

V1 - SDP-24-06

# ROLESVILLE CROSSING

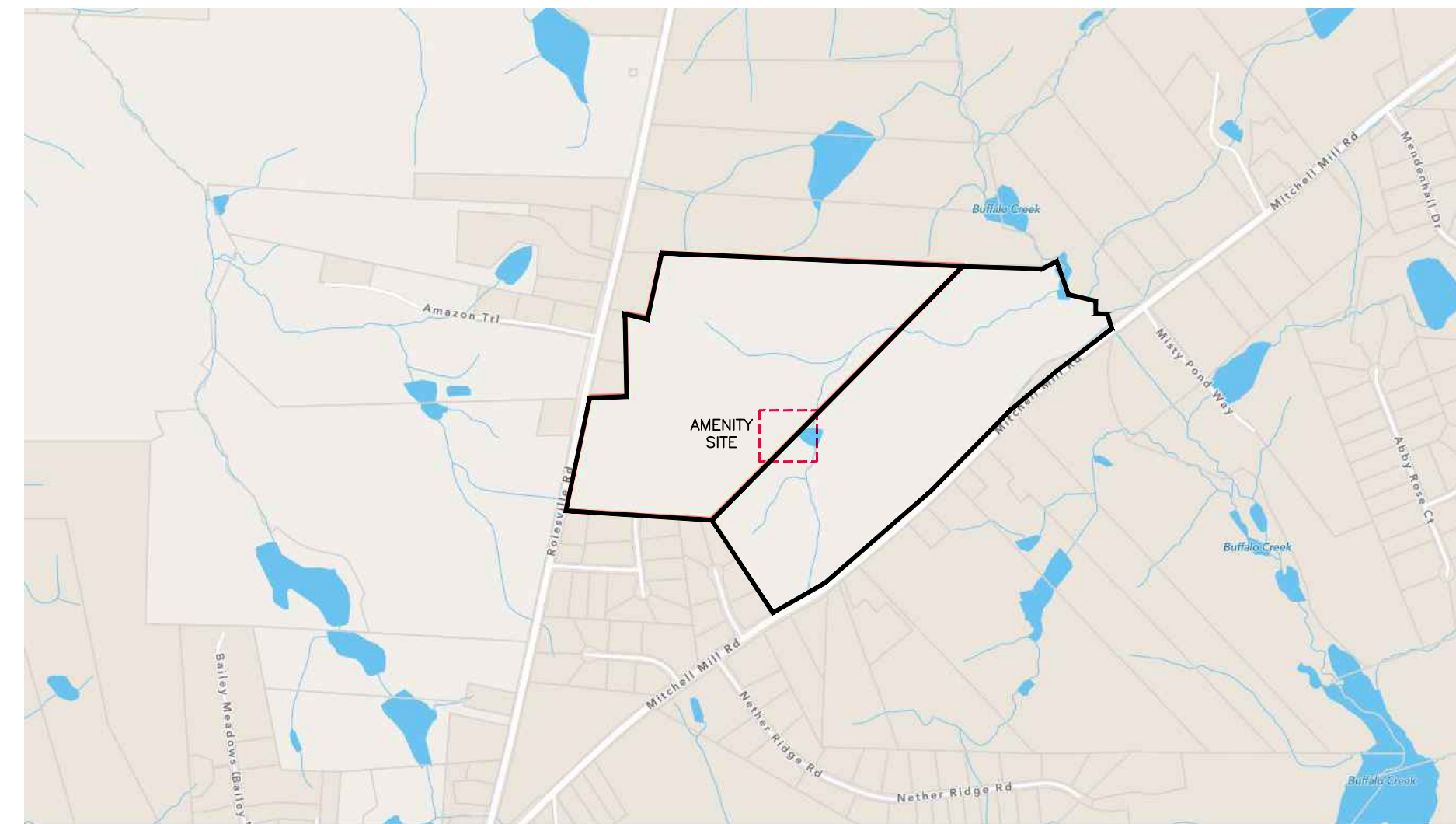
1801 ROLESVILLE RD  
ROLESVILLE, NC 27587

## AMENITY CENTER CONSTRUCTION DRAWINGS

PROJECT NUMBER: LEN2026

SDP-24-XXXX

DATE: JULY 1, 2024

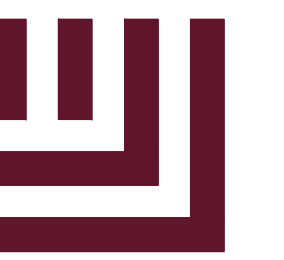


**VICINITY MAP**  
N.T.S.



### SHEET INDEX

C0.00	COVER SHEET
C1.00	OVERALL SUBDIVISION PLAN
C1.01	AMENITY EXISTING CONDITION
C2.00	AMENITY HARDSCAPE PLAN
C3.00	AMENITY GRADING PLAN
C4.00	AMENITY UTILITY PLAN - SHEET 1 OF 2
C4.01	AMENITY UTILITY PLAN - SHEET 2 OF 2
C8.00	SITE AND UTILITY DETAILS
C8.01	SITE DETAILS
L5.00	AMENITY LANDSCAPE PLAN
L5.01	LANDSCAPE NOTES AND DETAILS
L6.00	AMENITY LIGHTING PLAN



**MCADAMS**

The John R. McAdams Company, Inc.  
621 Hillsborough Street  
Suite 500  
Raleigh, NC 27603  
phone 919. 361. 5000  
fax 919. 361. 2269  
license number: C-0293, C-187

www.mcadamsco.com

### CONTACT

SARA DONOHOE  
donohoe@mcadamsco.com  
PHONE: 703.431.8058

### CLIENT

LENNAR  
1100 PERIMETER PARK DRIVE, SUITE 112  
MORRISVILLE, NC 27560



### PROJECT DIRECTORY



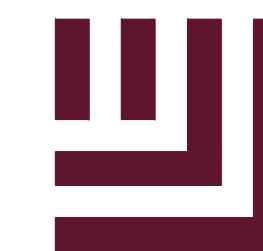
### REVISIONS

NO. DATE

### CONSTRUCTION DRAWINGS DRAWINGS FOR:

ROLESVILLE CROSSING  
AMENITY CENTER  
ROLESVILLE, NC 27587  
PROJECT NUMBER: LEN23026





**McADAMS**

The John R. McAdams Company, Inc.  
621 Hillsborough Street  
Suite 500  
Raleigh, NC 27603  
phone 919. 361. 5000  
fax 919. 361. 2269  
license number: C-0293, C-187

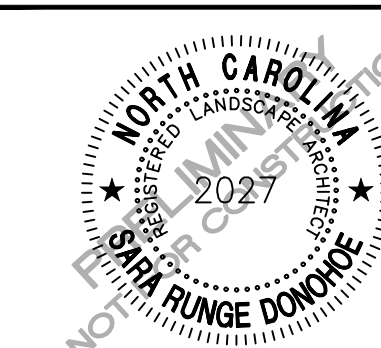
www.mcadamsco.com

**CLIENT**

LENNAR  
1100 PERIMETER PARK DRIVE, SUITE 112  
MORRISVILLE, NC 27560



**ROLESVILLE CROSSING  
AMENITY CENTER  
CONSTRUCTION DRAWINGS  
1801 ROLESVILLE RD  
ROLESVILLE, NC 27587**



**REVISIONS**

NO. DATE

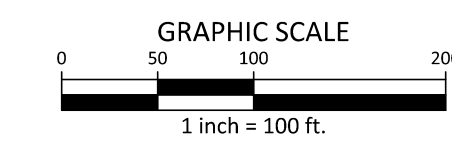
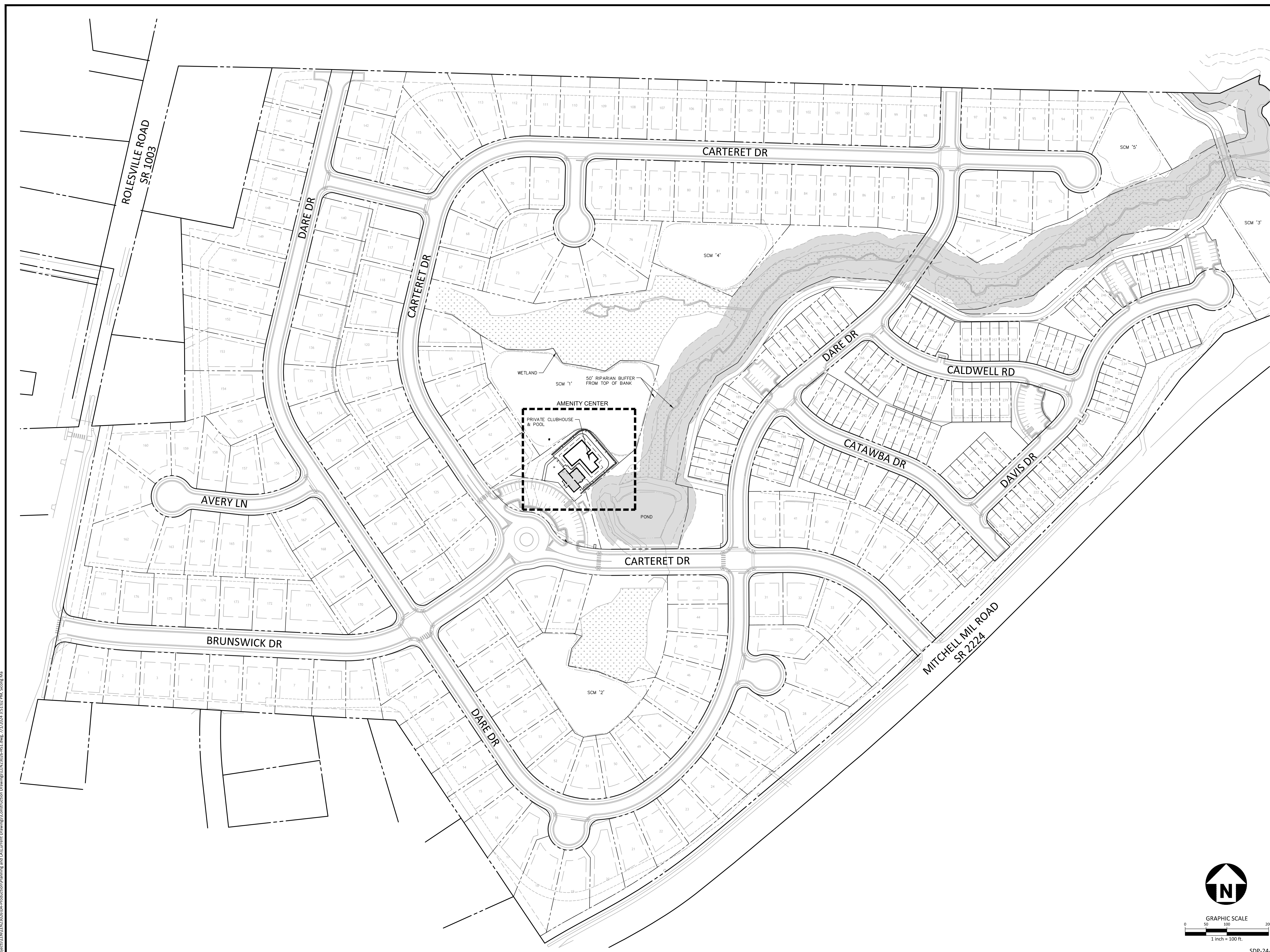
**PLAN INFORMATION**

PROJECT NO. LEN23026  
FILENAME LEN23026-HS1  
CHECKED BY SRD  
DRAWN BY SMA  
SCALE 1" = 100'  
DATE 07.01.2024

**SHEET**

**OVERALL SUBDIVISION  
PLAN**

**C1.00**



SDP-24-XXXX

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

M:\Projects\LEN23026\04-Production\Planning and LA\Current Drawings\Construction Drawings\LEN23026-HS1.dwg, 7/1/2024 3:51:02 PM, Siong Ma









**McADAMS**

The John R. McAdams Company, Inc.  
621 Hillsborough Street  
Suite 500  
Raleigh, NC 27603  
phone 919. 361. 5000  
fax 919. 361. 2269  
license number: C-0293, C-187

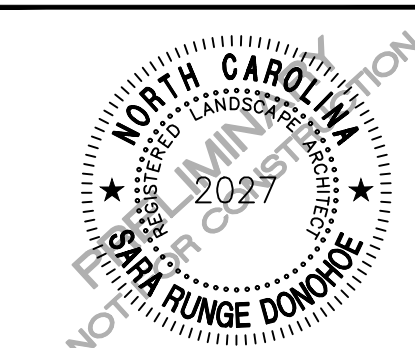
www.mcadamsco.com

**CLIENT**

LENNAR  
1100 PERIMETER PARK DRIVE, SUITE 112  
MORRISVILLE, NC 27560



**ROLESVILLE CROSSING**  
AMENITY CENTER  
CONSTRUCTION DRAWINGS  
1801 ROLESVILLE RD  
ROLESVILLE, NC 27587



**REVISIONS**

NO. DATE

**PLAN INFORMATION**

PROJECT NO. LEN23026  
FILENAME LEN23026-HS1  
CHECKED BY SRD  
DRAWN BY SMA  
SCALE 1" = 10'  
DATE 07.01.2024

**SHEET**

**AMENITY HARDSCAPE PLAN**

**C2.00**

**SITE LEGEND**

P/A PLANTING AREA

**MATERIALS LEGEND**

SYMBOL	DESCRIPTION	STYLE/MANUFACTURER	SIZE/MATERIAL
	STANDARD CONCRETE PAVING WITH BROOM FINISH	3,000 PSI MIN. MUST MEET ALL STRUCTURAL AND GEOTECHNICAL REQUIREMENTS	
	POOL COPING	TECHNOLOG BULLDOZE	TO BE SELECTED BY POOL CONTRACTOR

**FIXED FURNISHINGS SCHEDULE**

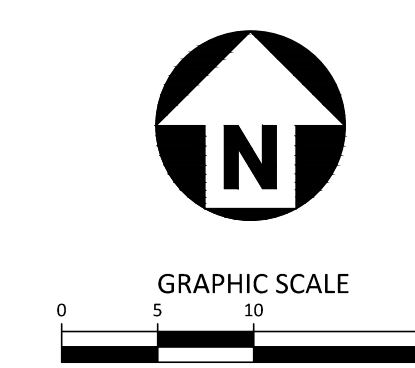
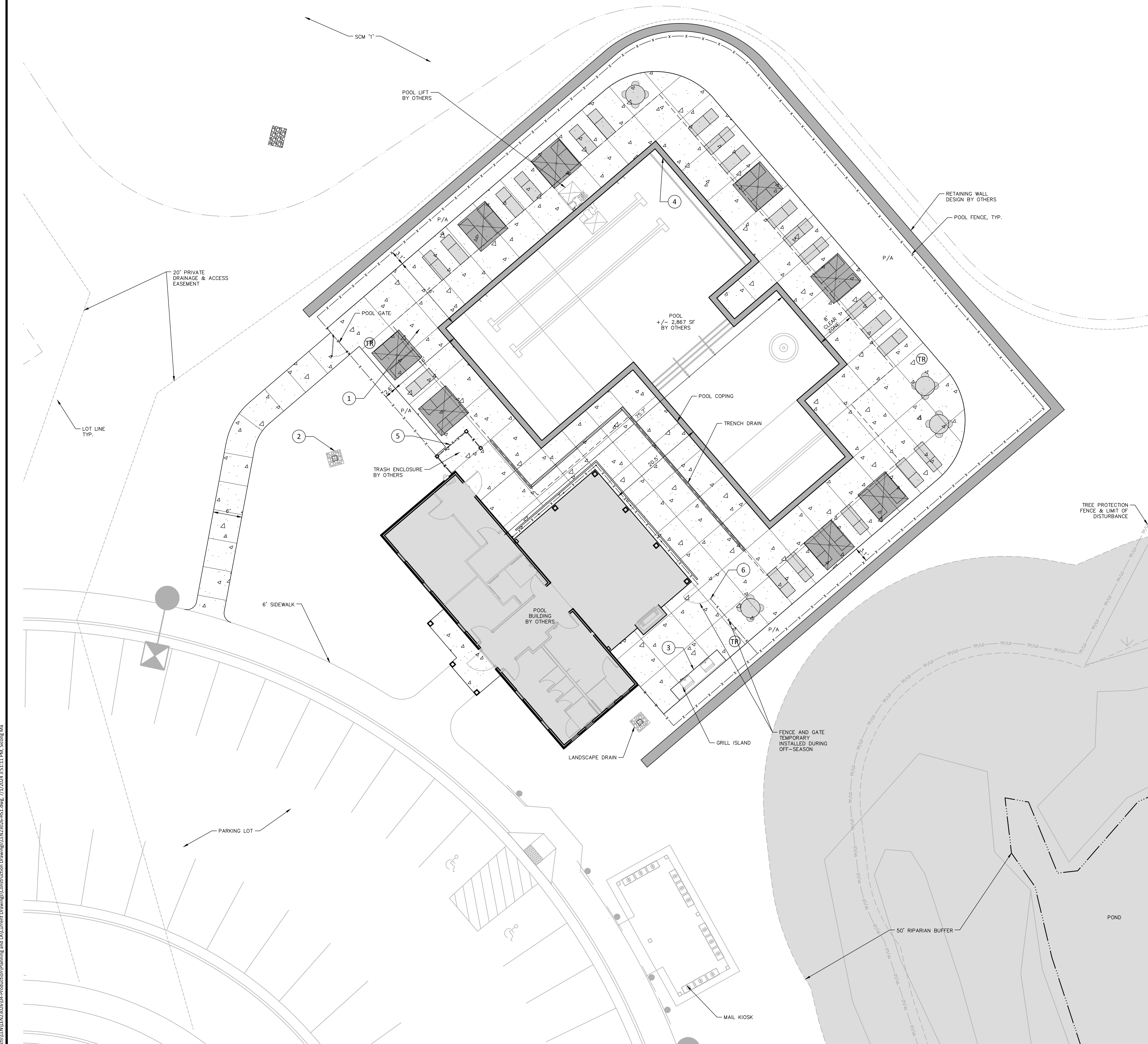
SYMBOL	FURNISHING	QUANTITY (TOTAL)	PRODUCT	PRODUCT DESCRIPTION
	TRASH RECEPTACLE	3	IMAGIN SERIES 200 (OR APPROVED EQUAL)	32 GALLON; BLACK POWDER COAT FINISH (SEE DETAIL 1814-13)
	OUTDOOR GRILL STATION	1	AMERICAN OUTDOOR GRILL (OR APPROVED EQUAL)	SEE DETAIL 191 (4-12)
	POOL UMBRELLA	8	PARASOL MONOCOLEX BY SHADESCAPE AMERICANS (OR APPROVED EQUAL)	SEE DETAIL 191 (4-13)

**FLEXIBLE FURNISHINGS SCHEDULE**

SYMBOL	FURNISHING	QUANTITY (TOTAL)	BY OWNER	FOR OUTDOOR USE ONLY
	ROUND TABLE WITH CHAIRS	4	BY OWNER	FOR OUTDOOR USE ONLY
	CHAISE LOUNGE	17	BY OWNER	FOR OUTDOOR USE ONLY

**DETAIL KEY SCHEDULE**

01	CONCRETE PAVING	CS.00
02	LANDSCAPE DRAIN	CS.00
03	GRILL ISLAND	CS.01
04	POOL COPING	CS.01
05	TRASH CORRAL	CS.01
06	POOL FENCE AND GATE	CS.01



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION  
SDP-24-XXXX

M:\Projects\LEN\LEN23026\04-Production\Planning and LA\Current Drawings\Construction Drawings\LEN23026-HS1.dwg, 7/1/2024 3:51:11 PM, Siskong, MA





**McADAMS**

The John R. McAdams Company, Inc.  
621 Hillsborough Street  
Suite 500  
Raleigh, NC 27603  
phone 919. 361. 5000  
fax 919. 361. 2269  
license number: C-0293, C-187

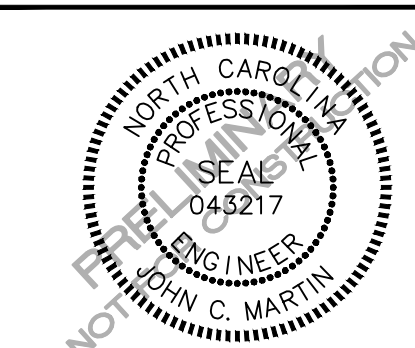
www.mcadamsco.com

**CLIENT**

LENNAR  
1100 PERIMETER PARK DRIVE, SUITE 112  
MORRISVILLE, NC 27560



**ROLESVILLE CROSSING  
AMENITY CENTER  
CONSTRUCTION DRAWINGS  
1801 ROLESVILLE RD  
ROLESVILLE, NC 27587**



**REVISIONS**

NO. DATE

**PLAN INFORMATION**

PROJECT NO. LEN23026  
FILENAME LEN23026-G1  
CHECKED BY JCM  
DRAWN BY LWC  
SCALE 1" = 10'  
DATE 07.01.2024

**SHEET**

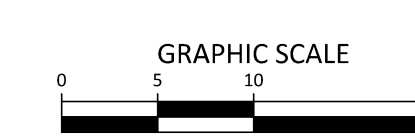
**AMENITY GRADING PLAN**

**C3.00**

**GRADING LEGEND**

- FLARED END SECTION
- ENDWALL SECTION
- CATCH BASIN
- DROP INLET
- STORM SERVICE INLET
- STORM SERVICE ROOF-DRAIN
- JUNCTION BOX
- DRAINAGE FLOW ARROW
- LINE BREAK SYMBOL
- TOP & BOTTOM CURB ELEVATIONS
- SPOT ELEVATION
- STORM DRAINAGE
- STORM SERVICE LINE
- ROOF DRAIN, 8" ADS  
NON-PERFORATED TUBING OR  
EQUAL 1.0% MIN. SLOPE 3' MIN.  
COVER PVC SCHEDULE 40 IN  
TRAFFIC AREAS
- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE
- WOODED AREA
- MAJOR CONTOUR
- MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EASEMENT LINE
- ACCESSIBLE PARKING AREA  
(2% MAX. SLOPE IN ALL DIRECTIONS)

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF ROLESVILLE ENGINEERING AND CONSTRUCTION STANDARDS.



SDP-24-XXXX

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

M:\Projects\LEN\LEN23026\04-Production\Planning and LA\Current Drawings\Construction Drawings\LEN23026-G1.dwg, 7/1/2024, 3:53:21 PM, Scott M.







**McADAMS**

The John R. McAdams Company, Inc.  
621 Hillsborough Street  
Suite 500  
Raleigh, NC 27603  
phone 919. 361. 5000  
fax 919. 361. 2269  
license number: C-0293, C-187

www.mcadamsco.com

**CLIENT**

LENNAR  
1100 PERIMETER PARK DRIVE, SUITE 112  
MORRISVILLE, NC 27560



**ROLESVILLE CROSSING**  
AMENITY CENTER  
CONSTRUCTION DRAWINGS  
1801 ROLESVILLE RD  
ROLESVILLE, NC 27587



**REVISIONS**

NO. DATE

**PLAN INFORMATION**

PROJECT NO. LEN23026  
FILENAME LEN23026-U1  
CHECKED BY JCM  
DRAWN BY LWC  
SCALE 1" = 10'  
DATE 07.01.2024

**SHEET**

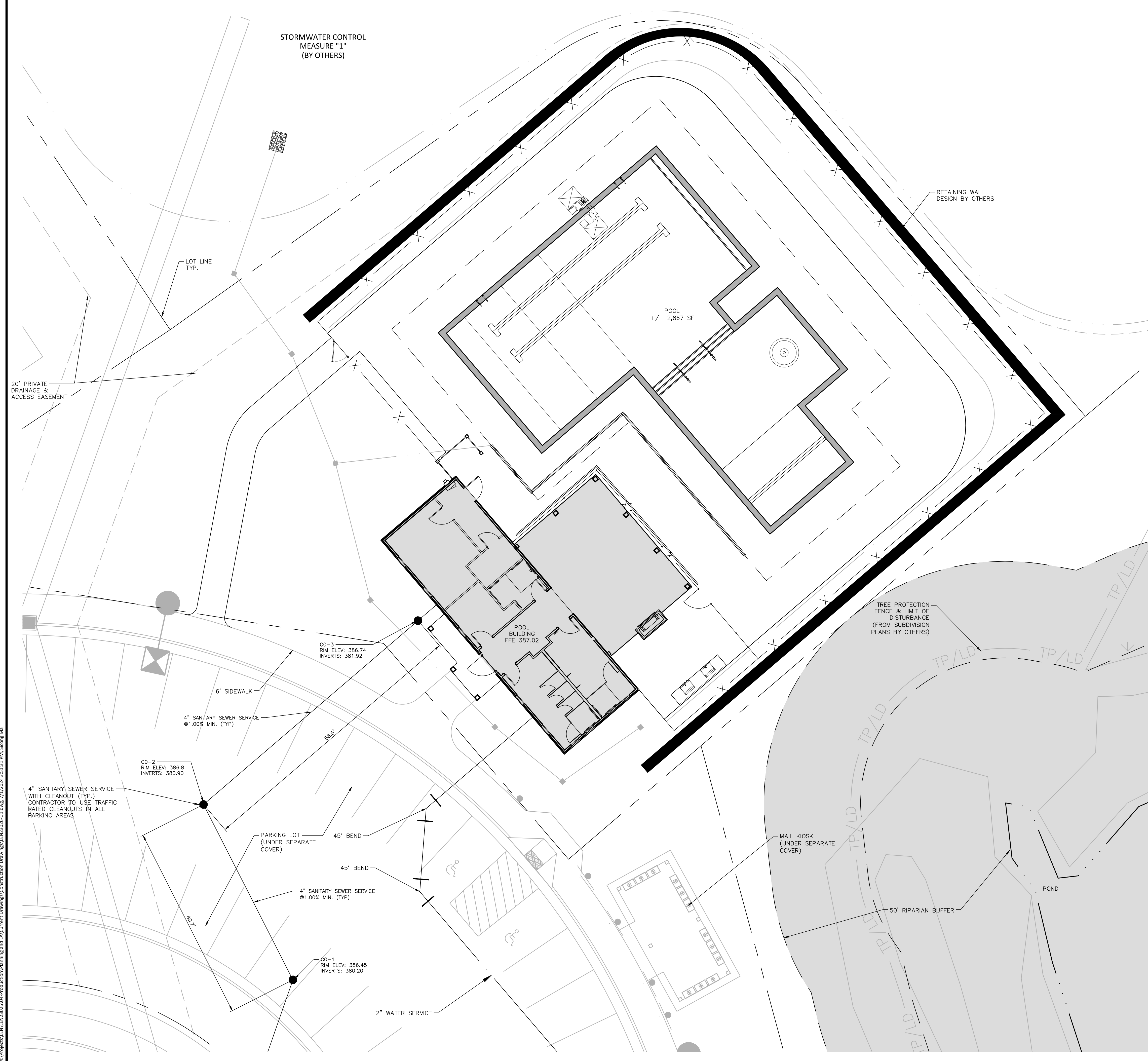
**AMENITY UTILITY PLAN -  
SHEET 1 OF 2**

**C4.00**

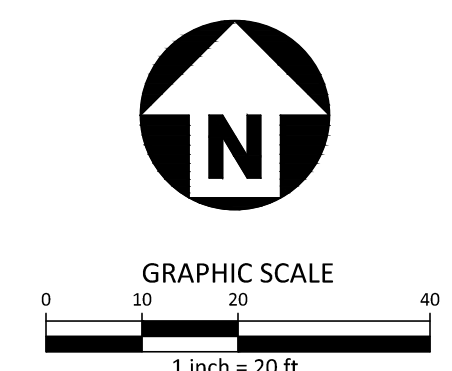
**UTILITY LEGEND**

- FIRE HYDRANT ASSEMBLY
- FIRE DEPARTMENT CONNECTION (FDC)
- WATER METER
- WATER VALVE
- BACKFLOW PREVENTER
- REDUCER
- PLUG
- BLOW-OFF ASSEMBLY
- SANITARY SEWER MANHOLE
- SEWER CLEAN-OUT
- SEWER FLOW DIRECTION ARROW
- POWER POLE
- WATERLINE
- WATER SERVICE LINE
- UTILITY SLEEVE
- SANITARY SEWER
- SEWER SERVICE LINE
- SEWER FORCE MAIN
- GAS LINE
- OVERHEAD UTILITY
- UNDERGROUND ELECTRIC
- TELEPHONE
- EASEMENT LINE

M:\Projects\LEN\LEN23026\Production\Planning and LA\Current Drawings\Construction Drawings\LEN23026-U1.dwg, 7/1/2024, 3:53:31 PM, Steven Ma



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF ROLESVILLE ENGINEERING AND CONSTRUCTION STANDARDS.



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

SDP-24-XXXX





**McADAMS**

The John R. McAdams Company, Inc.  
621 Hillsborough Street  
Suite 500  
Raleigh, NC 27603  
phone 919.361.5000  
fax 919.361.2269  
license number: C-0293, C-187

www.mcadamsco.com

**CLIENT**

LENNAR  
1100 PERIMETER PARK DRIVE, SUITE 112  
MORRISVILLE, NC 27560



**ROLESVILLE CROSSING  
AMENITY CENTER  
CONSTRUCTION DRAWINGS  
1801 ROLESVILLE RD  
ROLESVILLE, NC 27587**



**REVISIONS**

NO. DATE

**PLAN INFORMATION**

PROJECT NO. LEN23026  
FILENAME LEN23026-U1  
CHECKED BY SRD  
DRAWN BY SMA  
SCALE 1" = 10'  
DATE 07.01.2024

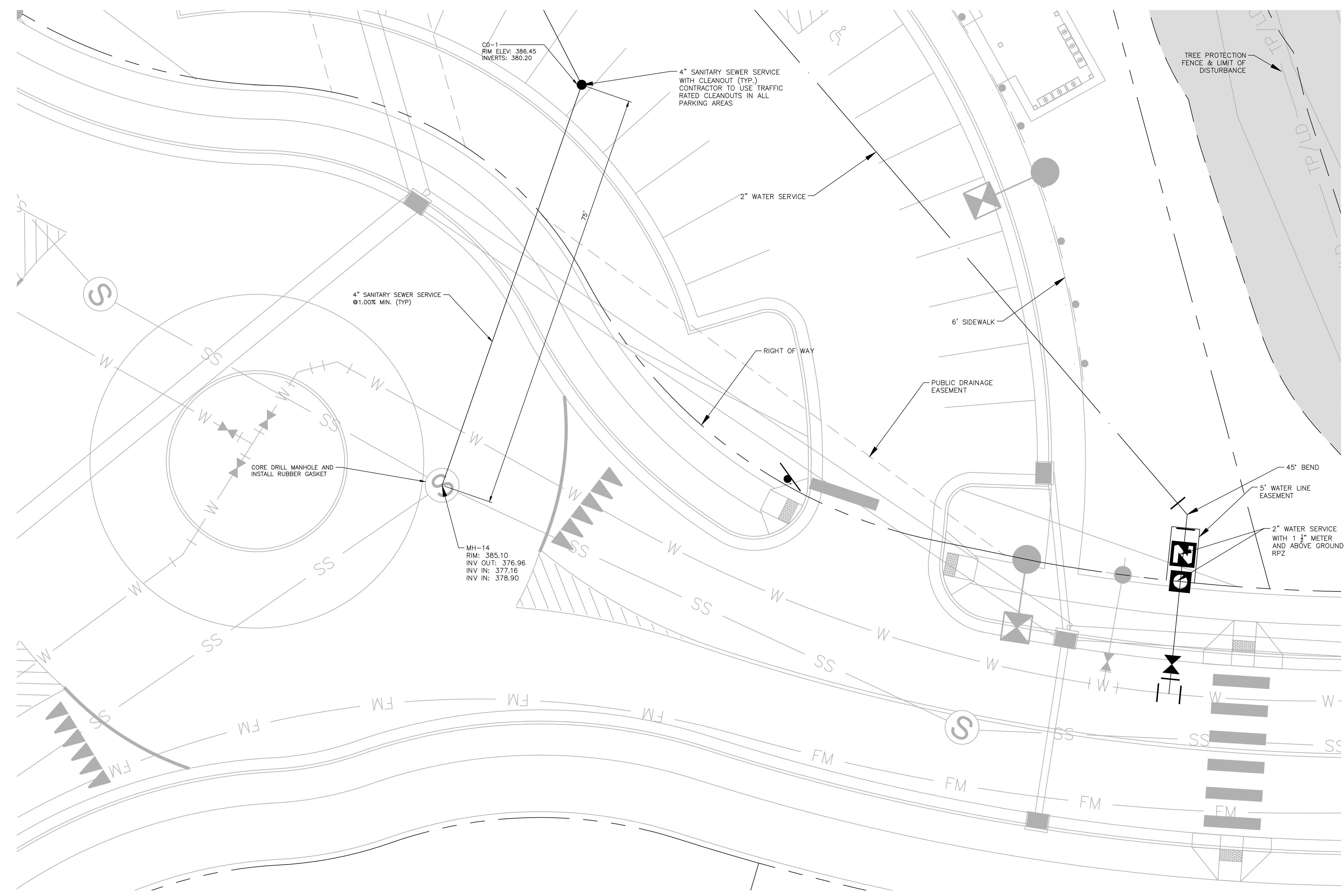
**SHEET**

**AMENITY UTILITY PLAN -  
SHEET 2 OF 2**

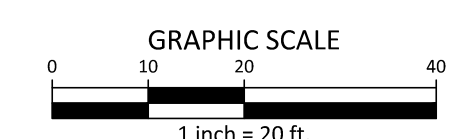
**C4.01**

**UTILITY LEGEND**

- FIRE HYDRANT ASSEMBLY
- FIRE DEPARTMENT CONNECTION (FDC)
- WATER METER
- WATER VALVE
- BACKFLOW PREVENTER
- REDUCER
- PLUG
- BLOW-OFF ASSEMBLY
- SANITARY SEWER MANHOLE
- SEWER CLEAN-OUT
- SEWER FLOW DIRECTION ARROW
- POWER POLE
- WATERLINE
- WATER SERVICE LINE
- UTILITY SLEEVE
- SANITARY SEWER
- SEWER SERVICE LINE
- SEWER FORCE MAIN
- GAS LINE
- OVERHEAD UTILITY
- UNDERGROUND ELECTRIC
- TELEPHONE
- EASEMENT LINE



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF ROLESVILLE ENGINEERING AND CONSTRUCTION STANDARDS.



SDP-24-XXXX

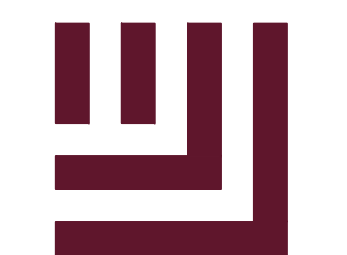
PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

M:\Projects\LEN\LEN23026\Production\Planning and LA\Current Drawings\Construction Drawings\LEN23026-U1.dwg, 7/1/2024, 3:53:38 PM, Steve Ma









McADAMS

The John R. McAdams Company, Inc.
621 Hillsborough Street
Suite 500
Raleigh, NC 27603
phone 919. 361. 5000
fax 919. 361. 2269
license number: C-0293, C-187

www.mcadamsco.com

CLIENT

LENNAR
1100 PERIMETER PARK DRIVE, SUITE 112
MORRISVILLE, NC 27560



ROLESVILLE CROSSING
AMENITY CENTER
CONSTRUCTION DRAWINGS
1801 ROLESVILLE RD
ROLESVILLE, NC 27587



REVISIONS

Table with columns: NO., DATE

PLAN INFORMATION

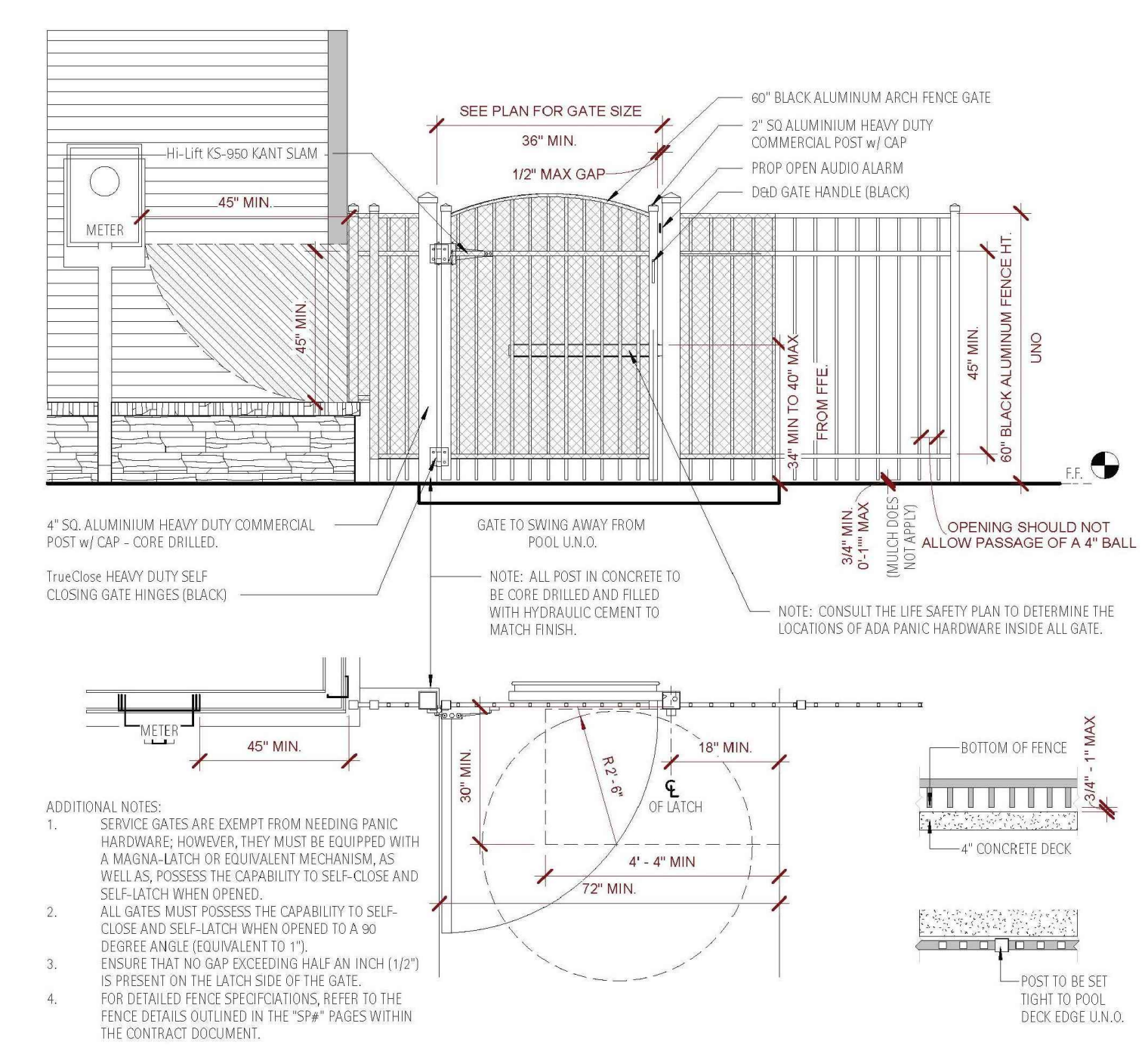
PROJECT NO. LEN23026
FILENAME LEN23026-D1
CHECKED BY SRD
DRAWN BY SMA
SCALE AS SHOWN
DATE 07.01.2024
SHEET

SITE DETAILS

C8.01

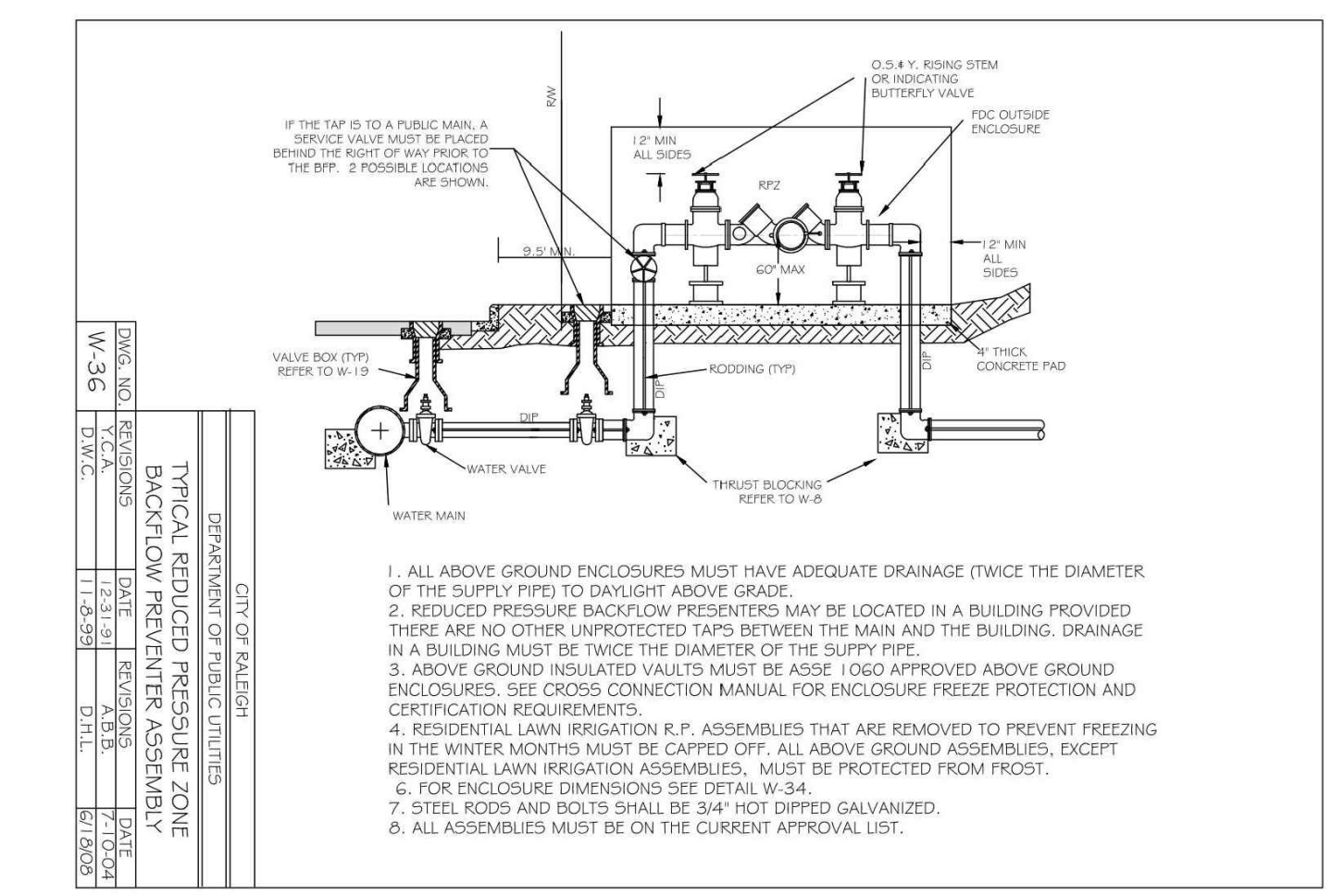
SDP-24-XXXX

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

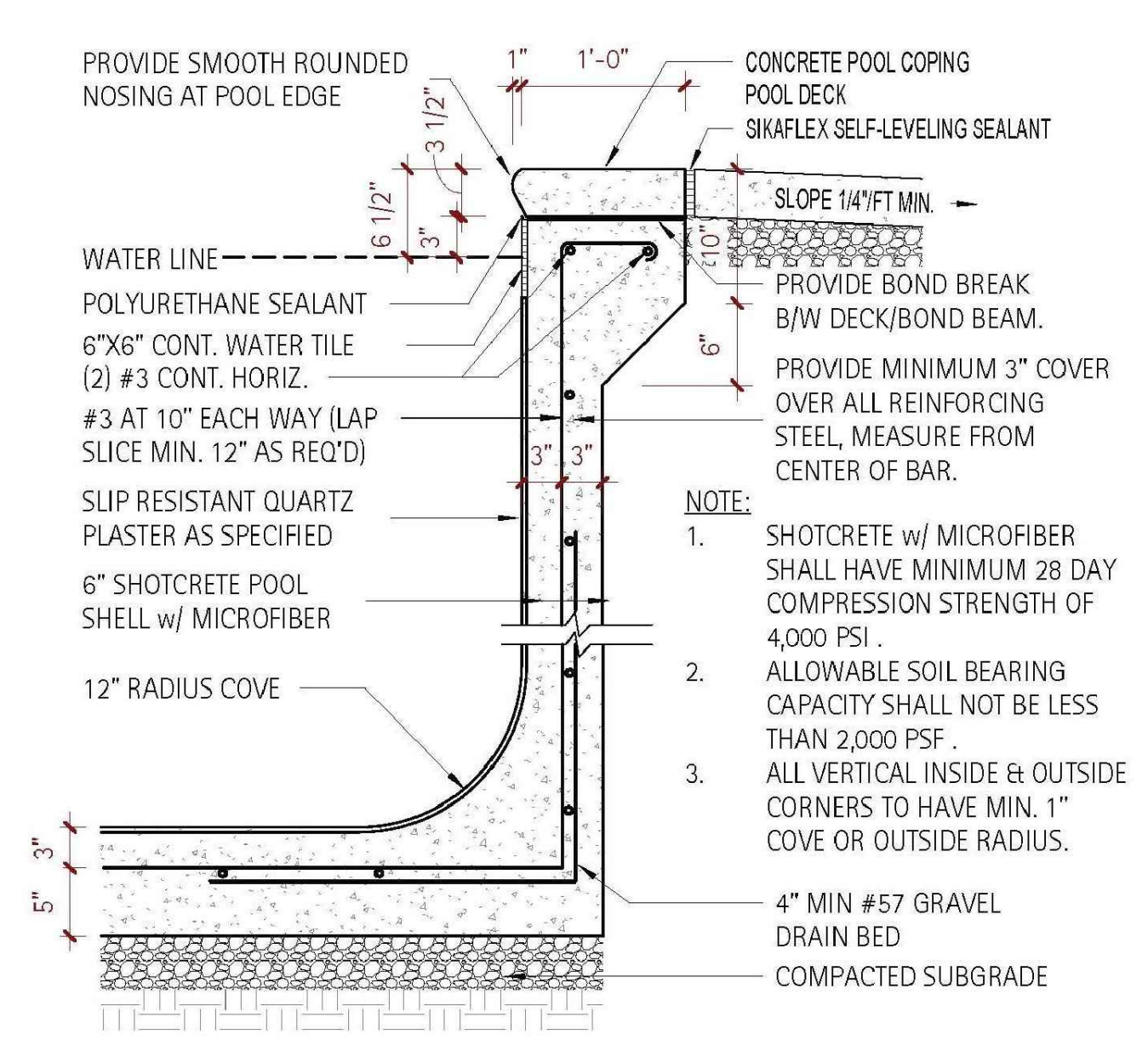


06 POOL FENCE AND GATE
SCALE: 1/2"=1'-0"

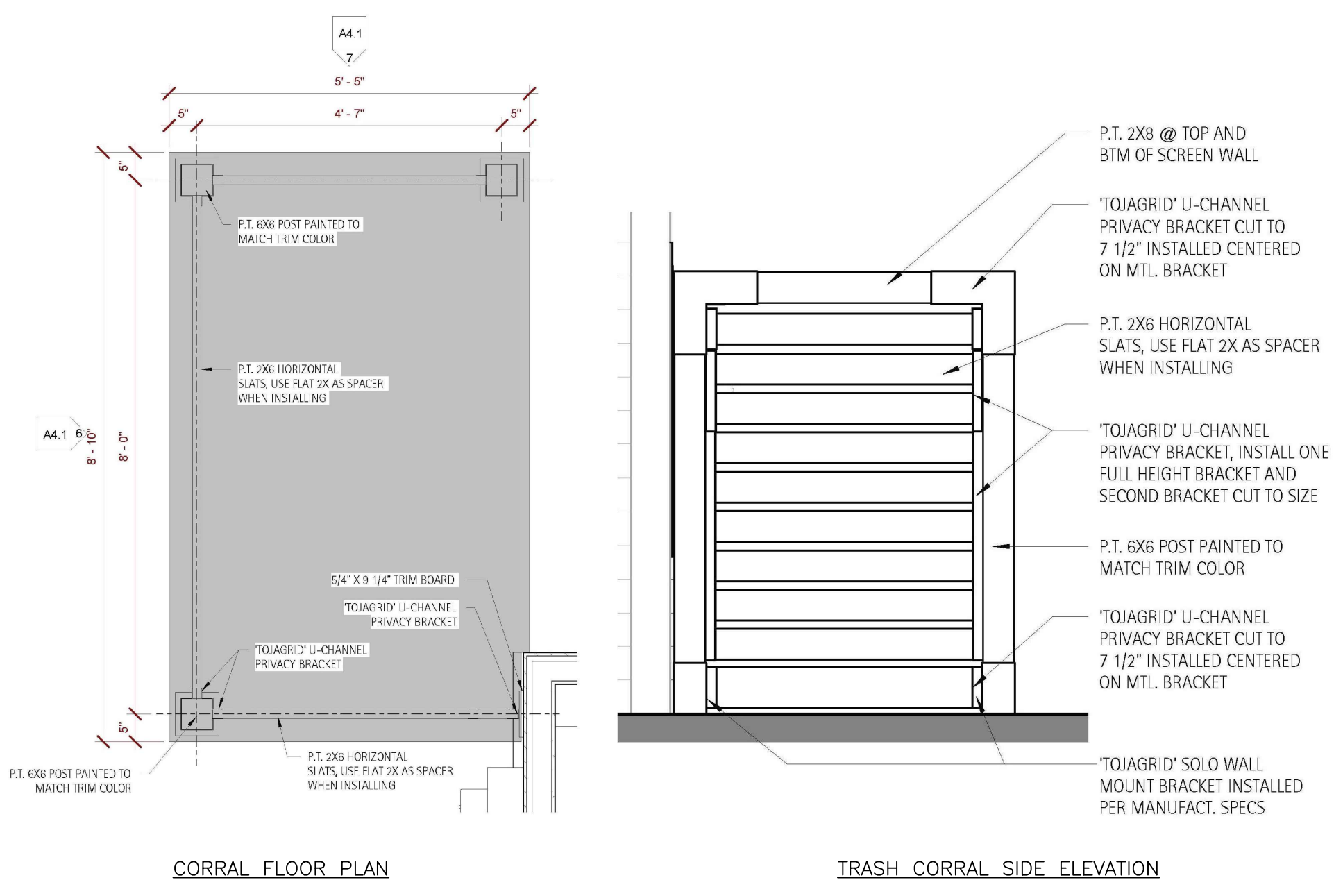
NOTES:
1. DETAILS FROM OTHERS, FOR REFERENCE ONLY.



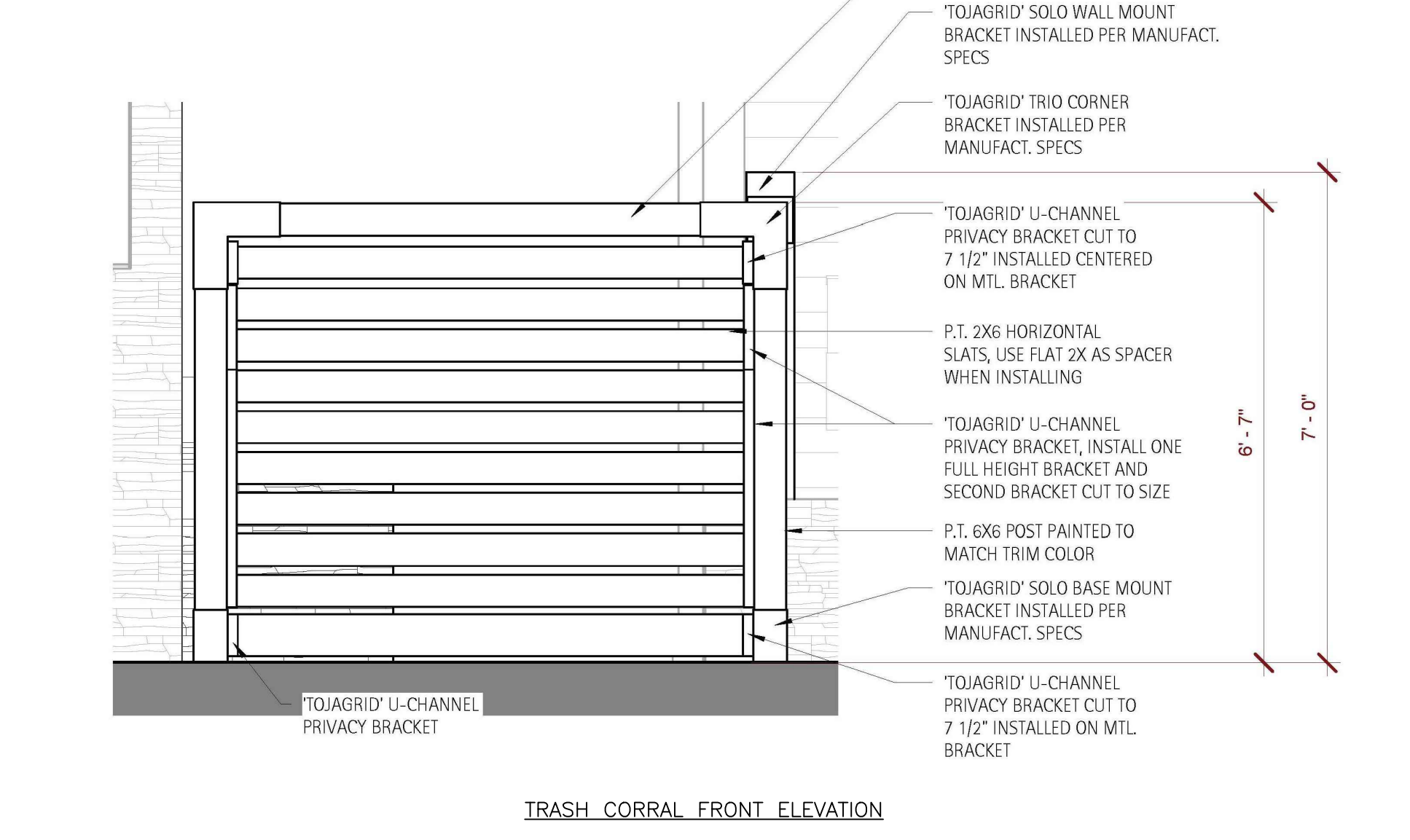
- 1. ALL ABOVE GROUND ENCLOSURES MUST HAVE ADEQUATE DRAINAGE...
2. REDUCED PRESSURE BACKFLOW PREVENTERS...
3. ABOVE GROUND INSULATED VALVES...
4. RESIDENTIAL LAWN IRRIGATION...
5. FOR ENCLOSURE DIMENSIONS...
6. ALL ASSEMBLIES MUST BE ON THE CURRENT APPROVAL LIST.



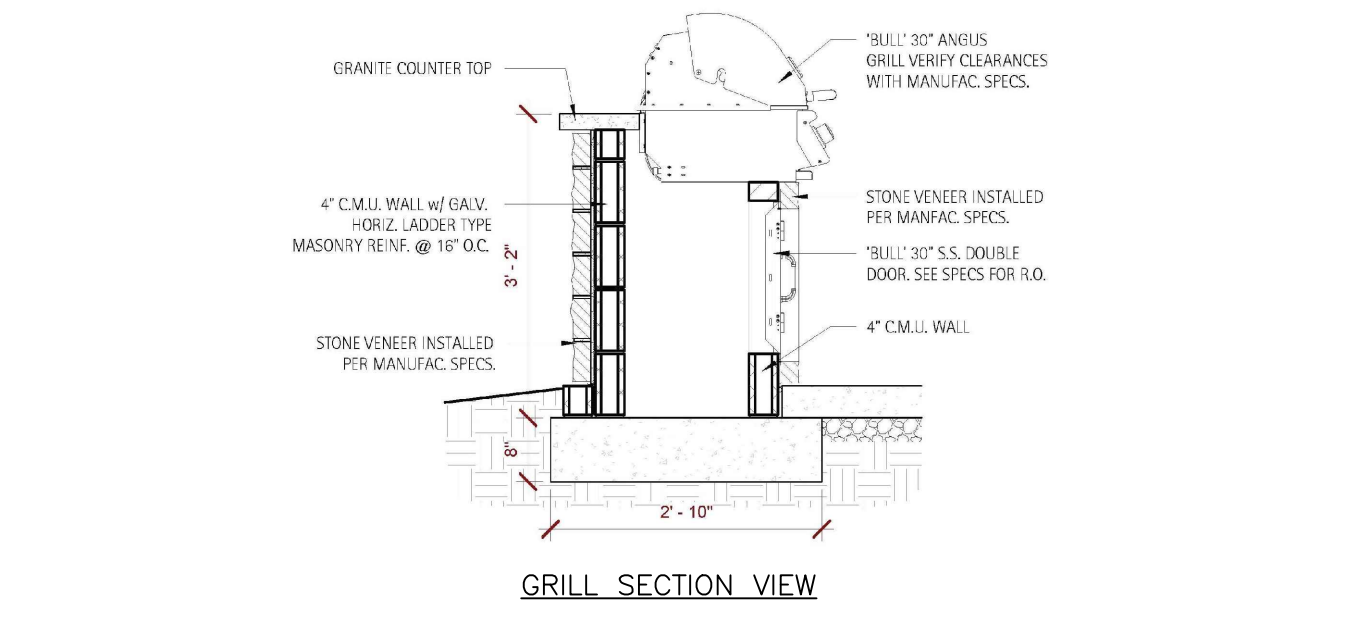
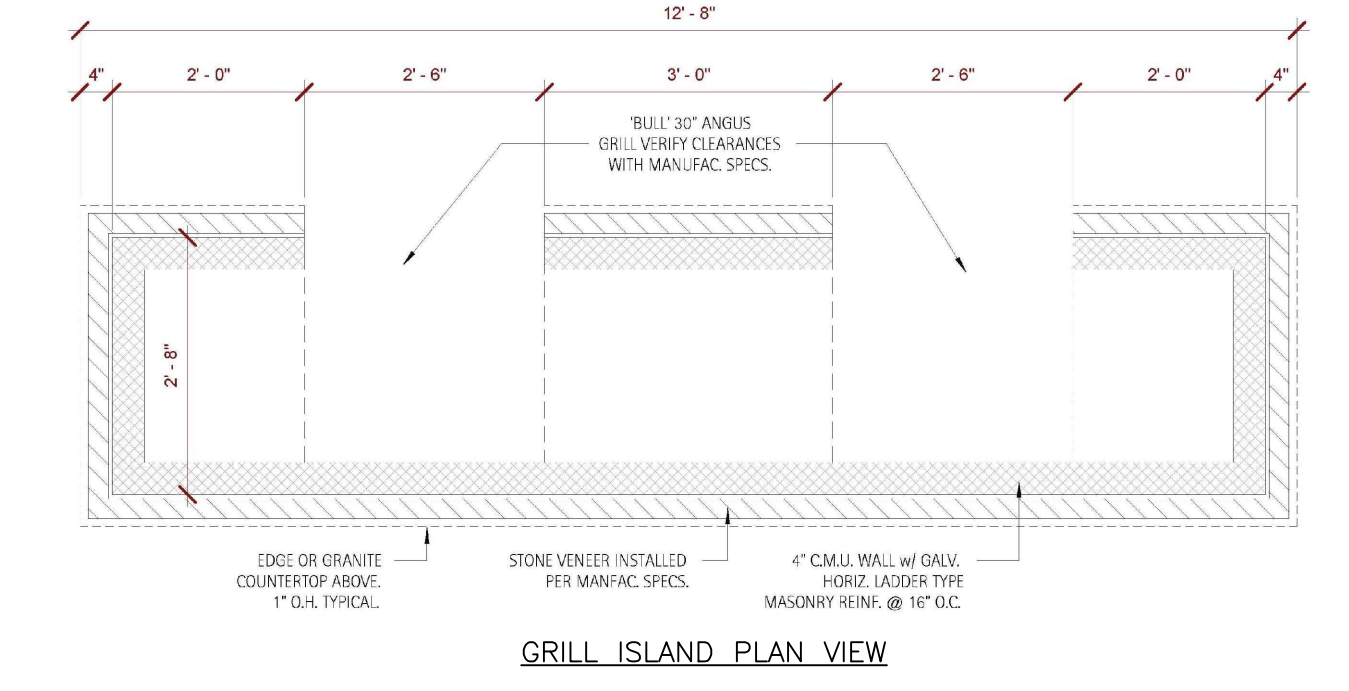
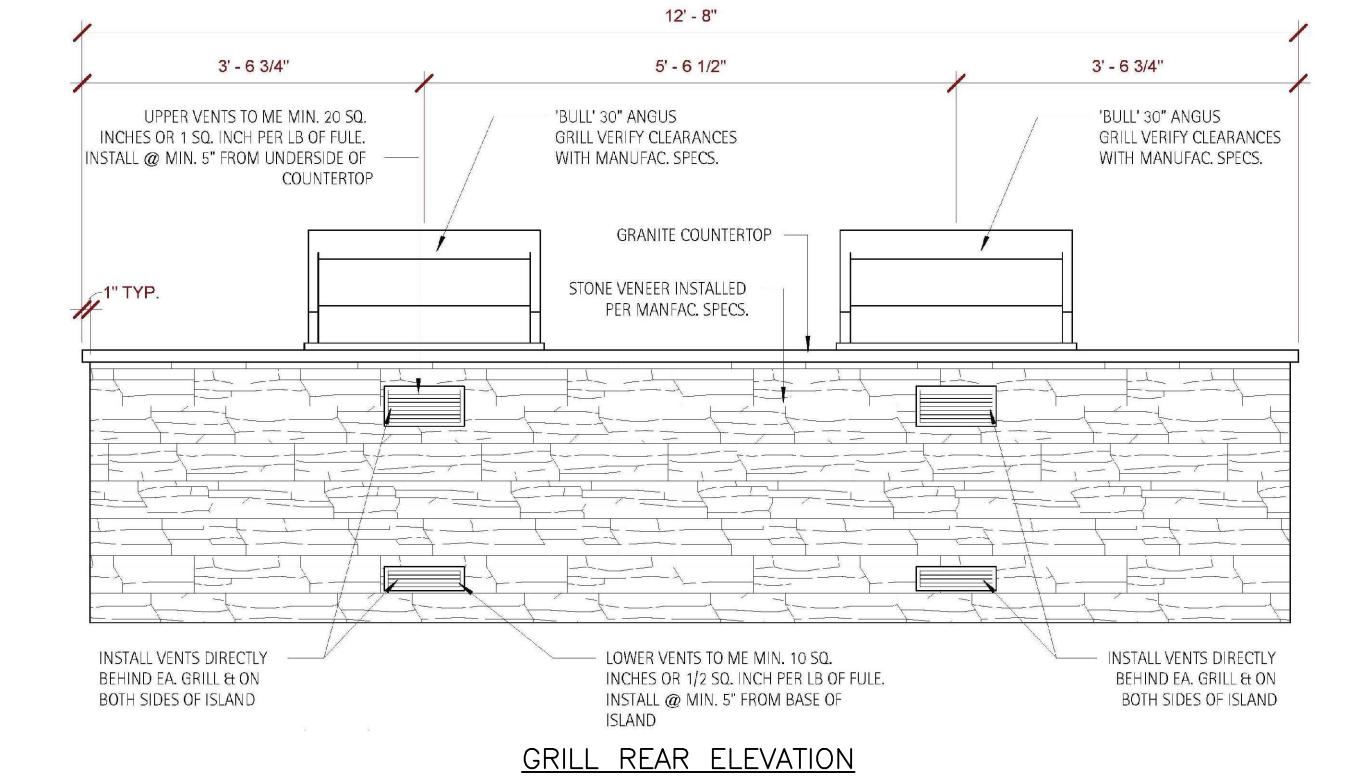
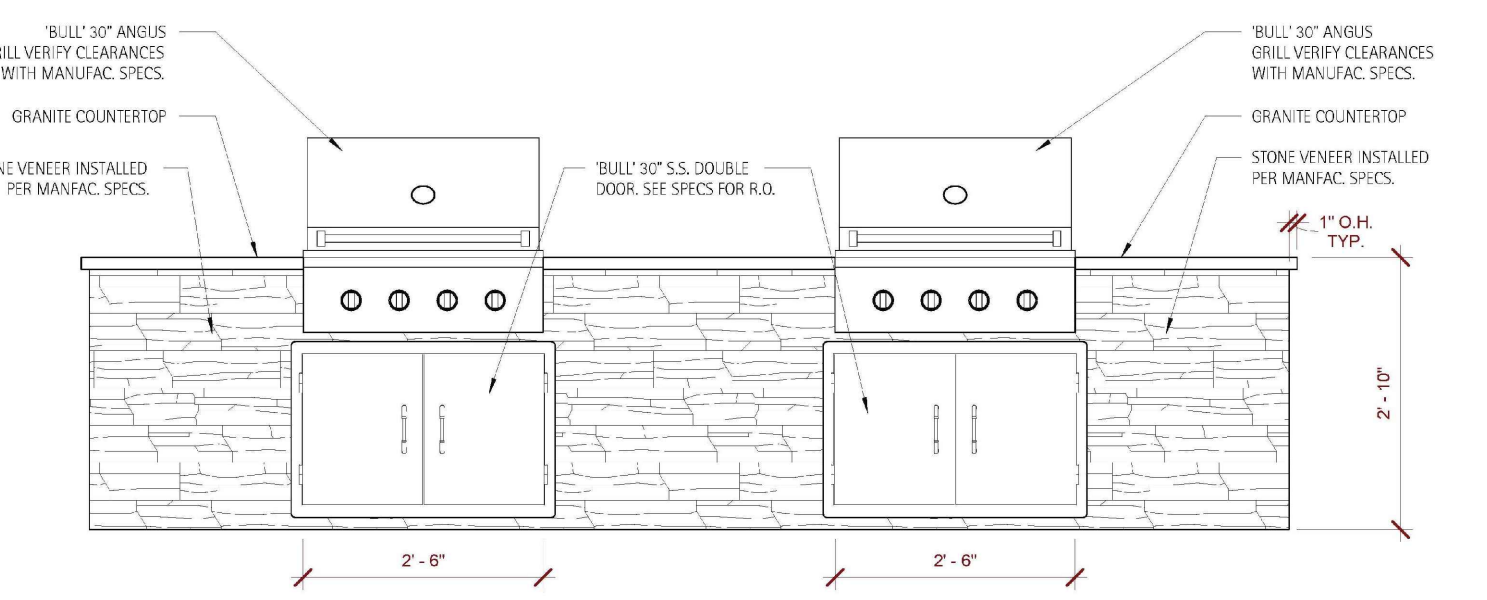
04 POOL COPING
SCALE: 1"=1'-0"



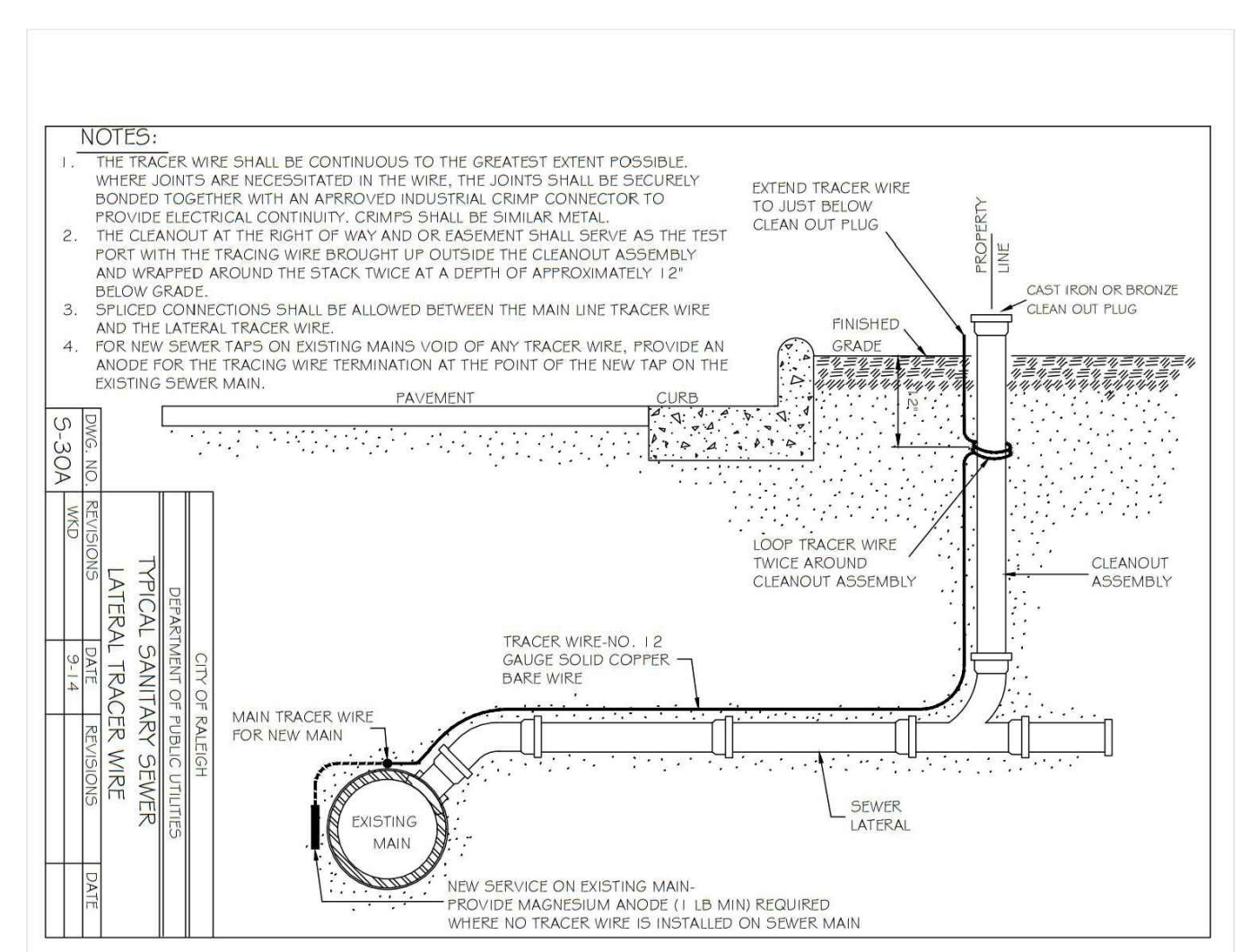
05 TRASH CORRAL
SCALE: 1/2"=1'-0"



05 TRASH CORRAL
SCALE: 1/2"=1'-0"



03 GRILL ISLAND
SCALE: 1/2"=1'-0"

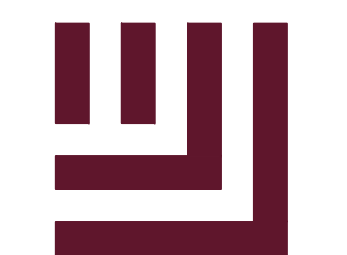


M:\Projects\LENNAR\LEN23026\04-Production\Drawings\Construction\Drawings\LEN23026-D1.dwg, 7/1/2024 3:51:51 PM, Sheet No.









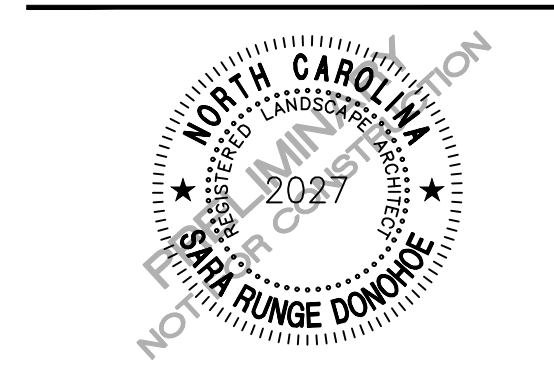
McADAMS

The John R. McAdams Company, Inc.
621 Hillsborough Street
Suite 500
Raleigh, NC 27603
phone 919. 361. 5000
fax 919. 361. 2269
license number: C-0293, C-187
www.mcadamsco.com

CLIENT
LENNAR
1100 PERIMETER PARK DRIVE, SUITE 112
MORRISVILLE, NC 27560



ROLESVILLE CROSSING
AMENITY CENTER
CONSTRUCTION DRAWINGS
1801 ROLESVILLE RD
ROLESVILLE, NC 27587



REVISIONS

Table with 2 columns: NO., DATE

PLAN INFORMATION

Table with 2 columns: PROJECT NO., FILENAME, CHECKED BY, DRAWN BY, SCALE, DATE

LANDSCAPE NOTES AND DETAILS

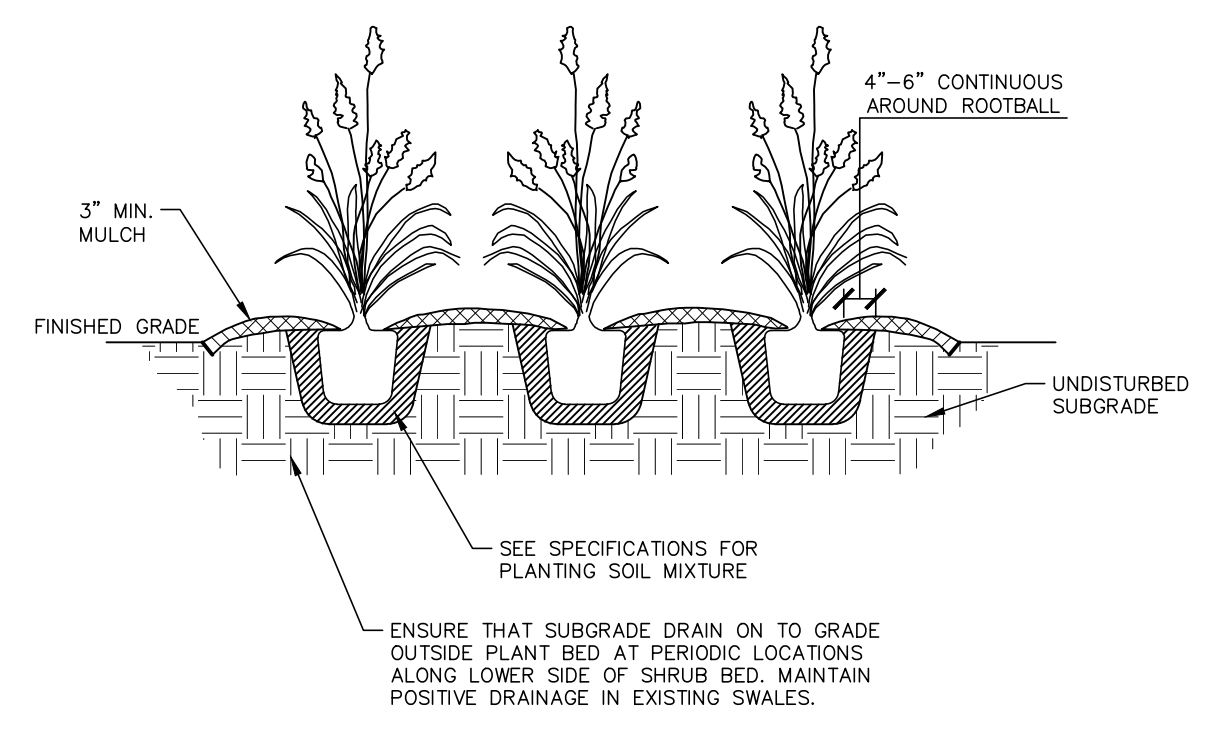
L5.01

SDP-24-XXXX

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

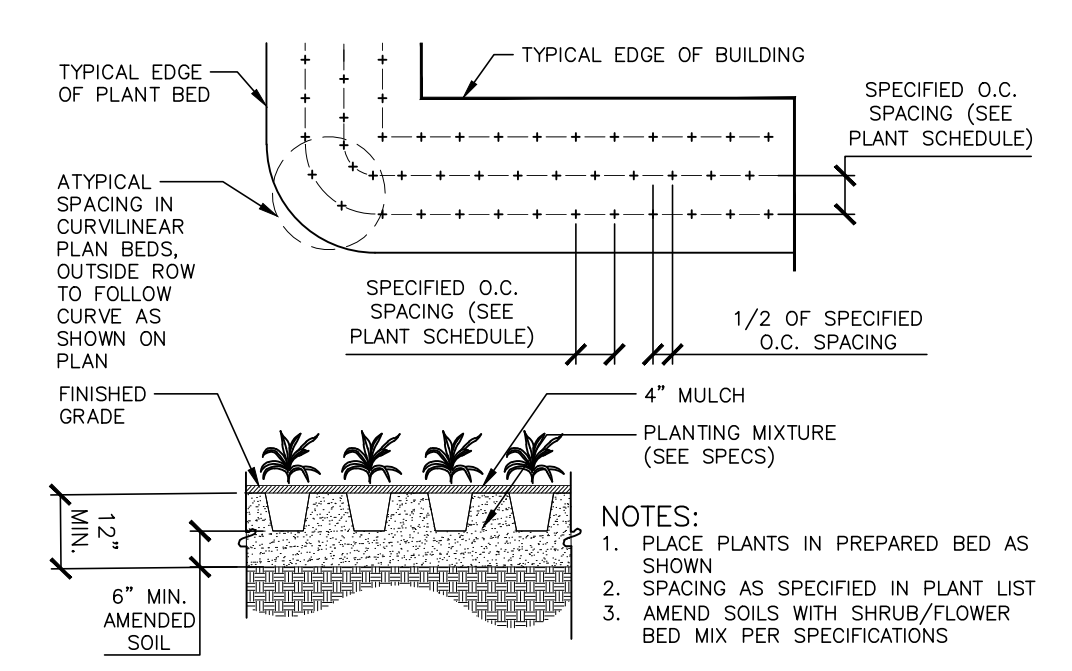
GENERAL LANDSCAPE NOTES:

- 1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ROLESVILLE AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR IS RESPONSIBLE FOR THE SITE INSPECTION BEFORE LANDSCAPE CONSTRUCTION AND INSTALLATION IN ORDER TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS.
3. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES BEFORE BEGINNING DEMOLITION OR INSTALLATION.
4. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE NOTES, SPECIFICATIONS, DRAWINGS OR SITE CONDITIONS FOR RESOLUTION PRIOR TO INSTALLATION.
5. ANY DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
6. THIS PLAN IS FOR PLANTING PURPOSES ONLY. FOR INFORMATION REGARDING BUILDINGS, GRADING, WALLS, ETC., REFER TO ARCHITECTURE, SITE AND GRADING PLANS.
7. VERIFICATION OF TOTAL PLANT QUANTITIES AS SHOWN IN THE PLANT SCHEDULE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
8. CONTRACTOR TO ENSURE PROPER STABILIZATION AND SEEDING OF THE SITE IN ACCORDANCE WITH APPLICABLE REGULATIONS.
9. LANDSCAPE MATERIAL SHALL BE WELL FORMED, VIGOROUS, GROWING SPECIMENS WITH GROWTH TYPICAL OF VARIETIES SPECIFIED AND SHALL BE FREE FROM DAMAGE, INSECTS AND DISEASES. MATERIAL SHALL EQUAL OR SURPASS #1 QUALITY AS DEFINED IN THE CURRENT ISSUE OF "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
10. ALL PLANT MATERIAL IS TO BE CAREFULLY HANDLED BY THE ROOT BALL, NOT THE TRUNK, BRANCHES AND/OR FOLIAGE OF THE PLANT. MISHANDLED PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT.
11. ALL PLANT MATERIAL IS TO BE WELL ROOTED, NOT ROOT BOUND, SUCH THAT THE ROOT BALL REMAINS INTACT THROUGHOUT THE PLANTING PROCESS. DEFICIENT PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT OR OWNER.
12. ALL PLANTS TO BE A MINIMUM OF WHAT IS SPECIFIED IN THE PLANT SCHEDULE. ANY CHANGES OR SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND GOVERNING JURISDICTION PRIOR TO ANY HOLE BEING DUG.
13. CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT TO ESTABLISH THE EXTENTS OF MULCH/SEED/SOD IF NOT SPECIFICALLY SHOWN ON PLANS.
14. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE IN ALL PLANTING AREAS.
15. PROPOSED TREES TO BE PLANTED A MINIMUM 10 FEET FROM ANY LIGHT POLE AS MEASURED FROM TRUNK OF THE TREE TO THE POLE.
16. PROPOSED TREES TO BE PLANTED A MINIMUM 5 FEET FROM ANY FIRE HYDRANT AS MEASURED FROM TRUNK OF THE TREE TO THE HYDRANT.
17. CONTRACTOR SHALL COMPLETE SOIL TEST IN ALL PLANTING AREAS TO DETERMINE SOIL AMENDMENT REQUIREMENTS UNLESS WAIVED BY OWNER'S REPRESENTATIVE. CONTRACTOR SHALL ADJUST PH AND FERTILITY BASED UPON THE SOIL TEST RESULTS.
18. TOPSOIL SHALL BE FREE OF MATERIAL LARGER THAN 1.0 INCH IN DIAMETER OR LENGTH AND SHALL NOT CONTAIN SLAG, CINDERS, STONES, LUMPS OF SOIL, STICKS, ROOTS, TRASH, OR OTHER EXTRANEOUS MATERIAL.
19. LOOSEN SUBGRADE / SURFACE SOIL TO A MINIMUM DEPTH OF 6 INCHES. APPLY SOIL AMENDMENTS AND FERTILIZERS AS REQUIRED BY THE SOIL TEST RESULTS TO ACHIEVE A HEALTHY GROWING MEDIA AND MIX THOROUGHLY INTO TOP 4 INCHES OF SOIL. SPREAD PLANTING SOIL MIX TO A DEPTH OF 6 INCHES BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
20. IF IMPORTED TOPSOIL IS REQUIRED, THE SUBGRADE SHALL BE SCARIFIED OR TILLED TO A DEPTH OF AT LEAST 6 INCHES PRIOR TO INSTALLATION OF IMPORTED TOPSOIL. FOLLOWING INSTALLATION OF IMPORTED TOPSOIL, THE TOPSOIL SHALL BE TILLED TO INTEGRATE THE SOIL PROFILES.
21. PLANT MATERIALS ARE TO BE GUARANTEED FOR A PERIOD OF 12 MONTHS. PLANT MATERIALS WHICH REMAIN UNHEALTHY WILL BE REPLACED BY THE LANDSCAPE CONTRACTOR BEFORE THE EXPIRATION OF THE GUARANTEE PERIOD OR IMMEDIATELY IF SO DIRECTED BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
22. ALL TREE PLANTINGS SHALL BE MULCHED TO A DEPTH OF 3 INCHES, AND WITH A MINIMUM 3 FOOT RADIUS FROM BASE OF TREE OR TO DRIPLINE. MULCH SHALL BE FREE OF TRASH AND MAINTAINED WEED FREE. MULCH SHALL NOT COVER THE ROOT FLARE. CONFIRM MULCH SPECIFICATIONS WITH OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
23. DO NOT PRUNE TREES AND SHRUBS BEFORE DELIVERY. PROTECT BARK, BRANCHES, AND ROOT SYSTEMS FROM SUN SCALD, DRYING, SWEATING, WHIPPING, AND OTHER HANDLING AND TYING DAMAGE. DO NOT BEND OR BIND-TIE TREES OR SHRUBS IN SUCH A MANNER AS TO DESTROY THEIR NATURAL SHAPE. PROVIDE PROTECTIVE COVERING OF EXTERIOR PLANTS DURING DELIVERY. DO NOT DROP EXTERIOR PLANTS DURING DELIVERY AND HANDLING.
24. DELIVER EXTERIOR PLANTS AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND INSTALL IMMEDIATELY. IMMEDIATELY AFTER UNLOADING, STAND THE TREES UP TO REDUCE THE RISK OF SUN SCALD. PROPERLY STAGED TREES ARE STANDING, UNTIED AND SPACED. UNLESS IMMEDIATELY INSTALLED, SET EXTERIOR PLANTS AND TREES IN SHADE, PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS MOIST.
25. SEE LANDSCAPE DETAILS FOR TREE STAKING REQUIREMENTS.
26. EXCAVATE EDGES OF ALL PLANTING BEDS TO 2 INCH DEPTH TO FORM A NEAT AND CRISP DEFINITION.
27. CONTRACTOR SHALL REMOVE DEBRIS AND FINE GRADE ALL PLANTING AREAS PRIOR TO INSTALLATION.
28. REMOVE GUY WIRES AND STAKES AT END OF WARRANTY PERIOD OR ESTABLISHMENT.
29. FINISH GRADING: GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. GRADE TO WITHIN PLUS OR MINUS 1/2 INCH OF FINISH ELEVATION. ROLL AND RAKE. REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES. LIMIT FINISHED GRADING TO AREAS THAT CAN BE PLANTED IN THE IMMEDIATE FUTURE.



04 ORNAMENTAL GRASS PLANTING

SCALE: NTS



05 GROUND COVER PLANTING

SCALE: NTS

PLANT SCHEDULE

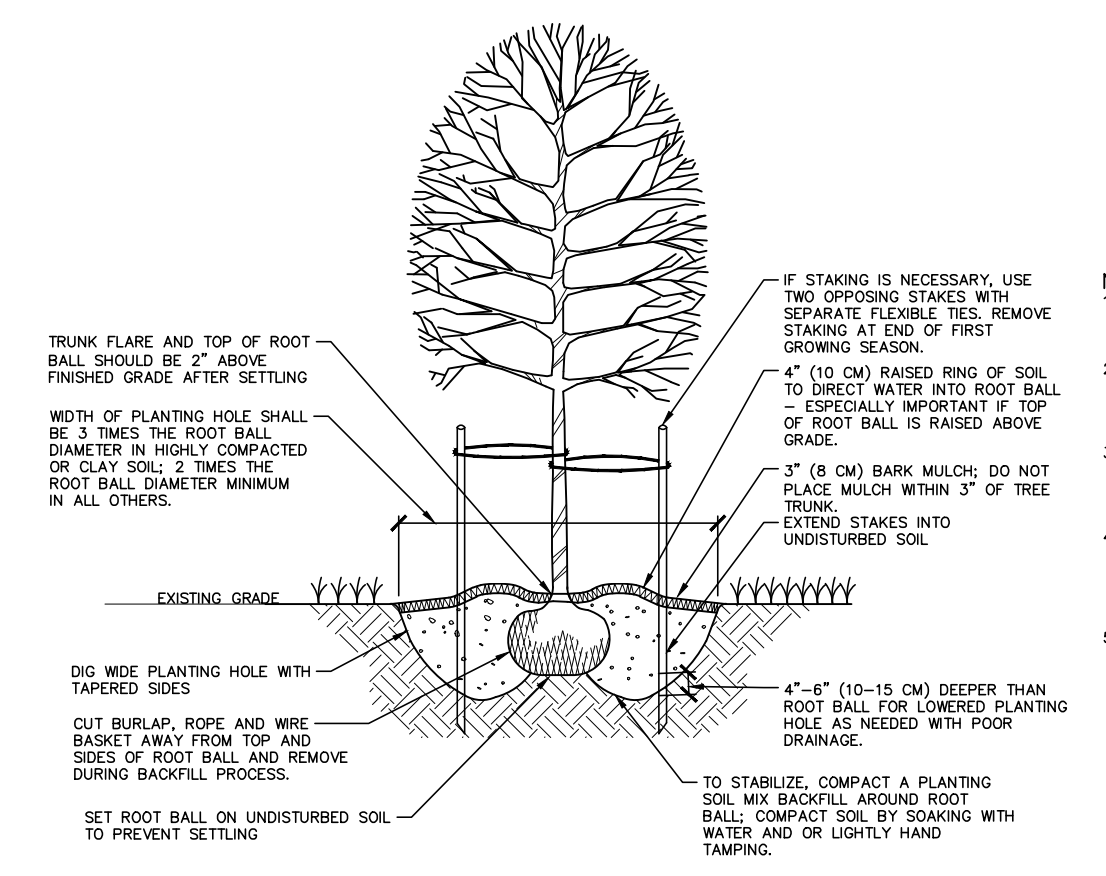
Table with columns: SYMBOL, CODE, QTY, BOTANICAL NAME, COMMON NAME, CAL, HEIGHT. Includes trees like Amelanchier x grandiflora and Cercis canadensis.

Table with columns: SYMBOL, CODE, QTY, BOTANICAL NAME, COMMON NAME, CONT, HEIGHT. Includes shrubs like Abelia x grandiflora and Juniperus chinensis.

ORNAMENTAL GRASSES + SEDGES

Table with columns: SYMBOL, CODE, QTY, BOTANICAL NAME, COMMON NAME, CONT. Includes Carex oshimensis, Muhlenbergia capillaris, Pennisetum alopecuroides.

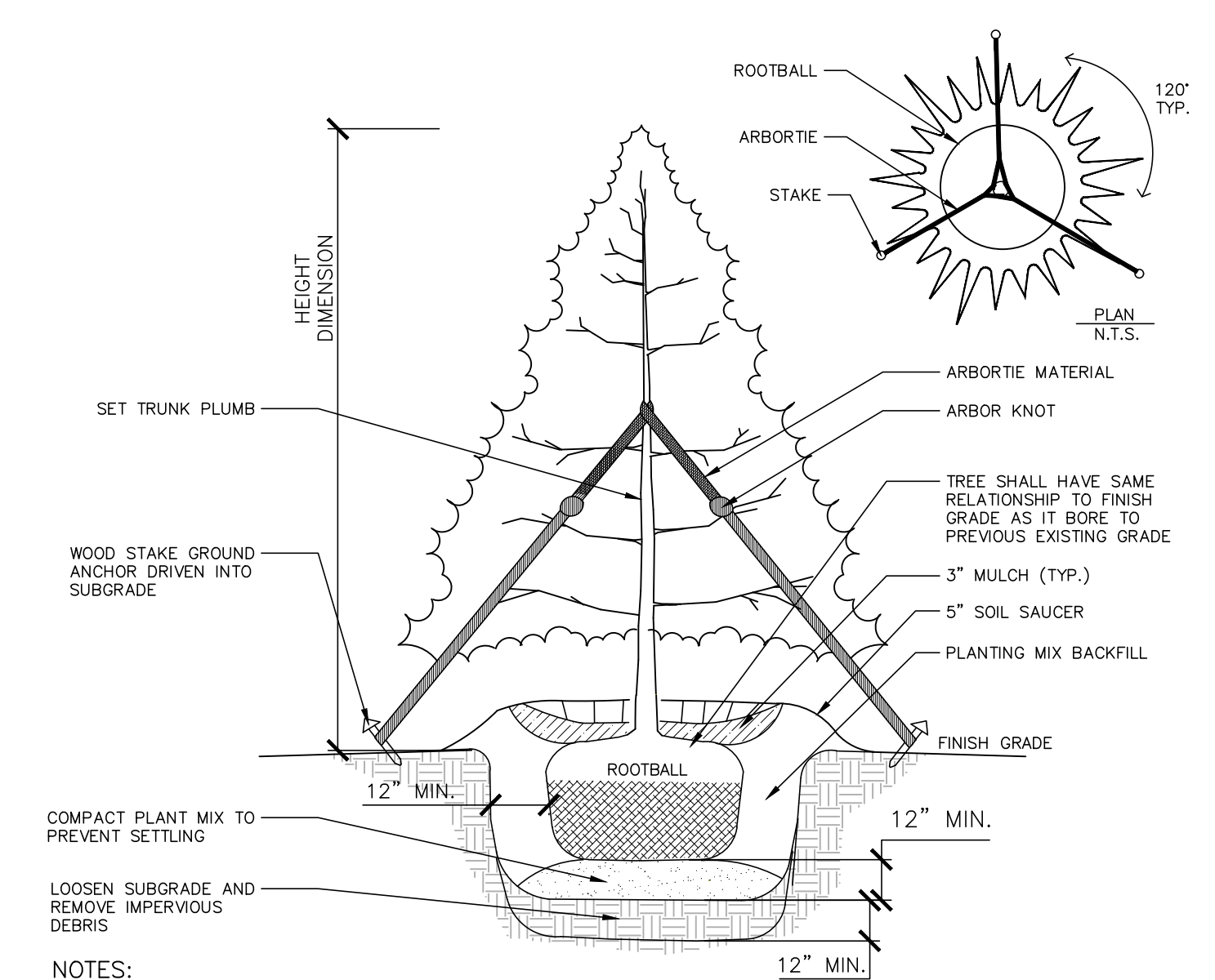
Table with columns: SYMBOL, CODE, QTY, BOTANICAL NAME, COMMON NAME, CONT. Includes ground covers like Cynodon dactylon and Liriope muscari.



- NOTES:
1. SELECT TREES THAT HAVE STRONG CENTRAL LEADER CROWN WITH FULL FOLIAGE ARE GROWN IN HEAVY CLAY SOIL WITH DRIP IRRIGATION.
2. BEFORE INSTALLING PLANTING SOIL MIX BACKFILL AROUND ROOT BALL, BE SURE TO SOAK HOLE TO CONFIRM WATER FILTERS THROUGH UNDISTURBED SOIL DESIGN. ALTERNATIVE DRAINAGE SYSTEM IF REQUIRED. A SOIL EXPERT CAN BE CONSULTED TO HELP MODIFY AND FERTILIZE TOPSOIL TO CREATE AN ACCEPTABLE PLANTING SOIL MIX FOR THE SITE CONDITIONS AND SPECIFIC TREE SPECIES.
3. IF USING CONSUMER GROWN TREES, USE FINNERS OR SMALL HAND TOOLS TO PULL ROOTS OUT OF THE OUTER EDGE OF THE POTTING SOIL THEN CUT OR PULL APART ANY ROOTS CIRCUMFERING THE PERIMETER OF THE CONTAINER.
4. THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND DURING DRY PERIODS.

01 TREE INSTALLATION

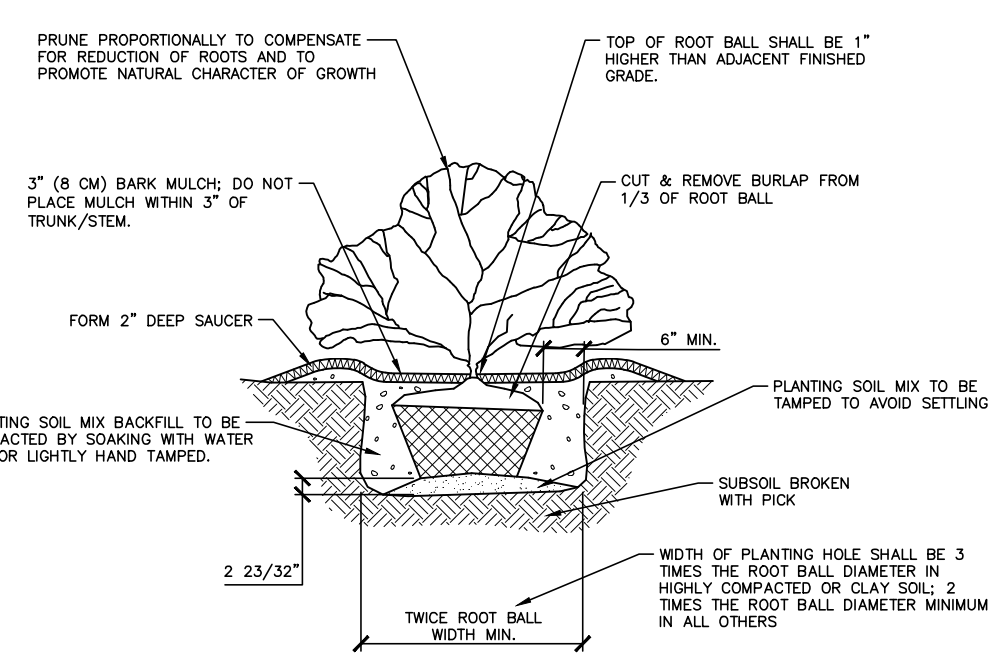
SCALE: NTS



- NOTES:
1. EVERGREEN TREES 2" CAL. OR SMALLER TO BE STAKED.
2. STAKING BASIS OF DESIGN PRODUCT: ARBORITE OR APPROVED EQUAL.
3. STAKING TO BE REMOVED AFTER 2 GROWING SEASONS PER MANUFACTURER'S SPECIFICATIONS.
4. PROVIDE WATER CRYSTALS PER MANUFACTURER'S RECOMMENDATIONS FOR PINE TREES.

02 EVERGREEN TREE INSTALLATION

SCALE: NTS

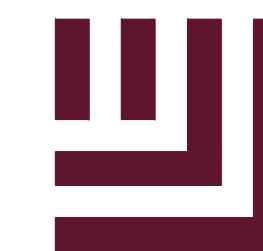


03 SHRUB INSTALLATION

SCALE: NTS

M:\Projects\LENNAR\23026\05-Production\Drawings\Construction\Drawings\LEN23026-LP1.dwg, 7/12/2024, 3:52:19 PM, Sison, MB





**McADAMS**

The John R. McAdams Company, Inc.  
621 Hillsborough Street  
Suite 500  
Raleigh, NC 27603  
phone 919. 361. 5000  
fax 919. 361. 2269  
license number: C-0293, C-187

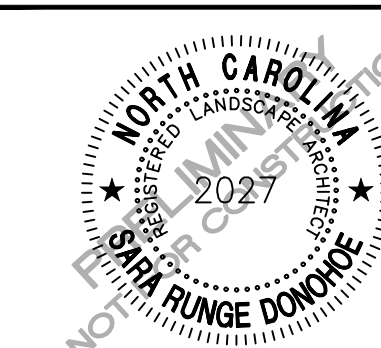
www.mcadamsco.com

**CLIENT**

LENNAR  
1100 PERIMETER PARK DRIVE, SUITE 112  
MORRISVILLE, NC 27560



**ROLESVILLE CROSSING  
AMENITY CENTER  
CONSTRUCTION DRAWINGS  
1801 ROLESVILLE RD  
ROLESVILLE, NC 27587**



**REVISIONS**

NO. DATE

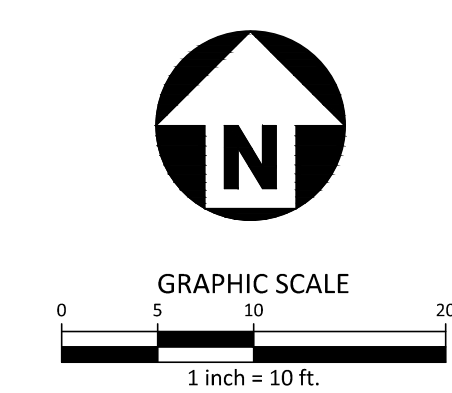
**PLAN INFORMATION**

PROJECT NO. LEN23026  
FILENAME LEN23026-L11  
CHECKED BY SRD  
DRAWN BY SMA  
SCALE 1" = 10'  
DATE 07.01.2024

**SHEET**

**AMENITY LIGHTING PLAN**

**L6.00**



I:\Projects\LEN\LEN23026\04-Production\Planning and LA\Current Drawings\Construction Drawings\LEN23026-L11.dwg, 7/1/2024 3:52:38 PM, Scott, Ma

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION SDP-24-XXXX