

WALLBROOK-TOWNHOME AMENITY PLAN



McADAMS
The John R. McAdams Company, Inc.

2905 Meridian Parkway
Durham, NC 27713

phone 919. 361. 5000
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license number: C-0293

www.mcadamsco.com

CONTACT

SARA DONOHOE
DONOHOE@mcadamsco.com
PHONE: 919. 287. 0771

CLIENT

WALLBROOK LANDCO, LLC
4700 SIX FORKS RD, SUITE 150
RALEIGH, NORTH CAROLINA 27609

PROJECT DIRECTORY

S. MAIN STREET
ROLESVILLE, NORTH CAROLINA, 27571

SITE DEVELOPMENT PLAN
PROJECT NUMBER: CPR-19100
TOWN OF ROLESVILLE PROJECT NUMBER SP 22-09
DATE: NOVEMBER 11, 2022

SPECIAL USE PERMIT CONDITIONS

- USES AND MAXIMUM DENSITIES ARE LIMITED TO THOSE SHOWN ON EACH SITE ON THE CONCEPT PLAN. ANY RESIDENTIAL UNITS NOT DESIGNATED ON THE RESIDENTIAL-TOWNHOMES TRACT MAY BE USED ON ANY OF THE TRACTS LABELED FOR NON-RESIDENTIAL USES.
- PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY FOR THE FIRST RESIDENTIAL UNIT IN THE EAST SIDE AS SHOWN ON THE CONCEPT PLAN, DEVELOPER WILL COMPLETE THE EXTENSION OF WALL CREEK DRIVE TO MAIN STREET.
- IF APPLICANT SEEKS A CERTIFICATE OF OCCUPANCY PRIOR TO THE COMMENCEMENT OF WORK ON THE LAPP GRANT PROJECT IMPROVEMENTS, THEN PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY OF THE FIRST RESIDENTIAL UNIT IN THE EAST SIDE AND IN ACCORDANCE WITH THE "WALLBROOK DEVELOPMENT TIA ADDENDUM - RESIDENTIAL-ONLY PHASE" DATED FEBRUARY 13, 2020, DEVELOPER WILL CONSTRUCT A 100' NORTHBOUND RIGHT TURN LANE AND A 100' SOUTHBOUND LEFT TURN LANE AT THE INTERSECTION OF WALL CREEK DRIVE (AS EXTENDED) AND MAIN STREET. IF WORK ON THE LAPP GRANT PROJECT IMPROVEMENTS IS COMMENCED BEFORE THE FIRST CERTIFICATE OF OCCUPANCY IS REQUESTED, DEVELOPER IS NOT REQUIRED TO CONSTRUCT THE AFOREMENTIONED IMPROVEMENTS.
- NO LATER THAN SIX MONTHS FOLLOWING THE COMPLETION OF THE LAPP GRANT PROJECT IMPROVEMENTS, DEVELOPER WILL COMPLETE BOTH 1) THE EXTENSION OF VIRGINIA WATER DRIVE TO MAIN STREET AND 2) THE EXTENSION OF BURLINGTON MILLS ROAD (AS REALIGNED) FROM MAIN STREET TO VIRGINIA WATER DRIVE.
- DEVELOPER WILL COMPLETE TRAFFIC IMPROVEMENTS AS SET FORTH IN OCTOBER 12, 2020 MEMO BY STANTEC.
- AS SHOWN ON THE "PRELIMINARY PLAT PLAN - SP 21-02," AREAS OF THE SITE EAST OF THE RIPARIAN STREAM AND ADJACENT TO WAKE COUNTY PINS 1758676836, 1758674619, 1758674416, 1758674204, 1758674100, AND 1758663984 SHALL NOT BE DEVELOPED WITH STRUCTURES OR IMPROVEMENTS.

SURVEY NOTES

- THE PROPERTY LIES IN ZONE "X" PER NATIONAL FLOOD INSURANCE PROGRAM RATE MAP (FIRM), WAKE COUNTY, NORTH CAROLINA, PANEL 1758, MAP NO. 3720175800J, DATED MAY 2, 2006.
- THE SURVEY IS REFERENCED TO THE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983, 2001 ADJUSTMENT, NAD83(2001). ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
- THE SUBJECT PARCEL IS ZONED CO-SUD (COMMERCIAL OUTLYING SPECIAL USE DISTRICT) PER WAKE COUNTY GIS.
- SURVEY WAS PREPARED BY JOHNSON, MIRMAN & THOMPSON UNDER THE SUPERVISION OF WILLIAM T. ROBBINS, PLS. FIELD WORK WAS COMPLETED MARCH 25, 2020.
- AREAS COMPUTED BY COORDINATE METHOD.
- NO CEMETERIES OBSERVED AS A RESULTS OF THE SURVEY.

DEVELOPER/OWNER CURRENT ZONING: CO SUD

WALLBROOK LANDCO, LLC
4700 SIX FORKS RD, SUITE 150
RALEIGH, NC 27609

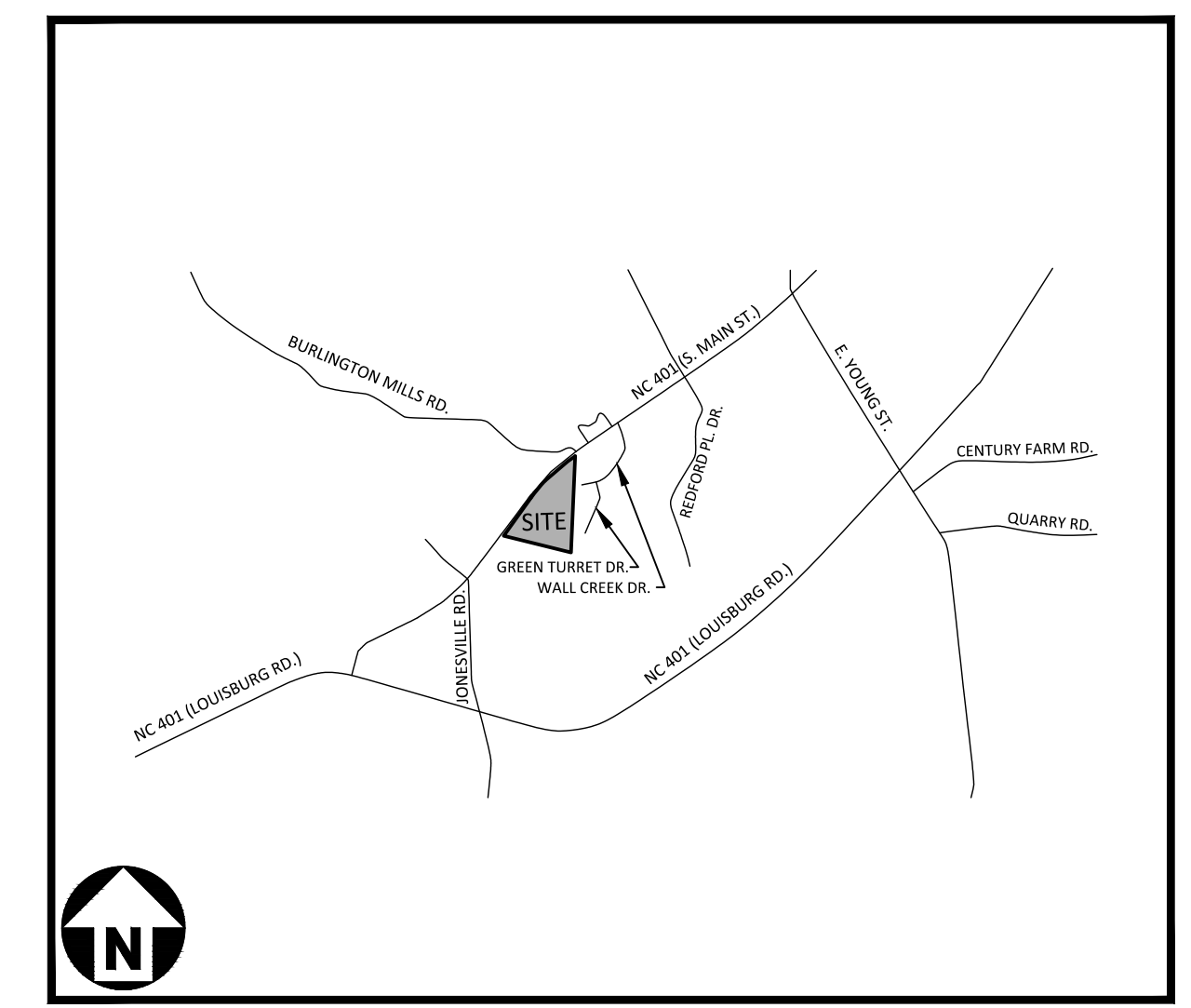
SURVEY BY:
JOHNSON, MIRMAN & THOMPSON
9201 ARBORETUM PARKWAY, SUITE 310
RICHMOND, VIRGINIA 23236

TOPOGRAPHIC MARCH 25, 2020
ALTA SURVEY MARCH 25, 2020

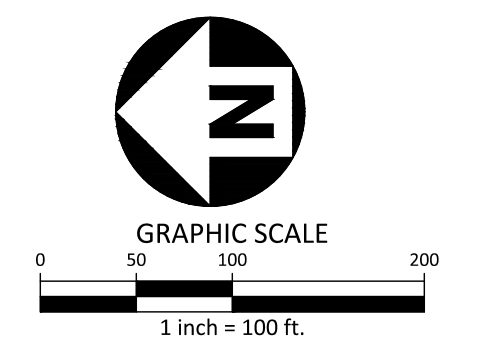
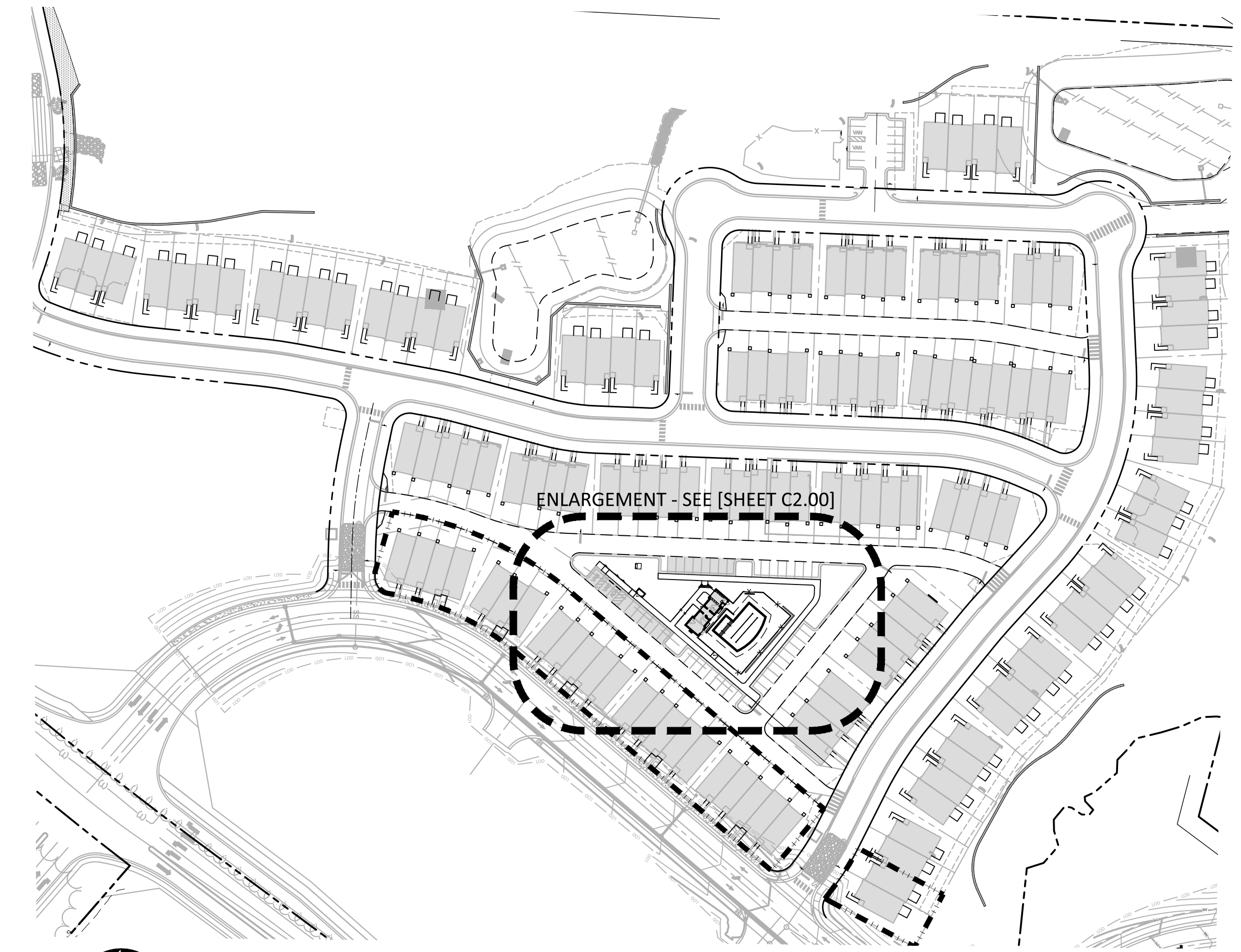
WILLIAM T. ROBBINS, PLS
NC LICENSE # 4192
804-323-9900

PARCEL OWNER LIST		
PIN	OWNER	AREA
1758-56-8976	WALLBROOK LANDCO, LLC 4700 SIX FORKS RD, SUITE 150 RALEIGH, NC 27609	42.324 AC.

DISTURBED AREA = 0.50 AC.



VICINITY MAP
N.T.S.



CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

SHEET INDEX

- C0.00 PROJECT NOTES
- C2.00 SITE PLAN
- C3.00 GRADING & STORM DRAINAGE PLAN
- C4.00 UTILITY PLAN
- C6.00 EROSION CONTROL PLAN
- C6.01 EROSION CONTROL DETAILS
- C6.02 EROSION CONTROL DETAILS
- C6.03 EROSION CONTROL DETAILS
- C8.00 SITE DETAILS
- C8.01 SITE DETAILS
- C8.02 SEWER DETAILS
- C8.03 WATER DETAILS
- L5.00 LANDSCAPE PLAN
- L5.01 LANDSCAPE NOTES AND DETAILS
- A201 ARCHITECTURAL ELEVATIONS

SITE PLAN APPROVAL CONTINGENT ON PRIOR APPROVALS:

- SUP 20-02
- ANX 21-06
- PR 21-04
- SP 21-02
- CD 22-04

15.4.5 - Streets

15.4.5.1 Type of Street Required All subdivision lots shall abut at least 20 feet on a public street. All public streets shall be dedicated to the Town of Rolesville, the State of North Carolina or the public as determined appropriate by the Board of Commissioners of the Town of Rolesville. All public streets shall be built to the standards of this ordinance and all other applicable standards of the Town of Rolesville and the North Carolina Department of Transportation. Public streets not dedicated to the Town which are eligible for acceptance into the State Highway System shall be constructed to the standards necessary to be put on the State Highway System or the standards in this ordinance, whichever is stricter, in regard to each particular item and shall be put on such system. Streets not dedicated to the Town which are not eligible to be put on the State Highway System because there are too few lots or residences shall, nevertheless, be dedicated to the public and shall be in accordance with the standards in this ordinance or the standards necessary to be put on the State Highway System, whichever is stricter in regard to each particular item, so as to be eligible to be put on the system at a later date. A written maintenance agreement with provisions for maintenance of the street until it is put on the State System shall be included with the final plat.

15.4.5.2 Subdivision Street Disclosure Statement All streets shown on the final plat shall be designated in accordance with G.S. § 136-102.6 and designation as public shall be conclusively presumed an offer of dedication to the public. Where streets are dedicated to the public but not accepted into a municipal or the State system, before lots are sold, a statement explaining the status of the street shall be included with the final plat.

GENERAL NOTES:

SEE CASE CD 22-04 FOR OVERALL SITE DEVELOPMENT

SP 22-09 /
Wallbrook Townhomes Amenity Center
APPROVED
Date: June 27, 2023
Maureen R. ...
Town of Rolesville Planning Department

EROSION CONTROL, STORMWATER AND FLOODPLAIN MANAGEMENT

APPROVED

EROSION CONTROL ■ SEC- 135203-2024
STORMWATER MGMT. ■ SWF-084502-2022
FLOOD STUDY □ S- N/A
DATE 12/17/2024
William T. Robbins
ENVIRONMENTAL CONSULTANT SIGNATURE

SITE PERMITTING APPROVAL

Water and Sewer Permits (if applicable)

The City of Raleigh consents to the connection and extension of the City's Public Sewer System as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # _____

The City of Raleigh consents to the connection and extension of the City's Public Water System as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # _____

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CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State or Federal Law. All Construction must be in accordance with all Local, State, and Federal Rules and Regulations.

Electronic Approval: This approval is being issued electronically. This approval is valid only upon the signature of a City of Raleigh Review Officer below. The City will retain a copy of the approved plans. Any work authorized by this approval must proceed in accordance with the plans kept on file with the City. This electronic approval may not be edited once issued. Any modification to this approval once issued will invalidate this approval.

City of Raleigh Development Approval _____
City of Raleigh Review Officer _____



REVISIONS

NO.	DATE	UPDATED PER COUNTY COMMENTS
1	12.06.2024	UPDATED PER COUNTY COMMENTS

SITE DEVELOPMENT PLAN:

WALLBROOK TOWNHOME AMENITY PLAN
ROLESVILLE, NORTH CAROLINA, 27517
ROLESVILLE PROJECT#: SP 22-09
MCADAMS PROJECT #: CPR-19100

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WALLBROOK-TOWNHOME
AMENITY PLAN
SITE DEVELOPMENT PLAN
ROLESVILLE, NORTH CAROLINA
TOWN OF ROLESVILLE PROJECT #: SP-22-09



Digitally signed by William T. O'Daniel
Date: 2024.12.06 11:37:32-05'00'

REVISIONS

Table with 3 columns: NO., DATE, UPDATED PER COUNTY COMMENTS

PLAN INFORMATION

Table with 2 columns: FIELD (PROJECT NO., FILENAME, CHECKED BY, DRAWN BY, SCALE, DATE), VALUE

SHEET

PROJECT NOTES

CO.00

GRADING NOTES

- 1. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION...

RETAINING WALL NOTES

- 1. THE RETAINING WALL ALIGNMENT SHOWN ON THESE PLANS DEPICTS THE LOCATION OF THE FRONT FACE OF THE RETAINING WALL AT THE TOP OF THE WALL...

CITY OF RALEIGH PUBLIC UTILITIES STANDARD UTILITY NOTES (AS APPLICABLE)

- 1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).

NOTES:

DEEDS OF EASEMENT FOR SANITARY SEWER PURPOSES TO CITY OF RALEIGH RECORDED IN BOOK 12249, PAGE 864 AND BOOK 12466, PAGE 1149 AND AS SHOWN ON RECORDED PLAT IN BOOK OF MAPS 2006, PAGES 2216 AND 2217, WAKE COUNTY REGISTRY.

(DEED OF EASEMENT SUPERSEDED BY BM 2008 PG 480 & 481)

RIGHT OF WAY AND UTILITY EASEMENTS RECORDED IN BOOK 13736, PAGES 1287 AND 1294 AND AS SHOWN ON RECORDED PLAT IN BOOK OF MAPS 2009, PAGE 1093, WAKE COUNTY REGISTRY.

(AS SHOWN ON SURVEY)

DEEDS OF EASEMENT FOR SANITARY SEWER PURPOSES TO CITY OF RALEIGH RECORDED IN BOOK 12249, PAGE 860 AND BOOK 12466, PAGE 1171 AND AS SHOWN ON RECORDED PLAT IN BOOK OF MAPS 2006, PAGES 2216 AND 2217, WAKE COUNTY REGISTRY.

GENERAL NOTES:

SEE CASE CD 22-04 FOR OVERALL SITE DEVELOPMENT

SITE PLAN NOTES

- 1. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST TOWN OF ROLESVILLE AND/OR NCDOT STANDARDS AND SPECIFICATIONS AS APPLICABLE.

NOTES:

- 1. ROADS LABELED AS PUBLIC WILL BE DEDICATED AS PUBLIC ROW TO BE MAINTAINED BY THE TOWN OF ROLESVILLE.

STORM DRAINAGE NOTES

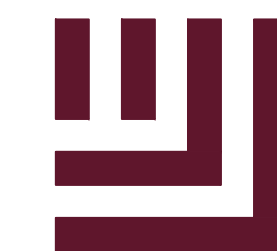
- 1. ALL STORM DRAINAGE PIPES SHOWN SHALL BE REINFORCED CONCRETE (RCP) (MINIMUM CLASS III) UNLESS NOTED OTHERWISE.

X:\Projects\CPR\CPR-19100\04-Production\Planning and LA\Amenity\Site Plan - Erosion Control\Current Drawings\CPR19100-LandCo-N2.dwg, 12/9/2024 5:14:16 PM, Tommy Dabolt



Know what's below. Call before you dig.

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED.



McADAMS

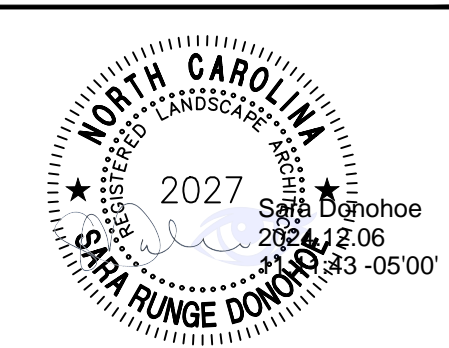
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**WALLBROOK-TOWNHOME
AMENITY PLAN**
SITE DEVELOPMENT PLAN
ROLESVILLE, NORTH CAROLINA
TOWN OF ROLESVILLE PROJECT #: SP 22-09



REVISIONS

NO.	DATE	UPDATED PER COUNTY COMMENTS
1	12.06.2024	

PLAN INFORMATION

PROJECT NO.	CPR-19100
FILENAME	CPR19100-LandArch-S1
CHECKED BY	SRD
DRAWN BY	CMXY
SCALE	1"=20'
DATE	10.28.2022

SHEET

SITE PLAN
C2.00

DETAIL KEY SCHEDULE

- 01 CONCRETE SIDEWALK C8.00
- 02 ACCESSIBLE SIDEWALK RAMP C8.00
- 03 POOL FENCE AND GATE C8.00
- 04 LANDSCAPE DRAIN INLET C8.00
- 05 TRASH ENCLOSURE C8.00

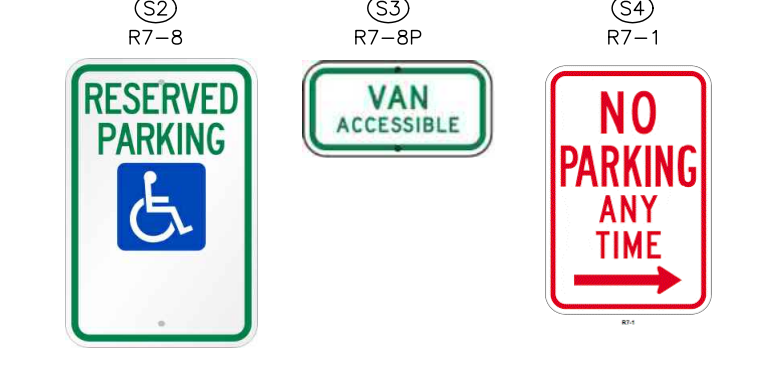
SITE LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- EASEMENT LINE
- CENTERLINE
- DRAINAGE EASEMENT
- ACCESSIBLE RAMPS
- ACCESSIBLE ROUTE

KEY LEGEND

- ACCESSIBLE RAMP
- 24" WHITE STOP BAR
- NO PARKING FIRE LANE
- 24" WHITE CROSSWALK LINE (HIGH VISIBILITY)
- PRIVATE STORM DRAINAGE EASEMENT
- PUBLIC STORM DRAINAGE EASEMENT
- SANITARY SEWER EASEMENT

SITE SIGN KEY:

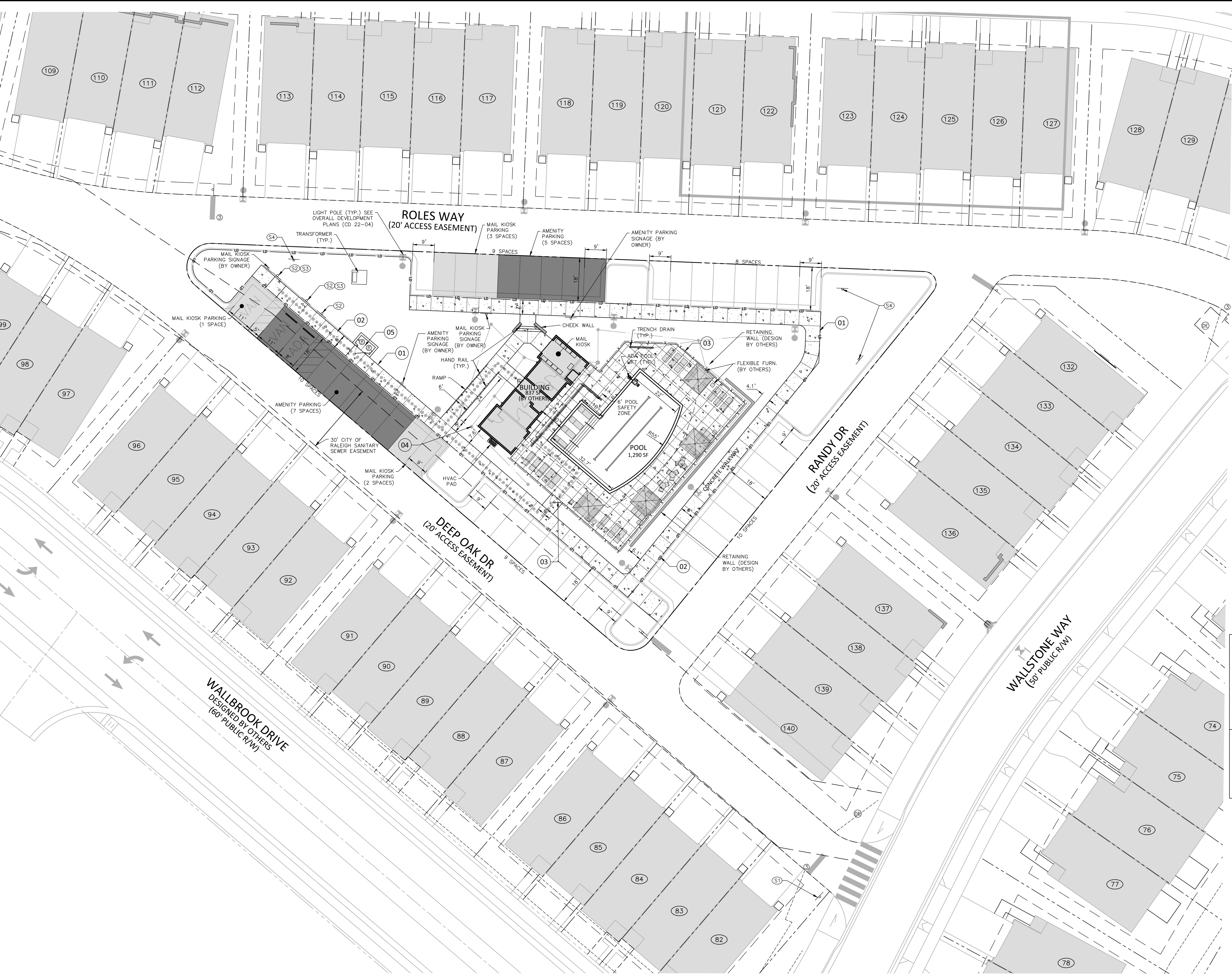


GENERAL NOTES:

SEE CASE CD 22-04 FOR OVERALL SITE DEVELOPMENT

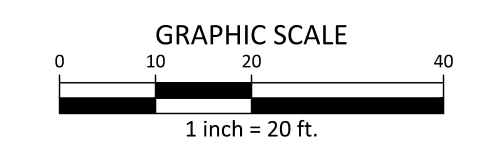
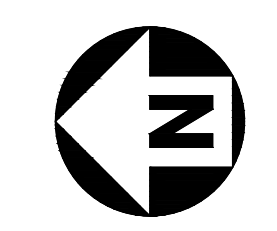
REQUIRED TOWNHOME PARKING

TOTAL UNITS	140
TOTAL 3 BEDROOM UNITS	124
(2 SPACES/TH + 0.5 SPACES PER BEDROOM OVER 2) =	(124 x 2) + (124 x 0.5) = 310
TOTAL 4 BEDROOM UNITS	16
(2 SPACES/TH + 0.5 SPACES PER BEDROOM OVER 2) =	(16 x 2) + (16 x 0.5) = 48
VISITOR PARKING	140 UNITS/4 = 35 SPACES
MAIL KIOSK PARKING	6 (SEE MAIL KIOSK CALCULATION TABLE)
TOTAL REQUIRED PARKING	399 SPACES
PROVIDED PARKING:	
Garage Parking	140 x 2 = 280
Driveway Parking	140 x 1 = 140
Street Parking	0
Mail Kiosk Parking	6 (1 ACCESSIBLE)
Dog Park Parking	11 (2 ACCESSIBLE)
Parking Lot Spaces	46 (12 AMENITY, 34 GUEST)
TOTAL PARKING PROVIDED	477 SPACES

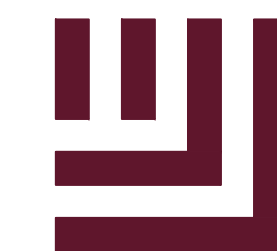


MATERIALS LEGEND

SYMBOL	TYPE	STYLE/MANUFACTURER	COLOR/FINISH
[Pattern]	CONCRETE PAVING		3,000 PSI MIN. MUST MEET ALL STRUCTURAL AND GEOTECHNICAL REQUIREMENTS
[Pattern]			MEDIUM BROOM FINISH PERPENDICULAR TO PATH OF TRAVEL



X:\Projects\CPR\CPR-19100\Production\Planning and Amenities\Site Plan - Erosion Control\Current Drawings\CPR19100-LandArch-S1.dwg, 12/9/2024, 5:16:35 PM, Tommy Dabiri



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**WALLBROOK-TOWNHOME
AMENITY PLAN
SITE DEVELOPMENT PLAN**
ROLESVILLE, NORTH CAROLINA
TOWN OF ROLESVILLE PROJECT #: SP 22-09



Digitally signed by William T. Daniel
Date: 2024.12.06 11:37:34-05'00'

REVISIONS

NO.	DATE	UPDATED PER COUNTY COMMENTS
1	12.06.2024	UPDATED PER COUNTY COMMENTS

PLAN INFORMATION

PROJECT NO. CPR-19100
 FILENAME CPR19100-LandArch-G2
 CHECKED BY SRD
 DRAWN BY CMXY
 SCALE 1"=10'
 DATE 10.28.2022

SHEET

GRADING AND STORM DRAINAGE PLAN

C3.00

GRADING LEGEND

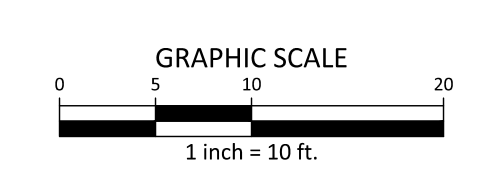
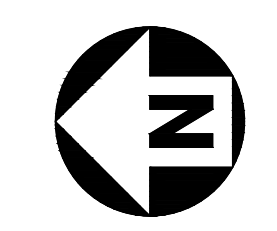
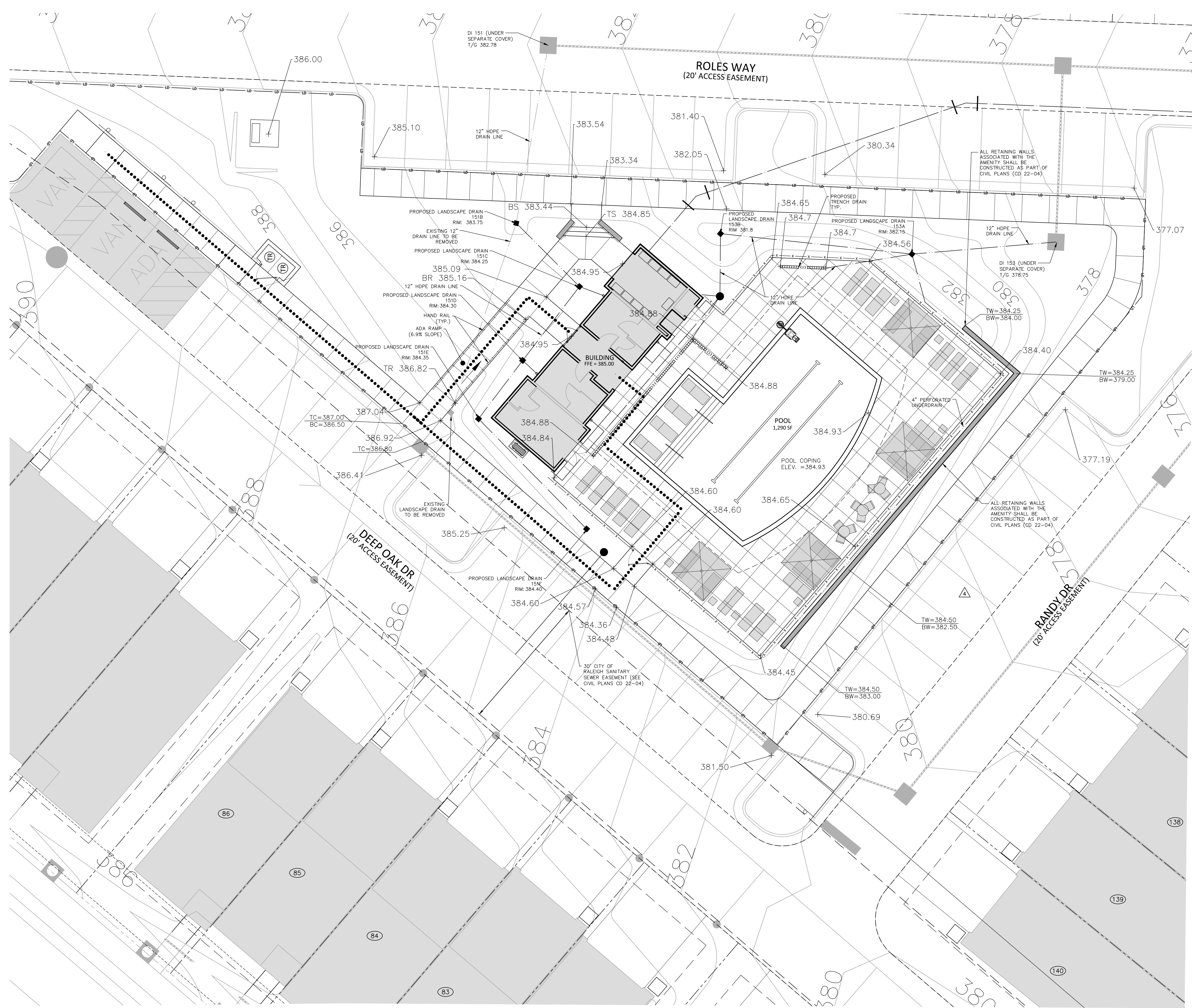
- FLARED END SECTION
- ENDWALL SECTION
- CATCH BASIN
- DROP INLET
- STORM SERVICE INLET
- STORM SERVICE ROOF-DRAIN
- JUNCTION BOX
- DRAINAGE FLOW ARROW
- LINE BREAK SYMBOL
- TOP & BOTTOM CURB ELEVATIONS
- TOP OF WALL ELEVATION
- BOTTOM OF WALL ELEVATION
(NOTE: BOTTOM OF WALL IS GROUND ELEVATION NOT WALL FOUNDATION)
- SPOT ELEVATION
- STORM DRAINAGE
- STORM SERVICE LINE
- ROOF DRAIN, 8" ADS
NON-PERFORATED TUBING OR
EQUAL 1.0% MIN. SLOPE 3' MIN.
COVER PVC SCHEDULE 40 IN
TRAFFIC AREAS
- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE
- WOODED AREA
- MAJOR CONTOUR
- MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EASEMENT LINE
- ACCESSIBLE PARKING AREA
(2% MAX. SLOPE IN ALL DIRECTIONS)
- ACCESSIBLE ROUTE

KEY LEGEND

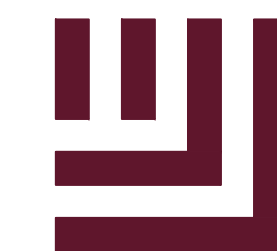
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GENERAL NOTES:

SEE CASE CD 22-04 FOR OVERALL SITE DEVELOPMENT



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PLAN INFORMATION

PROJECT NO. CPR-19100
FILENAME CPR19100-LandArch-U2
CHECKED BY SRD
DRAWN BY CMXY
SCALE 1"=20'
DATE 10.28.2022
SHEET

UTILITY PLAN

C4.00



- KEY LEGEND**
- Ⓜ ACCESSIBLE RAMP
 - Ⓢ 24" WHITE STOP BAR
 - Ⓣ NO PARKING FIRE LANE
 - Ⓤ 24" WHITE CROSSWALK LINE (HIGH VISIBILITY)
 - PRD PRIVATE STORM DRAINAGE EASEMENT
 - PE PUBLIC STORM DRAINAGE EASEMENT
 - SSD SANITARY SEWER EASEMENT

- UTILITY LEGEND**
- FIRE HYDRANT ASSEMBLY
 - FIRE DEPARTMENT CONNECTION (FDC)
 - WATER METER
 - WATER VALVE
 - POST INDICATOR VALVE
 - VALVE IN MANHOLE
 - METER & VAULT
 - BACKFLOW PREVENTER
 - REDUCER
 - PLUG
 - BLOW-OFF ASSEMBLY
 - SANITARY SEWER MANHOLE
 - SEWER CLEAN-OUT
 - GREASE TRAP
 - SEWER FLOW DIRECTION ARROW
 - YARD LIGHTS
 - LIGHT POLE
 - POWER POLE
 - LINE BREAK SYMBOL
 - WATERLINE
 - WATER SERVICE LINE
 - UTILITY SLEEVE
 - SANITARY SEWER
 - SEWER SERVICE LINE
 - SEWER FORCE MAIN
 - GAS LINE
 - OVERHEAD UTILITY
 - UNDERGROUND ELECTRIC
 - TELEPHONE
 - EASEMENT LINE
 - ACCESSIBLE ROUTE

GENERAL NOTES:
SEE CASE CD 22-04 FOR OVERALL SITE DEVELOPMENT

SITE PERMITTING APPROVAL

Water and Sewer Permits (if applicable)
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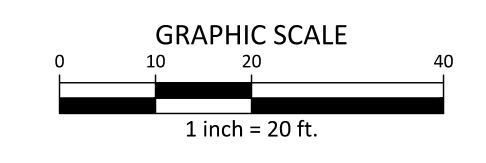
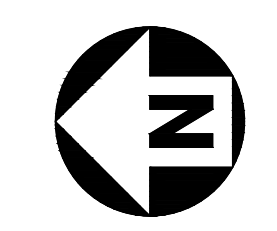
The City of Raleigh consents to the connection to its public sewer system and extension of the private sewer collection system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # _____

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

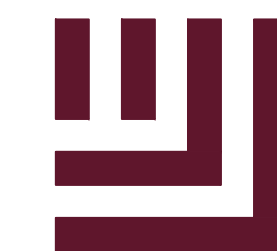
Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State or Federal Law. All Construction must be in accordance with all Local, State, and Federal Rules and Regulations.

Electronic Approval: This approval is being issued electronically. This approval is valid only upon the signature of a City of Raleigh Review Officer below. The City will retain a copy of the approved plans. Any work authorized by this approval must proceed in accordance with the plans kept on file with the City. This electronic approval may not be edited once issued. Any modification to this approval once issued will invalidate this approval.

City of Raleigh Development Approval _____
City of Raleigh Review Officer _____



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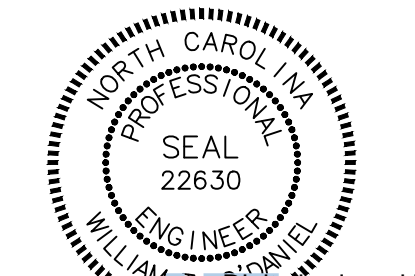
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**WALLBROOK-TOWNHOME
AMENITY PLAN**
SITE DEVELOPMENT PLAN
ROLESVILLE, NORTH CAROLINA
TOWN OF ROLESVILLE PROJECT #: SP 22-09



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Date: 2024.12.06 11:37:37-05'00'

REVISIONS

NO.	DATE	UPDATED PER COUNTY COMMENTS
1	12.06.2024	UPDATED PER COUNTY COMMENTS

PLAN INFORMATION

PROJECT NO. CPR-19100
 FILENAME CPR19100-LandArch-G2
 CHECKED BY SRD
 DRAWN BY CMXY
 SCALE 1"=10'
 DATE 10.28.2022

SHEET

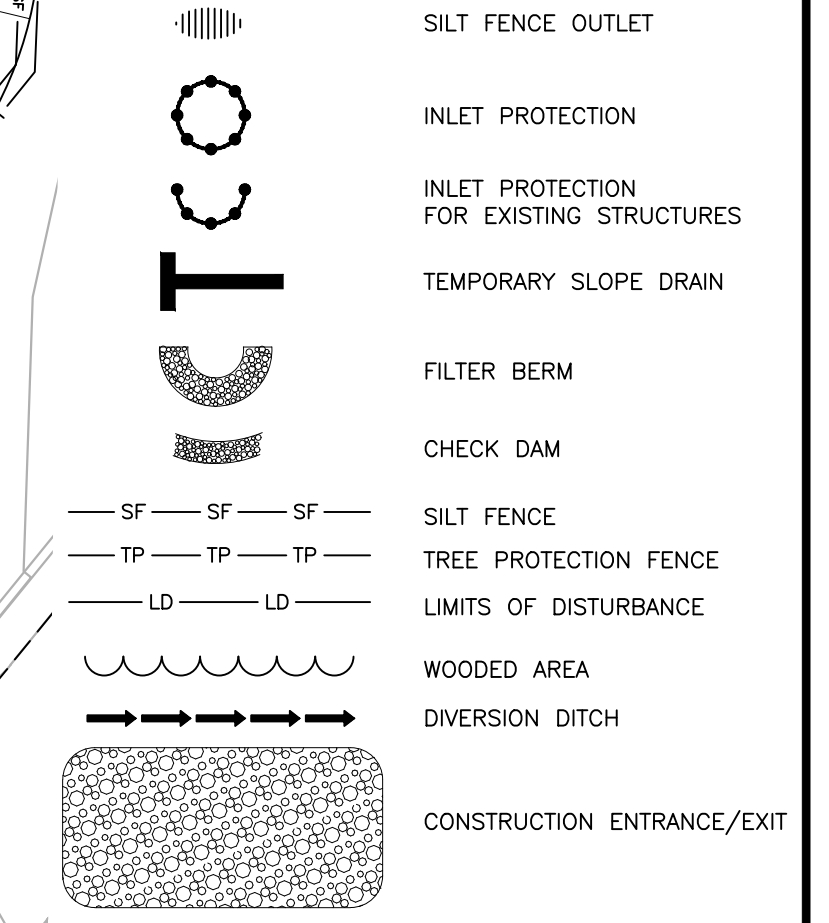
EROSION CONTROL PLAN

C6.00

WAKE COUNTY CONSTRUCTION SEQUENCE

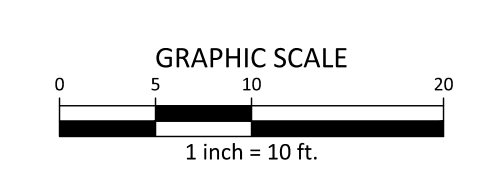
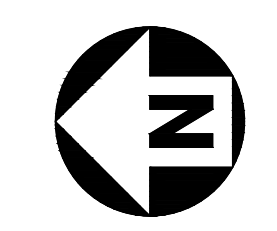
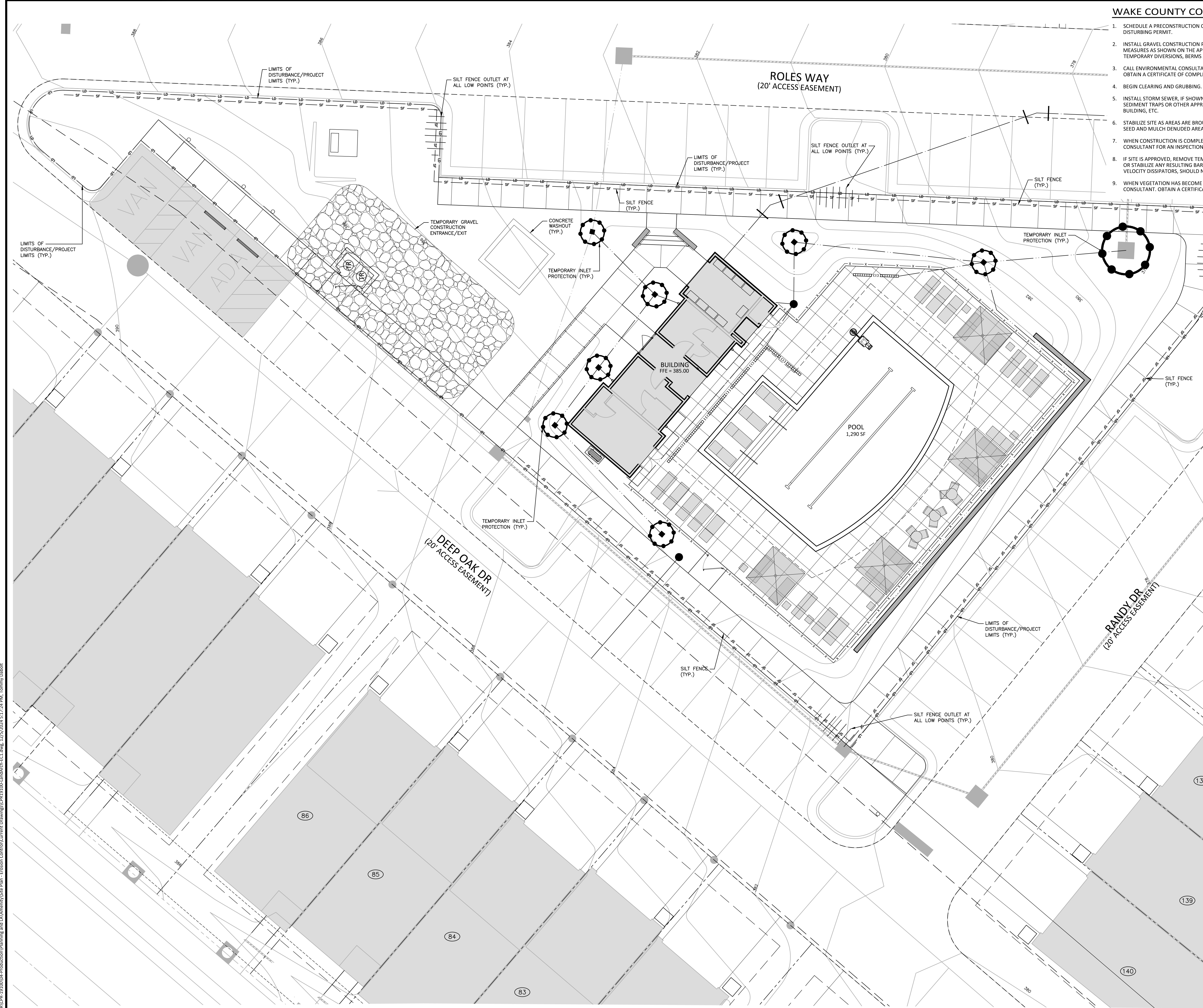
- SCHEDULE A PRECONSTRUCTION CONFERENCE WITH THE ENVIRONMENTAL CONSULTANT. OBTAIN A LAND DISTURBING PERMIT.
- INSTALL GRAVEL CONSTRUCTION PAD, TEMPORARY DIVERSIONS, SILT FENCE, SEDIMENT BASINS OR OTHER MEASURES AS SHOWN ON THE APPROVED PLAN. CLEAR ONLY AS NECESSARY TO INSTALL THESE DEVICES. SEED TEMPORARY DIVERSIONS, BERMS AND BASINS IMMEDIATELY AFTER CONSTRUCTION.
- CALL ENVIRONMENTAL CONSULTANT FOR AN ONSITE INSPECTION BY THE ENVIRONMENTAL CONSULTANT TO OBTAIN A CERTIFICATE OF COMPLIANCE.
- BEGIN CLEARING AND GRUBBING. MAINTAIN DEVICES AS NEEDED. ROUGH GRADE SITE.
- INSTALL STORM SEWER, IF SHOWN, AND PROTECT INLETS WITH BLOCK AND GRAVEL INLET CONTROLS, SEDIMENT TRAPS OR OTHER APPROVED MEASURES AS SHOWN ON THE PLAN. BEGIN CONSTRUCTION, BUILDING, ETC.
- STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISH GRADE WITH VEGETATION, PAVING, DITCH LININGS, ETC. SEED AND MULCH DENUDED AREAS PER GROUND STABILIZATION TIME FRAMES.
- WHEN CONSTRUCTION IS COMPLETE AND ALL AREAS ARE STABILIZED COMPLETELY, CALL ENVIRONMENTAL CONSULTANT FOR AN INSPECTION.
- IF SITE IS APPROVED, REMOVE TEMPORARY DIVERSIONS, SILT FENCE, SEDIMENT BASINS, ETC., AND SEED OUT OR STABILIZE ANY RESULTING BARE AREAS. ALL REMAINING PERMANENT EROSION CONTROL DEVICES, SUCH AS VELOCITY DISSIPATORS, SHOULD NOW BE INSTALLED.
- WHEN VEGETATION HAS BECOME ESTABLISHED, CALL FOR A FINAL SITE INSPECTION BY THE ENVIRONMENTAL CONSULTANT. OBTAIN A CERTIFICATE OF COMPLETION.

EROSION CONTROL LEGEND

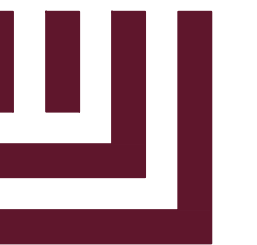


GENERAL NOTES:

SEE CASE CD 22-04 FOR OVERALL SITE DEVELOPMENT



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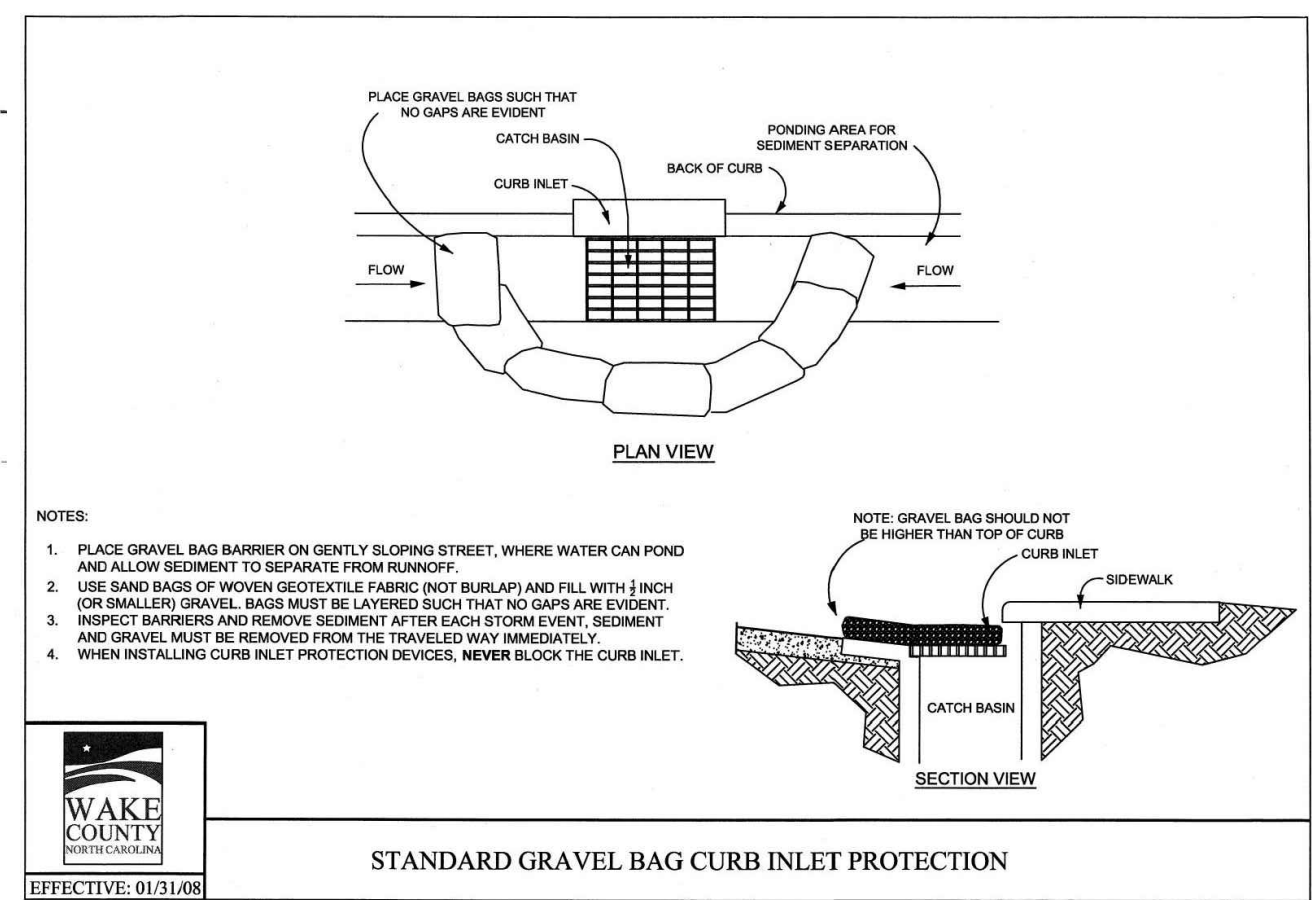
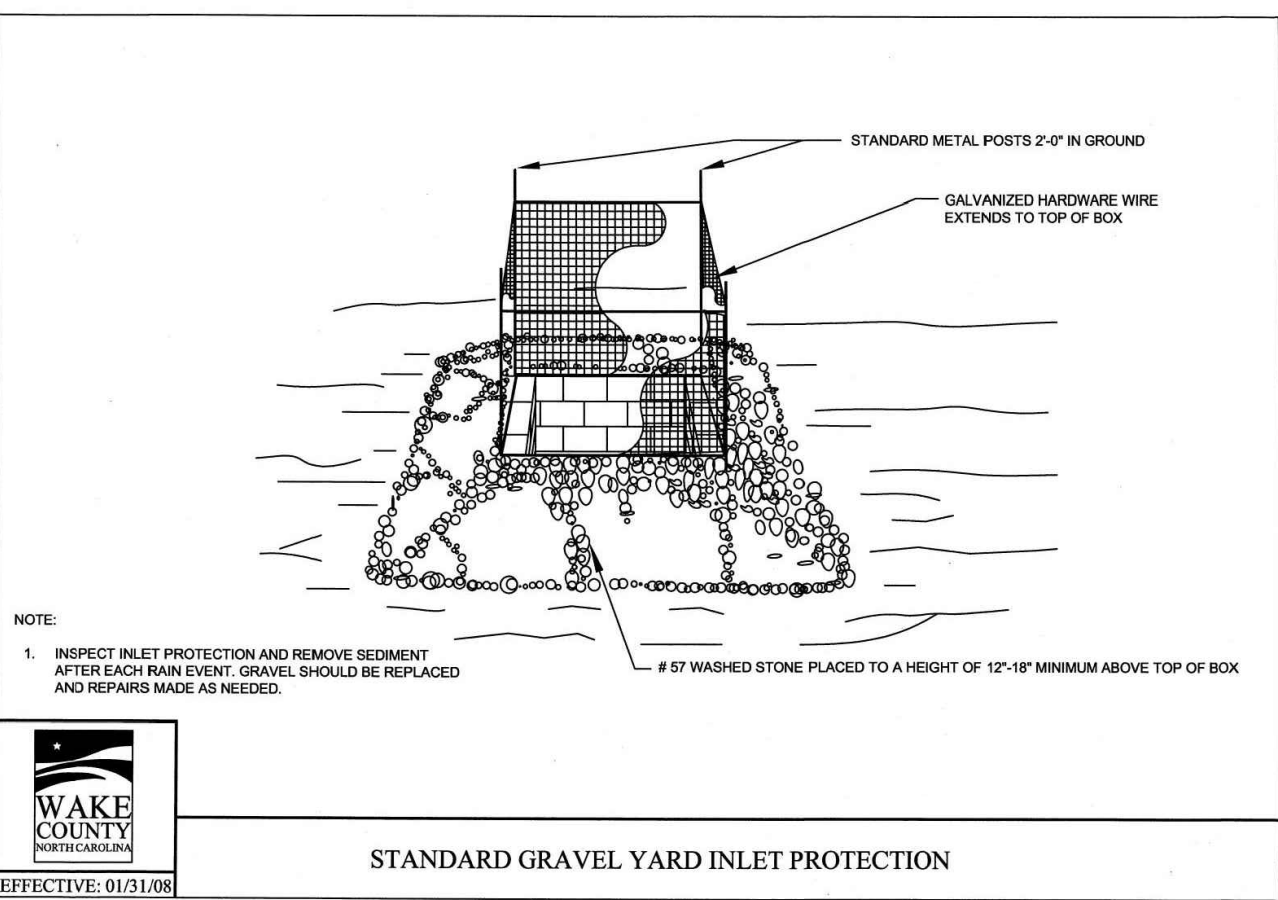
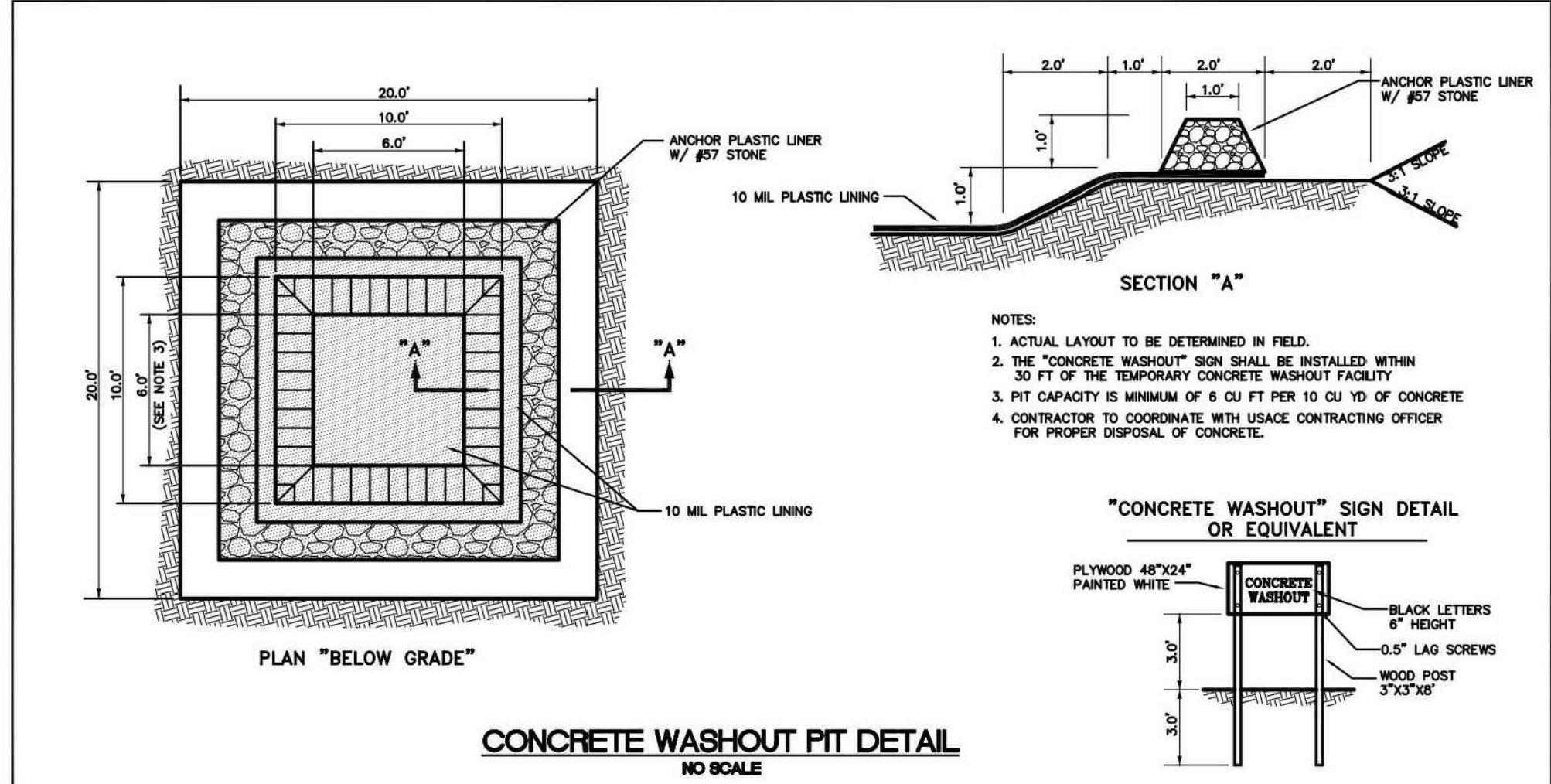
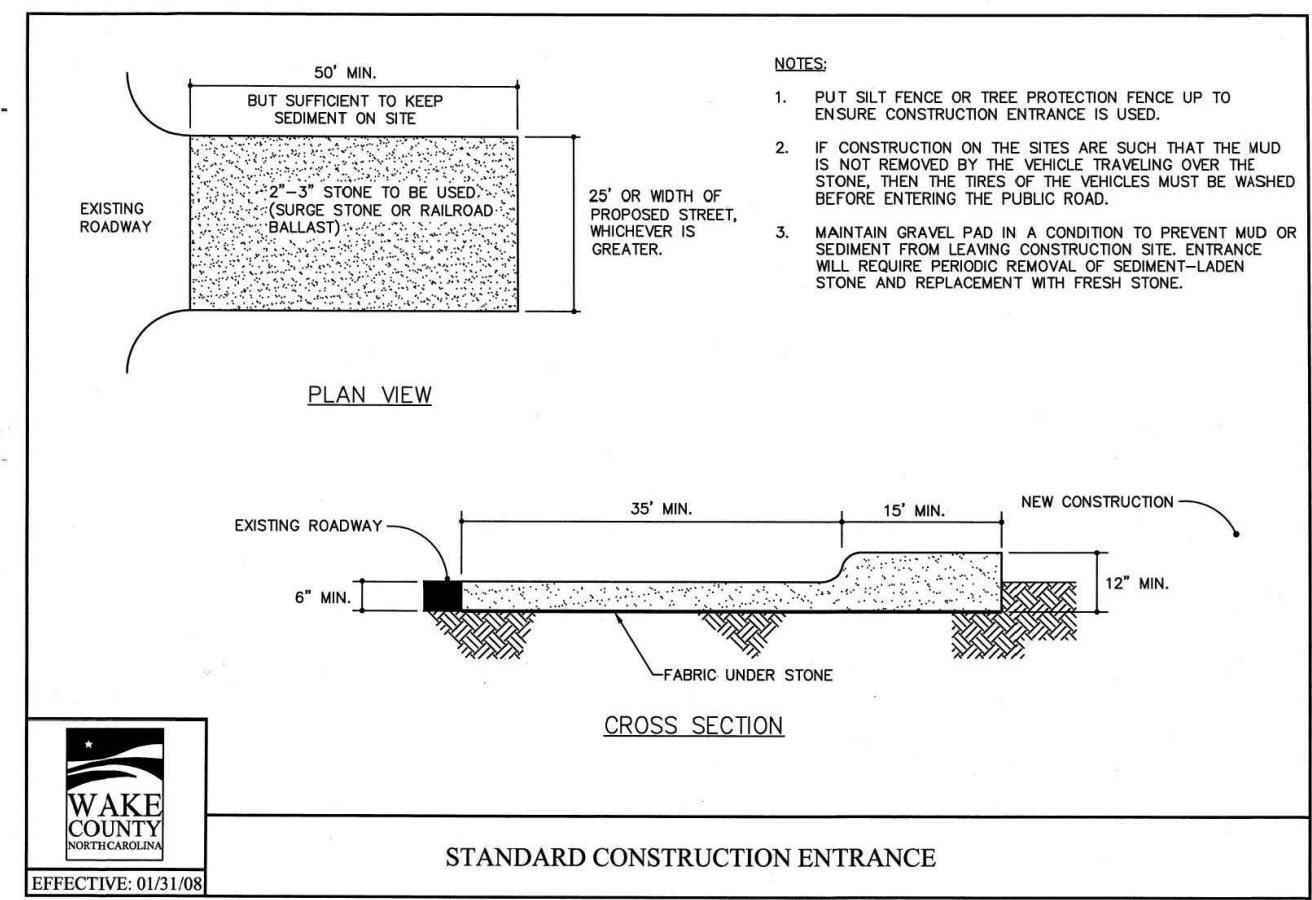
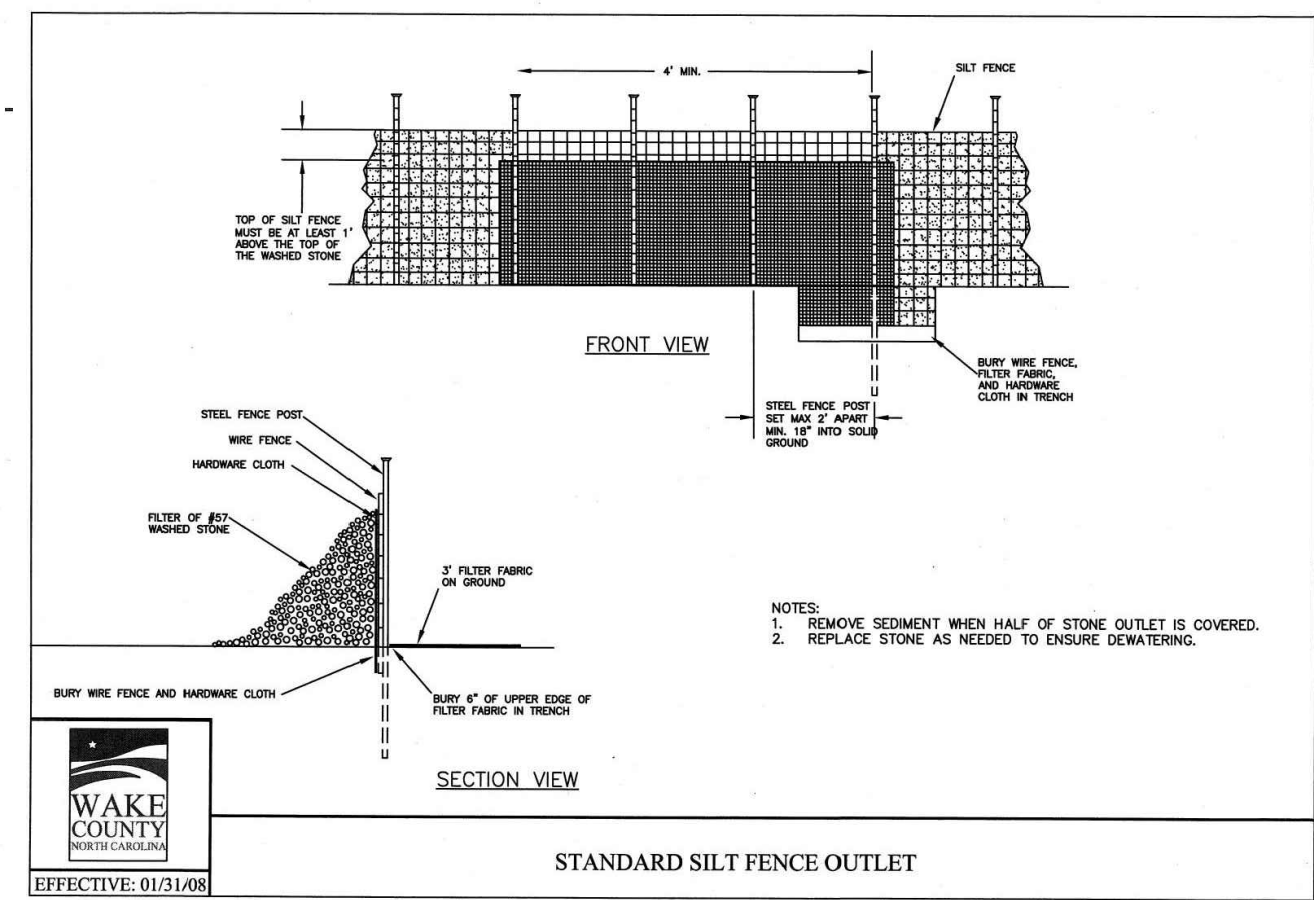
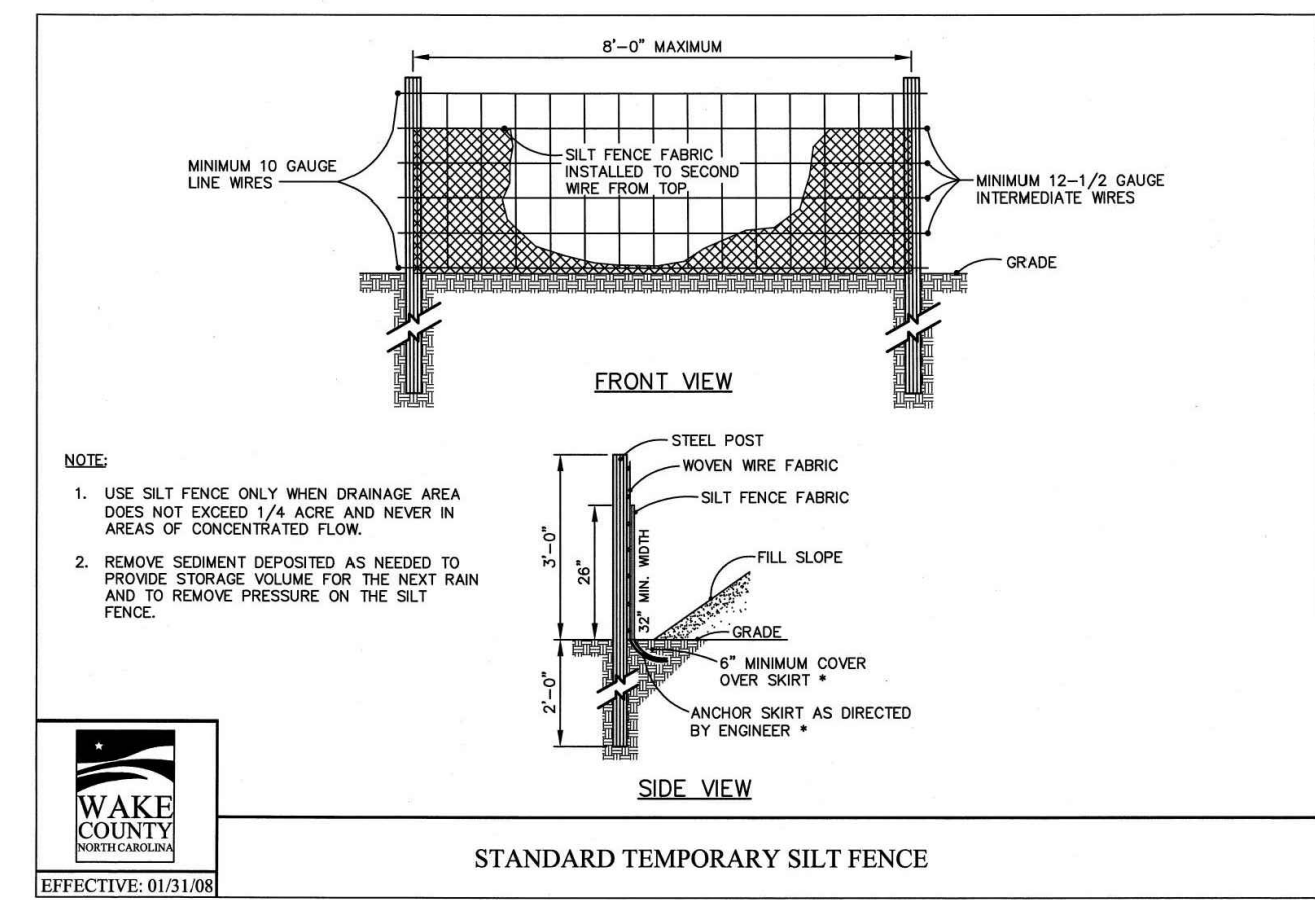
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AMENITY PLAN
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ROLESVILLE, NORTH CAROLINA
TOWN OF ROLESVILLE PROJECT #: SP 22-09



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Date: 2024.12.06 11:37:39-05'00'

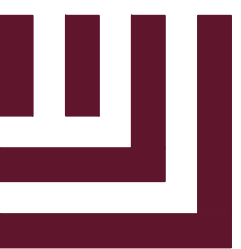


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PROJECT NO. CPR-19100
FILENAME CPR-19100-EC-D1
CHECKED BY WTO
DRAWN BY TKD
SCALE N/A
DATE 10.28.2022

SHEET
EROSION CONTROL
DETAILS
C6.01



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WALLBROOK-TOWNHOME
AMENITY PLAN
SITE DEVELOPMENT PLAN
ROLESVILLE, NORTH CAROLINA
TOWN OF ROLESVILLE PROJECT #: SP-22-09



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REVISIONS

NO.	DATE	DESCRIPTION
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PLAN INFORMATION

PROJECT NO.	CPR-19100
FILENAME	CPR-19100-EC-D1
CHECKED BY	WTO
DRAWN BY	TKD
SCALE	N/A
DATE	10.28.2022

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EROSION CONTROL
DETAILS
C6.02

GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT

Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

SECTION E: GROUND STABILIZATION

Required Ground Stabilization Timeframes		
Site Area Description	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b) High Quality Water (HQW) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed
(d) Slopes 3:1 to 4:1	14	-7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed
(e) Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

GROUND STABILIZATION SPECIFICATION

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization	Permanent Stabilization
<ul style="list-style-type: none"> Temporary grass seed covered with straw or other mulches and tackifiers Hydroseeding Rolled erosion control products with or without temporary grass seed Appropriately applied straw or other mulch Plastic sheeting 	<ul style="list-style-type: none"> Permanent grass seed covered with straw or other mulches and tackifiers Geotextile fabrics such as permanent soil reinforcement matting Hydroseeding Shrubs or other permanent plantings covered with mulch Uniform and evenly distributed ground cover sufficient to restrain erosion Structural methods such as concrete, asphalt or retaining walls Rolled erosion control products with grass seed

POLYACRYLAMIDES (PAMS) AND FLOCCULANTS

- Select flocculants that are appropriate for the soils being exposed during construction, selecting from the *NC DWR List of Approved PAMS/Flocculants*.
- Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
- Apply flocculants at the concentrations specified in the *NC DWR List of Approved PAMS/Flocculants* and in accordance with the manufacturer's instructions.
- Provide ponding area for containment of treated Stormwater before discharging offsite.
- Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

EQUIPMENT AND VEHICLE MAINTENANCE

- Maintain vehicles and equipment to prevent discharge of fluids.
- Provide drip pans under any stored equipment.
- Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
- Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
- Remove leaking vehicles and construction equipment from service until the problem has been corrected.
- Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE

- Never bury or burn waste. Place litter and debris in approved waste containers.
- Provide a sufficient number and size of waste containers (e.g dumpster, trash receptacle) on site to contain construction and domestic wastes.
- Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
- Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
- Anchor all lightweight items in waste containers during times of high winds.
- Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
- Dispose waste off-site at an approved disposal facility.
- On business days, clean up and dispose of waste in designated waste containers.

PAINT AND OTHER LIQUID WASTE

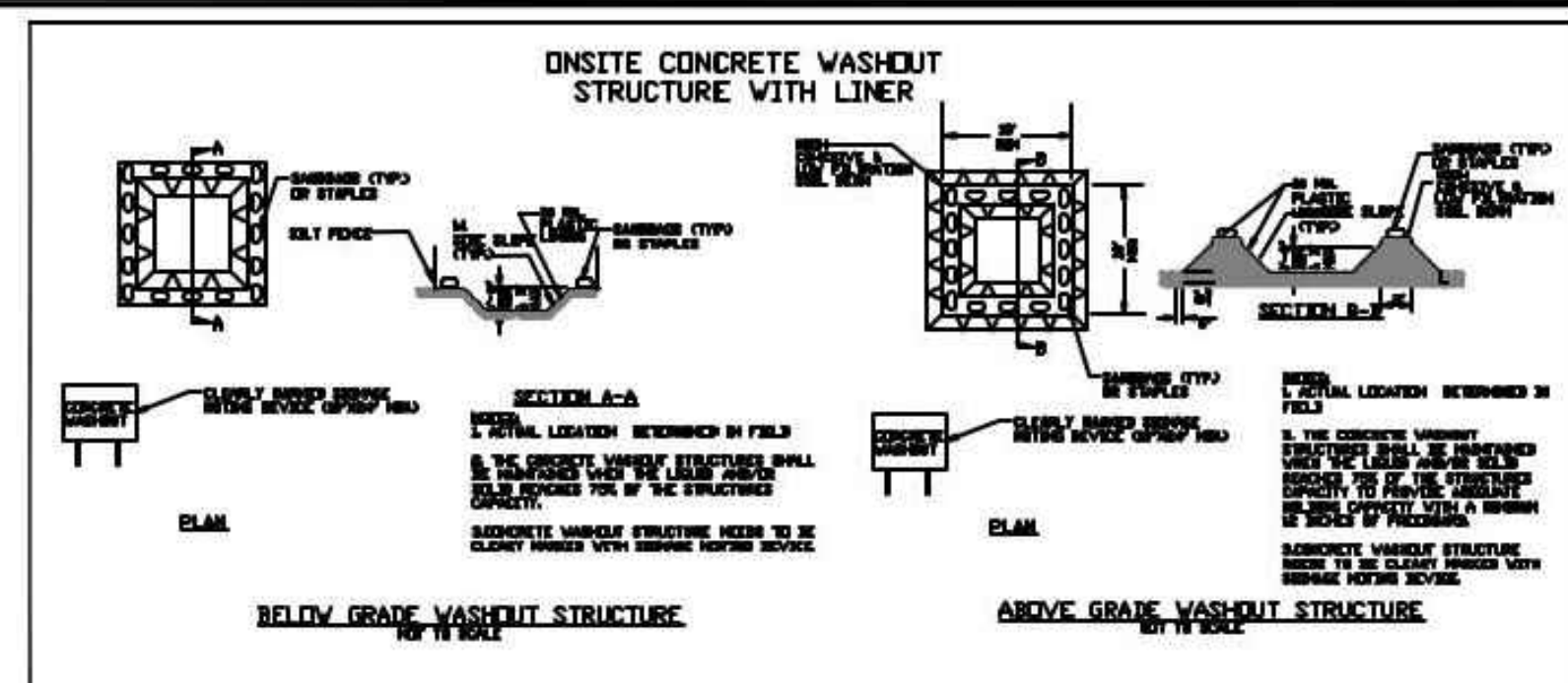
- Do not dump paint and other liquid waste into storm drains, streams or wetlands.
- Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Contain liquid wastes in a controlled area.
- Containment must be labeled, sized and placed appropriately for the needs of site.
- Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

PORTABLE TOILETS

- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
- Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
- Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

EARTHEN STOCKPILE MANAGEMENT

- Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
- Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
- Provide stable stone access point when feasible.
- Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.



CONCRETE WASHOUTS

- Do not discharge concrete or cement slurry from the site.
- Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
- Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
- Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
- Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
- Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
- Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
- Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
- Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
- At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

HERBICIDES, PESTICIDES AND RODENTICIDES

- Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
- Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
- Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
- Do not stockpile these materials onsite.

HAZARDOUS AND TOXIC WASTE

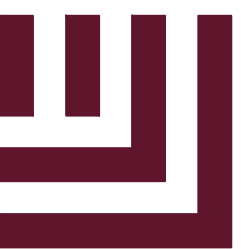
- Create designated hazardous waste collection areas on-site.
- Place hazardous waste containers under cover or in secondary containment.
- Do not store hazardous chemicals, drums or bagged materials directly on the ground.

For questions and assistance, please contact NCDEQ at 919-707-3639.

NCG01 GROUND STABILIZATION AND MATERIALS HANDLING

A-12

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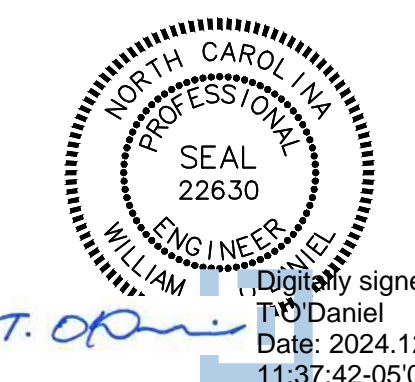
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NO.	DATE	DESCRIPTION
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PLAN INFORMATION

PROJECT NO.	CPR-19100
FILENAME	CPR-19100-EC-D1
CHECKED BY	WTO
DRAWN BY	TKD
SCALE	N/A
DATE	10.28.2022

SHEET

EROSION CONTROL

DETAILS

C6.03

PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION C: REPORTING

1. Occurrences that Must be Reported

Permittees shall report the following occurrences:

- (a) Visible sediment deposition in a stream or wetland.

- (b) Oil spills if:

- They are 25 gallons or more,
- They are less than 25 gallons but cannot be cleaned up within 24 hours,
- They cause sheen on surface waters (regardless of volume), or
- They are within 100 feet of surface waters (regardless of volume).

- (c) Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.

- (d) Anticipated bypasses and unanticipated bypasses.

- (e) Noncompliance with the conditions of this permit that may endanger health or the environment.

2. Reporting Timeframes and Other Requirements

After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Department's Environmental Emergency Center personnel at (800) 858-0368.

Occurrence	Reporting Timeframes (After Discovery) and Other Requirements
(a) Visible sediment deposition in a stream or wetland	<ul style="list-style-type: none"> • Within 24 hours, an oral or electronic notification. • Within 7 calendar days, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis. • If the stream is named on the NC 303(d) list as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired-waters conditions.
(b) Oil spills and release of hazardous substances per Item 1(b)-(c) above	<ul style="list-style-type: none"> • Within 24 hours, an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release.
(c) Anticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"> • A report at least ten days before the date of the bypass, if possible. The report shall include an evaluation of the anticipated quality and effect of the bypass.
(d) Unanticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"> • Within 24 hours, an oral or electronic notification. • Within 7 calendar days, a report that includes an evaluation of the quality and effect of the bypass.
(e) Noncompliance with the conditions of this permit that may endanger health or the environment [40 CFR 122.41(l)(7)]	<ul style="list-style-type: none"> • Within 24 hours, an oral or electronic notification. • Within 7 calendar days, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent reoccurrence of the noncompliance. [40 CFR 122.41(l)(6)]. • Division staff may waive the requirement for a written report on a case-by-case basis.



For questions and assistance, please contact NCDEQ at 919-707-3639.

PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION B: RECORDKEEPING

1. E&SC Plan Documentation

The approved E&SC plan as well as any approved deviation shall be kept on the site. The approved E&SC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&SC plan shall be kept on site and available for inspection at all times during normal business hours.

Item to Document	Documentation Requirements
(a) Each E&SC measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&SC plan.	Initial and date each E&SC measure on a copy of the approved E&SC plan or complete, date and sign an inspection report that lists each E&SC measure shown on the approved E&SC plan. This documentation is required upon the initial installation of the E&SC measures or if the E&SC measures are modified after initial installation.
(b) A phase of grading has been completed.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved E&SC plan.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all E&SC measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to E&SC measures.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate the completion of the corrective action.

2. Additional Documentation to be Kept on Site

In addition to the E&SC plan documents above, the following items shall be kept on the site and available for inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

- (a) This General Permit as well as the Certificate of Coverage, after it is received.
- (b) Records of inspections made during the previous twelve months. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.

3. Documentation to be Retained for Three Years

All data used to complete the e-NOI and all inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION A: SELF-INSPECTION

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record.

Inspect	Frequency (during normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no individual-day rainfall information is available, record the cumulative rain measurement for those unattended days (and this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "zero." The permittee may use another rain-monitoring device approved by the Division.
(2) E&SC Measures	At least once per 7 calendar days and within 24 hours of a rain event \geq 1.0 inch in 24 hours	1. Identification of the measures inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Indication of whether the measures were operating properly, 5. Description of maintenance needs for the measure, 6. Description, evidence, and date of corrective actions taken.
(3) Stormwater discharge outfalls (SDOs)	At least once per 7 calendar days and within 24 hours of a rain event \geq 1.0 inch in 24 hours	1. Identification of the discharge outfalls inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration, 5. Indication of visible sediment leaving the site, 6. Description, evidence, and date of corrective actions taken.
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event \geq 1.0 inch in 24 hours	If visible sedimentation is found outside site limits, then a record of the following shall be made: 1. Actions taken to clean up or stabilize the sediment that has left the site limits, 2. Description, evidence, and date of corrective actions taken, and 3. An explanation as to the actions taken to control future releases.
(5) Streams or wetlands onsite or offsite (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event \geq 1.0 inch in 24 hours	If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made: 1. Description, evidence and date of corrective actions taken, and 2. Records of the required reports to the appropriate Division Regional Office per Part III, Section C, Item (2)(a) of this permit.
(6) Ground stabilization measures	After each phase of grading	1. The phase of grading (installation of perimeter E&SC measures, clearing and grubbing, installation of storm drainage facilities, completion of all land-disturbing activity, construction or redevelopment, permanent ground cover). 2. Documentation that the required ground stabilization measures have been provided within the required timeframe or an assurance that they will be provided as soon as possible.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

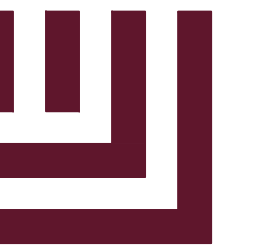
PART II, SECTION G, ITEM (4)
DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT

Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down for maintenance or close out unless this is infeasible. The circumstances in which it is not feasible to withdraw water from the surface shall be rare (for example, times with extended cold weather). Non-surface withdrawals from sediment basins shall be allowed only when all of the following criteria have been met:

- (a) The E&SC plan authority has been provided with documentation of the non-surface withdrawal and the specific time periods or conditions in which it will occur. The non-surface withdrawal shall not commence until the E&SC plan authority has approved these items,
- (b) The non-surface withdrawal has been reported as an anticipated bypass in accordance with Part III, Section C, Item (2)(c) and (d) of this permit,
- (c) Dewatering discharges are treated with controls to minimize discharges of pollutants from stormwater that is removed from the sediment basin. Examples of appropriate controls include properly sited, designed and maintained dewatering tanks, weir tanks, and filtration systems,
- (d) Vegetated, upland areas of the sites or a properly designed stone pad is used to the extent feasible at the outlet of the dewatering treatment devices described in Item (c) above,
- (e) Velocity dissipation devices such as check dams, sediment traps, and riprap are provided at the discharge points of all dewatering devices, and
- (f) Sediment removed from the dewatering treatment devices described in Item (c) above is disposed of in a manner that does not cause deposition of sediment into waters of the United States.

NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING

A-13



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WALLBROOK-TOWNHOME
AMENITY PLAN
SITE DEVELOPMENT PLAN
ROLESVILLE, NORTH CAROLINA
TOWN OF ROLESVILLE PROJECT #: SP 22-09



REVISIONS

NO.	DATE	DESCRIPTION
1	12.06.2024	UPDATED PER COUNTY COMMENTS

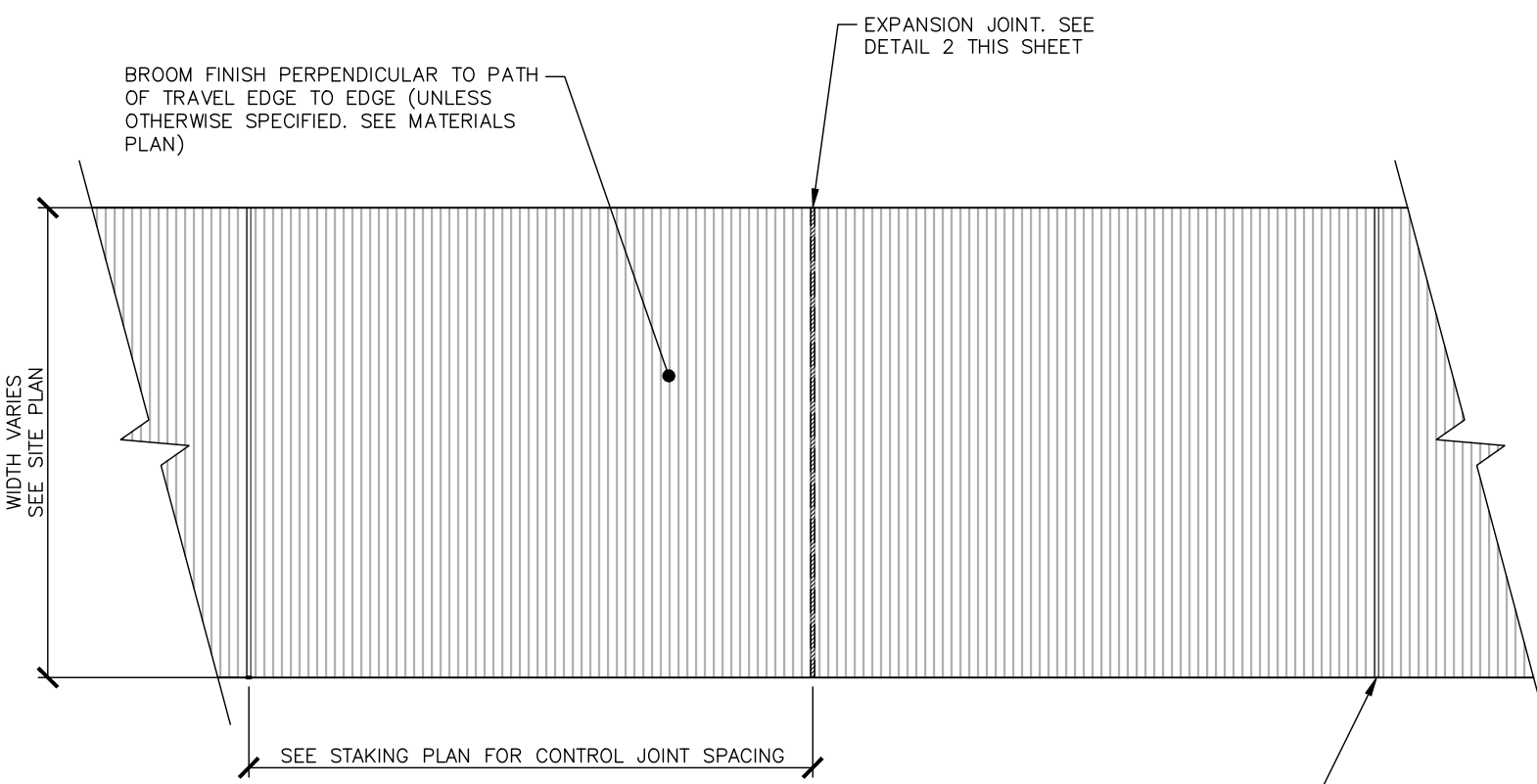
PLAN INFORMATION

PROJECT NO. CPR-19100
 FILENAME CPR-19100-D2
 CHECKED BY SRD
 DRAWN BY CMXY
 SCALE N/A
 DATE 10.28.2022

SHEET

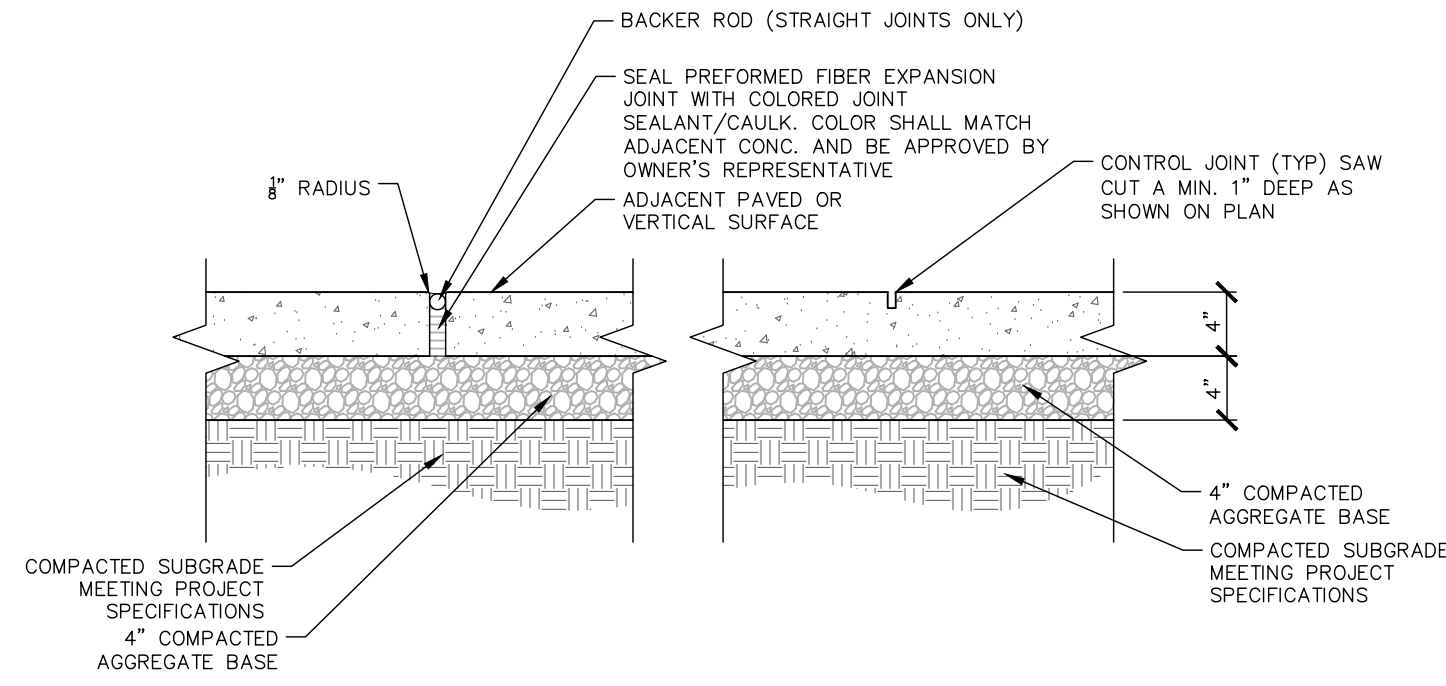
SITE DETAILS

C8.00



- NOTES:
- REFER TO LAYOUT PLAN FOR SIDEWALK LOCATIONS, TYPES AND WIDTHS.
 - REFER TO DETAILED LAYOUT PLAN FOR SPECIFIC JOINT LOCATIONS AND SPACING.
 - USE THIS DETAIL FOR TYPICAL JOINT SPACING WHEN NO SPECIFIC JOINT SPACING IS INDICATED ON PLANS.
 - CONTROL JOINT SPACING SHALL BE EQUAL TO SIDEWALK WIDTH BUT IN NO INSTANCE EXCEED 6'. SEE MATERIALS & STAKING PLAN FOR ALL OTHER JOINT SPACING.
 - MAXIMUM SIDEWALK CROSS-SLOPE IS 2%.
 - POLYMERIC JOINTING SAND TO BE IN COLOR COMPLEMENTARY TO CONCRETE COLOR.

PLAN



- NOTES:
- EXPANSION JOINTS SHALL BE INSTALLED WHERE CONCRETE PAVEMENT ABUTS ALL VERTICAL SURFACES INCLUDING BUT NOT LIMITED TO ALL BUILDINGS, STRUCTURES, STAIRS, CURBS, COLUMNS, WALLS, LIGHT POLES, ETC.
 - WHERE WALK ABUTS RIGID STRUCTURE, JOINT SHALL BE WATERTIGHT.
 - PROVIDE EXPANSION JOINTS @ 20' O.C. MAX UNLESS OTHERWISE SHOWN/REQUIRED. (SEE MATERIALS & STAKING PLAN)
 - CONTROL JOINT SPACING SHALL BE EQUAL TO SIDEWALK WIDTH BUT IN NO INSTANCE EXCEED 6'. SEE MATERIALS & STAKING PLAN FOR ALL OTHER JOINT SPACING.
 - SAW CUT TO A MIN. DEPTH OF 1". CONTRACTOR TO CLOSELY COORDINATE LOCATIONS AND DESIGNS PRIOR TO AND DURING CONSTRUCTION.
 - ALL CONCRETE SHALL BE 3,000 PSI UNLESS OTHERWISE REQUIRED BY PROJECT SPECIFICATIONS.
 - POLYMERIC JOINTING SAND TO BE IN COLOR COMPLEMENTARY TO CONCRETE COLOR.

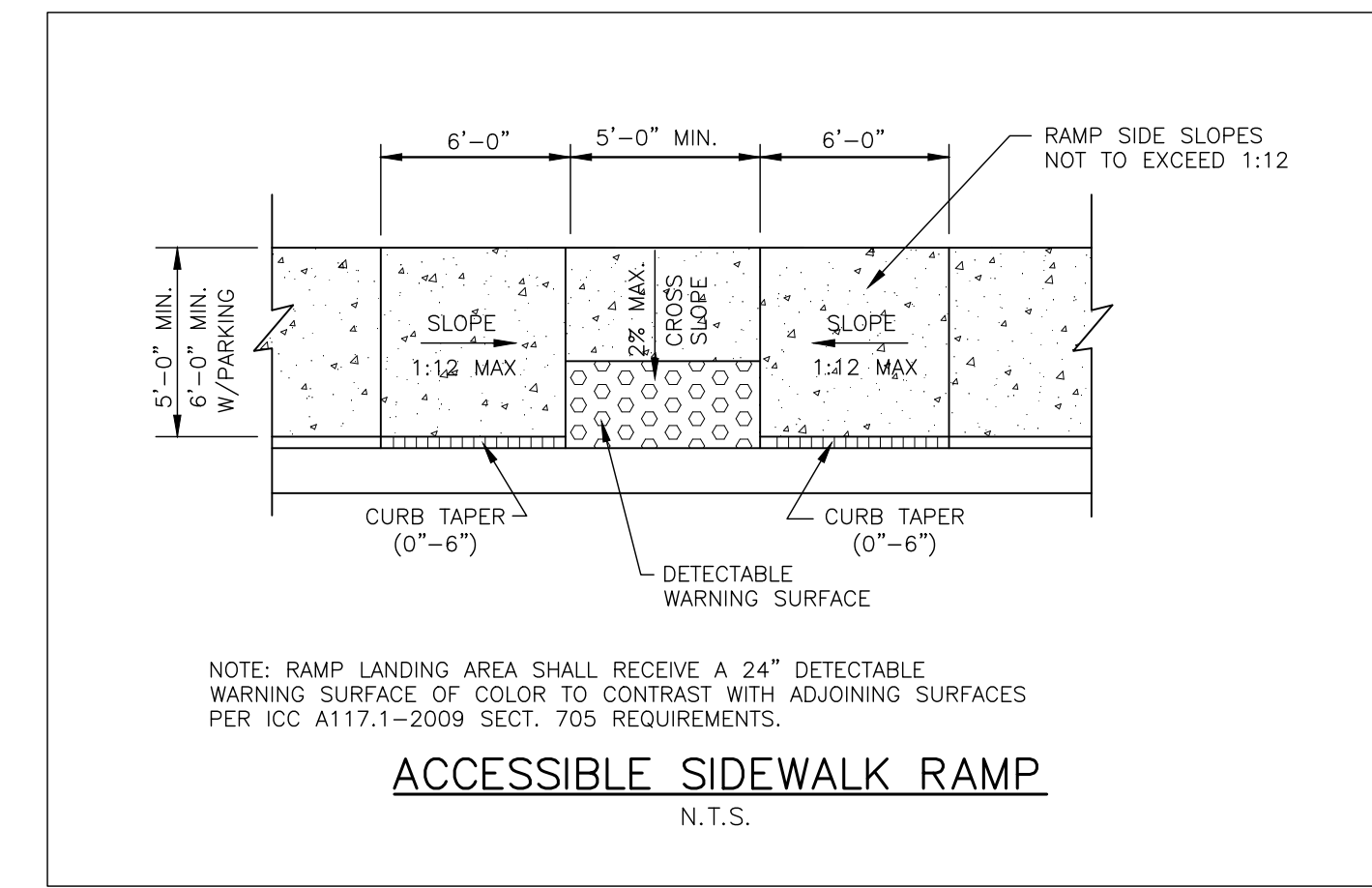
SECTION

01 CONCRETE SIDEWALK

SCALE: 1"=1'-0"

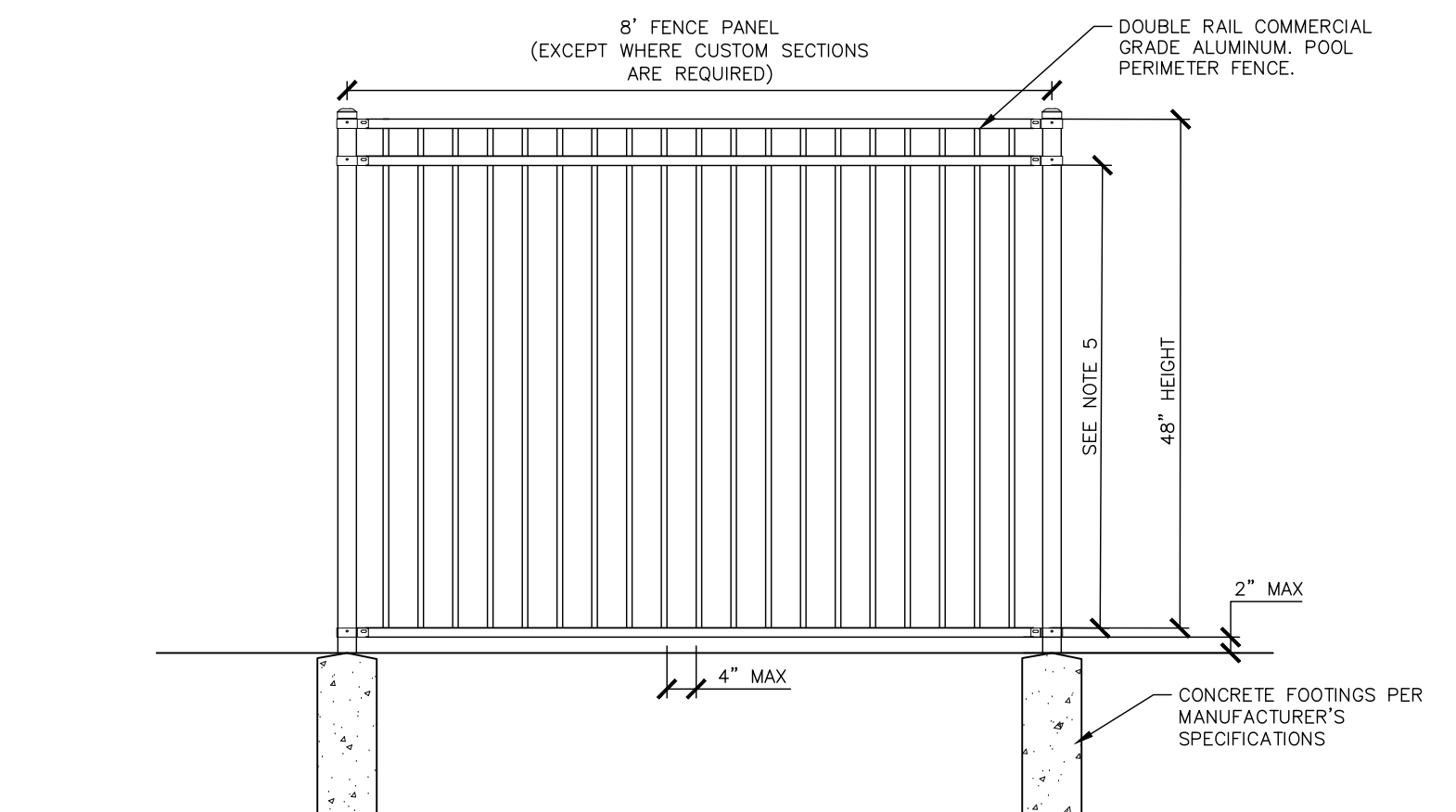
02 ACCESSIBLE SIDEWALK RAMP

SCALE: NTS



NOTE: RAMP LANDING AREA SHALL RECEIVE A 24" DETECTABLE WARNING SURFACE OF COLOR TO CONTRAST WITH ADJOINING SURFACES PER ICC A117.1-2009 SECT. 705 REQUIREMENTS.

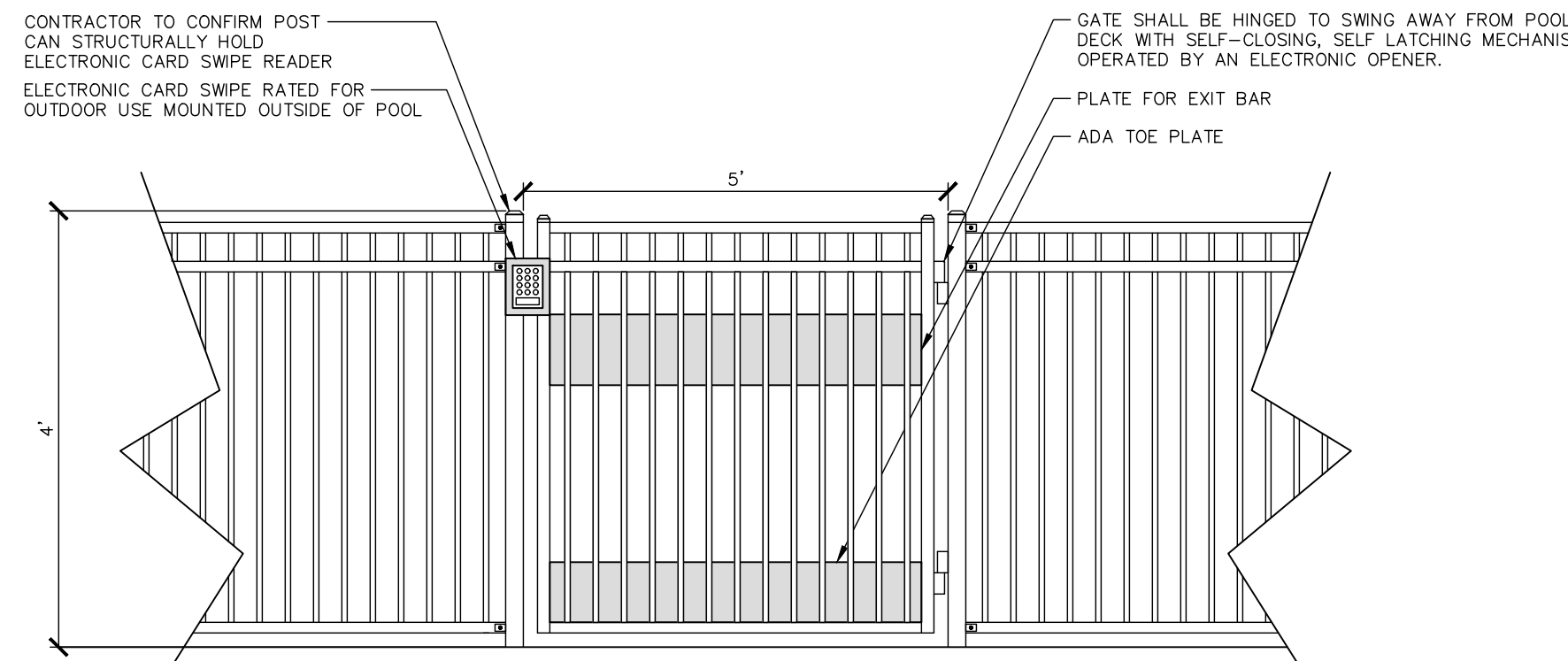
ACCESSIBLE SIDEWALK RAMP
N.T.S.



- NOTES:
- ALL FASTENERS AND HARDWARE SHALL BE S.S.
 - FENCE TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
 - FENCE DIMENSIONS (OR EQUAL) - CONTRACTOR TO ENSURE FENCE MEETS ALL APPLICABLE POOL CODES COMMERCIAL STRENGTH ALUMINUM
- POSTS: 2 1/2" x 2 1/2"
 RAILS: 1 1/2" x 1 1/2" - NO EXPOSED SCREW SYSTEM
 PICKETS: 3/4" x 2 1/4" W/ 3 1/4" SPACING
 COLOR: SATIN BLACK, SHOP APPLIED POWDER COAT
- CONFIRM POOL FENCE MEETS LOCAL CODE CRITERIA
 - FOR POOL FENCING, THE HORIZONTAL SPACE BETWEEN VERTICAL MEMBERS SHALL NOT EXCEED 4 INCHES; WHERE THE HORIZONTAL SPACE BETWEEN VERTICAL MEMBERS EXCEEDS 1-3/4 INCHES THERE SHALL BE AT LEAST 30 INCHES BETWEEN ANY HORIZONTAL BOTTOM RAIL OR STRINGER AND THE NEXT HORIZONTAL RAIL OR STRINGER.

03 POOL FENCE AND GATE

SCALE: NTS

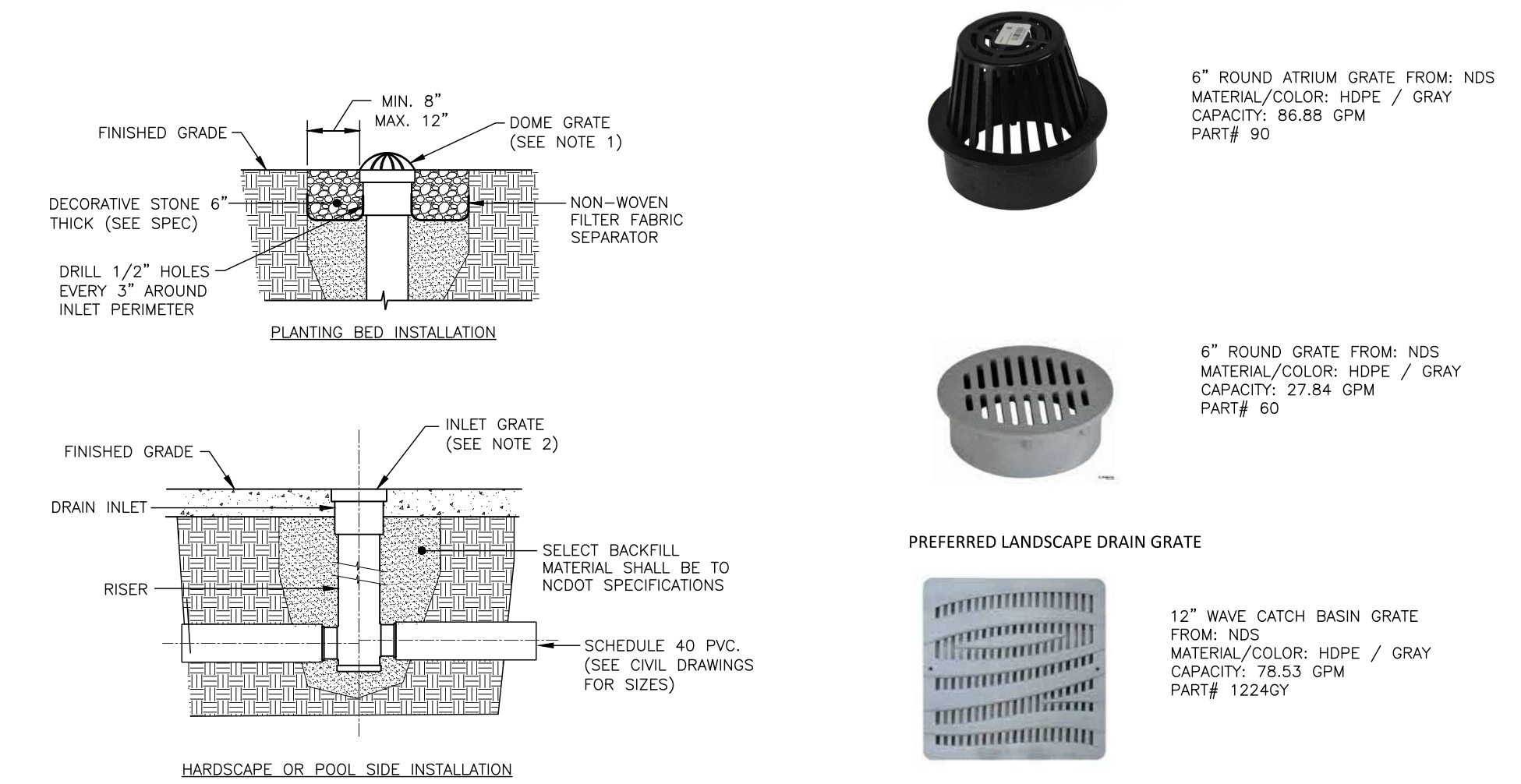


- CONTRACTOR TO CONFIRM POST CAN STRUCTURALLY HOLD ELECTRONIC CARD SWIPE READER. ELECTRONIC CARD SWIPE RATED FOR OUTDOOR USE MOUNTED OUTSIDE OF POOL.
- NOTE: 5
- 48" HEIGHT
- 2" MAX
- 4" MAX
- CONCRETE FOOTINGS PER MANUFACTURER'S SPECIFICATIONS
- NOTES:
- GATE HARDWARE WILL BE OPERABLE WITH ONE HAND AND WILL NOT REQUIRE 'SOLES OF FORCE, PINCHING, TIGHT GRASPING OR TWISTING OF THE WRIST TO OPERATE.
 - GATE ENTRY CONTROLS WILL BE LOCATED NOT LESS THAN 34" MINIMUM AND 48" MAXIMUM ABOVE FINISHED GRADE.
 - CONTRACTOR TO SUBMIT MANUFACTURER INFORMATION AND CUT SHEETS FOR LATCH PRIOR TO ORDERING. COORDINATE THE SYSTEM WITH OTHER SITE ACCESS CONTROLS AS REQUIRED.
 - CONFIRM POOL FENCE MEETS LOCAL CODE CRITERIA.
 - POOL GATE AND POOL FENCE TO BE FLUSH.
 - SELF-CLOSING LATCH IS TO BE MOUNTED ON THE POOL SIDE OF THE GATE AT A MAXIMUM 48" ABOVE FINISHED GRADE.
 - POOL GATE SHALL MEET ADA & ALL CODES. BRING ANY DISCREPANCIES TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
 - FENCE TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- MATERIAL AND SIZE:
- GATE AND FENCE SHALL BE COMMERCIAL GRADE ALUMINUM (OR APPROVED EQUAL)
 - ALL FASTENERS AND HARDWARE SHALL BE S.S.
 - GATE DIMENSIONS (OR APPROVED EQUAL)
- POSTS: 2 1/2" x 2 1/2"
 RAILS: 1 1/2" x 1 1/2" - NO EXPOSED SCREW SYSTEM
 PICKETS: 3/4" x 2 1/4" W/ 3 1/4" SPACING
 FINISH: SATIN BLACK, SHOP APPLIED POWDER COAT

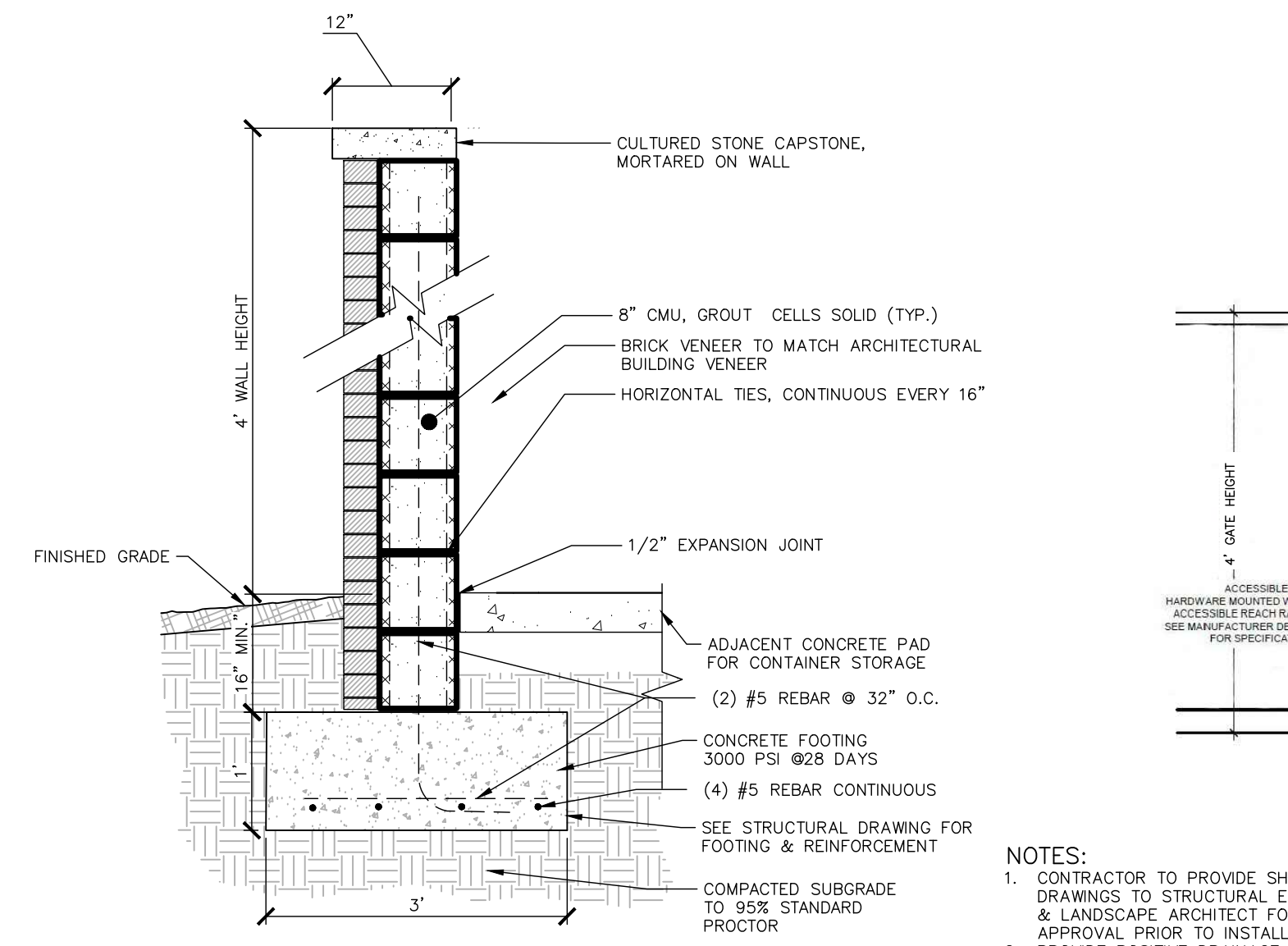
- NOTES:
- PLANTING BED: "NYLOPLAST" DUCTILE IRON DOME GRATE.
 - HARDSCAPE: INLET GRATE TO BE "NYLOPLAST" SQUARE PEDESTRIAN LIGHT DUTY WITH BRONZE FINISH.
 - POOL DECK: INLET TO BE ROUND "NYLOPLAST" BRONZE CORROSIVE RESISTANT PEDESTRIAN GRADE.
 - FOLLOW MANUFACTURER'S GUIDELINES FOR MATERIAL REQUIREMENTS AND INSTALLATION METHODS.
 - SEE GRADING PLAN FOR ALL GRATE SIZES.

04 LANDSCAPE DRAIN INLET

SCALE: NTS



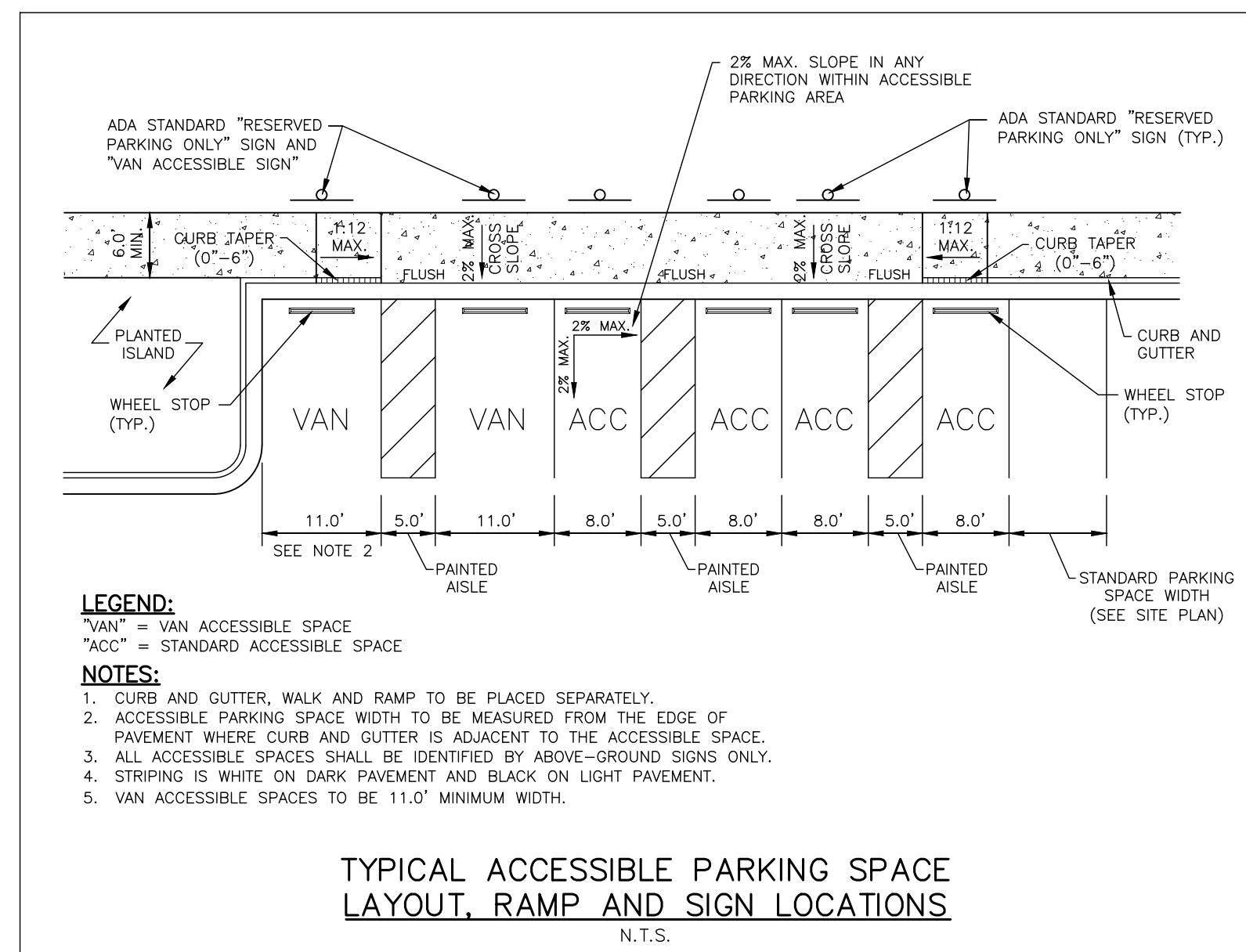
- 6" ROUND ATRIUM GRATE FROM: NDS MATERIAL/COLOR: HDPE / GRAY CAPACITY: 86.88 GPM PART# 90
- 6" ROUND GRATE FROM: NDS MATERIAL/COLOR: HDPE / GRAY CAPACITY: 78.53 GPM PART# 60
- 12" WAVE CATCH BASIN GRATE FROM: NDS MATERIAL/COLOR: HDPE / GRAY CAPACITY: 122.4 GPM PART# 1224GY
- 9" SLIM CHANNEL DRAIN FROM: NDS MATERIAL/COLOR: HDPE / GRAY CAPACITY: 78.53 GPM PART# 9209GY



- NOTES:
- CONTRACTOR TO PROVIDE SHOP DRAWINGS TO STRUCTURAL ENGINEER & LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
 - PROVIDE POSITIVE DRAINAGE AWAY FROM WALL. SLOPE TOP OF WALL TO PROVIDE DRAINAGE OFF WALL.

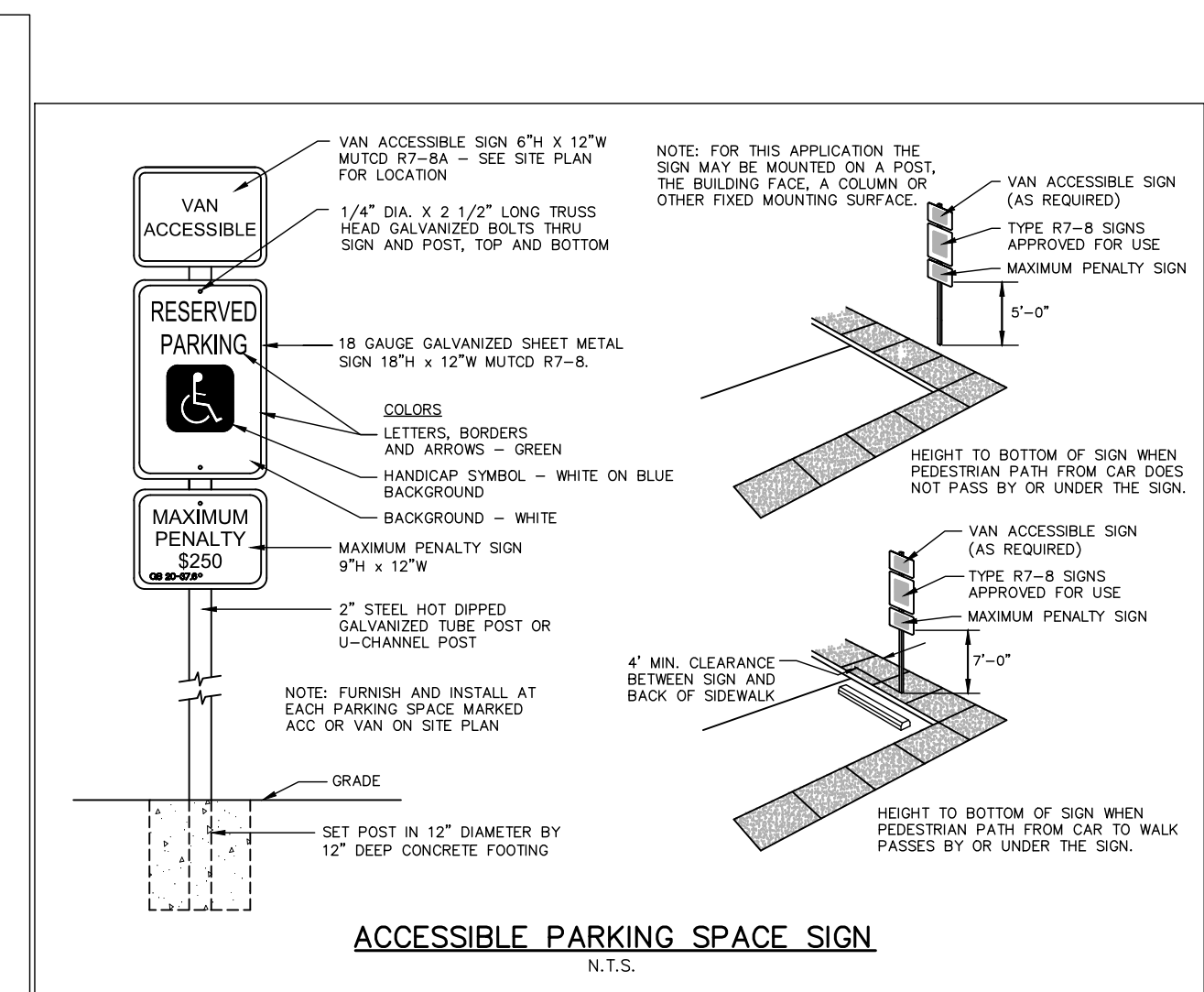
05 TRASH ENCLOSURE

SCALE: NTS



- LEGEND:
- "VAN" = VAN ACCESSIBLE SPACE
 - "ACC" = STANDARD ACCESSIBLE SPACE
- NOTES:
- CURB AND GUTTER, WALK AND RAMP TO BE PLACED SEPARATELY.
 - ACCESSIBLE PARKING SPACE WIDTH TO BE MEASURED FROM THE EDGE OF PAVEMENT WHERE CURB AND GUTTER IS ADJACENT TO THE ACCESSIBLE SPACE.
 - ALL ACCESSIBLE SPACES SHALL BE IDENTIFIED BY ABOVE-GROUND SIGNS ONLY.
 - STRIPING IS WHITE ON DARK PAVEMENT AND BLACK ON LIGHT PAVEMENT.
 - VAN ACCESSIBLE SPACES TO BE 11'-0" MINIMUM WIDTH.

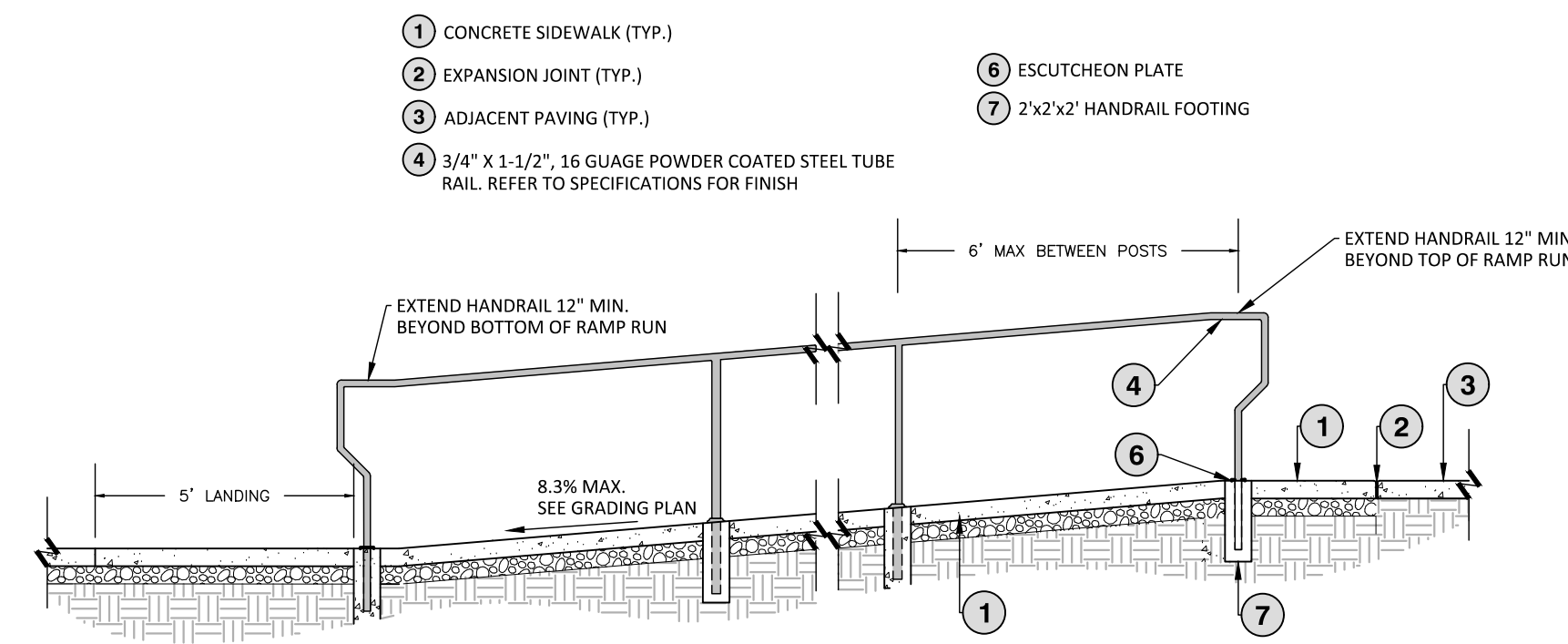
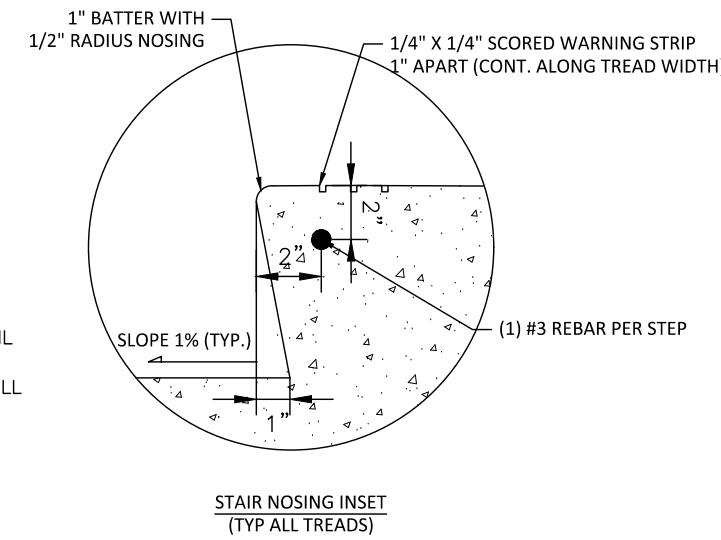
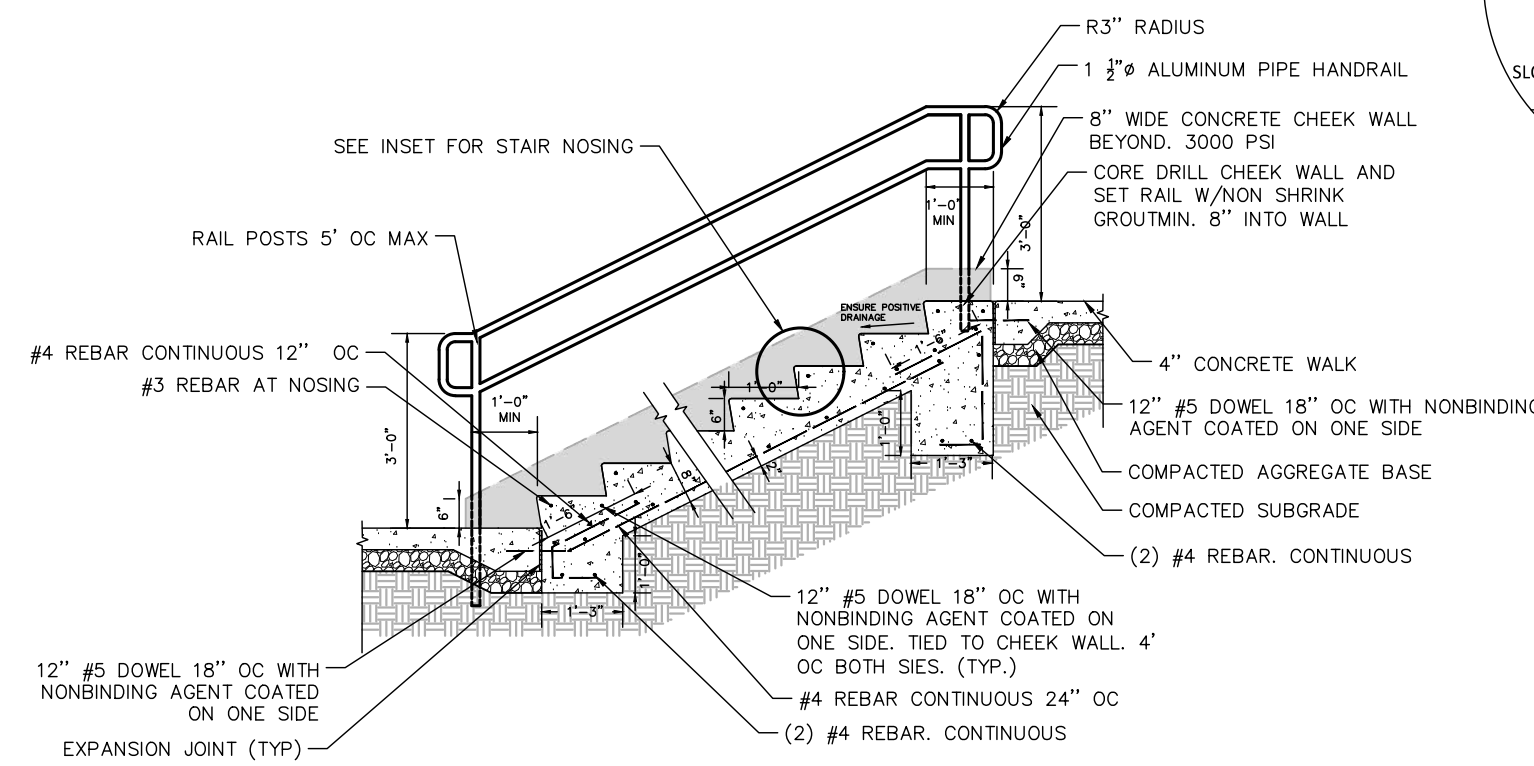
TYPICAL ACCESSIBLE PARKING SPACE LAYOUT, RAMP AND SIGN LOCATIONS
N.T.S.



ACCESSIBLE PARKING SPACE SIGN
N.T.S.

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- NOTES:
1. ALL HANDRAIL SHALL BE ALUMINUM, POWDER COATED SILVER TO MEET ANMA-2604.
 2. ALL FASTENERS AND HARDWARE SHALL BE S.S.
 3. CONTINUOUS WELD ALL JOINTS & GRIND SMOOTH.
 4. MOUNT HANDRAIL INTO DRILLED HOLES IN THICKENED CONCRETE. SET WITH NON-SHRINK GROUT AND PROVIDE DECORATIVE COLLAR.
 5. HANDRAIL TO BE INSTALLED PER ALL APPLICABLE CODES.
 6. SEE SITE PLAN AND GRADING PLAN FOR QUANTITY AND LOCATION OF TREADS AND RISERS.
 7. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL BE OWNER / LANDSCAPE ARCHITECT.
 8. ALL REBAR 2" MINIMUM EMBEDMENT IN CONCRETE OR DIMENSION SHOWN.



- NOTES:
1. NUMBER OF RAMPS AND LANDINGS VARY. SEE SITE PLAN AND GRADING PLAN FOR LOCATION AND HEIGHT OF RAMP.
 2. MAX. RAMP RUN 30 FT. WITH MAX. RISE OF 30 INCHES. PROVIDE LANDINGS 5 FT. LONG EQUAL TO WIDTH OF RAMP AT TOP AND BOTTOM OF EACH RAMP RUN.
 3. ALL FASTENERS AND HARDWARE SHALL BE S.S.
 4. ALL HANDRAIL COMPONENTS SHALL BE 3/4" X 1-1/2", 16 GAUGE POWDER COATED STEEL TUBE RAIL.
 5. CONTINUOUS WELD ALL JOINTS & GRIND SMOOTH.
 6. MOUNT HANDRAIL INTO DRILLED HOLES IN THICKENED CONCRETE. SET WITH NON-SHRINK GROUT AND PROVIDE ESCUTCHEON PLATE.

01 CONCRETE STAIRS WITH HANDRAIL

SCALE: N.T.S.

02 ADA RAMP WITH HANDRAIL

SCALE: NTS

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McAdams

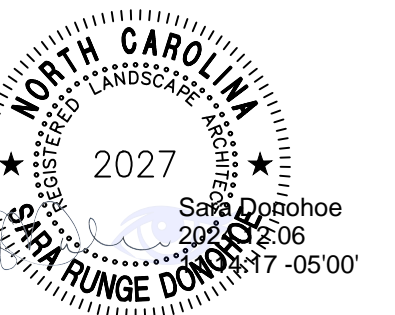
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**WALLBROOK-TOWNHOME
AMENITY PLAN**
SITE DEVELOPMENT PLAN
ROLESVILLE, NORTH CAROLINA
TOWN OF ROLESVILLE PROJECT #: SP 22-09



REVISIONS

NO.	DATE	DESCRIPTION
1	12.06.2024	UPDATED PER COUNTY COMMENTS

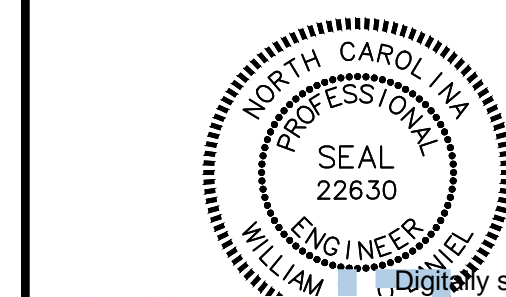
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FILENAME	CPR-19100-D2
CHECKED BY	SRD
DRAWN BY	CMXY
SCALE	N/A
DATE	10.28.2022

SHEET

SITE DETAILS

C8.01



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Date: 2024.12.06 11:37:43-05'00'

REVISIONS

NO.	DATE	UPDATED PER COUNTY COMMENTS
1	12.06.2024	

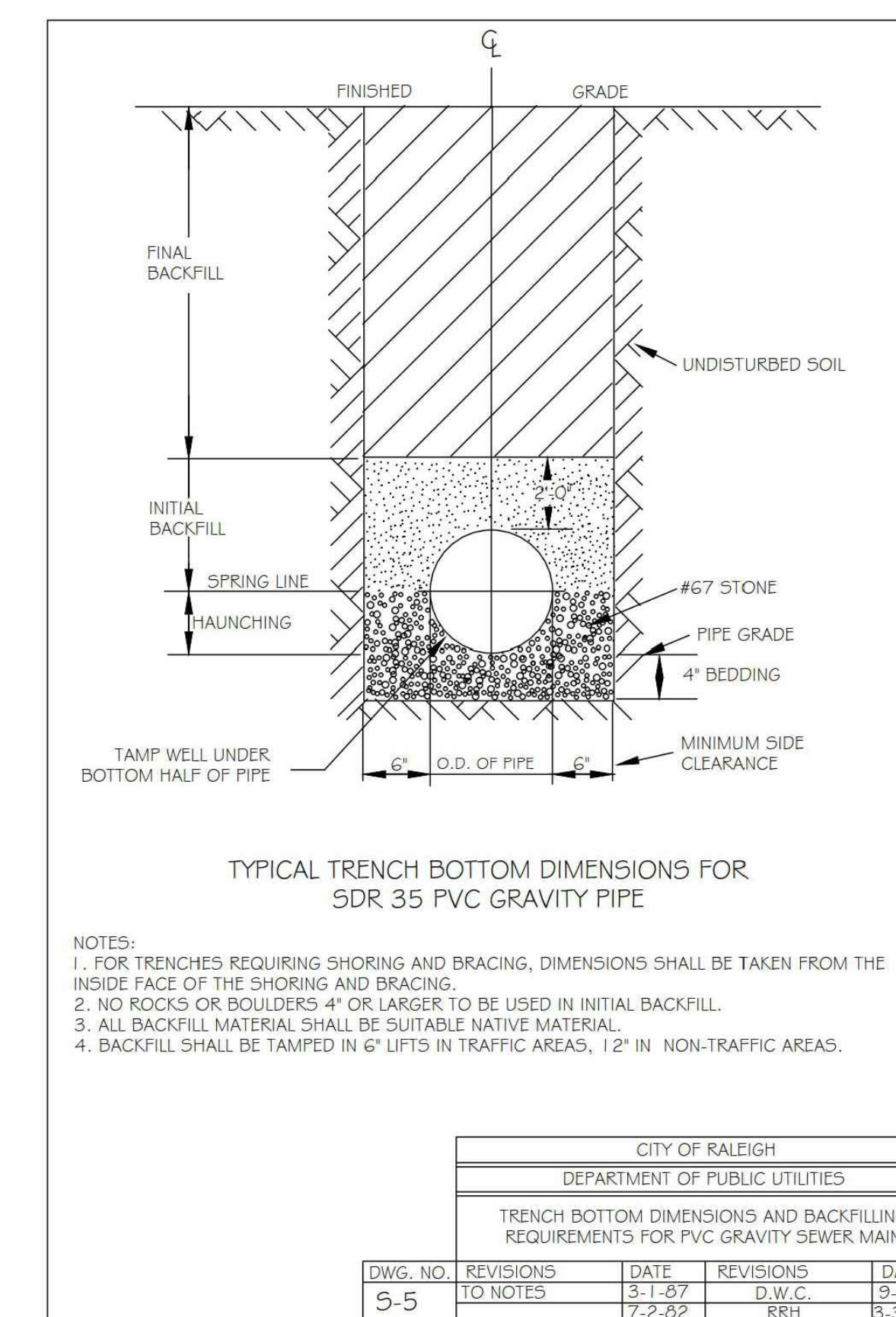
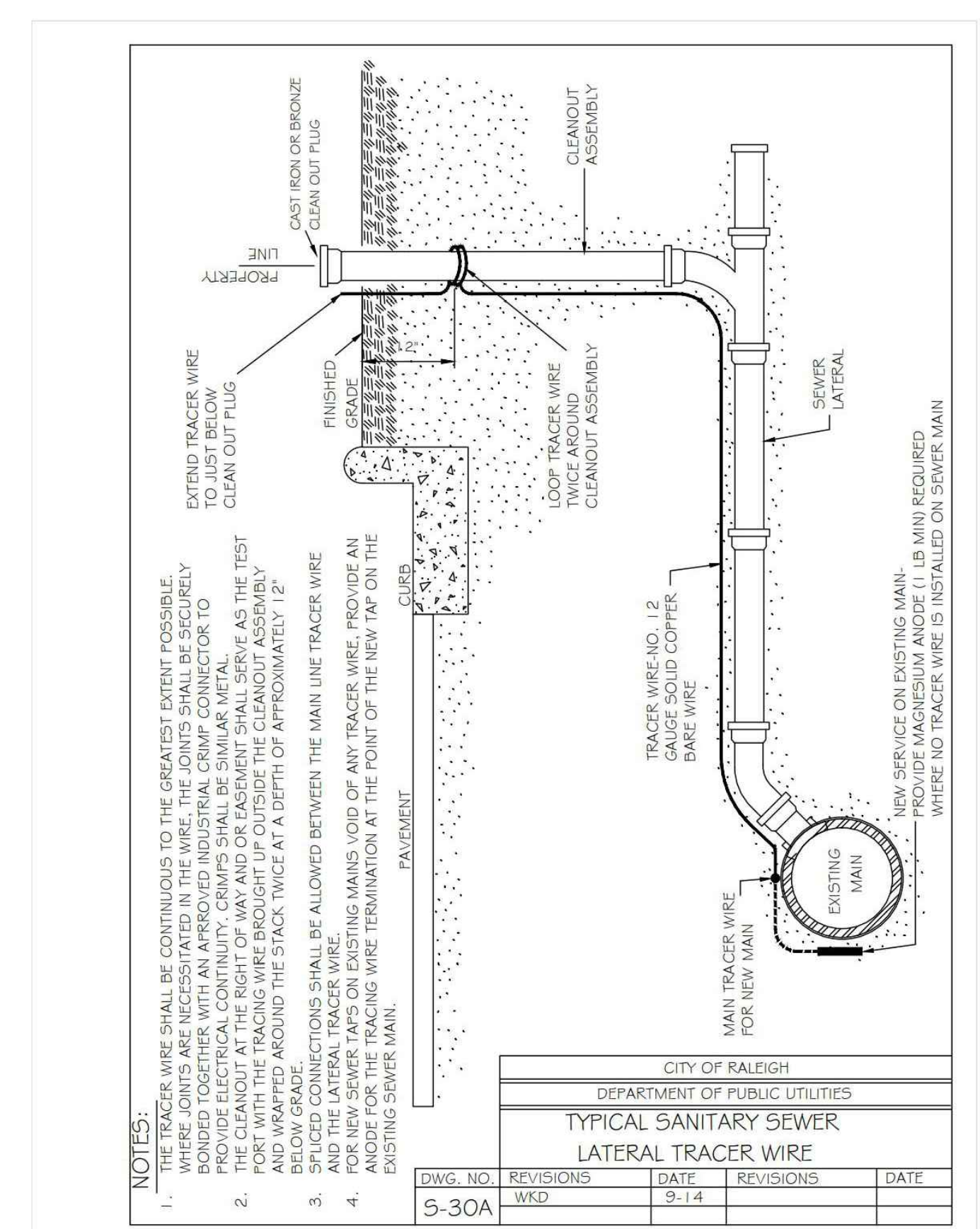
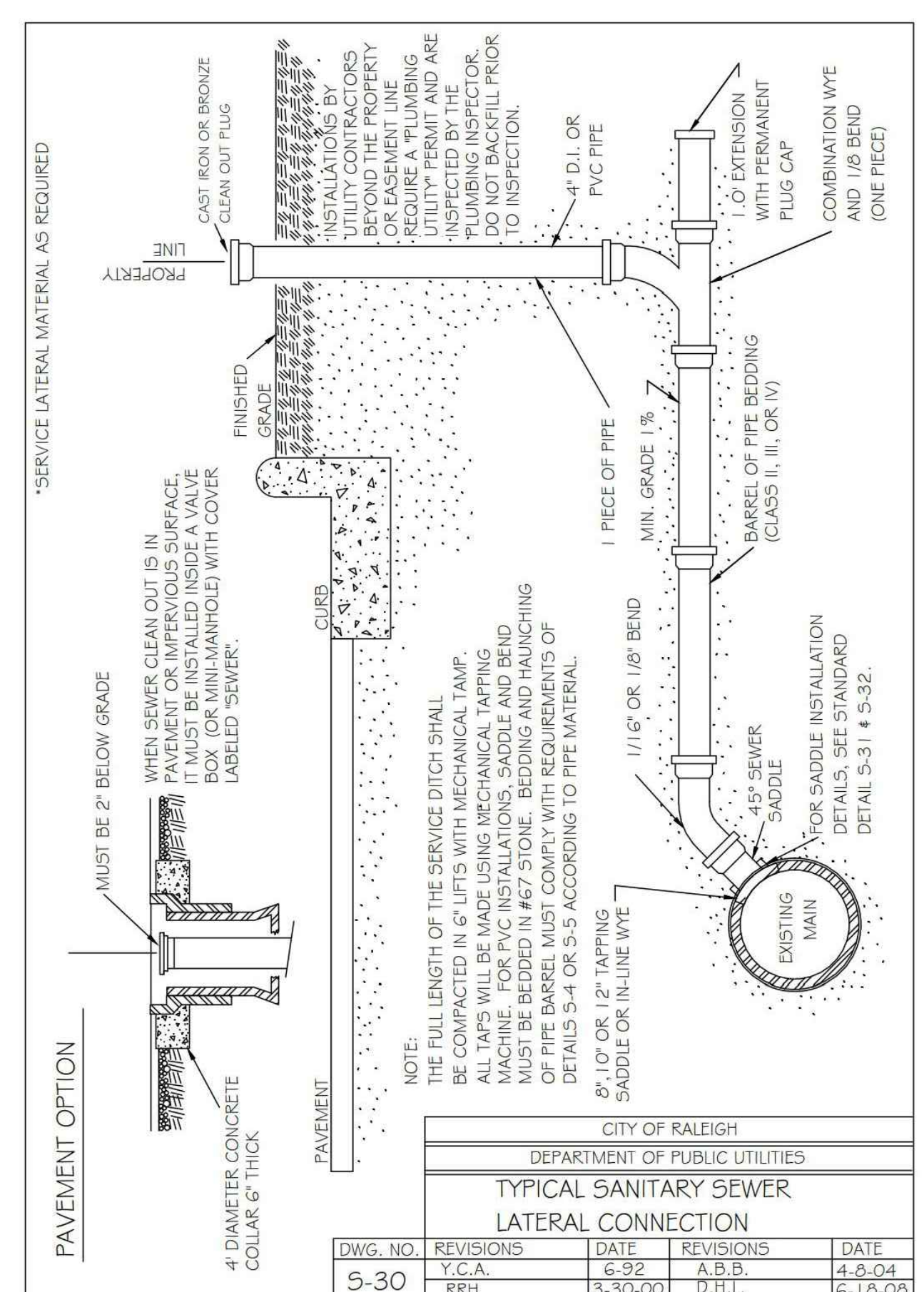
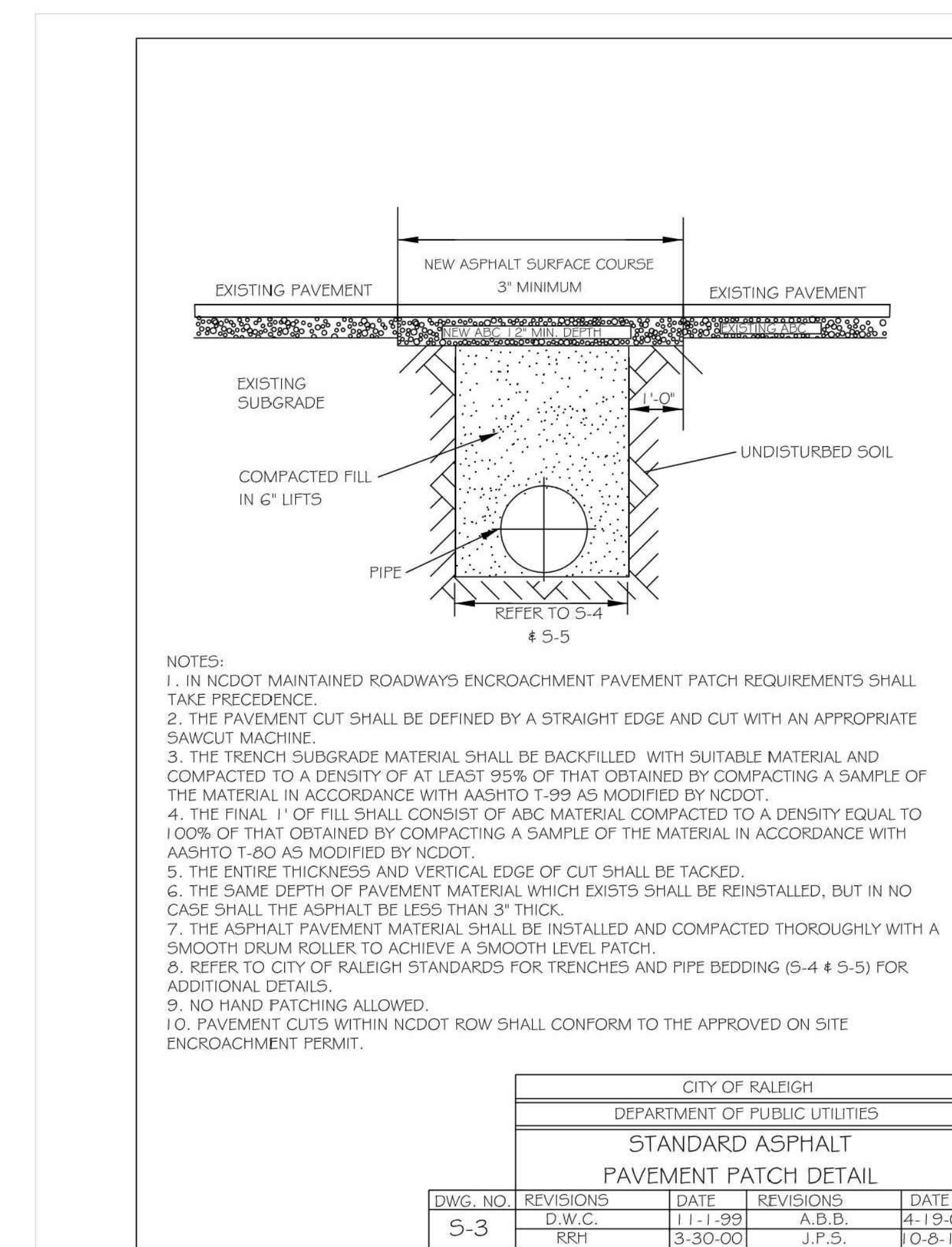
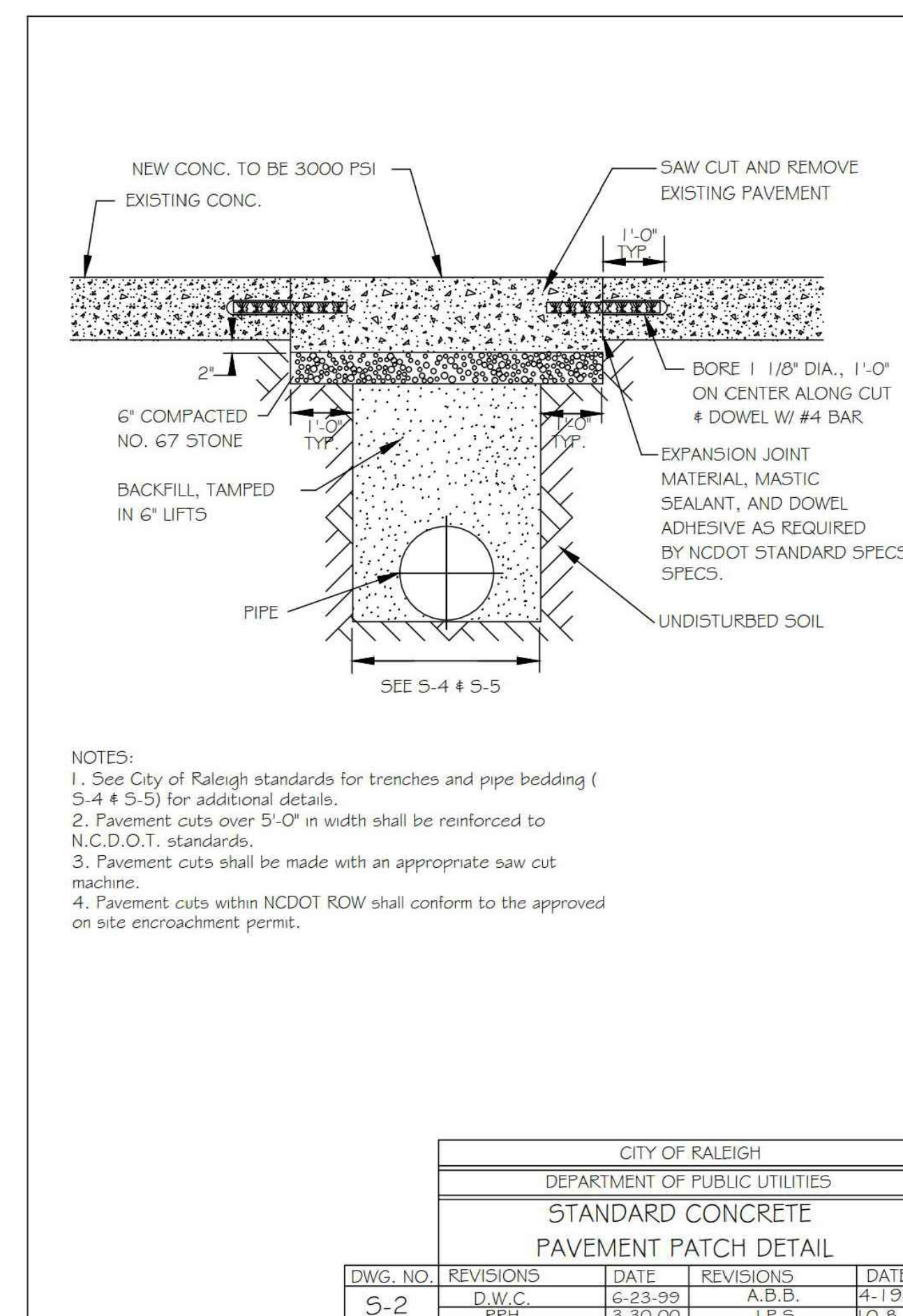
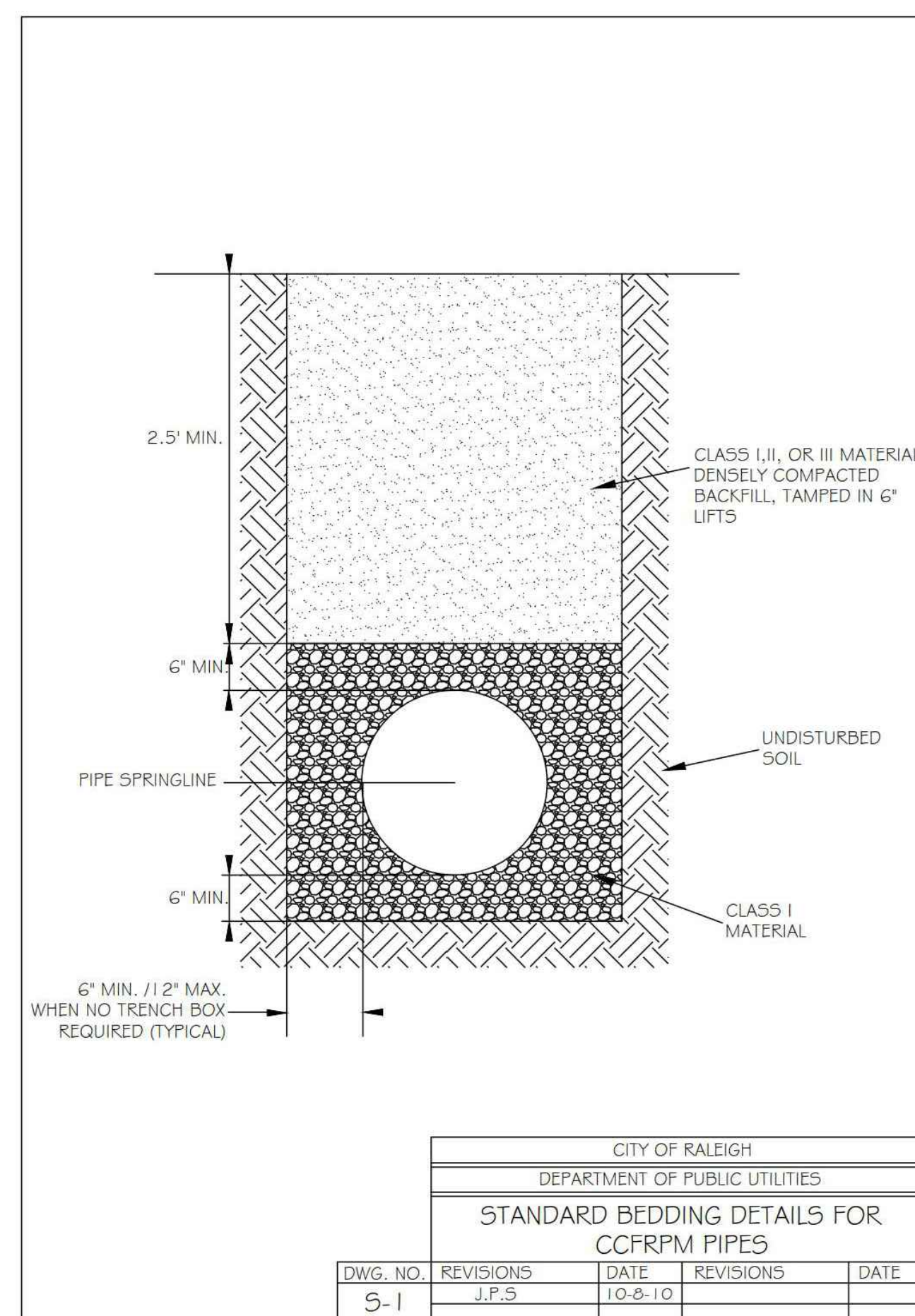
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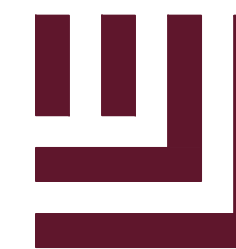
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SCALE	N/A
DATE	10.28.2022

SHEET

SEWER DETAILS

C8.02





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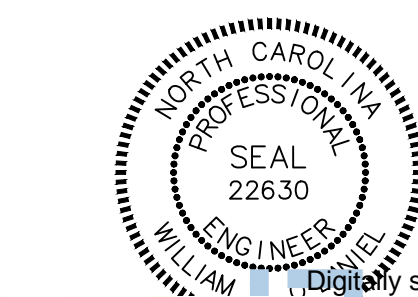
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ROLESVILLE, NORTH CAROLINA
TOWN OF ROLESVILLE PROJECT #: SP 22-09



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REVISIONS

NO.	DATE	DESCRIPTION
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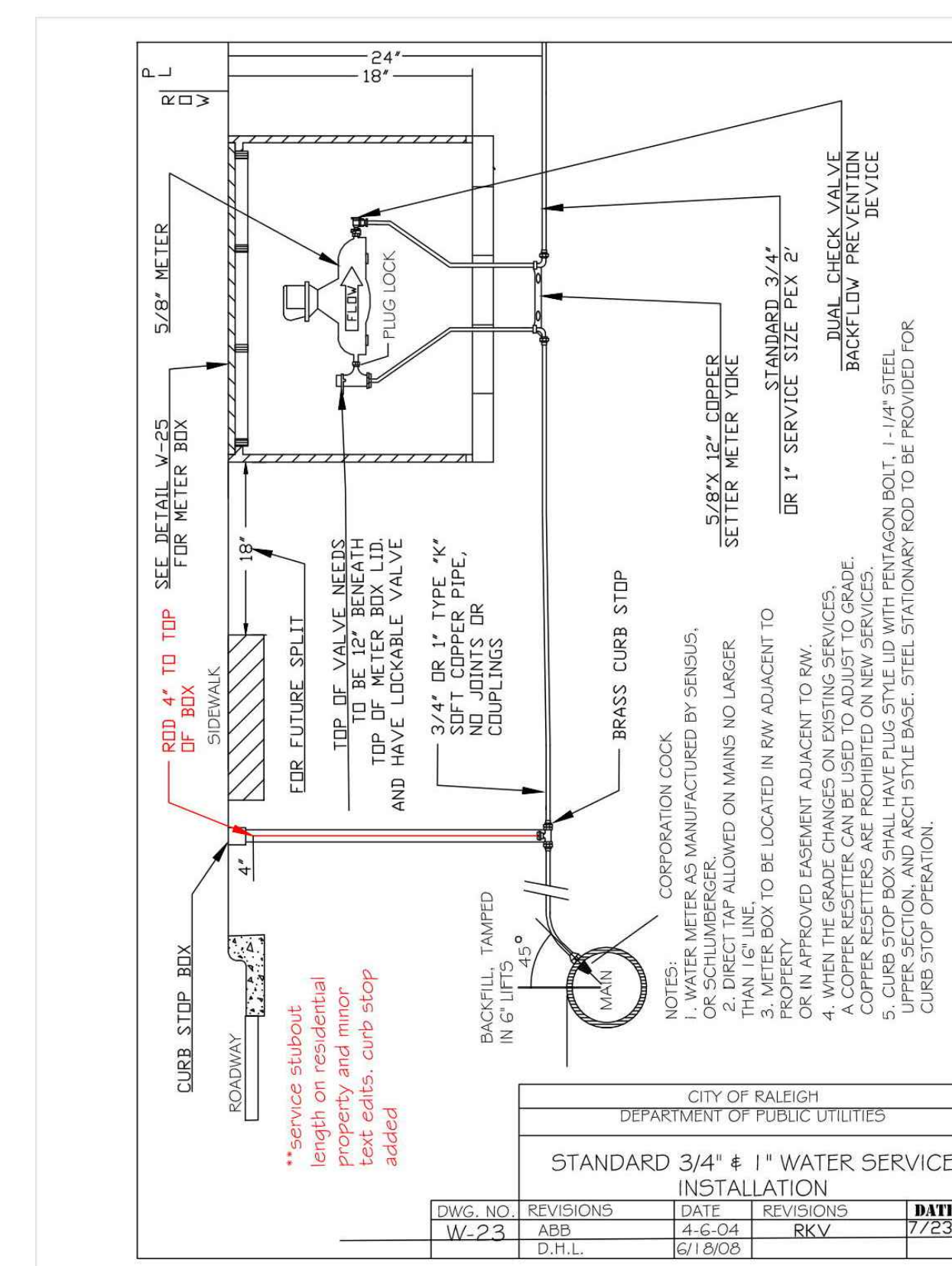
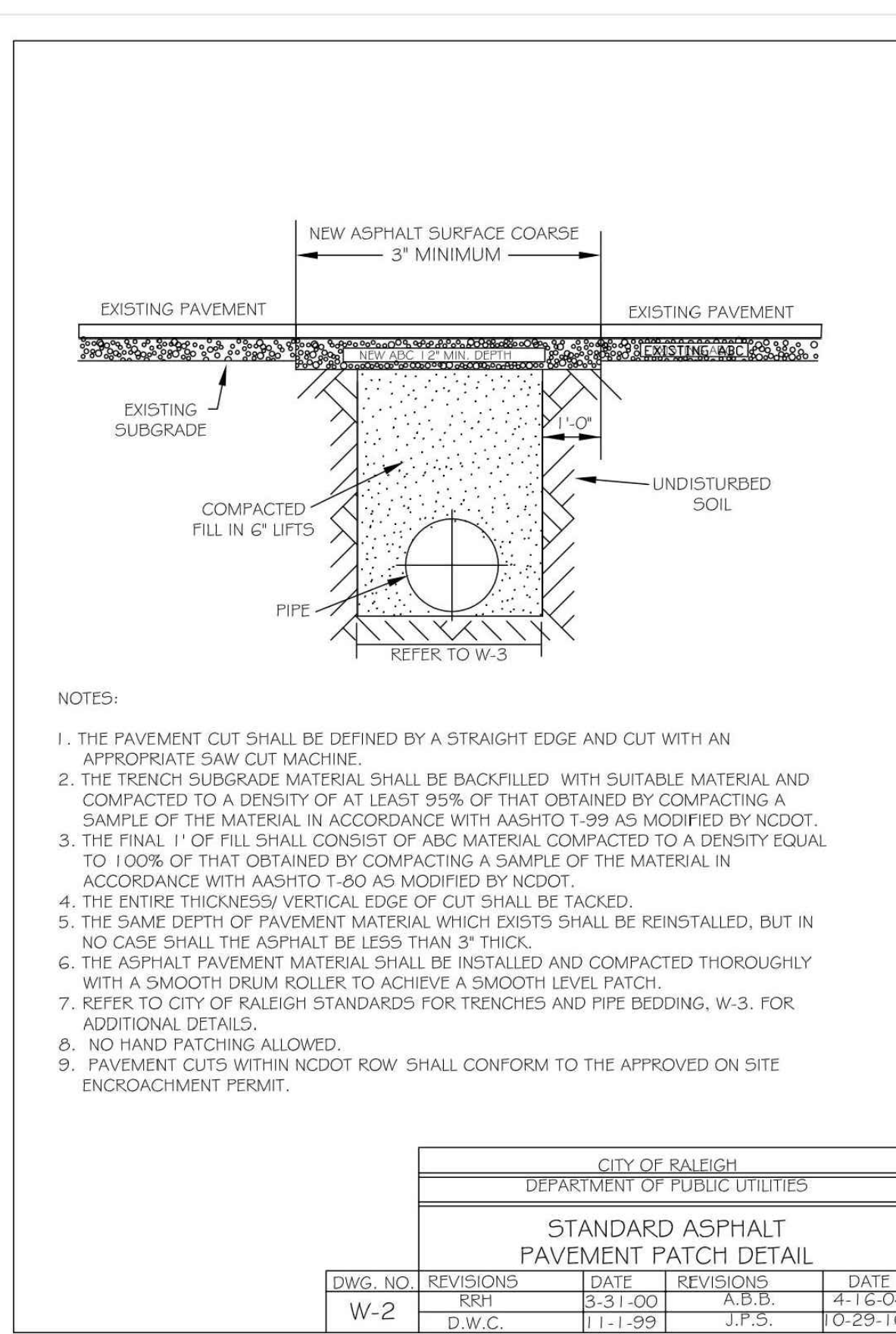
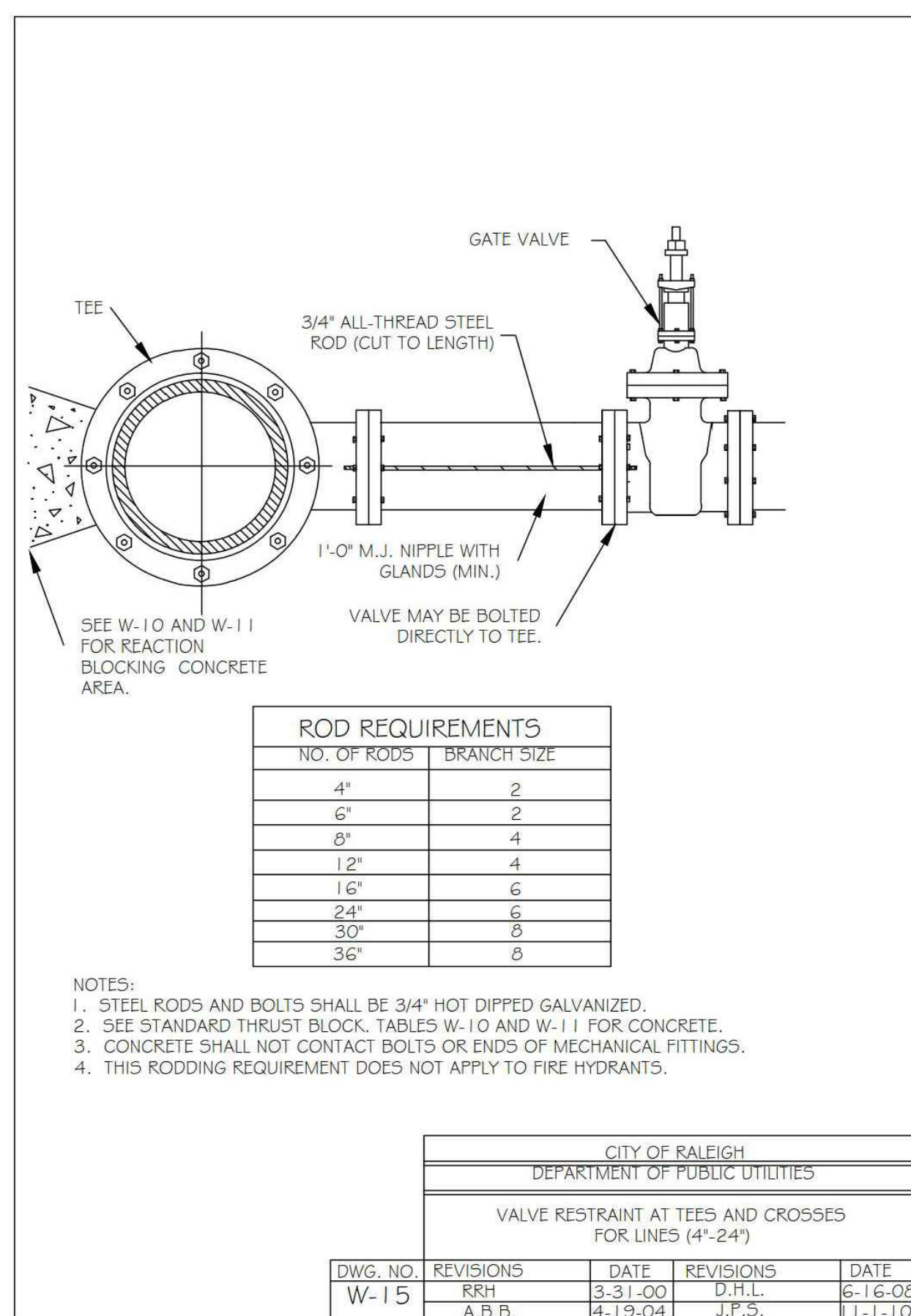
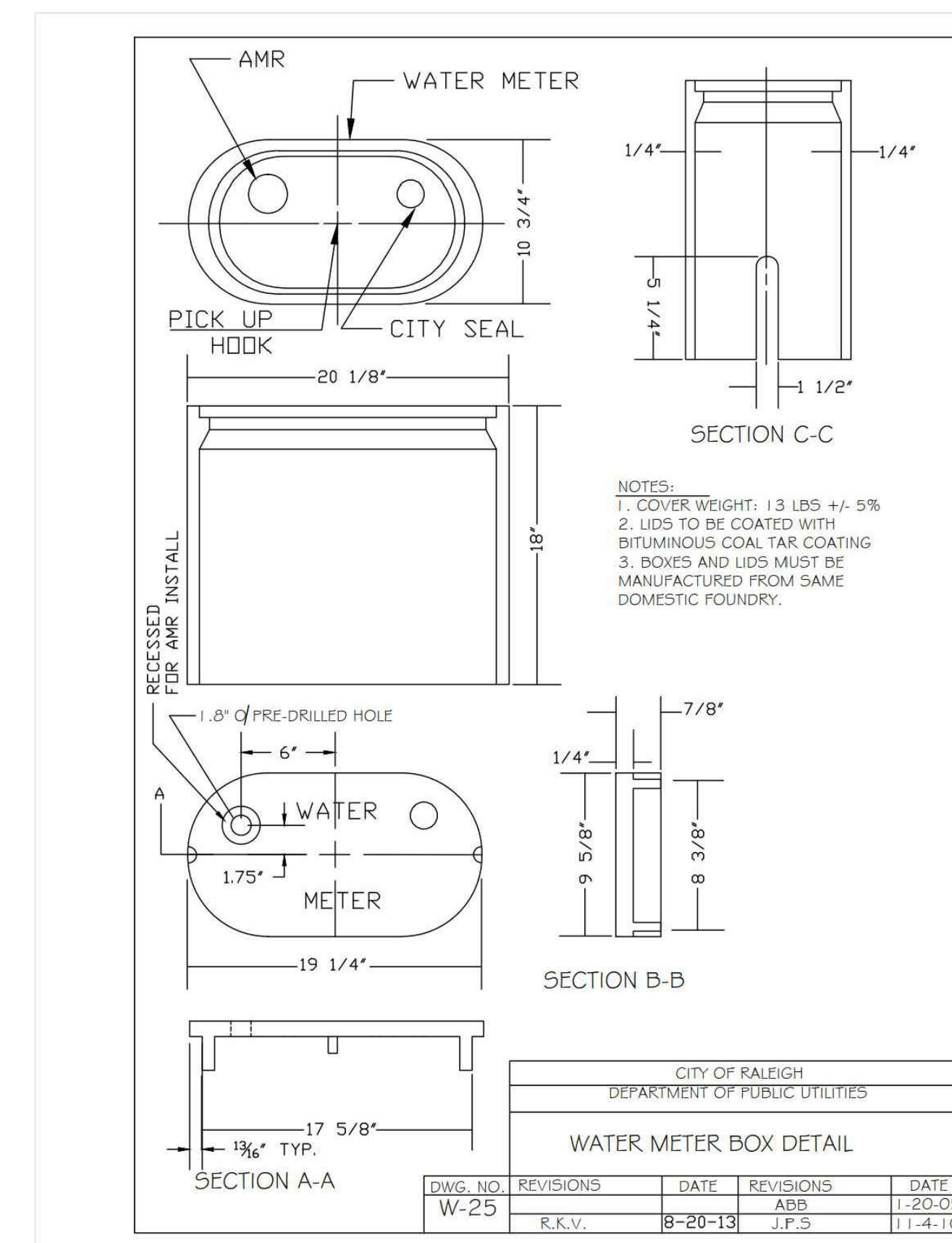
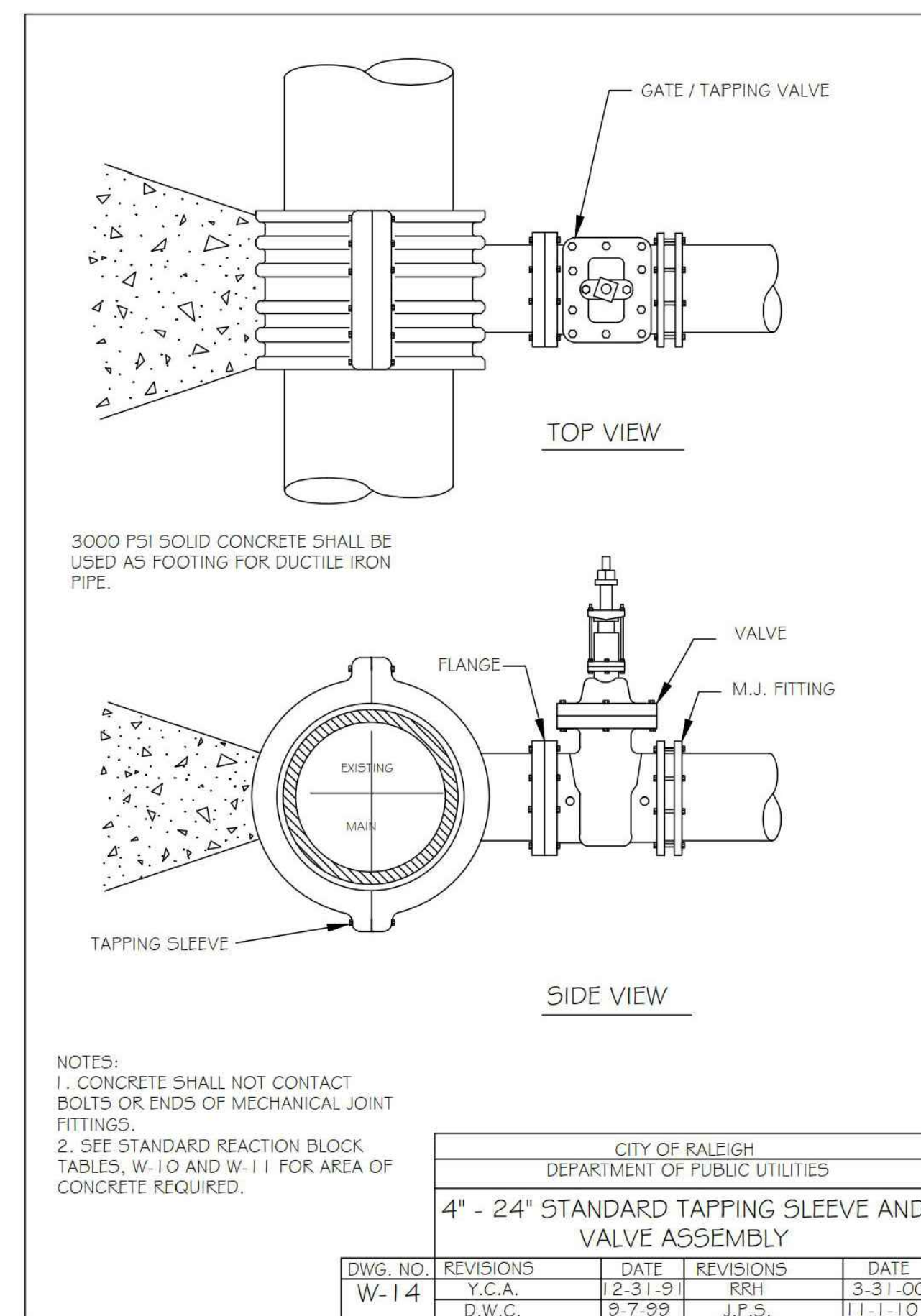
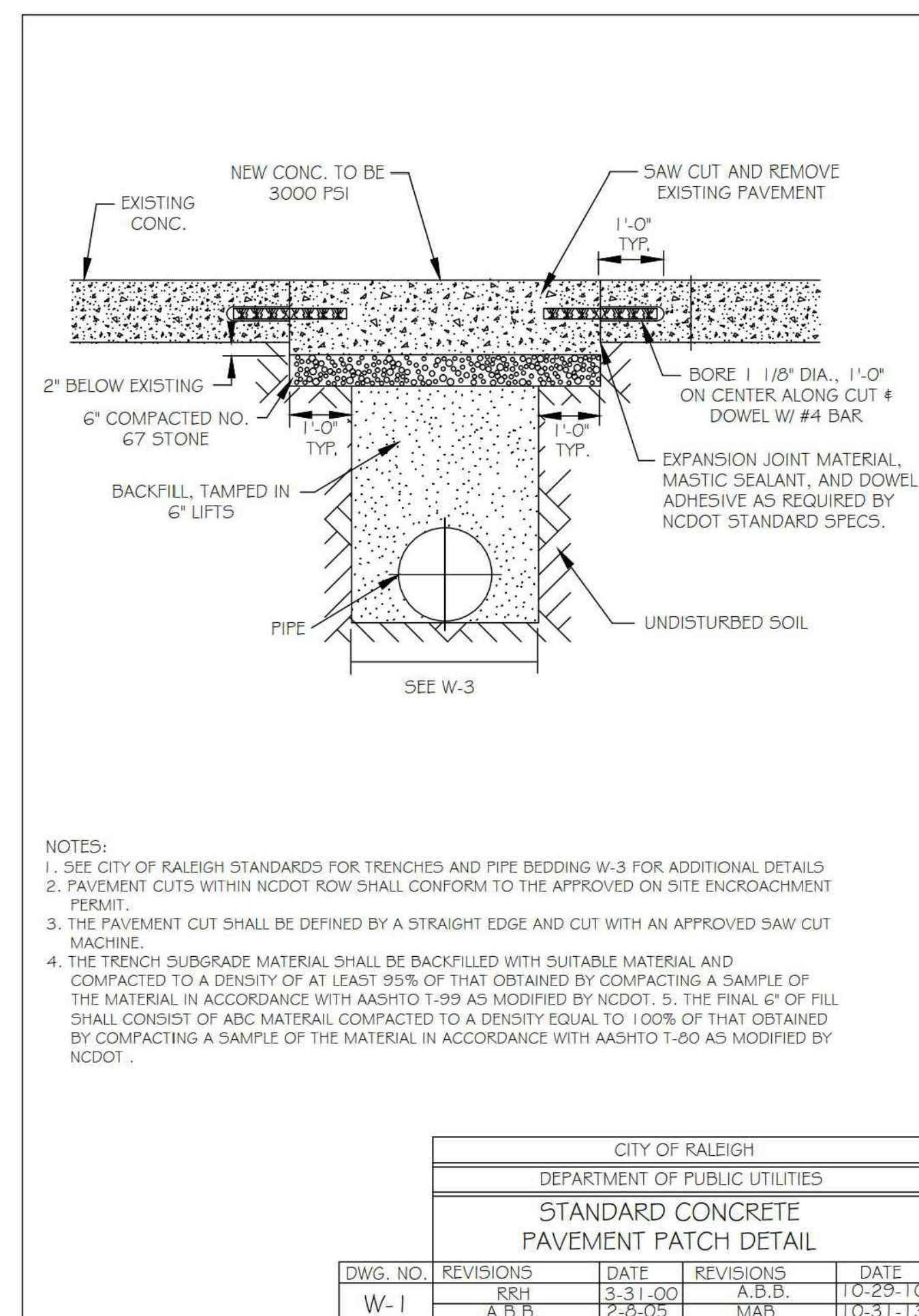
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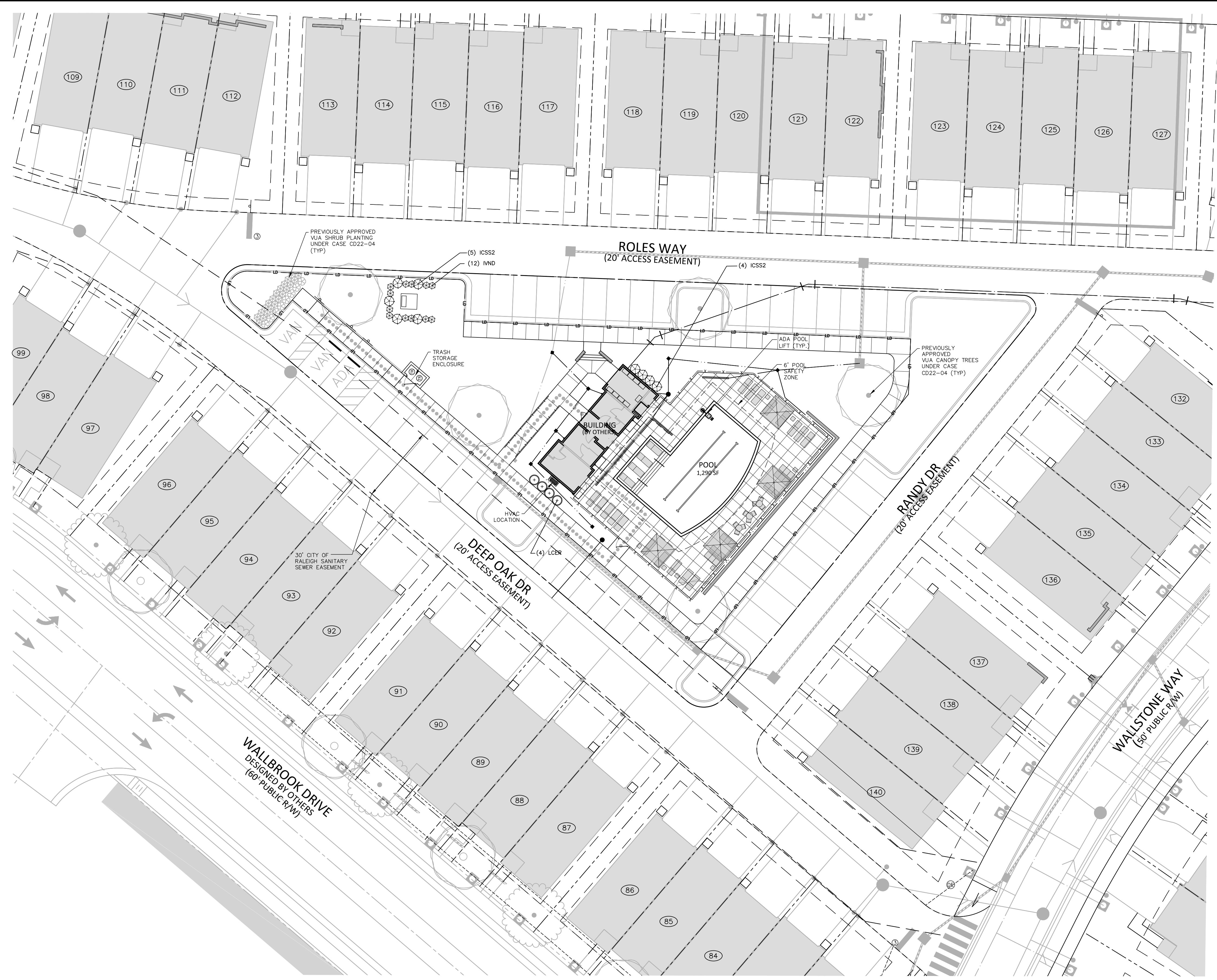
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 FILENAME CPR-19100-D2
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 SCALE N/A
 DATE 10.28.2022

SHEET

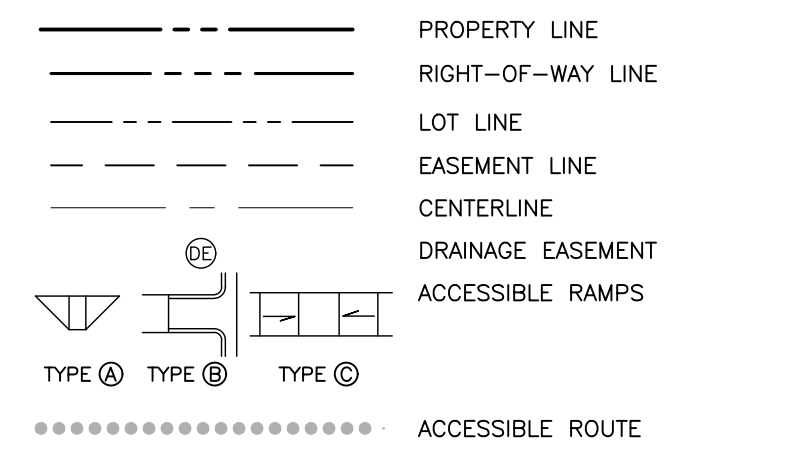
WATER DETAILS

C8.03

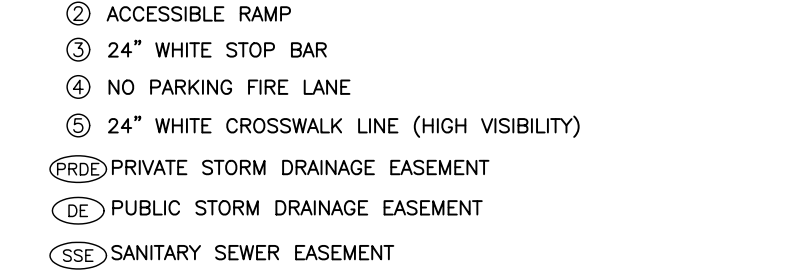




SITE LEGEND



KEY LEGEND



GENERAL NOTES:

SEE CASE CD 22-04 FOR OVERALL SITE DEVELOPMENT REGARDING PREVIOUSLY APPROVED PLANT MATERIAL. RELOCATE AS NECESSARY TO AVOID CONFLICTS WITH AMENITY PLANTINGS.

PLANT SCHEDULE

SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	HEIGHT	REMARKS
SHRUBS						
(ICSS2)	ICSS2	9	Steeds Japanese Holly	Ilex crenata 'Steeds'	36"	
(LCER)	LCER	4	Ever Red Loropetalum	Loropetalum chinense 'Ever Red'	30"	
EVERGREEN SHRUBS						
(IVD)	IVD	12	Dwarf Yaupon	Ilex vomitoria 'Nana'	24" min	

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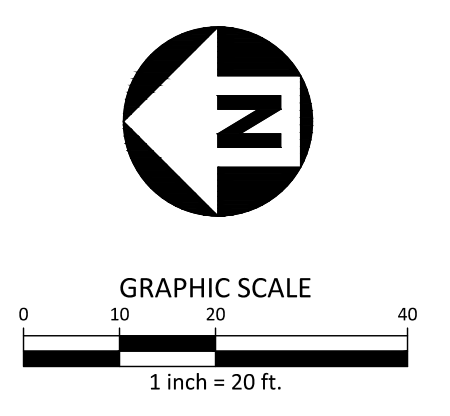
REVISIONS

NO.	DATE	UPDATED PER COUNTY COMMENTS
1	12.06.2024	UPDATED PER COUNTY COMMENTS

PLAN INFORMATION

PROJECT NO.	CPR-19100
FILENAME	CPR19100-LandArch-L51
CHECKED BY	SRD
DRAWN BY	CMXY
SCALE	1"=20'
DATE	10.28.2022

**LANDSCAPE PLAN
 L5.00**



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GENERAL LANDSCAPE NOTES:

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF ROLESVILLE AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR THE SITE INSPECTION BEFORE LANDSCAPE CONSTRUCTION AND INSTALLATION IN ORDER TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES BEFORE BEGINNING DEMOLITION OR INSTALLATION.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE NOTES, SPECIFICATIONS, DRAWINGS OR SITE CONDITIONS FOR RESOLUTION PRIOR TO INSTALLATION.
- ANY DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THIS PLAN IS FOR PLANTING PURPOSES ONLY. FOR INFORMATION REGARDING BUILDINGS, GRADING, WALLS, ETC., REFER TO ARCHITECTURE, SITE AND GRADING PLANS.
- VERIFICATION OF TOTAL PLANT QUANTITIES AS SHOWN IN THE PLANT SCHEDULE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- CONTRACTOR TO ENSURE PROPER STABILIZATION AND SEEDING OF THE SITE IN ACCORDANCE WITH APPLICABLE REGULATIONS.
- LANDSCAPE MATERIAL SHALL BE WELL FORMED, VIGOROUS, GROWING SPECIMENS WITH GROWTH TYPICAL OF VARIETIES SPECIFIED AND SHALL BE FREE FROM DAMAGE, INSECTS AND DISEASES. MATERIAL SHALL EQUAL OR SURPASS #1 QUALITY AS DEFINED IN THE CURRENT ISSUE OF "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- ALL PLANT MATERIAL IS TO BE CAREFULLY HANDLED BY THE ROOT BALL, NOT THE TRUNK, BRANCHES AND/OR FOLIAGE OF THE PLANT. MISHANDLED PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL IS TO BE WELL ROOTED, NOT ROOT BOUND, SUCH THAT THE ROOT BALL REMAINS INTACT THROUGHOUT THE PLANTING PROCESS. DEFICIENT PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT OR OWNER.
- ALL PLANTS TO BE A MINIMUM OF WHAT IS SPECIFIED IN THE PLANT SCHEDULE. ANY CHANGES OR SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND GOVERNING JURISDICTION PRIOR TO ANY HOLE BEING DUG.
- CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT TO ESTABLISH THE EXTENTS OF MULCH/SEED/SOD IF NOT SPECIFICALLY SHOWN ON PLANS.
- CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE IN ALL PLANTING AREAS.
- PROPOSED TREES TO BE PLANTED A MINIMUM 10 FEET FROM ANY LIGHT POLE AS MEASURED FROM TRUNK OF THE TREE TO THE POLE.
- PROPOSED TREES TO BE PLANTED A MINIMUM 5 FEET FROM ANY FIRE HYDRANT AS MEASURED FROM TRUNK OF THE TREE TO THE HYDRANT.
- CONTRACTOR SHALL COMPLETE SOIL TEST IN ALL PLANTING AREAS TO DETERMINE SOIL AMENDMENT REQUIREMENTS UNLESS WAIVED BY OWNER'S REPRESENTATIVE. CONTRACTOR SHALL ADJUST PH AND FERTILITY BASED UPON THE SOIL TEST RESULTS.
- TOPSOIL SHALL BE FREE OF MATERIAL LARGER THAN 1.0 INCH IN DIAMETER OR LENGTH AND SHALL NOT CONTAIN SLAG, CINDERS, STONES, LUMPS OF SOIL, STICKS, ROOTS, TRASH, OR OTHER EXTRANEOUS MATERIAL.
- LOOSEN SUBGRADE / SURFACE SOIL TO A MINIMUM DEPTH OF 6 INCHES. APPLY SOIL AMENDMENTS AND FERTILIZERS AS REQUIRED BY THE SOIL TEST RESULTS TO ACHIEVE A HEALTHY GROWING MEDIA AND MIX THOROUGHLY INTO TOP 4 INCHES OF SOIL. SPREAD PLANTING SOIL MIX TO A DEPTH OF 6 INCHES BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
- IF IMPORTED TOPSOIL IS REQUIRED, THE SUBGRADE SHALL BE SCARIFIED OR TILLED TO A DEPTH OF AT LEAST 6 INCHES PRIOR TO INSTALLATION OF IMPORTED TOPSOIL. FOLLOWING INSTALLATION OF IMPORTED TOPSOIL, THE TOPSOIL SHALL BE TILLED TO INTEGRATE THE SOIL PROFILES.
- PLANT MATERIALS ARE TO BE GUARANTEED FOR A PERIOD OF 12 MONTHS. PLANT MATERIALS WHICH REMAIN UNHEALTHY WILL BE REPLACED BY THE LANDSCAPE CONTRACTOR BEFORE THE EXPIRATION OF THE GUARANTEE PERIOD OR IMMEDIATELY IF SO DIRECTED BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
- ALL TREE PLANTINGS SHALL BE MULCHED TO A DEPTH OF 3 INCHES, AND WITH A MINIMUM 3 FOOT RADIUS FROM BASE OF TREE OR TO DRIPLINE. MULCH SHALL BE FREE OF TRASH AND MAINTAINED WEED FREE. MULCH SHALL NOT COVER THE ROOT FLARE. CONFIRM MULCH SPECIFICATIONS WITH OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
- DO NOT PRUNE TREES AND SHRUBS BEFORE DELIVERY. PROTECT BARK, BRANCHES, AND ROOT SYSTEMS FROM SUN SCALD, DRYING, SWEATING, WHIPPING, AND OTHER HANDLING AND TYING DAMAGE. DO NOT BEND OR BIND-TIE TREES OR SHRUBS IN SUCH A MANNER AS TO DESTROY THEIR NATURAL SHAPE. PROVIDE PROTECTIVE COVERING OF EXTERIOR PLANTS DURING DELIVERY. DO NOT DROP EXTERIOR PLANTS DURING DELIVERY AND HANDLING.
- DELIVER EXTERIOR PLANTS AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND INSTALL IMMEDIATELY. IMMEDIATELY AFTER UNLOADING, STAND THE TREES UP TO REDUCE THE RISK OF SUN SCALD. PROPERLY STAGED TREES ARE STANDING, UNLIFTED AND SPACED, UNLESS IMMEDIATELY INSTALLED. SET EXTERIOR PLANTS AND TREES IN SHADE, PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS MOIST.
- SEE LANDSCAPE DETAILS FOR TREE STAKING REQUIREMENTS.
- EXCAVATE EDGES OF ALL PLANTING BEDS TO 2 INCH DEPTH TO FORM A NEAT AND CRISP DEFINITION.
- CONTRACTOR SHALL REMOVE DEBRIS AND FINE GRADE ALL PLANTING AREAS PRIOR TO INSTALLATION.
- REMOVE GUY WIRES AND STAKES AT END OF WARRANTY PERIOD OR ESTABLISHMENT.
- FINISH GRADING: GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. GRADE TO WITHIN PLUS OR MINUS 1/2 INCH OF FINISH ELEVATION. ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES. LIMIT FINISHED GRADING TO AREAS THAT CAN BE PLANTED IN THE IMMEDIATE FUTURE.

WARRANTY & MAINTENANCE:

- WARRANTY: INSTALLER SHALL REPAIR OR REPLACE ANY PLANTINGS THAT FAIL IN MATERIALS, WORKMANSHIP, OR GROWTH WITHIN ONE YEAR AFTER THE DATE OF SUBSTANTIAL COMPLETION. FAILURES INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING:
 - DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE, NEGLIGENCE, ABUSE BY OWNER, OR INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL.
 - STRUCTURAL FAILURES INCLUDING PLANTINGS FALLING OR BLOWING OVER.
- MAINTENANCE: INITIAL MAINTENANCE SHALL BE PROVIDED IMMEDIATELY AFTER EACH AREA IS PLANTED AND CONTINUE UNTIL SUBSTANTIAL COMPLETION. UPON SUBSTANTIAL COMPLETION, MAINTENANCE FOR ALL PLANT MATERIAL SHALL BE PROVIDED FOR ONE YEAR AT A MINIMUM SHALL INCLUDE:
 - TREE AND SHRUB MAINTENANCE: MAINTAIN PLANTINGS BY PRUNING, CULTIVATING, WATERING, WEEDING, FERTILIZING, RESTORING PLANTING SAUCERS, AND RESETTling TO PROPER GRADES OR VERTICAL POSITION, AS REQUIRED TO ESTABLISH HEALTHY, VIABLE PLANTINGS. SPRAY OR TREAT AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE.
 - GROUND COVER AND PLANT MAINTENANCE: MAINTAIN AND ESTABLISH PLANTINGS BY WATERING, WEEDING, FERTILIZING, MULCHING, AND OTHER OPERATIONS AS REQUIRED TO ESTABLISH HEALTHY, VIABLE PLANTINGS.
 - PROTECT EXTERIOR PLANTS FROM DAMAGE DUE TO LANDSCAPE OPERATIONS, OPERATIONS BY OTHER CONTRACTORS AND TRADES, AND OTHERS. MAINTAIN PROTECTION DURING INSTALLATION AND MAINTENANCE PERIODS. TREAT, REPAIR, OR REPLACE DAMAGED PLANTINGS.

PLANTING SPECIFICATIONS:

GENERAL

- REFER TO CIVIL DRAWINGS FOR NOTES AND DETAILS ON SITE GRADING AND EROSION AND SEDIMENT CONTROL. REFER TO SEEDING AND SODDING NOTES FOR TURF GRASS INSTALLATION.
- CONTRACTOR TO SUBMIT A LIST OF PLANT MATERIALS AND SOURCES FOR REVIEW BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE AND INSTALLATION. CONTRACTOR TO COORDINATE ANY DISCREPANCIES OR SUBSTITUTIONS WITH LANDSCAPE ARCHITECT.
- DURING DELIVERY, STORAGE AND HANDLING, CONTRACTOR TO PROTECT AND MAINTAIN PLANT LIFE UNTIL PLANTED. PROVIDE PROTECTIVE COVERING OVER ALL PLANTINGS DURING TRANSPORT. ADEQUATELY PROTECT PLANTS FROM DRYING OUT, EXPOSURE OF ROOTS TO SUN, WIND OR EXTREMES OF HEAT AND COLD TEMPERATURES. IF PLANTING IS DELAYED MORE THAN 24 HOURS AFTER DELIVERY, STORE PLANTS IN LOCATION PROTECTED FROM SUN AND WIND AND PROVIDE ADEQUATE WATER TO THE ROOT BALL PACKAGE. PLANT MATERIAL DAMAGED AS A RESULT OF DELIVERY, STORAGE OR HANDLING WILL BE REJECTED.
- PLANTS, INCLUDING TREES, SHRUBS, GROUNDCOVERS, VINES AND ORNAMENTAL GRASSES, TO BE INSTALLED BETWEEN THE FOLLOWING DATES:
SPRING PLANTING SEASON: MARCH 15 TO JUNE 1
FALL PLANTING SEASON: SEPTEMBER 15 TO DECEMBER 1
- PROCEED WITH PLANTING ONLY WHEN EXISTING AND FORECASTED WEATHER CONDITIONS PERMIT. PLANT TREES AND SHRUBS AFTER FINISH GRADES ARE ESTABLISHED AND BEFORE PLANTING LAWNS. PROTECT LAWN AREAS TO REMAIN AND PROMPTLY REPAIR DAMAGE CAUSED BY PLANTING OPERATIONS.
- CONTRACTOR SHALL CAREFULLY EXAMINE THE CIVIL, RECORD AND SURVEY DRAWINGS TO BECOME FAMILIAR WITH EXISTING UNDERGROUND CONDITIONS BEFORE DIGGING. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BE AWARE OF ALL SURFACE AND SUBSURFACE CONDITIONS, AND TO NOTIFY THE LANDSCAPE ARCHITECT OF ANY CIRCUMSTANCES THAT WOULD NEGATIVELY IMPACT UNDERGROUND CONDITIONS OR THE HEALTH OF THE PLANTINGS.

PRODUCTS

- TREE AND SHRUB MATERIAL: FURNISH NURSERY-GROWN, TYPICAL OF THEIR SPECIES OR VARIETY, WITH NORMAL GROWTH HABIT, WELL DEVELOPED BRANCH STRUCTURE, HEALTHY FOLIAGE, AND VIGOROUS ROOT SYSTEMS IN ACCORDANCE WITH APPLICABLE REQUIREMENTS IN ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK". PLANTS SHALL BE FREE FROM DEFECTS OR DAMAGE, INCLUDING BUT NOT LIMITED TO, DISFIGURING KNOTS, SUNSCALD INJURIES, FROST CRACKS, ABRASION OF THE BARK, PLANT DISEASES, INSECT EGGS, BORERS, FIRE ANTS, AND ALL FORMS OF INFESTATION.
- SOIL: ASTM D 5268 TOPSOIL, pH RANGE OF 5.5 TO 7. A MINIMUM OF 6 PERCENT ORGANIC MATERIAL CONTENT; FREE OF STONES 1 INCH OR LARGER IN ANY DIMENSION AND OTHER EXTRANEOUS MATERIALS HARMFUL TO PLANT GROWTH.
- SOIL AMENDMENTS:
 - ORGANIC COMPOST: WELL-COMPOSTED, STABLE AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH #14" SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DECISEMENS/ML; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS.
 - INORGANIC SOIL AMENDMENTS: COMMERCIAL GRADE, FREE OF TOXIC MATERIALS.
- FERTILIZER: GRANULAR OR PELLET SLOW-RELEASE FERTILIZER CONSISTING OF 50 PERCENT WATER-INSOLUBLE NITROGEN, PHOSPHORUS AND POTASSIUM IN THE COMPOSITION AS DIRECTED BY SOIL ANALYSIS TESTING.
- ORGANIC MULCH: SHREDDED HARDWOOD IN NATURAL BROWN COLOR; 3" MAXIMUM SIZE IN LONGEST DIMENSION; FREE FROM DELETERIOUS MATERIALS AND SUITABLE FOR A TOP DRESSING OF TREES AND SHRUBS.
- STAKES AND GUYS: DEEPROOF ARBORTIE STAKING AND GUYING MATERIAL OR APPROVED EQUAL.

PLANTING INSTALLATION:

EXAMINATION AND PREPARATION

- INSTALLER TO EXAMINE AREAS TO RECEIVE EXTERIOR PLANTS FOR COMPLIANCE WITH REQUIREMENTS AND CONDITIONS AFFECTING INSTALLATION AND PERFORMANCE. PROCEED WITH INSTALLATION ONLY AFTER UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.
- PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES, AND LAWNS AND EXISTING PLANTINGS FROM DAMAGE CAUSED BY PLANTING OPERATIONS REFER TO CIVIL DRAWINGS FOR EROSION AND SEDIMENT CONTROL MEASURES.
- LAY OUT INDIVIDUAL TREE AND SHRUB LOCATIONS PER PLANTING PLAN. OBTAIN LANDSCAPE ARCHITECT'S ACCEPTANCE OF LAYOUT BEFORE PLANTING AND MAKE MINOR ADJUSTMENTS AS NEEDED.

PLANTING BED ESTABLISHMENT

- VERIFY SITE GRADING PRIOR TO DIGGING. LOOSEN SUBGRADE TO A MINIMUM DEPTH OF 8 INCHES. REMOVE STONES LARGER THAN 1 INCH IN ANY DIMENSION AND STICKS, ROOTS, RUBBISH AND OTHER EXTRANEOUS MATTER. APPLY TOP SOIL, FERTILIZER, LIME AND SOIL AMENDMENTS AND THOROUGHLY BLEND PLANTING SOIL MIX TO CREATE ACCEPTABLE PLANTING SOIL AS DESCRIBED THROUGHOUT PLAN.
- EXCAVATE CIRCULAR PITS AND TRENCHES WITH SIDES SLOPED INWARD, LEAVING THE CENTER AREA RAISED SLIGHTLY TO SUPPORT THE ROOT BALL AND ASSIST IN DRAINAGE. EXCAVATE APPROXIMATELY THREE TIMES AS WIDE AS BALL DIAMETER FOR BALLED AND BURLAPPED AND CONTAINER-GROWN STOCK. SCARIFY PIT OR TRENCH WALLS.

TREE, SHRUB, VINE, ORNAMENTAL GRASS AND GROUNDCOVER PLANTING

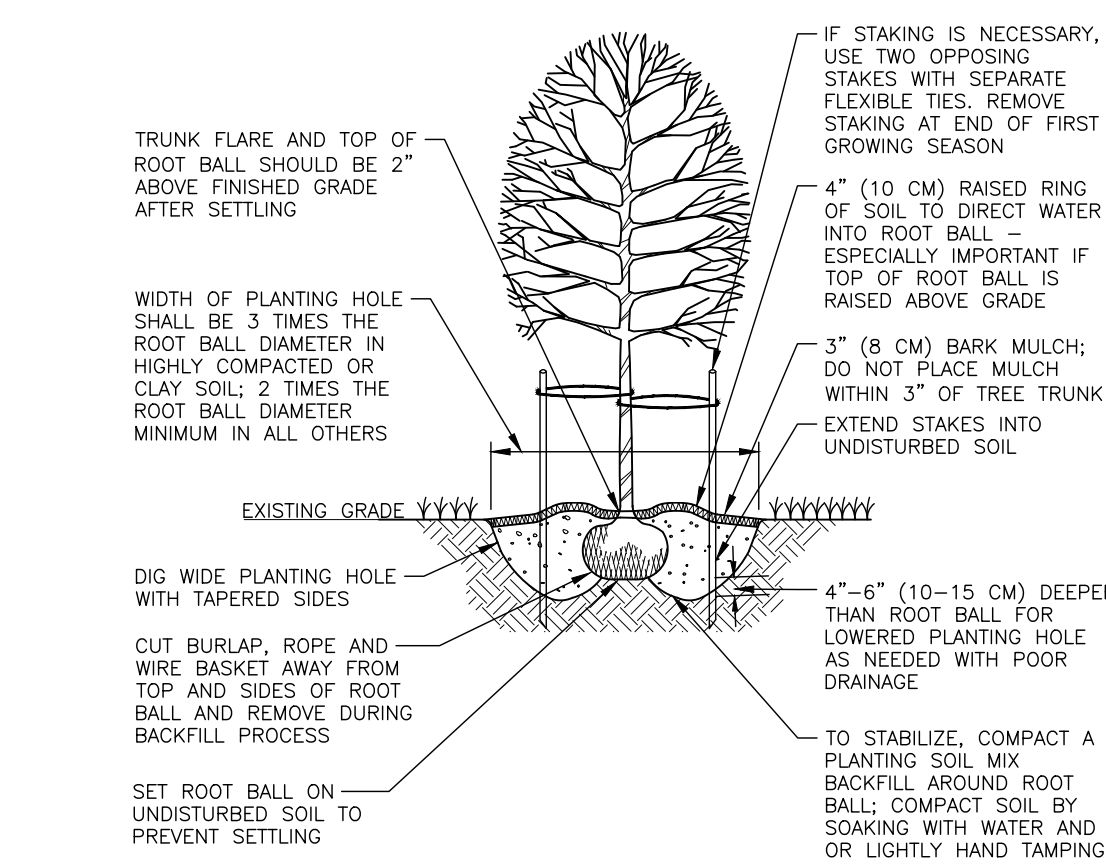
- SET BALLED AND BURLAPPED OR CONTAINER-GROWN STOCK PLUMB AND CENTER OF PIT OR TRENCH WITH ROOT BALL 1 INCH ABOVE ADJACENT FINISHED GRADES.
- REMOVE WIRE AND PALLETES ENTIRELY FROM ROOT BALL. REMOVE BURLAP FROM TOPS OF ROOT BALLS AND PARTIALLY FROM SIDES BUT DO NOT REMOVE FROM UNDER ROOT BALL. PLACE PLANTING SOIL MIX AROUND ROOT BALL IN LAYERS, TAMPING TO SETTLE MIX AND ELIMINATE VOIDS AND AIR POCKETS. WHEN PIT IS APPROXIMATELY ONE-HALF BACKFILLED, WATER THOROUGHLY BEFORE PLACING REMAINDER OF BACKFILL. WATER AGAIN AFTER PLACING AND TAMPING FINAL LAYER OF PLANTING SOIL MIX.
- APPLY 3-INCH MINIMUM AVERAGE THICKNESS OF ORGANIC MULCH EXTENDING 12 INCHES BEFORE EDGE OF PLANTING PIT OR TRENCH OR TO EDGE OF BEDLINE. DO NOT PLACE MULCH WITH 3 INCHES OF ROOT FLARE, TRUNK OR STEMS.
- PRUNE THIN AND SHAPE TREES AND SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICE AND TO RETAIN NATURAL CHARACTER. DO NOT CUT TREE LEADERS. REMOVE ONLY INJURED OR DEAD BRANCHES FROM FLOWERING TREES.
- INSTALL GUYING AND STAKING PER MANUFACTURER'S SPECIFICATIONS. REMOVE GUY WIRES AND STAKES AFTER TWO PLANTING ESTABLISHMENT SEASONS.
- DISPOSAL: REMOVE SURPLUS SOIL AND WASTE MATERIAL, INCLUDING EXCESS SUBSOIL, UNSUITABLE SOIL, TRASH, AND DEBRIS, AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.

GENERAL NOTES:

SEE CASE CD 22-04 FOR OVERALL SITE DEVELOPMENT

01 SHRUB INSTALLATION

SCALE: NTS



02 TREE INSTALLATION

SCALE: NTS

01 SHRUB INSTALLATION

SCALE: NTS



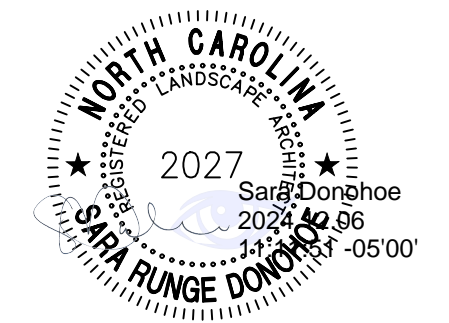
NOTES:

- SELECT TREES THAT HAVE: STRONG CENTRAL LEADER; CROWN WITH FULL FOLIAGE; ARE GROWN IN HEAVY CLAY SOIL WITH DRIP IRRIGATION.
- BEFORE INSTALLING PLANTING SOIL MIX BACKFILL AROUND ROOT BALL, BE SURE TO SOAK HOLE TO CONFIRM WATER FILTERS THROUGH UNDISTURBED SOIL. DESIGN ALTERNATIVE DRAINAGE SYSTEM IF REQUIRED.
- A SOIL EXPERT CAN BE CONSULTED TO HELP MODIFY AND FERTILIZE TOPSOIL TO CREATE AN ACCEPTABLE PLANTING SOIL MIX FOR THE SITE CONDITIONS AND SPECIFIC TREE SPECIES.
- IF USING CONTAINER GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL; THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
- THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND DURING DRY PERIODS.

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**WALLBROOK-TOWNHOME
AMENITY PLAN**
SITE DEVELOPMENT PLAN
ROLESVILLE, NORTH CAROLINA
TOWN OF ROLESVILLE PROJECT #: SP 22-09



REVISIONS

NO.	DATE	UPDATED PER COUNTY COMMENTS
1	12.06.2024	UPDATED PER COUNTY COMMENTS

PLAN INFORMATION

PROJECT NO.	CPR-19100
FILENAME	CPR19100-LandArch-L51
CHECKED BY	SRD
DRAWN BY	CMXY
SCALE	N/A
DATE	10. 28. 2022

**LANDSCAPE NOTES
AND DETAILS**
L5.01

X:\Projects\CPR\CPR-19100\04-Production\Planning and Amenity\Site Plan - Erosion Control\Current Drawings\CPR191000-LandArch-L51.dwg, 11/27/2024, 5:18:39 PM, Tammy Dabolt



ELEVATION / BUILDING SECTION GENERAL NOTES:

1. ALL WORK TO COMPLY WITH NCSBC & ALL APPLICABLE NORTH CAROLINA BUILDING CODES AS WELL AS ALL LOCAL AND PROJECT SPECIFIC AHJ & ZONING REQUIREMENTS.
2. FURNISH, STORE, INSTALL & FINISH ALL PRODUCTS IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AS WELL AS MANUFACTURERS AND APPLICABLE TRADE ASSOCIATION BEST PRACTICE GUIDELINES.
3. COORDINATE DIMENSIONS & SIZING INFORMATION WITHIN THESE DRAWINGS WITH PROJECT SPECIFIC MANUFACTURER DATA TO BE OBTAINED BY G.C., SUBCONTRACTORS & SUPPLIERS.
4. REFER TO THE COMPLETE DRAWING SET FOR ADDITIONAL INFORMATION, CALLOUTS, ETC.
5. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR PAVING, GRADING AND FLOOR TOP OF SLAB TRUE ELEVATIONS.
6. LEVEL CALLOUTS AT "AT GRADE" FLOORS REPRESENT NOM. T.O.S. NOT INCLUDING ASSUMED FLOOR FINISH THICKNESS. COORDINATED STAIR FABRICATION AND RISER HEIGHTS WITH FINISHED FLOOR CALCS.
7. REFER TO SHT. A901 FOR BASIS OF DESIGN MATERIALS AND FINISHES.
8. REFER TO WALL SECTION SHEETS FOR **TYPICAL SYSTEMS NOTES** (AS INDICATED BY BOLD/UNDERLINE & OTHER).

EXTERIOR MATERIAL LEGEND

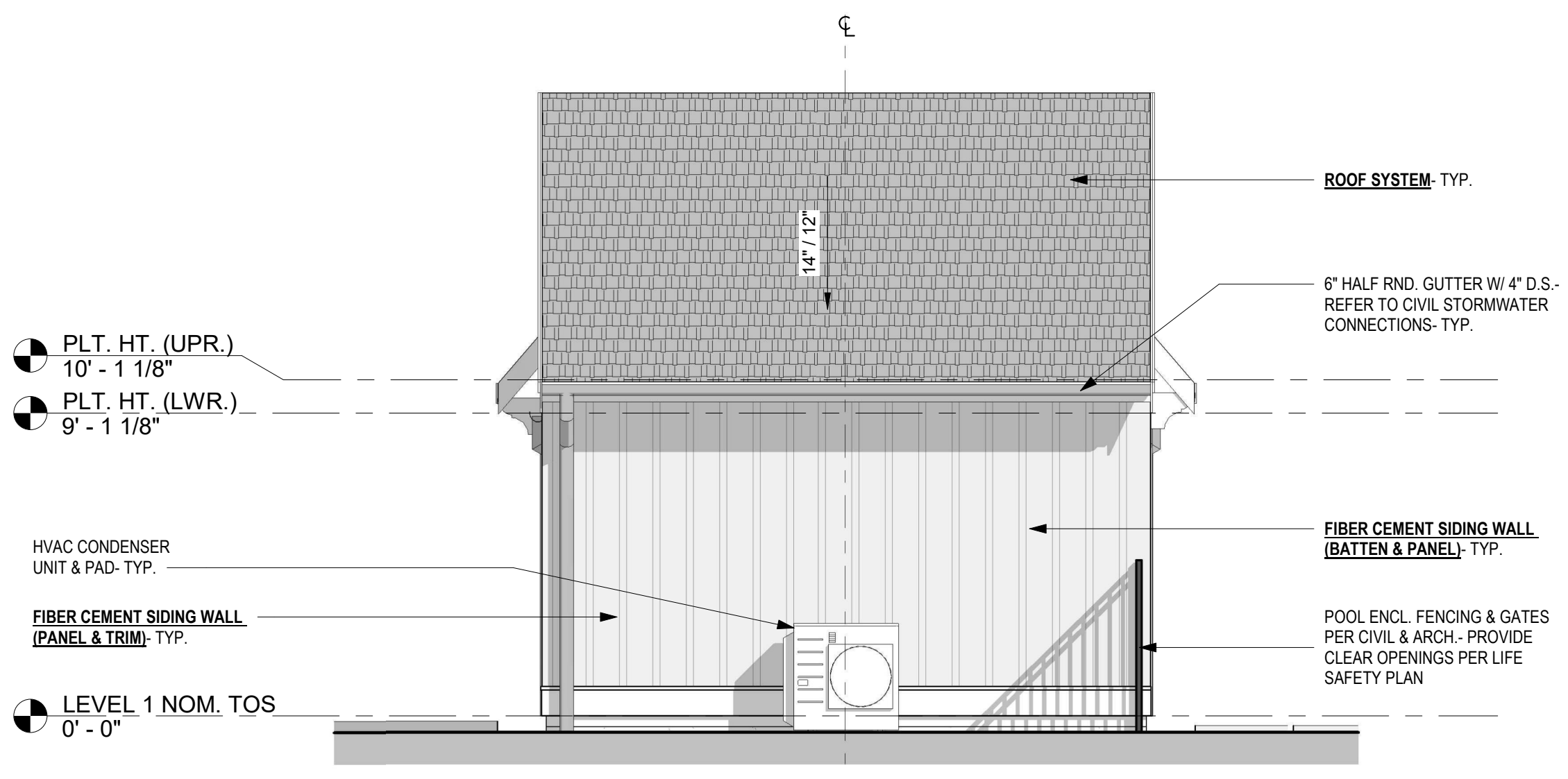
- ARCHITECTURAL SHINGLE ROOFING
- FIBER CEMENT BATTEN ON PANEL (B&B) SIDING & TRIM
- FIBER CEMENT LAP SIDING & TRIM
- FIBER CEMENT TRIM ON PANEL SIDING & TRIM

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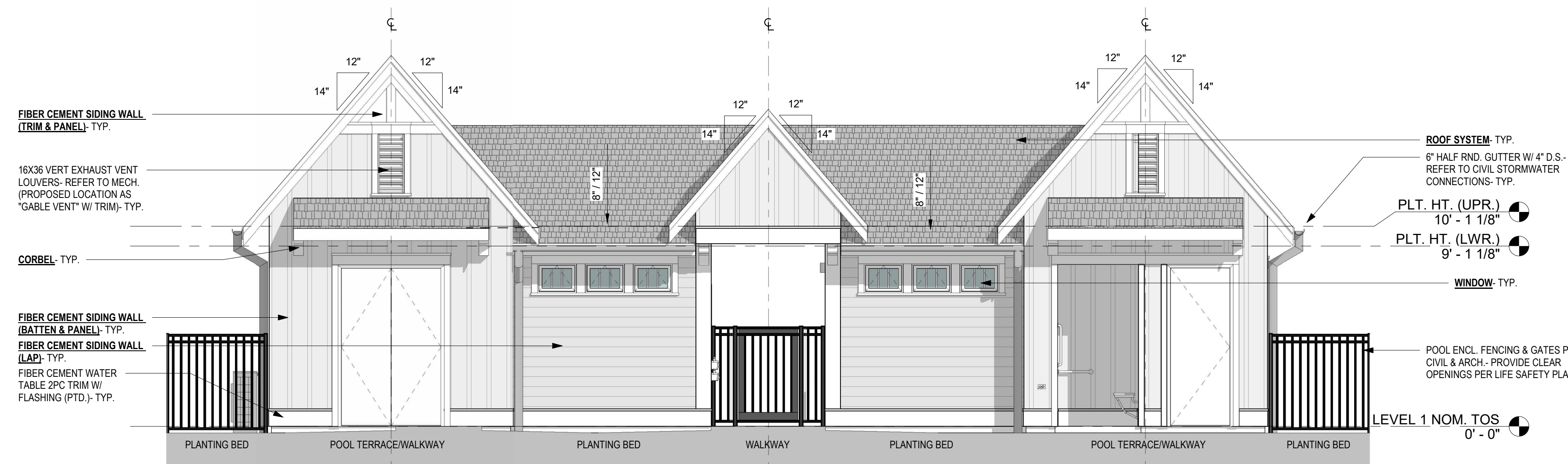
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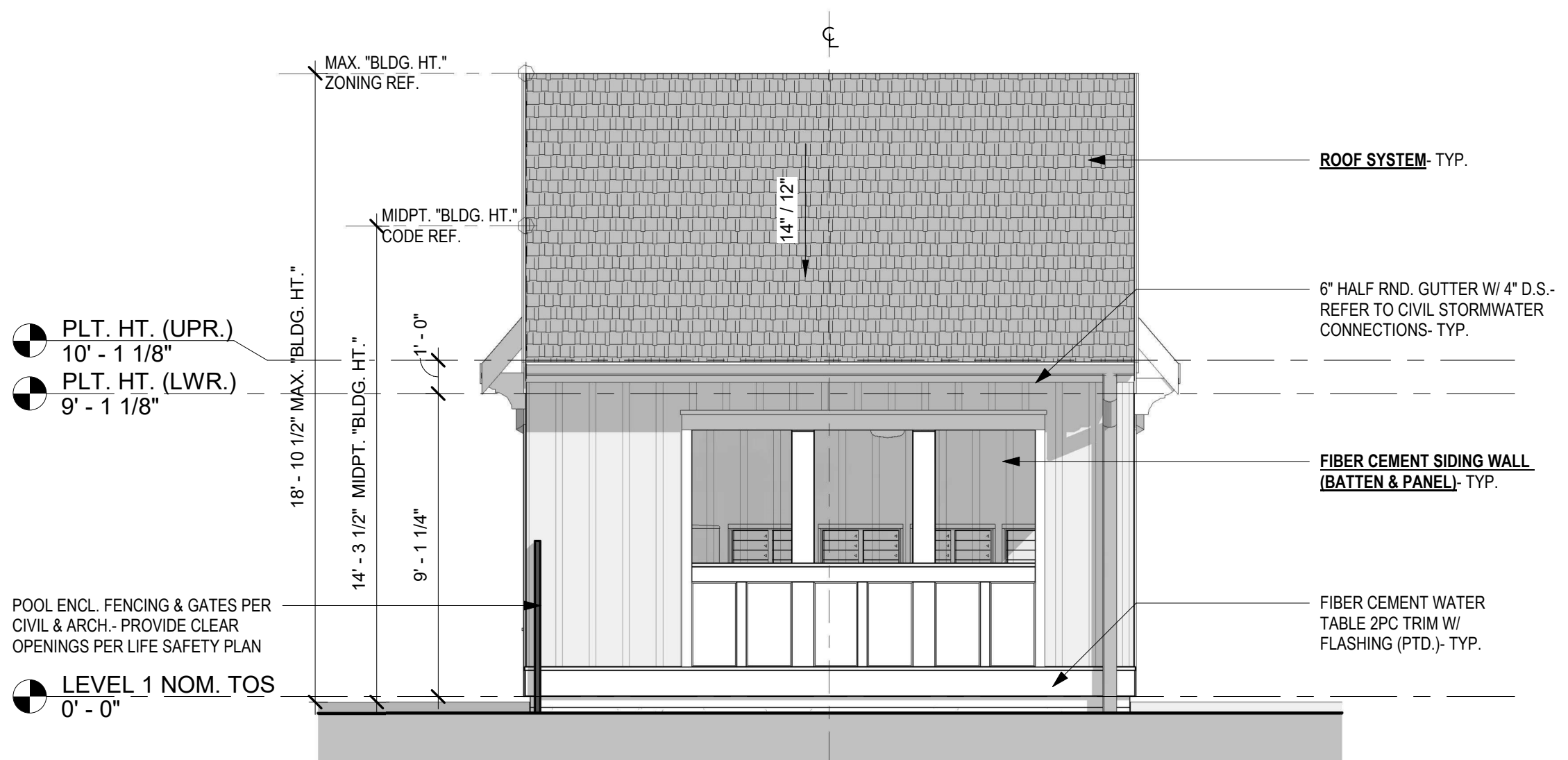
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4 ELEVATION- POOLHOUSE RIGHT
A201 1/4" = 1'-0"



3 ELEVATION- POOLHOUSE REAR (POOL SIDE)
A201 1/4" = 1'-0"



2 ELEVATION- POOLHOUSE LEFT
A201 1/4" = 1'-0"



1 ELEVATION- POOLHOUSE FRONT (PARK SIDE) NEW
A201 1/4" = 1'-0"

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Key Plan

Professional Seals



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No. Description Date
1 Arch Elev. Exhibit NFC 08.12.2024

Drawn by: JB Reviewed by: AB
Project No.: 1429.106

Issue Date
08.12.2024

Sheet Title
ELEVATIONS

Original drawing is 42 x 30. Do not scale contents of this drawing.
Sheet Number

A201