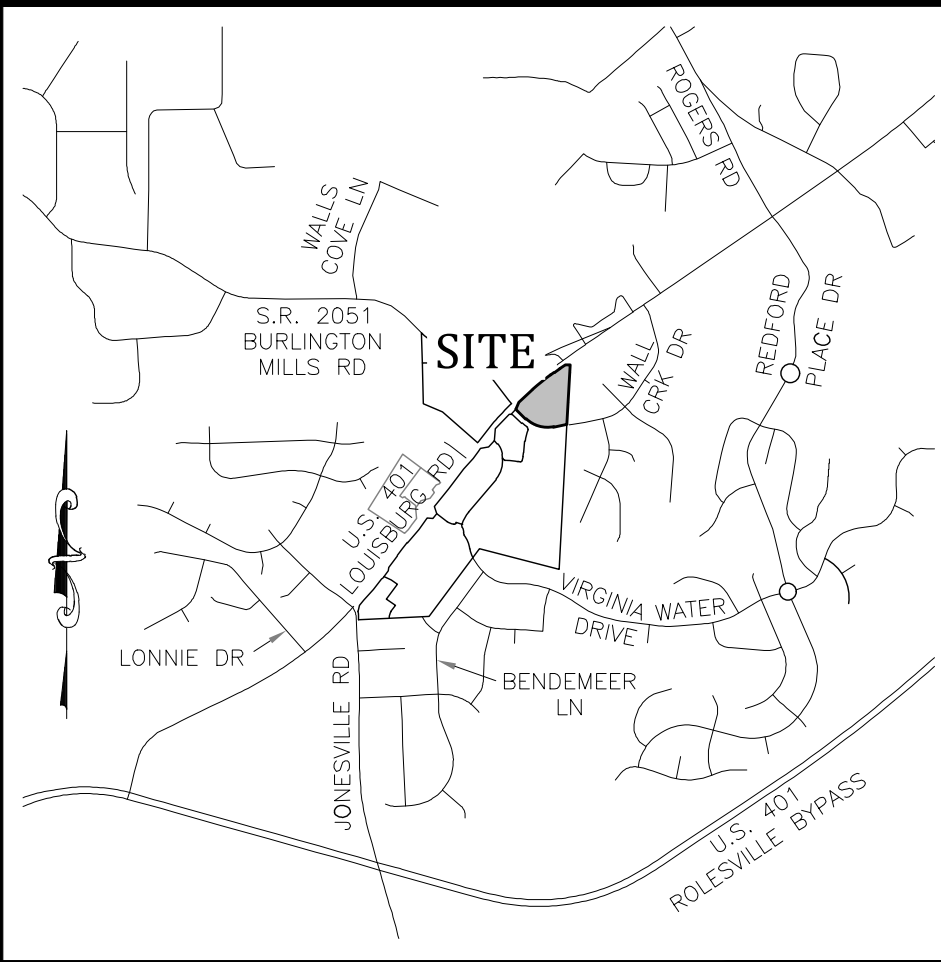


HALL OF FAME CAR WASH AT WALLBROOK (LOT 8)

Town of Rolesville Project Numbers: SDP 25-01 / CID 24-03

US-401 Business / S. Main Street & Wall Creek Drive ~ Town of Rolesville ~ Wake County ~ North Carolina



Vicinity Map
SCALE: 1" = 1000'

General Notes:

- CONTACT NORTH CAROLINA ONE-CALL CENTER, INC. (NC ONE-CALL) AT 811 TO HAVE ALL UNDERGROUND UTILITIES LOCATED PRIOR TO EXCAVATING OR TRENCHING.
- ALL REQUIRED IMPROVEMENTS SHALL CONFORM TO THE TOWN OF ROLESVILLE LAND DEVELOPMENT ORDINANCE AND THE TOWN OF ROLESVILLE DEVELOPMENT STANDARDS.
- CONTRACTOR SHALL NOTIFY NCDOT AND TOWN OF ROLESVILLE PUBLIC WORKS, STREET MAINTENANCE DIVISION 48 HOURS PRIOR TO MAKING CONNECTIONS TO EXISTING STORM DRAINS LOCATED WITHIN PUBLIC STORM DRAINAGE EASEMENTS OR RIGHT-OF-WAY.
- THIS PROPERTY IS LOCATED WITHIN ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM RATE MAP (FIRM) 3720175800, EFFECTIVE DATE JULY 19, 2022.
- EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE AND MAY NOT INCLUDE ALL MECHANICAL, ELECTRICAL AND MISCELLANEOUS STRUCTURES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING ON THE WORK FOR THIS PROJECT. IF CONDITIONS ENCOUNTERED DURING EXAMINATION ARE SIGNIFICANTLY DIFFERENT THAN THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
- ELECTRIC AND TELEPHONE UTILITIES SHALL BE INSTALLED UNDERGROUND.
- REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
- REFER TO M.E.P. PLANS FOR COORDINATION OF BUILDING UTILITY SERVICES.
- THIS PROJECT DISTURBS MORE THAN 1/2 ACRE FOR PURPOSES OF A COMMERCIAL DEVELOPMENT. PROJECT IS SUBJECT TO THE TOWN OF ROLESVILLE STORMWATER MANAGEMENT ORDINANCE. STORMWATER MANAGEMENT PLAN APPROVAL BY THE TOWN OF ROLESVILLE IS REQUIRED.
- THIS PROJECT DISTURBS MORE THAN 1 ACRE. EROSION & SEDIMENTATION CONTROL PLAN APPROVAL IS REQUIRED.
- NCDOT DRIVEWAY PERMIT APPROVAL IS COMPLETED FOR THIS PROJECT. REFERENCE NCDOT PERMIT NUMBER D051-092-22-00049.
- REFUSE COLLECTION SHALL BE PROVIDED BY PRIVATE SERVICE FOR COMMERCIAL DEVELOPMENT.
- ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- SITE SHALL MEET ALL RELATED ACCESSIBILITY CODE REQUIREMENTS.
- BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION SHOWN HEREON WAS PREPARED BY JOHNSON, MIRMIRAN & THOMPSON. REFERENCE IS MADE TO THE SURVEY ENTITLED "ALTA/NSP'S LAND TITLE SURVEY PREPARED FOR WALLBROOK LANDCO, LLC DATED 3/28/2020, AND ATTACHED TO THIS DRAWING SET FOR REFERENCE.
- UNDERGROUND UTILITIES PLOTTED IN PART FROM ACTUAL FIELD LOCATION OF ABOVE GROUND FEATURES AND IN PART FROM MAPS ON RECORD. ACTUAL LOCATIONS MAY VARY. SURVEYOR AND ENGINEER CANNOT PROVIDE ACCURACY OF INFORMATION TAKEN FROM RECORD DATA. OTHER UTILITIES MAY EXIST. CONTRACTOR SHOULD CONTACT NORTH CAROLINA ONE-CALL CENTER (NC ONE-CALL) BY DIALING 811 TO HAVE UNDERGROUND UTILITIES LOCATED PRIOR TO EXCAVATING OR TRENCHING.
- THE ENGINEER MAKES NO GUARANTEE THAT THE UTILITIES SHOWN ARE COMPRISED OF ALL SUCH UTILITIES IN THE AREA OF SURVEY EITHER IN SERVICE OR ABANDONED. THE ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE ENGINEER DOES HEREBY CERTIFY THAT ALL UTILITIES ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE ENGINEER HAS NOT PHYSICALLY UNCOVERED AND LOCATED ANY UNDERGROUND UTILITIES.
- REFER TO WALLBROOK PRELIMINARY PLAT PR 24-06 REV FOR OPEN SPACE CALCULATIONS AND REQUIREMENTS FOR THE WALLBROOK DEVELOPMENT

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Utilities Department at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

SITE PERMITTING APPROVAL

Water and Sewer Permits (if applicable)
The City of Raleigh consents to the connection and extension of the City's Public Sewer System as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # S-_____.

The City of Raleigh consents to the connection and extension of the City's Public Water System as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # W-_____.

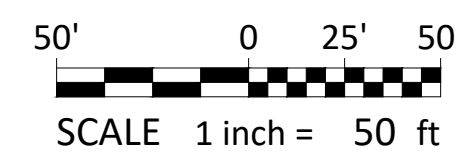
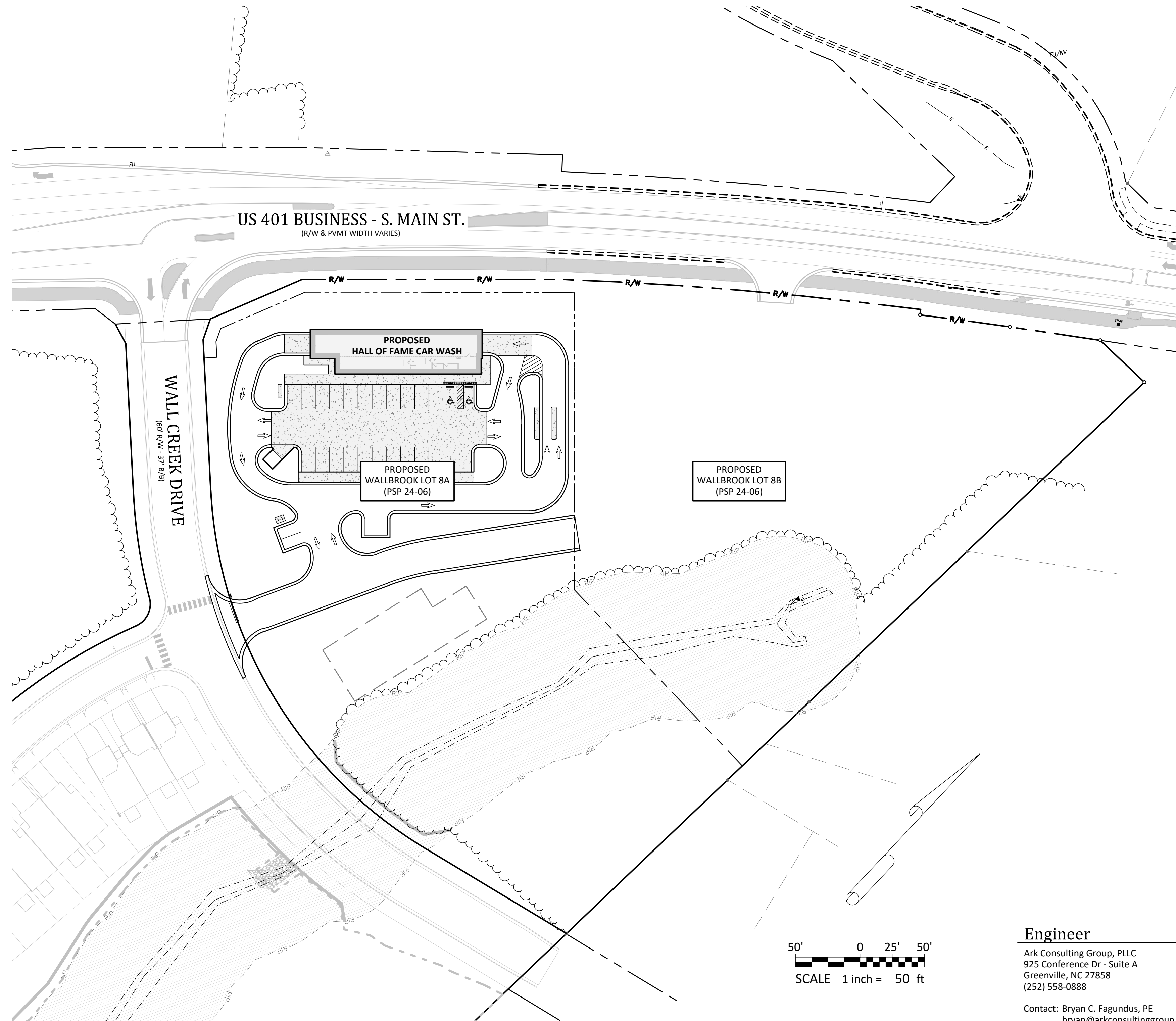
The City of Raleigh consents to the connection to its public sewer system and extensions of the private sewer collection system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # S-_____.

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction, is not to be construed to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State or Federal Law. All Construction must be in accordance with all Local, State, and Federal Rules and Regulations.

Electronic Approval: This approval is being issued electronically. This approval is valid only upon the signature of a City of Raleigh Review Officer below. The City will retain a copy of the approved plans. Any work authorized by this approval must proceed in accordance with the plans kept on file with the City. This electronic approval may not be edited once issued. Any modification to this approval once issued will invalidate this approval.

City of Raleigh Development Approval
City of Raleigh Review Officer



Engineer

Ark Consulting Group, PLLC
925 Conference Dr - Suite A
Greenville, NC 27858
(252) 558-0888

Contact: Bryan C. Fagundus, PE
bryan@arkconsultinggroup.com

Owner

Wallbrook Landco, LLC
3 Keel St, Ste 2
Wrightsville Beach, NC 28480
(704) 621-6430

Contact: Austin Williams
awilliams@csere.com

Developer

Hall of Fame Car Wash
19000 Davidson Concord Road
Davidson, NC 28036
(540) 257-0022

Contact: Jimmy Politis
jimmy@hofcarwash.com

Site Data

| | |
|-------------------------------------------|-----------------------------------------------------------------------------|
| WAKE COUNTY PIN: | 1758-67-1871 |
| REAL ESTATE ID: | 509438 |
| CURRENT ZONING: | GC-CZ |
| TOTAL ACREAGE IN SITE: | 2.93 AC (PROPOSED LOT 8A) (LOT 8 = 5.35 AC) |
| TOTAL ACREAGE IN PROJECT LIMITS: | 1.81 AC (8A) / 3.64 AC (TOTAL) |
| DISTURBED ACREAGE: | 1.81 AC (8A) / 3.1 AC (TOTAL) |
| WATERSHED: | Lower Neuse |
| RIVER BASIN: | Neuse |
| CURRENT USE: | VACANT / WOODED |
| PROPOSED USE: | NON-RESIDENTIAL / CAR WASH / RETAIL |
| REQUIRED BUILDING SETBACKS: | 35' (REAR), 25' (CORNER), 20' (FRONT), 15' (SIDE) |
| BUILDING FLOOR AREA: | 4,383 SF |
| BUILDING LOT COVERAGE: | 0% EXIST., 3.4% PROPOSED |
| BUILDING HEIGHT: | 28'-8" (1 STORY) |
| TOTAL NUMBER OF PARKING SPACES REQUIRED: | 10 SPACES (INCL. 1 H/C) + 1 BICYCLE SPACE |
| TOTAL NUMBER OF PROPOSED PARKING SPACES: | 29 SPACES (INCL. 2 H/C) + 4 BICYCLE SPACES |
| TOTAL SQ. FEET OF EXIST. IMPERVIOUS AREA: | 0 SF |
| TOTAL SQ. FEET OF PROP. IMPERVIOUS AREA: | 41,161 SF (32% - LOT 8A) |
| DEVELOPMENT STANDARDS: | LDO |
| REFERENCES: | DB 18103, PG 1563 BM 2023, PG 1602 BM 1995, PG 2034 S. MAIN STREET |

Parking Requirements:

| | | |
|-------------------|--------------------------------------------|-------------------------|
| PARKING REQUIRED: | RETAIL SALES AND SERVICES | |
| | BICYCLE PARKING: 1 / 5000 SF = 3746 / 5000 | 1 SPACE |
| | MINIMUM: 2.5 / 1000 SF = 3960 / 1000 * 2.5 | 10 SPACES |
| | MAXIMUM: 7.5 / 1000 SF = 3960 / 1000 * 7.5 | 30 SPACES |
| | TOTAL REQUIRED PARKING: | 10 SPACES |
| | | + 1 BICYCLE PARKING |
| | REQUIRED HANDICAP PARKING: | 1 SPACES |
| | PARKING PROVIDED: | 27 SPACES (INCL. 2 H/C) |
| | | 4 BICYCLE PARKS |

Sheet Index

| # | Title |
|------|--------------------------------|
| C0.1 | COVER |
| C0.2 | EXISTING CONDITIONS |
| C1.0 | EROSION CONTROL NOTES |
| C1.1 | EROSION CONTROL PLAN - PHASE 1 |
| C1.2 | EROSION CONTROL PLAN - PHASE 2 |
| C2.0 | SITE PLAN |
| C3.0 | UTILITY PLAN |
| C4.0 | GRADING & DRAINAGE PLAN |
| C5.0 | REQUIRED VEGETATION PLAN |
| C6.1 | MISC. DETAILS |
| C6.2 | MISC. DETAILS |
| C6.3 | MISC. DETAILS |
| C6.4 | MISC. DETAILS |

EROSION CONTROL, STORMWATER AND FLOODPLAIN MANAGEMENT

APPROVED

EROSION CONTROL S-EC. -2024

STORMWATER MGMT. S-WF. -2024

FLOOD STUDY S-

DATE _____

ENVIRONMENTAL CONSULTANT SIGNATURE _____

Town of Rolesville Development Applications

| | |
|--------------|--------------------------------------------------|
| ANX 23-03 | ANNEXATION |
| MA 21-09 | REZONING |
| PR 21-04 REV | PRELIMINARY SUBDIVISION PLAT (REVISED) |
| FSP 23-09 | INTERMEDIATE SUBDIVISION PLAT |
| PSP 24-06 | PRELIMINARY SUBDIVISION PLAT (LOT 8) |
| CID 24-03 | WALLBROOK LOT 8 - MASS GRADING / EROSION CONTROL |
| SDP 25-01 | SITE DEVELOPMENT PLAN (CURRENT APPLICATION) |



| | |
|------------------|--------|
| Project Manager: | BCF |
| Drawn By: | DLC |
| Checked By: | TGN |
| Project Number: | 24137 |
| Drawing Number: | D-1525 |

C0.1

Date: January 2, 2025

COVER
HALL OF FAME CAR WASH
WALLBROOK - LOT 8
 Town of Rolesville Project No. SDP 25-01
 US 401 Business / S. Main Street & Wall Creek Drive
 Wake Forest Township, Town of Rolesville, Wake County, North Carolina

NC License: PA 1298

ARK CONSULTING GROUP PLLC
ENGINEERS & SURVEYORS

925-A Conference Drive
Greenville, NC 27858
(252) 558-0888
www.arkconsultinggroup.com

Professional Engineer Seal
Bryan C. Fagundus, PE
1/2/2025

1. 2/24/25 INITIAL SUBMITTAL FOR REVIEW
 # DATE DESCRIPTION

GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT
Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

SECTION E: GROUND STABILIZATION

| Required Ground Stabilization Timeframes | | |
|------------------------------------------------------------|-------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Site Area Description | Stabilize within this many calendar days after ceasing land disturbance | Timeframe variations |
| (a) Perimeter dikes, swales, ditches, and perimeter slopes | 7 | None |
| (b) High Quality Water (HQW) Zones | 7 | None |
| (c) Slopes steeper than 3:1 | 7 | If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed |
| (d) Slopes 3:1 to 4:1 | 14 | -7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed |
| (e) Areas with slopes flatter than 4:1 | 14 | -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope |

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

GROUND STABILIZATION SPECIFICATION
Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

| Temporary Stabilization | Permanent Stabilization |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <ul style="list-style-type: none">Temporary grass seed covered with straw or other mulches and tackifiersHydroseedingRollered erosion control products with or without temporary grass seedAppropriately applied straw or other mulchplastic sheeting | <ul style="list-style-type: none">Permanent grass seed covered with straw or other mulches and tackifiersGeotextile fabrics such as permanent soil reinforcement mattingHydroseedingShrubs or other permanent plantings covered with mulchUniform and evenly distributed ground cover sufficient to restrain erosionStructural methods such as concrete, asphalt, or retaining wallsRollered erosion control products with grass seed |

POLYACRYLAMIDES (PAMS) AND FLOCCULANTS

- Select flocculants that are appropriate for the soils being exposed during construction, selecting from the *NC DWR List of Approved PAMS/Flocculants*.
- Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
- Apply flocculants at the concentrations specified in the *NC DWR List of Approved PAMS/Flocculants* and in accordance with the manufacturer's instructions.
- Provide ponding area for containment of treated Stormwater before discharging offsite.
- Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

EQUIPMENT AND VEHICLE MAINTENANCE

- Maintain vehicles and equipment to prevent discharge of fluids.
- Provide drip pans under any stored equipment.
- Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
- Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
- Remove leaking vehicles and construction equipment from service until the problem has been corrected.
- Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE

- Never bury or burn waste. Place litter and debris in approved waste containers.
- Provide a sufficient number and size of waste containers (e.g dumpster, trash receptacle) on site to contain construction and domestic wastes.
- Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
- Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
- Anchor all lightweight items in waste containers during times of high winds.
- Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
- Dispose waste off-site at an approved disposal facility.
- On business days, clean up and dispose of waste in designated waste containers.

PAINT AND OTHER LIQUID WASTE

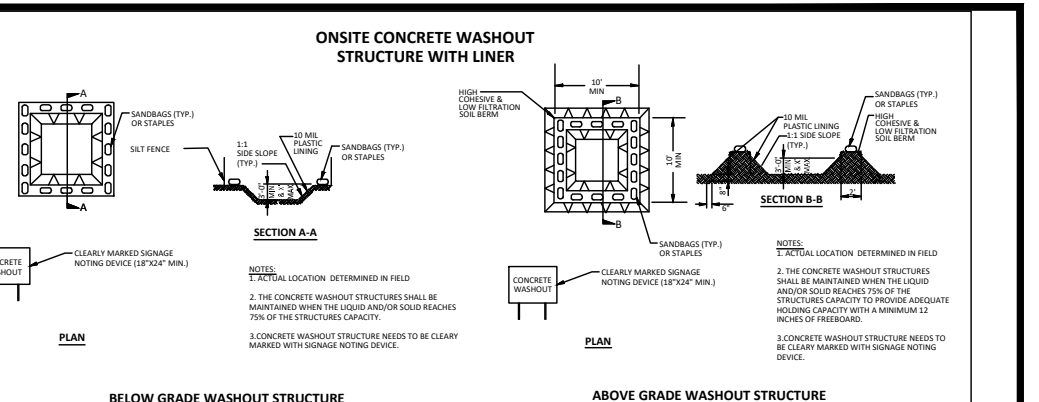
- Do not dump paint and other liquid waste into storm drains, streams or wetlands.
- Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Contain liquid wastes in a controlled area.
- Containment must be labeled, sized and placed appropriately for the needs of site.
- Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

PORTABLE TOILETS

- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
- Provide stacking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
- Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

EARTHEN STOCKPILE MANAGEMENT

- Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
- Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
- Provide stable stone access point when feasible.
- Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.



CONCRETE WASHOUTS

- Do not discharge concrete or cement slurry from the site.
- Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
- Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
- Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two examples shown.
- Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
- Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
- Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
- Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
- Remove loadings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
- At the completion of the concrete work, remove remaining loadings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

HERBICIDES, PESTICIDES AND RODENTICIDES

- Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
- Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
- Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
- Do not stockpile these materials onsite.

HAZARDOUS AND TOXIC WASTE

- Create designated hazardous waste collection areas on-site.
- Place hazardous waste containers under cover or in secondary containment.
- Do not store hazardous chemicals, drums or bagged materials directly on the ground.

NCG01 GROUND STABILIZATION AND MATERIALS HANDLING

EFFECTIVE: 04/01/19

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION A: SELF-INSPECTION
Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record.

| Inspect | Frequency (during normal business hours) | Inspection records must include: |
|--------------------------------------------------------------|---------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| (1) Rain gauge maintained in good working order | Daily | Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no individual-day rainfall information is available, record the cumulative rain measurement for those unattended days (and this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "zero." The permittee may use another rain-measuring device approved by the Division. |
| (2) E&S Measures | At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours | 1. Identification of the measures inspected. 2. Date and time of the inspection. 3. Name of the person performing the inspection. 4. Indication of whether the measures were operating properly. 5. Description of maintenance needs for the measure. 6. Description, evidence, and date of corrective actions taken. |
| (3) Stormwater discharge outfalls (SDOs) | At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours | 1. Identification of the discharge outfall inspected. 2. Date and time of the inspection. 3. Name of the person performing the inspection. 4. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration. 5. Indication of visible sediment leaving the site. 6. Description, evidence, and date of corrective actions taken. |
| (4) Perimeter of site | At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours | If visible sedimentation is found outside site limits, then a record of the following shall be made: 1. Actions taken to clean up or stabilize the sediment that has left the site limits. 2. Description, evidence, and date of corrective actions taken, and 3. An explanation as to the actions taken to control future releases. |
| (5) Streams or wetlands inside or outside (where accessible) | At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours | If the stream or wetland has increased visible sedimentation or a stream has visible turbidity from the construction activity, then a record of the following shall be made: 1. Description of the corrective actions taken, and 2. Records of the required reports to the appropriate Division Regional Office per Part III, Section C, Item (2)(a) of this permit. |
| (6) Ground stabilization measures | After each phase of grading | 1. The phase of grading, installation of perimeter E&S measures, clearing and grubbing, installation of storm drainage facilities, completion of all land disturbing activity, construction or redevelopment, permanent ground cover. 2. Documentation that the required ground stabilization measures have been provided within the required timeframe or assurance that they will be provided as soon as possible. |

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION B: RECORDKEEPING

1. E&S Plan Documentation
The approved E&S plan as well as any approved deviation shall be kept on the site. The approved E&S plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&S plan shall be kept on site and available for inspection at all times during normal business hours.

| Item to Document | Documentation Requirements |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| (a) Each E&S Measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&S Plan. | Initial and date each E&S Measure on a copy of the approved E&S Plan or complete, date and sign an inspection report to indicate completion of the construction phase. |
| (b) A phase of grading has been completed. | Initial and date a copy of the approved E&S plan or complete, date and sign an inspection report to indicate completion of the construction phase. |
| (c) Ground cover is located and installed in accordance with the approved E&S Plan. | Initial and date a copy of the approved E&S plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications. |
| (d) The maintenance and repair requirements for all E&S Measures have been performed. | Complete, date and sign an inspection report. |
| (e) Corrective actions have been taken to E&S measures. | Initial and date a copy of the approved E&S Plan or complete, date and sign an inspection report to indicate the completion of the corrective action. |

2. Additional Documentation
In addition to the E&S plan documents above, the following items shall be kept on the site and available for inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not-practical:

- This General Permit as well as the Certificate of Coverage, after it is received.
- Records of inspections made during the previous twelve months. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.
- Documentation to be Retained for Three Years
All data used to complete the e-NIO and all inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION C: REPORTING

1. Occurrences that Must be Reported
Permittees shall report the following occurrences:

- Visible sediment deposition in a stream or wetland.
 - They are 25 gallons or more,
 - They are less than 25 gallons but cannot be cleaned up within 24 hours,
 - They cause sheen on surface waters (regardless of volume), or
 - They are within 100 feet of surface waters (regardless of volume).
- Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.
- Anticipated bypasses and unanticipated bypasses.
- Noncompliance with the conditions of this permit that may endanger health or the environment.

2. Reporting Timeframes and Other Requirements
After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Department's Environmental Emergency Center personnel at (800) 858-0368.

| Occurrence | Reporting Timeframes (After Discovery) and Other Requirements |
|------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| (a) Visible sediment deposition in a stream or wetland | <ul style="list-style-type: none">Within 24 hours, an oral or electronic notification.Within 7 calendar days, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis.If the stream is named on the NC 303(d) list as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired-waters conditions. |
| (b) Oil spills and releases of hazardous substances per item 1(b) above | <ul style="list-style-type: none">Within 24 hours, an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release. |
| (c) Anticipated bypasses [40 CFR 122.41(m)(3)] | <ul style="list-style-type: none">A report at least ten days before the date of the bypass, if possible. The report shall include an evaluation of the anticipated quality and effect of the bypass. |
| (d) Unanticipated bypasses [40 CFR 122.41(m)(3)] | <ul style="list-style-type: none">Within 24 hours, an oral or electronic notification.Within 7 calendar days, a report that includes an evaluation of the quality and effect of the bypass. |
| (e) Noncompliance with the conditions of this permit that may endanger health or the environment [40 CFR 122.41(l)(7)] | <ul style="list-style-type: none">Within 24 hours, an oral or electronic notification.Within 7 calendar days, a report that contains a description of the noncompliance, and its causes, the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue, and steps taken or planned to reduce, eliminate, and prevent recurrence of the noncompliance. [40 CFR 122.41(l)(6)].Division staff may waive the requirement for a written report on a case-by-case basis. |

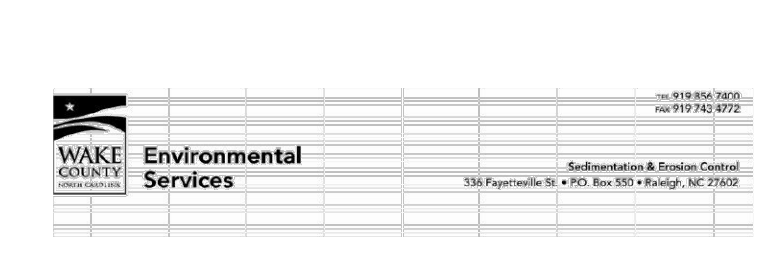
PART II, SECTION G, ITEM (4) DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT

Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structure that withdraw water from the surface when these devices need to be drawn down for maintenance or close out unless this is infeasible. The circumstances in which it is not feasible to withdraw water from the surface shall be rare (for example, times with extended cold weather). Non-surface withdrawals from sediment basins shall be allowed only when all of the following criteria have been met:

- The E&S plan authority has been provided with documentation of the non-surface withdrawal and the specific time periods or conditions in which it will occur. The non-surface withdrawal shall not commence until the E&S plan authority has approved these items.
- The non-surface withdrawal is approved as an anticipated bypass in accordance with Part III, Section C, Item (2)(a) and (d) of this permit.
- Dewatering discharges are treated with controls to minimize discharges of pollutants from stormwater that is removed from the sediment basin. Examples of appropriate controls include properly sited, designed and maintained dewatering tanks, weir tanks, and filtration systems.
- Vegetated, upland areas of the sites are a properly designed stone pad is used to the extent feasible at the outlet of the dewatering treatment devices described in item (c) above.
- Velocity dissipation devices such as check dams, sediment traps, and riprap are provided at the discharge points of all dewatering devices, and
- Sediment removed from the dewatering treatment devices described in item (c) above is disposed of in a manner that does not cause deposition of sediment into water of the United States.

NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING

EFFECTIVE: 04/01/19



Effective September 1, 2008
Soil stockpiles shall be located on the approved plan and shall adhere to the following requirements:

Design Criteria

- A 25-foot temporary maintenance and access easement shall be shown around all proposed stockpiles (concrete control measures surrounding the stockpile shall be shown at the outer limit of this easement).
- Stockpile footprints shall be setback a minimum of 25' from adjacent property lines.
- A note shall be provided on the approved plan that stockpile height shall not exceed 15 feet.
- Stockpile slopes shall be 2:1 or flatter.
- Approved BMPs shall be shown on a plan to control any potential sediment loss from a stockpile.
- Stockpiling materials adjacent to a ditch, drainageway, watercourse, wetland, stream buffer, or other body of water shall be avoided unless an alternative location is demonstrated to be unavailable.
- Any concentrated flow likely to affect the stockpile shall be diverted to an approved BMP.
- Offsite spoil or borrow areas must be in compliance with Wake CountyUDO and State Regulations. All spoil areas over an acre are required to have an approved sediment control plan. Developer/Contractor shall notify Wake County of any off-site disposal of soil, prior to disposal. Fill of FEMA Floodways and Non-encroachment Areas are prohibited except as otherwise provided by subsection 14-19-2 of the Wake County Unified Development Ordinance (certifications and permits required).

Maintenance Requirements to be Noted on the Plan

- Seeding or covering stockpiles with turfs or mulch is required and will reduce erosion problems. Turfs should be keyed in at the top of the slope to keep water from running underneath the plastic.
- If a stockpile is to remain for future use after the project is complete (builders, etc.), the financial responsible party must notify Wake County of a new responsible party for that stockpile.
- The approved plan shall provide for the use of staged seeding and mulching on a continual basis while the stockpile is in use.
- Establish and maintain a vegetative buffer at the toe of the slope (where practical).

Seeding Specifications
NPDES Stormwater Discharge Permit for Construction Activities (NCG01 - 4/1/19)
NCEQ/Division of Energy, Mineral and Land Resources

| Site Area Description | Seeding Rate | Seeding Material |
|----------------------------|--------------|--------------------------|
| Area A (Perimeter) | 2 tons/acre | 50% Fescue, 50% Ryegrass |
| Area B (HQW) | 2 tons/acre | 50% Fescue, 50% Ryegrass |
| Area C (Slopes > 3:1) | 2 tons/acre | 50% Fescue, 50% Ryegrass |
| Area D (Slopes 3:1 to 4:1) | 2 tons/acre | 50% Fescue, 50% Ryegrass |
| Area E (Slopes < 3:1) | 2 tons/acre | 50% Fescue, 50% Ryegrass |

Seedbed Preparation:

- Chisel compacted areas and spread topsoil three inches deep over adverse soil conditions, if available.
- Rip the entire area to six inches deep.
- Remove all loose rock, roots and other obstructions, leaving surface reasonably smooth and uniform.
- Apply agricultural lime, fertilizer and superphosphate uniformly and mix with soil (see mixture below).
- Continue tillage until a well-pulverized, firm, reasonably uniform seedbed is prepared four to six inches deep.
- Seed on a freshly prepared seedbed and cover seed lightly with seeding equipment or cultipack after seeding.
- Mulch immediately after seeding and anchor mulch.

Mixture
Agricultural Limestone 2 tons/acre (3 tons/acre in clay soils)
Fertilizer 1,000 lbs/acre - 10-10-10
Superphosphate 500 lbs/acre - 20% analysis
Mulch 2 tons/acre - small grain straw
Anchor Asphalt emulsion at 400 gals/acre

Seeding Schedule For Shoulders, Side Ditches, Slopes (Max 3:1):

| Date | Type | Planting Rate |
|----------------|-------------------------------------------------------------|------------------------------------------------------------------------------------------------|
| Aug 15- Nov 1 | Tall Fescue | 300 lbs/acre |
| Nov 1- Mar 1 | Tall Fescue & Abruzzi Ryegrass | 300 lbs/acre |
| Mar 1- Apr 15 | Tall Fescue | 300 lbs/acre |
| Apr 15- Jun 30 | Hulled Common Bermudagrass | 25 lbs/acre |
| Jul 1- Aug 15 | Tall Fescue AND Browntop Millet or Sorghum-Sudan Hybrids*** | 125 lbs/acre (Tall Fescue); 35 lbs/acre (Browntop Millet); 30 lbs/acre (Sorghum-Sudan Hybrids) |

For Shoulders, Side Ditches, Slopes (3:1 to 2:1):

| Date | Type | Planting Rate |
|---------------|-------------------------------------------------------------------|------------------------------------------------------------------------------------------------|
| Mar 1- Jun 1 | Sericea Lespedeza (scarified) and use the following combinations: | 50 lbs/acre (Sericea Lespedeza); |
| Mar 1- Apr 15 | Add Tall Fescue | 120 lbs/acre |
| Mar 1- Jun 30 | Or add Weeping Love grass | 10 lbs/acre |
| Mar 1- Jun 30 | Or add Hulled Common Bermudagrass | 25 lbs/acre |
| Jun 1- Sept 1 | Tall Fescue AND Browntop Millet or Sorghum-Sudan Hybrids*** | 120 lbs/acre (Tall Fescue); 35 lbs/acre (Browntop Millet); 30 lbs/acre (Sorghum-Sudan Hybrids) |
| Sept 1- Mar 1 | Sericea Lespedeza (unhulled -uncarified) AND Tall Fescue | 70 lbs/acre (Sericea Lespedeza); 120 lbs/acre (Tall Fescue) |
| Nov 1- Mar 1 | AND Abruzzi Ryegrass | 25 lbs/acre |

Construction Sequence:

- EROSION AND SEDIMENT CONTROL (E&S) PERMIT AND A CERTIFICATE OF COVERAGE (COC) MUST BE OBTAINED BEFORE ANY LAND DISTURBING ACTIVITIES OCCUR.
- CALL WAKE COUNTY WATERSHED MANAGER JEEVAN NEUPANE AT (919) 819-8907 A MINIMUM OF 48 HOURS IN ADVANCE TO SCHEDULE A PRE-CONSTRUCTION MEETING AND FOR NOTIFICATION OF PROJECT START UP.
- ANY DEWATERING ON THE SITE SHALL BE DONE THROUGH A SILT BAG THAT IS CONSTANTLY MONITORED.
- INSTALL GRAVEL CONSTRUCTION PAD, SILT FENCE, SEDIMENT BASINS OR OTHER MEASURES AS SHOWN ON THE APPROVED PLAN. CLEAR ONLY AS NECESSARY TO INSTALL THESE DEVICES. SEED TEMPORARY DIVERSIONS, BERMS AND BASINS IMMEDIATELY AFTER CONSTRUCTION.
- CALL WATERSHED MANAGER, JEEVAN NEUPANE FOR AN ONSITE INSPECTION TO OBTAIN A CERTIFICATE OF COMPLIANCE.
- CLEAR AND GRUB EXISTING VEGETATION AS SHOWN ON THE DEMOLITION PLAN. REMOVE EXISTING STRUCTURES AND UTILITIES AS SHOWN ON THE DEMOLITION PLAN. BEGIN GRADING. MAINTAIN DEVICES AS NEEDED. ROUGH GRADE SITE. INSTALL TEMPORARY SKIMMER SEDIMENT BASINS, ALONG WITH TEMPORARY DIVERSION DITCHES THAT SHALL BE INSTALLED TO ENSURE AS MUCH FLOW AS POSSIBLE IS DIRECTED TO THE BASINS.
- SEDIMENT BASIN FOR PERMANENT USE AS WET POND SHALL BE REMOVED AS FOLLOWS: DEWATER (THROUGH SILT BAG), CLEAN SEDIMENT, AND REMOVE Baffles. RE-SHAPE THE BASIN AS REQUIRED BY THE DESIGN DRAWINGS, INCLUDING EXCAVATION/SHAPING OF THE FOREBAY. SEED AND STABILIZE BASIN SLOPES. DEWATERING OPERATIONS THROUGH SILT BAGS SHALL BE MONITORED CONTINUOUSLY.
- STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISH GRADE WITH VEGETATION, DITCH LININGS, ETC. SEED AND MULCH DENUDED AREAS PER GROUND STABILIZATION TIME FRAME.
- INSTALLATION OF UNDERGROUND UTILITIES AND STONE BASE FOR ROADWAYS.
- INSTALLATION OF CONCRETE CURB & GUTTER, CONCRETE SIDEWALK & ASPHALT PAVEMENT.
- WHEN GRADING IS COMPLETE AND ALL AREAS ARE STABILIZED COMPLETELY, CALL WATERSHED MANAGER JEEVAN NEUPANE FOR INSPECTION.
- IF SITE IS APPROVED, MAINTAIN TEMPORARY DIVERSIONS, SILT FENCE, SEDIMENT BASINS, ETC., AND SEED OR STABILIZE ANY RESULTING BARE AREAS. ALL REMAINING PERMANENT EROSION CONTROL DEVICES, SUCH AS VELOCITY DISSIPATORS, SHOULD NOW BE INSTALLED.
- WHEN VEGETATION HAS BECOME ESTABLISHED, CALL FOR FINAL SITE INSPECTION BY THE WATERSHED MANAGER, JEEVAN NEUPANE. OBTAIN CERTIFICATE OF COMPLETION.

EROSION CONTROL NOTES

HALL OF FAME CAR WASH
WALLBROOK - LOT 8
Town of Rolesville Project No. SDP 25-01
US 401 Business / S. Main Street & Wall Creek Drive
Wake Forest Township, Town of Rolesville, Wake County, North Carolina

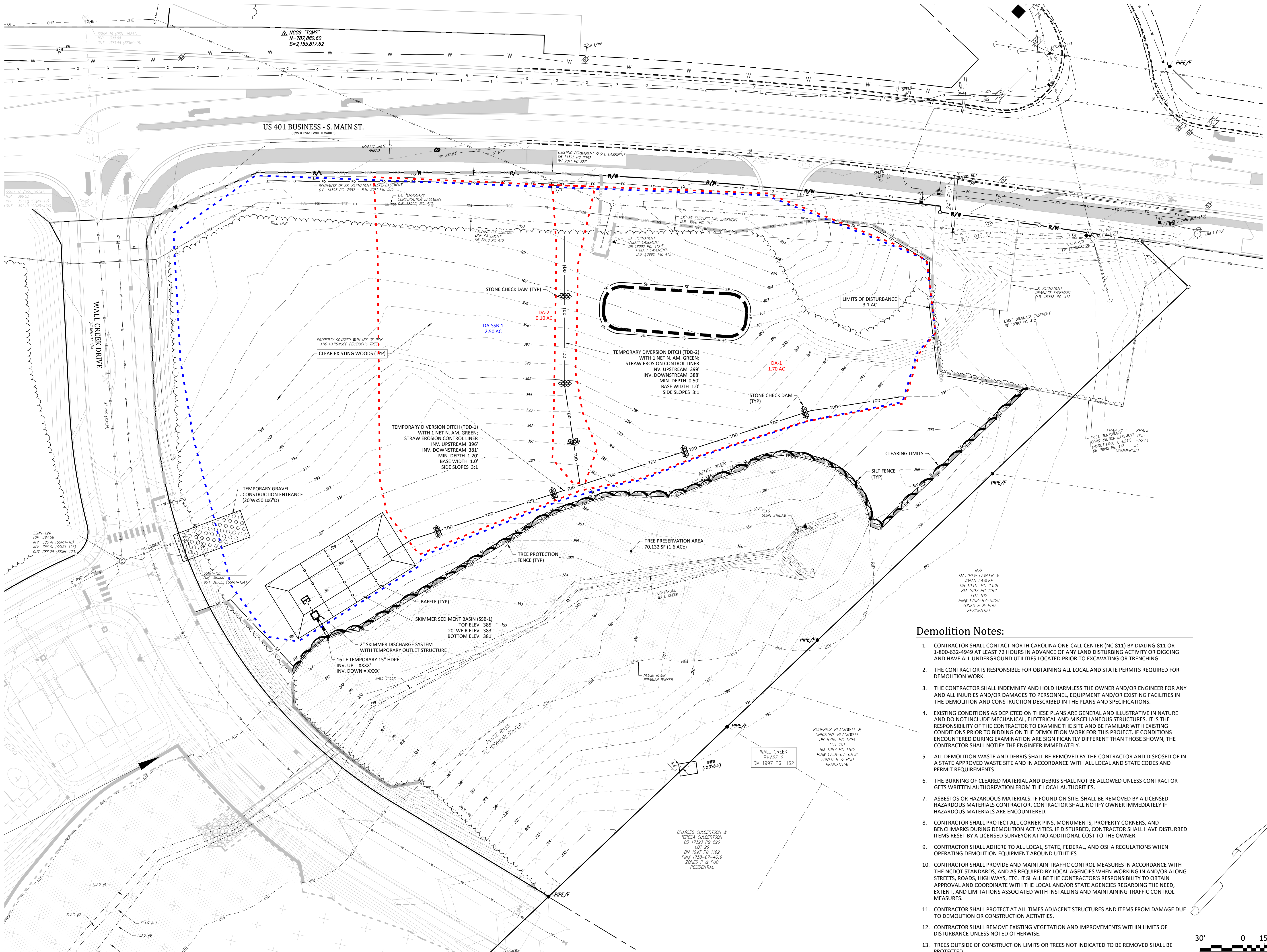
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Wake Forest, NC 27886
(757) 558-0888
www.arkconsultinggroup.com

11/2/2025

Project Manager: BCF
Drawn By: DCL
Checked By: TGN
Project Number: 24137
Drawing Number: D-1525

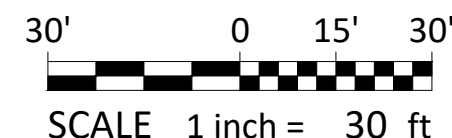
Date: January 2, 2025

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Demolition Notes:

1. CONTRACTOR SHALL CONTACT NORTH CAROLINA ONE-CALL CENTER (NC 811) BY DIALING 811 OR 1-800-632-4949 AT LEAST 72 HOURS IN ADVANCE OF ANY LAND DISTURBING ACTIVITY OR DIGGING AND HAVE ALL UNDERGROUND UTILITIES LOCATED PRIOR TO EXCAVATING OR TRENCHING.
2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL AND STATE PERMITS REQUIRED FOR DEMOLITION WORK.
3. THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND/OR ENGINEER FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT AND/OR EXISTING FACILITIES IN THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.
4. EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE AND DO NOT INCLUDE MECHANICAL, ELECTRICAL AND MISCELLANEOUS STRUCTURES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING ON THE DEMOLITION WORK FOR THIS PROJECT. IF CONDITIONS ENCOUNTERED DURING EXAMINATION ARE SIGNIFICANTLY DIFFERENT THAN THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
5. ALL DEMOLITION WASTE AND DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF IN A STATE APPROVED WASTE SITE AND IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS.
6. THE BURNING OF CLEARED MATERIAL AND DEBRIS SHALL NOT BE ALLOWED UNLESS CONTRACTOR GETS WRITTEN AUTHORIZATION FROM THE LOCAL AUTHORITIES.
7. ASBESTOS OR HAZARDOUS MATERIALS, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIALS CONTRACTOR. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY IF HAZARDOUS MATERIALS ARE ENCOUNTERED.
8. CONTRACTOR SHALL PROTECT ALL CORNER PINS, MONUMENTS, PROPERTY CORNERS, AND BENCHMARKS DURING DEMOLITION ACTIVITIES. IF DISTURBED, CONTRACTOR SHALL HAVE DISTURBED ITEMS RESET BY A LICENSED SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.
9. CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE, FEDERAL, AND OSHA REGULATIONS WHEN OPERATING DEMOLITION EQUIPMENT AROUND UTILITIES.
10. CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL MEASURES IN ACCORDANCE WITH THE NCDOT STANDARDS, AND AS REQUIRED BY LOCAL AGENCIES WHEN WORKING IN AND/OR ALONG STREETS, ROADS, HIGHWAYS, ETC. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN APPROVAL AND COORDINATE WITH THE LOCAL AND/OR STATE AGENCIES REGARDING THE NEED, EXTENT, AND LIMITATIONS ASSOCIATED WITH INSTALLING AND MAINTAINING TRAFFIC CONTROL MEASURES.
11. CONTRACTOR SHALL PROTECT AT ALL TIMES ADJACENT STRUCTURES AND ITEMS FROM DAMAGE DUE TO DEMOLITION OR CONSTRUCTION ACTIVITIES.
12. CONTRACTOR SHALL REMOVE EXISTING VEGETATION AND IMPROVEMENTS WITHIN LIMITS OF DISTURBANCE UNLESS NOTED OTHERWISE.
13. TREES OUTSIDE OF CONSTRUCTION LIMITS OR TREES NOT INDICATED TO BE REMOVED SHALL BE PROTECTED.



EROSION CONTROL PLAN - PHASE 1
HALL OF FAME CAR WASH
 WALLBROOK - LOT 8

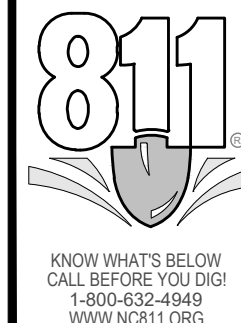
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Project Manager: BCF
 Drawn By: DLC
 Checked By: TGN
 Project Number: 24137
 Drawing Number: D-1525

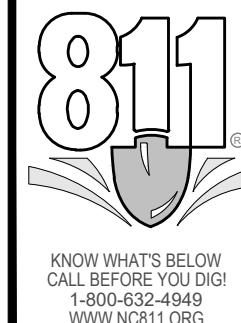
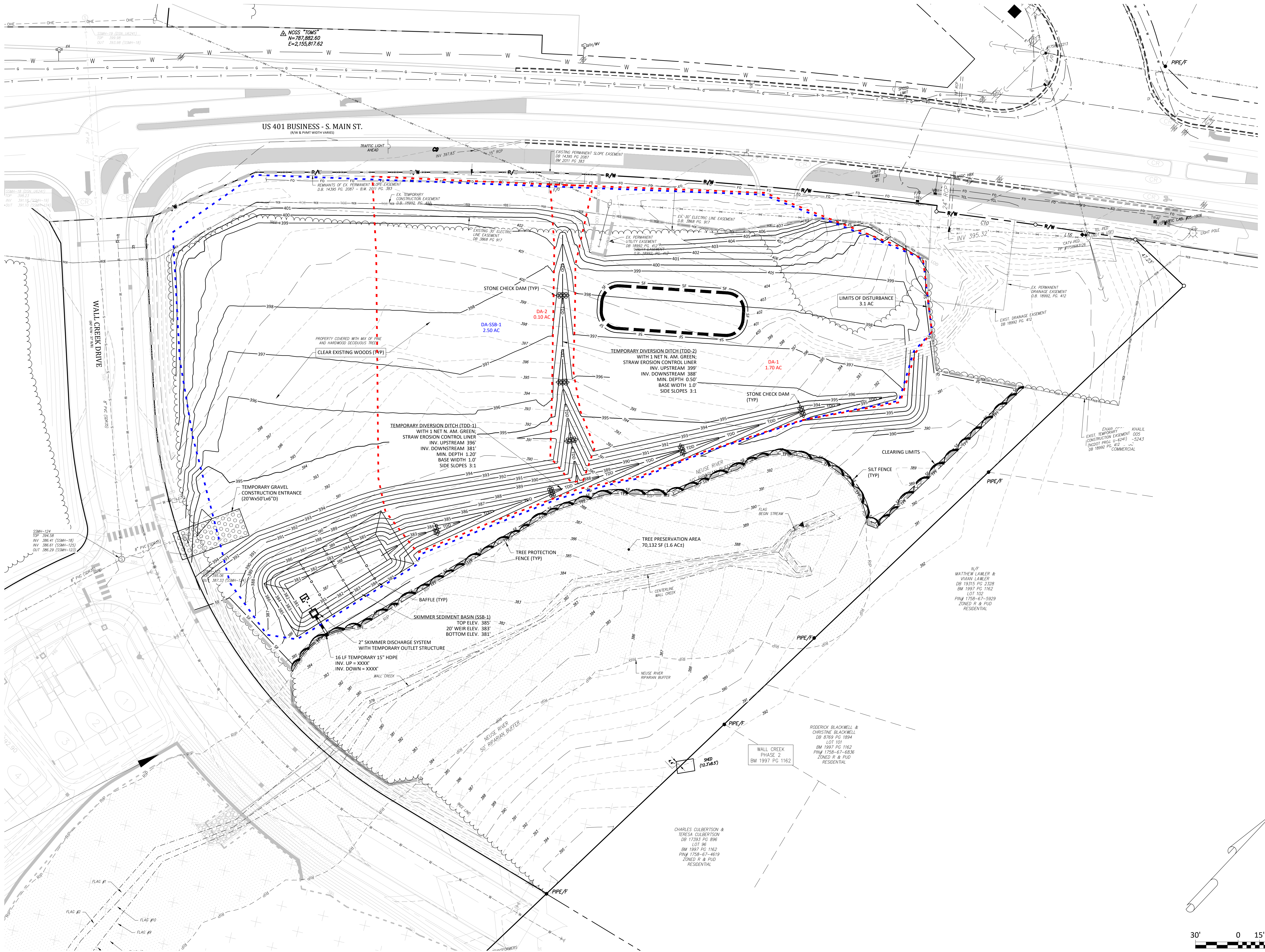
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Date: January 2, 2025



REVISIONS:

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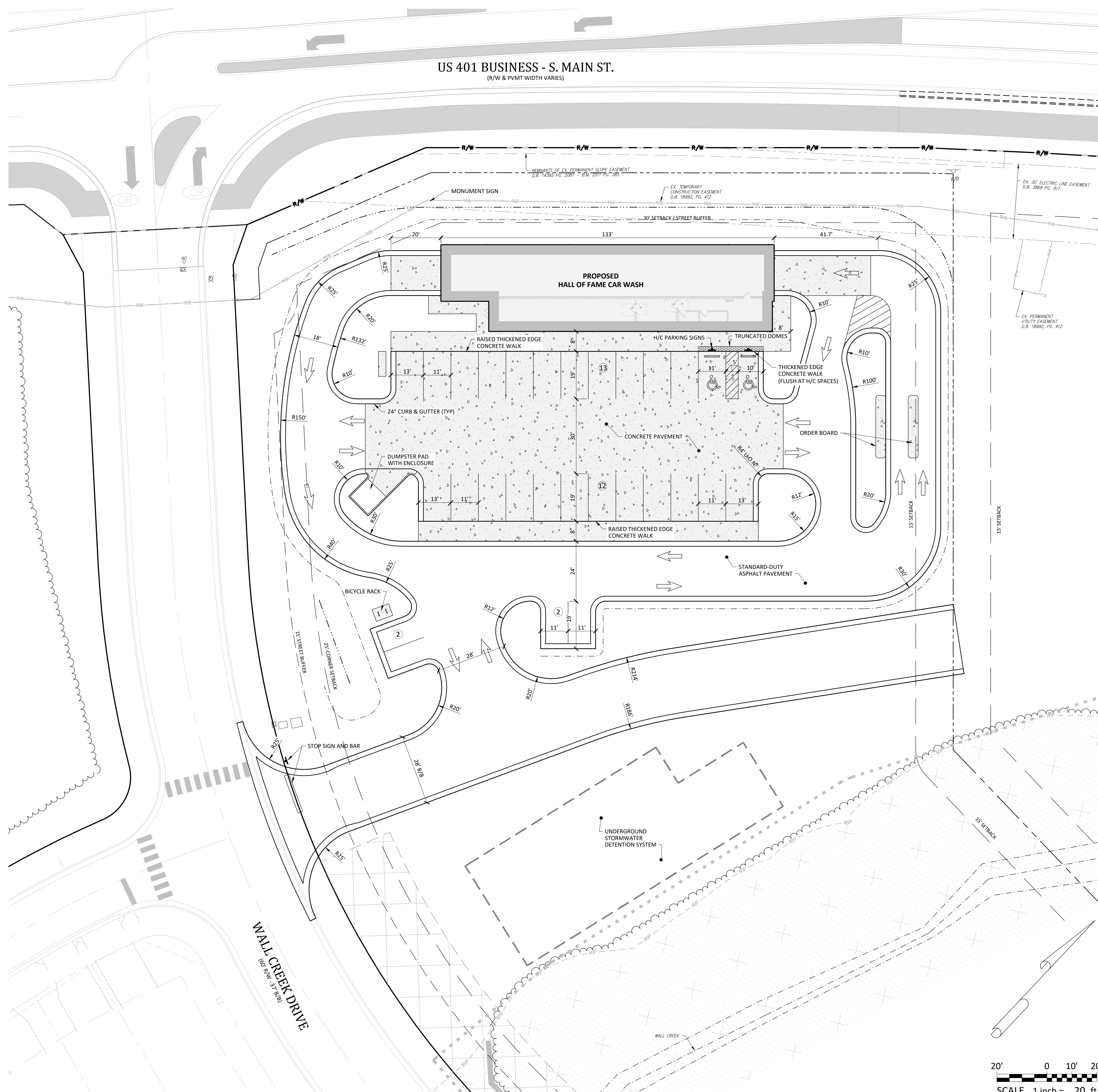
EROSION CONTROL PLAN - PHASE 2
HALL OF FAME CAR WASH
 WALLBROOK - LOT 8

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| Project Manager: | BCF |
| Drawn By: | DLC |
| Checked By: | TGN |
| Project Number: | 24137 |
| Drawing Number: | D-1525 |

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 Date: January 2, 2025



General Notes:

- THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN:
 - ALTA/NSPS LAND TITLE SURVEY, PREPARED BY JOHNSON, MIRMAN & THOMPSON FOR WALLBROOK LANDCO, LLC, DATED REVISED OCTOBER 1, 2020
 - "REPORT OF SUBSURFACE EXPLORATION AND GEOTECHNICAL ENGINEERING EVALUATION - ROLESVILLE SITE" PREPARED BY TERRATECH ENGINEERS, INC., DATED NOVEMBER 26, 2018
 - "REVISED WALLBROOK DEVELOPMENT TRAFFIC IMPACT ANALYSIS" PREPARED BY STANTEC CONSULTING SERVICES, INC., DATED AUGUST 11, 2020
- ALL ACCESSIBLE PARKING SPACES SHALL BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE OR THE REQUIREMENTS OF THE JURISDICTION WHERE THIS PROJECT IS TO BE CONSTRUCTED.
- THIS PROPERTY IS LOCATED IN FLOOD ZONE "X", AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON NATIONAL FLOOD INSURANCE RATE MAP (FIRM) 3720175800K, EFFECTIVE DATE: JULY 19, 2022.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE COMMENTS TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES. CONTRACTOR SHALL HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES.
- THE OWNER / CONTRACTOR SHALL BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE REQUIREMENTS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES HAVING JURISDICTION OVER THIS PROJECT.
- THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH HEREIN ARE PART OF THE REQUIRED CONSTRUCTION DOCUMENTS, AND, IN CASE OF CONFLICT, SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY SUCH DISCREPANCY BETWEEN THE GEOTECHNICAL REPORTS AND PLANS AND SPECIFICATIONS PRIOR TO PROCEEDING WITH ANY FURTHER WORK.
- THESE PLANS ARE BASED ON INFORMATION PROVIDED TO ARK CONSULTING GROUP, PLLC BY THE OWNER AND OTHERS PRIOR TO THE TIME OF PLAN PREPARATION. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND NOTIFY ARK CONSULTING GROUP, PLLC IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER ONSITE FEATURES.
- ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS AND GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO THE GIVING OF SUCH NOTIFICATION AND THE ENGINEER'S WRITTEN AUTHORIZATION OF SUCH ADDITIONAL WORK.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL / BUILDING PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY / EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE THE BUILDING LAYOUT BY CAREFUL REVIEW OF THE SITE PLAN AND LATEST ARCHITECTURAL PLANS (INCLUDING, BUT NOT LIMITED TO, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLAN, WHERE APPLICABLE). CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER, ARCHITECT AND SITE ENGINEER OF ANY DISCREPANCIES.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB & GUTTER. CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REPLACE ALL SIGNAL INTERCONNECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY SHALL RESTORE SUCH CONNECTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE EXISTING CONDITIONS, AND IN CONFORMANCE WITH APPLICABLE CODES. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY THE OWNER'S REPRESENTATIVE PRIOR TO THE START OF CONSTRUCTION.
- THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, NOR IS THE ENGINEER RESPONSIBLE FOR ANY CONFLICTS OR SCOPE REVISIONS WHICH RESULT FROM THE SAME. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE MEANS AND METHODS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

SITE PLAN

HALL OF FAME CAR WASH
WALLBROOK - LOT 8

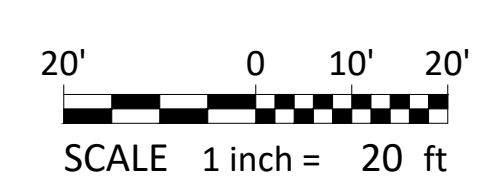
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Professional Engineer Seal:
NORTH CAROLINA
Professional Engineer
Ark Consulting Group, PLLC
1/2/2025

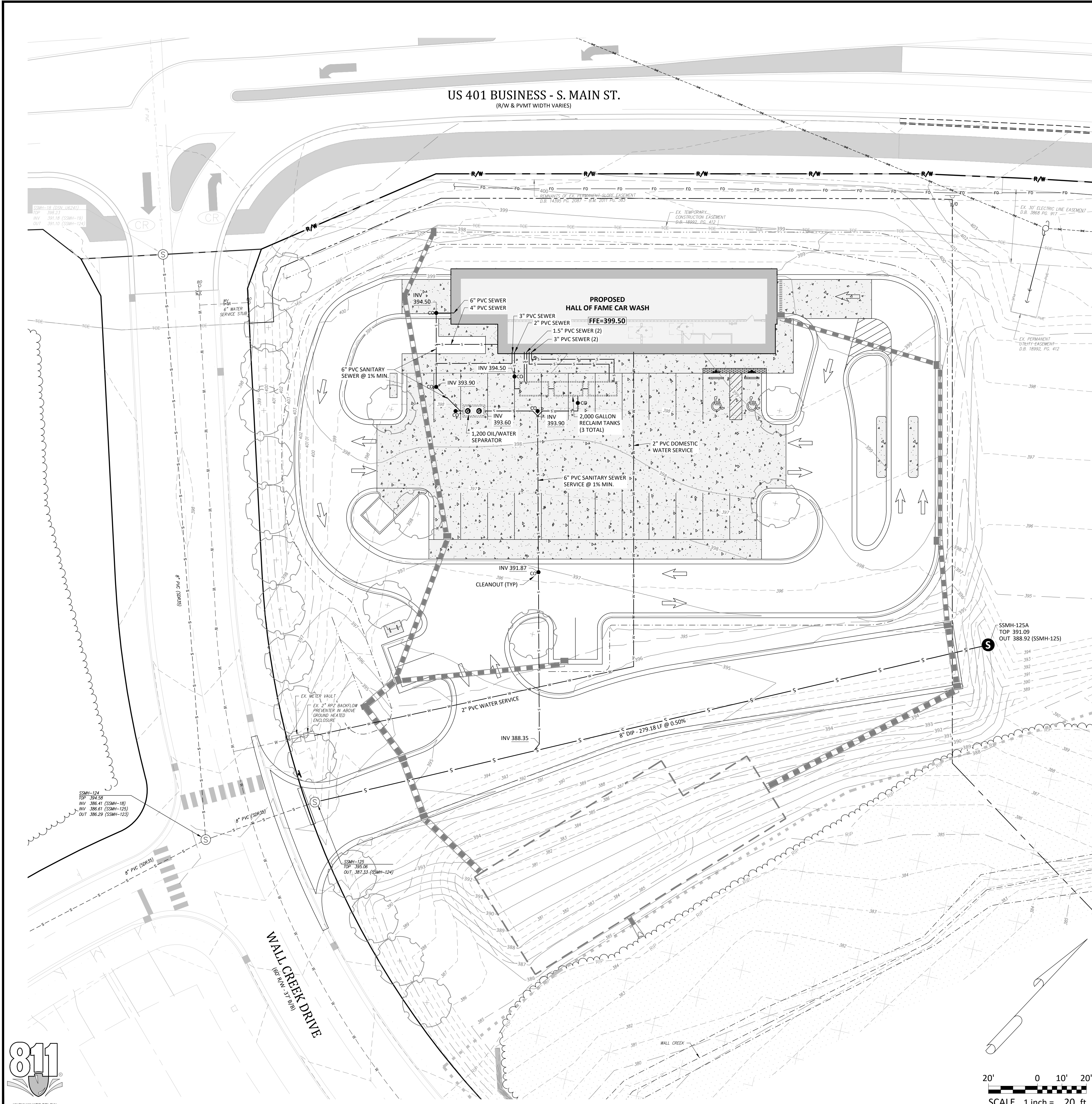
Project Manager: BCF
Drawn By: DLC
Checked By: TGN
Project Number: 24137
Drawing Number: D-1525

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Date: January 2, 2025



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CORPUD Standard Utility Notes:

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK)
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATER SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATER MAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10" ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATER MAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY CORPUD PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO CORPUD.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPERS RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY CORPUD. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL PVC WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2' X 2' WATERLINE EASEMENT IMMEDIATELY ADJACENT.
- INSTALL PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOC PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NC. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

UTILITY PLAN

HALL OF FAME CAR WASH
WALLBROOK - LOT 8

Town of Rolesville Project No. SDP 25-01
US 401 Business / S. Main Street & Wall Creek Drive
Wake Forest Township, Town of Rolesville, Wake County, North Carolina

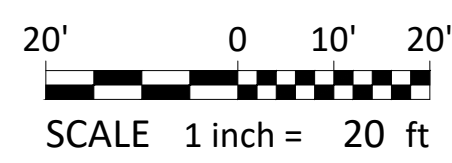
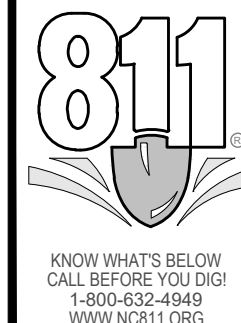
NC License: PA 1291
ARK CONSULTING GROUP PLLC
ENGINEERS & SURVEYORS
925-A Conference Drive
Wake Forest, NC 27886
(757) 558-8888
www.arkconsultinggroup.com

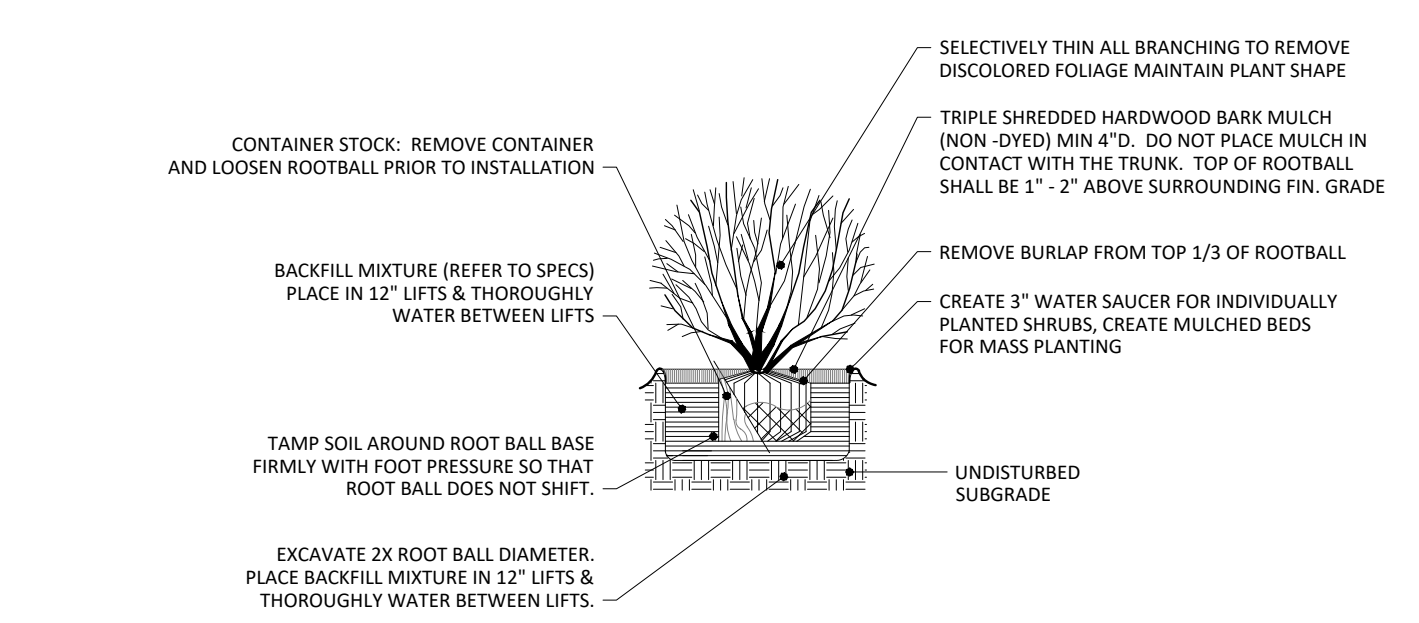
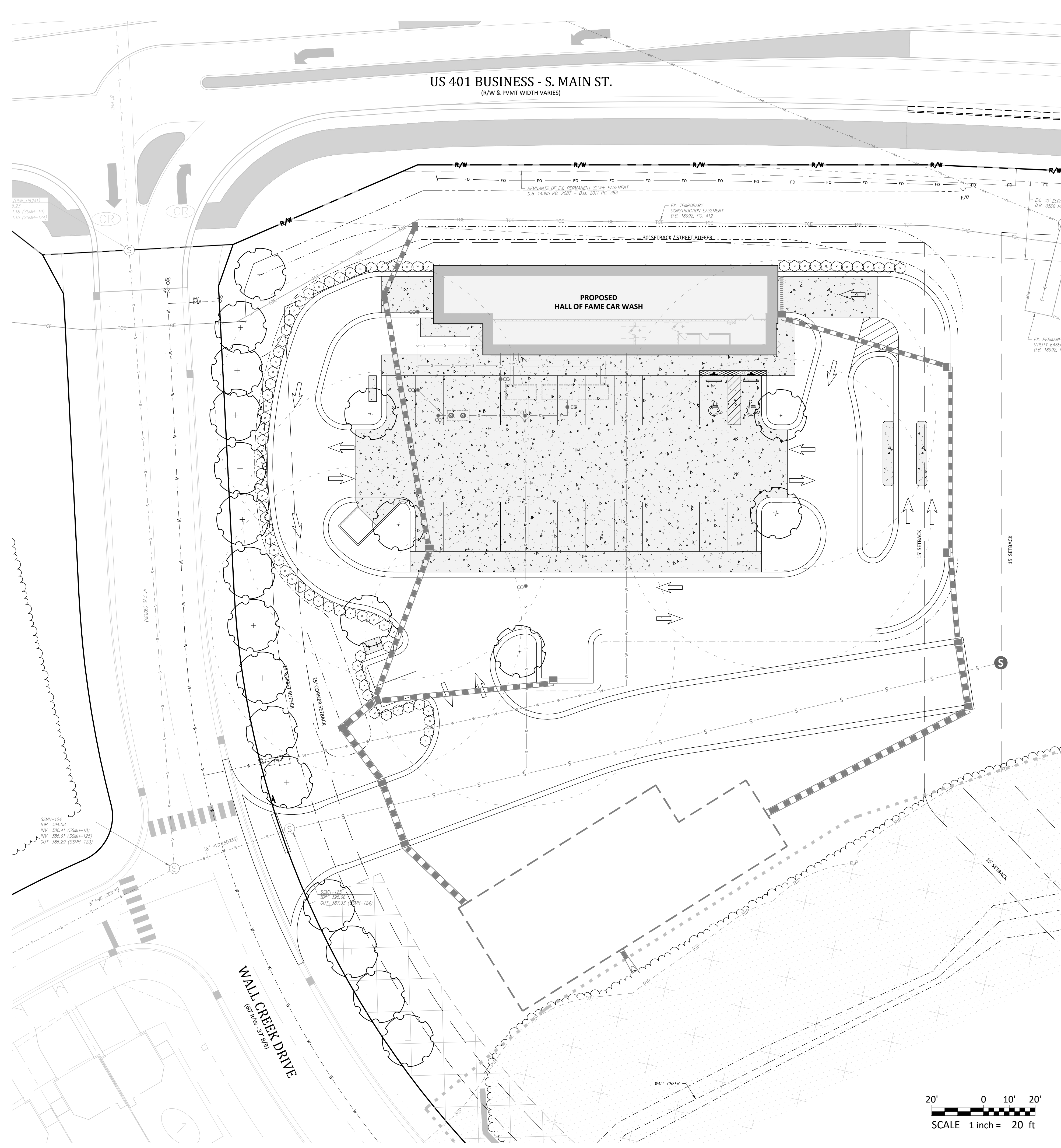
1/21/2025
NORTH CAROLINA
Professional Engineer
Timothy Beasley
12100

ATTENTION CONTRACTORS
The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Utilities Department at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.
Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.
Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

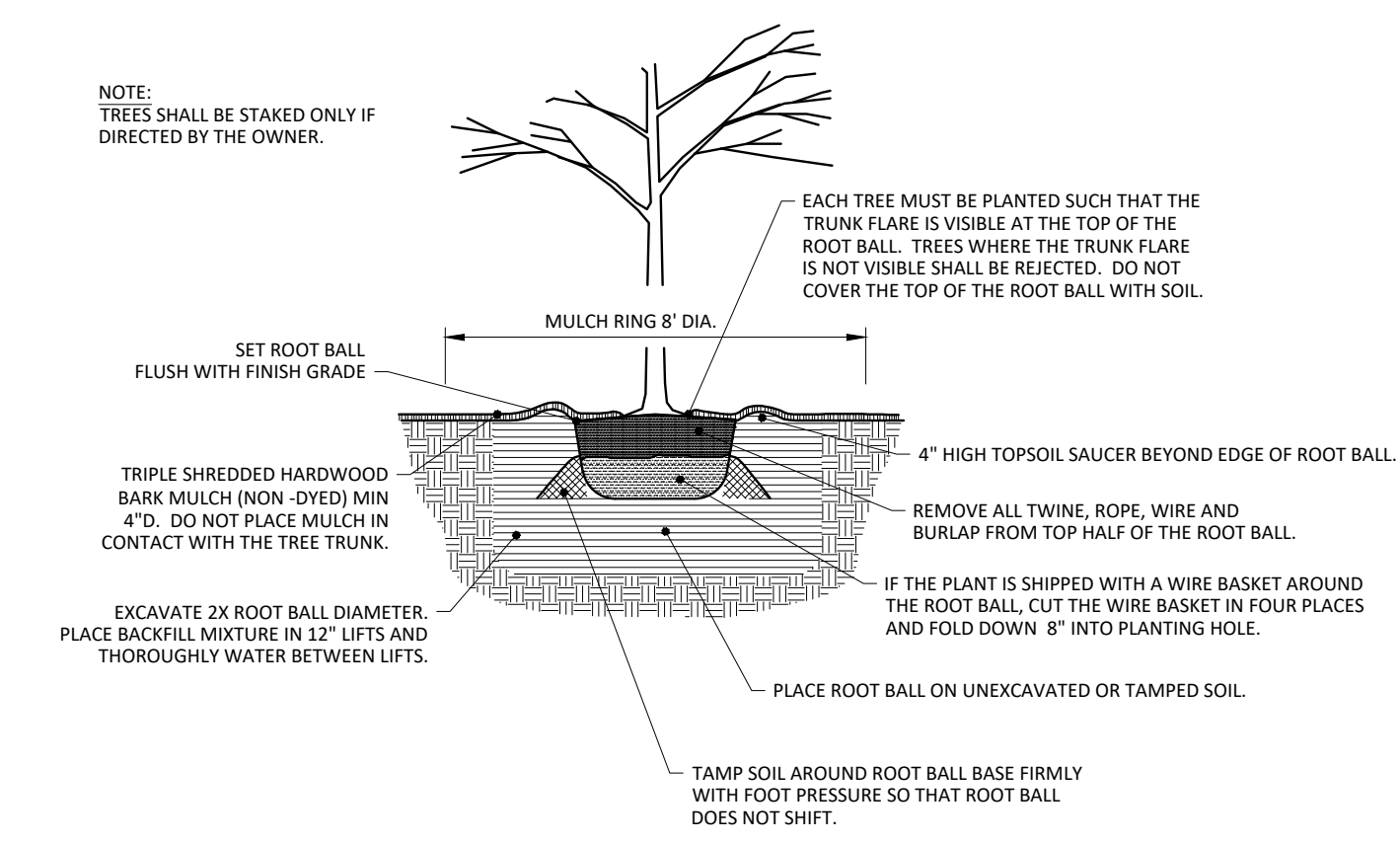
| | |
|------------------|--------|
| Project Manager: | BCF |
| Drawn By: | DLC |
| Checked By: | TGN |
| Project Number: | 24137 |
| Drawing Number: | D-1525 |

C3.0
Date: January 2, 2025





SHRUB PLANTING
NOT TO SCALE



LARGE AND SMALL TREE PLANTING
NOT TO SCALE

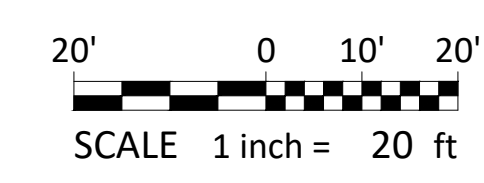
Bufferyard Notes:

- SITE DATA:
 - PROVIDED VEGETATION FOR LOT:
 - LARGE TREES: 21 PROVIDED
 - REQUIRED STREET VEGETATION:
 - LARGE TREES: S. MAIN STREET = 280 LF / 40' * 1 TREE = 7 TREES (7 PROVIDED BY NCDOT MAIN STREET IMPROVEMENTS (U-6241))
 - WALL CREEK DRIVE = 600 LF / 40' * 1 TREE = 15 TREES (15 PROVIDED)
 - REQUIRED SCREENING VEGETATION: NONE
 - REQUIRED VEGETATION LOCATED IN EASEMENTS: NONE
- NOTES:
 - MINIMUM PLANT SIZES SHALL BE IN ACCORDANCE WITH THE SECTION 6.2.4.3 OF THE LDO AS FOLLOWS:

| PLANTING MATERIAL TYPE | MINIMUM PLANTING SIZE |
|-----------------------------------|------------------------------------------------------|
| 1. LARGE (CANOPY) TREE | 8" (HEIGHT AND 2" CALIPER) |
| 2. SMALL/MEDIUM (UNDERSTORY) TREE | 8" (HEIGHT) AND 1" CALIPER |
| 3. SHRUB | 24" (HEIGHT) - EVERGREEN 18" (HEIGHT) - DECIDUOUS |
 - NO PORTION OF ANY PARKING SPACE SHALL BE LOCATED MORE THAN SIXTY (60) FEET FROM AN ON-SITE LARGE (CANOPY) TREE. FOR PURPOSES OF THIS SECTION, THE MEASUREMENT SHALL BE FROM THE CLOSEST EDGE OF THE SUBJECT AREA TO THE CENTER OF THE BASE OF THE CLOSEST QUALIFYING TREE IN ACCORDANCE WITH SECTION 6.2.4.4 OF THE LDO.
 - DUMPSTER/COMPACTOR SHALL BE SCREENED ON 3 SIDES IN ACCORDANCE WITH SECTION 6.2.4.6 OF THE LDO.
 - NO TREES OR SHRUBS SHALL BE PLANTED WITHIN SANITARY SEWER, WATERLINE OR ELECTRIC EASEMENTS WITHOUT THE TOWN AND EASEMENT HOLDER APPROVAL.
 - ALL MULTI-STEM TREES SHALL HAVE AT LEAST THREE STALKS WITH A MINIMUM CALIPER OF 2.5" IN ACCORDANCE WITH SECTION 6.2.4.7 OF THE LDO.
 - LANDSCAPING SHALL BE COMPLIANT WITH LDO SECTION 6.2.4
 - MINIMUM OF 3 FEET CLEARANCE MUST BE MAINTAINED AROUND ALL FIRE HYDRANTS IN ACCORDANCE WITH STATE BUILDING CODE.
 - PLANTINGS WITHIN THE R/W ARE TO BE INSTALLED AS PART OF THE MAIN STREET PROJECT (NCDOT U-6241). SEE STANTEC PLAN SHEET L-4.
 - REFER TO WALLBROOK PRELIMINARY PLAT (PR-21-04 REV) FOR VEGETATION PRESERVATION IN THIS AREA.
 - CONTRACTOR SHALL PLACE WEED MATTING AND METAL EDGING LOCATED AT THE BACK OF CURB AROUND ALL MULCH BEDS

Vegetation Legend:

- PROPOSED LARGE TREE (CANOPY)
 TOTAL QUANTITY = 21
 CALIPER = 3"
 HEIGHT = 12'
 MATURE HEIGHT = 50' - 80'
 COMMON NAME: RED MAPLE
 BOTANICAL NAME: ACER RUBRUM
- PROPOSED SHRUB(S)
 TOTAL QUANTITY = 76
 HEIGHT = 24"
 MATURE HEIGHT = 24" - 36"
 COMMON NAME = GREY OWL EASTERN RED CEDAR
 BOTANICAL NAME = JUNIPERUS VIRGINIANA 'GREY OWL'



REQUIRED VEGETATION PLAN
HALL OF FAME CAR WASH
 WALLBROOK - LOT 8
 Town of Rolesville Project No. SDP 25-01
 US 401 Business / S. Main Street & Wall Creek Drive
 Wake Forest Township, Town of Rolesville, Wake County, North Carolina

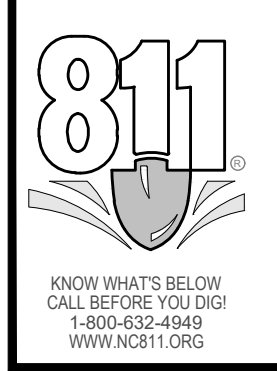
NC License: PA 1399
ARK CONSULTING GROUP PLLC
 ENGINEERS & SURVEYORS
 925-A Conference Drive
 Raleigh, NC 27606
 (757) 558-8888
 www.arkconsultinggroup.com

1/2/2025
 NORTH CAROLINA
 STATE OF ENGINEERING
 ARCHITECTURE & SURVEYING
 EXPIRES 12/31/2025

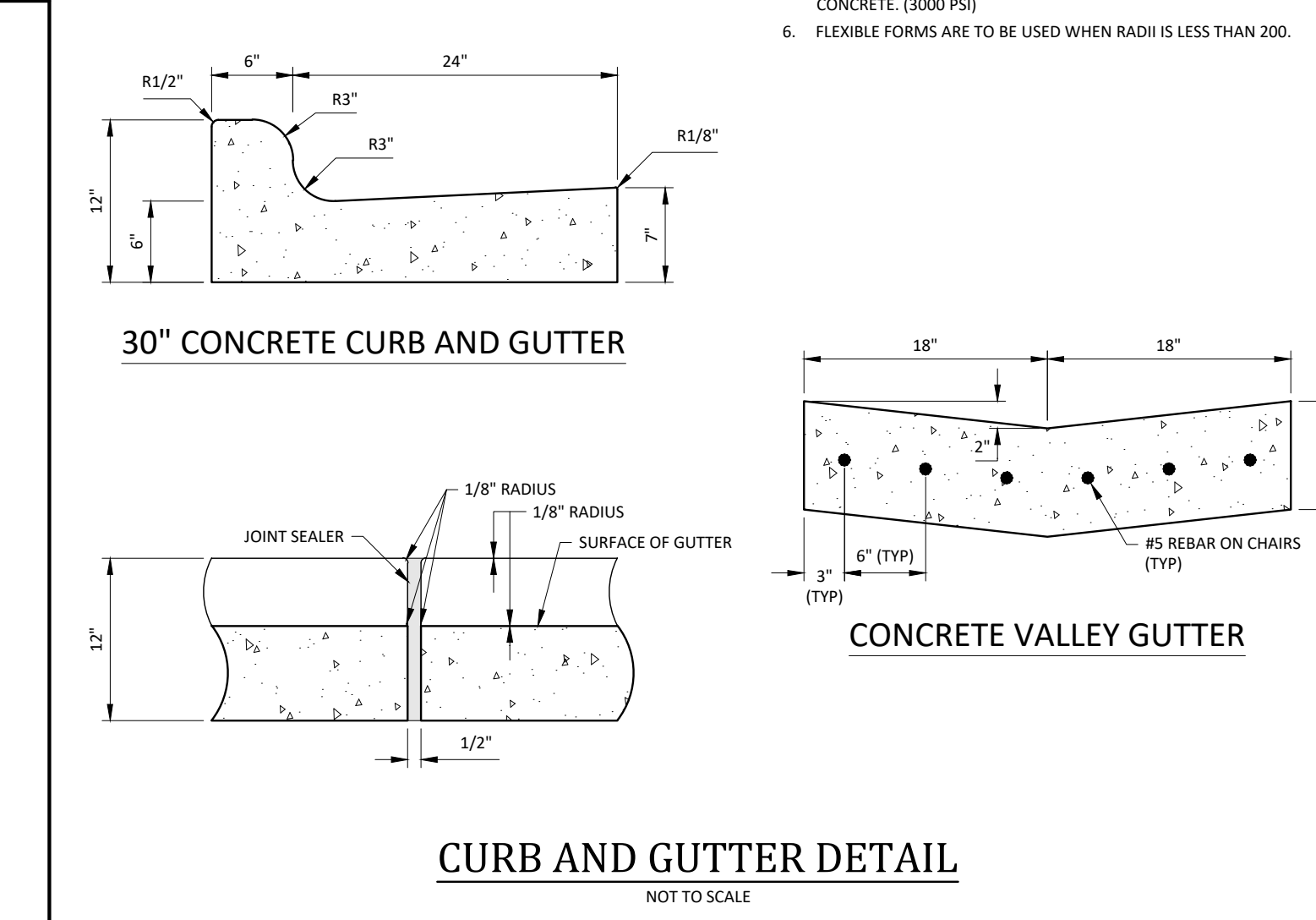
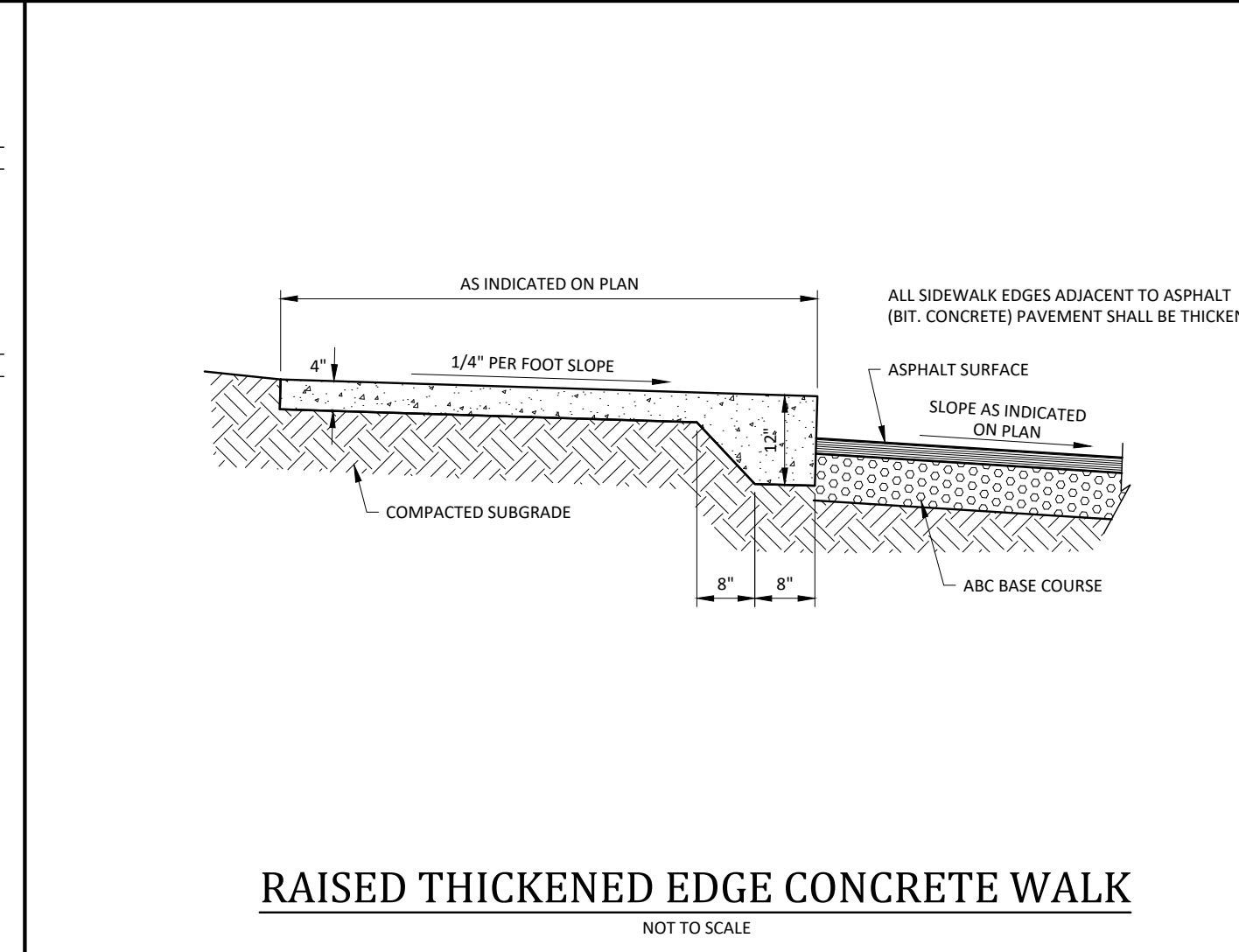
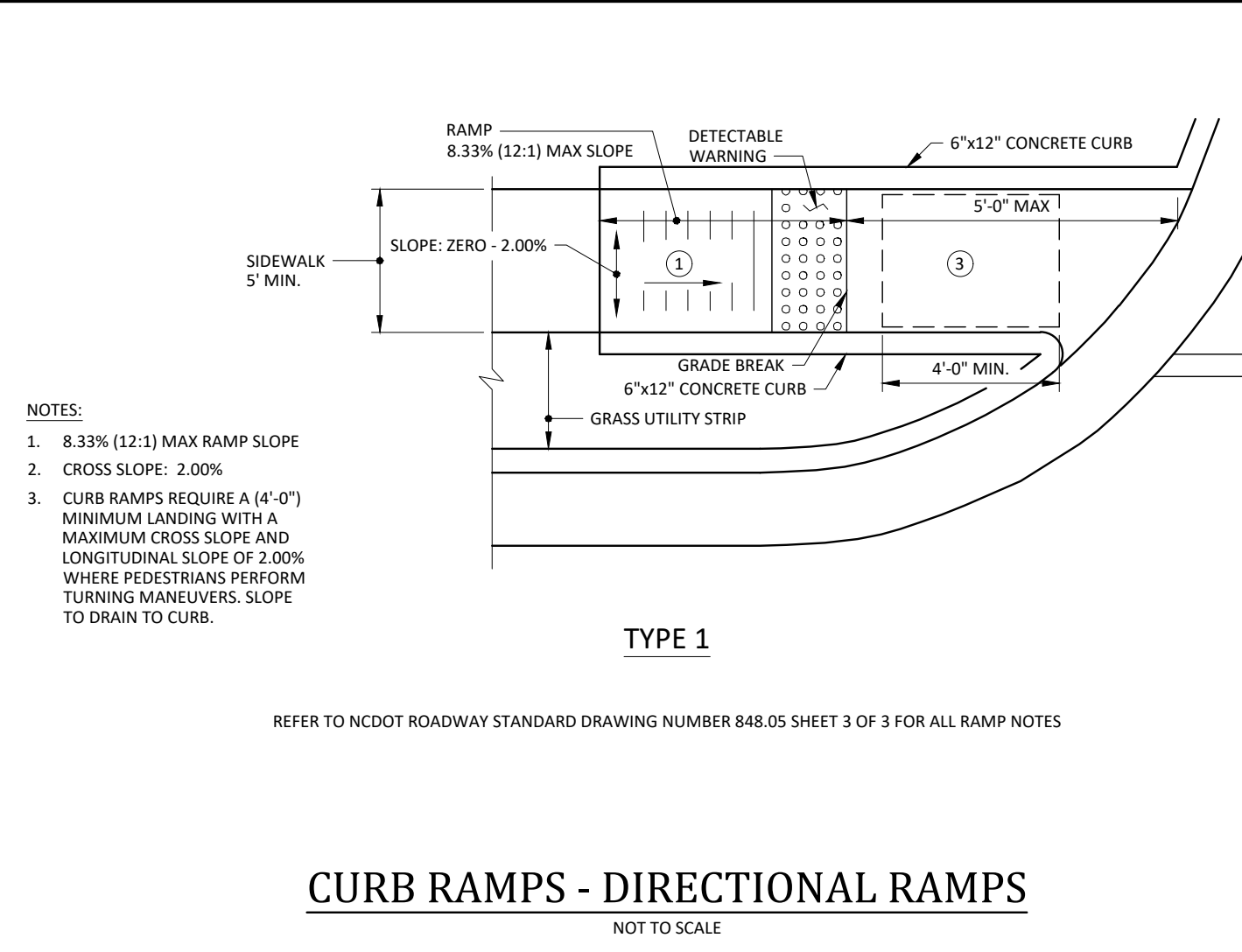
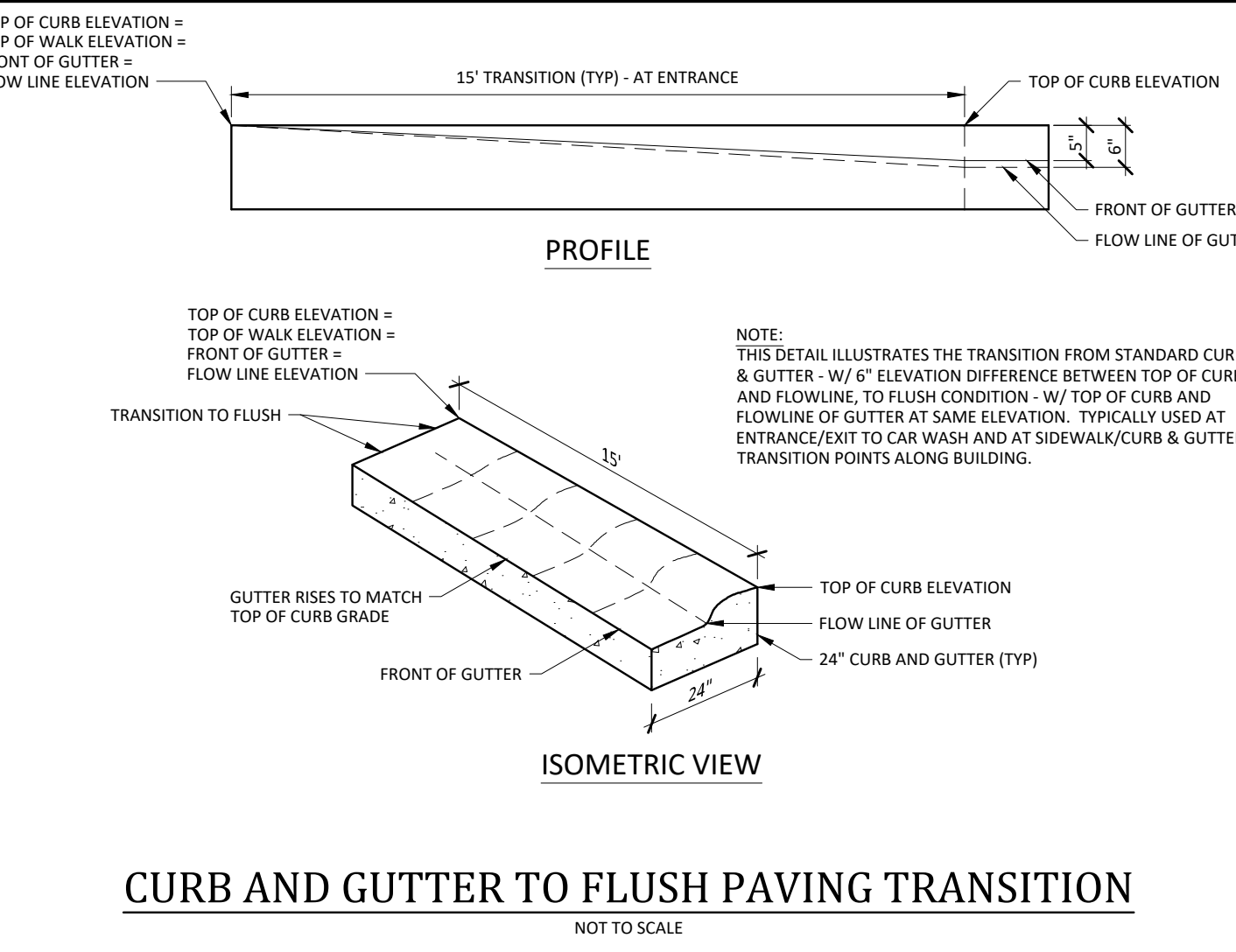
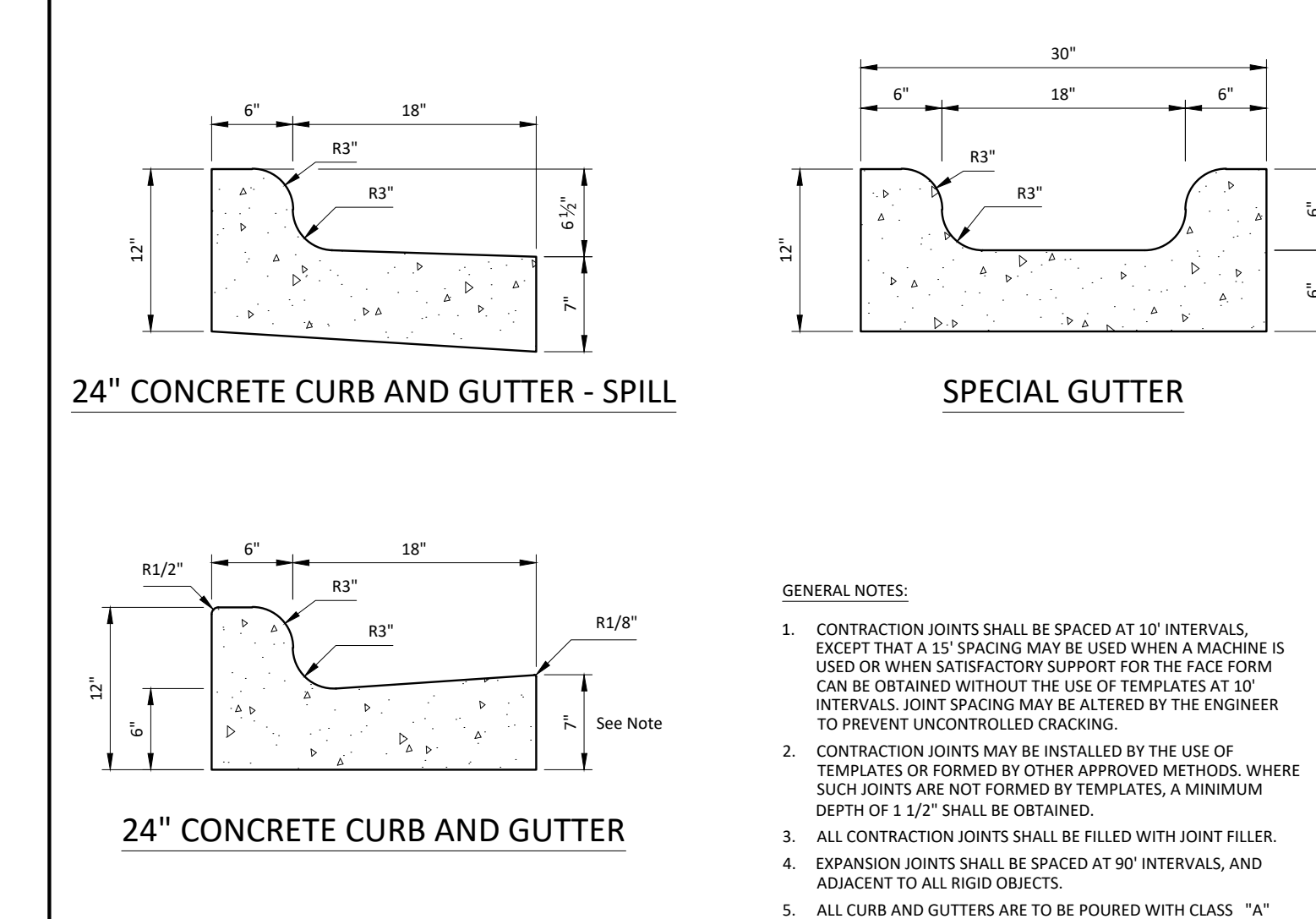
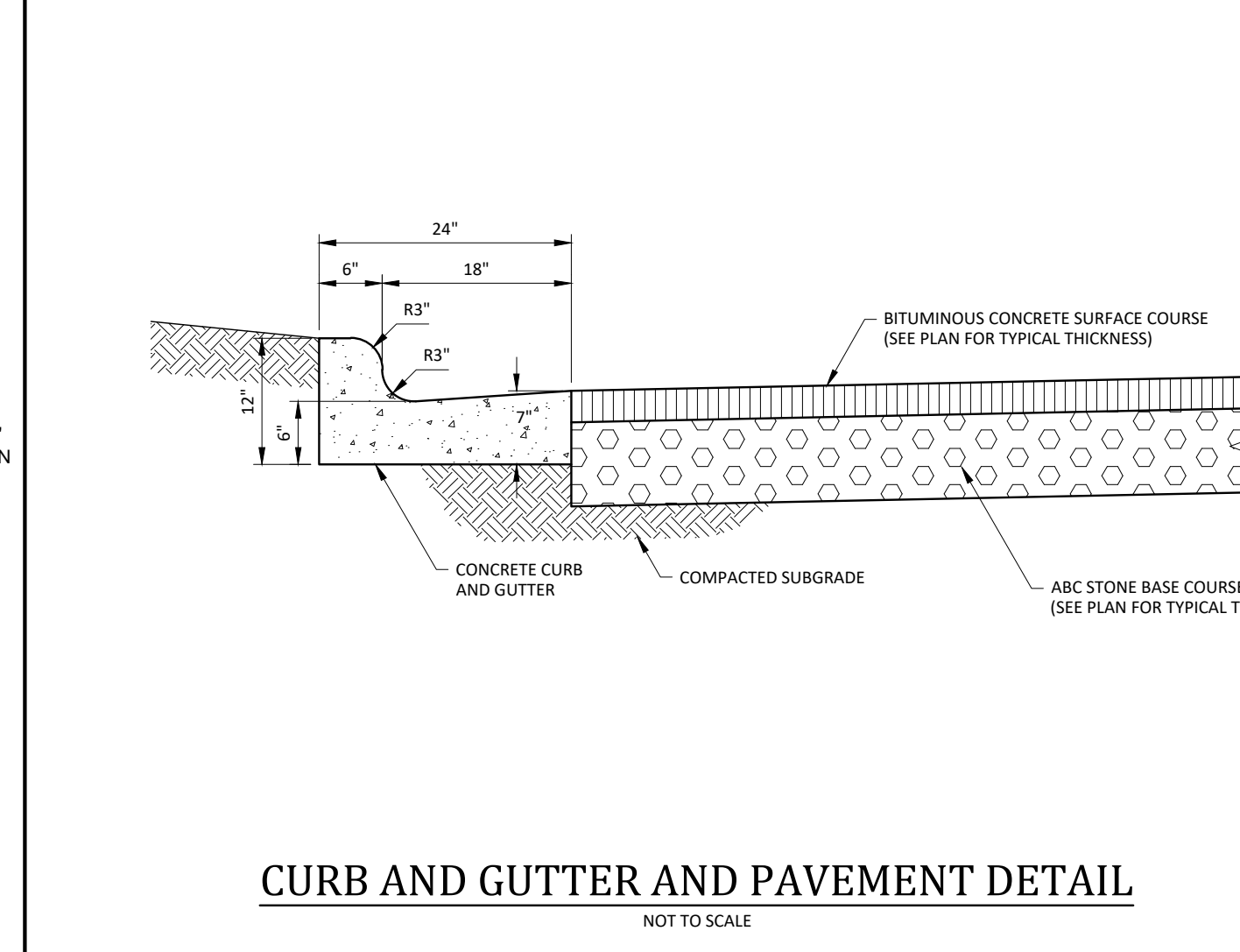
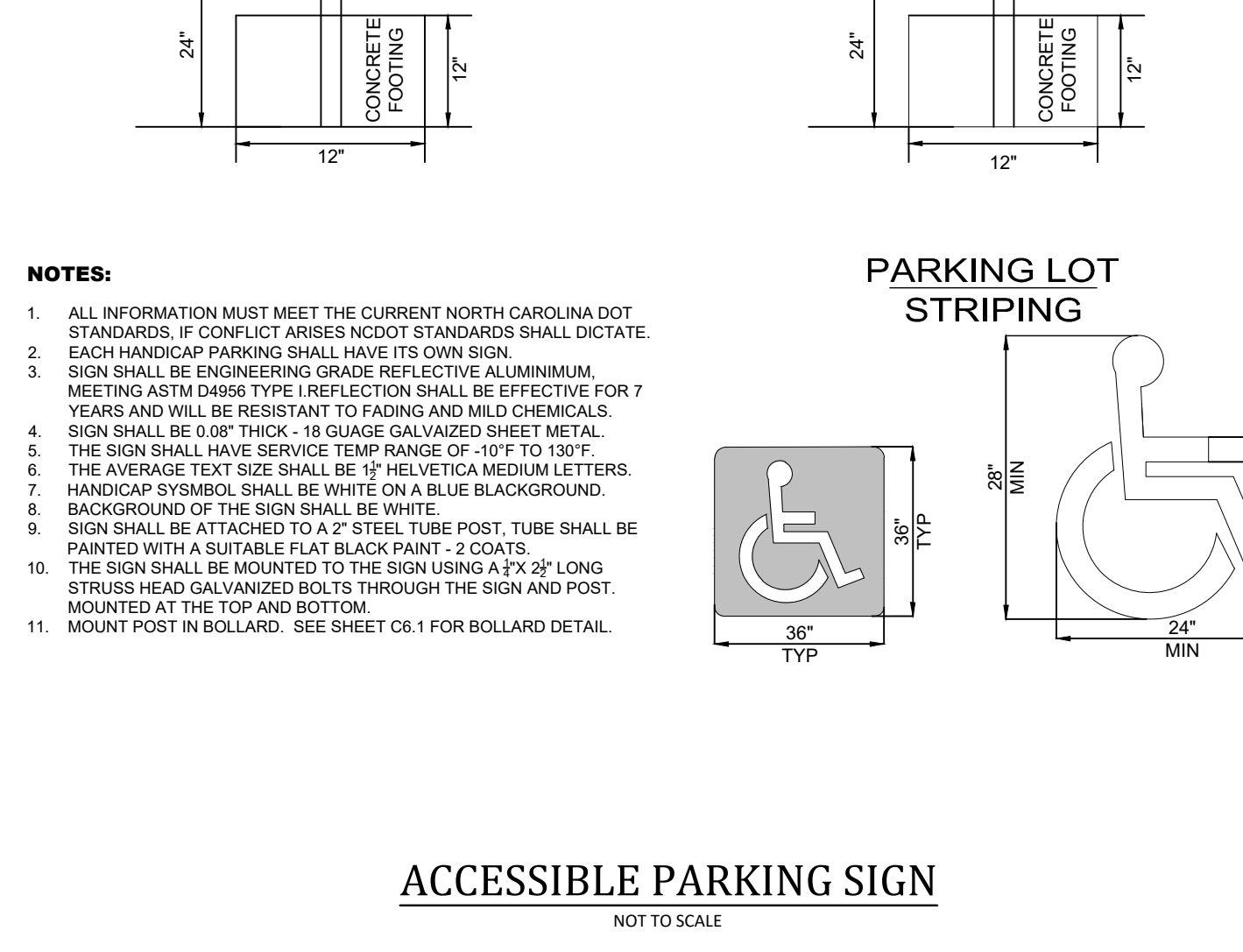
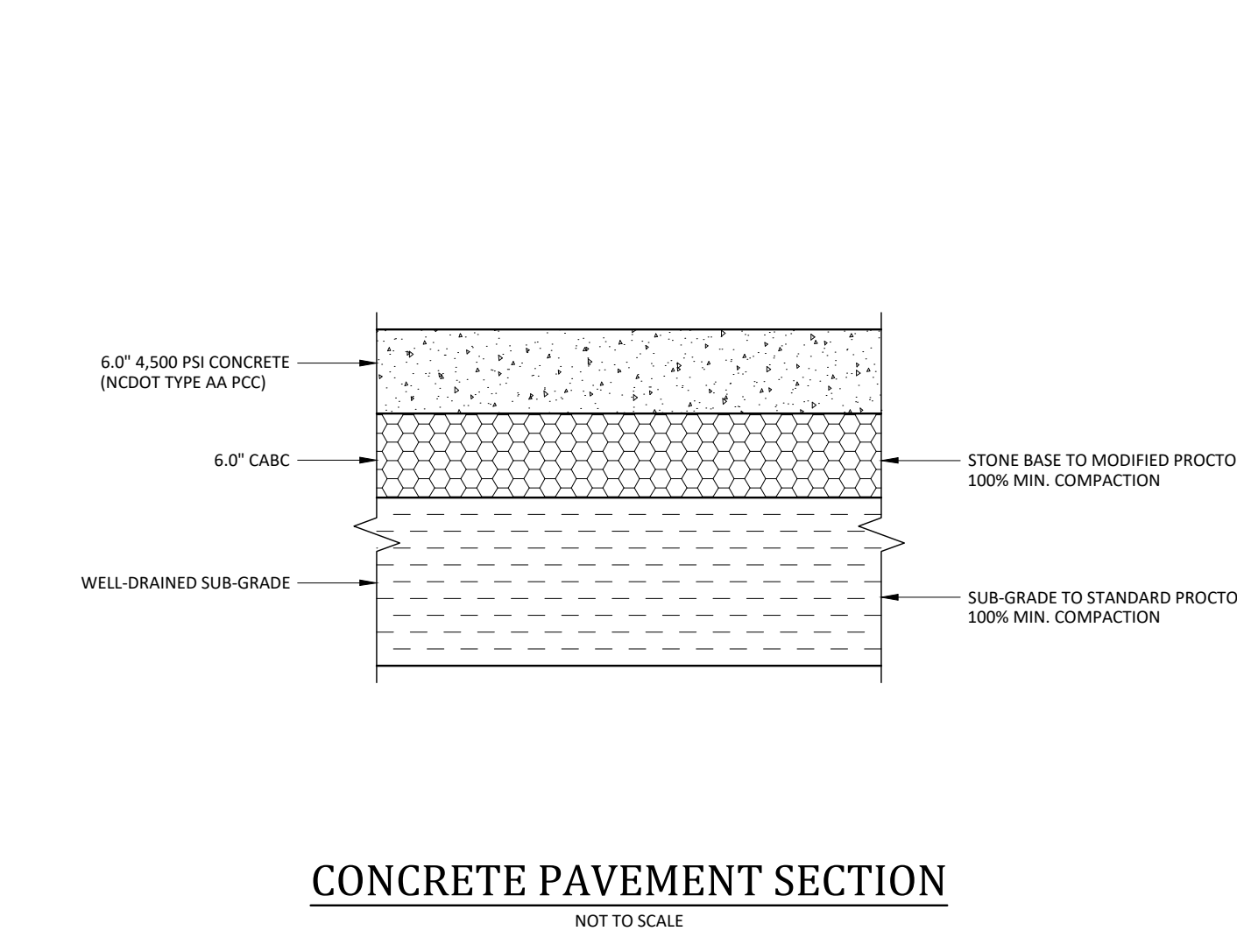
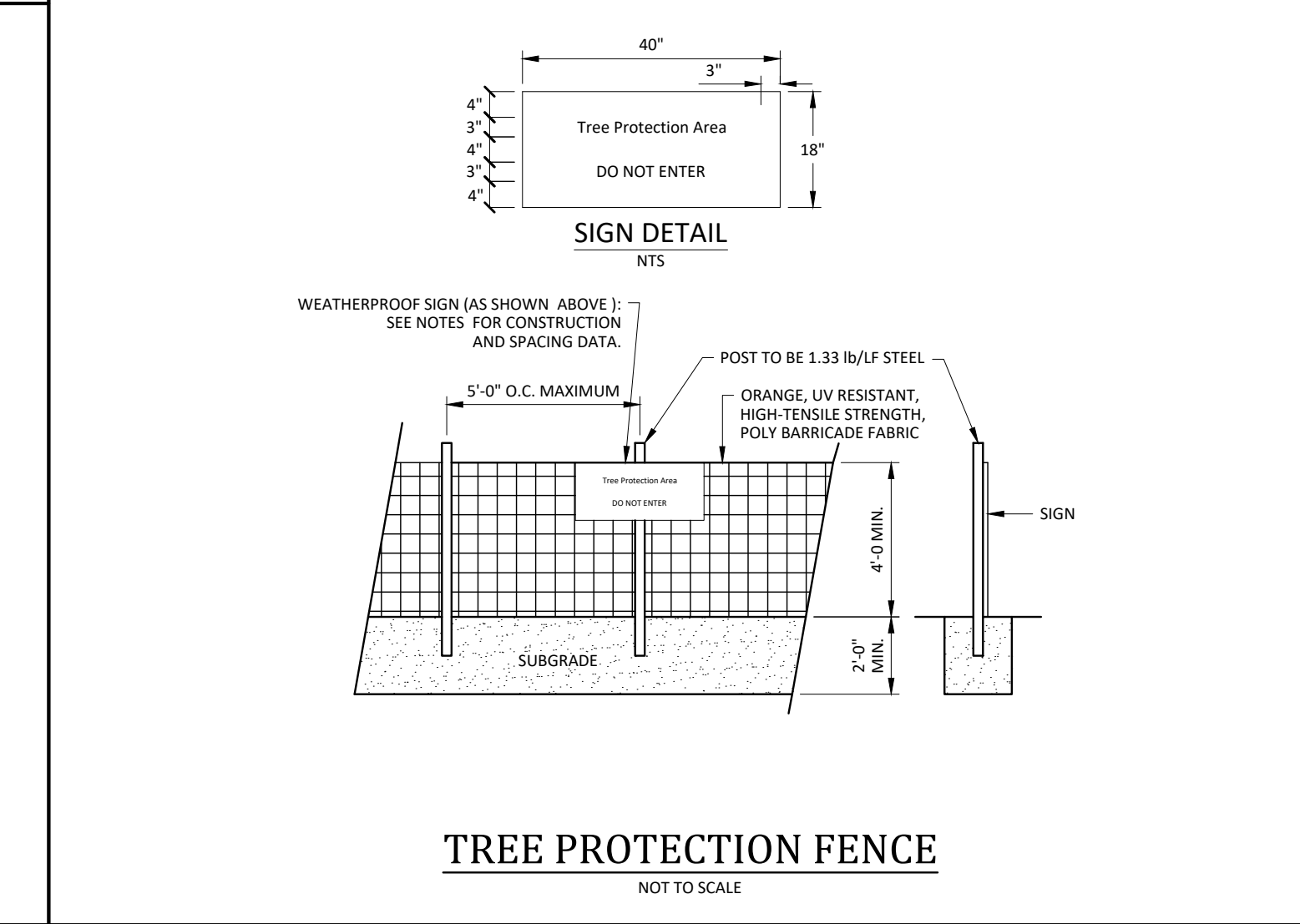
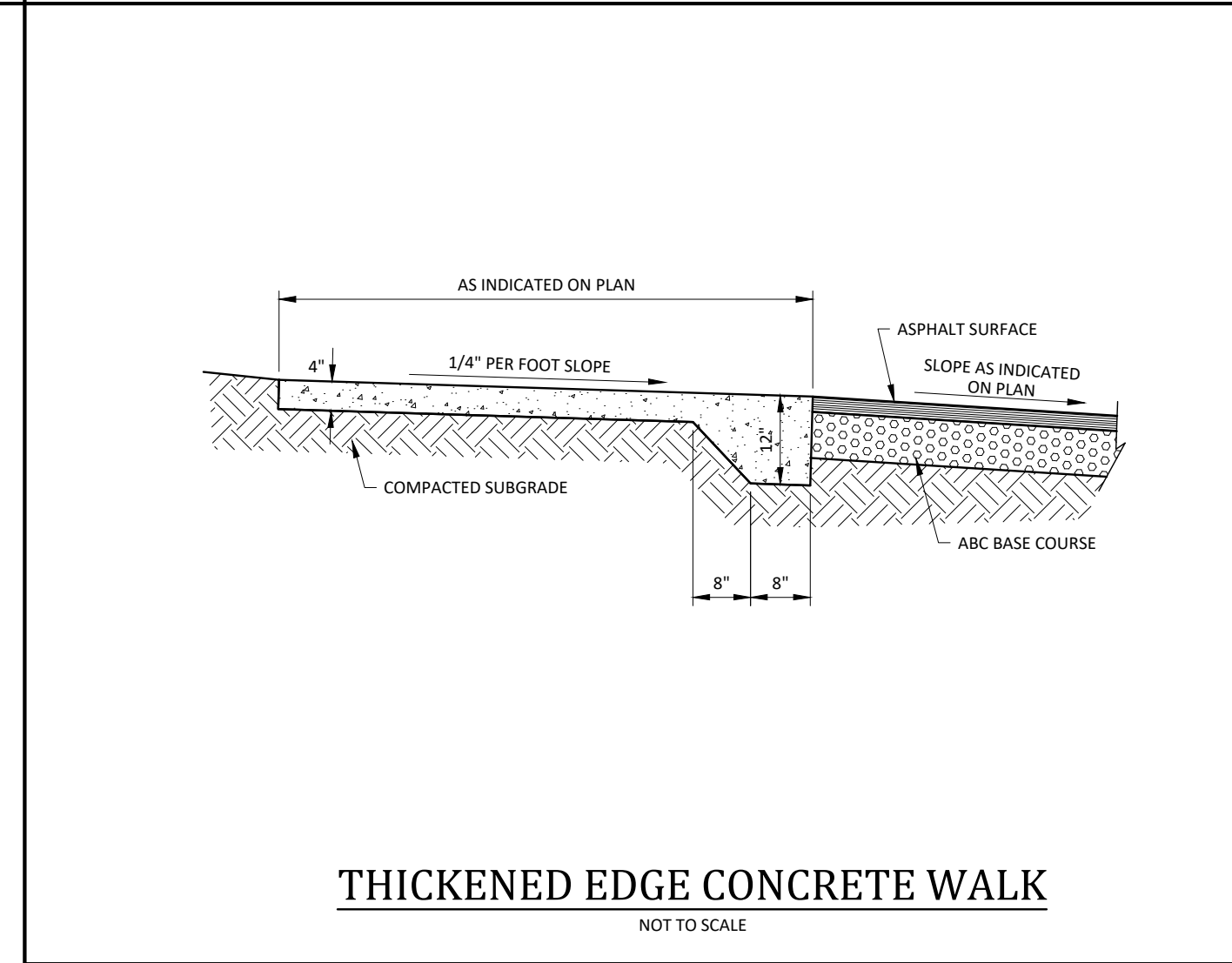
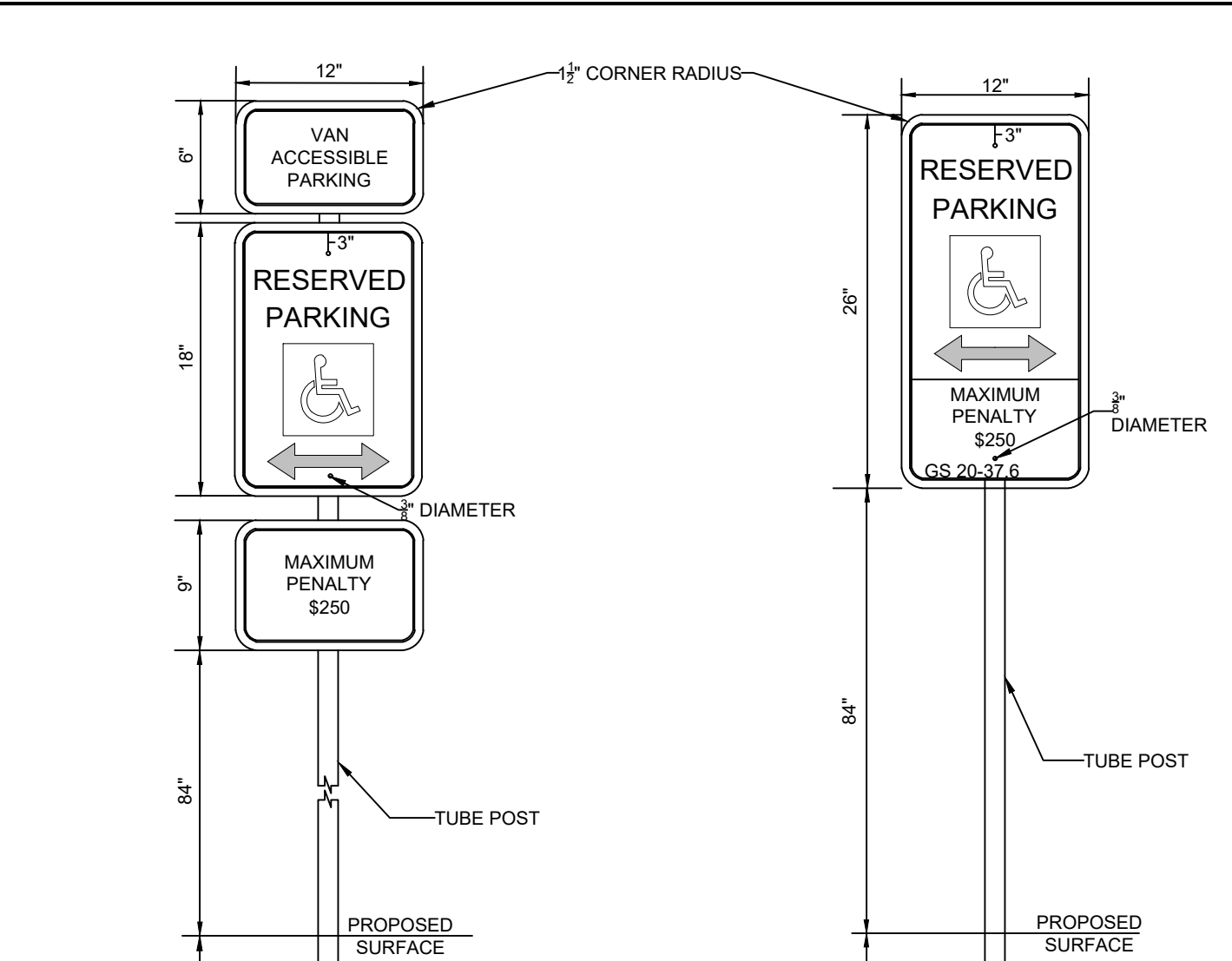
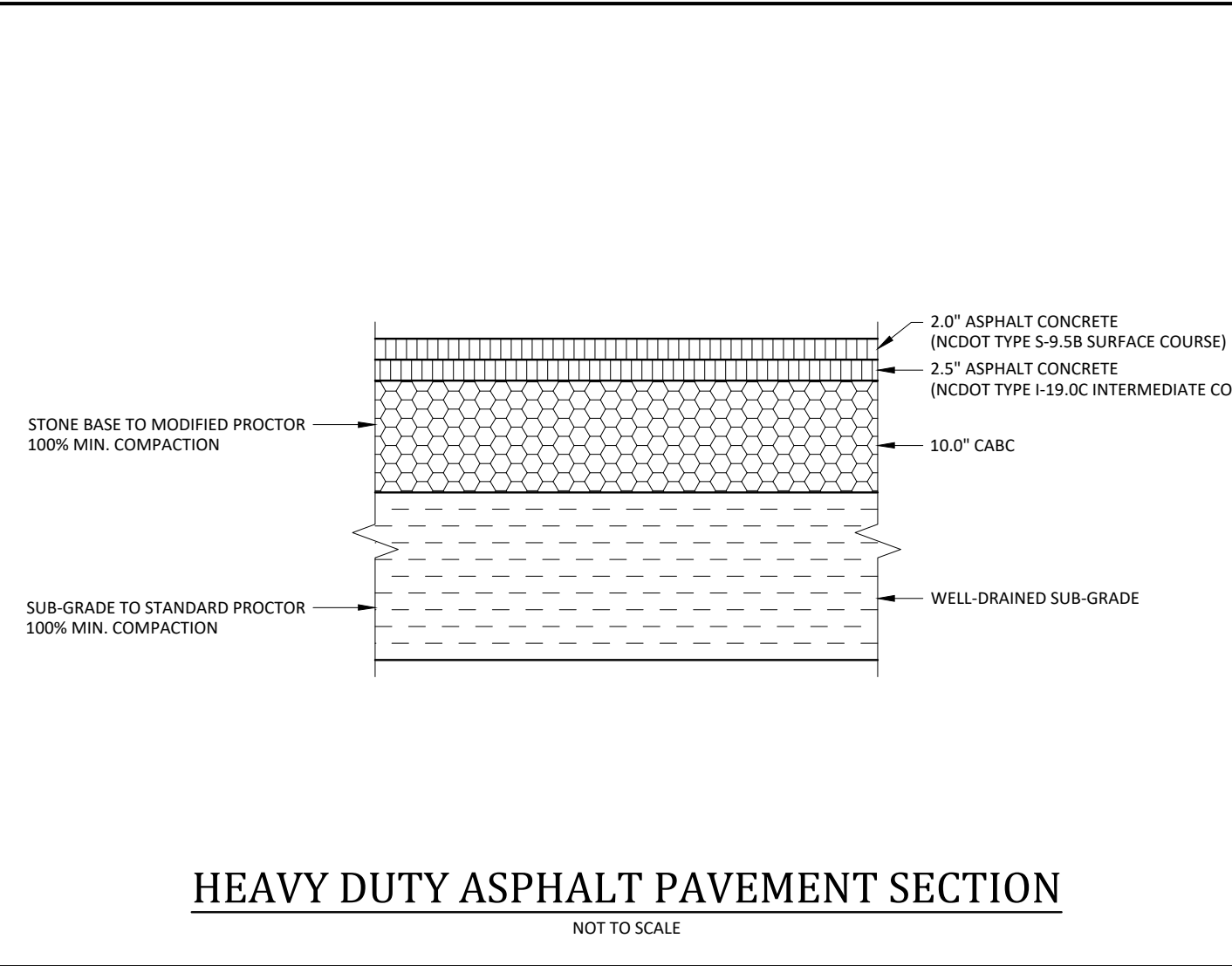
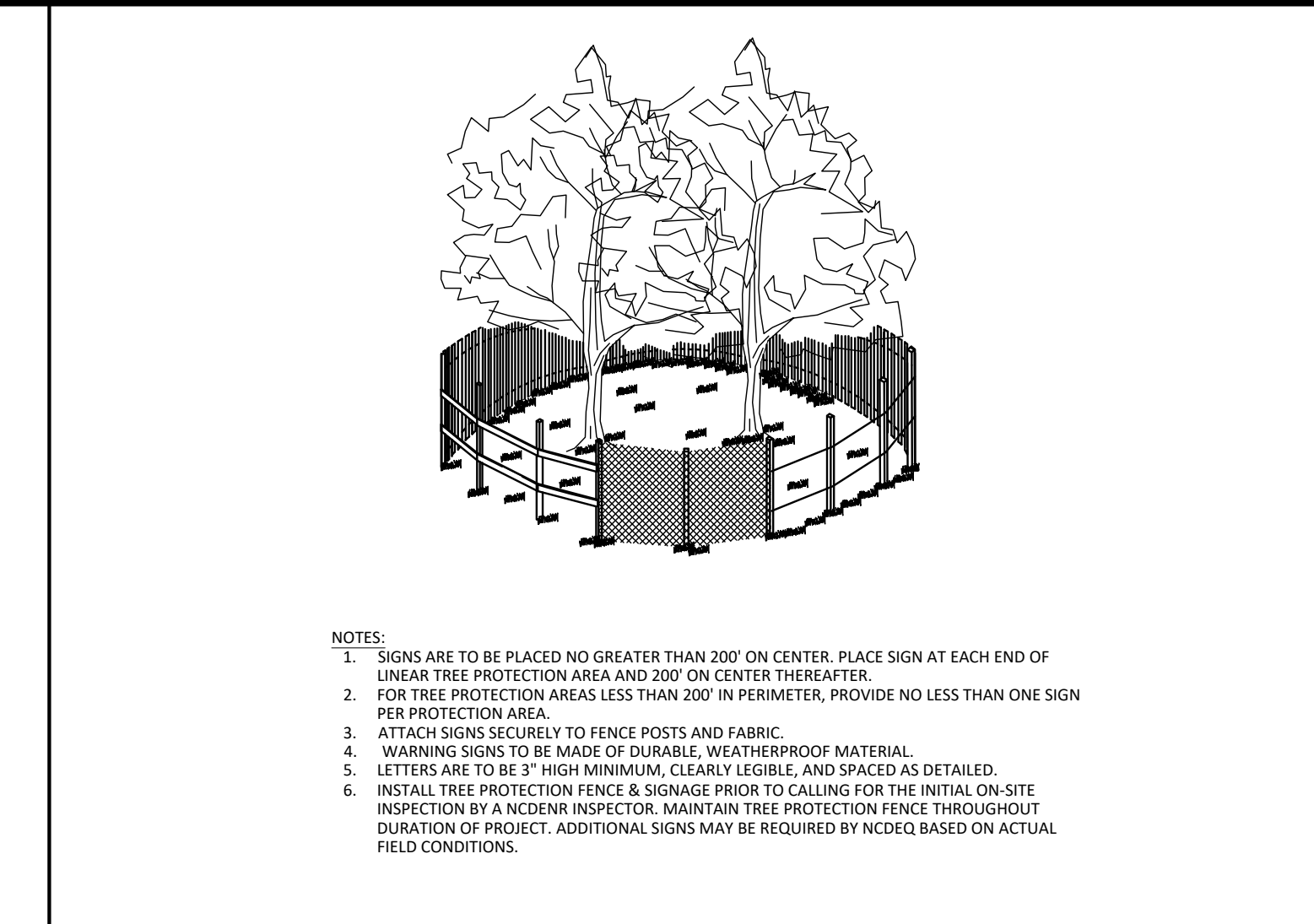
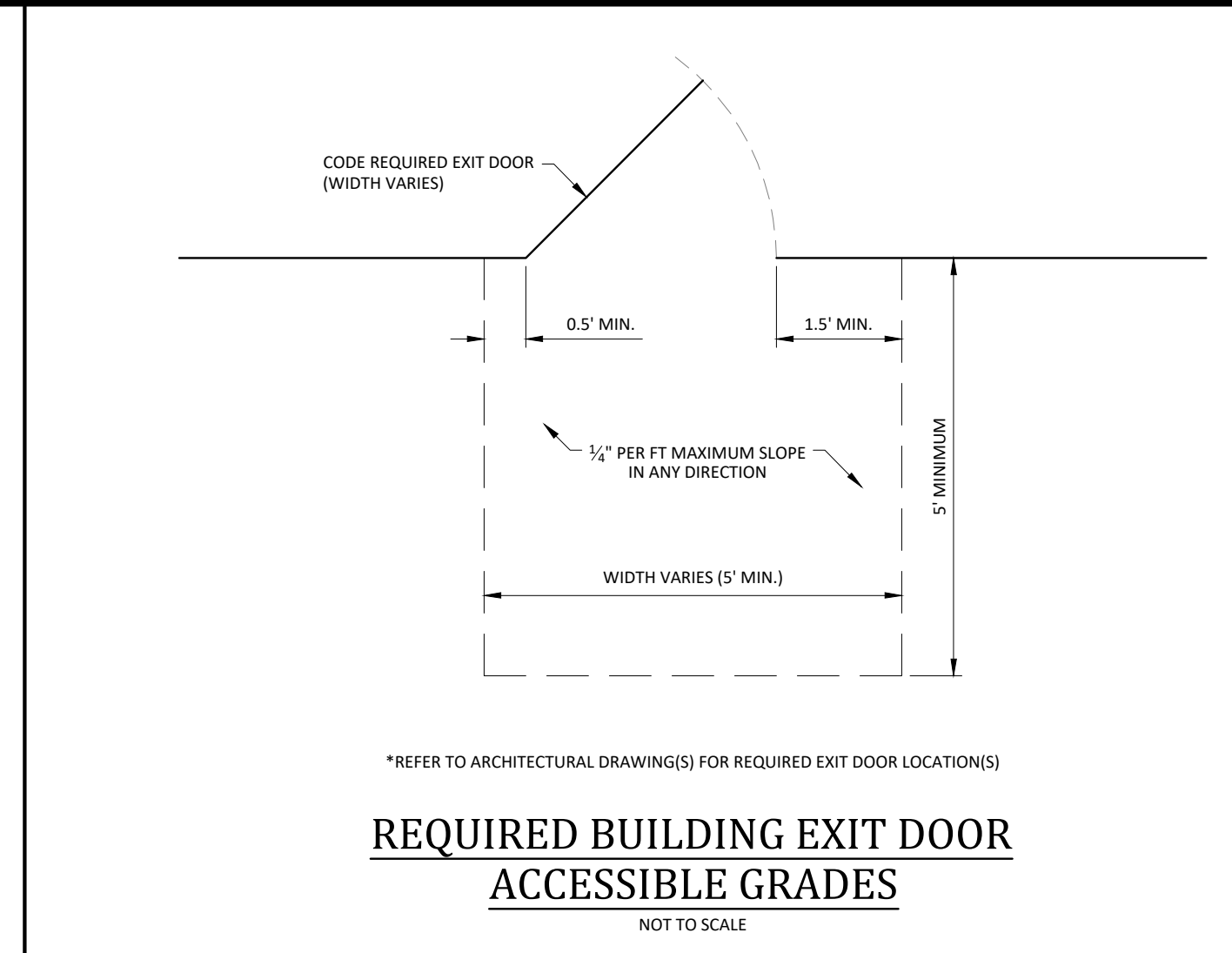
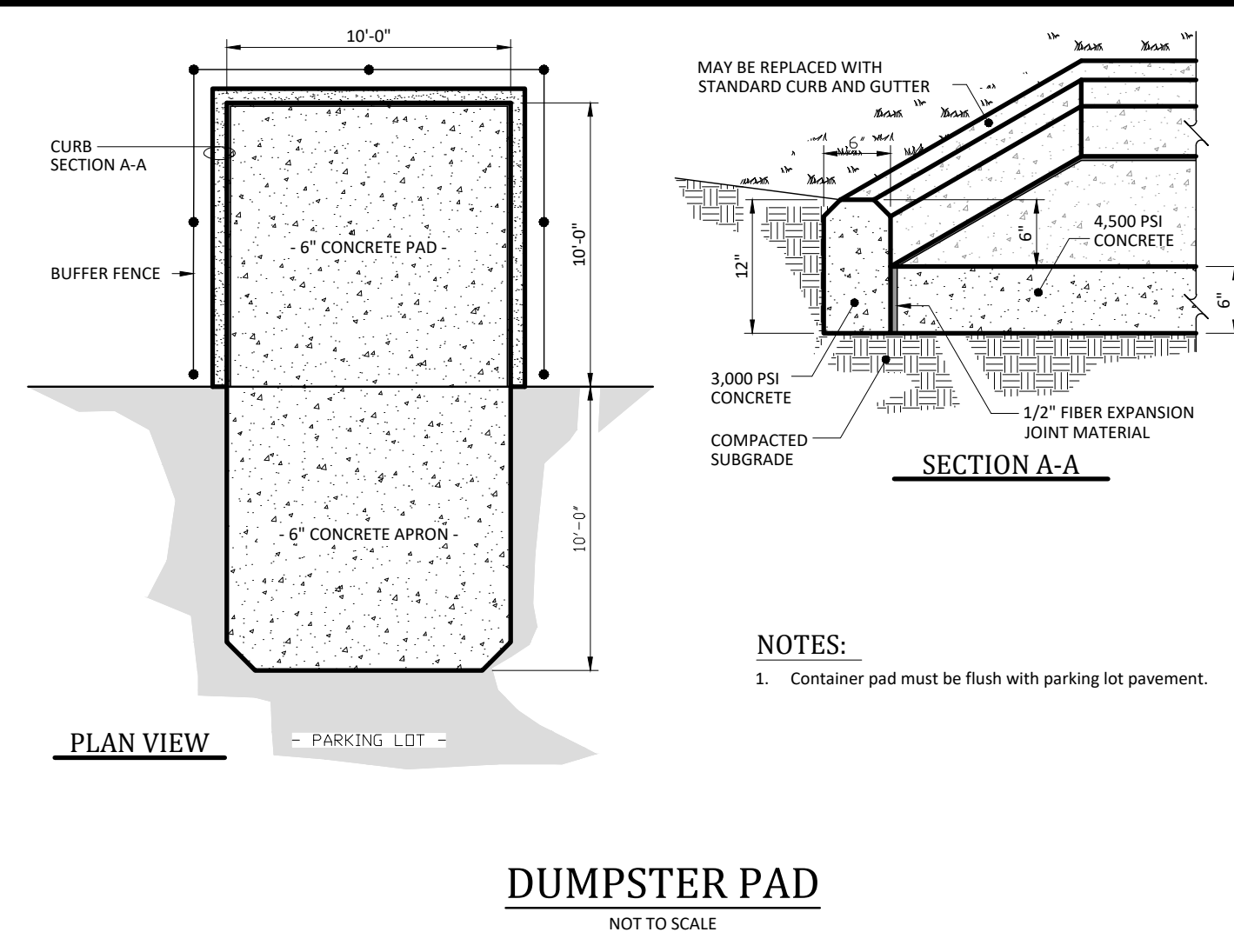
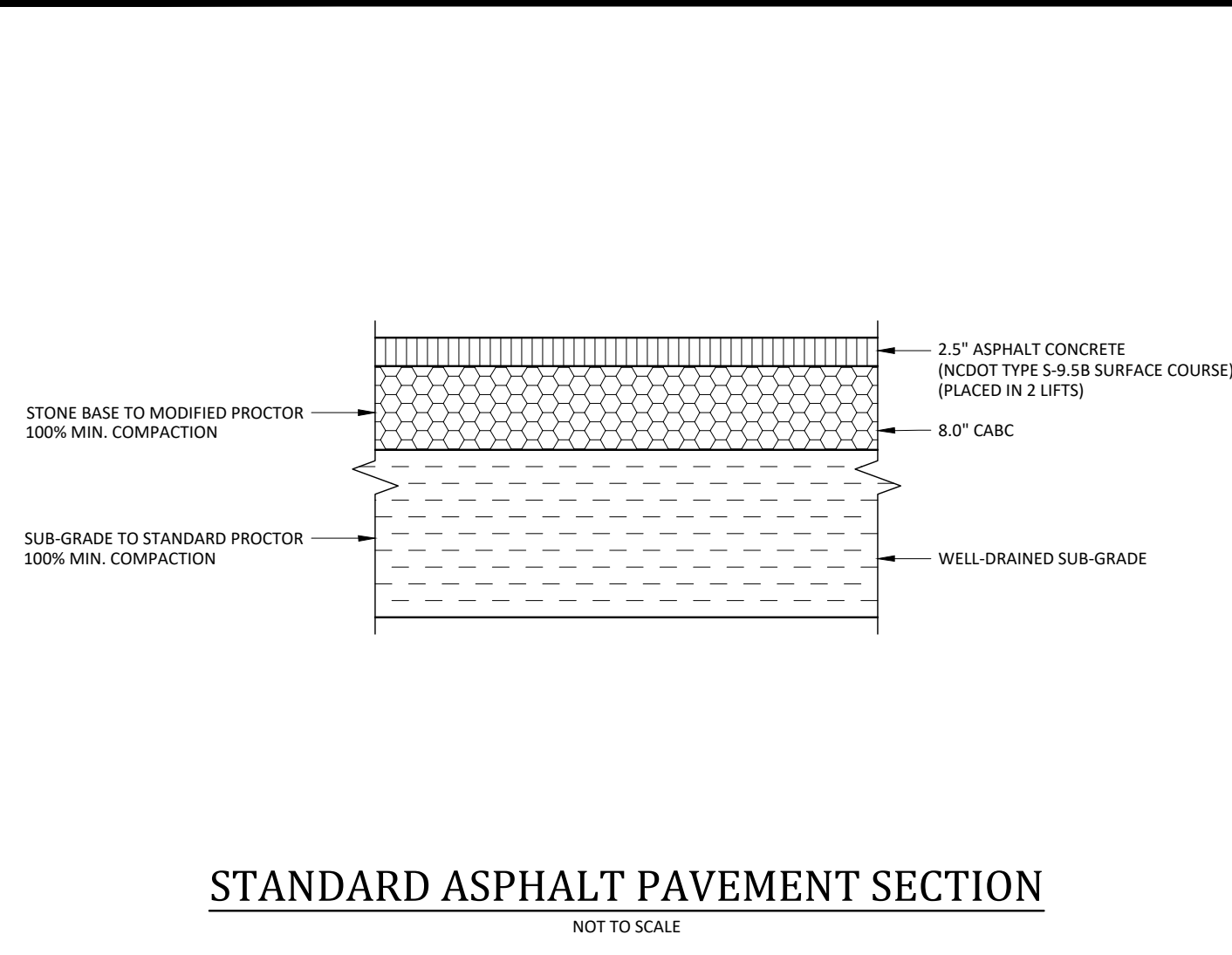
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|------------------|--------|
| Project Manager: | BCF |
| Drawn By: | DLC |
| Checked By: | TGN |
| Project Number: | 24137 |
| Drawing Number: | D-1525 |

C5.0

Date: January 2, 2025



1. 2 JAN 25 INITIAL SUBMITTAL FOR REVIEW
 # DATE DESCRIPTION



REVISIONS:

| # | DATE | DESCRIPTION |
|---|----------|------------------------------|
| 1 | 2/1/2025 | INITIAL SUBMITTAL FOR REVIEW |

MISC. DETAILS

HALL OF FAME CAR WASH
WALLBROOK - LOT 8

Town of Rolesville Project No. SDP 25-01
US 401 Business / S. Main Street & Wall Creek Drive
Wake Forest Township, Town of Rolesville, Wake County, North Carolina

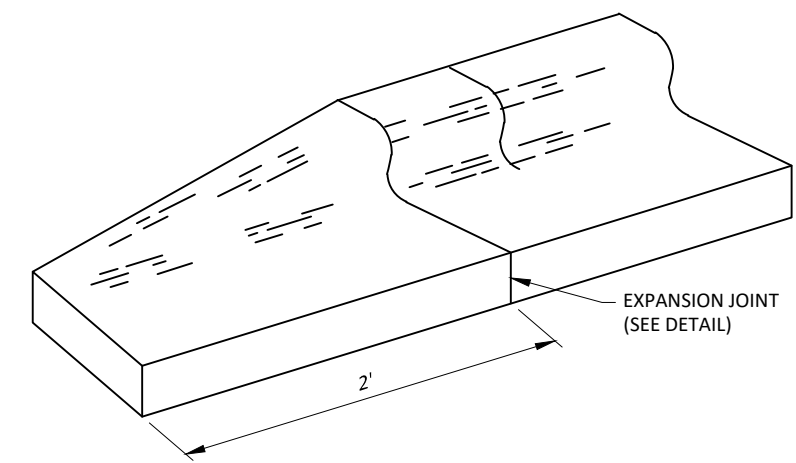
ARK CONSULTING GROUP PLLC
ENGINEERS & SURVEYORS

925-A Cornerstone Drive
Wake Forest, NC 27888
(919) 558-9888
www.arkconsultinggroup.com

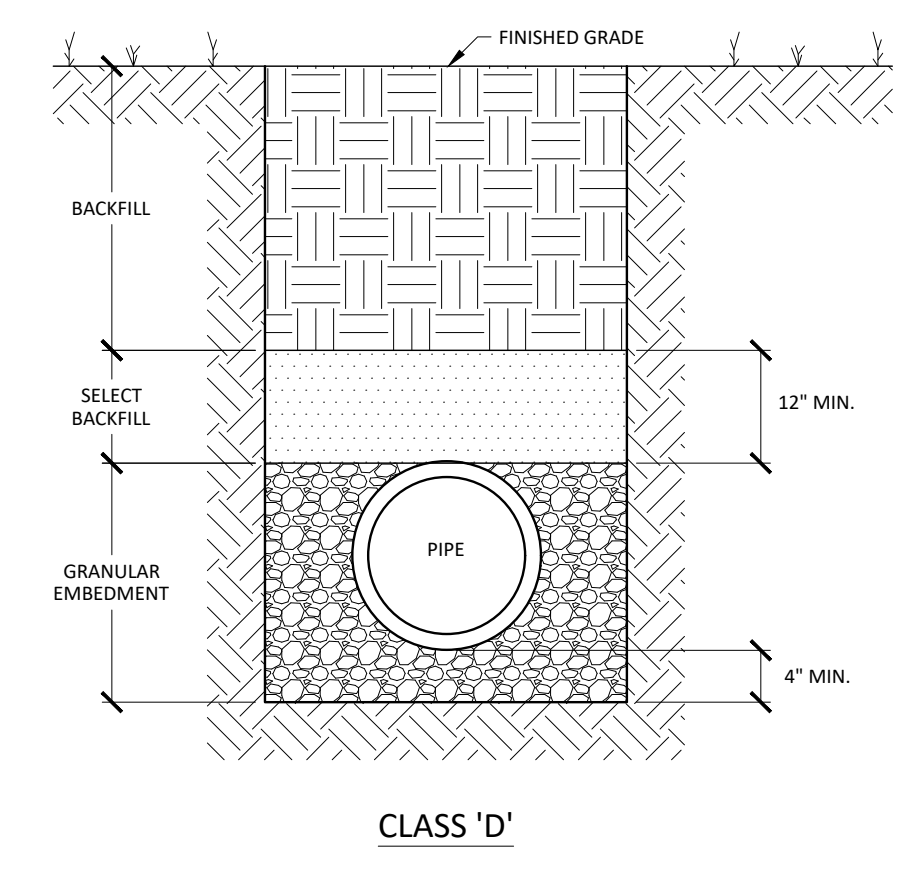
Project Manager: BCF
Drawn By: DLC
Checked By: TGN
Project Number: 24137
Drawing Number: D-1525

C6.1

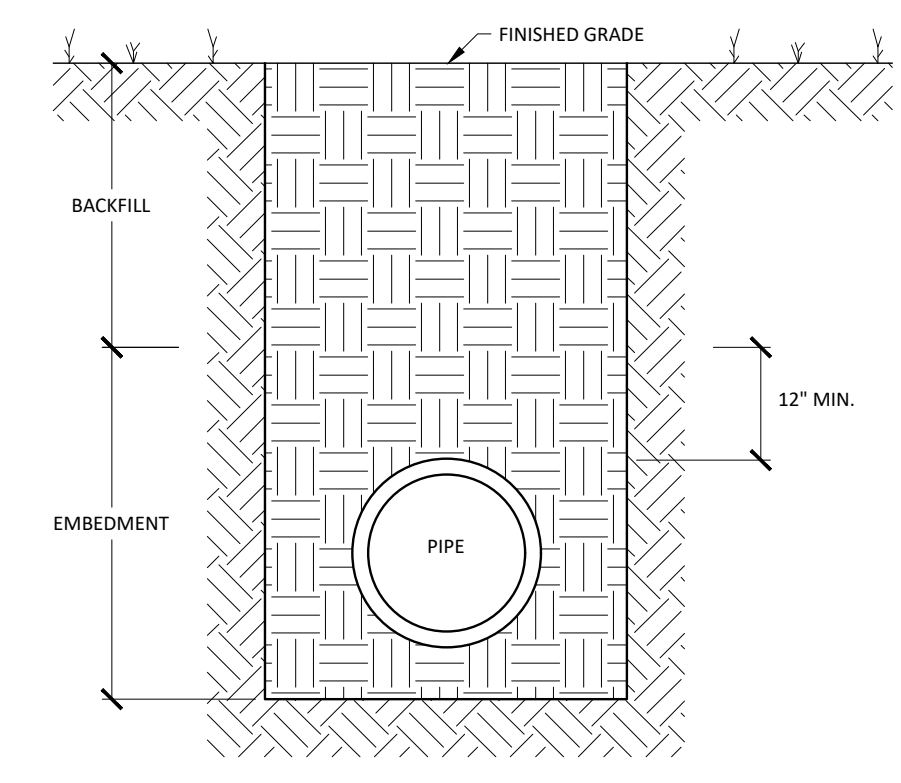
Date: January 2, 2025



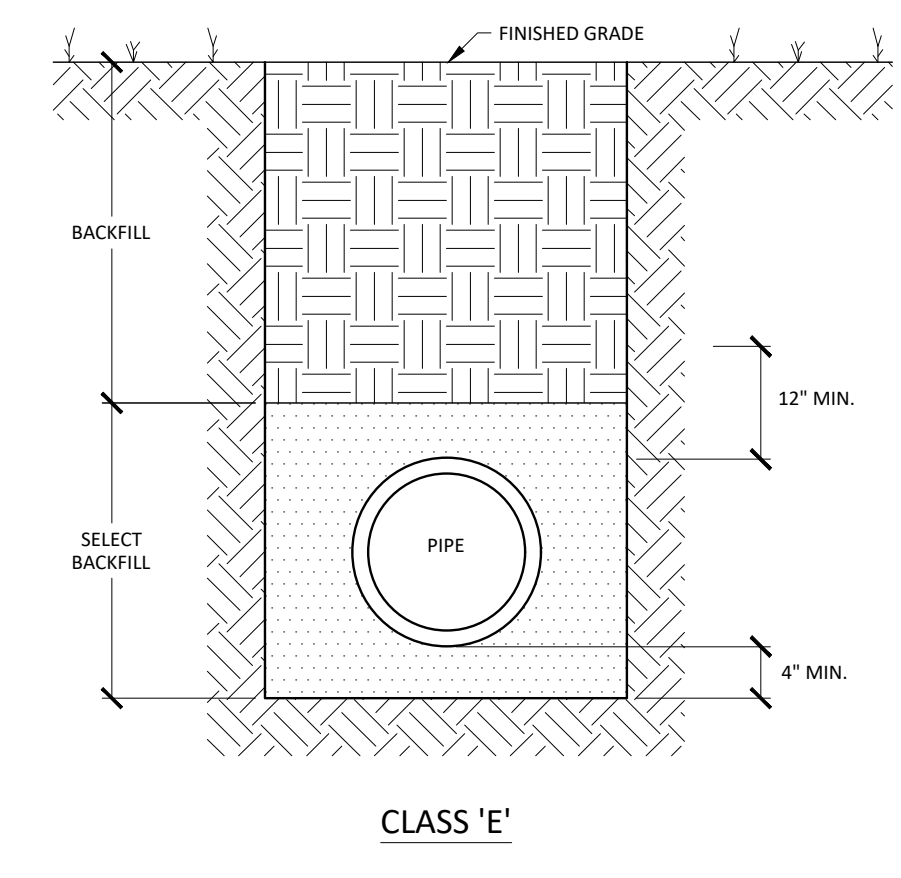
CURB TAPER DETAIL
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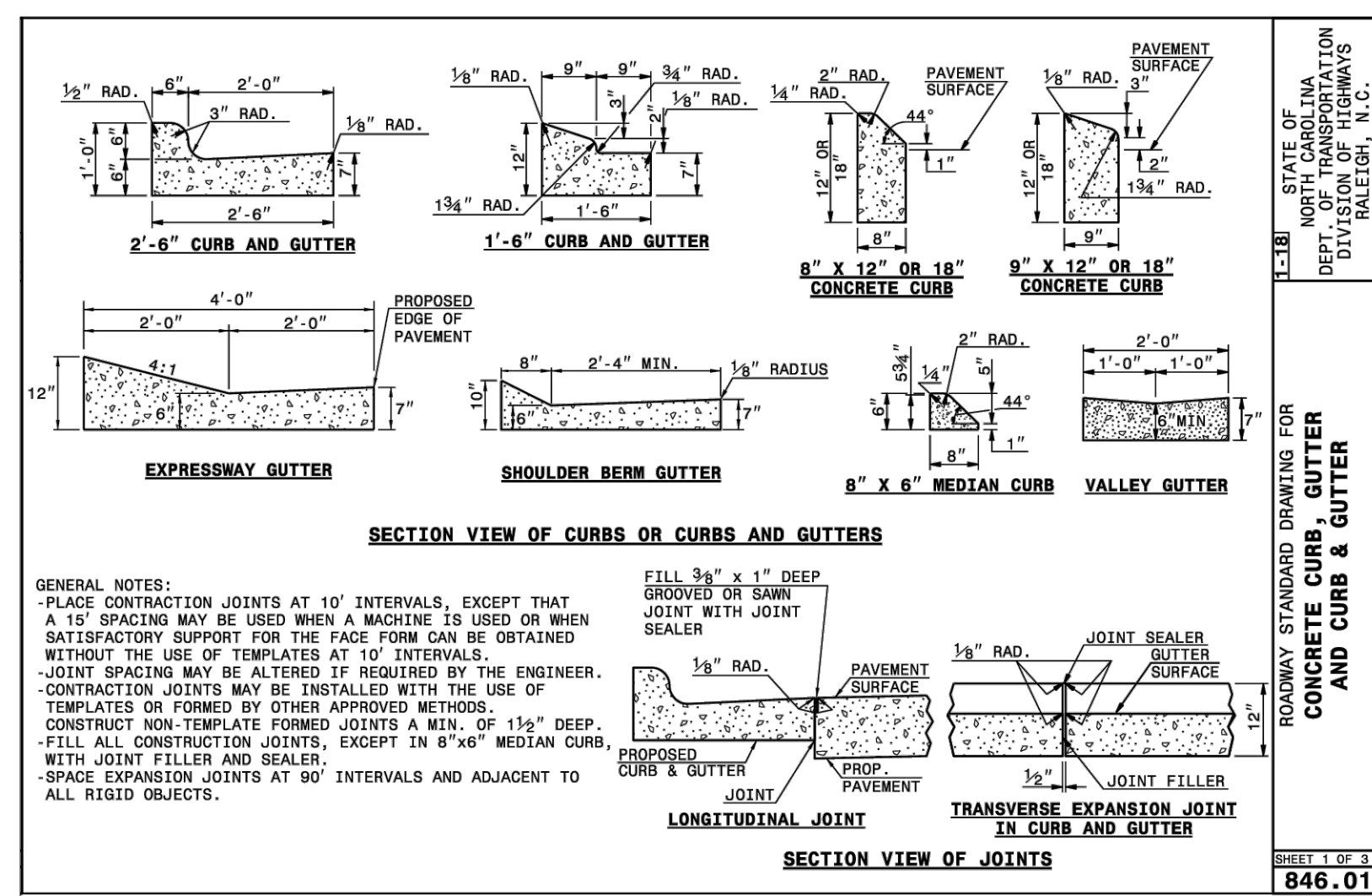
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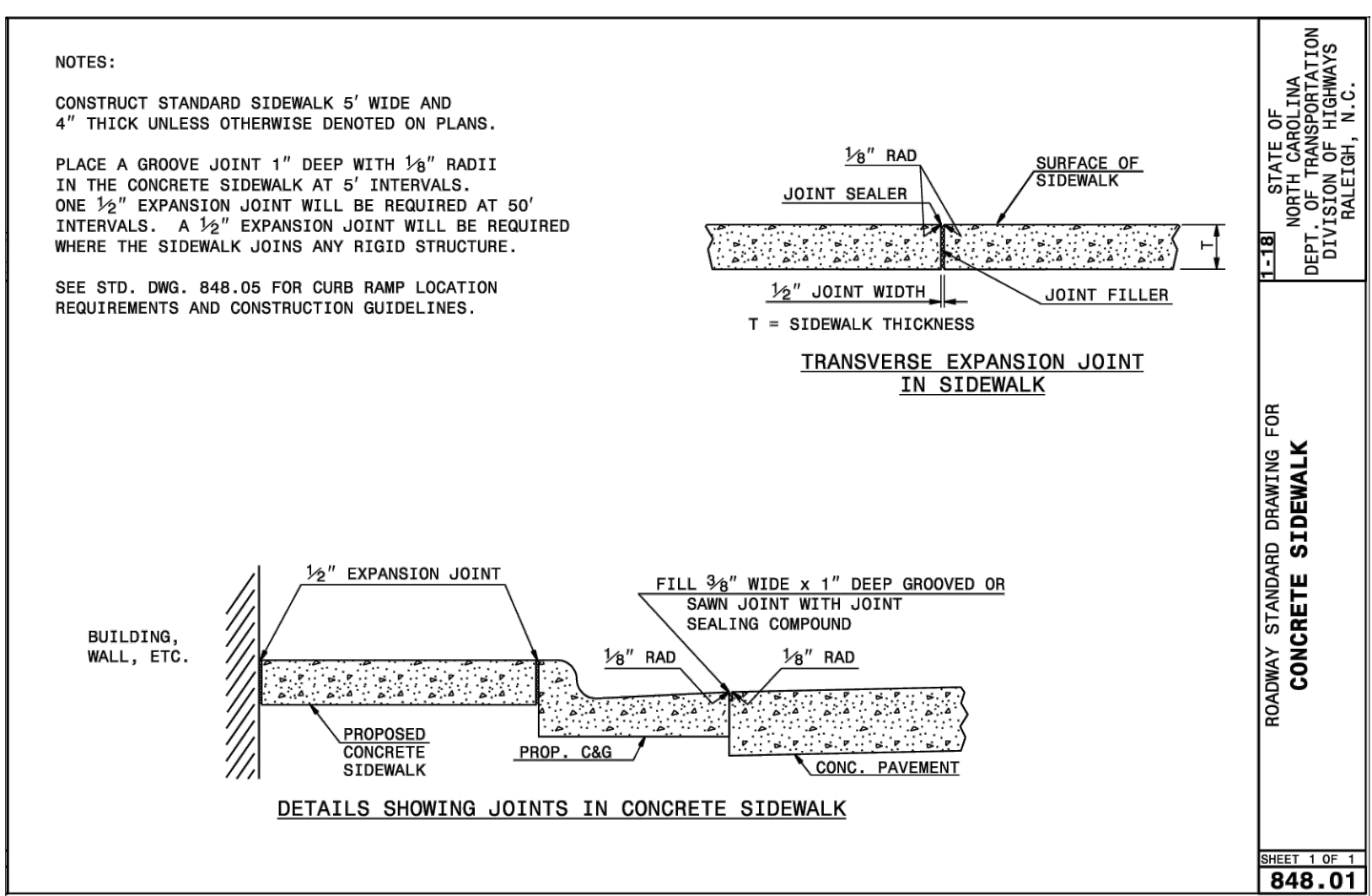
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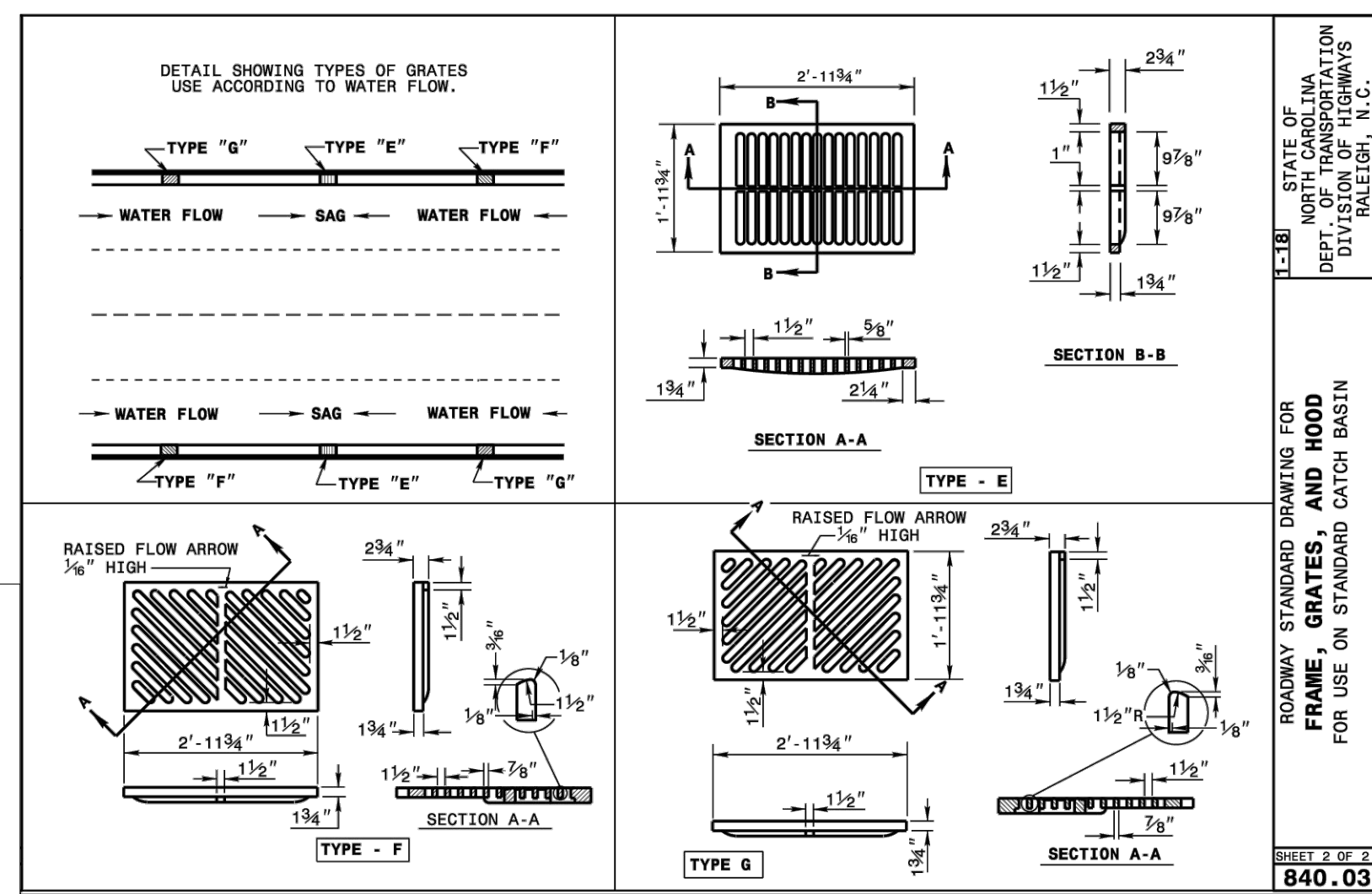
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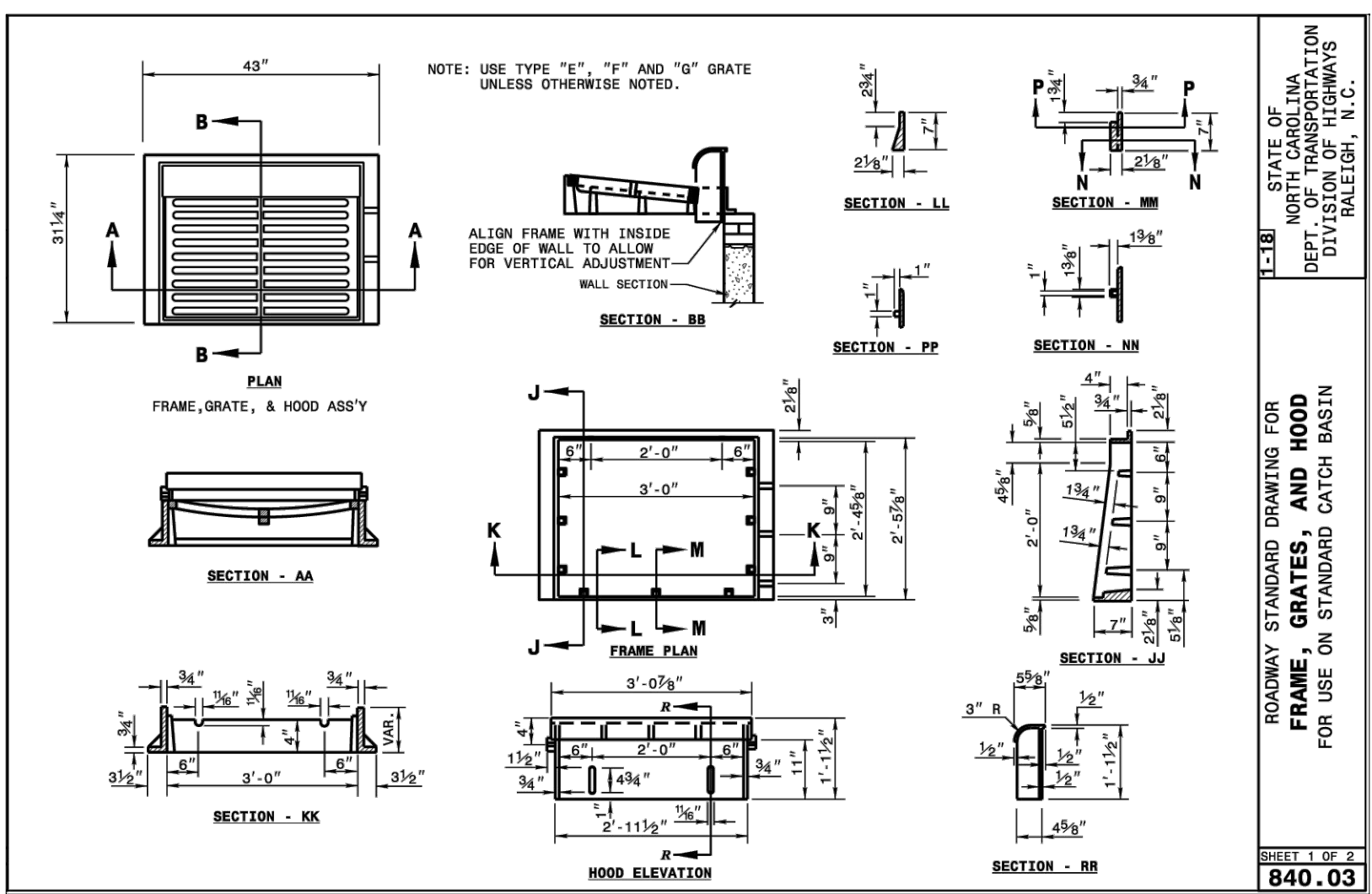
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ROADWAY STANDARD DRAWING FOR CONCRETE CURB, GUTTER AND CURB & GUTTER
SHEET 1 OF 3
846.01



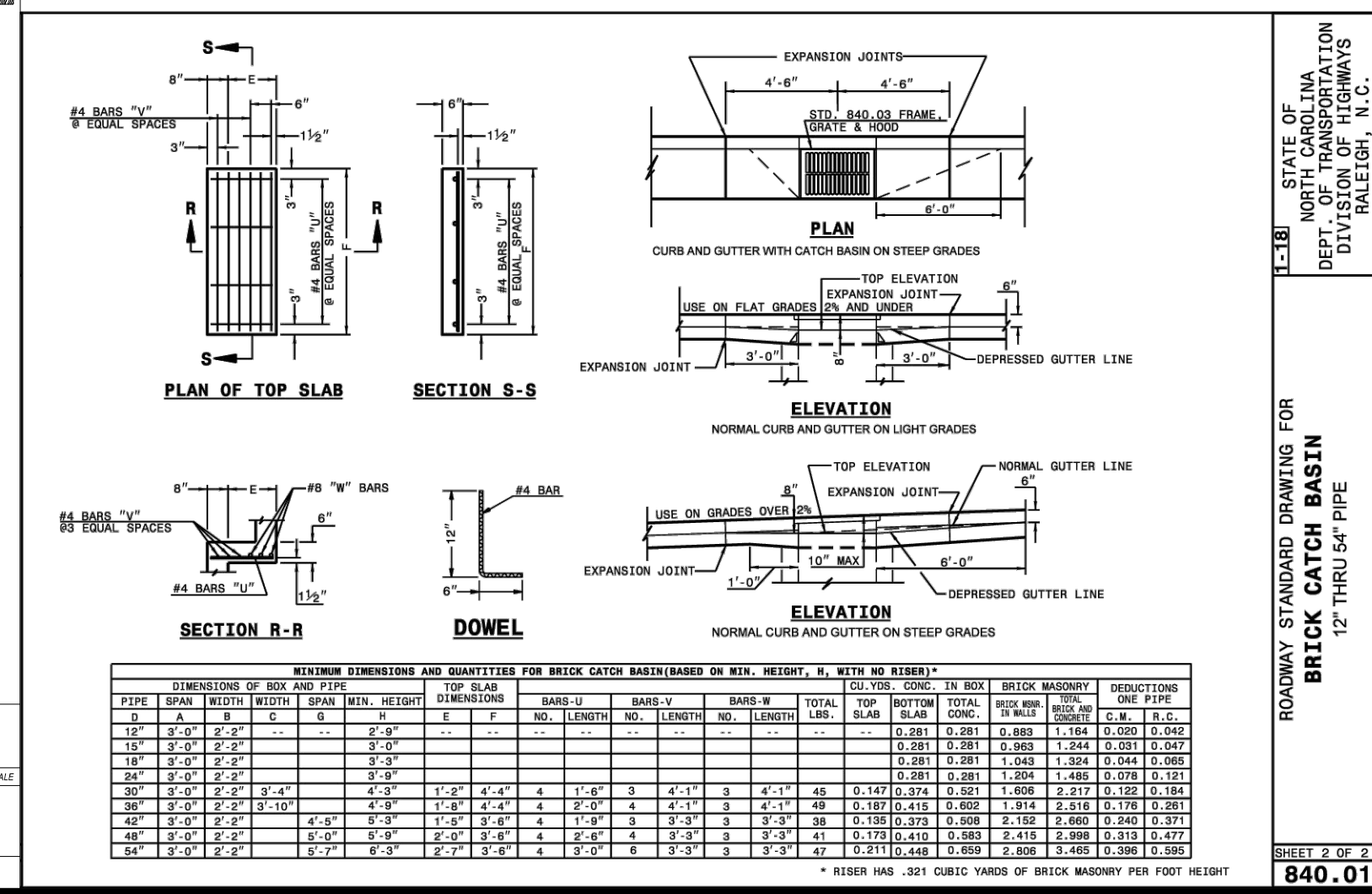
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SHEET 1 OF 1
848.01



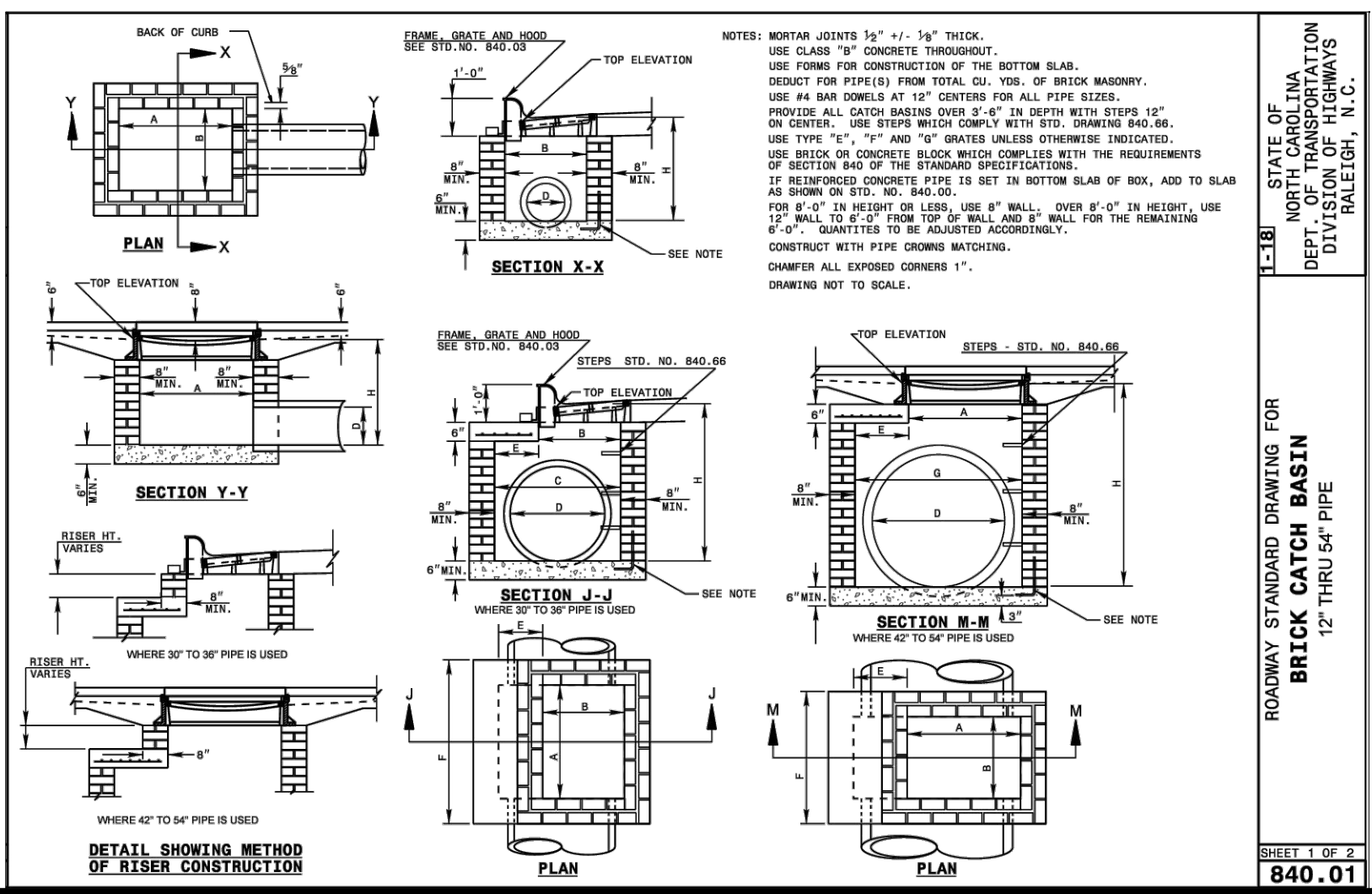
STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.
ROADWAY STANDARD DRAWING FOR FRAME, GRATES, AND HOOD FOR USE ON STANDARD CATCH BASIN
SHEET 2 OF 2
840.03



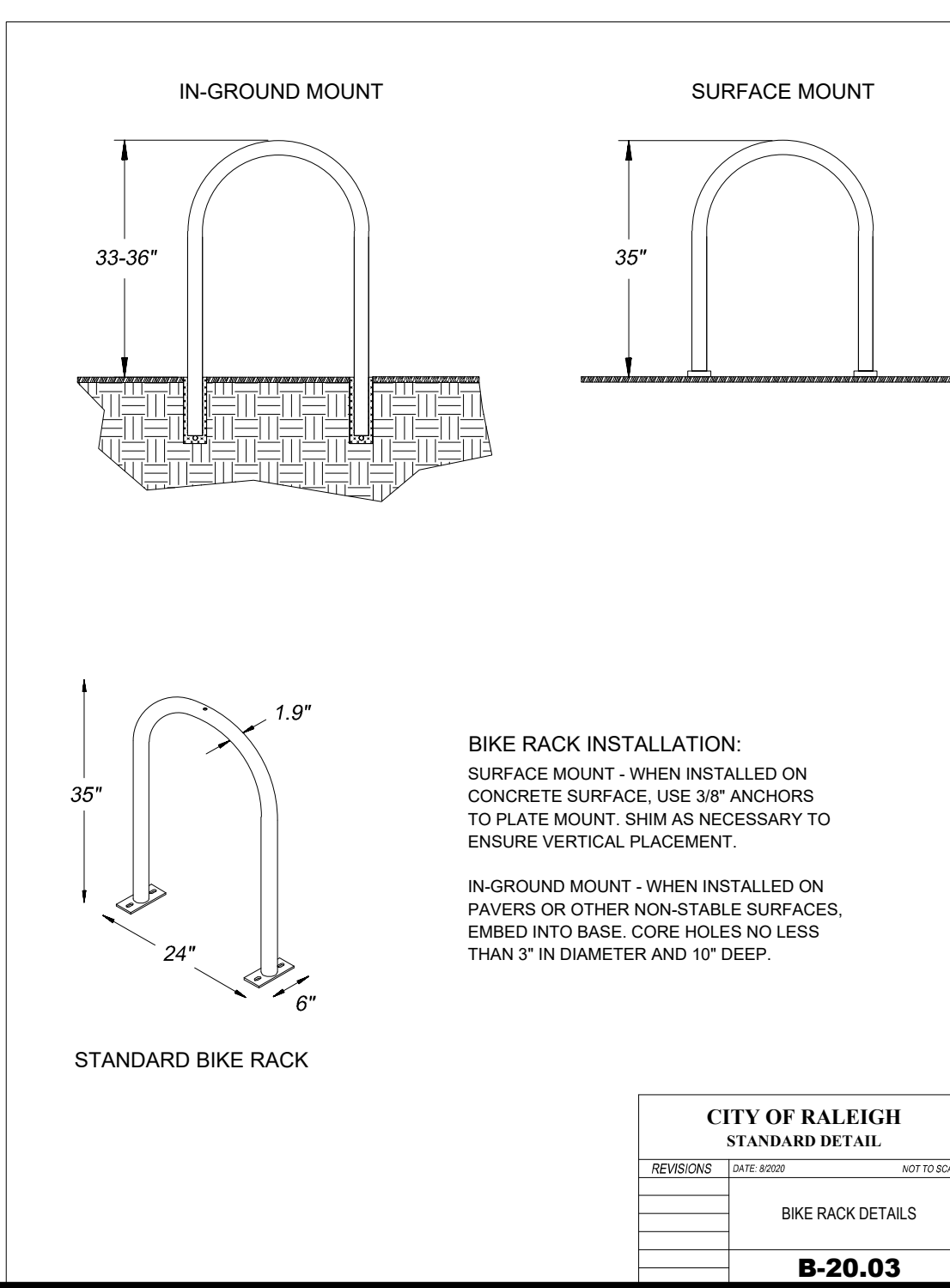
STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.
ROADWAY STANDARD DRAWING FOR FRAME, GRATES, AND HOOD FOR USE ON STANDARD CATCH BASIN
SHEET 1 OF 2
840.03



STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.
ROADWAY STANDARD DRAWING FOR BRICK CATCH BASIN 12" THRU 54" PIPE
SHEET 2 OF 4
840.01



STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.
ROADWAY STANDARD DRAWING FOR BRICK CATCH BASIN 12" THRU 54" PIPE
SHEET 1 OF 4
840.01



CITY OF RALEIGH STANDARD DETAIL
BIKE RACK DETAILS
B-20.03

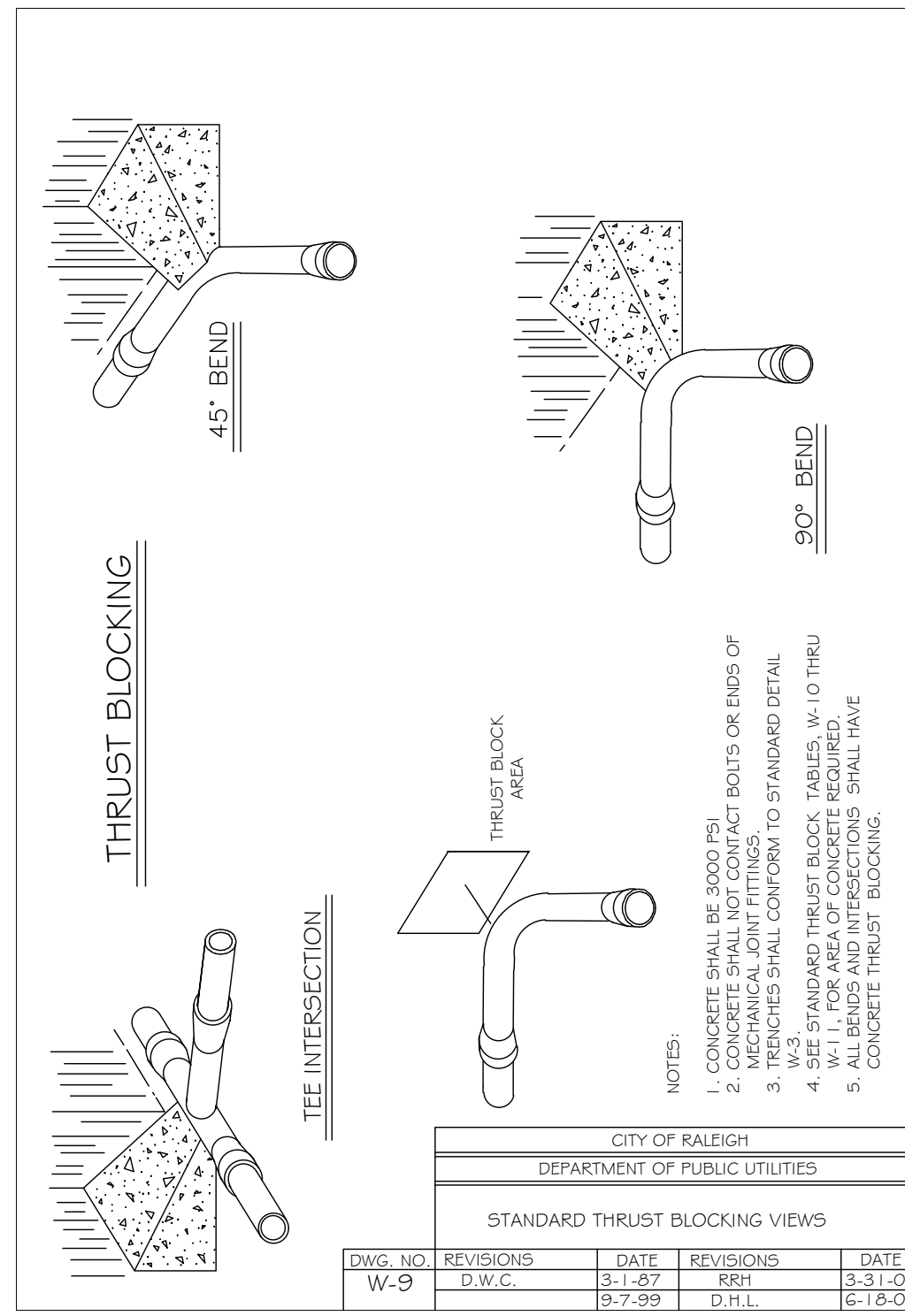
MISC. DETAILS
HALL OF FAME CAR WASH
WALLBROOK - LOT 8
Town of Rolesville Project No. SDP 25-01
US 401 Business / S. Main Street & Wall Creek Drive
Wake Forest Township, Town of Rolesville, Wake County, North Carolina

NC License: P-1129
ARK CONSULTING GROUP PLLC
ENGINEERS & SURVEYORS
935-A Conference Drive
Raleigh, NC 27606
(919) 558-9888
www.arkconsultinggroup.com
Project Manager: BCF
Drawn By: DLC
Checked By: TGN
Project Number: 24137
Drawing Number: D-1525
C6.2
Date: January 2, 2025

REVISIONS:
1. 2/2/25 INITIAL SUBMITTAL FOR REVIEW
DATE DESCRIPTION

SITE PERMITTING APPROVAL

Water and Sewer Permits (if applicable)
 The City of Raleigh consents to the connection and extension of the City's Public Sewer System as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # S-
 The City of Raleigh consents to the connection and extension of the City's Public Water System as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # W-
 The City of Raleigh consents to the connection to its public sewer system and extensions of the private sewer collection system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # S-
 CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION
 Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State or Federal Law. All construction must be in accordance with all Local, State, and Federal Rules and Regulations.
 Electronic Approval: This approval is being issued electronically. This approval is valid only upon the signature of a City of Raleigh Review Officer below. The City will retain a copy of the approved plans. Any work authorized by this approval must proceed in accordance with the plans kept on file with the City. This electronic approval may not be edited once issued. Any modification to this approval once issued will invalidate this approval.
 City of Raleigh Development Approval City of Raleigh Review Officer



REACTION BEARING AREAS FOR HORIZONTAL WATER PIPE BENDS BASED ON TEST PRESSURE OF 200 P.S.I.

ALL AREAS GIVEN IN SQUARE FEET

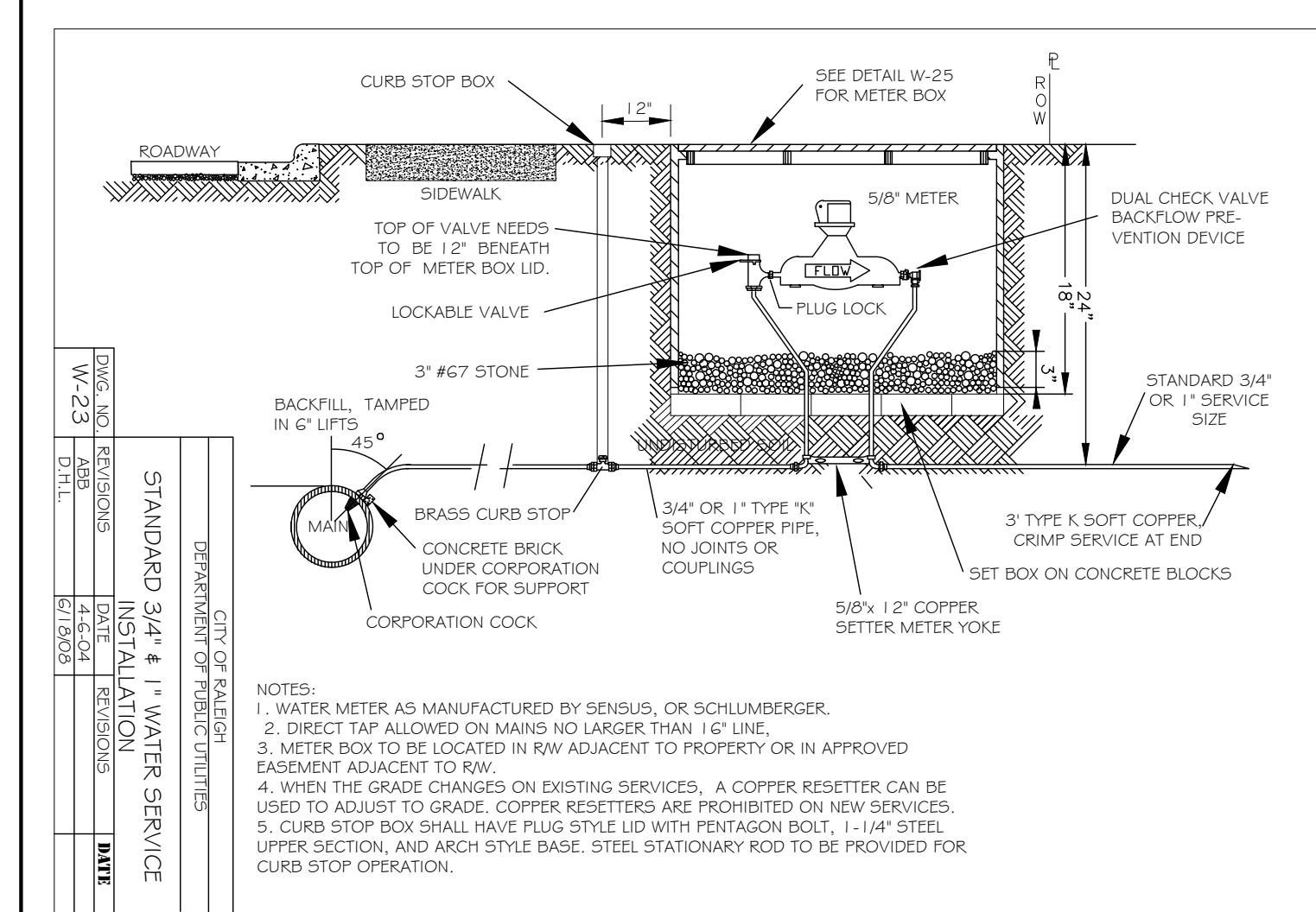
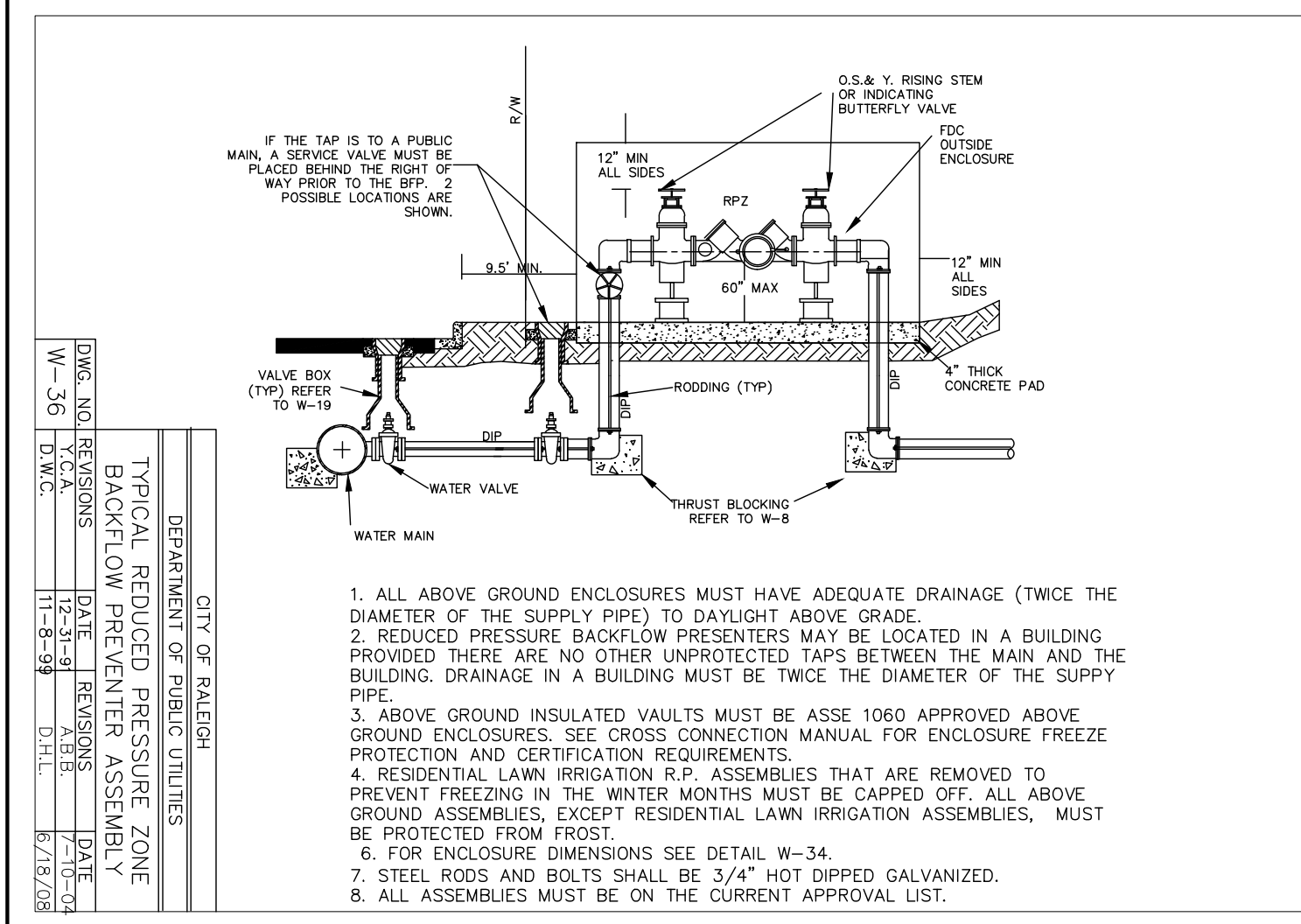
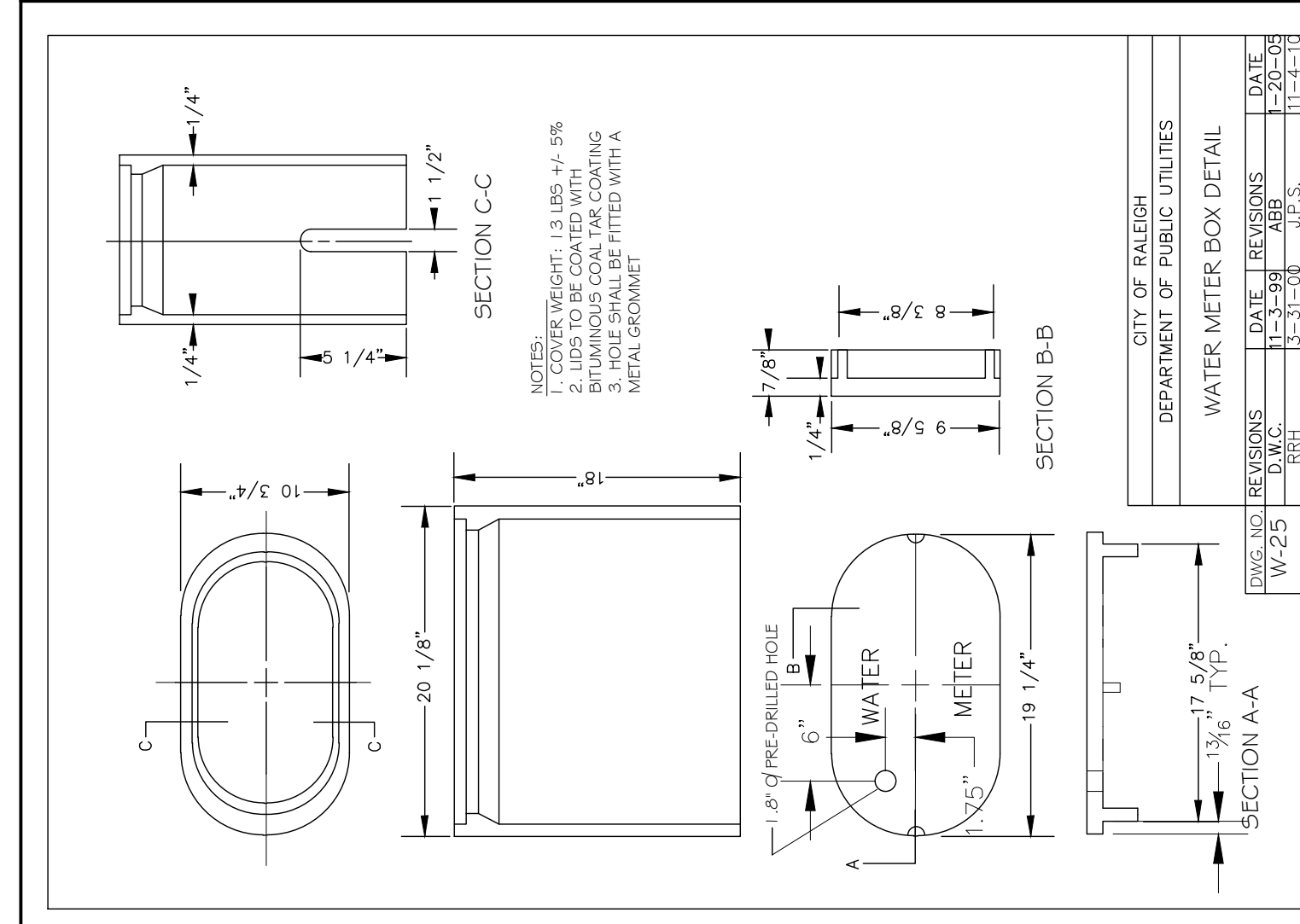
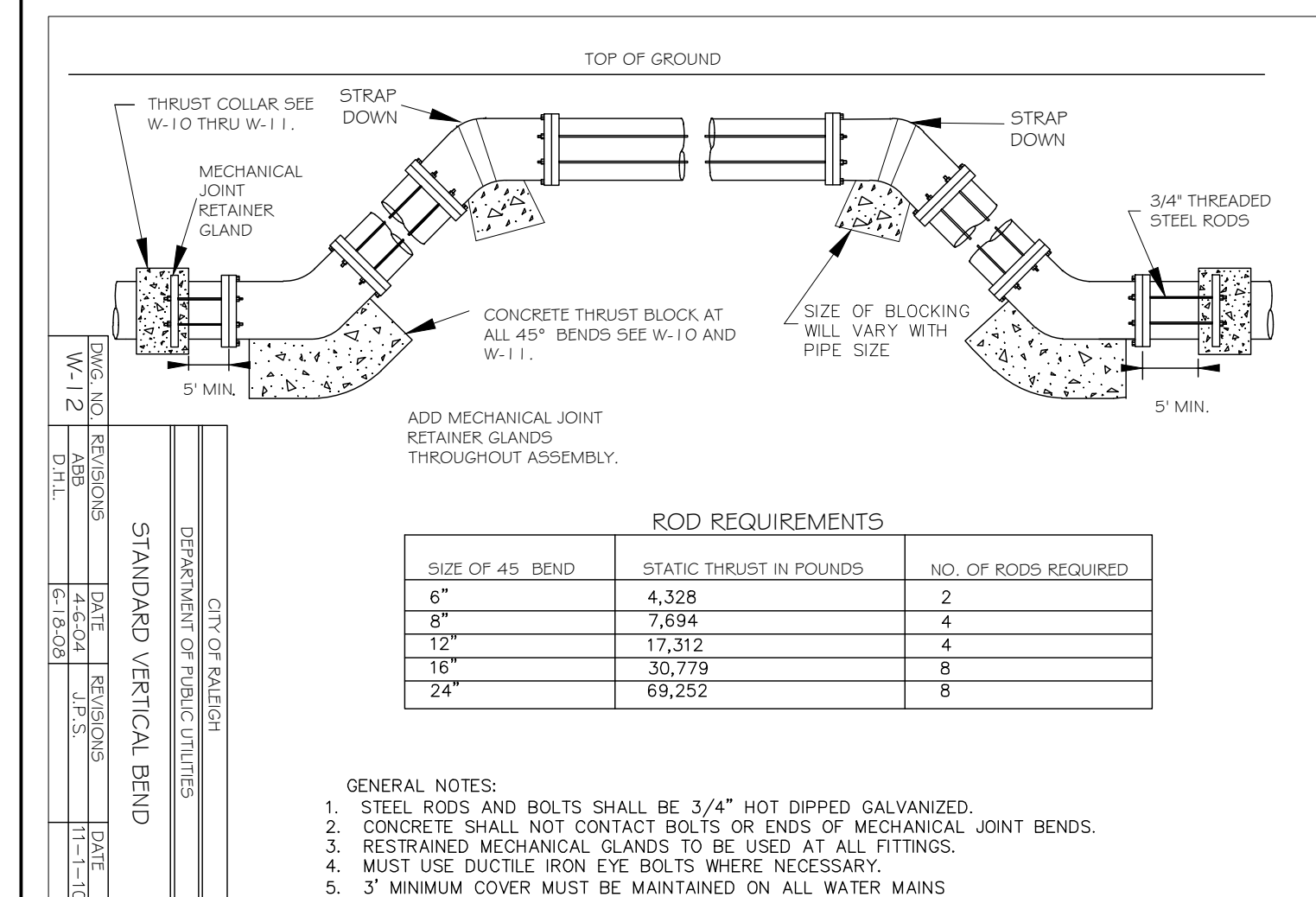
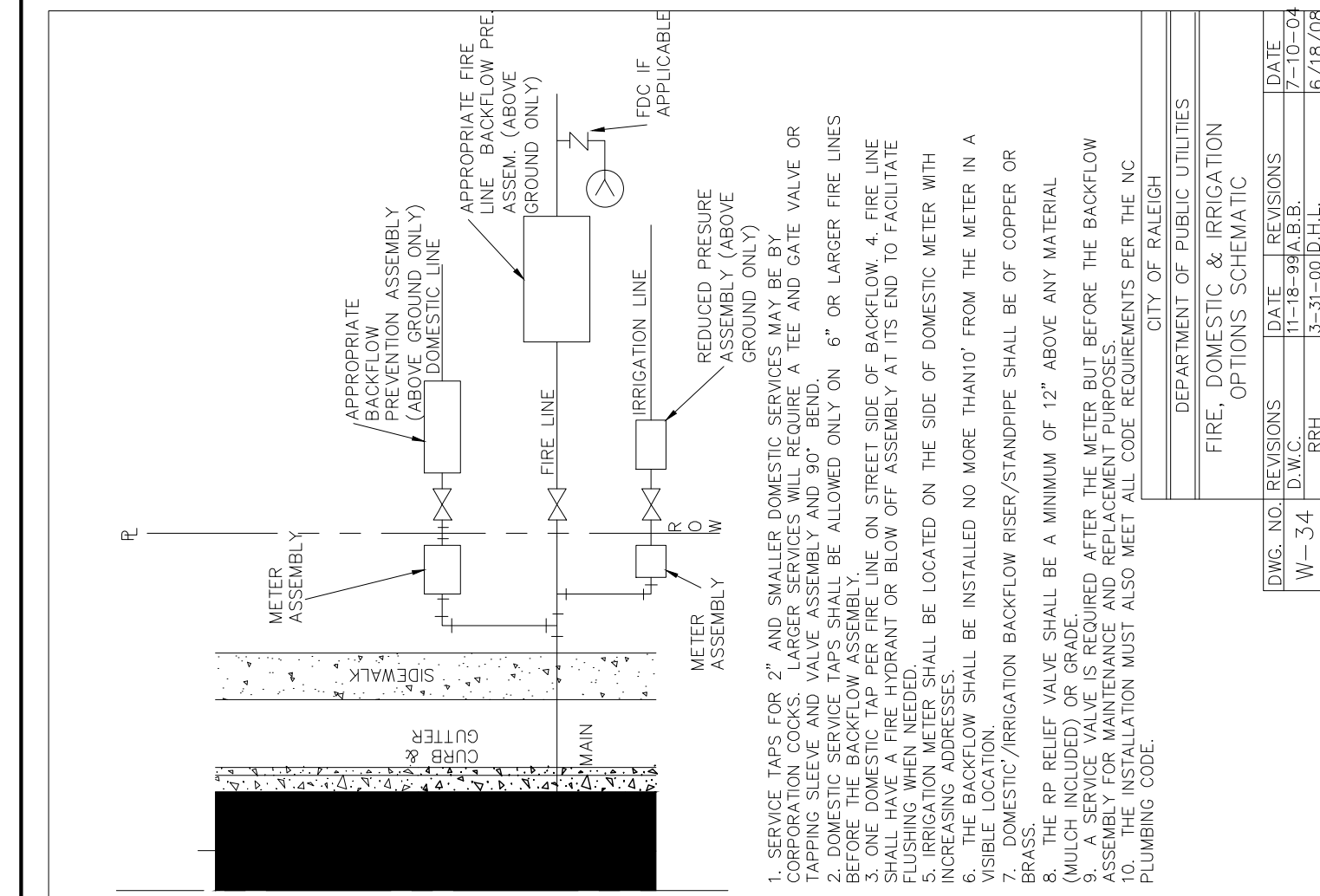
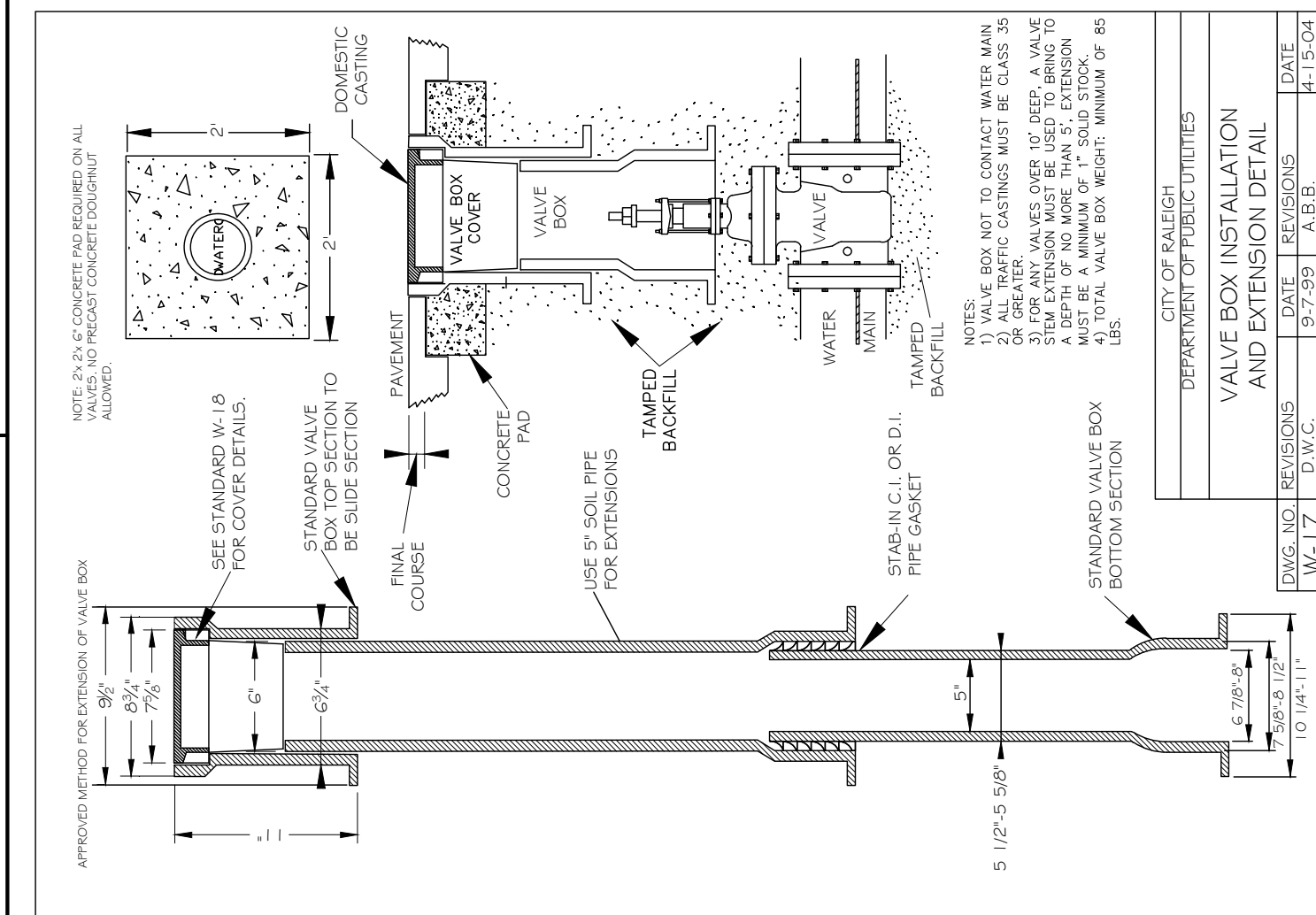
| SIZE BEND DEGREE OF | STATIC THRUST IN POUNDS | PROPERLY REINFORCED CONCRETE (MIN. 3000 PSI) | SET-DAY CONCRETE (2000 PSI) 1/2" REINFORCING | CONCRETE (3000 PSI) 1/2" REINFORCING | 3/4" DIA. GALVANIZED STEEL RODS | 3/4" DIA. GALVANIZED STEEL RODS | 3/4" DIA. GALVANIZED STEEL RODS | 3/4" DIA. GALVANIZED STEEL RODS |
|---------------------|-------------------------|----------------------------------------------|----------------------------------------------|--------------------------------------|---------------------------------|---------------------------------|---------------------------------|---------------------------------|
| 6" | | | | | | | | |
| 11 1/4' | 1,108 | 1 | 1 | 1 | 1 | 1 | 2 | 1 |
| 22 1/2' | 2,207 | 1 | 2 | 2 | 1 | 1 | 3 | 1 |
| 45' | 4,328 | 2 | 3 | 3 | 1 | 1 | 2 | 5 |
| 90' | 7,996 | 2 | 4 | 5 | 1 | 1 | 2 | 8 |
| PLUG | 5,655 | 2 | 3 | 4 | 1 | 1 | 2 | 6 |
| 8" | | | | | | | | |
| 11 1/4' | 1,970 | 1 | 1 | 2 | 1 | 1 | 1 | 2 |
| 22 1/2' | 3,922 | 1 | 2 | 3 | 1 | 1 | 1 | 4 |
| 45' | 7,694 | 2 | 4 | 5 | 1 | 1 | 2 | 8 |
| 90' | 14,215 | 4 | 8 | 9 | 2 | 2 | 4 | 15 |
| PLUG | 10,053 | 3 | 5 | 6 | 2 | 2 | 3 | 10 |
| 12" | | | | | | | | |
| 11 1/4' | 4,433 | 2 | 3 | 3 | 1 | 1 | 2 | 5 |
| 22 1/2' | 8,826 | 3 | 5 | 6 | 2 | 2 | 3 | 9 |
| 45' | 17,312 | 5 | 9 | 11 | 3 | 3 | 5 | 18 |
| 90' | 31,983 | 8 | 16 | 19 | 4 | 4 | 8 | 32 |
| PLUG | 22,619 | 6 | 12 | 14 | 3 | 3 | 6 | 23 |
| 16" | | | | | | | | |
| 11 1/4' | 7,881 | 2 | 4 | 5 | 1 | 1 | 2 | 8 |
| 22 1/2' | 15,691 | 4 | 8 | 10 | 2 | 2 | 4 | 16 |
| 45' | 30,779 | 8 | 16 | 19 | 4 | 4 | 8 | 31 |
| 90' | 56,861 | 15 | 29 | 35 | 8 | 8 | 15 | 57 |
| PLUG | 40,213 | 10 | 21 | 25 | 5 | 5 | 10 | 41 |

REACTION BEARING AREAS ARE IN SQUARE FEET MEASURED IN A VERTICAL PLANE IN THE TRENCH SIDE AT AN ANGLE OF 90° TO THE THRUST VECTOR.

USE 6" - 90 BEND VALUE FOR HYDRANTS FOR ADDITIONAL SAFETY FACTOR.

CITY OF RALEIGH
 DEPARTMENT OF PUBLIC UTILITIES
 THRUST BLOCKING DESIGN QUANTITY TABLE

| DWG. NO. | REVISIONS | DATE | REVISIONS | DATE |
|----------|-----------|---------|-----------|------|
| W-10 | D.W.C. | 6-23-99 | | |



REVISIONS:

| # | DATE | DESCRIPTION |
|---|----------|------------------------------|
| 1 | 2/JAN/25 | INITIAL SUBMITTAL FOR REVIEW |

MISC. DETAILS

HALL OF FAME CAR WASH
 WALLBROOK - LOT 8
 Town of Rolesville Project No. SDP 25-01
 US 401 Business / S. Main Street & Wall Creek Drive
 Wake Forest Township, Town of Rolesville, Wake County, North Carolina

NC License: P-1129

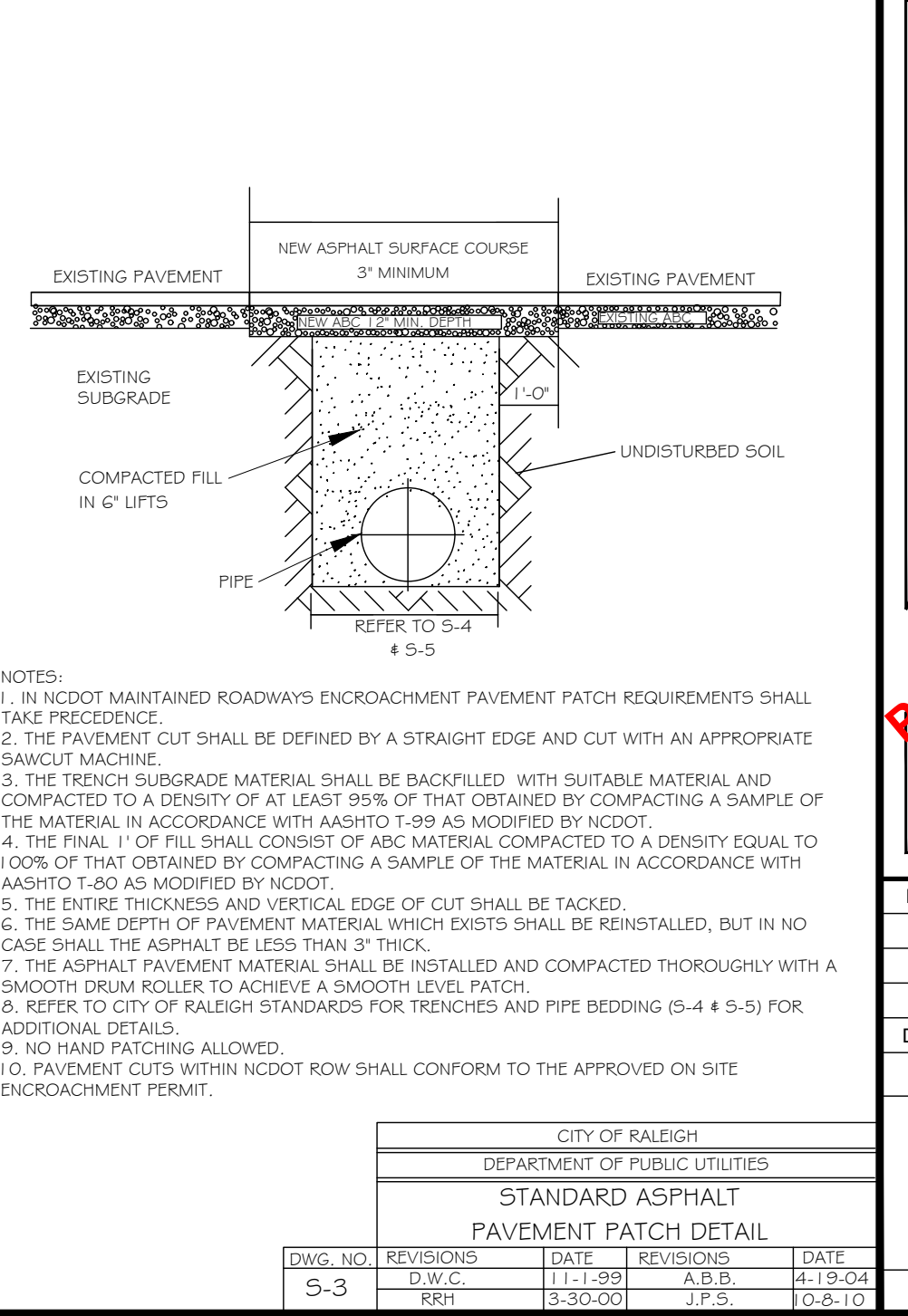
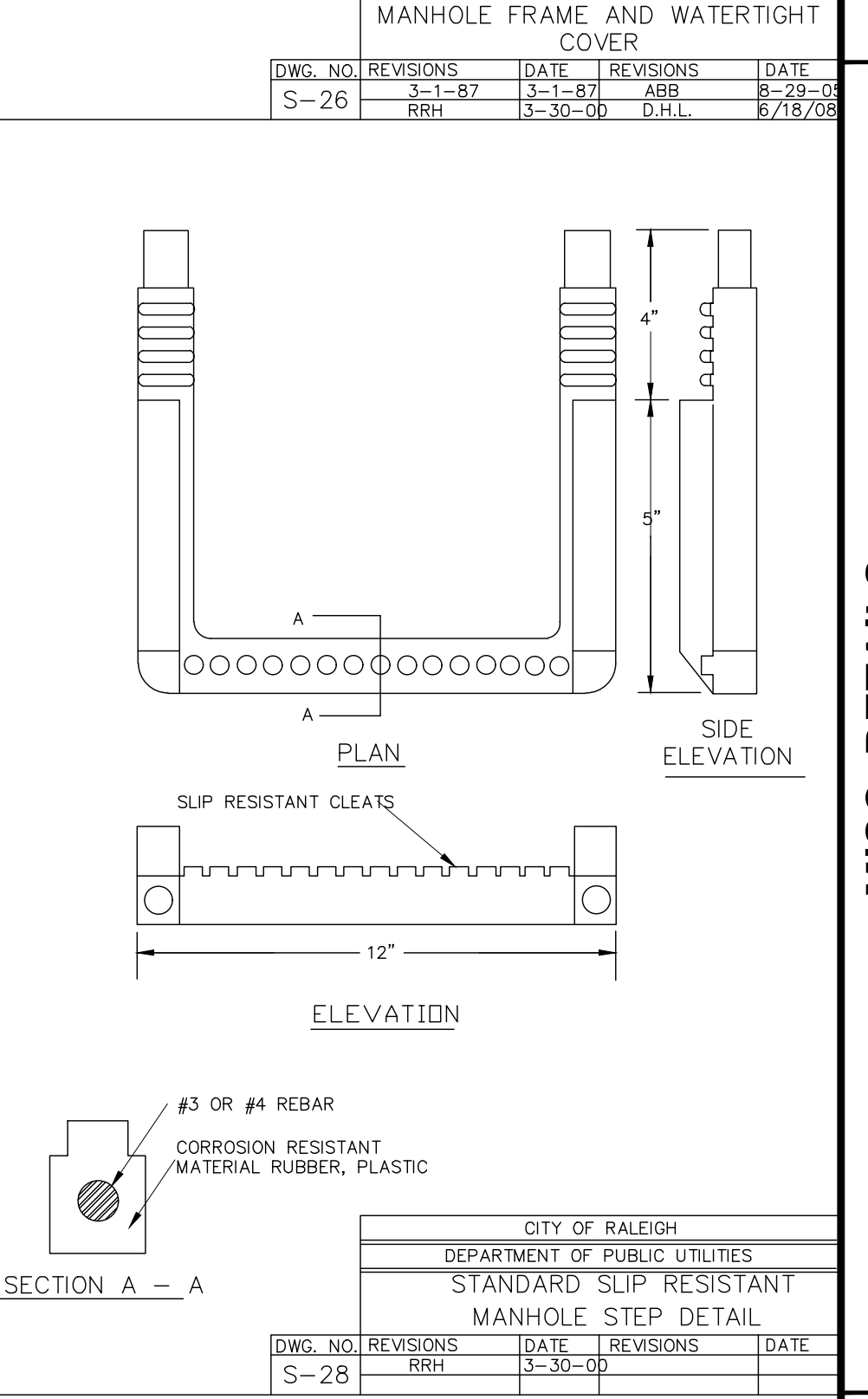
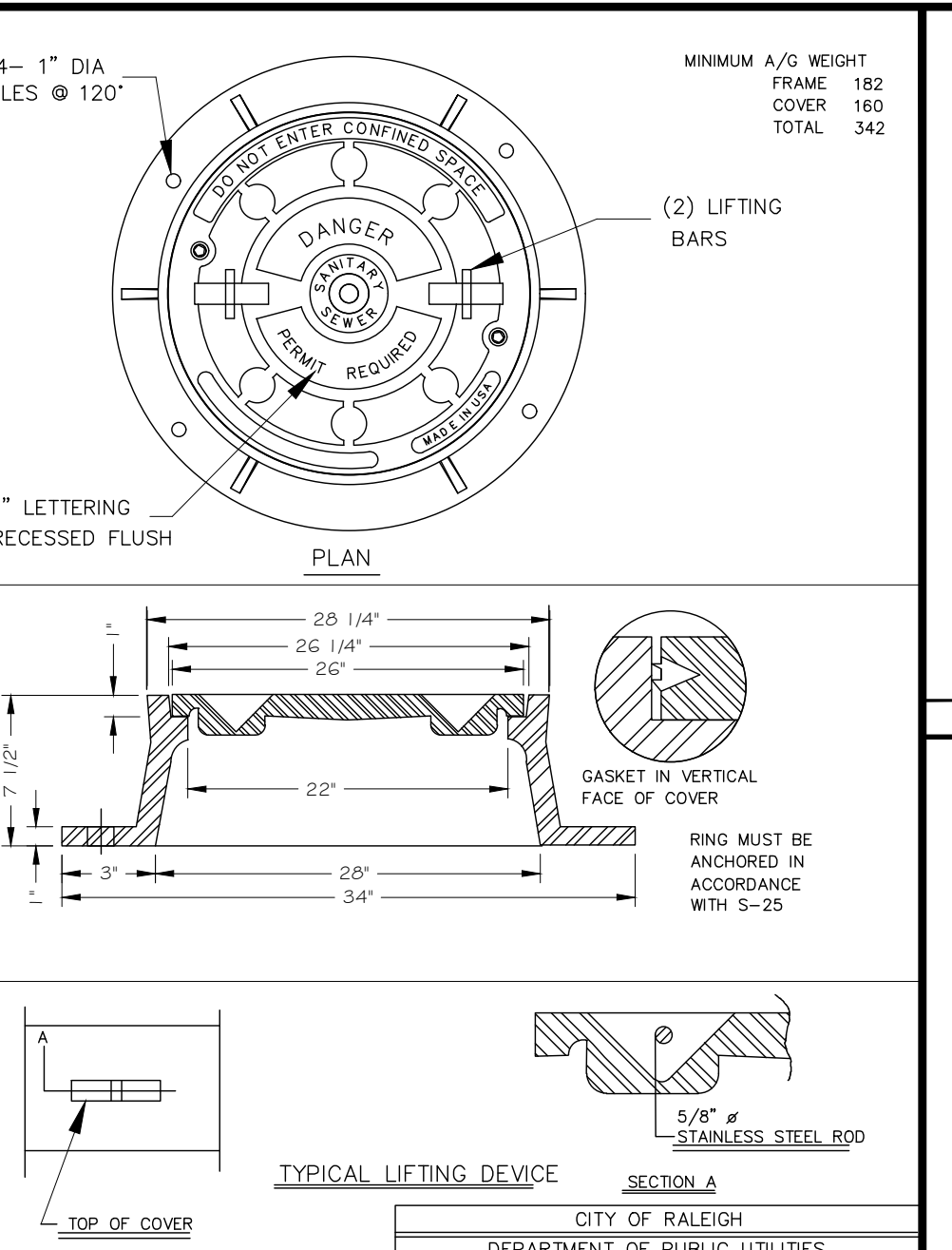
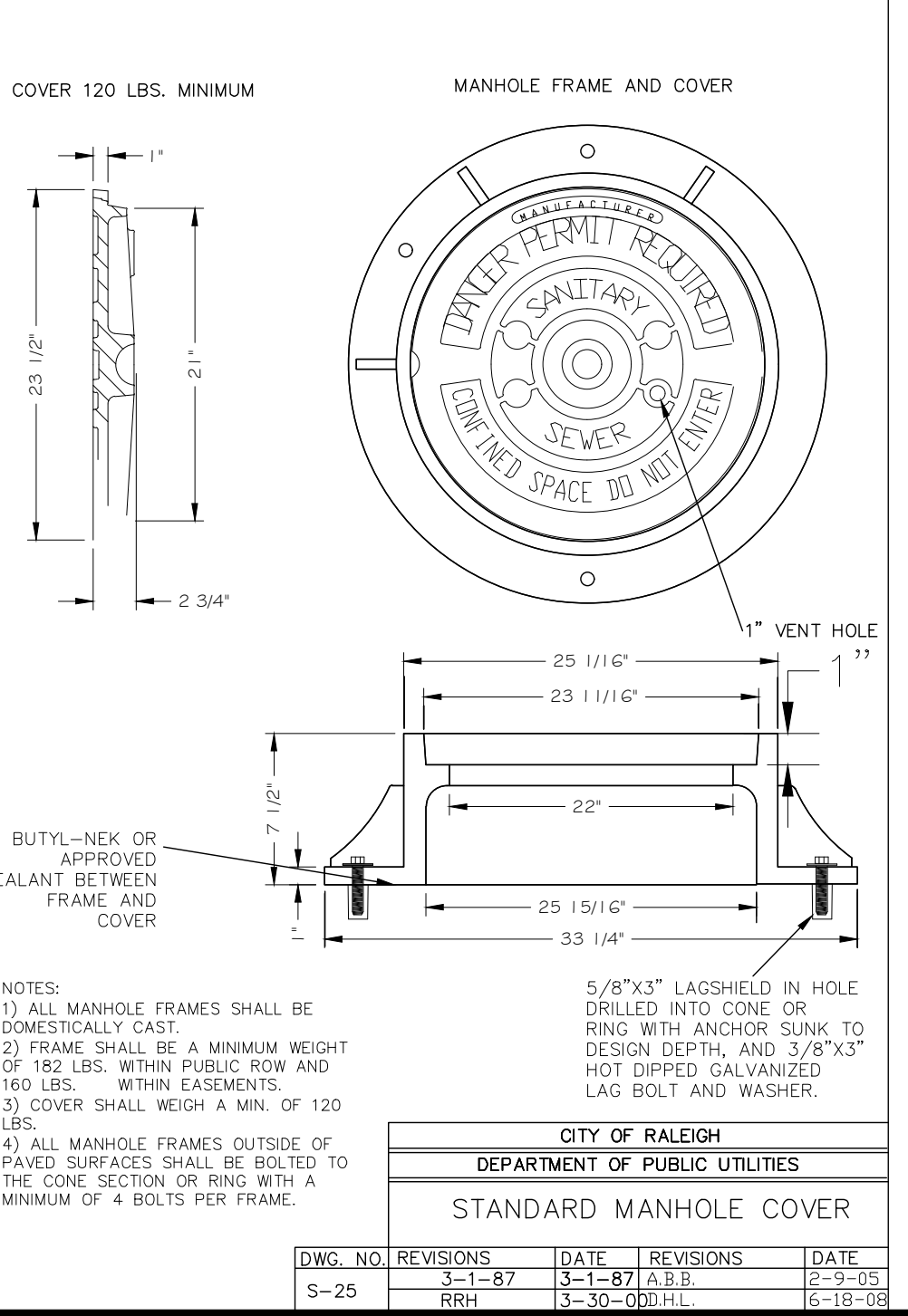
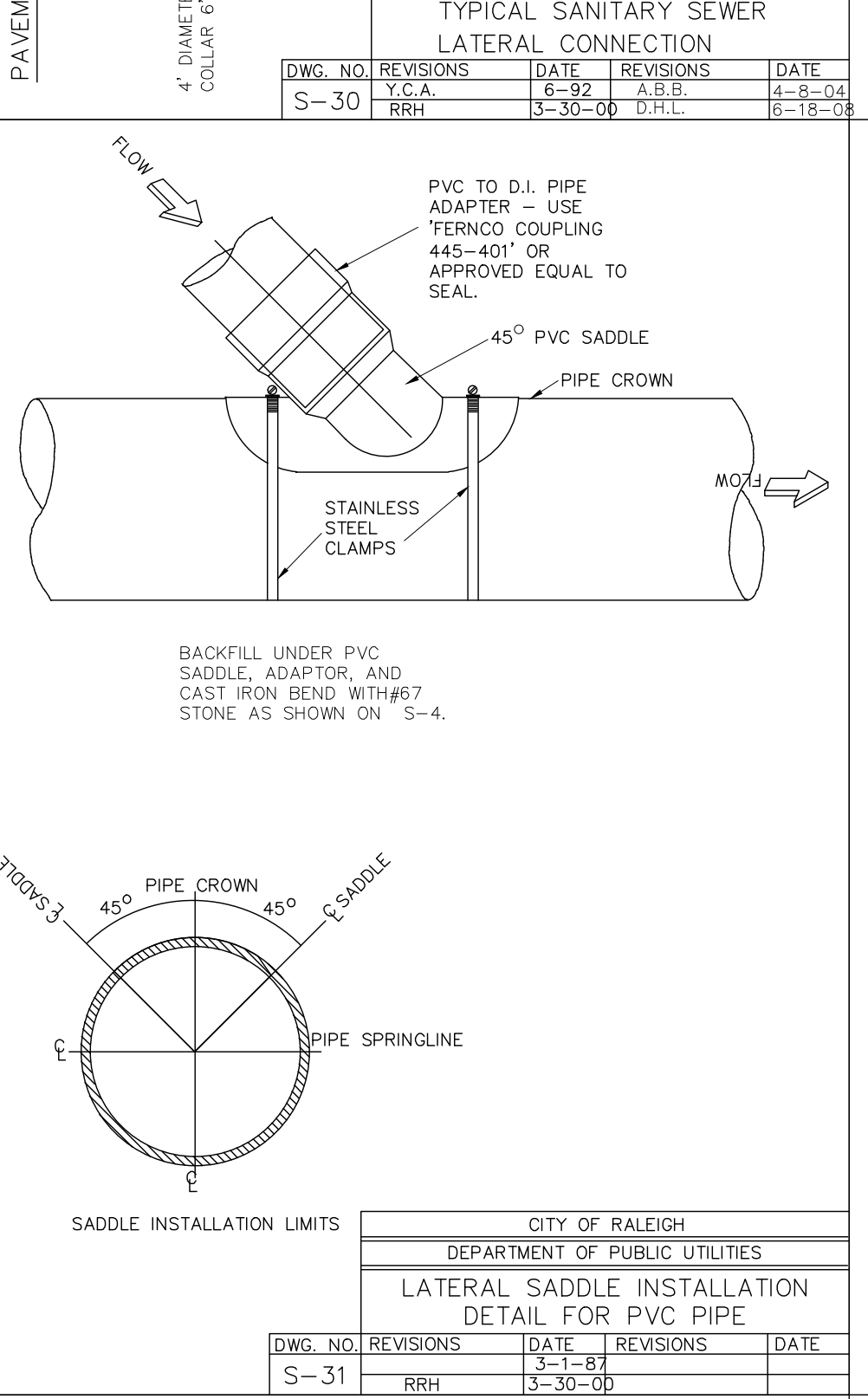
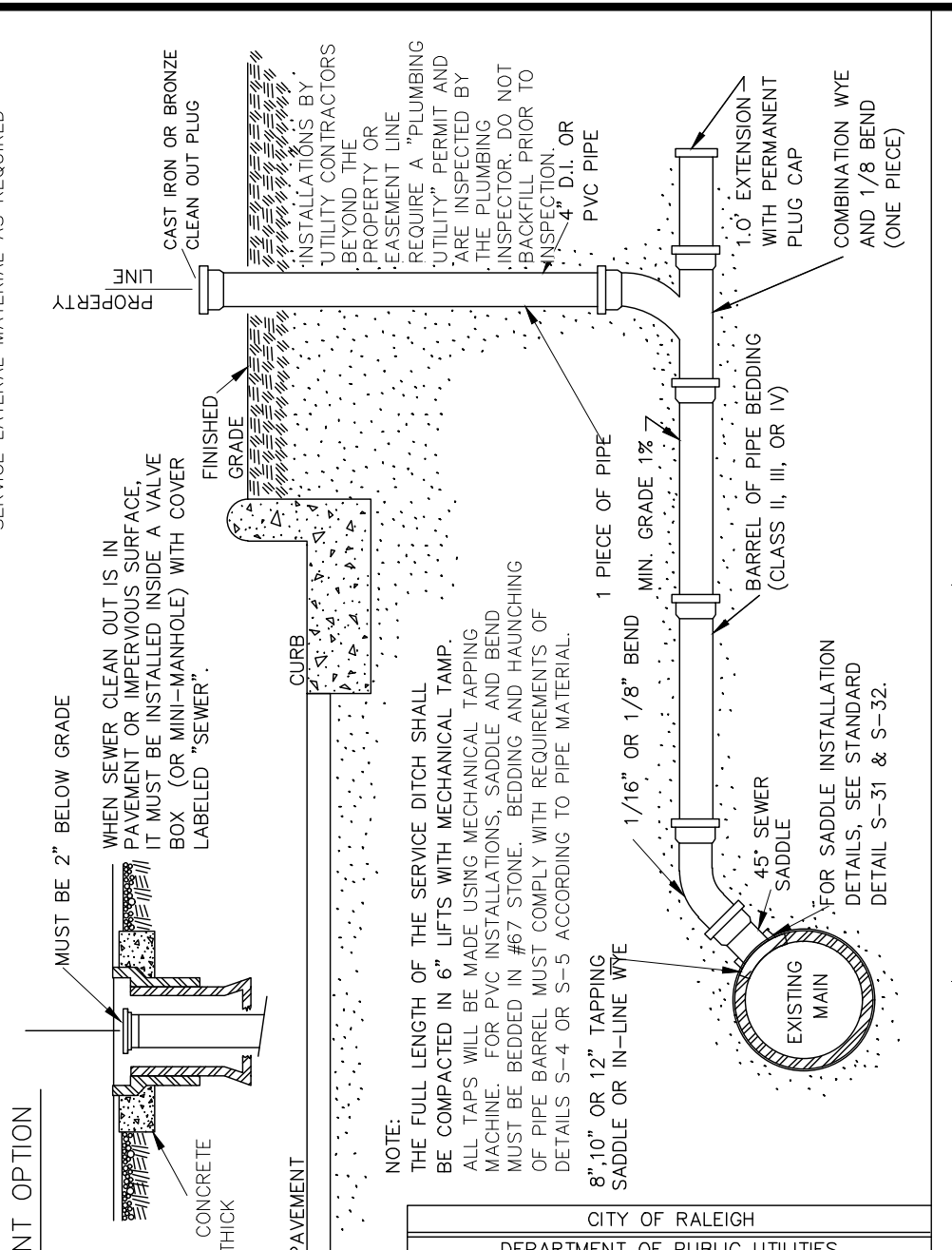
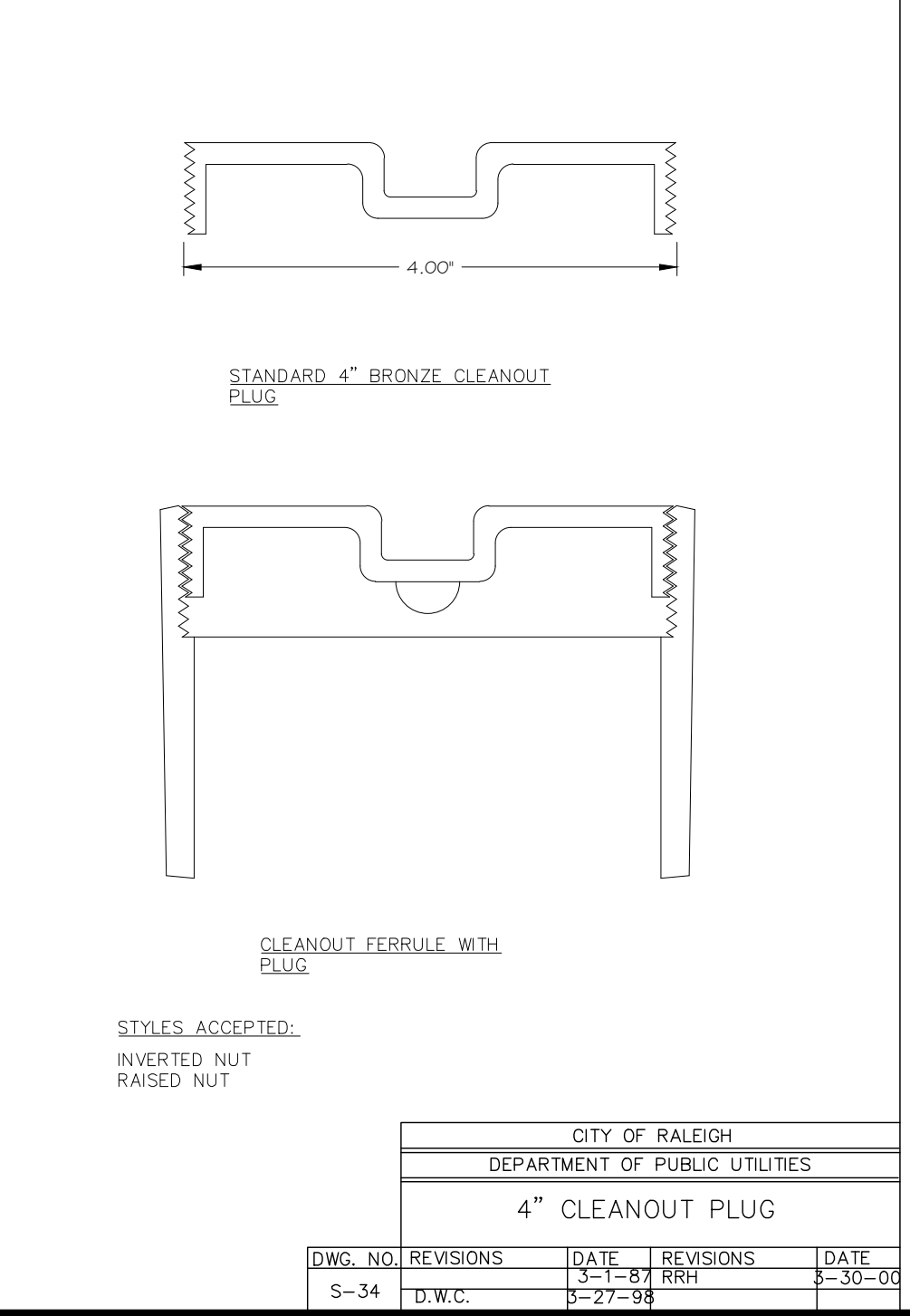
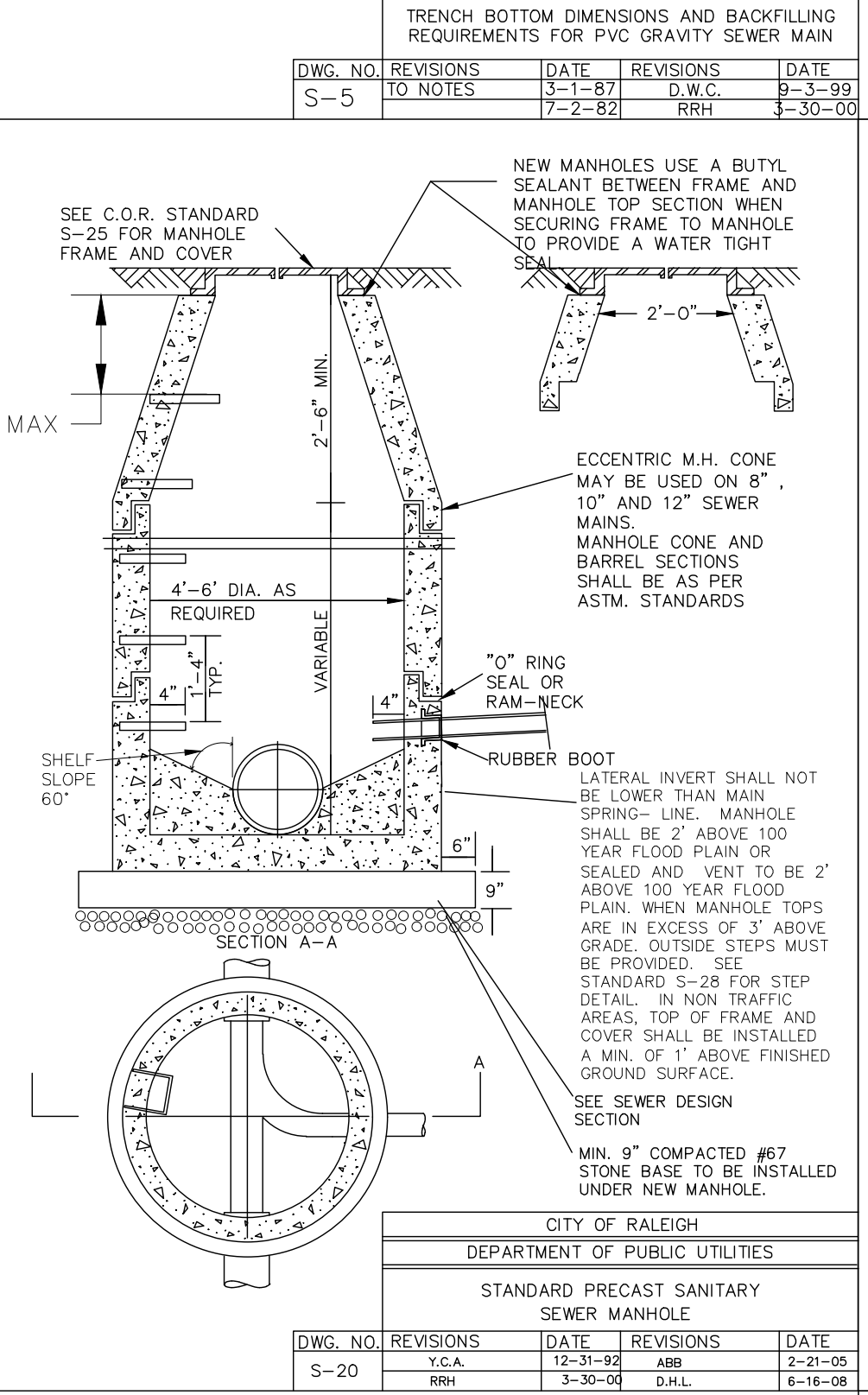
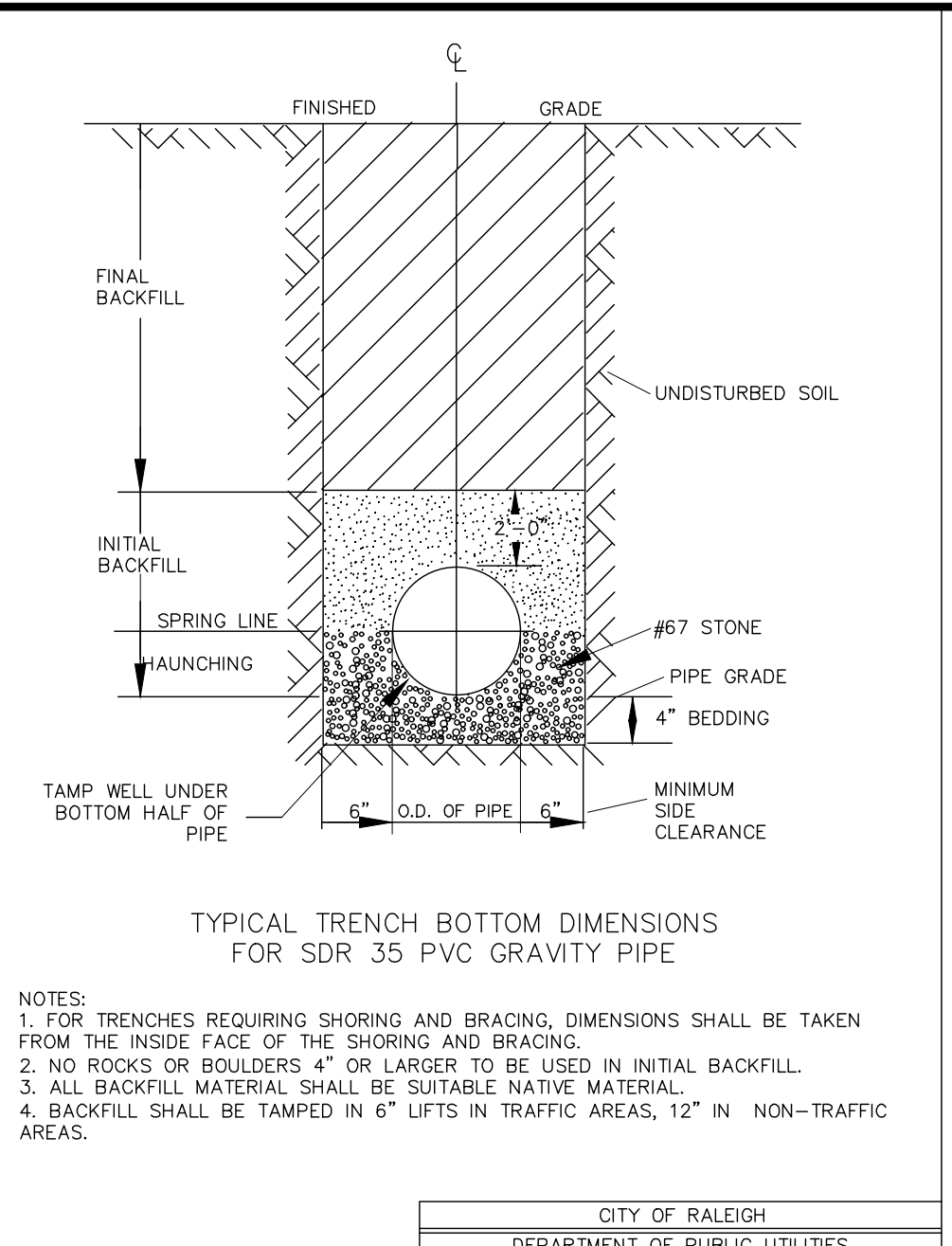
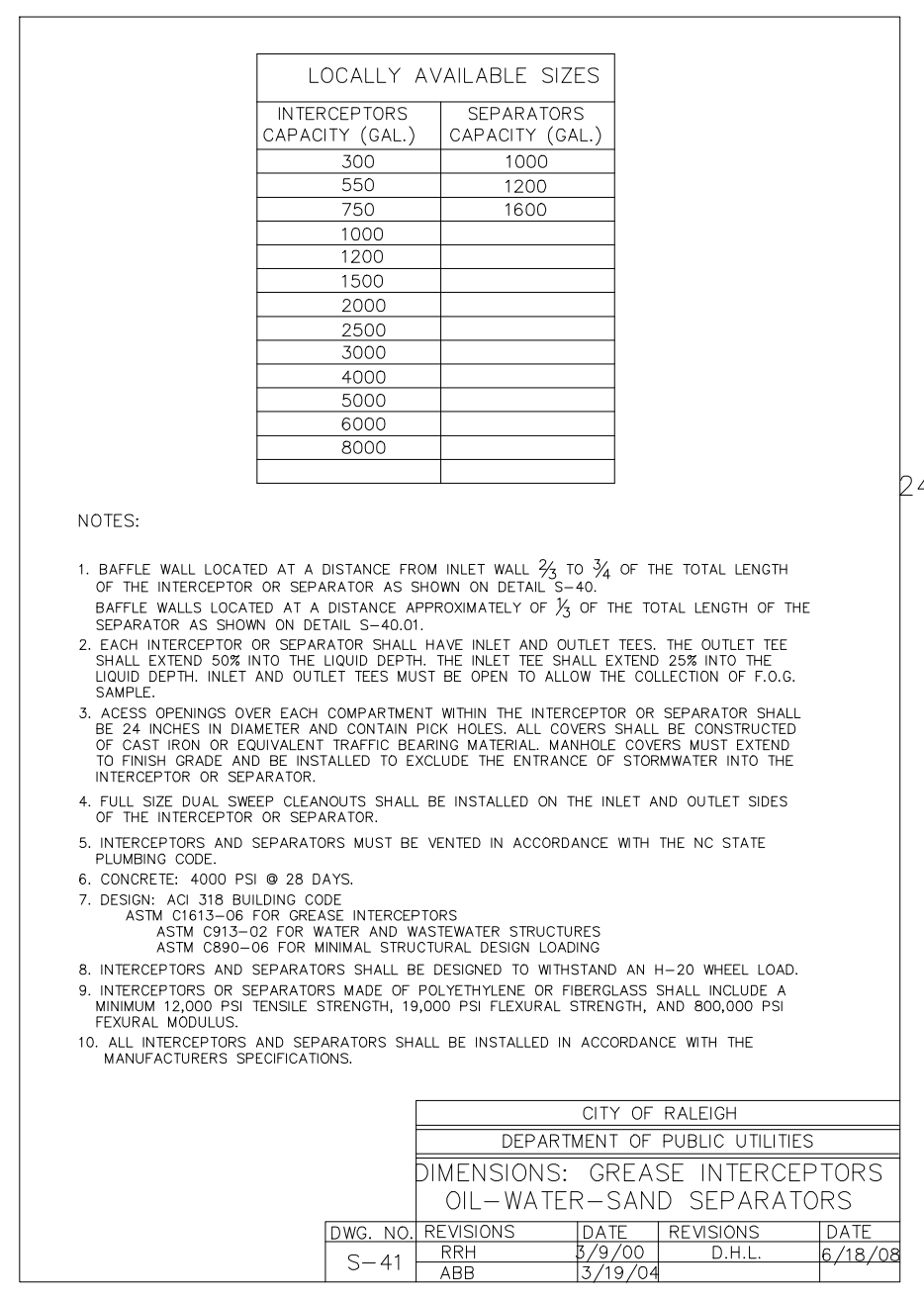
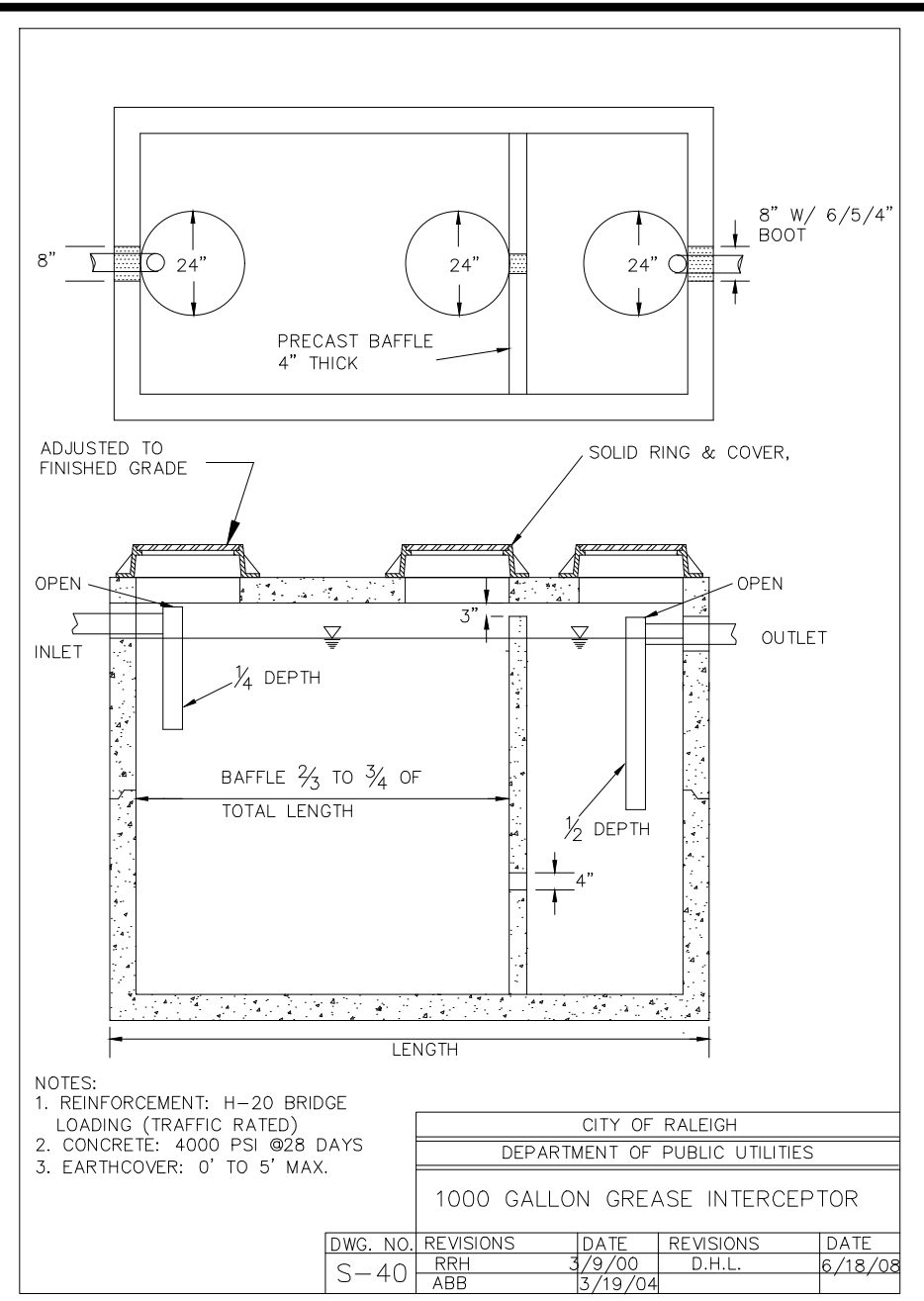
ARK CONSULTING GROUP PLLC
 ENGINEERS & SURVEYORS

925-A Cornerstone Drive
 Raleigh, NC 27606
 (919) 877-7826
 (919) 877-7828
 www.arkconsultinggroup.com

Project Manager: BCF
 Drawn By: DLC
 Checked By: TGN
 Project Number: 24137
 Drawing Number: D-1525

C6.3

Date: January 2, 2025



SITE PERMITTING APPROVAL

Water and Sewer Permits (if applicable)

The City of Raleigh consents to the connection and extension of the City's Public Sewer System as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # S-_____

The City of Raleigh consents to the connection and extension of the City's Public Water System as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # W-_____

The City of Raleigh consents to the connection to its public sewer system and extensions of the private sewer collection system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # S-_____

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State or Federal Law. All Construction must be in accordance with all Local, State, and Federal Rules and Regulations.

Electronic Approval: This approval is being issued electronically. This approval is valid only upon the signature of a City of Raleigh Review Officer below. The City will retain a copy of the approved plans. Any work authorized by this approval must proceed in accordance with the plans kept on file with the City. This electronic approval may not be edited once issued. Any modification to this approval once issued will invalidate this approval.

City of Raleigh Development Approval _____
City of Raleigh Review Officer _____

REVISIONS:

| # | DATE | DESCRIPTION |
|---|---------|------------------------------|
| 1 | 2/21/25 | INITIAL SUBMITTAL FOR REVIEW |

MISC. DETAILS

HALL OF FAME CAR WASH
WALLBROOK - LOT 8

Town of Rolesville Project No. SDP 25-01
US 401 Business / S. Main Street & Wall Creek Drive
Wake Forest Township, Town of Rolesville, Wake County, North Carolina

ARK CONSULTING GROUP PLLC
ENGINEERS & SURVEYORS

235-A Cornerstone Drive
Raleigh, NC 27606
(919) 558-0888
www.arkconsultinggroup.com

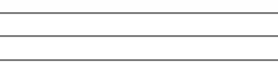



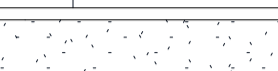
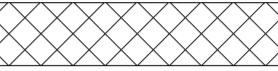





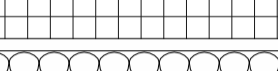





Project Manager: BCF
Drawn By: DLC
Checked By: TGN
Project Number: 24137
Drawing Number: D-1525

C6.4

Date: January 2, 2025

**REVIEW SET
NOT FOR
CONSTRUCTION**

MATERIAL IMAGE GUIDE

-  CEMENT BOARD SIDING
-  CONCRETE/CASTSTONE/PRECAST
-  BRICK (PLAN)
-  BRICK (ELEVATION)
-  METAL PANEL (ELEVATION)
-  EIFS (ELEVATION)
-  CONCRETE MASONRY UNIT (PLAN)
-  SPLIT FACE CONCRETE MASONRY UNIT (ELEVATION)
-  STONE
-  STEEL
-  WOOD (ROUGH)
-  WOOD (FINISH)
-  PLYWOOD
-  RIGID INSULATION & EIFS FOAM BRD
-  BATT INSULATION
-  GYPSUM BRD
-  EARTH

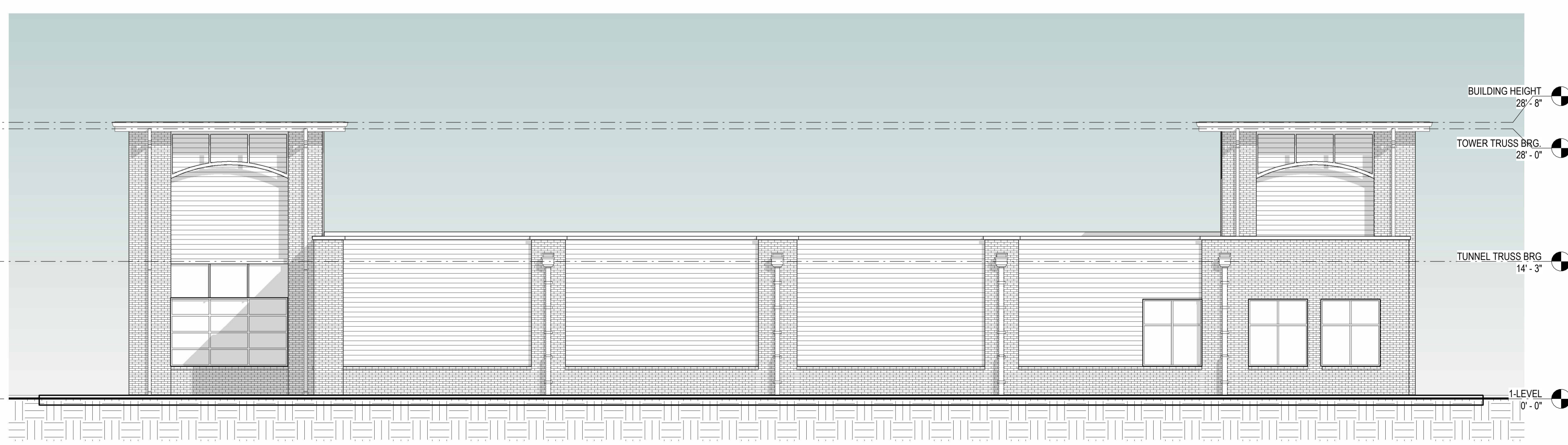
NOTE: MATERIALS SHOWN ON THE MATERIAL IMAGE GUIDE MAY NOT BE USED IN THE PROJECT



3 NORTH ELEVATION (PUBLIC RW)
1/8" = 1'-0"



4 EAST ELEVATION
1/8" = 1'-0"



2 SOUTH ELEVATION (REAR)
1/8" = 1'-0"



1 WEST ELEVATION (FACES ROAD)
1/8" = 1'-0"

HALL OF FAME CAR WASH
SOUTH MAIN STREET ROLESVILLE NC

THE DRAWINGS & DESIGN SHOWN ARE THE PROPERTY OF DESIGN DEVELOPMENT. THE REPRODUCTION OR USE OF THIS PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT IS PROHIBITED AND ANY INFRINGEMENT OF THESE RIGHTS IS SUBJECT TO LEGAL ACTION.

| No. | Description | Date |
|-----|-------------|------|
| | | |

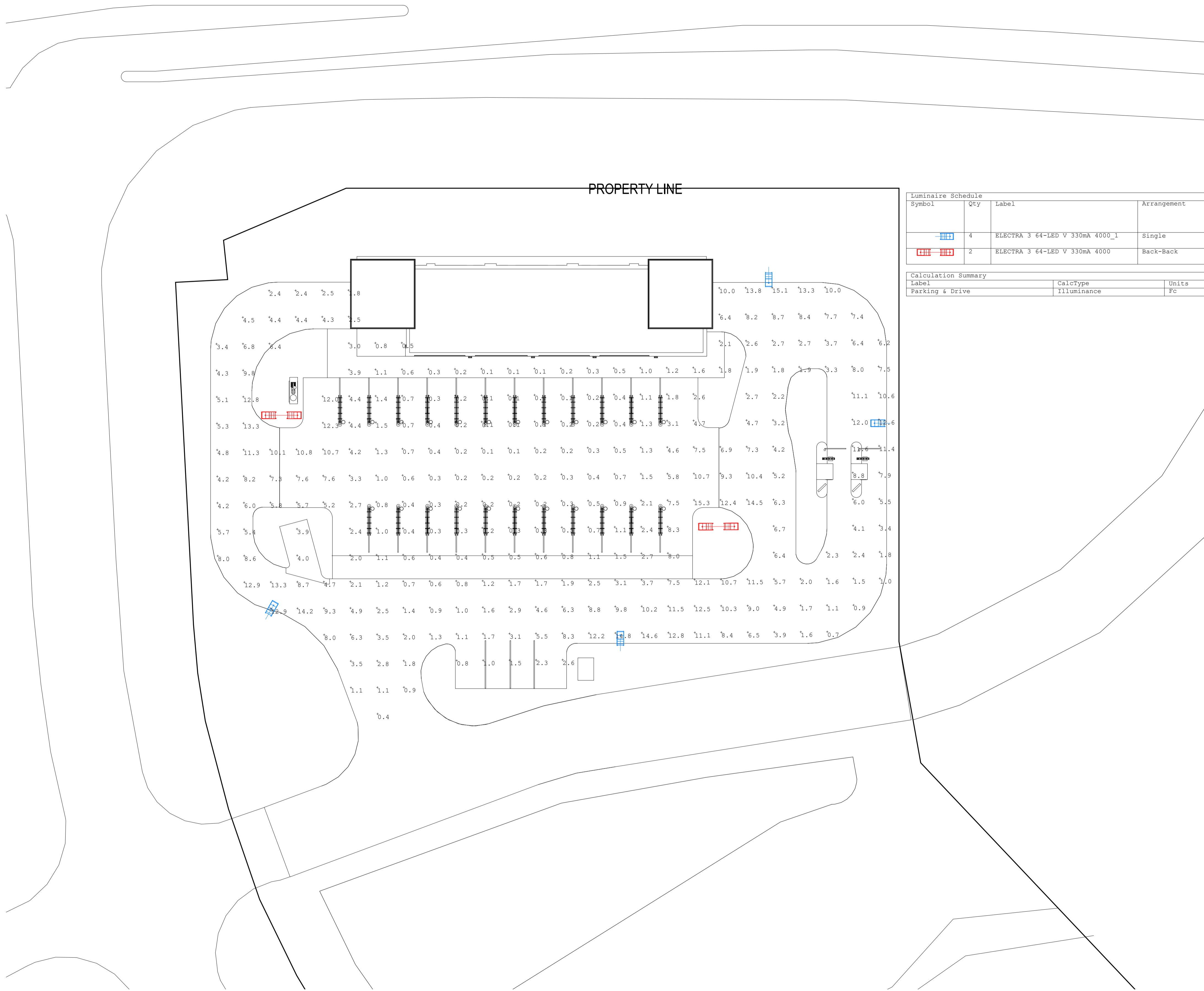
PROJECT #: 240068

DATE: 1/2/2025

ELEVATIONS

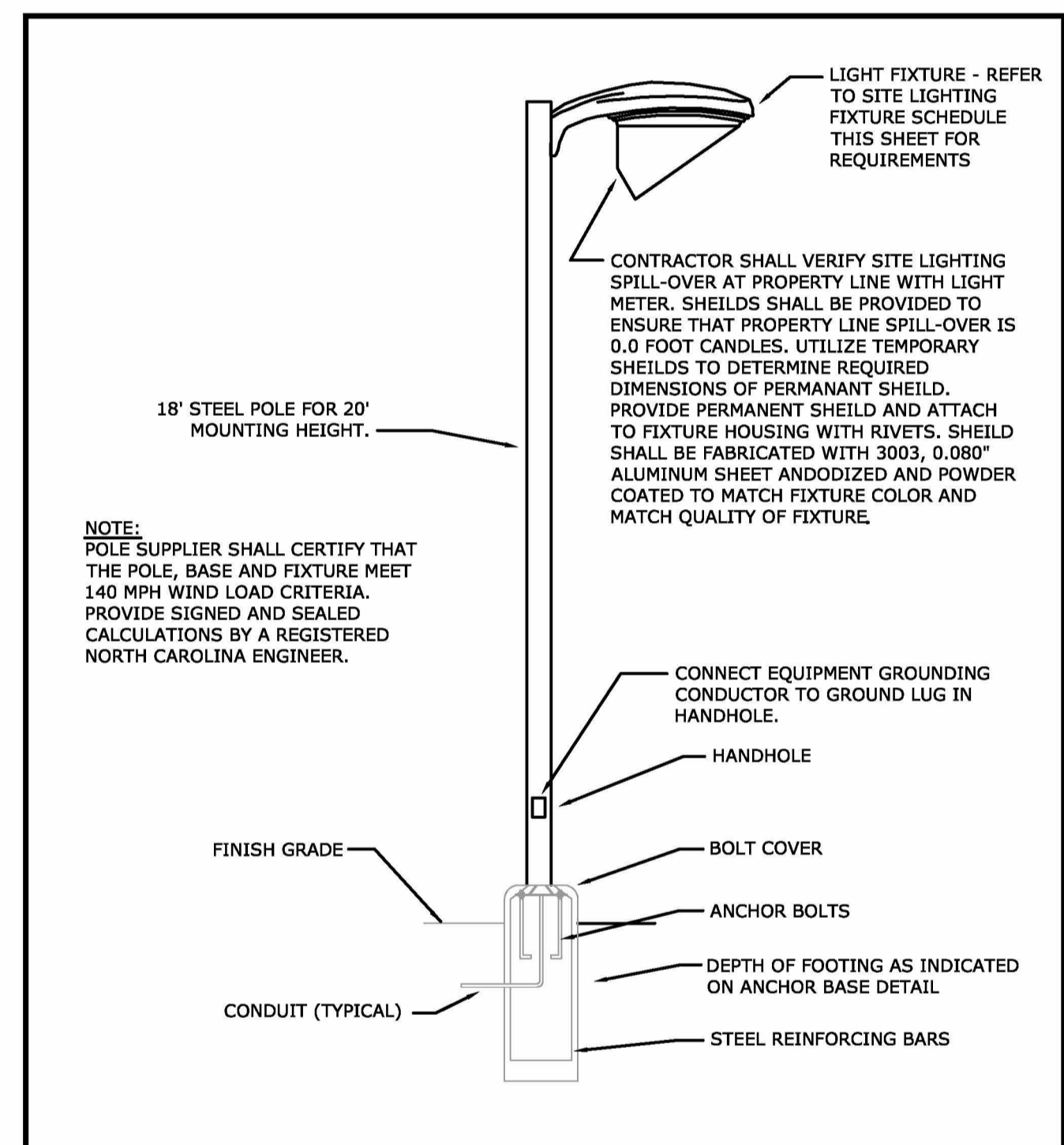
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DIGITAL PRINT DATE: 1/2/2025 3:07:00 PM

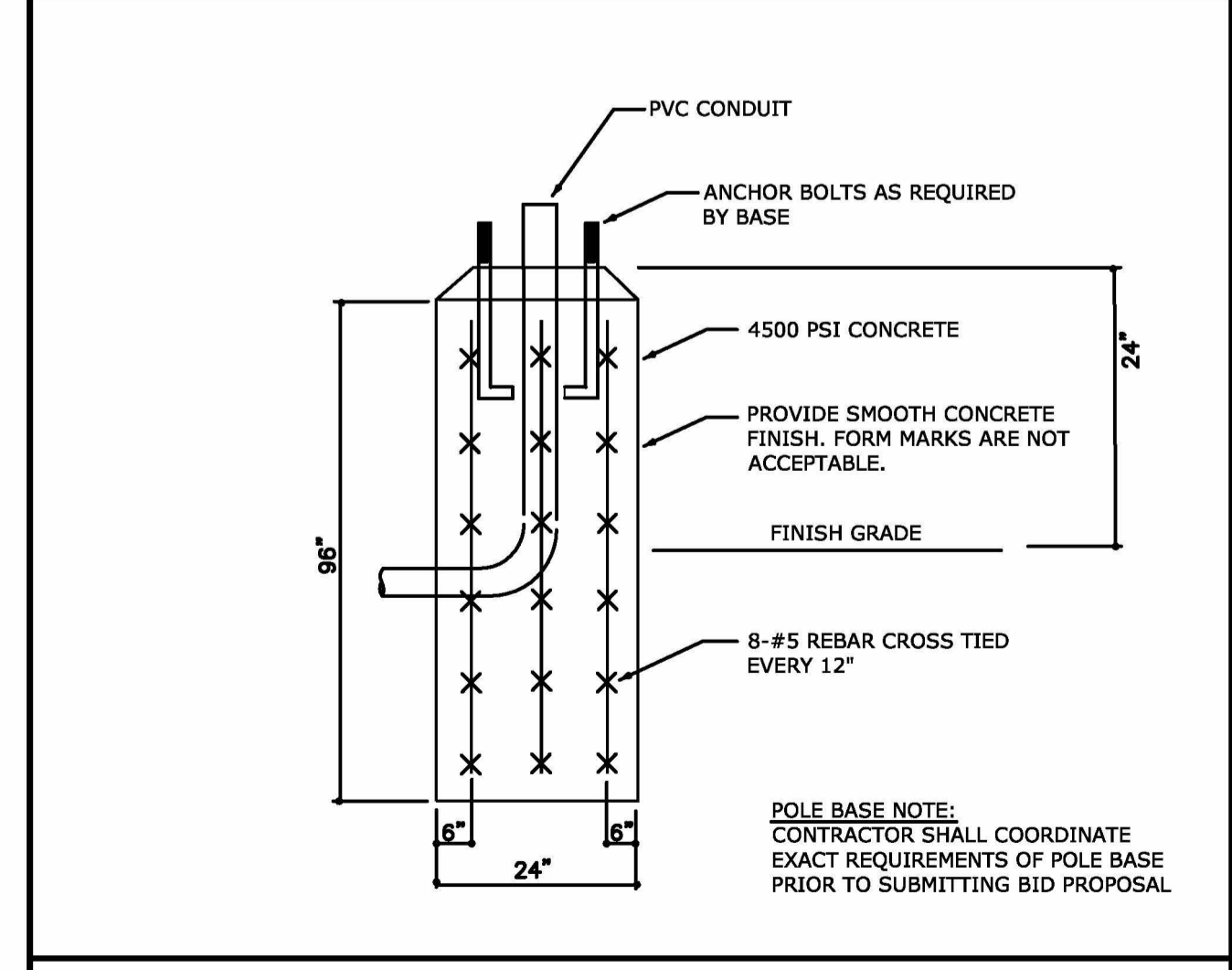


| Luminaire Schedule | | | | | | | | | | |
|--------------------|-----|---------------------------------|-------------|--------------------------|-------|------------------|-----------------|-------------|-------------|-------|
| Symbol | Qty | Label | Arrangement | Description | LLF | Luminaire Lumens | Luminaire Watts | Total Watts | Arrangement | Watts |
| [Symbol] | 4 | ELECTRA 3 64-LED V 330mA 4000_1 | Single | ELECTRA3_64V330xx_4070_x | 0.900 | 25368 | 172 | 688 | 172 | |
| [Symbol] | 2 | ELECTRA 3 64-LED V 330mA 4000 | Back-Back | ELECTRA3_64V330xx_4070_x | 0.900 | 25368 | 172 | 688 | 344 | |

| Calculation Summary | | | | | | | | | | |
|---------------------|-------------|-------|------|------|-----|---------|---------|--|--|--|
| Label | CalcType | Units | Avg | Max | Min | Avg/Min | Max/Min | | | |
| Parking & Drive | Illuminance | Fc | 4.19 | 15.3 | 0.1 | 41.90 | 153.00 | | | |



POLE DETAIL-TYPICAL
NOT TO SCALE



POLE ANCHOR BASE DETAIL
NOT TO SCALE

1 PHOTOMETRIC SITE PLAN
1" = 20'-0"

**REVIEW SET
NOT FOR
CONSTRUCTION**

HALL OF FAME CAR WASH
SOUTH MAIN STREET ROLESVILLE NC

| No. | Description | Date |
|-----|-------------|------|
| | | |

PROJECT #: 240068

DATE: 1/2/2025

PHOTOMETRIC SITE PLAN

A1.01

GENERAL NOTES:

- 1. THIS ALTA/NSPS LAND TITLE SURVEY WAS PREPARED FOR THE BENEFIT OF WALLBROOK LANDCO, LLC, ITS SUCCESSORS AND/OR ASSIGNS AS THEIR INTERESTS MAY APPEAR, AND INVESTORS TITLE INSURANCE COMPANY.
2. THE PROPERTY AS SHOWN HEREON IS BASED ON A FIELD-RUN BOUNDARY SURVEY WITH A REW CLOSURE OF 1:34,600.
3. THE IMPROVEMENTS SHOWN HEREON ARE BASED ON A FIELD-RUN PLANIMETRIC SURVEY PERFORMED BY JOHNSON, MIRIRAN & THOMPSON FROM DECEMBER 2019 THROUGH MARCH 2020 AND REFLECTS SITE CONDITIONS AS OF THAT DATE.
4. ELEVATIONS ARE BASED ON NAVD88 DATUM.
5. THE SURVEY IS REFERENCED TO THE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM (NCSPCS), NORTH AMERICAN DATUM, 1983, 2001 ADJUSTMENT, NAD83(2001).
6. THE USE OF THE WORD CERTIFY OR CERTIFICATION CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OR FINDINGS WHICH ARE THE SUBJECT OF THE UNDERSIGNED PROFESSIONAL'S KNOWLEDGE, INFORMATION AND BELIEF, AND IN ACCORDANCE WITH THE COMMONLY ACCEPTED PROCEDURE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE EITHER EXPRESSED OR IMPLIED.
7. THE SUBJECT PROPERTY IS LOCATED IN FLOOD ZONE X, AREA OF MINIMAL FLOODING, AS SHOWN ON NATIONAL FLOOD INSURANCE RATE MAP (FIRM), WAKE COUNTY, NORTH CAROLINA, PANEL 1758, MAP NO. 3720175800J, EFFECTIVE DATE: MAY 2, 2006.
8. AT THE TIME OF THE SURVEY, THERE WERE NO PARKING SPACES.
9. AT THE TIME OF THE SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF THE SITE BEING USED AS A SOLID WASTE DUMP, SUMP OR LANDFILL.
10. AT THE TIME OF THE SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF A CEMETERY.
11. AT THE TIME OF THE SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF BUILDING CONSTRUCTION OR BUILDING ADDITIONS.

AREA TABULATION

Table with 4 columns: PARCEL, PIN#, NET (AC.), GROSS (AC.). Rows include parcels A, B, C, D and a TOTALS row.

RECORD LEGAL DESCRIPTIONS FOR TAX PARCELS 1758-48-9229 & 1758-58-2090:

PER INVESTORS TITLE INSURANCE COMPANY, TITLE COMMITMENT NO. 201800776CA2, WITH AN EFFECTIVE DATE OF SEPTEMBER 14, 2018 AT 5:00 P.M.

IN THE STATE OF NC, COUNTY OF WAKE,

PARCEL ONE (REID #: 0224145) (PIN #1758-58-2090) (PARCEL 'B'):

BEING LOT 2-3, CONTAINING 10.723 NET ACRES, AS THE SAME IS SHOWN ON THAT PLAT RECORDED IN BOOK OF MAPS 1996, PAGE 1582, WAKE COUNTY REGISTRY.

PARCEL TWO (REID #: 0092211) (PIN #1758-48-9229) (PARCEL 'A'):

BEING THAT PARCEL DESCRIBED AS FOLLOWS:

BEGINNING AT A STAKE IN THE EDGE OF THE ROLESVILLE-WALKERS CROSSROAD ROAD, CORNER OF O. V. WIGGINS, THENCE IN A SOUTHWESTERN DIRECTION ABOUT 300 FEET TO A STAKE AND W. H. MARSHALL'S LINE; THENCE IN A NORTHWESTERN DIRECTION 246 FEET WITH MARSHALL'S LINE TO THE EDGE OF THE ROAD; THENCE IN AN EASTERN DIRECTION WITH SAID ROAD ABOUT 410 FEET TO THE POINT OF BEGINNING, CONTAINING 1/8 OF AN ACRE BY ESTIMATION. BEING A PART OF THE LAND FORMERLY OWNED BY JAMES WALL.

RECORD LEGAL DESCRIPTIONS FOR TAX PARCELS 1758-56-8976 & 1758-45-8905:

PER INVESTORS TITLE INSURANCE COMPANY, TITLE COMMITMENT NO. 201800751CA2, WITH AN EFFECTIVE DATE OF SEPTEMBER 10, 2018 AT 5:00 P.M.

IN THE STATE OF NC, COUNTY OF WAKE,

TRACT 1 (PIN #1758-56-8976) (PARCEL 'C'):

BEING ALL OF TRACT 2A (2.894 ACRES) AND TRACT 3 (41.221 ACRES) AS SHOWN ON PLAT ENTITLED "RECOMBINATION SURVEY FOR TOMMY TWITTY," DATED NOVEMBER 17, 1995, PREPARED BY W. GRAHAM CAWTHORNE, JR., RLS AND RECORDED IN BOOK OF MAPS 1995, PAGE 2034, WAKE COUNTY REGISTRY.

LESS AND EXCEPT FROM TRACT 1 THAT 0.175 ACRE PORTION AS CONVEYED TO THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION IN DEED RECORDED IN BOOK 14395, PAGE 2080, WAKE COUNTY REGISTRY.

TRACT 2 (PIN #1758-45-8905) (PARCEL 'D'):

BEING ALL OF TRACT 2 (15.057 ACRE) AS SHOWN ON PLAT ENTITLED "RECOMBINATION MAP OF BOBBY L. MURRAY TRUST, TRACTS 1 & 2," DATED NOVEMBER 7, 2002, PREPARED BY MICHAEL D. GOODFRED, RLS, AND RECORDED IN BOOK OF MAPS 2005, PAGES 1195 AND 1196, WAKE COUNTY REGISTRY.

LESS AND EXCEPT FROM TRACT 2 THAT 0.03 ACRE PORTION AS CONVEYED TO CARLTON GROUP OF NORTH CAROLINA, LLC IN DEED RECORDED IN BOOK 13993, PAGE 2591, WAKE COUNTY REGISTRY.

SCHEDULE B, PART II EXCEPTIONS:

PER INVESTORS TITLE INSURANCE COMPANY, TITLE COMMITMENT NO. 201800776CA2, WITH AN EFFECTIVE DATE OF SEPTEMBER 14, 2018 AT 5:00 P.M.

1. (ITEM 3) MATTERS SHOWN ON RECORDED BOOK OF MAPS 1996 AT PAGE 1582 SHOWS THE FOLLOWING LOCATED ON THE LAND:

- (a) OVERHEAD LINES [PLOTTED HEREON]
(b) POWER POLE [PLOTTED HEREON]
(c) RIGHT OF WAY FOR U.S. HWY 401 LOUISBURG ROAD [PLOTTED HEREON]

2. (ITEM 4) EASEMENT(S) AND/OR RIGHT(S) OF WAY RECORDED IN BOOK 3868 AT PAGE 917 (PARCEL ONE). [PLOTTED HEREON]

SCHEDULE B, PART II EXCEPTIONS:

PER INVESTORS TITLE INSURANCE COMPANY, TITLE COMMITMENT NO. 201800751CA2, WITH AN EFFECTIVE DATE OF SEPTEMBER 10, 2018 AT 5:00 P.M.

3. (ITEM 2) TITLE TO THAT PORTION OF THE LAND WITHIN THE RIGHT-OF-WAY OF U.S. HIGHWAY 401 (LOUISBURG ROAD). [PLOTTED HEREON]

4. (ITEM 3) RIGHTS OF OTHERS THERETO ENTITLED IN AND TO THE CONTINUED UNINTERRUPTED FLOW OF THE CREEK, LOCATED ON THE LAND. [CREEK LOCATION PLOTTED HEREON]

5. (ITEM 4) ELECTRIC LINE RIGHT-OF-WAY EASEMENT TO WAKE ELECTRIC MEMBERSHIP CORPORATION RECORDED IN BOOK 3868 AT PAGE 917. [PLOTTED HEREON]

AS TO TRACT 1 ONLY (PIN #1758-56-8976):

6. (ITEM 8) SUBJECT TO MATTERS SHOWN ON RECORDED BOOK OF MAPS 1995 AT PAGE 2034 SHOWS THE FOLLOWING LOCATED ON THE LAND:

- (a) OVERHEAD LINE [PLOTTED HEREON]
(b) POWER POLE [PLOTTED HEREON]

7. (ITEM 9) EASEMENT(S) TO WAKE ELECTRIC MEMBERSHIP CORPORATION RECORDED IN BOOK 863 AT PAGES 211 AND 212. [BLANKET EASEMENT - EXISTING ELECTRIC LINES PLOTTED HEREON]

8. (ITEM 10) RURAL LINE PERMIT TO CAROLINA TELEPHONE AND TELEGRAPH COMPANY RECORDED IN BOOK 1338 AT PAGES 143 AND 145. [LOCATIONS CANNOT BE DETERMINED FROM THE RECORD DOCUMENT, EXISTING POLES AND GUY WIRES PLOTTED HEREON]

9. (ITEM 11) SLOPE EASEMENT RECORDED IN BOOK 14395 AT PAGE 2087 AS SHOWN ON PLAT RECORDED IN BOOK OF MAPS 2011 AT PAGE 383. [PLOTTED HEREON]

AS TO TRACT 2 ONLY (PIN #1758-45-8905):

10. SUBJECT TO MATTERS SHOWN ON RECORDED BOOK OF MAPS 2005 AT PAGES 1195 AND 1196 SHOWS THE FOLLOWING LOCATED ON THE LAND:

- (a) UNDERGROUND SEWER MAIN MARKER [NOT FOUND]
(b) POWER BOX [NOT FOUND]
(c) RIGHTS OF OTHERS IN AND TO THE USE OF THE SOIL PATH (TO BE ABANDONED) [PATH NO LONGER VISIBLE]

11. (ITEM 13) DEED OF EASEMENT WITH GENERAL WARRANTY FOR WATERLINE EASEMENT TEMPORARY CONSTRUCTION EASEMENT RECORDED IN BOOK 16679 AT PAGE 132. [WATERLINE EASEMENT PLOTTED HEREON, TEMPORARY CONSTRUCTION EASEMENT NOT PLOTTED]

12. (ITEM 14) SANITARY SEWER EASEMENT RECORDED IN BOOK 10071 AT PAGE 2179 AS SHOWN ON PLAT RECORDED IN BOOK OF MAPS 2003 AT PAGE 647. [PLOTTED HEREON]

13. (ITEM 15) RESERVATION OF EASEMENT RECORDED IN BOOK 13993 AT PAGE 2591. [PLOTTED HEREON]

14. (ITEM 16) TITLE TO THAT PORTION OF THE LAND WITHIN THE RIGHT-OF-WAY OF S.R. 2226. [RIGHT OF WAY OF S.R. 2226 PLOTTED HEREON - PROPERTY DOES NOT EXTEND INTO RIGHT OF WAY]

15. (ITEM 17) RIGHT OF WAY AGREEMENT TO STATE HIGHWAY COMMISSION RECORDED IN BOOK 2052 AT PAGE 545. [RIGHT OF WAY OF S.R. 2226 PLOTTED HEREON]

16. (ITEM 18) RIGHTS OF OTHERS THERETO ENTITLED IN AND TO THE CONTINUED UNINTERRUPTED FLOW OF BRANCH/CREEK, LOCATED ON THE LAND. [BRANCH/CREEK LOCATION PLOTTED HEREON]

CURRENT ZONING SETBACK REQUIREMENTS:

Table with 2 columns: TAX PARCEL, SETBACKS (FRONT, SIDE, CORNER, REAR). Rows include parcels R-1, R-1-SUD, CO-SUD, and CO-SUD.

Table with 4 columns: R-1, CO, FRONT, SIDE, CORNER, REAR. Shows setback requirements for R-1 and CO districts.

NOTE: ZONING INFORMATION BASED ON INFORMATION AS PROVIDED BY CURRENT COUNTY ZONING DEPARTMENT, NO ZONING REPORT OR LETTER WAS PROVIDED TO SURVEYOR AT TIME OF SURVEY.

NEW LEGAL DESCRIPTIONS

PARCEL 'A' (PIN #1758-48-9229)

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE TOWN OF ROLESVILLE, COUNTY OF WAKE, STATE OF NORTH CAROLINA, DESCRIBED AS FOLLOWS:

BEGINNING AT A FOUND IRON PIPE MARKING THE NORTHWEST CORNER OF LOT 2-3 AS SAID LOT IS SHOWN AND SO DESIGNATED ON THAT CERTAIN PLAT ENTITLED "RECOMBINATION SURVEY FOR TOMMY TWITTY, TRACTS 2-2 & 2-3, TWITTY PROP.", BY W. GRAHAM CAWTHORNE, JR., RLS, DATED NOVEMBER 17, 1995, REVISED JANUARY 12, 1996 AND RECORDED IN BOOK OF MAPS 1996, PAGE 1582, WAKE COUNTY RECORDS, SAID PIPE ALSO BEING ON THE EAST LINE OF TRACT #3 AS SAID TRACT IS SHOWN AND SO DESIGNATED ON THAT CERTAIN PLAT ENTITLED "W. H. MARSHALL ESTATE", BY C. W. RUSSUM, RLS, DATED JULY, 1961 AND RECORDED IN BOOK OF MAPS 1961, PAGE 97, WAKE COUNTY RECORDS; THENCE ALONG SAID EAST LINE OF TRACT 3 N01°11'04"W 240.24' TO AN IRON PIPE ON THE SOUTHWEST RIGHT OF WAY LINE OF BURLINGTON MILLS ROAD (S.R. 2051); THENCE ALONG SAID SOUTHWEST RIGHT OF WAY LINE THE FOLLOWING FOUR COURSES: (1) S47°12'51"E 130.81'; (2) ALONG THE ARC OF A TANGENT CURVE TO THE LEFT, CONCAVE TO THE NORTHEAST, HAVING A RADIUS OF 600.00', THROUGH A CENTRAL ANGLE OF 26°22'04", AN ARC LENGTH OF 276.12' AND BEING SUBTENDED BY A CHORD BEARING S60°23'53"E 273.69'; (3) S75°02'10"E 50.12'; AND (4) S77°31'31"E 22.85' TO THE NORTH LINE OF AFORESAID LOT 2-3; THENCE ALONG SAID NORTH LINE OF LOT 2-3 N89°45'02"W 399.74' TO THE POINT OF BEGINNING.

CONTAINING 0.828 ACRES, MORE OR LESS.

PARCEL 'B' (PIN #1758-58-2090)

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE TOWN OF ROLESVILLE, COUNTY OF WAKE, STATE OF NORTH CAROLINA, DESCRIBED AS FOLLOWS:

BEGINNING AT A FOUND IRON PIPE MARKING THE SOUTHWEST CORNER OF PARCEL 2 AS SAID PARCEL IS DESCRIBED IN DEED BOOK 15498, PAGE 1302, WAKE COUNTY RECORDS; THENCE ALONG THE SOUTH LINE OF SAID PARCEL 2 S89°45'02"E 399.74' TO THE SOUTHWEST RIGHT OF WAY LINE OF BURLINGTON MILLS ROAD (S.R. 2051); THENCE CONTINUING S89°45'02"E 200.72' TO THE NORTHWEST CORNER OF LOT 2-4 AS SAID LOT IS SHOWN AND SO DESIGNATED ON THAT CERTAIN PLAT ENTITLED "RECOMBINATION SURVEY FOR TOMMY TWITTY, TRACTS 2-2 & 2-3, TWITTY PROP.", BY W. GRAHAM CAWTHORNE, JR., RLS, DATED NOVEMBER 17, 1995, REVISED JANUARY 12, 1996 AND RECORDED IN BOOK OF MAPS 1996, PAGE 1582, WAKE COUNTY RECORDS; THENCE ALONG THE SOUTHWEST LINE OF SAID LOT 2-4 S37°53'38"E 39.01' TO A FOUND BENT IRON PIPE AT AN ANGLE POINT IN THE SOUTH RIGHT OF WAY LINE OF BURLINGTON MILLS ROAD; THENCE CONTINUING S37°53'38"E 454.70' TO A FOUND IRON PIPE AT AN ANGLE POINT IN THE NORTHWEST RIGHT OF WAY LINE OF LOUISBURG ROAD (U.S. 401); THENCE CONTINUING S37°53'38"E 45.31' TO THE CENTERLINE OF LOUISBURG ROAD; THENCE ALONG THE CENTERLINE OF SAID ROAD, ALONG THE ARC OF A CURVE TO THE LEFT, CONCAVE TO THE SOUTHEAST, HAVING A RADIUS OF 3,750.00', THROUGH A CENTRAL ANGLE OF 08°13'06", AN ARC LENGTH OF 537.89' AND BEING SUBTENDED BY A CHORD BEARING S41°12'09"W 537.43'; THENCE LEAVING SAID CENTERLINE, ALONG THE NORTHEAST LINE OF LOTS 1 AND 2 AS SAID LOTS ARE SHOWN AND SO DESIGNATED ON THAT CERTAIN PLAT ENTITLED "SURVEY FOR GRAND PARK PROPERTIES, LOTS 1 AND 2", BY CAWTHORNE, MOSS & PANCIERA, P.C., DATED OCTOBER 7, 1998 AND RECORDED IN BOOK OF MAPS 1999, PAGE 1039, WAKE COUNTY RECORDS, N49°16'09"W 479.09' TO A FOUND IRON PIPE MARKING AN ANGLE POINT IN SAID LOT 2; THENCE CONTINUING ALONG THE NORTHEAST LINE OF SAID LOT 2 N66°40'58"W 215.40' TO A FOUND IRON PIPE AT THE NORTHWEST CORNER THEREOF, SAID PIPE ALSO BEING ON THE EAST LINE OF TRACT #3 AS SAID TRACT IS SHOWN AND SO DESIGNATED ON THAT CERTAIN PLAT ENTITLED "W. H. MARSHALL ESTATE", BY C. W. RUSSUM, RLS, DATED JULY, 1961 AND RECORDED IN BOOK OF MAPS 1961, PAGE 97, WAKE COUNTY RECORDS; THENCE ALONG SAID EAST LINE OF TRACT 3 N01°36'18"W 428.68' TO THE POINT OF BEGINNING.

THIS PARCEL IS THE SAME AS LOT 2-3 AS SHOWN AND SO DESIGNATED ON THAT CERTAIN PLAT ENTITLED "RECOMBINATION SURVEY FOR TOMMY TWITTY, TRACTS 2-2 & 2-3, TWITTY PROP.", BY W. GRAHAM CAWTHORNE, JR., RLS, DATED NOVEMBER 17, 1995, REVISED JANUARY 12, 1996 AND RECORDED IN BOOK OF MAPS 1996, PAGE 1582, WAKE COUNTY RECORDS.

CONTAINING 11.168 ACRES, MORE OR LESS.

NEW LEGAL DESCRIPTIONS

PARCEL 'C' (PIN #1758-56-8976)

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE TOWN OF ROLESVILLE, COUNTY OF WAKE, STATE OF NORTH CAROLINA, DESCRIBED AS FOLLOWS:

BEGINNING AT A FOUND IRON PIPE MARKING THE NORTHEAST CORNER OF TRACT 2 AS SAID TRACT IS SHOWN AND SO DESIGNATED ON THAT CERTAIN PLAT ENTITLED "RECOMBINATION MAP OF BOBBY L. MURRAY TRUST, TRACTS 1+2", BY KENNETH CLOSE, INC., DATED NOVEMBER 7, 2002 AND RECORDED IN BOOK OF MAPS 2005, PAGES 1195 AND 1196, WAKE COUNTY RECORDS; THENCE ALONG THE NORTH LINE OF SAID TRACT 2 N75°27'01"W 704.12' TO A FOUND IRON PIPE ON THE SOUTHEAST RIGHT OF WAY LINE OF LOUISBURG ROAD (U.S. 401); THENCE CONTINUING N75°27'01"W 32.34' TO THE CENTERLINE OF LOUISBURG ROAD; THENCE ALONG THE CENTERLINE OF SAID ROAD N36°33'22"E 1,116.98'; THENCE CONTINUING ALONG SAID CENTERLINE, ALONG THE ARC OF A TANGENT CURVE TO THE RIGHT, CONCAVE TO THE SOUTHEAST, HAVING A RADIUS OF 3,750.00', THROUGH A CENTRAL ANGLE OF 18°18'05", AN ARC LENGTH OF 1,197.82' AND BEING SUBTENDED BY A CHORD BEARING N45°42'25"E 1,192.73'; THENCE LEAVING SAID CENTERLINE S89°44'38"E 134.33' TO AN ANGLE POINT IN THE SOUTHWEST LINE OF THAT CERTAIN PARCEL DESCRIBED IN DEED BOOK 6821, PAGE 005, WAKE COUNTY RECORDS; THENCE ALONG THE SOUTHWEST LINE OF SAID PARCEL AND ALONG THE WEST LINE OF WALL CREEK SUBDIVISION, PHASES 2, 4 AND 5-A AS RECORDED IN BOOK OF MAPS 1997, PAGE 1162, BOOK OF MAPS 2001, PAGE 628 AND BOOK OF MAPS 2002, PAGE 825, WAKE COUNTY RECORDS, S03°05'32"W 2,131.93' TO A POINT ON THE NORTH LINE OF CARLTON POINTE SUBDIVISION, PHASE I AS RECORDED IN BOOK OF MAPS 2008, PAGES 5 TO 10, WAKE COUNTY RECORDS; THENCE ALONG SAID NORTH LINE OF CARLTON POINTE SUBDIVISION N75°27'01"W 852.86' TO THE POINT OF BEGINNING.

THIS PARCEL IS THE SAME AS TRACTS 2A AND 3 AS SHOWN AND SO DESIGNATED ON THAT CERTAIN PLAT ENTITLED "RECOMBINATION SURVEY FOR TOMMY TWITTY", BY W. GRAHAM CAWTHORNE, JR., RLS, DATED NOVEMBER 17, 1995 AND RECORDED IN BOOK OF MAPS 1995, PAGE 2034, WAKE COUNTY RECORDS.

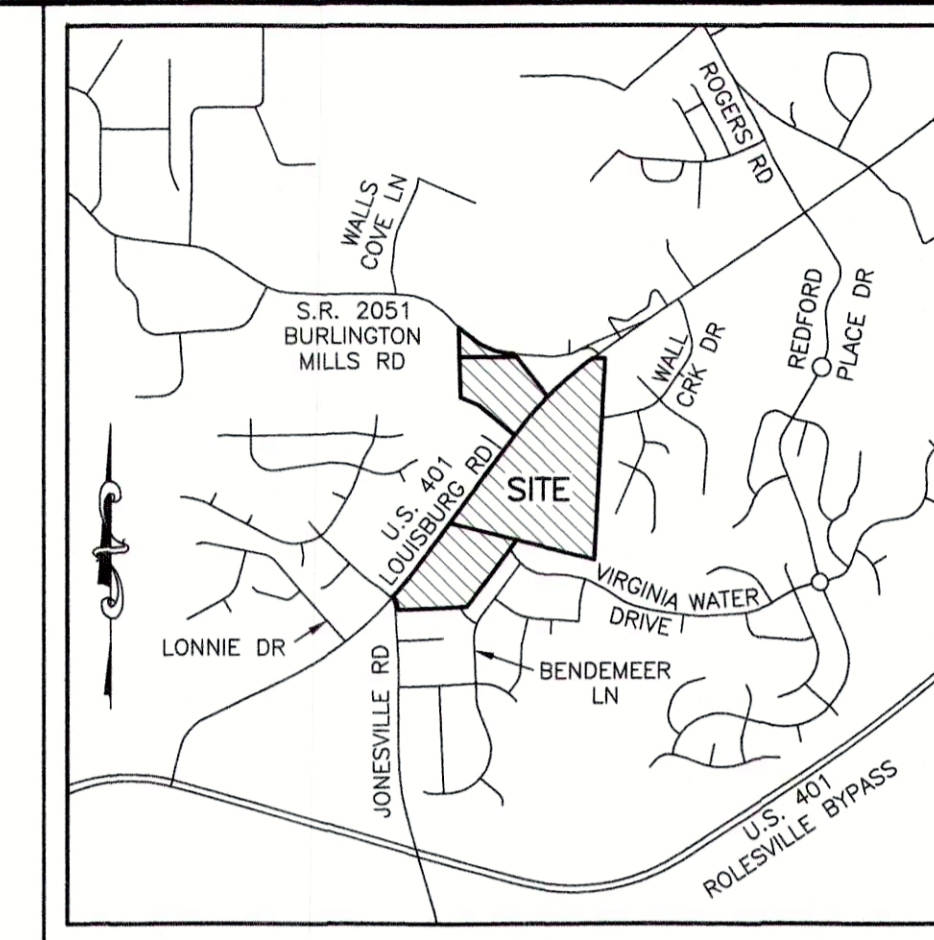
CONTAINING 44.100 ACRES, MORE OR LESS.

PARCEL 'D' (PIN #1758-45-8905)

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE TOWN OF ROLESVILLE, COUNTY OF WAKE, STATE OF NORTH CAROLINA, DESCRIBED AS FOLLOWS:

BEGINNING AT A FOUND IRON PIPE ON THE SOUTH LINE OF TRACT 3 AS SAID TRACT IS SHOWN AND SO DESIGNATED ON THAT CERTAIN PLAT ENTITLED "RECOMBINATION SURVEY FOR TOMMY TWITTY", BY W. GRAHAM CAWTHORNE, JR., RLS, DATED NOVEMBER 17, 1995 AND RECORDED IN BOOK OF MAPS 1995, PAGE 2034, WAKE COUNTY RECORDS, SAID PIPE ALSO BEING AN ANGLE POINT IN THE NORTHWEST LINE OF CARLTON POINTE SUBDIVISION, PHASE I AS RECORDED IN BOOK OF MAPS 2008, PAGES 5 TO 10, WAKE COUNTY RECORDS; THENCE ALONG THE NORTHWEST LINE OF SAID CARLTON POINTE SUBDIVISION S36°44'45"W 877.98' TO AN ANGLE POINT; THENCE CONTINUING ALONG SAID NORTHWEST LINE AND ALONG THE NORTH LINE OF LOTS 1, 2 AND 3 AS SAID LOTS ARE SHOWN AND SO DESIGNATED ON THAT CERTAIN PLAT ENTITLED "SUBDIVISION PLAT FOR BARRETT VENTURES, LLC", BY CAWTHORNE, MOSS & PANCIERA, P.C., DATED APRIL 4, 2007 AND RECORDED IN BOOK OF MAPS 2008, PAGE 702, WAKE COUNTY RECORDS, S87°10'58"W 737.24' TO AN ANGLE POINT IN THE EAST RIGHT OF WAY LINE OF JONESVILLE ROAD (S.R. 2226) AND THE SOUTHEAST CORNER OF THAT CERTAIN PARCEL DESCRIBED IN DEED BOOK 13993, PAGE 2591, WAKE COUNTY RECORDS; THENCE ALONG THE EAST LINE OF SAID PARCEL N02°07'15"W 48.32'; THENCE CONTINUING ALONG SAID EAST LINE, ALONG THE ARC OF A CURVE TO THE LEFT, CONCAVE TO THE WEST, HAVING A RADIUS OF 123.92', THROUGH A CENTRAL ANGLE OF 30°27'05", AN ARC LENGTH OF 65.86' AND BEING SUBTENDED BY A CHORD BEARING N17°21'49"W 65.09' TO THE EAST RIGHT OF WAY LINE OF JONESVILLE ROAD; THENCE ALONG SAID EAST RIGHT OF WAY LINE N03°10'03"W 17.67' TO THE SOUTHEAST RIGHT OF WAY LINE OF LOUISBURG ROAD (U.S. 401); THENCE ALONG SAID SOUTHEAST RIGHT OF WAY LINE THE FOLLOWING EIGHT COURSES: (1) N41°10'16"E 41.30'; (2) N40°37'47"E 48.15'; (3) N39°31'43"E 50.83'; (4) N38°52'58"E 49.80'; (5) N38°22'04"E 50.40'; (6) N37°17'31"E 50.37'; (7) N36°44'45"E 304.20'; AND (8) N36°27'57"E 396.53' TO A FOUND IRON PIPE ON THE SOUTH LINE OF THE AFORESAID TRACT 3; THENCE ALONG SAID SOUTH LINE OF TRACT 3 S75°27'01"E 704.12' TO THE POINT OF BEGINNING.

CONTAINING 15.024 ACRES, MORE OR LESS.



VICINITY MAP SCALE: 1"=2000'

LEGEND

- (1) = RECORD DATA PER BM 1996 PG 1582
(2) = RECORD DATA PER BM 2011 PG 383
(3) = RECORD DATA PER BM 1995 PG 2034
(4) = RECORD DATA PER BM 2002 PG 825
(5) = RECORD DATA PER BM 2005 PG 1195-1196
(6) = RECORD DATA PER DB 13993 PG 2591
● = FOUND MONUMENT AS NOTED
○ = SET IRON PIN
* = NCOS MONUMENT
+ = DIMENSION POINT (NOTHING SET)
R = PROPERTY LINE
R/W = RIGHT OF WAY

- C&G = CURB AND GUTTER
C&G = CABLE TV PEDESTAL
DI = DROP INLET
ELEC = ELECTRIC BOX
EM = ELECTRIC METER
F/O = FIBER OPTIC
FH = FIRE HYDRANT
GV = GAS VALVE
H = HAND BOX
LP = LIGHT POLE
PP = POWER POLE
P = GUY WIRE
RCP = REINFORCED CONCRETE PIPE
S.F. = SQUARE FEET (AREA)
= SIGN
= TRAFFIC SIGNAL POLE
= SANITARY SEWER MANHOLE
= SANITARY SEWER FORCE MAIN VALVE
= STORM DRAIN MANHOLE
= TELEPHONE PEDESTAL
= TRAFFIC BOX
= WATER BOX
WM = WATER METER
WMH = WATER MANHOLE
WV = WATER VALVE
W = WELL
X-WALK = PEDESTRIAN X-WALK POLE
= ELECTRIC LINE
= SANITARY SEWER FORCE MAIN
= FIBER OPTIC LINE
= GAS LINE
= OVERHEAD ELECTRIC LINE
= SANITARY SEWER LINE
= TELEPHONE LINE
= CABLE TV LINE
= WATER LINE

SURVEYOR'S CERTIFICATION:

TO WALLBROOK LANDCO, LLC, ITS SUCCESSORS AND/OR ASSIGNS AS THEIR INTERESTS MAY APPEAR, AND INVESTORS TITLE INSURANCE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6A, 7A, 7B1, 8, 9, 11, 13, 16 AND 17 OF TABLE "A" THEREOF. THE FIELDWORK WAS COMPLETED ON MARCH 6, 2020.

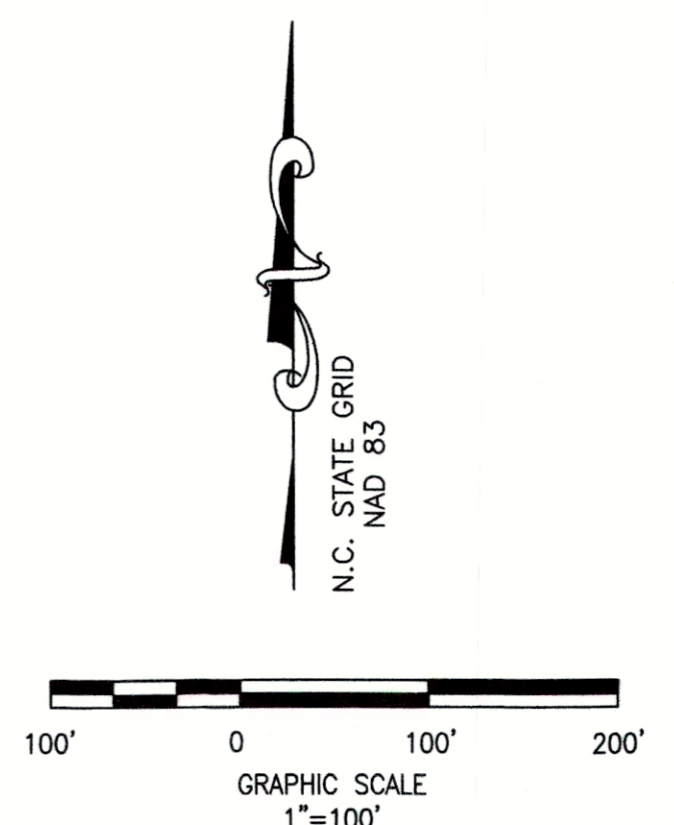
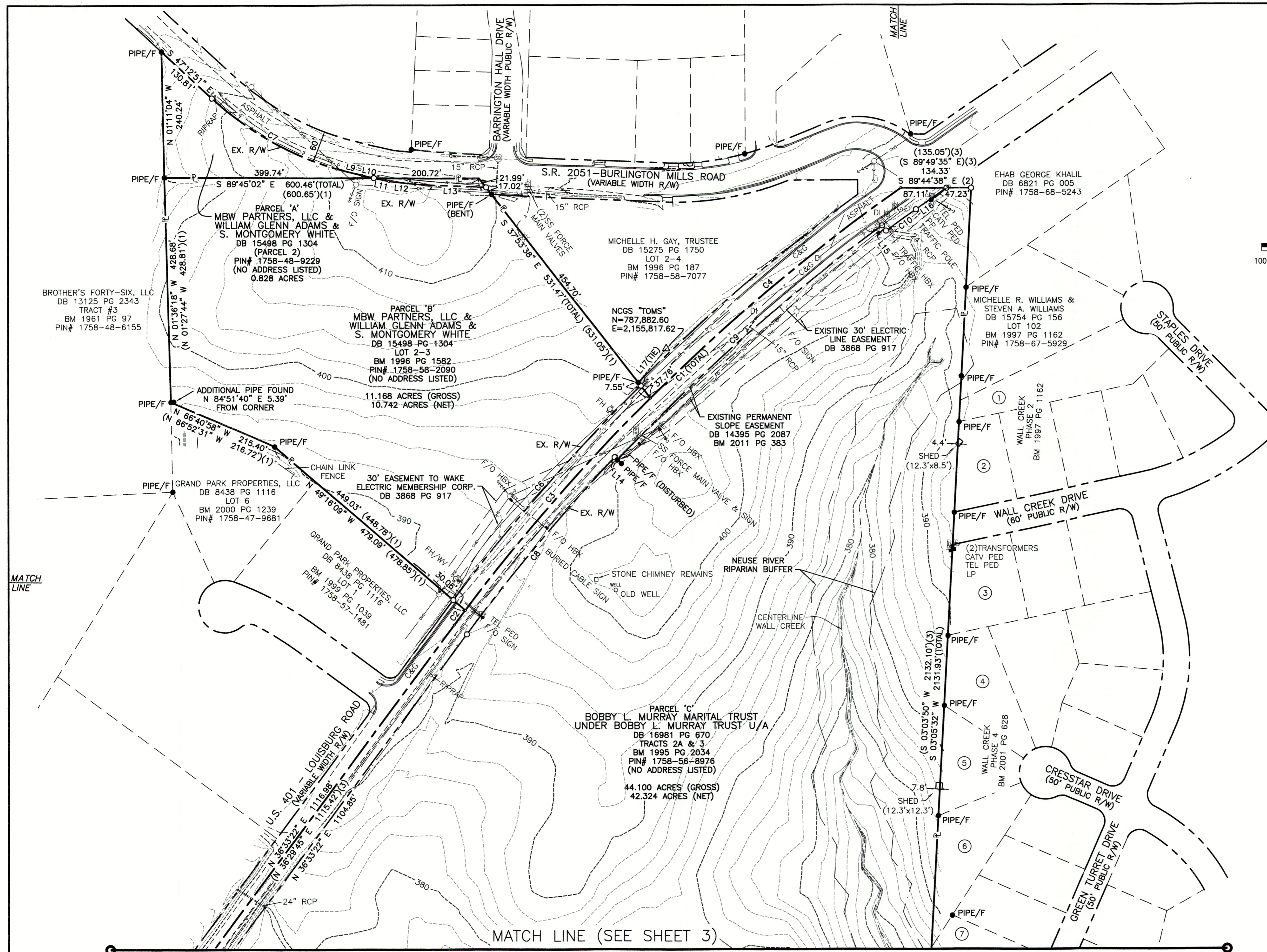
Signature of William T. Robbins, II, dated 10/1/2020. Includes name and P.L.S. #L-4192.



Logo for Johnson, Mirmiran & Thompson Engineering A Brighter Future. Includes address, phone, fax, and email information.

Table with 3 columns: REVISION #, DATE, REASON FOR REVISION. Shows one revision on 10/01/2020 for adding a riparian buffer.

ALTA/NSPS LAND TITLE SURVEY. Prepared for Wallbrook Landco, LLC. Includes project details, scale (1"=100'), and sheet number (1 of 3).



ADJOINING PROPERTY OWNERS

- ① RODERICK BLACKWELL & CHRISTINE BLACKWELL
DB 8769 PG 1894
LOT 101
BM 1997 PG 1162
PIN# 1758-67-6836
- ② CHARLES CULBERTSON & TERESA CULBERTSON
DB 17393 PG 896
LOT 96
BM 1997 PG 1162
PIN# 1758-67-4619
- ③ ANTONIO G. CATTARUZZA & SHEILA B. CATTARUZZA
DB 8149 PG 422
LOT 92
BM 1997 PG 1162
PIN# 1758-67-4416
- ④ JOHN DANIEL BONO, III & SABRINA MICHELE BONO
DB 13369 PG 2170
LOT 85
BM 2001 PG 628
PIN# 1758-67-4204
- ⑤ RONALD G. PATTERSON & LAURA A. PATTERSON
DB 10087 PG 2409
LOT 84
BM 2001 PG 628
PIN# 1758-67-4100
- ⑥ MICHAEL A. HADDER & JENNIFER H. HADDER
DB 16143 PG 2477
LOT 83
BM 2001 PG 628
PIN# 1758-66-3984
- ⑦ JOSEPH L. KEELEY, III & SARAH E. KEELEY
DB 10496 PG 1314
LOT 79
BM 2002 PG 825
PIN# 1758-66-4723

- LEGEND**
- (1) = RECORD DATA PER BM 1996 PG 1582
 - (2) = RECORD DATA PER BM 2011 PG 383
 - (3) = RECORD DATA PER BM 1995 PG 2034
 - (4) = RECORD DATA PER BM 2002 PG 825
 - (5) = RECORD DATA PER BM 2005 PG 1195-1196
 - (6) = RECORD DATA PER DB 13993 PG 2591
 - = FOUND MONUMENT AS NOTED
 - = SET IRON PIN
 - △ = NCGS MONUMENT
 - = DIMENSION POINT (NOTHING SET)
 - ℙ = PROPERTY LINE
 - R/W = RIGHT OF WAY

- C&G = CURB AND GUTTER
- CAV = CABLE TV PEDESTAL
- DI = DROP INLET
- ELEC = ELECTRIC BOX
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- F/O = FIBER OPTIC
- FH = FIRE HYDRANT
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- HBX = HAND BOX
- LP = LIGHT POLE
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- RCP = REINFORCED CONCRETE PIPE
- S.F. = SQUARE FEET (AREA)
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- = SANITARY SEWER MANHOLE
- = SANITARY SEWER FORCE MAIN VALVE
- = STORM DRAIN MANHOLE
- = TELEPHONE PEDESTAL
- = TRAFFIC BOX
- = WATER BOX
- = WATER METER
- WM = WATER MANHOLE
- WMH = WATER VALVE
- = WELL
- = PEDESTRIAN X-WALK POLE
- = ELECTRIC LINE
- = SANITARY SEWER FORCE MAIN
- = FIBER OPTIC LINE
- = GAS LINE
- = OVERHEAD ELECTRIC LINE
- = SANITARY SEWER LINE
- = TELEPHONE LINE
- = CABLE TV LINE
- = WATER LINE

| LINE | BEARING | DISTANCE |
|------|---------------|----------|
| L1 | N 02°07'15" W | 48.32 |
| L2 | N 03°10'03" W | 17.67 |
| L3 | N 41°10'16" E | 41.30 |
| L4 | N 40°37'47" E | 49.15 |
| L5 | N 39°31'43" E | 50.83 |
| L6 | N 38°52'58" E | 49.80 |
| L7 | N 38°22'04" E | 50.40 |
| L8 | N 37°17'31" E | 50.37 |
| L9 | S 75°02'10" E | 50.12 |
| L10 | S 77°31'31" E | 22.85 |
| L11 | S 77°31'31" E | 29.16 |
| L12 | S 84°03'28" E | 50.67 |
| L13 | S 87°10'20" E | 135.52 |
| L14 | S 46°39'44" E | 7.50 |
| L15 | S 36°12'58" E | 12.50 |
| L16 | N 55°13'38" E | 70.99 |
| L17 | N 39°21'58" E | 83.92 |

| CURVE | ARC LENGTH | RADIUS | DELTA ANGLE | CHORD BEARING | CHORD LENGTH |
|-------|------------|---------|-------------|---------------|--------------|
| C1 | 1197.82 | 3750.00 | 18°18'05" | S 45°42'25" W | 1192.73 |
| C2 | 35.15 | 3750.00 | 0°32'13" | S 36°49'29" W | 35.15 |
| C3 | 537.89 | 3750.00 | 8°13'06" | S 41°12'09" W | 537.43 |
| C4 | 624.78 | 3750.00 | 9°32'45" | S 50°05'04" W | 624.06 |
| C5 | 65.86 | 123.92 | 30°27'05" | S 17°21'49" E | 65.09 |
| C6 | 543.86 | 3780.00 | 8°14'37" | S 41°14'38" W | 543.40 |
| C7 | 276.12 | 800.00 | 26°22'04" | N 60°23'53" W | 273.69 |
| C8 | 440.32 | 3720.00 | 6°46'55" | S 39°56'50" W | 440.07 |
| C9 | 675.86 | 3712.50 | 10°25'52" | S 48°33'13" W | 674.95 |
| C10 | 70.31 | 3700.00 | 1°05'20" | S 54°18'48" W | 70.31 |

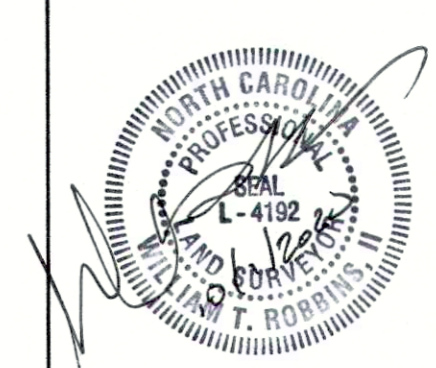
(R=3750.00', L=1199.06')(3)

JMT JOHNSON, MIRMIRAN & THOMPSON
 Engineering A Brighter Future®
 9201 Arboretum Parkway Suite 310 Richmond, Virginia 23236
 PHONE: (804)-323-9900 FAX: (804)-323-0596
 EMAIL: jmtva@jmt-engineering.com

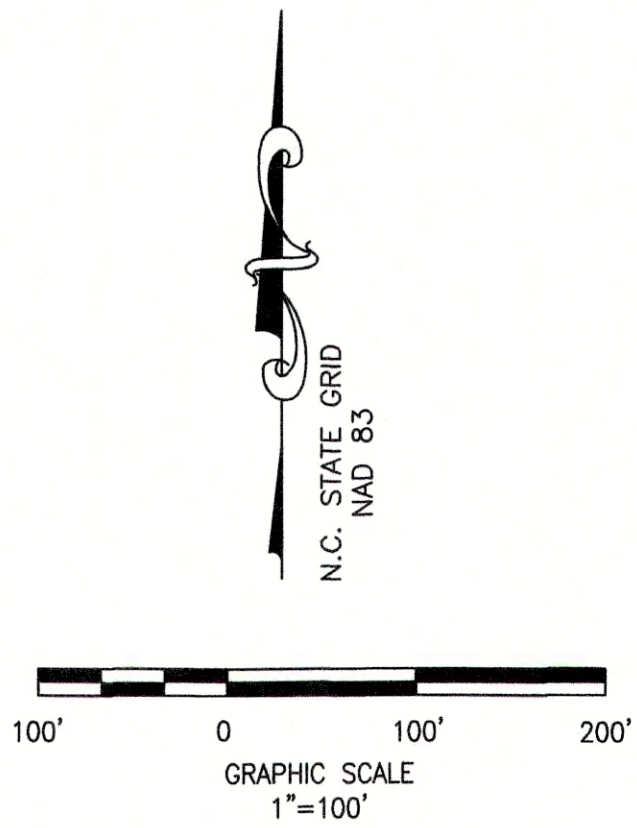
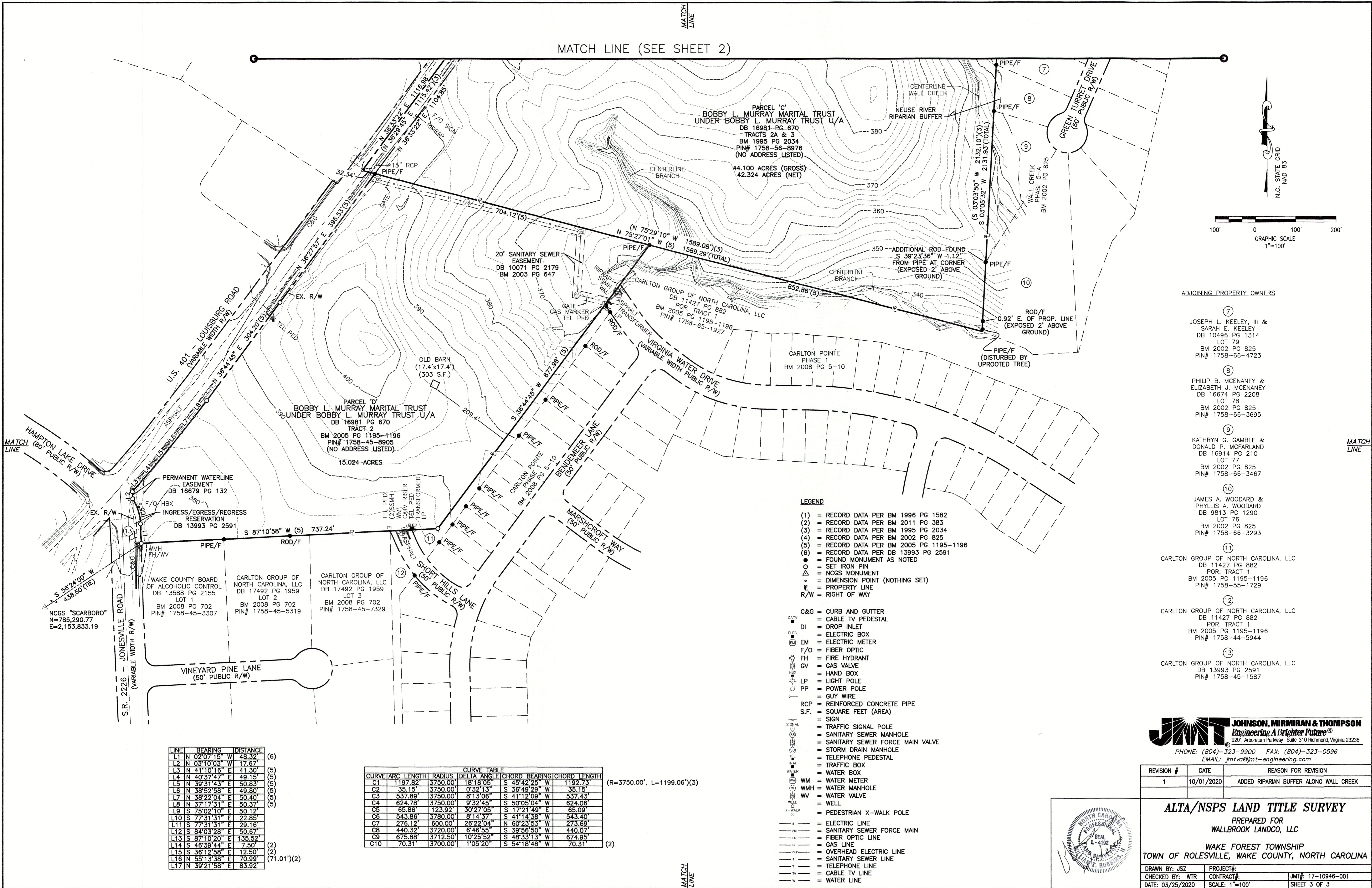
| REVISION # | DATE | REASON FOR REVISION |
|------------|------------|----------------------------------------|
| 1 | 10/01/2020 | ADDED RIPARIAN BUFFER ALONG WALL CREEK |

ALTA/NSPS LAND TITLE SURVEY
 PREPARED FOR
WALLBROOK LANDCO, LLC
 WAKE FOREST TOWNSHIP
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

DRAWN BY: JSZ PROJECT#: JMT# 17-10946-001
 CHECKED BY: WTR CONTRACT#: SHEET 2 OF 3
 DATE: 03/25/2020 SCALE: 1"=100'



MATCH LINE (SEE SHEET 2)



ADJOINING PROPERTY OWNERS

- 7 JOSEPH L. KEELEY, III & SARAH E. KEELEY DB 10496 PG 1314 LOT 79 BM 2002 PG 825 PIN# 1758-66-4723
- 8 PHILIP B. MCENANEY & ELIZABETH J. MCENANEY DB 16674 PG 2208 LOT 78 BM 2002 PG 825 PIN# 1758-66-3695
- 9 KATHRYN G. GAMBLE & DONALD P. MCFARLAND DB 16914 PG 210 LOT 77 BM 2002 PG 825 PIN# 1758-66-3467
- 10 JAMES A. WOODARD & PHYLLIS A. WOODARD DB 9813 PG 1290 LOT 76 BM 2002 PG 825 PIN# 1758-66-3293
- 11 CARLTON GROUP OF NORTH CAROLINA, LLC DB 11427 PG 882 POR. TRACT 1 BM 2005 PG 1195-1196 PIN# 1758-55-1729
- 12 CARLTON GROUP OF NORTH CAROLINA, LLC DB 11427 PG 882 POR. TRACT 1 BM 2005 PG 1195-1196 PIN# 1758-44-5944
- 13 CARLTON GROUP OF NORTH CAROLINA, LLC DB 13993 PG 2591 PIN# 1758-45-1587

LEGEND

- (1) = RECORD DATA PER BM 1996 PG 1582
- (2) = RECORD DATA PER BM 2011 PG 383
- (3) = RECORD DATA PER BM 1995 PG 2034
- (4) = RECORD DATA PER BM 2002 PG 825
- (5) = RECORD DATA PER BM 2005 PG 1195-1196
- (6) = RECORD DATA PER DB 13993 PG 2591
- = FOUND MONUMENT AS NOTED
- = SET IRON PIN
- △ = NCGS MONUMENT
- = DIMENSION POINT (NOTHING SET)
- ▭ = PROPERTY LINE
- R/W = RIGHT OF WAY

- C&G = CURB AND GUTTER
- DI = DROP INLET
- ELEC = ELECTRIC BOX
- EM = ELECTRIC METER
- F/O = FIBER OPTIC
- FH = FIRE HYDRANT
- GV = GAS VALVE
- HB = HAND BOX
- LP = LIGHT POLE
- PP = POWER POLE
- GUY = GUY WIRE
- RCP = REINFORCED CONCRETE PIPE
- S.F. = SQUARE FEET (AREA)
- SIGN = SIGN
- TS = TRAFFIC SIGNAL POLE
- SSM = SANITARY SEWER MANHOLE
- SSFMV = SANITARY SEWER FORCE MAIN VALVE
- SDM = STORM DRAIN MANHOLE
- TP = TELEPHONE PEDESTAL
- TB = TRAFFIC BOX
- WB = WATER BOX
- WM = WATER METER
- WMH = WATER MANHOLE
- WV = WATER VALVE
- WELL = WELL
- X-WALK = PEDESTRIAN X-WALK POLE
- E = ELECTRIC LINE
- FM = SANITARY SEWER FORCE MAIN
- FO = FIBER OPTIC LINE
- G = GAS LINE
- OHE = OVERHEAD ELECTRIC LINE
- S = SANITARY SEWER LINE
- T = TELEPHONE LINE
- TV = CABLE TV LINE
- W = WATER LINE

| LINE | BEARING | DISTANCE |
|------|---------------|----------|
| L1 | N 02°07'15" W | 48.32' |
| L2 | N 03°10'03" W | 17.67' |
| L3 | N 41°10'16" E | 41.30' |
| L4 | N 40°37'47" E | 49.15' |
| L5 | N 39°31'43" E | 50.83' |
| L6 | N 38°52'58" E | 49.80' |
| L7 | N 38°22'04" E | 50.40' |
| L8 | N 37°17'31" E | 50.37' |
| L9 | S 75°02'10" E | 50.12' |
| L10 | S 77°31'31" E | 22.85' |
| L11 | S 77°31'31" E | 29.16' |
| L12 | S 84°03'28" E | 50.67' |
| L13 | S 87°10'20" E | 135.52' |
| L14 | S 46°39'44" E | 7.50' |
| L15 | S 36°12'58" E | 12.50' |
| L16 | N 55°13'38" E | 70.99' |
| L17 | N 39°21'58" E | 83.92' |

| CURVE | ARC LENGTH | RADIUS | DELTA ANGLE | CHORD BEARING | CHORD LENGTH |
|-------|------------|----------|-------------|---------------|--------------|
| C1 | 1197.82' | 3750.00' | 18°18'05" | S 45°42'25" W | 1192.73' |
| C2 | 35.15' | 3750.00' | 0°32'13" | S 36°49'29" W | 35.15' |
| C3 | 537.89' | 3750.00' | 8°13'06" | S 41°12'09" W | 537.43' |
| C4 | 624.78' | 3750.00' | 9°32'45" | S 50°05'04" W | 624.06' |
| C5 | 65.86' | 123.92' | 30°27'05" | S 17°21'49" E | 65.09' |
| C6 | 543.86' | 3780.00' | 8°14'37" | S 41°14'38" W | 543.40' |
| C7 | 276.12' | 600.00' | 26°22'04" | N 60°23'53" W | 273.69' |
| C8 | 440.32' | 3720.00' | 6°46'55" | S 39°56'50" W | 440.07' |
| C9 | 675.88' | 3712.50' | 10°25'52" | S 48°33'13" W | 674.95' |
| C10 | 70.31' | 3700.00' | 1°05'20" | S 54°18'48" W | 70.31' |

(R=3750.00', L=1199.06')(3)

(2)

JOHNSON, MIRMIAN & THOMPSON
Engineering A Brighter Future
 9201 Arboretum Parkway, Suite 310 Richmond, Virginia 23236
 PHONE: (804)-323-9900 FAX: (804)-323-0596
 EMAIL: jmtvo@jmt-engineering.com

| REVISION # | DATE | REASON FOR REVISION |
|------------|------------|----------------------------------------|
| 1 | 10/01/2020 | ADDED RIPARIAN BUFFER ALONG WALL CREEK |

ALTA/NSPS LAND TITLE SURVEY
 PREPARED FOR
WALLBROOK LANDCO, LLC
 WAKE FOREST TOWNSHIP
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

DRAWN BY: JSZ PROJECT#: _____
 CHECKED BY: WTR CONTRACT#: _____ JMT#: 17-10946-001
 DATE: 03/25/2020 SCALE: 1"=100' SHEET 3 OF 3

