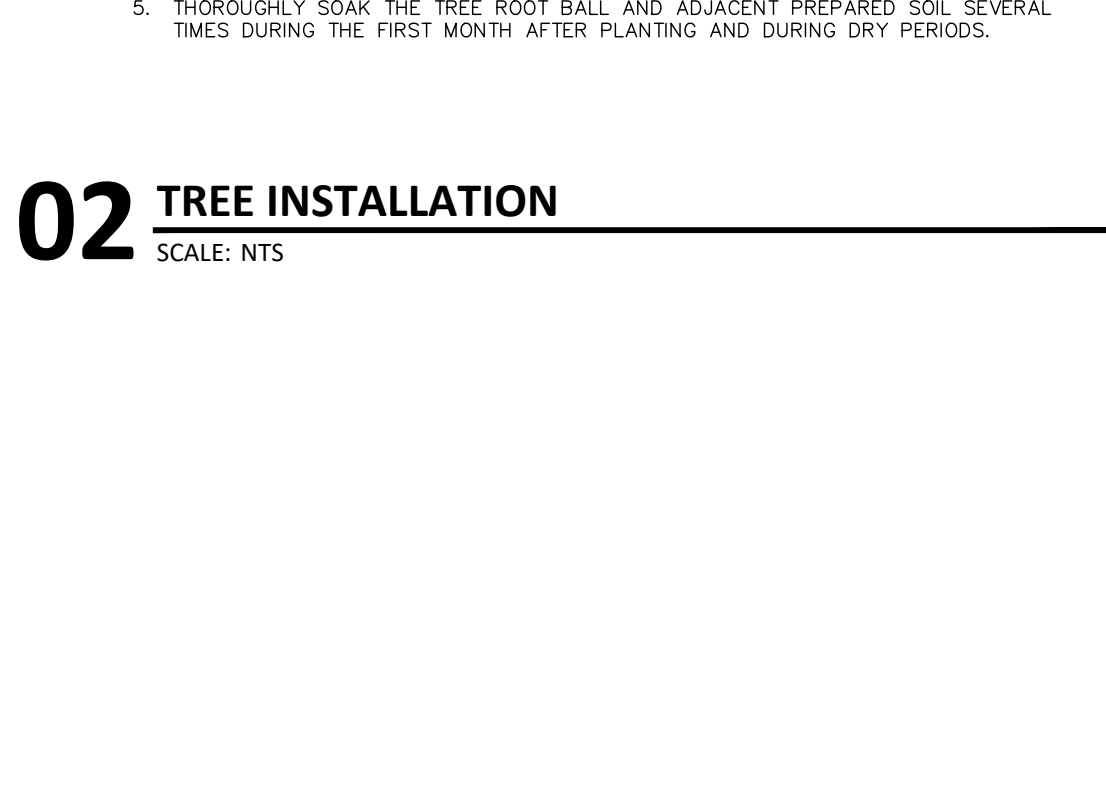
01 SHRUB INSTALLATION

SCALE: NTS



02 TREE INSTALLATION

SCALE: NTS



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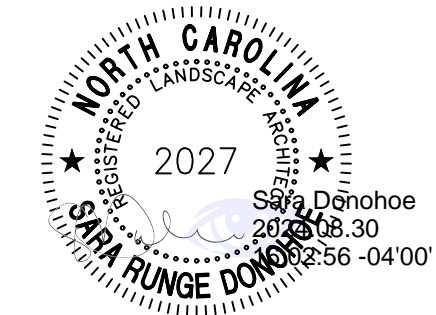
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**WALLBROOK-TOWNHOME
AMENITY PLAN
SITE DEVELOPMENT PLAN**
ROLESVILLE, NORTH CAROLINA
TOWN OF ROLESVILLE PROJECT #: SP 22-09



REVISIONS

NO.	DATE	PER TOWN COMMENTS
1	03. 31. 2023	PER TOWN COMMENTS
2	05. 31. 2023	PER TOWN COMMENTS
3	06. 27. 2023	SIGNATURE SET
4	08. 30. 2024	UPDATED AMENITY/MAIL KIOSK FOOTPRINT

PLAN INFORMATION

PROJECT NO. CPR-19100
FILENAME CPR19100-LandArch-L51
CHECKED BY SRD
DRAWN BY CMXY
SCALE N/A
DATE 10. 28. 2022

SHEET

**LANDSCAPE NOTES
AND DETAILS**

L5.01



ELEVATION / BUILDING SECTION GENERAL NOTES:

1. ALL WORK TO COMPLY WITH NCSBC & ALL APPLICABLE NORTH CAROLINA BUILDING CODES AS WELL AS ALL LOCAL AND PROJECT SPECIFIC AHJ & ZONING REQUIREMENTS.
2. FURNISH, STORE, INSTALL & FINISH ALL PRODUCTS IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AS WELL AS MANUFACTURERS AND APPLICABLE TRADE ASSOCIATION BEST PRACTICE GUIDELINES.
3. COORDINATE DIMENSIONS & SIZING INFORMATION WITHIN THESE DRAWINGS WITH PROJECT SPECIFIC MANUFACTURER DATA TO BE OBTAINED BY G.C., SUBCONTRACTORS & SUPPLIERS.
4. REFER TO THE COMPLETE DRAWING SET FOR ADDITIONAL INFORMATION, CALLOUTS, ETC.
5. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR PAVING, GRADING AND FLOOR TOP OF SLAB TRUE ELEVATIONS.
6. LEVEL CALLOUTS AT "AT GRADE" FLOORS REPRESENT NOM. T.O.S. NOT INCLUDING ASSUMED FLOOR FINISH THICKNESS. COORDINATED STAIR FABRICATION AND RISER HEIGHTS WITH FINISHED FLOOR CALCS.
7. REFER TO SHT. A901 FOR BASIS OF DESIGN MATERIALS AND FINISHES.
8. REFER TO WALL SECTION SHEETS FOR **TYPICAL SYSTEMS NOTES** (AS INDICATED BY BOLD/UNDERLINE & OTHER).

EXTERIOR MATERIAL LEGEND

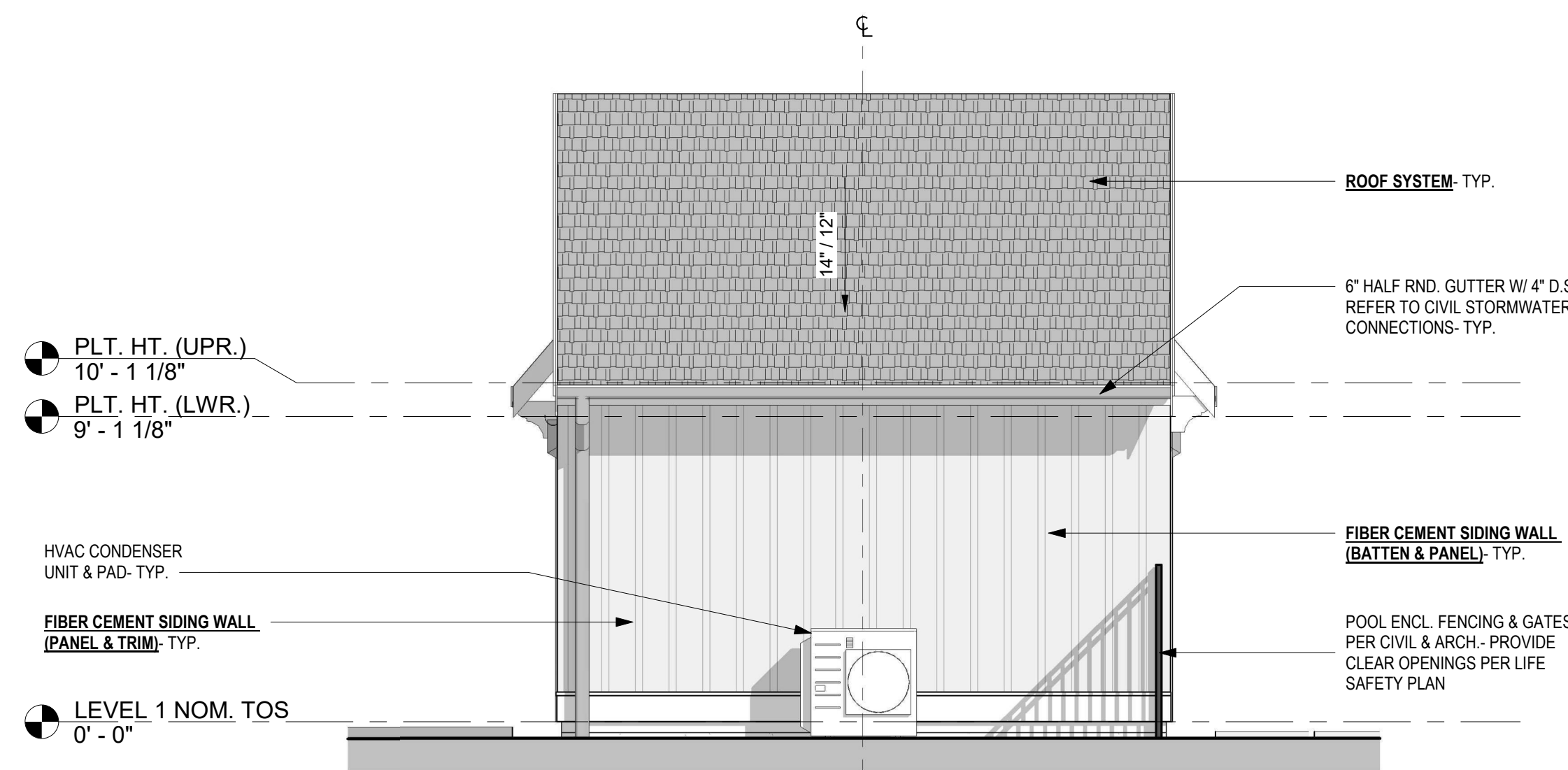
- ARCHITECTURAL SHINGLE ROOFING
- FIBER CEMENT BATTEN ON PANEL (B&B) SIDING & TRIM
- FIBER CEMENT LAP SIDING & TRIM
- FIBER CEMENT TRIM ON PANEL SIDING & TRIM

D

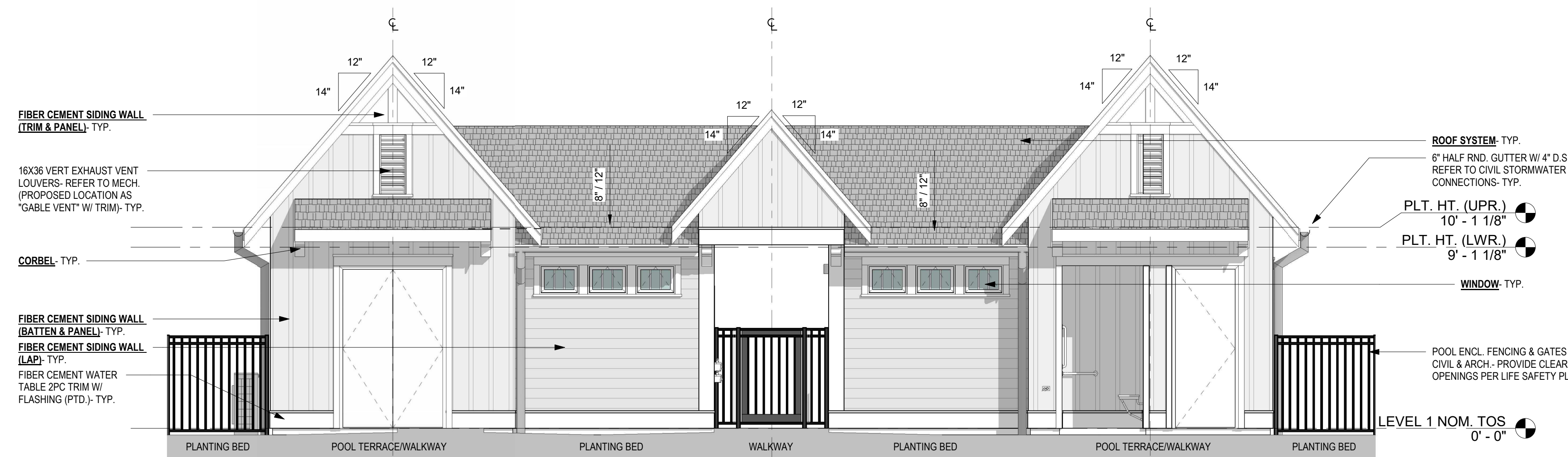
C

B

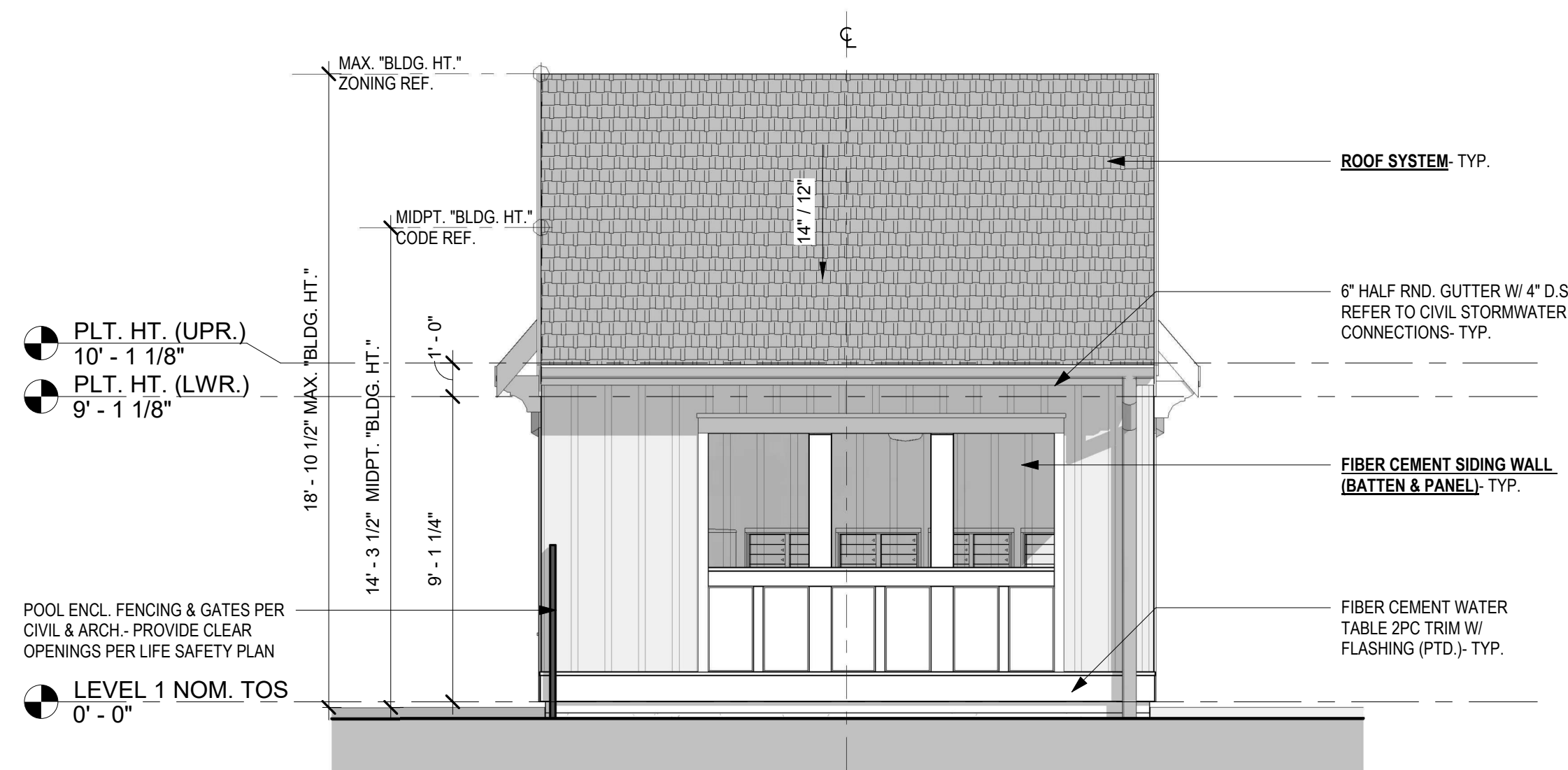
A



4 ELEVATION- POOLHOUSE RIGHT
A201 1/4" = 1'-0"



3 ELEVATION- POOLHOUSE REAR (POOL SIDE)
A201 1/4" = 1'-0"



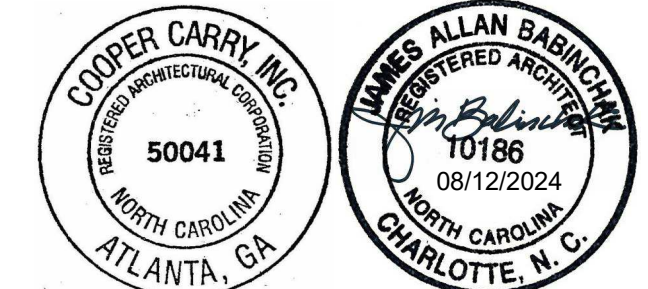
2 ELEVATION- POOLHOUSE LEFT
A201 1/4" = 1'-0"



1 ELEVATION- POOLHOUSE FRONT (PARK SIDE) NEW
A201 1/4" = 1'-0"

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Key Plan

Professional Seals



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No.	Description	Date
1	Arch Elev. Exhibit NFC	08.12.2024

Drawn by: JB Reviewed by: AB
Project No: 1429.106

Issue Date
08.12.2024

Sheet Title
ELEVATIONS

Original drawing is 42 x 30. Do not scale contents of this drawing.
Sheet Number

A201