

THE POINT - AMENITY PLAN

EAST YOUNG STREET
ROLESVILLE, NORTH CAROLINA

SITE PLAN

PROJECT NUMBER: AWH-20000

TOWN OF ROLESVILLE PLAN NUMBER SP 22-04

SITE PLAN APPROVED: MARCH 20, 2023

SITE DATA:	
PHYSICAL ADDRESS:	EAST YOUNG STREET ROLESVILLE, NORTH CAROLINA
OWNER:	BROOKFIELD HOLDINGS (THE POINTE) LLC ANDREW BRAUSA 250 VESEY STREET FL 15 NEW YORK, NY 10281
DEVELOPER/APPLICANT:	ASHTON RALEIGH RESIDENTIAL LLC 5711 SIX FORKS ROAD, SUITE 300 RALEIGH, NC 27609
PIN:	1768254698
REAL ESTATE ID:	0010867
EXISTING ZONING:	R&PUD-RM
LAND USE:	AMENITY
DEEDED ACERAGE:	109.24
PROJECT AREA:	1.61 AC
PARKING:	PROPOSED PARKING FOR THE AMENITY WAS APPROVED WITH SUBDIVISION PLANS CASE# CD 20-06 POINT 1,2, 6 & 9 DATED 4-25-2022. TOTAL PARKING PROVIDED = 79 SPACES
PROPOSED BUILDING:	6,165.60 SF CLUBHOUSE
PRINCIPLE BUILDING SETBACKS:	FRONT: 25 FT SIDE: 10 FT REAR: 25 FT
PROPOSED IMPERVIOUS:	0.91 AC (39,504SF)

IMPERVIOUS SUMMARY

Land Use	Area (sf)	Area (ac)
Roadway Area	170,381	3.91
Driveway / Parking	13,604	0.31
Roof Area	47,615	1.09
Sidewalk / Patio	67,646	1.55
Wooded	0	0.00
Pond / Pool	16,768	0.38
Total	316,014	7.25

SURVEY BY:

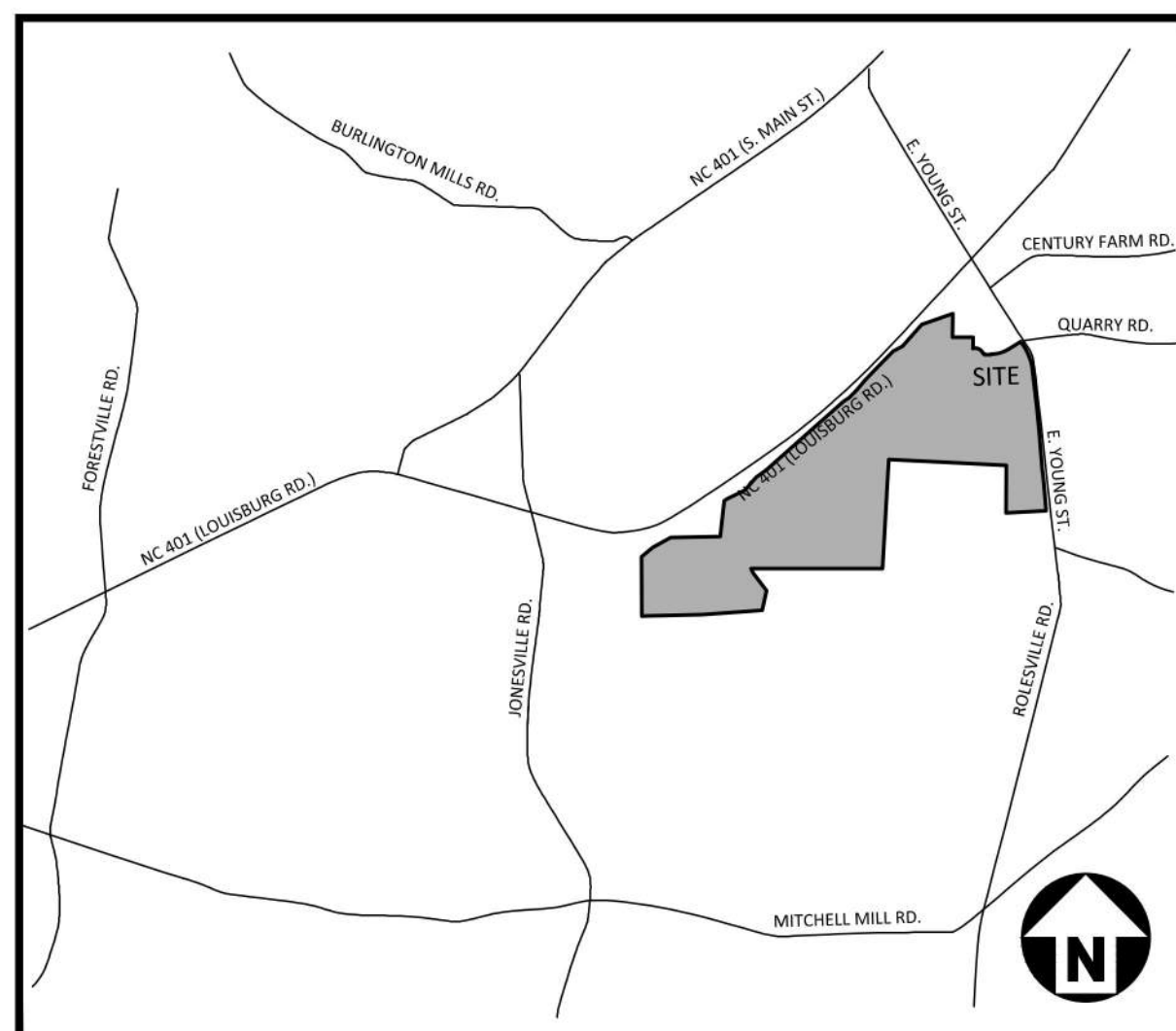
BATEMAN CIVIL SURVEY COMPANY
2424 RELIANCE AVENUE, APEX, NC 27539
TOPOGRAPHIC DECEMBER 22, 2019
ALTA SURVEY DECEMBER 12, 2019

STEVEN P CARSON, PLS
NC LICENSE # 4752
919-577-1081

PARCEL OWNER LIST		
PIN	OWNER	AREA
1768254698	BROOKFIELD HOLDINGS (THE POINTE) LLC ANDREW BRAUSA 250 VESEY STREET FL 15 NEW YORK, NY 10281-1065	109.24 AC

SURVEY NOTES

- THE PROPERTY LIES IN ZONE "X" PER NATIONAL FLOOD INSURANCE PROGRAM RATE MAP 37201758003 & 37203768000 DATES 05/02/2006.
- ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES AND ALL BEARINGS ARE BASED ON OBSERVED GPS CONTROL, NAD 83 / NSRS 2011 / STATE PLANE COORDINATES.
- SUBJECT PARCEL ZONED R & PUD PER WAKE COUNTY GIS.
- SURVEY WAS PREPARED BY BATEMAN CIVIL SURVEY COMPANY UNDER THE SUPERVISION OF STEVEN P. CARSON, PLS. FIELD WORK WAS COMPLETED DEC 3 - 21, 2018.
- AREAS COMPUTER BY COORDINATE METHOD.
- SANITARY SEWER LINE EASEMENT WAS CREATED BASED ON CENTER LINES ON MANHOLES USING FIELD EVIDENCE.
- NO CEMETERIES OBSERVED AS A RESULTS OF THE SURVEY.
- BUILDING ARE AS SHOWN ON SURVEY.



VICINITY MAP
N.T.S.



15.4.5 - Streets

15.4.5.1 Type of Street Required All subdivision lots shall abut at least 20 feet on a public street. All public streets shall be dedicated to the Town of Rolesville, the State of North Carolina or the public as determined appropriate by the Board of Commissioners of the Town of Rolesville. All public streets shall be built to the standards of this ordinance and all other applicable standards of the Town of Rolesville and the North Carolina Department of Transportation. Public streets not dedicated to the Town which are eligible for acceptance into the State Highway System shall be constructed to the standards necessary to be put on the State Highway System or the standards in this ordinance, whichever is stricter, in regard to each particular item and shall be put on such system. Streets not dedicated to the Town which are not eligible to be put on the State Highway System because there are too few lots or residences shall, nevertheless, be dedicated to the public and shall be in accordance with the standards in this ordinance or the standards necessary to be put on the State Highway System, whichever is stricter in regard to each particular item, so as to be eligible to be put on the system at a later date. A written maintenance agreement with provisions for maintenance of the street until it is put on the State System shall be included with the final plat.

15.4.5.2 Subdivision Street Disclosure Statement All streets shown on the final plat shall be designated in accordance with G.S. § 136-102.6 and designation as public shall be conclusively presumed an offer of dedication to the public. Where streets are dedicated to the public but not accepted into a municipal or the State system, before lots are sold, a statement explaining the status of the street shall be included with the final plat.

NOTES

- PER APPROVED SPECIAL USE PERMIT CONDITIONS FOR THE POINT-YOUNG STREET PUD CONDITION 2.(g) OPEN SPACE #17 (OS-17) SHALL INCLUDE AN AMENITY WITH POOL, CLUBHOUSE, PRIVATE TRAIL, SHALL BE COMPLETED BY THE ISSUANCE OF THE 325TH BUILDING PERMIT FOR THE PORTION OF THE DEVELOPMENT SOUTH OF THE 401 BYPASS. THE MAIL KIOSK AND SUPPORTING PARKING WILL BE COMPLETED BY THE 15TH CERTIFICATE OF OCCUPANCY ON THE PORTION OF THE DEVELOPMENT SOUTH OF THE 401 BYPASS. A TEMPORARY MAIL KIOSK WILL BE UTILIZED UNTIL FINAL MAIL KIOSK IS CONSTRUCTED.

SHEET INDEX

C0.00	PROJECT NOTES
C2.00	SITE PLAN
C3.00	GRADING PLAN
C4.00	UTILITY PLAN
C6.00	EROSION CONTROL PLAN
C6.01	EROSION CONTROL DETAILS
C8.00	SITE DETAILS
C8.01	SITE DETAILS
C8.02	SITE DETAILS
L5.00	CODE LANDSCAPE PLAN
L5.01	LANDSCAPE NOTES AND DETAILS
A2.00	CLUBHOUSE ELEVATIONS
A2.01	CLUBHOUSE ELEVATIONS
A2.02	CLUBHOUSE ELEVATIONS
A2.10	POOL PAVILION AND MAIL KIOSK ELEVATIONS

SCM "A" DESIGN FROM: "THE POINT - PHASES 1, 2, 6 AND 9 (CONSTRUCTION DRAWINGS - PACKAGE 1)

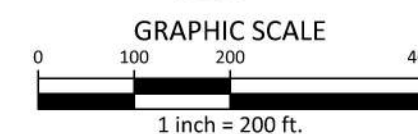
C9.00A	STORMWATER CONTROL MEASURE "A" PLAN VIEW
C9.01A	STORMWATER CONTROL MEASURE "A" DETAILS
C9.02A	STORMWATER CONTROL MEASURE "A" DETAILS
C9.03A	STORMWATER CONTROL MEASURE "A" LANDSCAPE PLAN

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Electronic Approval: This approval is being issued electronically. This approval is valid only upon the signature of a City of Raleigh Review Officer below. The City will retain a copy of the approved plans. Any work authorized by this approval must proceed in accordance with the plans kept on file with the City. This electronic approval may not be edited once issued. Any modification to this approval once issued will invalidate this approval.

City of Raleigh Development Approval

Raleigh Water Review Officer



EROSION CONTROL, STORMWATER AND FLOODPLAIN MANAGEMENT

APPROVED

EROSION CONTROL S- SEC-094719-2023

STORMWATER MGMT. S- SWF-094718-2023

FLOOD STUDY S-

DATE

Digitally signed by Janet Boyer
DN: C=US,
E=janet.boyer@wakegov.com,
O=Wake County,
OU=Watershed Management,
CN=Janet Boyer
Date: 2023.03.20 14:49:27 -0400



Janet Boyer
ENVIRONMENTAL

CONTACT

MIKE SANCHEZ
sanchez@mcadamsco.com
PHONE: 919. 361. 5000

CLIENT

ASHTON RALEIGH RESIDENTIAL, LLC.
5711 SIX FORKS ROAD, SUITE 300
RALEIGH, NORTH CAROLINA 27609
PHONE: 919. 232. 3695
CONTACT: BOB MISHLER

PROJECT DIRECTORY



REVISIONS

NO.	DATE	DESCRIPTION
1	07.15.2022	RESPONSE TO TOWN COMMENT
2	09.30.2022	RESPONSE TO TOWN COMMENT
3	03.07.2023	WAKE COUNTY COMMENTS

SITE PLAN:

THE POINT
MAIN AMENITY
EAST YOUNG STREET
ROLESVILLE, NORTH CAROLINA
PROJECT NUMBER: AWH-20000

SITE PLAN NOTES

- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST TOWN OF ROLESVILLE AND/OR NCDOT STANDARDS AND SPECIFICATIONS AS APPLICABLE.
- ALL DIMENSIONS SHOWN ON SITE PLAN ARE MEASURED TO BACK OF CURB UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE ENGINEER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE OWNER.
- EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED/RESTORED TO THEIR ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER, BY THE CONTRACTOR RESPONSIBLE FOR THE DAMAGE.
- THE CONTRACTOR SHALL NOTE THAT THE DRAWINGS MAY NOT SHOW EVERY OFFSET, TRANSITION, FITTING, ETC. THAT MAY BE REQUIRED. THE CONTRACTOR SHALL INSTALL SUCH STANDARD APPURTENANCES AS REQUIRED TO CLOSELY FOLLOW THE GRADES AND ALIGNMENTS DEPICED ON THE PLANS.
- CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE UTILITY COMPANIES FOR ANY REQUIRED RELOCATIONS (I.E. POWER POLES, TELEPHONE PEDESTALS, WATER METERS, ETC.).
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION, FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- ACCESSIBLE RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH NCDOT DETAILS.
- ALL SIDEWALKS THAT CONNECT TO THE PUBLIC RIGHT-OF-WAY MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- TYPICAL PAVEMENT SECTION DETAILS ARE SHOWN WITHIN THIS SET AND INTENDED TO BE A MINIMUM PAVEMENT SECTION REQUIREMENT. THE CURRENT GEOTECHNICAL REPORT SHALL OVER-RIDE ALL TYPICAL PAVEMENT SECTIONS SHOWN, IF THE GEOTECHNICAL ENGINEER DEEMS A HEAVIER SECTION IS REQUIRED.
- EQUIPMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED APPROVAL HAS BEEN OBTAINED FROM THE OWNER IN WRITING PRIOR TO ORDERING OR INSTALLATION. THE CONTRACTOR SHALL WAIVE ANY CLAIM FOR ADDITIONAL COST RELATED TO SUBSTITUTION OF ALTERNATE EQUIPMENT.
- ALL SIGNAGE ASSOCIATED WITH THE PUBLIC STREET SYSTEM SHALL ADHERE TO MUTCD STANDARDS AND SPECIFICATIONS.

NOTES:

- ROADS LABELED AS PUBLIC WILL BE DEDICATED AS PUBLIC ROW TO BE MAINTAINED BY THE TOWN OF ROLESVILLE.
- ROADS LABELED AS PRIVATE WILL BE DEDICATED AS PRIVATE AND BE MAINTAINED BY THE HOA.
- GREENWAY EASEMENTS LABELED AS PUBLIC WILL BE DEDICATED AS PUBLIC AND BE MAINTAINED BY THE TOWN OF ROLESVILLE.
- SANITARY SEWER EASEMENTS WILL BE DEDICATED AS PUBLIC EASEMENTS TO THE CITY OF RALEIGH.

STORM DRAINAGE NOTES

- ALL STORM DRAINAGE PIPES SHOWN SHALL BE REINFORCED CONCRETE (RCP) (MINIMUM CLASS III) UNLESS NOTED OTHERWISE. CONTRACTOR TO COORDINATE WITH THE GEOTECH TO VERIFY TYPE OF BEDDING REQUIRED BASED ON SOIL CONDITIONS. CONTRACTOR TO SELECT REQUIRED CLASS OF PIPE BASED ON DEPTH OF PIPE AND BEDDING PROVIDED PER THE AMERICAN CONCRETE PIPE ASSOCIATION GUIDELINES.
- ALL STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF ROLESVILLE STANDARDS.
- ALL CONCRETE SHALL MEET A MINIMUM 3000 PSI COMPRESSIVE STRENGTH.
- ALL PIPE IN STORM DRAIN STRUCTURES SHALL BE STRUCK EVEN WITH INSIDE WALL.
- ALL PIPE JOINTS SHALL BE MADE WITH PREFORMED JOINT SEALER, WHICH CONFORMS TO AASHTO SPECIFICATION M-198 FOR TYPE B FLEXIBLE PLASTIC GASKETS UNLESS OTHERWISE NOTED.
- THE INTERIOR SURFACES OF ALL STORM DRAINAGE STRUCTURES SHALL BE POINTED UP AND SMOOTHED TO AN ACCEPTABLE STANDARD, USING MORTAR MIXED TO MANUFACTURER'S SPECIFICATIONS.
- ALL BACKFILL SHALL BE NON-PLASTIC IN NATURE. FREE FROM ROOTS, VEGETATION MATTER, WASTE CONSTRUCTION MATERIAL OR OTHER OBJECTIONABLE MATERIAL. SAID MATERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER THE TAMPING BLOWS OR PROOF ROLLING.
- MATERIALS DEEMED BY THE OWNER'S REPRESENTATIVE OR GEOTECH AS UNSUITABLE FOR BACKFILL PURPOSES SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL.
- BACKFILLING OF TRENCHES SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PIPE IS LAID. THE FILL AROUND THE PIPE SHALL BE THOROUGHLY COMPACTED TO 95 % OF THE MAXIMUM DRY DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST. THE TOP EIGHT (8) INCHES SHALL BE COMPACTED TO 100 PERCENT STANDARD PROCTOR.
- UNDER NO CIRCUMSTANCES SHALL WATER BE ALLOWED TO RISE IN UNBACKFILLED TRENCHES AFTER PIPE HAS BEEN PLACED.
- ALL CONCRETE PIPE AND PRECAST STORM STRUCTURES SHALL MEET NCDOT STANDARDS BY MANUFACTURER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL PIPE AND STRUCTURES FOR CRACKS OR BREAKS, PRIOR TO INSTALLATION. ANY DAMAGED ITEMS SHALL NOT BE INSTALLED.

**CITY OF RALEIGH PUBLIC UTILITIES
STANDARD UTILITY NOTES (AS APPLICABLE)**

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100" SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25" FROM A PRIVATE WELL OR 50" FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10". IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10" ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE PER CORPUD DETAILS W-41 & S-49).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL 3/4" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

NOTES:

DEEDS OF EASEMENT FOR SANITARY SEWER PURPOSES TO CITY OF RALEIGH RECORDED IN BOOK 12249, PAGE 864 AND BOOK 12466, PAGE 1149 AND AS SHOWN ON RECORDED PLAT IN BOOK OF MAPS 2006, PAGES 2216 AND 2217, WAKE COUNTY REGISTRY.

(DEED OF EASEMENT SUPERSEDED BY BM 2008 PG 480 & 481)

RIGHT OF WAY AND UTILITY EASEMENTS RECORDED IN BOOK 13736, PAGES 1287 AND 1294 AND AS SHOWN ON RECORDED PLAT IN BOOK OF MAPS 2009, PAGE 1091, WAKE COUNTY REGISTRY.

(AS SHOWN ON SURVEY)

DEEDS OF EASEMENT FOR SANITARY SEWER PURPOSES TO CITY OF RALEIGH RECORDED IN BOOK 12249, PAGE 860 AND BOOK 12466, PAGE 1171 AND AS SHOWN ON RECORDED PLAT IN BOOK OF MAPS 2006, PAGES 2216 AND 2217, WAKE COUNTY REGISTRY.

CORPUD APPROVAL CONDITION:

CONVEYANCE OF SEWAGE FROM THE PROPOSED LOTS WITHIN THE POINT SOUTH CD PACKAGE #1 WILL RELY ON IMPROVEMENTS TO THE HARRIS CREEK INTERCEPTOR THAT ARE BEING DESIGNED BY AMERICAN ENGINEERING. THE PLAN SET IS TITLED HARRIS CREEK SANITARY SEWER REPLACEMENT AND WILL BE ASSIGNED PERMIT # 5-5037. THE POINT SOUTH CD PACKAGE #1 LOTS WILL NOT BE RECORDED AND THE ONSITE WATER/SEWER UTILITIES WILL NOT BE ACCEPTED BY RALEIGH UNTIL THE HARRIS CREEK INTERCEPTOR IMPROVEMENTS UNDER PERMIT # 5-5037 ARE APPROVED, INSTALLED, AND ACCEPTED BY RALEIGH FOR MAINTENANCE.

GRADING NOTES

- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION, FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS; FINAL RULE 29CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH. EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRES THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER, PROVIDED BY CONTRACTOR RESPONSIBLE FOR EXCAVATION.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF ROLESVILLE AND/OR NCDOT STANDARDS AND SPECIFICATIONS AS APPLICABLE.
- CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- CONSTRUCTION, MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. TIMING OF REMOVAL SHALL BE COORDINATED WITH THE EROSION CONTROL INSPECTOR.
- EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- SOIL UNDER BUILDINGS, PAVED AREAS AND WITHIN SLOPES GREATER THAN 3:1 (H:V) SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.

RETAINING WALL NOTES

- THE RETAINING WALL ALIGNMENT SHOWN ON THESE PLANS DEPICTS THE LOCATION OF THE FRONT FACE OF THE RETAINING WALL AT THE TOP OF THE WALL. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING RETAINING WALLS ARE NOT LOCATED IN ANY STREAM BUFFERS, AND THEIR CONSTRUCTION DOES NOT ENCROACH INTO ANY ADJACENT PROPERTIES DUE TO ANY BATTER INCORPORATED IN THE DESIGN OF THE WALLS.
- RETAINING WALLS ARE TO BE DESIGN-BUILD PROJECTS BY THE CONTRACTOR. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN FINAL CONSTRUCTION DRAWINGS FROM A REGISTERED ENGINEER AND GAIN ALL REQUIRED PERMITS NECESSARY FOR THE CONSTRUCTION OF THE RETAINING WALLS.
- RETAINING WALLS SHALL BE ASSUMED TO BE BACKFILLED WITH OFF-SITE BORROW MATERIAL OR PROCESSED FILL, UNLESS THE CONTRACTOR CAN PROVIDE TO THE OWNER WITH CONFIRMATION FROM THE GEOTECHNICAL ENGINEER AND THE RETAINING WALL DESIGNER, THAT READILY AVAILABLE ON-SITE SOILS CAN BE USED.
- THE TOP AND BOTTOM OF WALL ELEVATIONS SHOWN ON THESE PLANS IDENTIFY FINISHED GRADE ELEVATIONS ONLY. THE EXTENT THAT THE RETAINING WALL WILL BE EXTENDED BELOW GRADE TO THE FOOTING OR ABOVE GRADE TO THE TOP OF THE CAP BLOCK COURSE SHALL BE IDENTIFIED ON THE RETAINING WALL CONSTRUCTION DRAWINGS.
- ALL RETAINING WALLS OVER 30" HIGH SHALL HAVE A SAFETY FENCE (DESIGN BY OTHERS).
- ANY TIEBACK SYSTEMS FOR THE RETAINING WALLS SHALL NOT BE ALLOWED WITHIN PUBLIC RIGHT-OF-WAY.



Know what's below.
Call before you dig.

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.



McADAMS

The John R. McAdams Company, Inc.
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Raleigh, NC 27603

phone 919. 361. 5000

fax 919. 361. 2269

license number: C-0293, C-187

www.mcadamsco.com

CLIENT

ASHTON RALEIGH RESIDENTIAL, LLC.
5711 SIX FORKS ROAD, SUITE 300
RALEIGH, NORTH CAROLINA 27609
BOB MISHLER
PHONE: 919.232.3695



**THE POINT-AMENITY
SITE PLAN**
EAST YOUNG STREET
 TOWN OF ROLESVILLE, WAKE FOREST TOWNSHIP,
 NORTH CAROLINA



REVISIONS 3/7/2023

NO.	DATE	RESPONSE TO TOWN COMMENT
1	07.15.2022	RESPONSE TO TOWN COMMENT
2	09.30.2022	RESPONSE TO TOWN COMMENT
3	03.07.2023	WAKE COUNTY COMMENT

PLAN INFORMATION

PROJECT NO. AWH-20000
 FILENAME AWH20000-LANDARCH-N2
 CHECKED BY SRD
 DRAWN BY PTH
 SCALE N/A
 DATE 04.01.2022

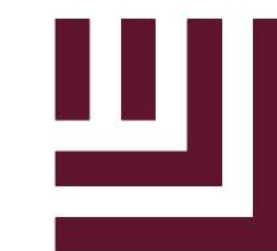
SHEET

PROJECT NOTES

C0.00

ROLESVILLE PLAN # SP22-04

FINAL DRAWING - RELEASED FOR CONSTRUCTION



McADAMS

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Raleigh, NC 27603

phone 919.361.5000
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license number: C-0293, C-187

www.mcadamsco.com

CLIENT

ASHTON RALEIGH RESIDENTIAL, LLC.
5711 SIX FORKS ROAD, SUITE 300
RALEIGH, NORTH CAROLINA 27609
BOB MISHLER
PHONE: 919.232.3695



ASHTON WOODS

THE POINT-AMENITY
SITE PLAN
EAST YOUNG STREET
TOWN OF ROLESVILLE, WAKE FOREST TOWNSHIP,
NORTH CAROLINA



REVISIONS

NO.	DATE	DESCRIPTION
1	07.15.2022	RESPONSE TO TOWN COMMENT
2	09.30.2022	RESPONSE TO TOWN COMMENT
3	03.07.2023	WAKE COUNTY COMMENT

PLAN INFORMATION

PROJECT NO. AWH-20000
 FILENAME AWH20000-LANDARCH-52
 CHECKED BY SRD
 DRAWN BY PTH
 SCALE 1"=30'
 DATE 04.01.2022

SHEET

SITE PLAN

C2.00

ROLESVILLE PLAN # SP22-04

FINAL DRAWING - RELEASED FOR CONSTRUCTION

DETAIL KEY SCHEDULE

- 01 CONCRETE SIDEWALK
- 02 ACCESSIBLE SIDEWALK RAMP
- 03 POOL FENCE AND GATE
- 04 LANDSCAPE DRAIN INLET
- 05 ADA RAMP

SITE LEGEND

- SIGNAGE
- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- TRAFFIC DIRECTIONAL ARROW
- ACCESSIBLE PARKING STALL
- VAN ACCESSIBLE PARKING STALL
- PARKING SPACE COUNT
- ACCESSIBLE RAMPS
- ACCESSIBLE ROUTE
- PHASE LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- EASEMENT LINE
- CENTERLINE

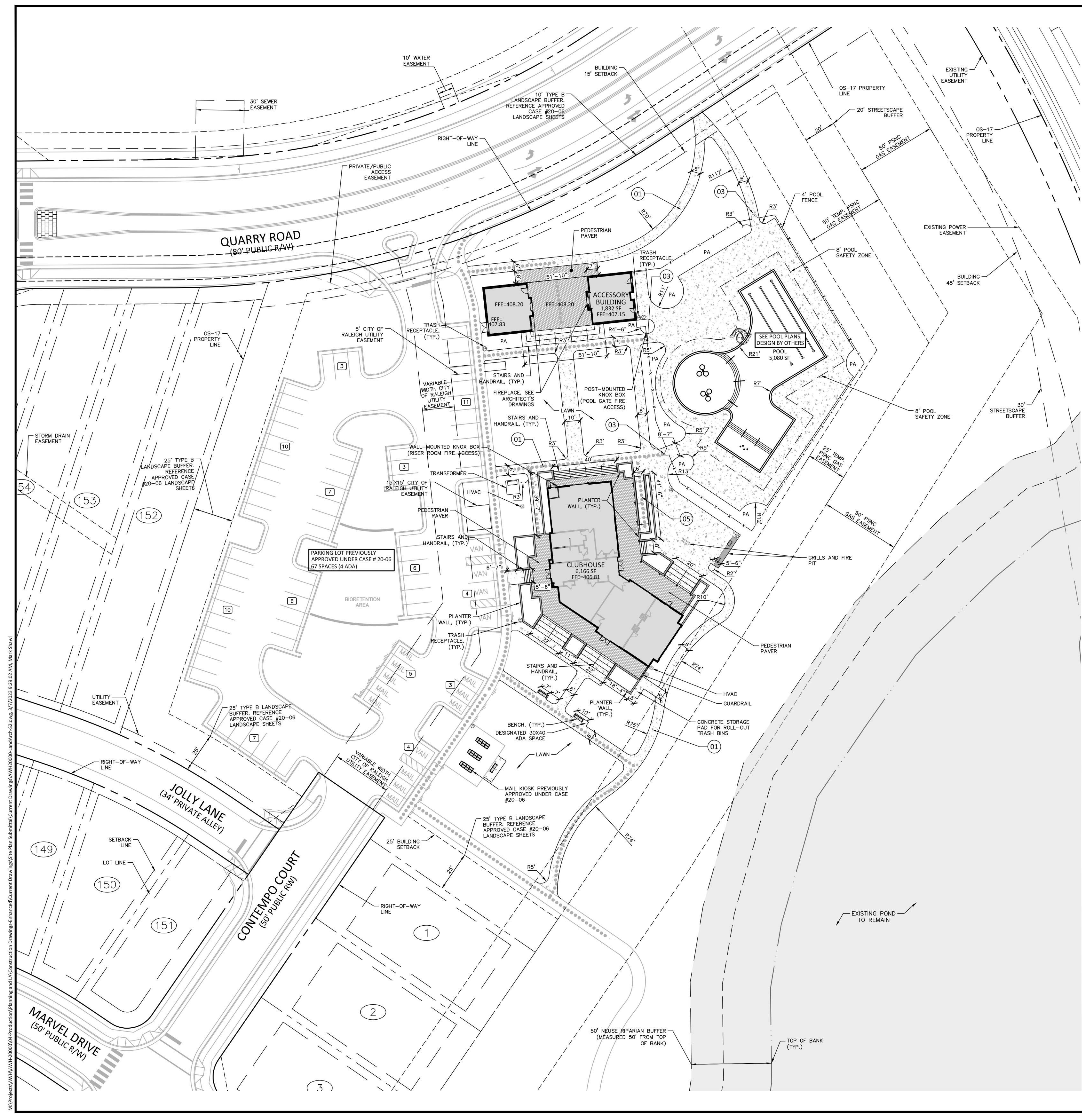
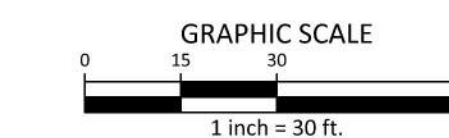
FURNISHING SCHEDULE

- (TR) TRASH RECEPTACLE
- BENCHES
- FIRE PIT
- NATURAL GAS BUILT-IN GRILL

MATERIALS LEGEND

- CONCRETE PAVING
- PAVER
- PLANTING AREA

NOTE: PER APPROVED SPECIAL USE PERMIT CONDITIONS FOR THE POINT-YOUNG STREET PUD CONDITION 2.(q) OPEN SPACE #17 (05-17) SHALL INCLUDE AN AMENITY WITH POOL, CLUBHOUSE, PRIVATE TRAIL, SHALL BE COMPLETED BY THE ISSUANCE OF THE 325TH BUILDING PERMIT FOR THE PORTION OF THE DEVELOPMENT SOUTH OF THE 401 BYPASS. THE MAIL KIOSK AND SUPPORTING PARKING WILL BE COMPLETED BY THE 15TH CERTIFICATE OF OCCUPANCY ON THE PORTION OF THE DEVELOPMENT SOUTH OF THE 401 BYPASS. A TEMPORARY MAIL KIOSK WILL BE UTILIZED UNTIL FINAL MAIL KIOSK IS CONSTRUCTED.



M:\Projects\AWH\AWH-20000\04-Production\Planning and LA\Construction Drawings\Enhanced\Current Drawings\Site Plan\Submittal\Current Drawings\AWH20000-LandArch-52.dwg, 3/7/2023 9:29:02 AM, Mark Shaw



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THE POINT-AMENITY
SITE PLAN
EAST YOUNG STREET
TOWN OF ROLESVILLE, WAKE FOREST TOWNSHIP,
NORTH CAROLINA



3/7/2023

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PLAN INFORMATION

PROJECT NO. AWH-20000
FILENAME AWH20000-LANDARCH-G2
CHECKED BY SRD
DRAWN BY PTH
SCALE 1"=30'
DATE 04.01.2022

SHEET

GRADING PLAN

C3.00

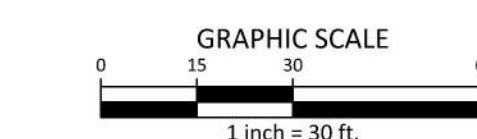
GRADING LEGEND

- FLARED END SECTION
- ENDWALL SECTION
- CATCH BASIN
- DROP INLET
- STORM SERVICE INLET
- STORM SERVICE ROOF-RAIN
- JUNCTION BOX
- DRAINAGE FLOW ARROW
- LINE BREAK SYMBOL
- TOP & BOTTOM CURB ELEVATIONS
- SPOT ELEVATION
- STORM DRAINAGE
- STORM SERVICE LINE
- ROOF DRAIN, 8" ADS NON-PERFORATED TUBING OR EQUAL 1.0% MIN. SLOPE 3' MIN. COVER PVC SCHEDULE 40 IN TRAFFIC AREAS
- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE
- WOODED AREA
- MAJOR CONTOUR
- MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EASEMENT LINE
- ACCESSIBLE PARKING AREA (2% MAX. SLOPE IN ALL DIRECTIONS)

SHEET NOTES:

- SEE SHEET C0.00 FOR GRADING AND DRAINAGE NOTES.
- ALL YARD INLET GRATES LOCATED WITHIN SOFTSCAPE SHALL BE 6" ROUND ATRIUM GRATE, BLACK BY NDS OR APPROVED EQUAL. PROVIDE MIN. 1" STONE MULCH SURROUND. STONE MULCH TO BE 3-5" RIVER STONE BY STONE CENTER OF CAROLINA OR APPROVED EQUAL.
- ALL STORM DRAINAGE GRATES LOCATED IN HARDSCAPE AREAS SHALL MEET FLUSH WITH ADJACENT PAVING CONDITIONS AND SHALL BE PEDESTRIAN RATED. PRODUCT: NDS PRO 12" WAVE CATCH BASIN GRATE GRAY SK# 1224GY
- ALL SIDEWALKS SHALL BE A MAXIMUM SLOPE OF 5% WITH A MAXIMUM CROSS SLOPE OF 2%.
- ALL GRADING AND SUPPORT STRUCTURES ASSOCIATED WITH ANY REMAINING STRUCTURE SHALL NOT ENROACH INTO ANY REQUIRED BUFFER OR PROTECTED AREA (E.G. RCA, THE CRITICAL ROOT ZONES OF TREES, PUBLIC UTILITY EASEMENTS AND RIGHTS-OF-WAY), AND SHALL BE CONTAINED ENTIRELY ON SITE.

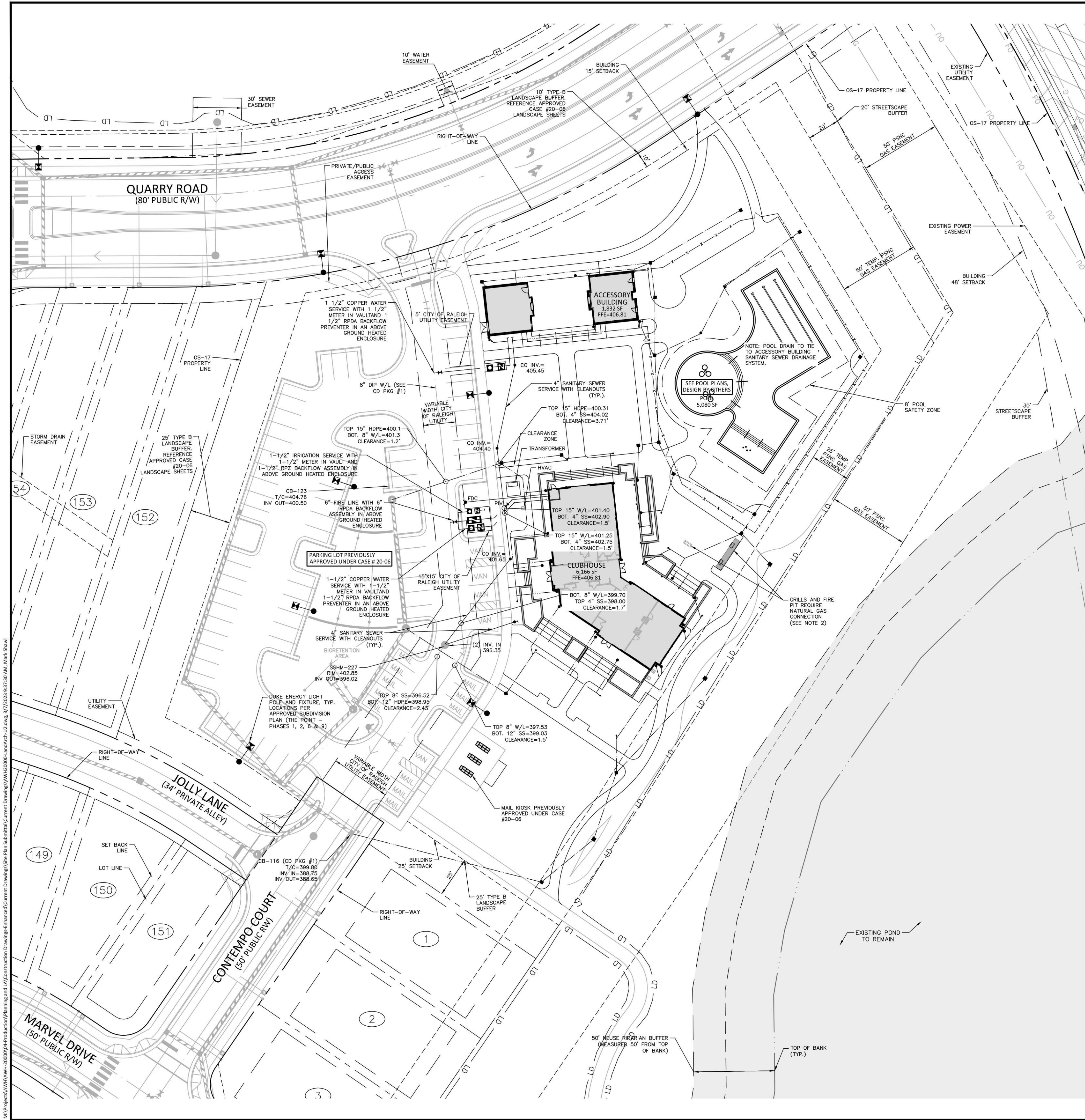
CB-121 T/C=400.48 INV IN=395.95 (JB-122) INV IN=396.25 (CB-124) INV OUT=395.40	JB-122 RM=401.20 INV IN=397.04 (JB-122A) INV OUT=396.81	JB-122A RM=402.75 INV IN=398.79 (JB-123) INV OUT=398.69	JB-123 RM=404.76 INV IN=400.34 INV OUT=400.34	CB-116 T/C=399.80 INV IN=389.50 (YI-116A) INV IN=388.75 (CB-117) INV OUT=388.65	YI-116A T/G=400.20 INV IN=392.85 (YI-116B) INV OUT=392.75	YI-116B T/G=399.80 INV IN=393.40 (YI-116C) INV IN=393.10 INV OUT=393.70	YI-116C T/G=400.30 INV IN=400.10 (YI-116H) INV OUT=399.85	YI-116D T/G=400.30 INV IN=399.95 (YI-116I) T/G=405.50 INV IN=400.10 (YI-116J) INV OUT=402.40	YI-116E T/G=406.84 INV IN=401.90 (YI-116K) INV OUT=401.50	YI-116F T/G=404.80 INV IN=403.00 (YI-116L) INV IN=401.90 (YI-116M) INV OUT=401.80	YI-116G T/G=405.50 INV IN=400.85 (YI-116N) T/G=405.45 INV IN=400.85 (YI-116O) INV OUT=400.75	YI-116H T/G=404.00 INV IN=400.85 (YI-116P) T/G=407.23 INV IN=404.35 INV OUT=401.05	YI-1601 T/G=403.30 INV OUT=399.25	YI-1701 T/G=405.80 INV IN=401.00 (YI-1702) INV OUT=400.90	YI-1702 T/G=404.70 INV OUT=401.20
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ROLESVILLE PLAN # SP22-04

FINAL DRAWING - RELEASED FOR CONSTRUCTION

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UTILITY LEGEND

	FIRE HYDRANT ASSEMBLY
	FIRE DEPARTMENT CONNECTION (FDC)
	WATER METER
	WATER VALVE
	POST INDICATOR VALVE
	VALVE IN MANHOLE
	METER & VAULT
	BACKFLOW PREVENTER
	REDUCER
	PLUG
	BLOW-OFF ASSEMBLY
	SANITARY SEWER MANHOLE
	SEWER CLEAN-OUT
	GREASE TRAP
	SEWER FLOW DIRECTION ARROW
	LIGHT POLE
	POWER POLE
	LINE BREAK SYMBOL
	WATERLINE
	WATER SERVICE LINE
	UTILITY SLEEVE
	SANITARY SEWER
	SEWER SERVICE LINE
	SEWER FORCE MAIN
	GAS LINE
	OVERHEAD UTILITY
	UNDERGROUND ELECTRIC
	TELEPHONE
	EASEMENT LINE

- SHEET NOTES:**
- SEE SHEET C0.00 PROJECT NOTES FOR GENERAL UTILITY NOTES.
 - ELECTRIC, TELEPHONE, GAS AND CABLE TV SERVICES ROUTING ARE NOT A PART OF THIS PLAN.
 - ON-SITE IRRIGATION SYSTEMS SHALL BE DESIGNED BY OTHERS. CONTRACTOR TO PROVIDE DETAILED PLANS TO ENGINEER OR OWNER'S REPRESENTATIVE.

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**THE POINT-AMENITY
 SITE PLAN
 EAST YOUNG STREET
 TOWN OF ROLESVILLE, WAKE FOREST TOWNSHIP,
 NORTH CAROLINA**

3/7/2023

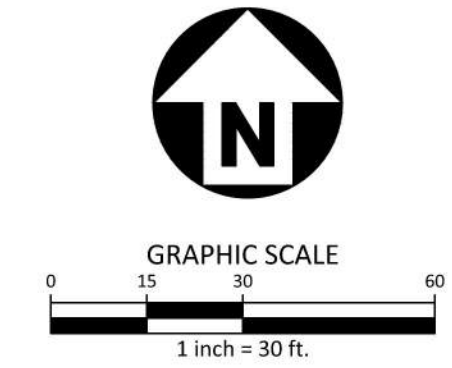
REVISIONS

NO.	DATE	RESPONSE TO TOWN COMMENT
1	07.15.2022	RESPONSE TO TOWN COMMENT
2	09.30.2022	RESPONSE TO TOWN COMMENT
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PLAN INFORMATION

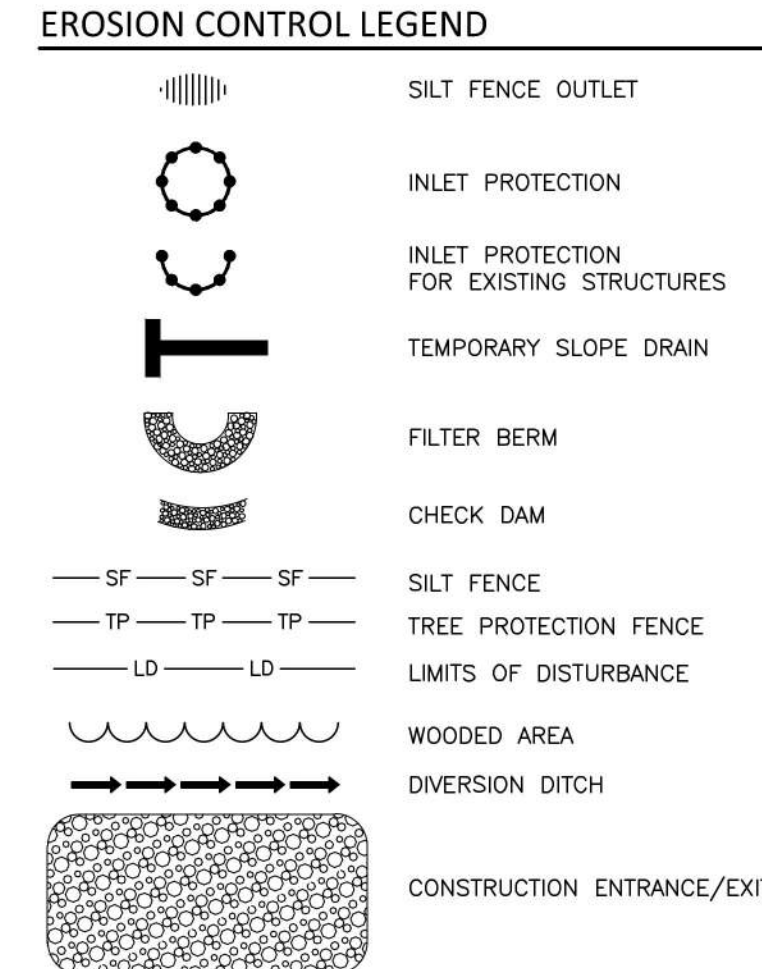
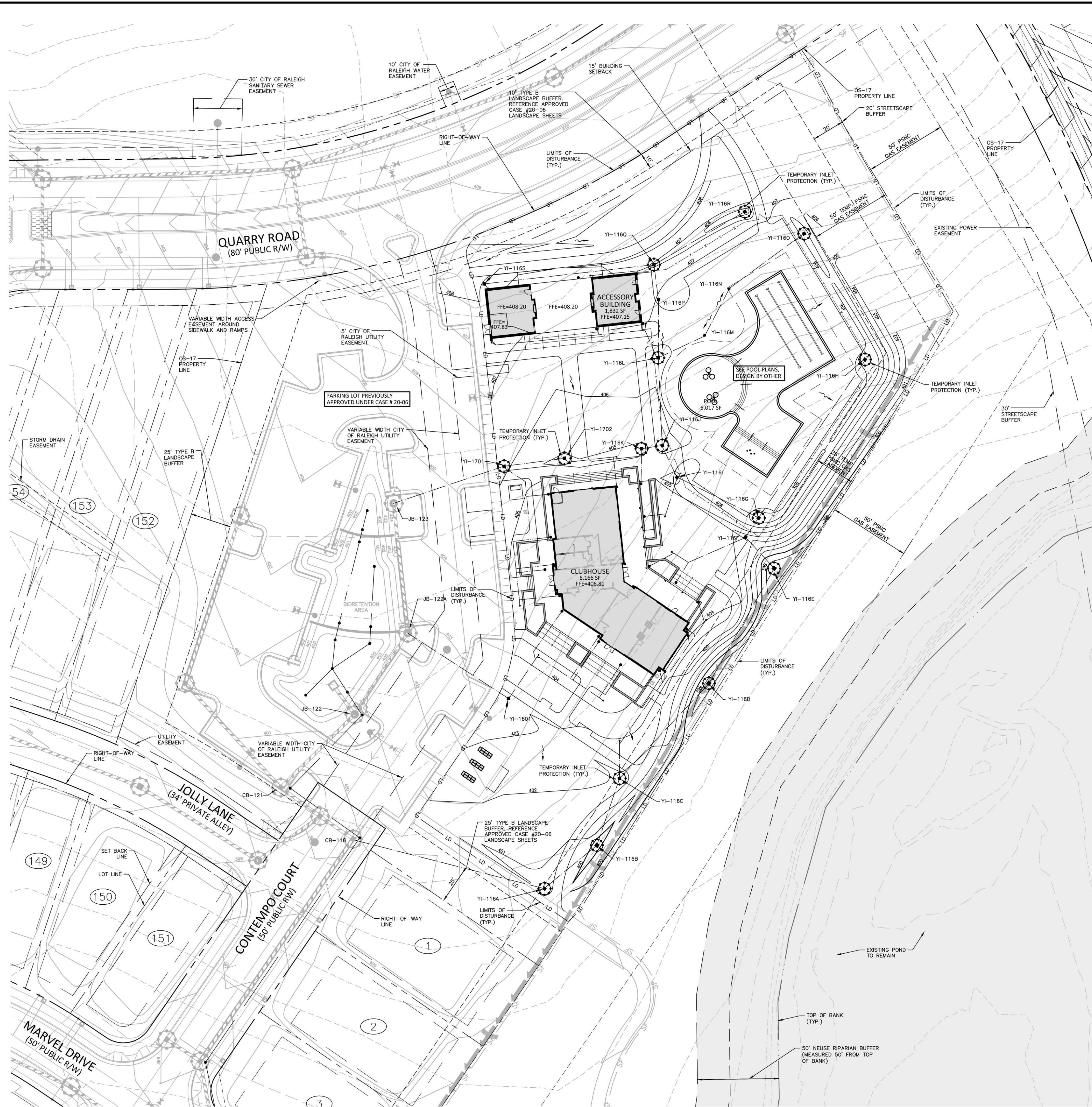
PROJECT NO.	AWH-20000
FILENAME	AWH20000-LANDARCH-U2
CHECKED BY	WTO
DRAWN BY	PTH
SCALE	1"=30'
DATE	04.01.2022

**UTILITY PLAN
 C4.00**



ROLESVILLE PLAN # SP22-04
 FINAL DRAWING - RELEASED FOR CONSTRUCTION

M:\Projects\AWH\AWH-20000\04-Production\Planning and LA\Construction Drawings-Enhanced\Current Drawings\Site Plan Submittal\Current Drawings\AWH20000-LandArch-U2.dwg, 3/7/2023 9:37:30 AM, Mark Shaw



- ### SHEET NOTES:
- SEE SHEET C0.00 FOR GRADING AND DRAINAGE NOTES.
 - ALL YARD INLET GRATES LOCATED WITHIN SOFTSCAPE SHALL BE 6" ROUND ATRIUM GRATE, BLACK BY NDS OR APPROVED EQUAL. PROVIDE MIN. 1" STONE MULCH SURROUND, STONE MULCH TO BE 3-5" RIVER STONE BY STONE CENTER OF CAROLINA OR APPROVED EQUAL.
 - ALL STORM DRAINAGE GRATES LOCATED IN HARDSCAPE AREAS SHALL MEET FLUSH WITH ADJACENT PAVING CONDITIONS AND SHALL BE PEDESTRIAN RATED, PRODUCT: NDS PRO 12" WAVE CATCH BASIN GRATE GRAY SKU# 12246Y.
 - ALL SIDEWALKS SHALL BE A MAXIMUM SLOPE OF 5% WITH A MAXIMUM CROSS SLOPE OF 2%.
 - ALL GRADING AND SUPPORT STRUCTURES ASSOCIATED WITH ANY RETAINING STRUCTURE SHALL NOT ENROACH INTO ANY REQUIRED BUFFER OR PROTECTED AREA (E.G., RCA, THE CRITICAL ROOT ZONES OF TREES, PUBLIC UTILITY EASEMENTS AND RIGHTS-OF-WAY), AND SHALL BE CONTAINED ENTIRELY ON SITE.
 - STORMWATER FOR THIS SITE IS CURRENTLY PERMITTED UNDER WAKE COUNTY PERMIT NUMBER SWF-049645-2020.

- ### EROSION CONTROL NOTES:
- SEE EROSION CONTROL PLANS SUBMITTED WITH CONSTRUCTION DRAWINGS FOR ENTIRE DEVELOPMENT. APPROVED SET, CASE # CD-20-06 (SHEETS C6.02A AND C6.05A) FOR EROSION CONTROL MEASURES AND DETAILS AND CONSTRUCTION SEQUENCE.
 - LAND DISTURBANCE FOR THIS SITE IS CURRENTLY PERMITTED UNDER WAKE COUNTY PERMIT NUMBER SEC-049643-2020.

- ### CONSTRUCTION SEQUENCE:
- OBTAIN GRADING PERMIT FROM THE WAKE COUNTY ENVIRONMENTAL SERVICES DEPARTMENT.
 - CALL ENVIRONMENTAL CONSULTANT JEEVAN NEUPANE, PE (919-819-8907) TO SCHEDULE A PRE-CONSTRUCTION MEETING. NOTIFY OWNER AND ENGINEER WHEN PRECON IS SCHEDULED SO THEY MY ALSO ATTEND.
 - INSTALL ALL INLET PROTECTION DEVICES AS SHOWN ON PLANS AS STORM DRAINAGE FOR THE AMENITY SITE IS INSTALLED.
 - COMPLETE FINE GRADING OF SITE. CONTINUE TO STABILIZE DISTURBED AREAS WITH VEGETATION AS GRADING IS COMPLETED.
 - NOTIFY NCDOD-DEM/L AND WAKE COUNTY E&S INSPECTOR, A MINIMUM OF 10 DAYS PRIOR TO INITIATING BASIN DEWATERING/REMOVAL SEQUENCE, PER NCG01 PERMIT. ANY BASIN REMOVAL OR CONVERSION TO A PERMANENT SCM, MUST ALSO MEET REQUIREMENTS OF CD PACKAGE 1 EROSION CONTROL PERMIT (SEC-049643-2020) SINCE OTHER AREAS FROM CD PACKAGE 1 ALSO DRAIN TO BASINS THAT COLLECT RUNOFF FROM THE AMENITY AREA.
 - PRIOR TO THE REMOVAL OR CONVERSION OF ANY SEDIMENT BASIN, THE CONTRACTOR IS TO CONTACT THE WAKE COUNTY ENVIRONMENTAL CONSULTANT JEEVAN NEUPANE, PE (919-819-8907).

DISTURBED AREA = 1.61 AC.

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ASHTON WOODS.

**THE POINT-AMENITY
SITE PLAN
EAST YOUNG STREET
TOWN OF ROLESVILLE, WAKE FOREST TOWNSHIP,
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3/7/2023

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PLAN INFORMATION

PROJECT NO. AWH-20000
FILENAME AWH20000-LANDARCH-EC1
CHECKED BY WTO
DRAWN BY ...
SCALE 1"=30'
DATE 04.01.2022

**SHEET
EROSION CONTROL PLAN**

C6.00

ROLESVILLE PLAN # SP22-04
FINAL DRAWING - RELEASED FOR CONSTRUCTION

M:\Projects\AWH\20000\04-Production\Planning and LA\Construction Drawings\Enhanced\Current Drawings\Site Plan\Submittal\Current Drawings\AWH20000-LandArch-EC1.dwg, 3/7/2023 9:35:54 AM, Mike Showl

GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCGO1 CONSTRUCTION GENERAL PERMIT

Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCGO1 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

SECTION E: GROUND STABILIZATION		
Site Area Description	Required Ground Stabilization Timeframes Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b) High Quality Water (HQW) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed.
(d) Slopes 3:1 to 4:1	14	-7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed
(e) Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

GROUND STABILIZATION SPECIFICATION
Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization	Permanent Stabilization
<ul style="list-style-type: none"> Temporary grass seed covered with straw or other mulches and tackifiers Hydroseeding Rollled erosion control products with or without temporary grass seed Appropriately applied straw or other mulch Plastic sheeting 	<ul style="list-style-type: none"> Permanent grass seed covered with straw or other mulches and tackifiers Geotextile fabrics such as permanent soil reinforcement matting Hydroseeding Shrubs or other permanent plantings covered with mulch Uniform and evenly distributed ground cover sufficient to restrain erosion Structural methods such as concrete, asphalt or retaining walls Rollled erosion control products with grass seed

- POLYACRYLAMIDES (PAMS) AND FLOCCULANTS**
- Select flocculants that are appropriate for the soils being exposed during construction, selecting from the NC DWR List of Approved PAMS/Flocculants.
 - Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
 - Apply flocculants at the concentrations specified in the NC DWR List of Approved PAMS/Flocculants and in accordance with the manufacturer's instructions.
 - Provide ponding area for containment of treated Stormwater before discharging offsite.
 - Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

EQUIPMENT AND VEHICLE MAINTENANCE

- Maintain vehicles and equipment to prevent discharge of fluids.
- Provide drip pans under any stored equipment.
- Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
- Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
- Remove leaking vehicles and construction equipment from service until the problem has been corrected.
- Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE

- Never bury or burn waste. Place litter and debris in approved waste containers.
- Provide a sufficient number and size of waste containers (e.g. dumpster, trash receptacle) on site to contain construction and domestic wastes.
- Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
- Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
- Anchor all lightweight items in waste containers during times of high winds.
- Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
- Dispose waste off-site at an approved disposal facility.
- On business days, clean up and dispose of waste in designated waste containers.

PAINT AND OTHER LIQUID WASTE

- Do not dump paint and other liquid waste into storm drains, streams or wetlands.
- Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Contain liquid waste in a controlled area.
- Containment must be labeled, sized and placed appropriately for the needs of site.
- Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

PORTABLE TOILETS

- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
- Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
- Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

EARTHEN STOCKPILE MANAGEMENT

- Show stockpile locations on plans. Locate earthen-stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
- Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
- Provide stable stone access point when feasible.
- Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.

CONCRETE WASHOUTS

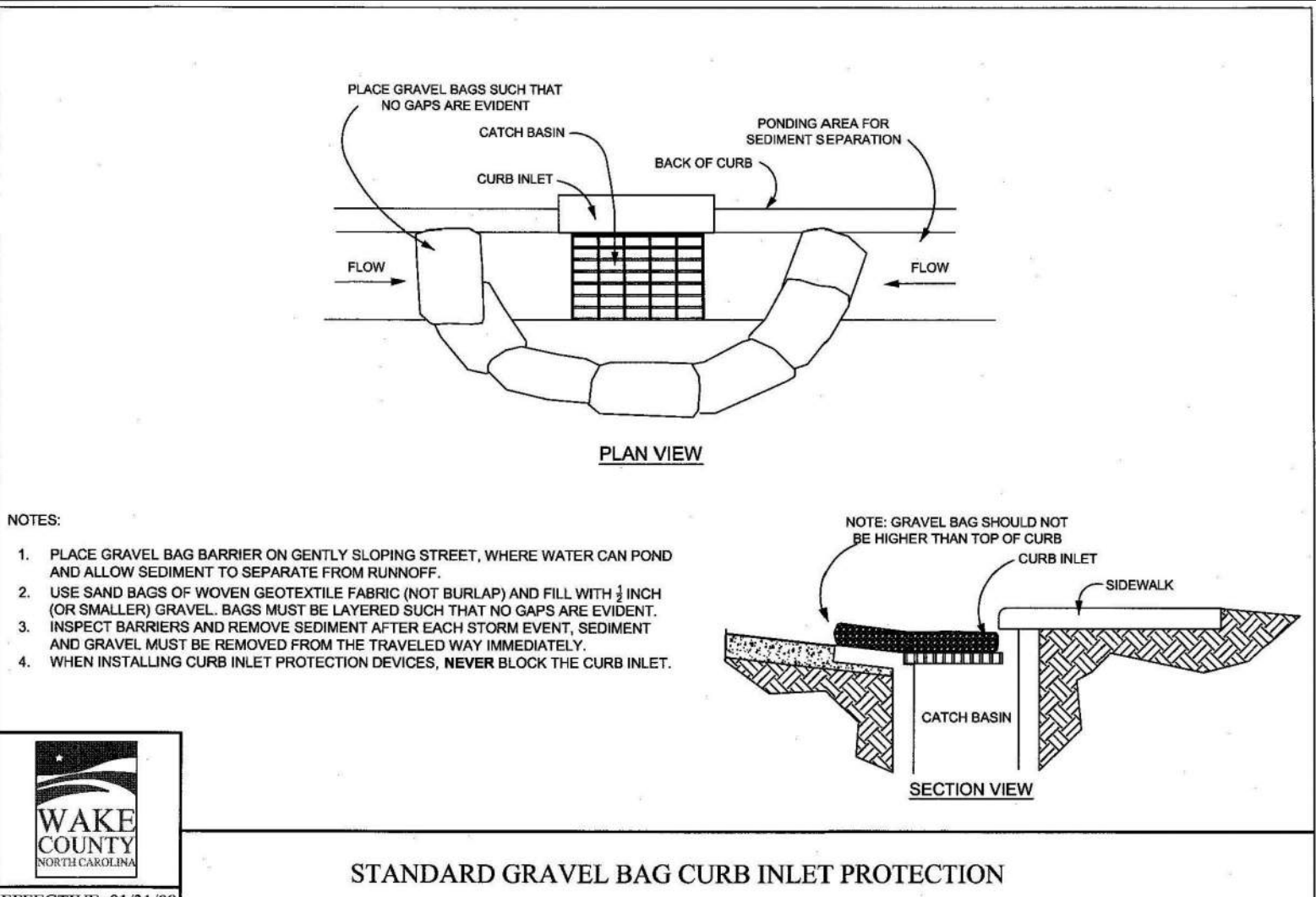
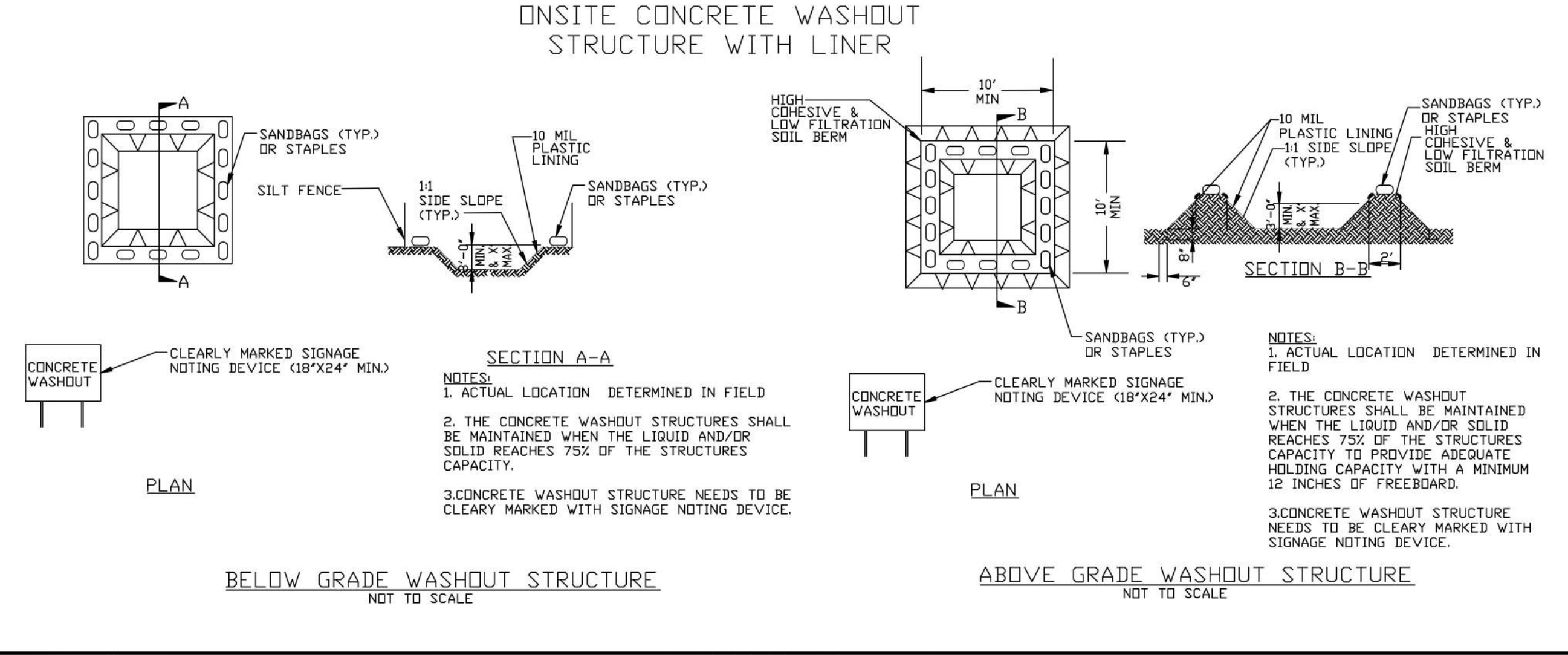
- Do not discharge concrete or cement slurry from the site.
- Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
- Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
- Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
- Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
- Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
- Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
- Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
- Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
- At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

HERBICIDES, PESTICIDES AND RODENTICIDES

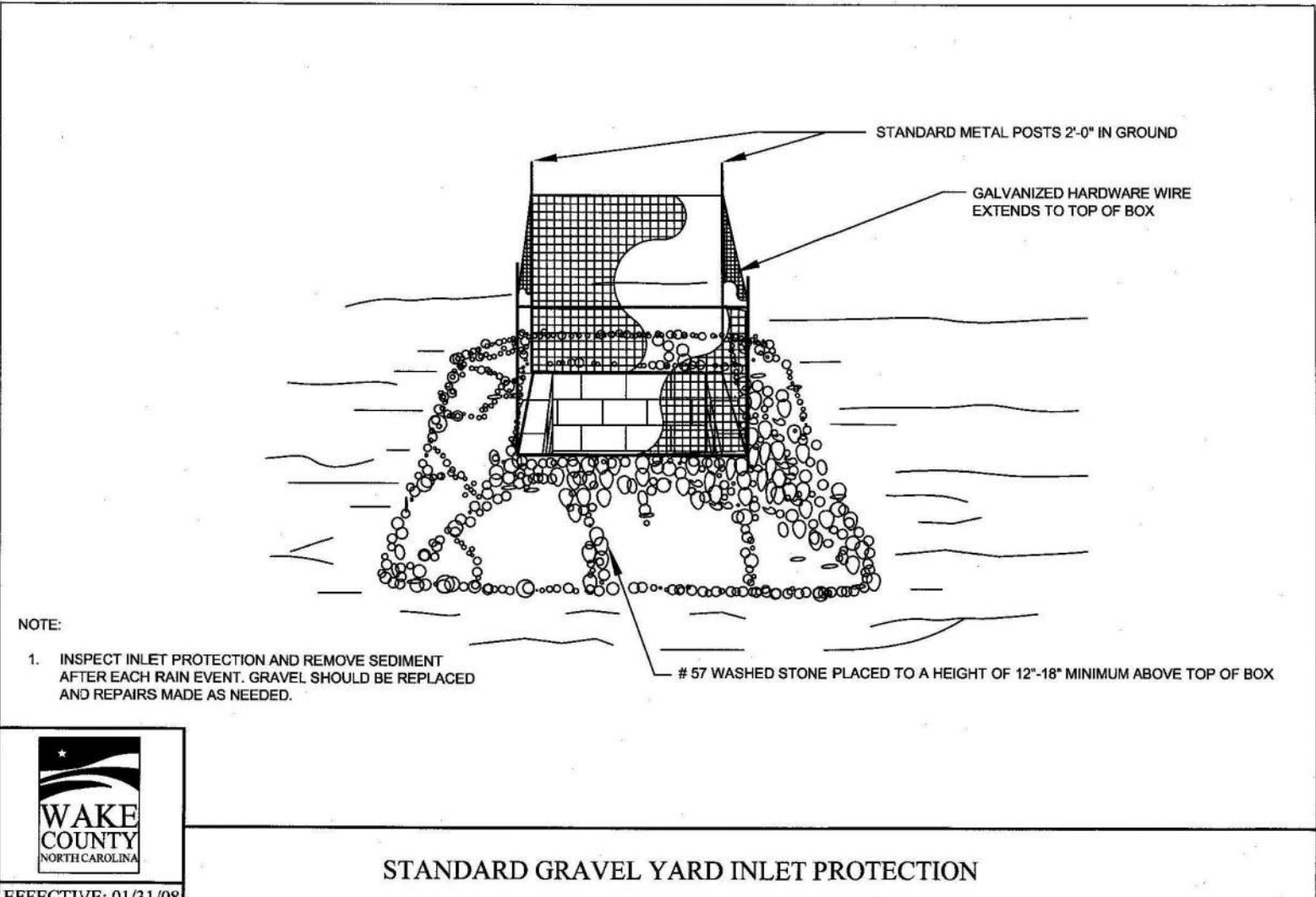
- Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
- Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
- Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
- Do not stockpile these materials onsite.

HAZARDOUS AND TOXIC WASTE

- Place designated hazardous waste collection areas on-site.
- Place hazardous waste containers under cover or in secondary containment.
- Do not store hazardous chemicals, drums or bagged materials directly on the ground.



EFFECTIVE: 01/31/08



EFFECTIVE: 01/31/08

NCGO1 GROUND STABILIZATION AND MATERIALS HANDLING EFFECTIVE: 04/01/19

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION A: SELF-INSPECTION

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record.

Inspect	Frequency (during normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no individual daily rainfall information is available, record the cumulative rain measurement for those unattended days (and this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "zero". The permittee may use another rain-measuring device approved by the Division.
(2) E&SC Measures	At least once per 7 calendar days and within 24 hours of a rain event > 1.0 inch in 24 hours	1. Identification of the measures inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Indication of whether the measures were operating properly, 5. Description of maintenance needs for the measure, 6. Description, evidence, and date of corrective actions taken.
(3) Stormwater discharge outfalls (SDOs)	At least once per 7 calendar days and within 24 hours of a rain event > 1.0 inch in 24 hours	1. Identification of the discharge outfalls inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration, 5. Indication of visible sediment leaving the site, 6. Description, evidence, and date of corrective actions taken.
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event > 1.0 inch in 24 hours	If visible sedimentation is found outside site limits, then a record of the following shall be made: 1. Actions taken to clean up or stabilize the sediment that has left the site limits, 2. Description, evidence, and date of corrective actions taken, and 3. An explanation as to the actions taken to control future releases.
(5) Streams or wetlands onsite or offsite (where feasible)	At least once per 7 calendar days and within 24 hours of a rain event > 1.0 inch in 24 hours	If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made: 1. Description, evidence and date of corrective actions taken, and 2. Records of the required reports to the appropriate Division Regional Office per Part III, Section C, Item (2)(g) of this permit.
(6) Ground stabilization measures	After each phase of grading	1. The phase of grading (installation of perimeter E&SC measures, clearing and grubbing, installation of storm drainage facilities, completion of all land-disturbing activity, construction or redevelopment, permanent ground cover). 2. Documentation that the required ground stabilization measures have been provided within the required timeframe or an assurance that they will be provided as soon as possible.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION B: RECORDKEEPING

1. E&SC Plan Documentation
The approved E&SC plan as well as any approved deviation shall be kept on the site. The approved E&SC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&SC plan shall be kept on site and available for inspection at all times during normal business hours.

Item to Document	Documentation Requirements
(a) Each E&SC measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&SC plan.	Initial and date each E&SC measure on a copy of the approved E&SC plan or complete, date and sign an inspection report that lists each E&SC measure shown on the approved E&SC plan. This documentation is required upon the initial installation of the E&SC measures or if the E&SC measures are modified after initial installation.
(b) A phase of grading has been completed.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved E&SC plan.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all E&SC measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to E&SC measures.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate the completion of the corrective action.

2. Additional Documentation to be Kept on Site
In addition to the E&SC plan documents above, the following items shall be kept on the site and available for inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

- This General Permit as well as the Certificate of Coverage, after it is received.
 - Records of inspections made during the previous twelve months. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.
- 3. Documentation to be Retained for Three Years**
All data used to complete the e-NOI and all inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION C: REPORTING

1. Occurrences that Must be Reported

- Permittees shall report the following occurrences:
- Visible sediment deposition in a stream or wetland.
 - Oil spills if:
 - They are 25 gallons or more,
 - They are less than 25 gallons but cannot be cleaned up within 24 hours,
 - They cause sheen on surface waters (regardless of volume), or
 - They are within 100 feet of surface waters (regardless of volume).
 - Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref. 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref. 40 CFR 302.4) or G.S. 143-215.85.
 - Anticipated bypasses and unanticipated bypasses.
 - Noncompliance with the conditions of this permit that may endanger health or the environment.

2. Reporting Timeframes and Other Requirements

After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Department's Environmental Emergency Center personnel at (800) 858-0368.

Occurrence	Reporting Timeframes (After Discovery) and Other Requirements
(a) Visible sediment deposition in a stream or wetland	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis. If the stream is named on the NC 303(d) list as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired-waters conditions.
(b) Oil spills and releases of hazardous substances per Item 1(b)-(c) above	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release.
(c) Anticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"> A report at least ten days before the date of the bypass, if possible. The report shall include an evaluation of the anticipated quality and effect of the bypass.
(d) Unanticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that includes an evaluation of the quality and effect of the bypass.
(e) Noncompliance with the conditions of this permit that may endanger health or the environment [40 CFR 122.41(i)(7)]	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times; and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent recurrence of the noncompliance. [40 CFR 122.41(i)(6). Division staff may waive the requirement for a written report on a case-by-case basis.

PART II, SECTION G, ITEM (4) DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT

Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down for maintenance or close out unless this is infeasible. The circumstances in which it is not feasible to withdraw water from the surface shall be rare (for example, times with extended cold weather). Non-surface withdrawals from sediment basins shall be allowed only when all of the following criteria have been met:

- The E&SC plan authority has been provided with documentation of the non-surface withdrawal and the specific time periods or conditions in which it will occur. The non-surface withdrawal shall not commence until the E&SC plan authority has approved these items.
- The non-surface withdrawal has been reported as an anticipated bypass in accordance with Part III, Section C, Item (2)(c) and (d) of this permit.
- Dewatering discharges are treated with controls to minimize discharges of pollutants from stormwater that is removed from the sediment basin. Examples of appropriate controls include properly sited, designed and maintained dewatering tanks, weir tanks, and filtration systems.
- Vegetated, upland areas of the sites or a properly designed stone pad is used to the extent feasible at the outlet of the dewatering treatment devices described in Item (c) above.
- Velocity dissipation devices such as check dams, sediment traps, and riprap are provided at the discharge points of all dewatering devices, and
- Sediment removed from the dewatering treatment devices described in Item (c) above is disposed of in a manner that does not cause deposition of sediment into waters of the United States.

NCGO1 SELF-INSPECTION, RECORDKEEPING AND REPORTING EFFECTIVE: 04/01/19

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ASHTON WOODS

THE POINT-AMENITY
SITE PLAN
EAST YOUNG STREET
TOWN OF ROLESVILLE, WAKE FOREST TOWNSHIP,
NORTH CAROLINA

3/7/2023

REVISIONS

NO.	DATE	RESPONSE TO TOWN COMMENT
1	07.15.2022	RESPONSE TO TOWN COMMENT
2	09.30.2022	RESPONSE TO TOWN COMMENT
3	03.07.2023	WAKE COUNTY COMMENT

PLAN INFORMATION

PROJECT NO. AWH-20000
FILENAME AWH20000-LANDARCH-ECl
CHECKED BY WTO
DRAWN BY ...
SCALE 1"=30'
DATE 04.01.2022

EROSION CONTROL
DETAILS
C6.01
FINAL DRAWING - RELEASED FOR CONSTRUCTION

ROLESVILLE PLAN # SP22-04



McADAMS

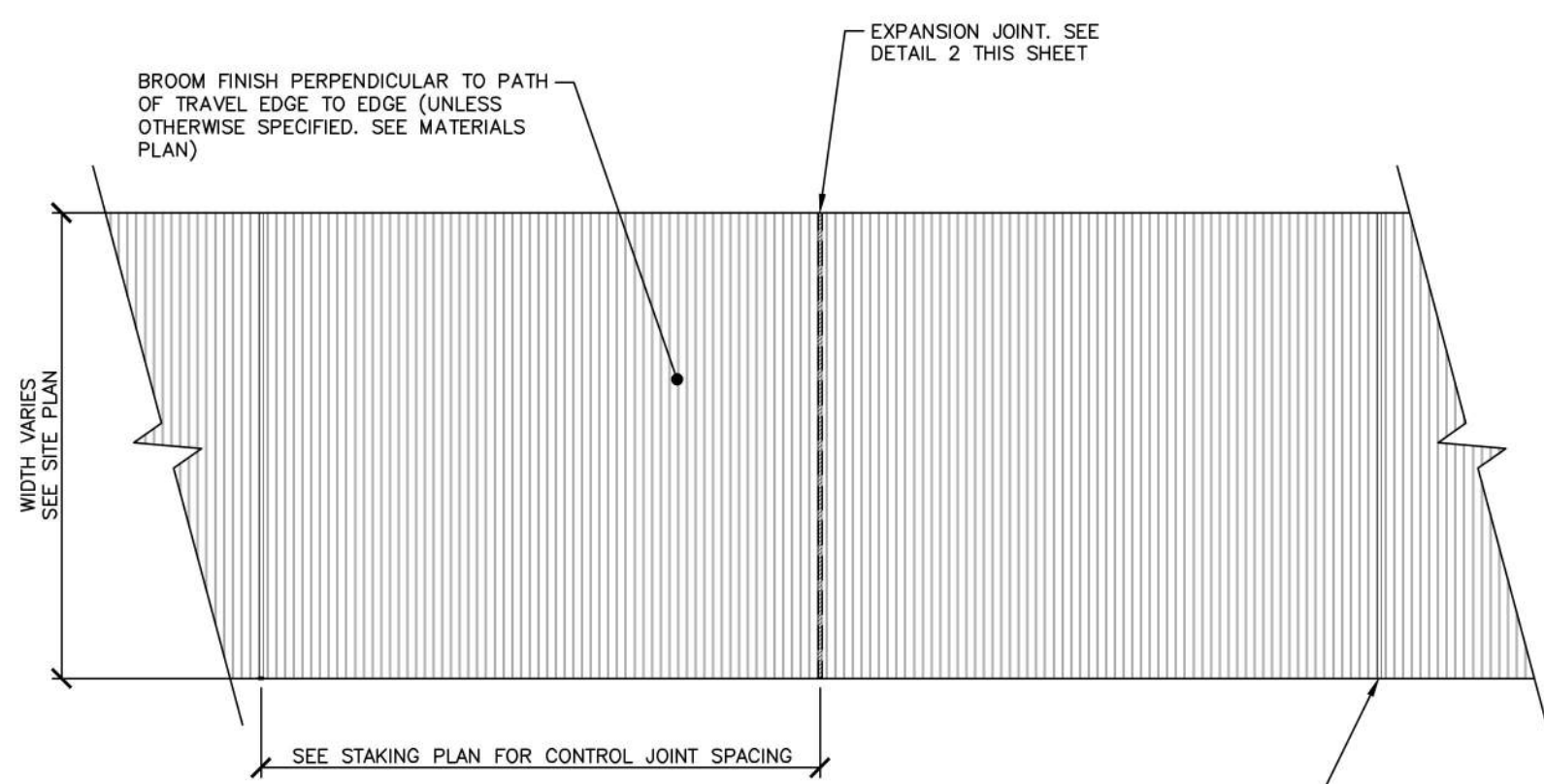
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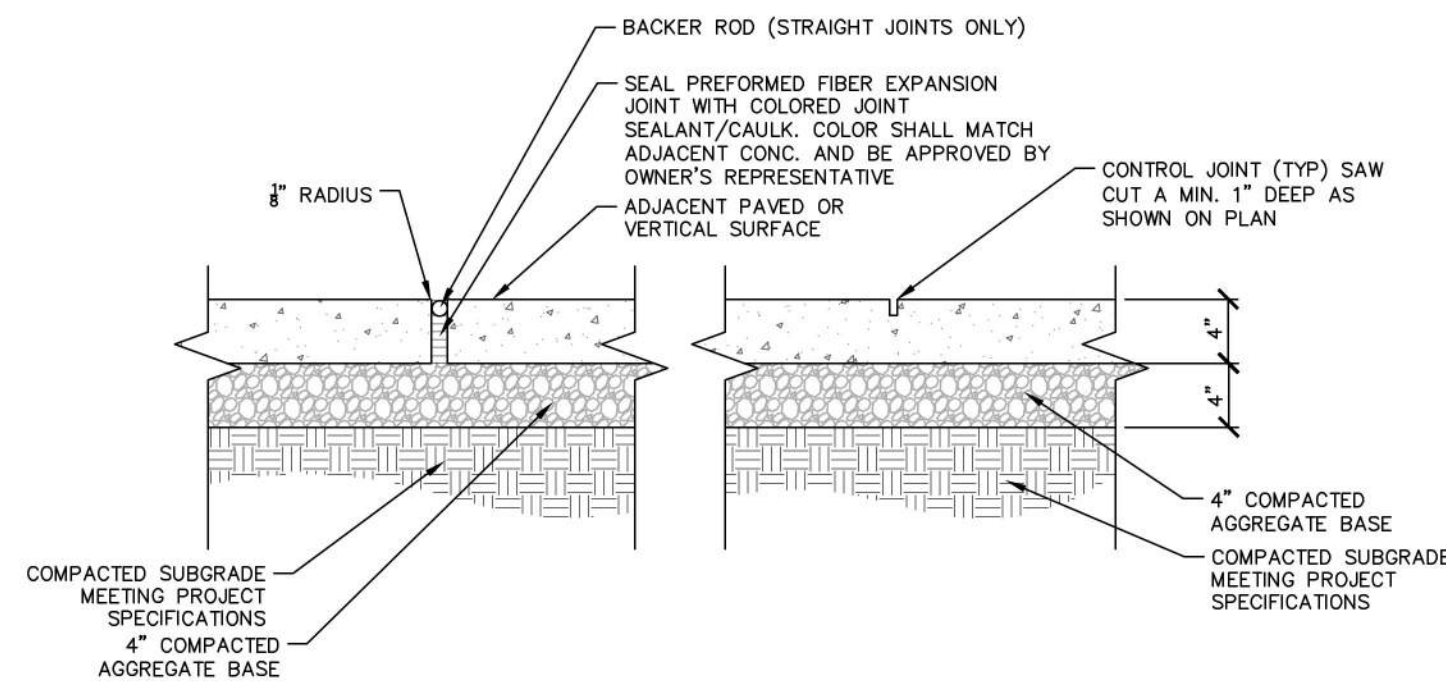
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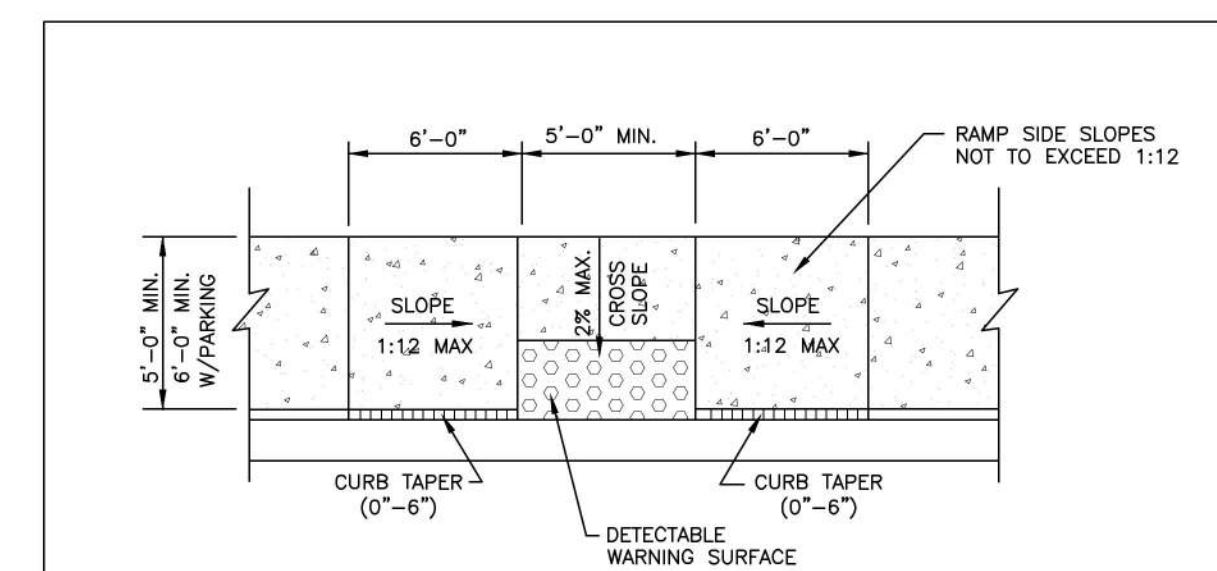
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- NOTES:
- REFER TO LAYOUT PLAN FOR SIDEWALK LOCATIONS, TYPES AND WIDTHS.
 - REFER TO DETAILED LAYOUT PLAN FOR SPECIFIC JOINT LOCATIONS AND SPACING.
 - USE THIS DETAIL FOR TYPICAL JOINT SPACING WHEN NO SPECIFIC JOINT SPACING IS INDICATED ON PLANS.
 - CONTROL JOINT SPACING SHALL BE EQUAL TO SIDEWALK WIDTH BUT IN NO INSTANCE EXCEED 6'. SEE MATERIALS & STAKING PLAN FOR ALL OTHER JOINT SPACING.
 - MAXIMUM SIDEWALK CROSS-SLOPE IS 2%.
 - POLYMERIC JOINTING SAND TO BE IN COLOR COMPLEMENTARY TO CONCRETE COLOR.



- NOTES:
- EXPANSION JOINTS SHALL BE INSTALLED WHERE CONCRETE PAVEMENT ABUTS ALL VERTICAL SURFACES INCLUDING BUT NOT LIMITED TO ALL BUILDINGS, STRUCTURES, STAIRS, CURBS, COLUMNS, WALLS, LIGHT POLES, ETC.
 - WHERE WALK ABUTS RIGID STRUCTURE, JOINT SHALL BE WATERTIGHT.
 - PROVIDE EXPANSION JOINTS @ 20' O.C. MAX UNLESS OTHERWISE SHOWN/ REQUIRED. (SEE MATERIALS & STAKING PLAN)
 - CONTROL JOINT SPACING SHALL BE EQUAL TO SIDEWALK WIDTH BUT IN NO INSTANCE EXCEED 6'. SEE MATERIALS & STAKING PLAN FOR ALL OTHER JOINT SPACING.
 - SAW CUT TO A MIN. DEPTH OF 1". CONTRACTOR TO CLOSELY COORDINATE LOCATIONS AND DESIGNS PRIOR TO AND DURING CONSTRUCTION.
 - ALL CONCRETE SHALL BE 3,000 PSI UNLESS OTHERWISE REQUIRED BY PROJECT SPECIFICATIONS.
 - POLYMERIC JOINTING SAND TO BE IN COLOR COMPLEMENTARY TO CONCRETE COLOR.



NOTE: RAMP LANDING AREA SHALL RECEIVE A 24" DETECTABLE WARNING SURFACE OF COLOR TO CONTRAST WITH ADJOINING SURFACES PER ICC A117.1-2009 SECT. 705 REQUIREMENTS.

ACCESSIBLE SIDEWALK RAMP
N.T.S.

01 CONCRETE SIDEWALK

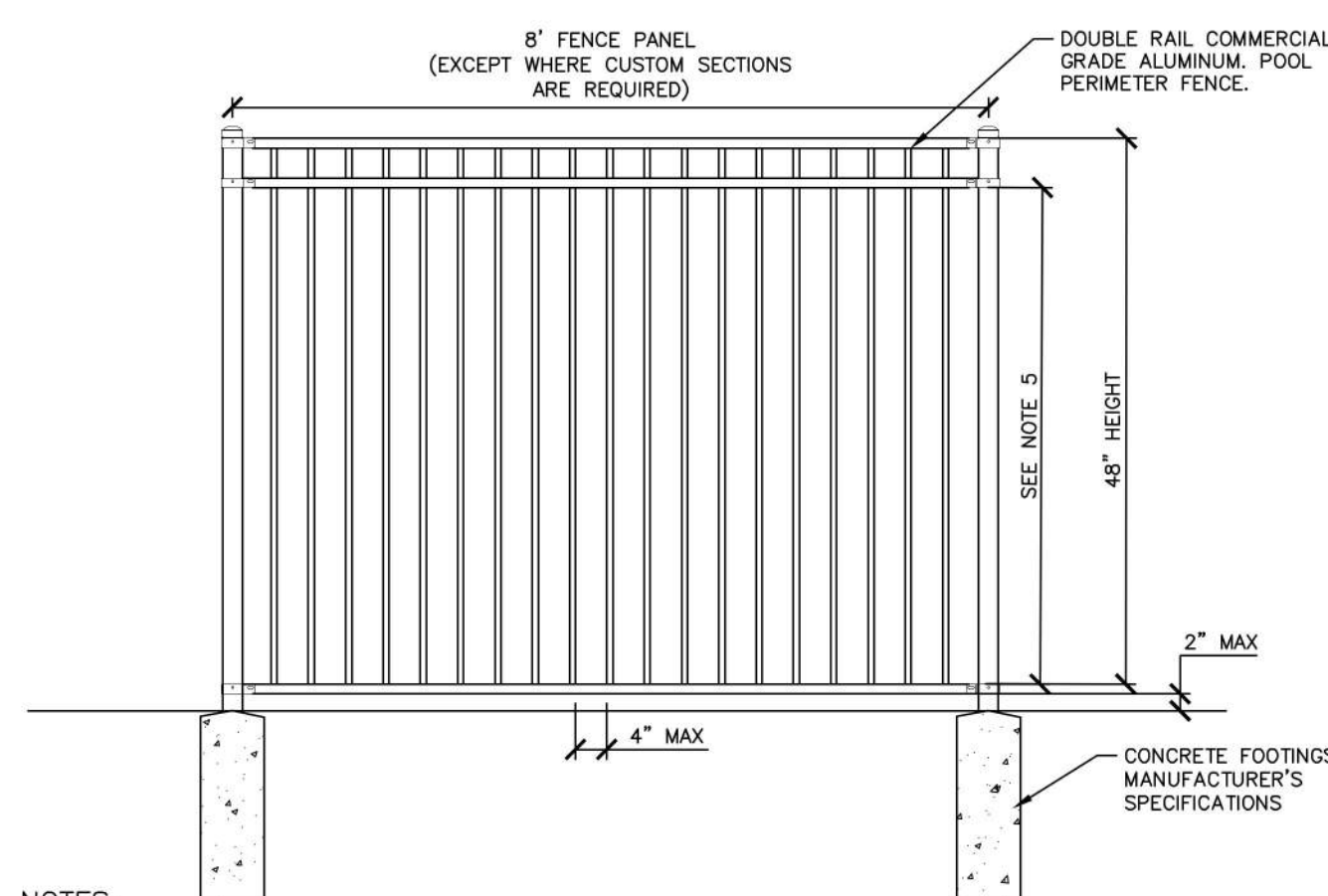
PLAN

SECTION

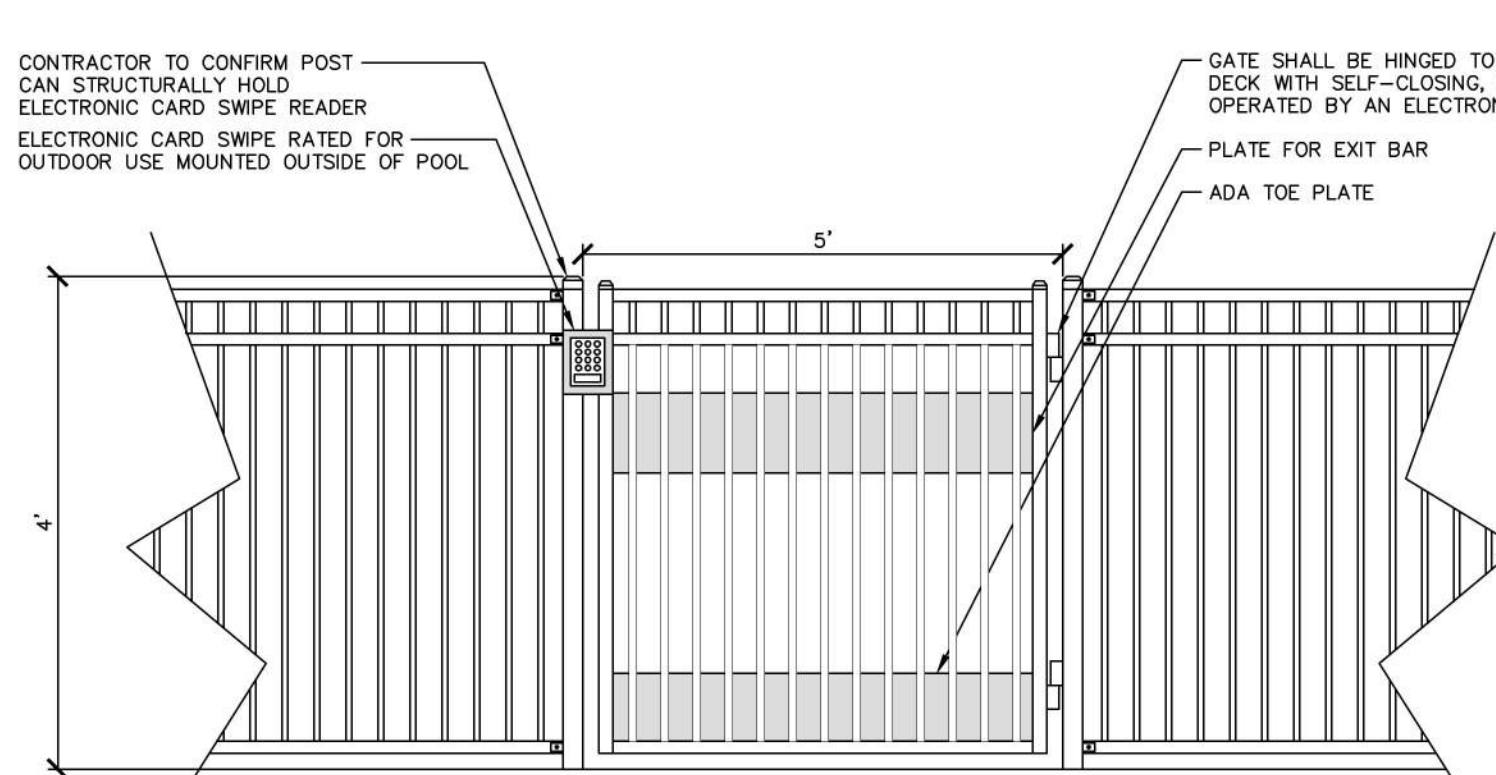
SCALE: 1"=1'-0"

02 ACCESSIBLE SIDEWALK RAMP

SCALE: NTS

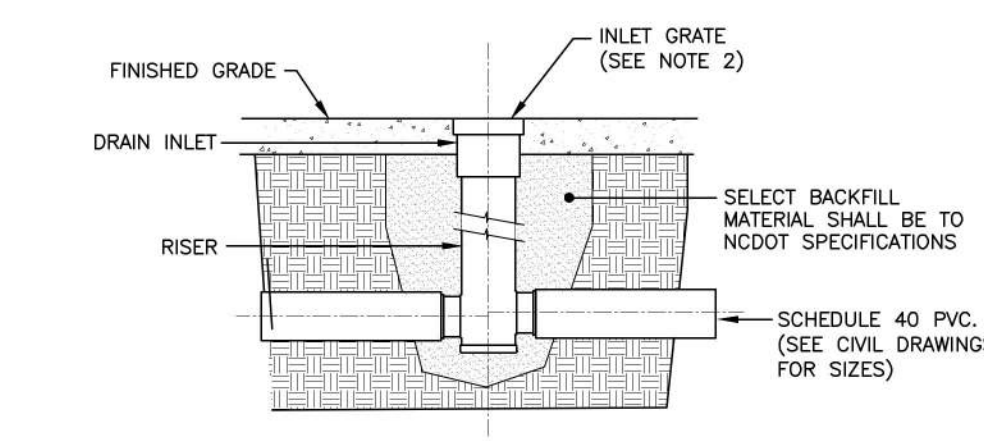
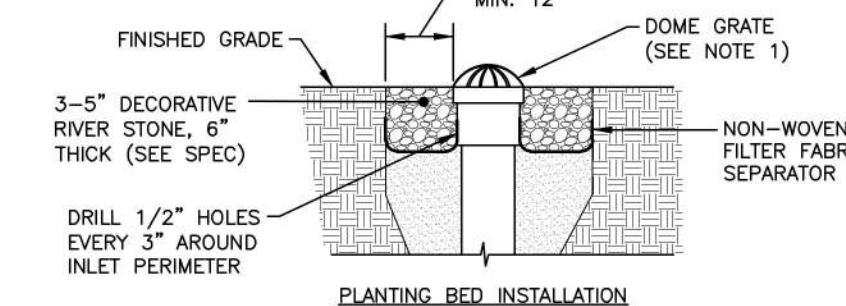


- NOTES:
- ALL FASTENERS AND HARDWARE SHALL BE S.S.
 - FENCE TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
 - FENCE DIMENSIONS (OR EQUAL) - CONTRACTOR TO ENSURE FENCE MEETS ALL APPLICABLE POOL CODES COMMERCIAL STRENGTH ALUMINUM
 - CONTRACTOR TO SUBMIT MANUFACTURER INFORMATION AND CUT SHEETS FOR LATCH PRIOR TO ORDERING. COORDINATE THE SYSTEM WITH OTHER SITE ACCESS CONTROLS AS REQUIRED.
 - CONFIRM POOL FENCE MEETS LOCAL CODE CRITERIA.
 - POOL GATE AND POOL FENCE TO BE FLUSH.
 - POOL GATE SHALL MEET ADA & ALL CODES. BRING ANY DISCREPANCIES TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
 - FENCE TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.



- NOTES:
- GATE HARDWARE WILL BE OPERABLE WITH ONE HAND AND WILL NOT REQUIRE >8LBS OF FORCE, PINCHING, TIGHT GRASPING OR TWISTING OF THE WRIST TO OPERATE.
 - GATE ENTRY CONTROLS WILL BE LOCATED NOT LESS THAN 34" MINIMUM AND 48" MAXIMUM ABOVE FINISHED GRADE.
 - CONTRACTOR TO SUBMIT MANUFACTURER INFORMATION AND CUT SHEETS FOR LATCH PRIOR TO ORDERING. COORDINATE THE SYSTEM WITH OTHER SITE ACCESS CONTROLS AS REQUIRED.
 - CONFIRM POOL FENCE MEETS LOCAL CODE CRITERIA.
 - POOL GATE AND POOL FENCE TO BE FLUSH.
 - POOL GATE SHALL MEET ADA & ALL CODES. BRING ANY DISCREPANCIES TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
 - FENCE TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.

- MATERIAL AND SIZE:
- GATE AND FENCE SHALL BE COMMERCIAL GRADE ALUMINUM (OR APPROVED EQUAL)
 - ALL FASTENERS AND HARDWARE SHALL BE S.S.
 - GATE DIMENSIONS (OR APPROVED EQUAL)
 - POSTS: 2 1/2" x 2 1/2" - NO EXPOSED SCREW SYSTEM
 - RAILS: 1 1/2" x 1 1/2" - NO EXPOSED SCREW SYSTEM
 - PICKETS: 3/4" x 3/4" w/ 3 1/4" SPACING
 - FINISH: SATIN BLACK, SHOP APPLIED POWDER COAT



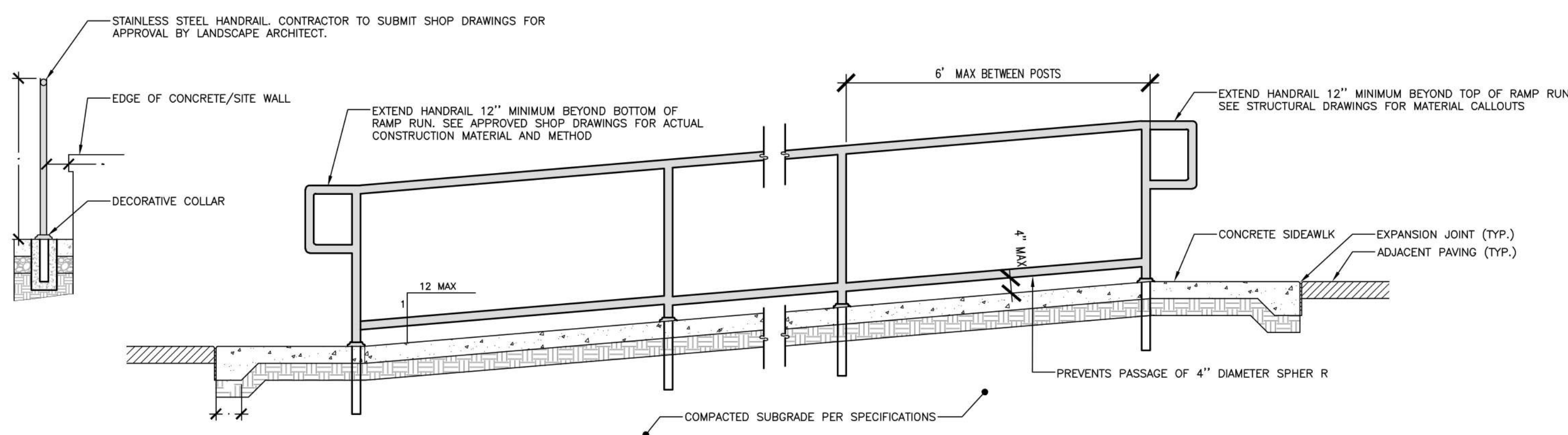
- NOTES:
- PLANTING BED: "NYLOPLAST" DUCTILE IRON DOME GRATE.
 - HARDSCAPE: INLET GRATE TO BE HDPE 12" SQUARE WAVE CATCH BASIN GRATE, GRAY FINISH.
 - POOL DECK: INLET TO BE ROUND 6" ROUND GRATE, GRAY FINISH.
 - FOLLOW MANUFACTURER'S GUIDELINES FOR MATERIAL REQUIREMENTS AND INSTALLATION METHODS.
 - SEE GRADING PLAN FOR ALL GRATE SIZES.

04 LANDSCAPE DRAIN INLET

SCALE: NTS

03 POOL FENCE AND GATE

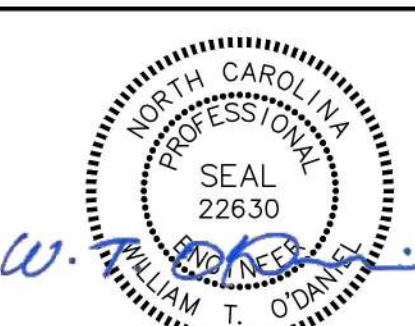
SCALE: NTS



05 ADA RAMP

SCALE: NTS

THE POINT
SITE PLAN
EAST YOUNG STREET
TOWN OF ROLESVILLE, WAKE FOREST TOWNSHIP,
NORTH CAROLINA



3/7/2023



REVISIONS

NO.	DATE	RESPONSE TO TOWN COMMENT
1	07.15.2022	RESPONSE TO TOWN COMMENT
2	09.30.2022	RESPONSE TO TOWN COMMENT
3	03.07.2023	WAKE COUNTY COMMENT

PLAN INFORMATION

PROJECT NO.	AWH-20000
FILENAME	AWH20000-LANDARCH-02
CHECKED BY	JAD
DRAWN BY	PTH
SCALE	AS SHOWN
DATE	04.01.2022

SHEET

SITE DETAILS

C8.00

ROLESVILLE PLAN # SP22-04

FINAL DRAWING - RELEASED FOR CONSTRUCTION



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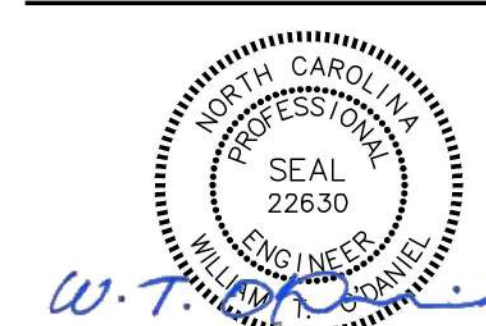
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THE POINT-AMENITY
SITE PLAN
EAST YOUNG STREET
TOWN OF ROLESVILLE, WAKE FOREST TOWNSHIP,
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3/7/2023

REVISIONS

Table with 4 columns: NO., DATE, RESPONSE TO TOWN COMMENT, RESPONSE TO TOWN COMMENT

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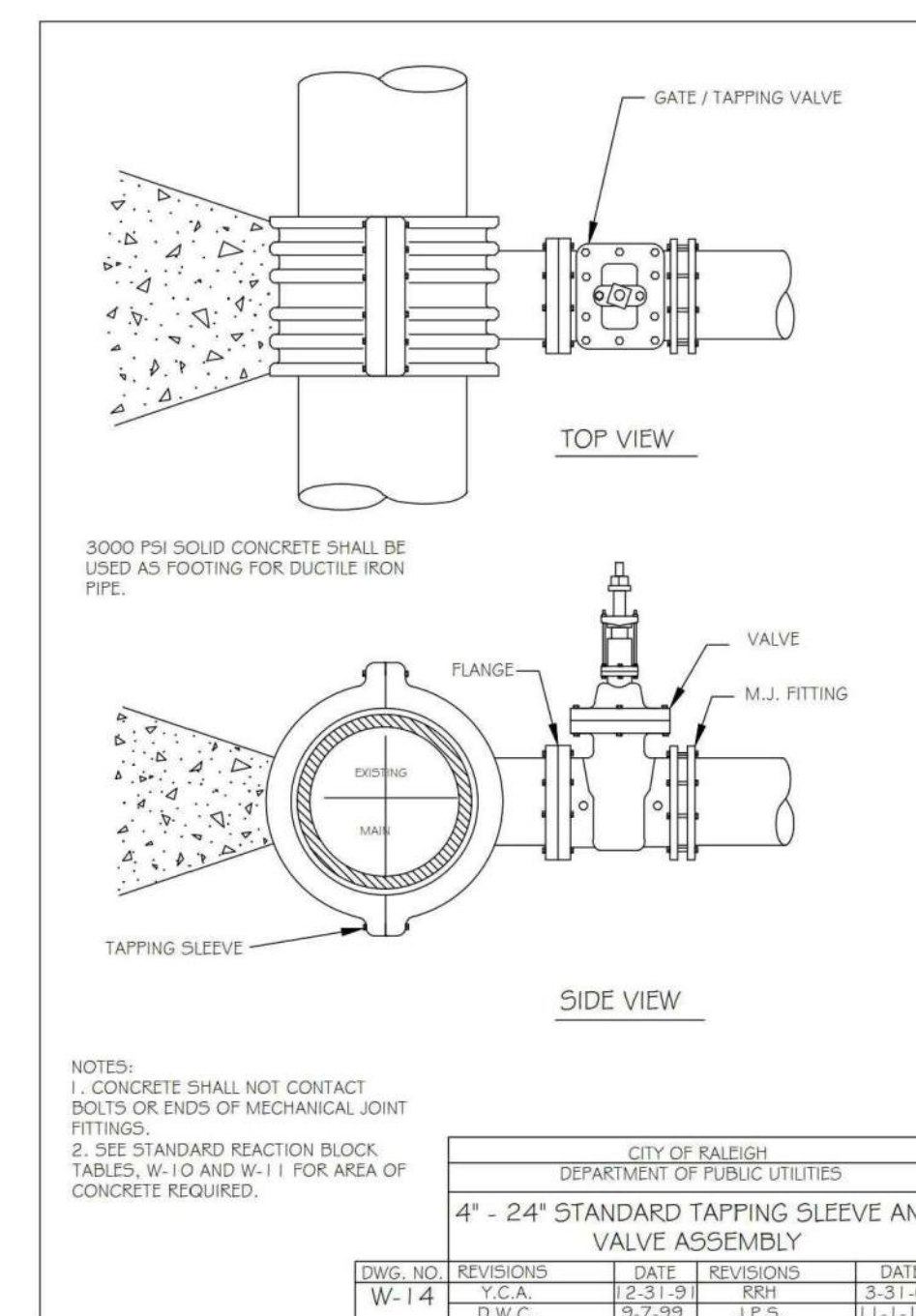
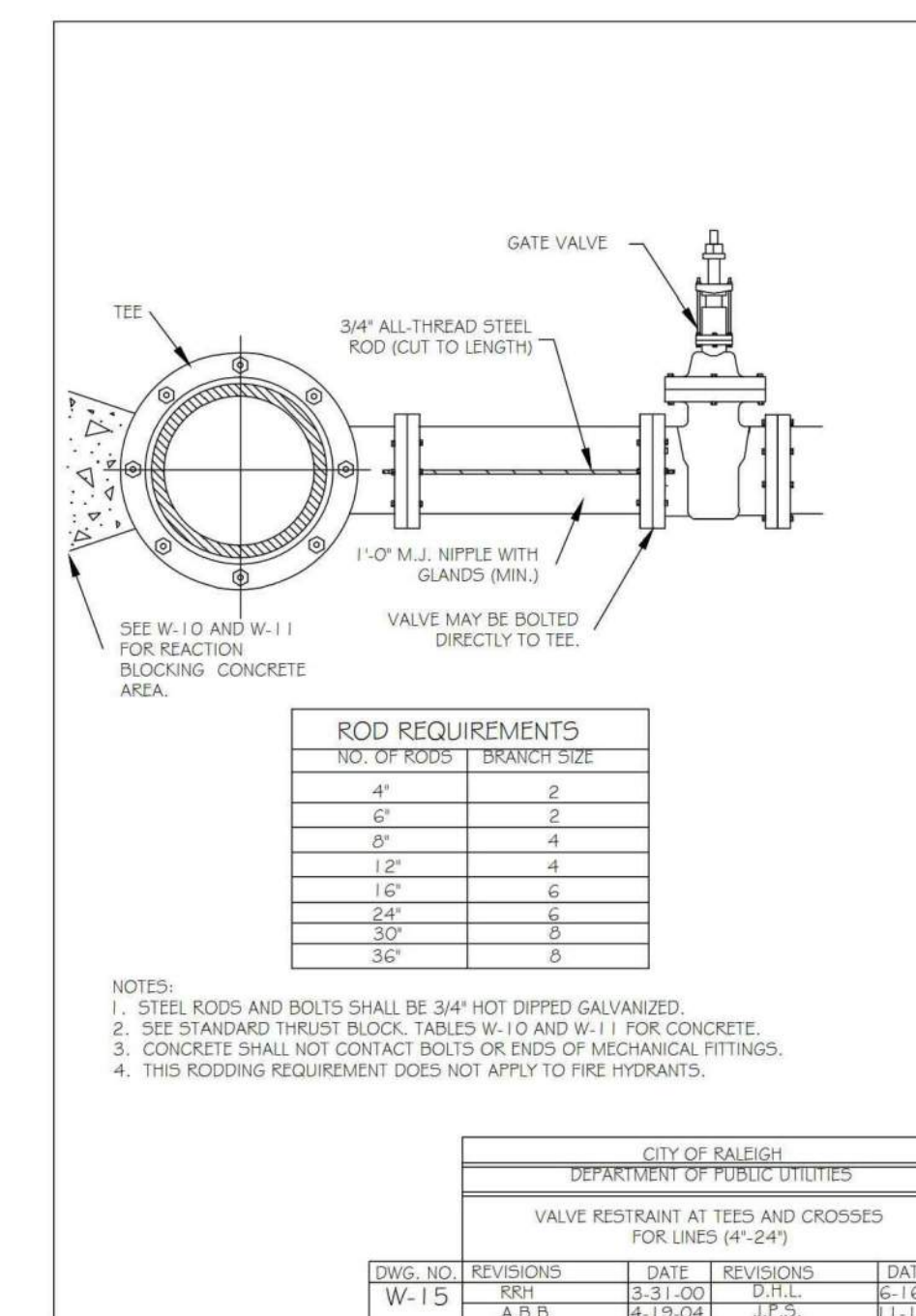
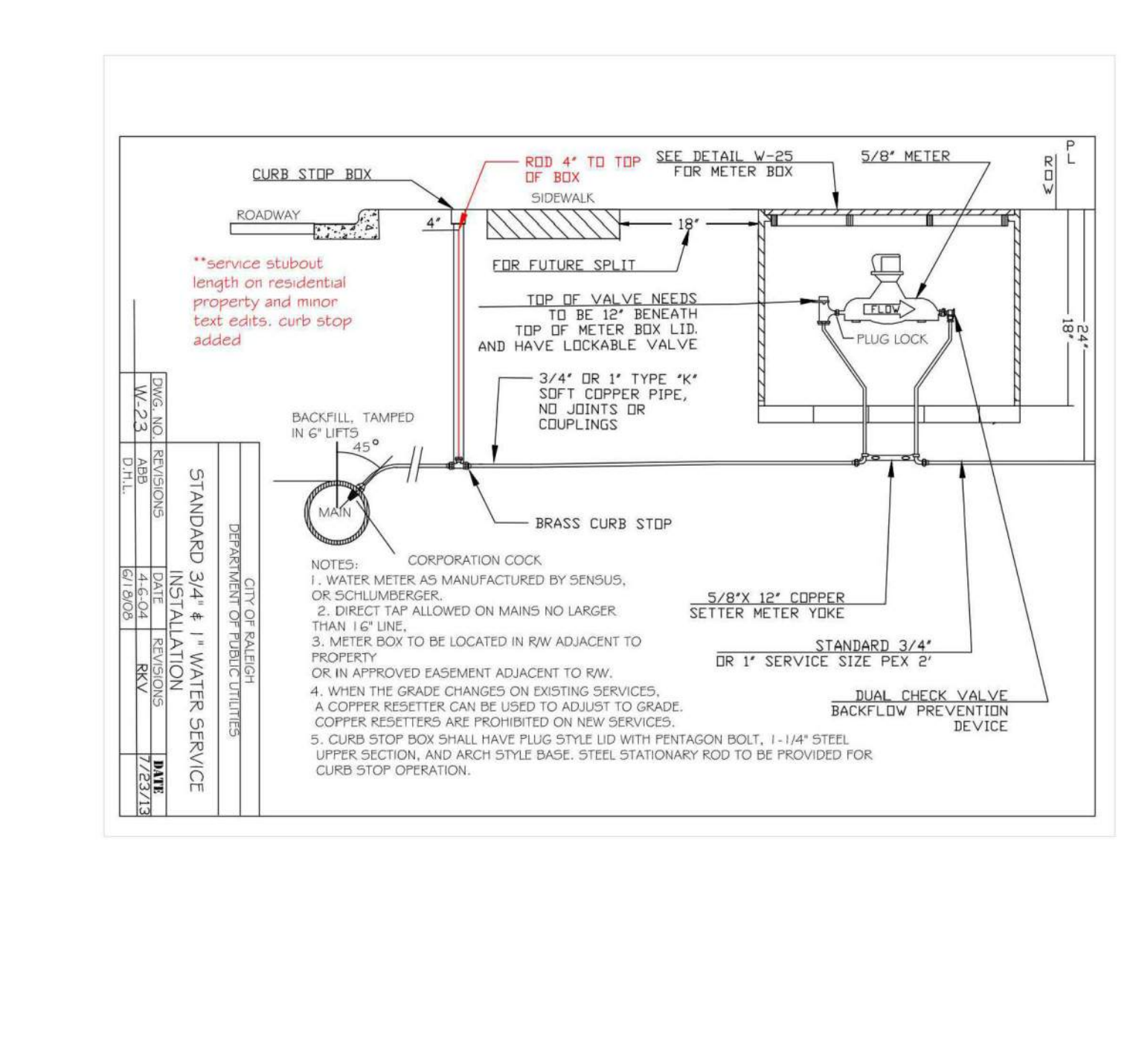
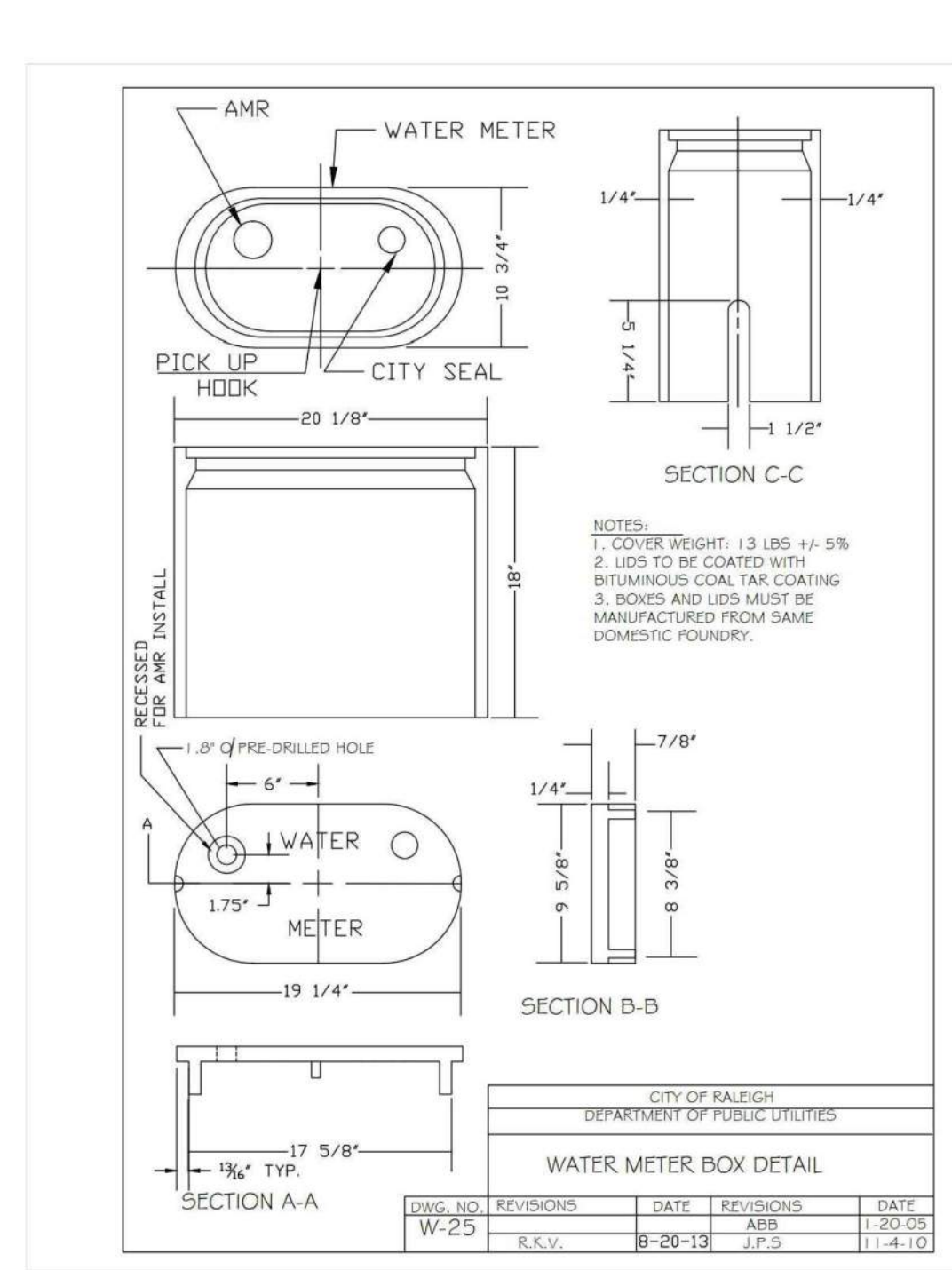
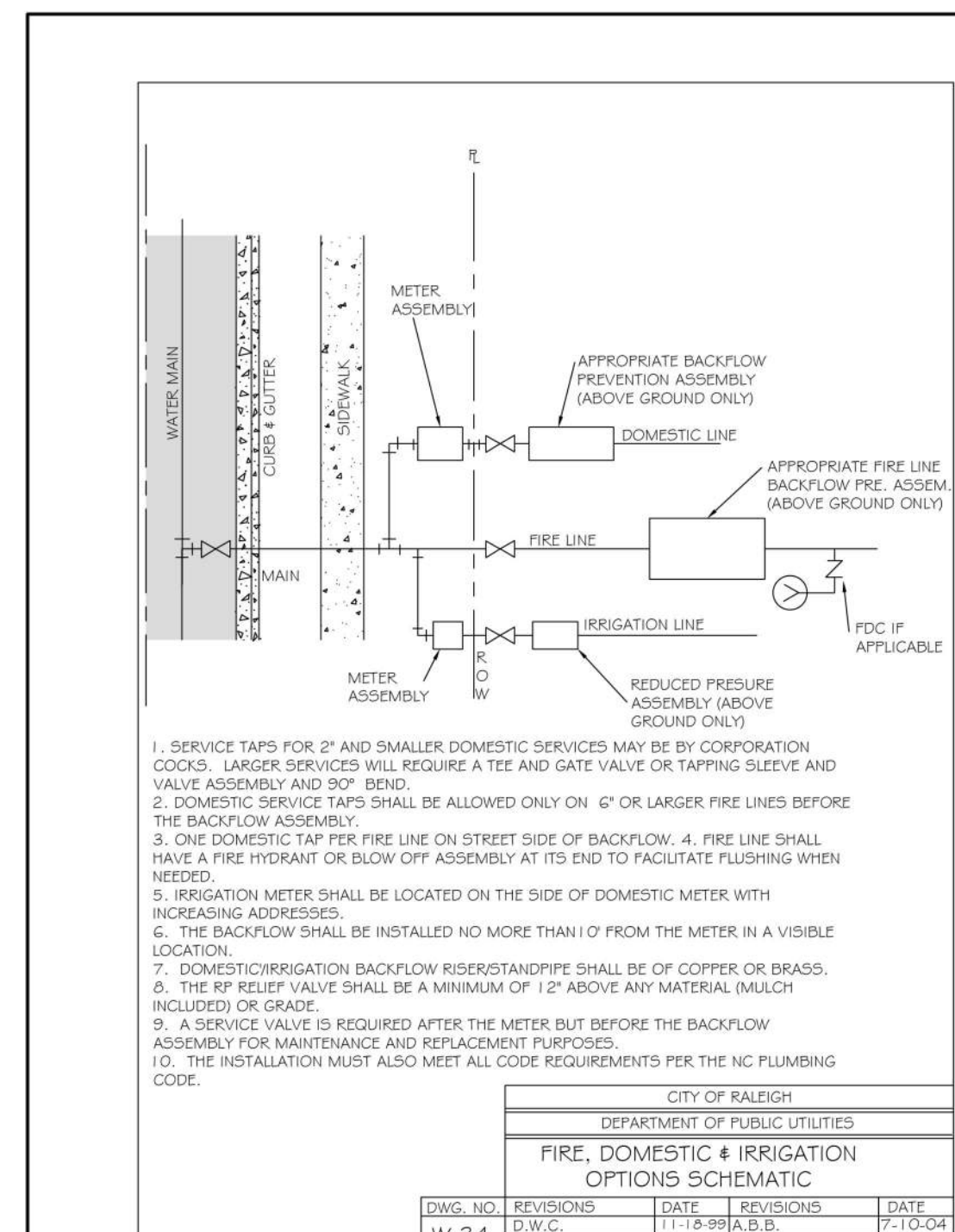
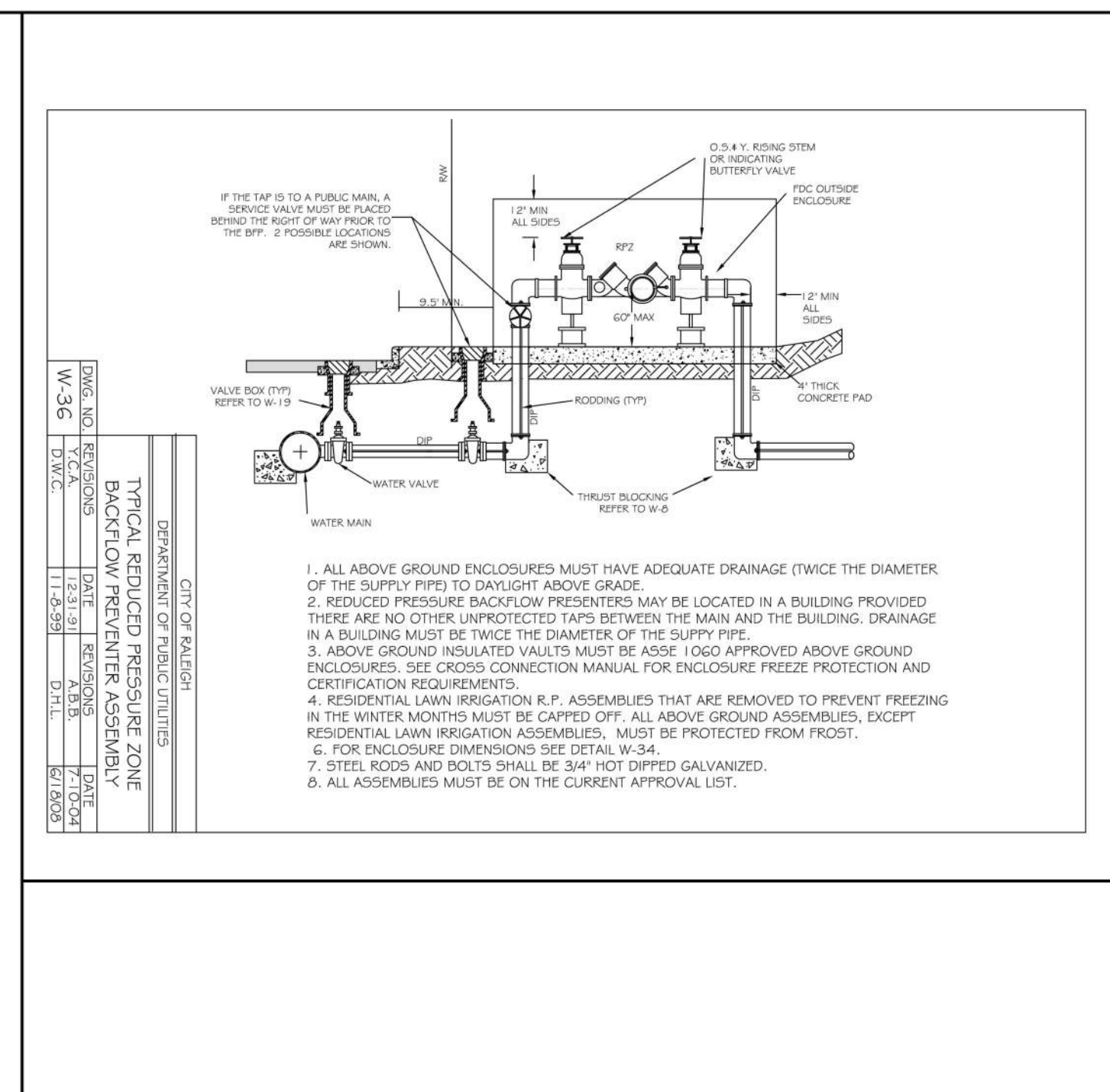
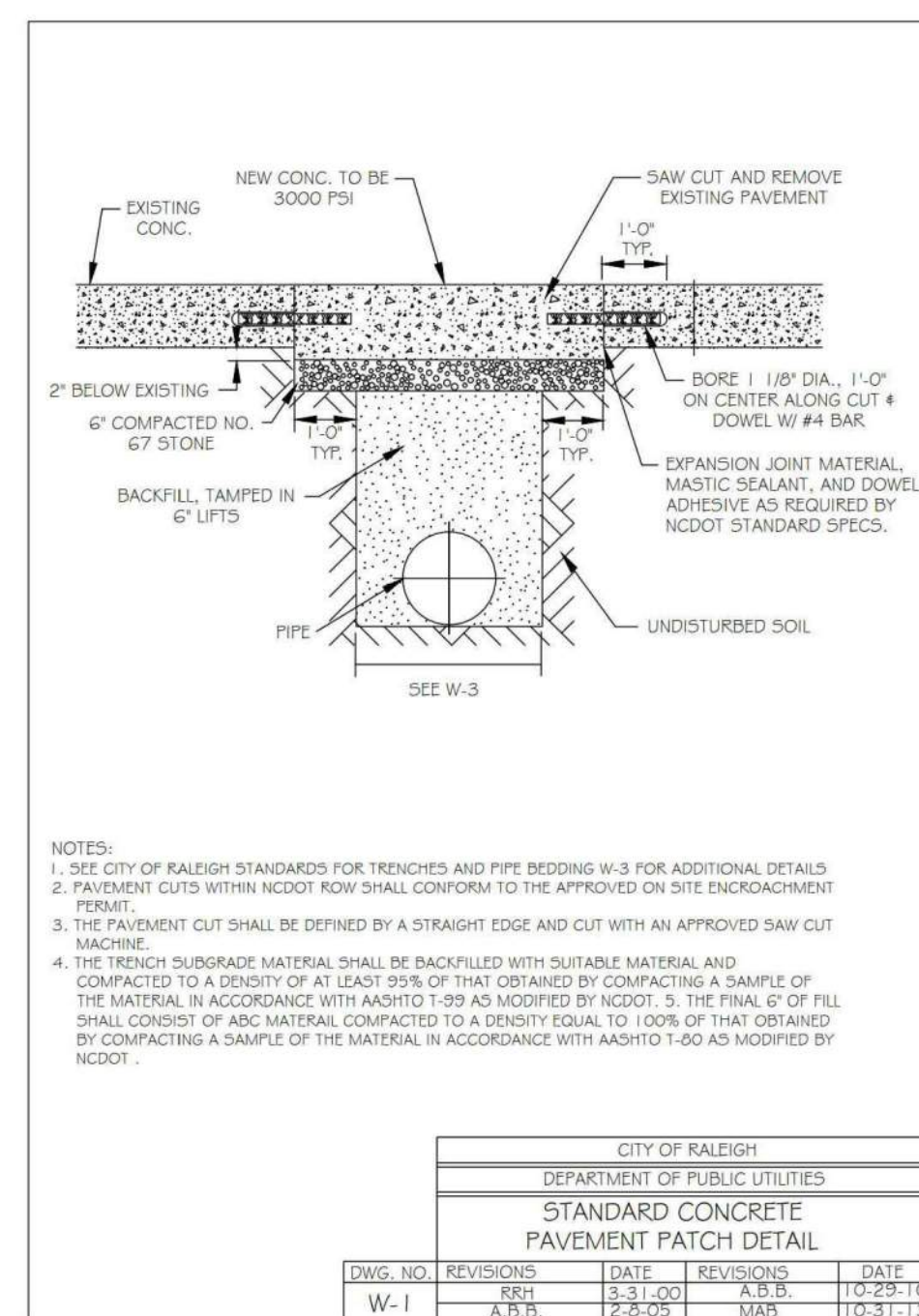
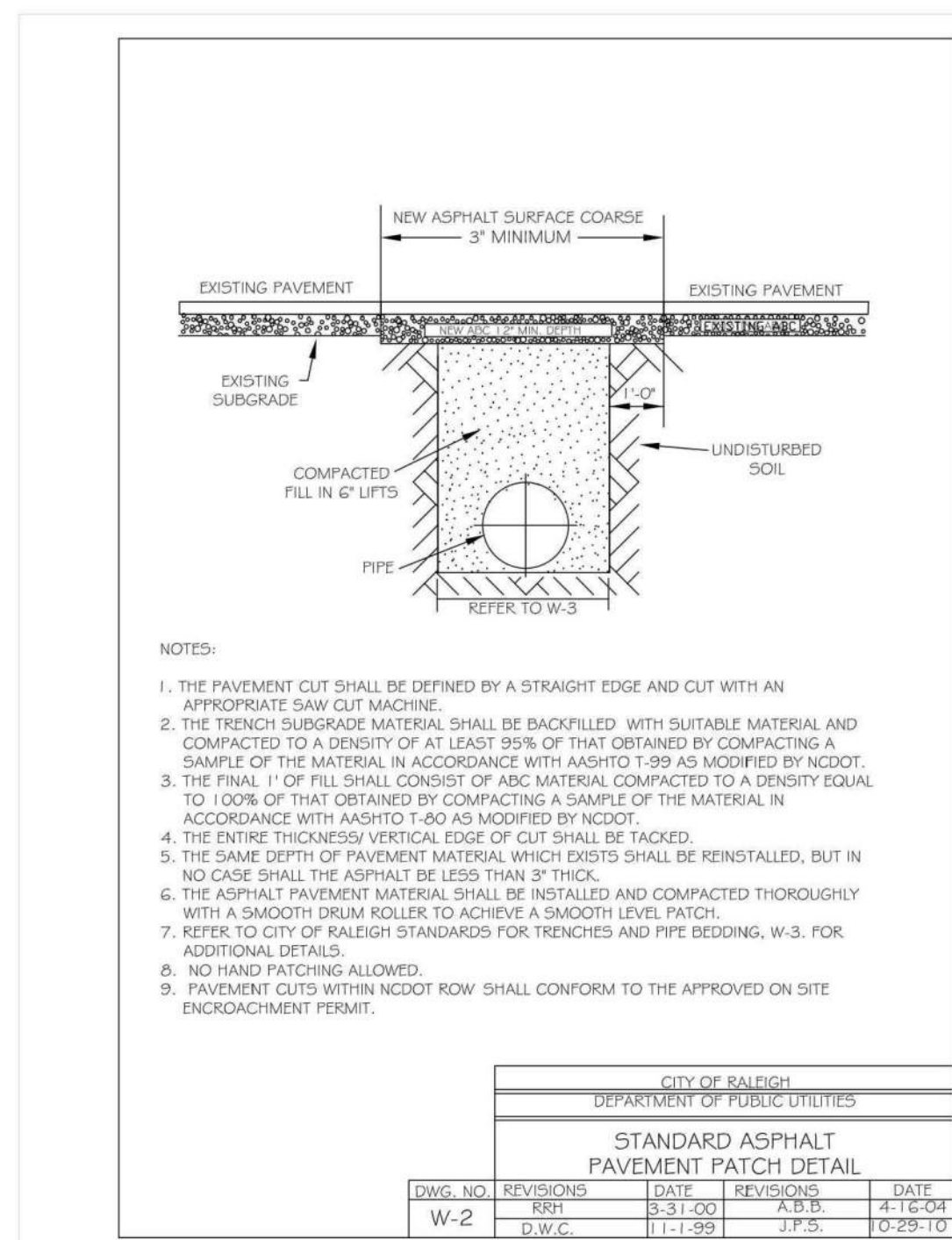


Table: REACTION BEARING AREAS FOR HORIZONTAL WATER PIPE BENDS. Columns include bend angle and various material types.



3/7/2023



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THE POINT
SITE PLAN
EAST YOUNG STREET
TOWN OF ROLESVILLE, WAKE FOREST TOWNSHIP,
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3/7/2023

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PLAN INFORMATION

PROJECT NO. AWH-20000
 FILENAME AWH20000-LANDARCH-02
 CHECKED BY JAD
 DRAWN BY PTH
 SCALE AS SHOWN
 DATE 04.01.2022

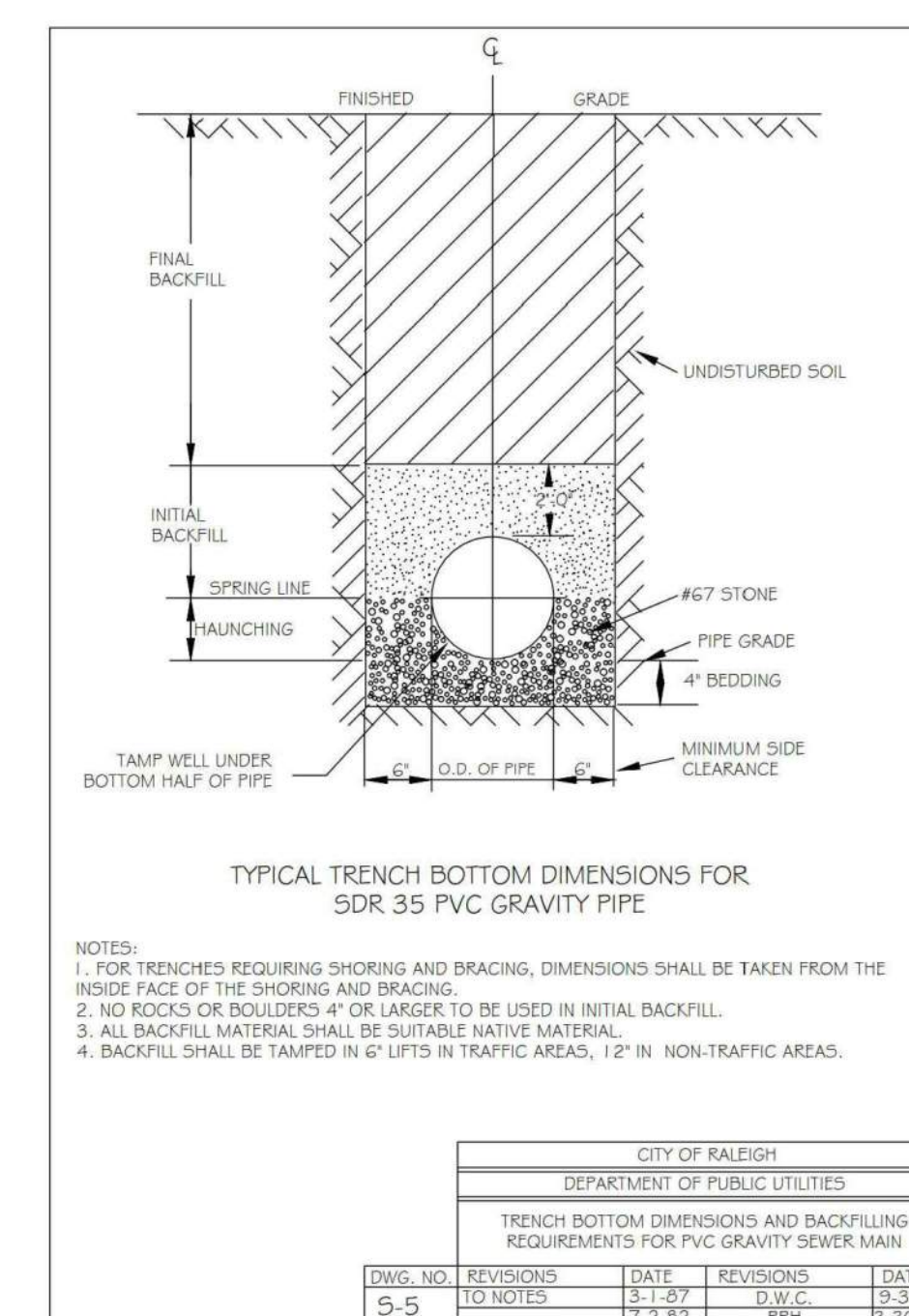
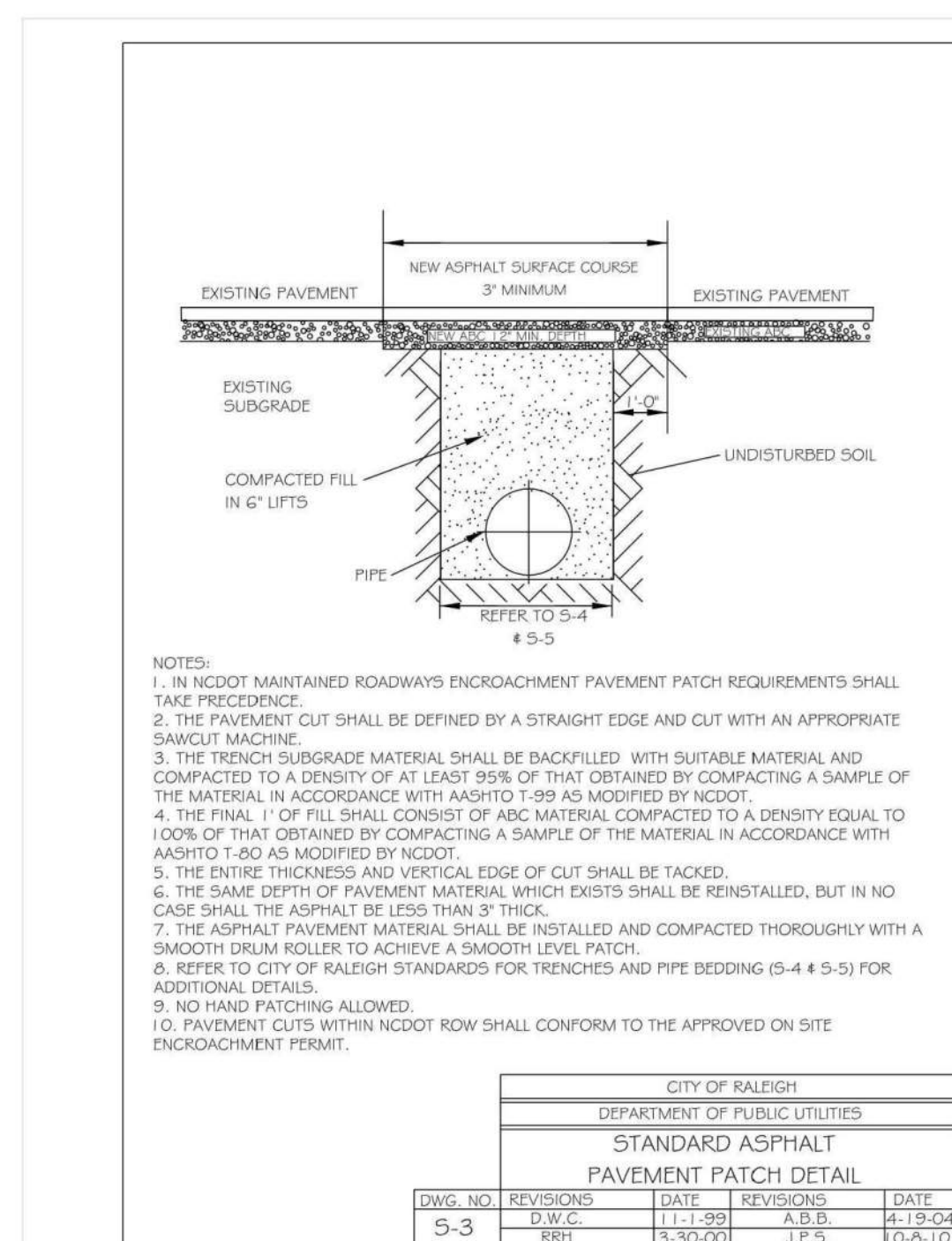
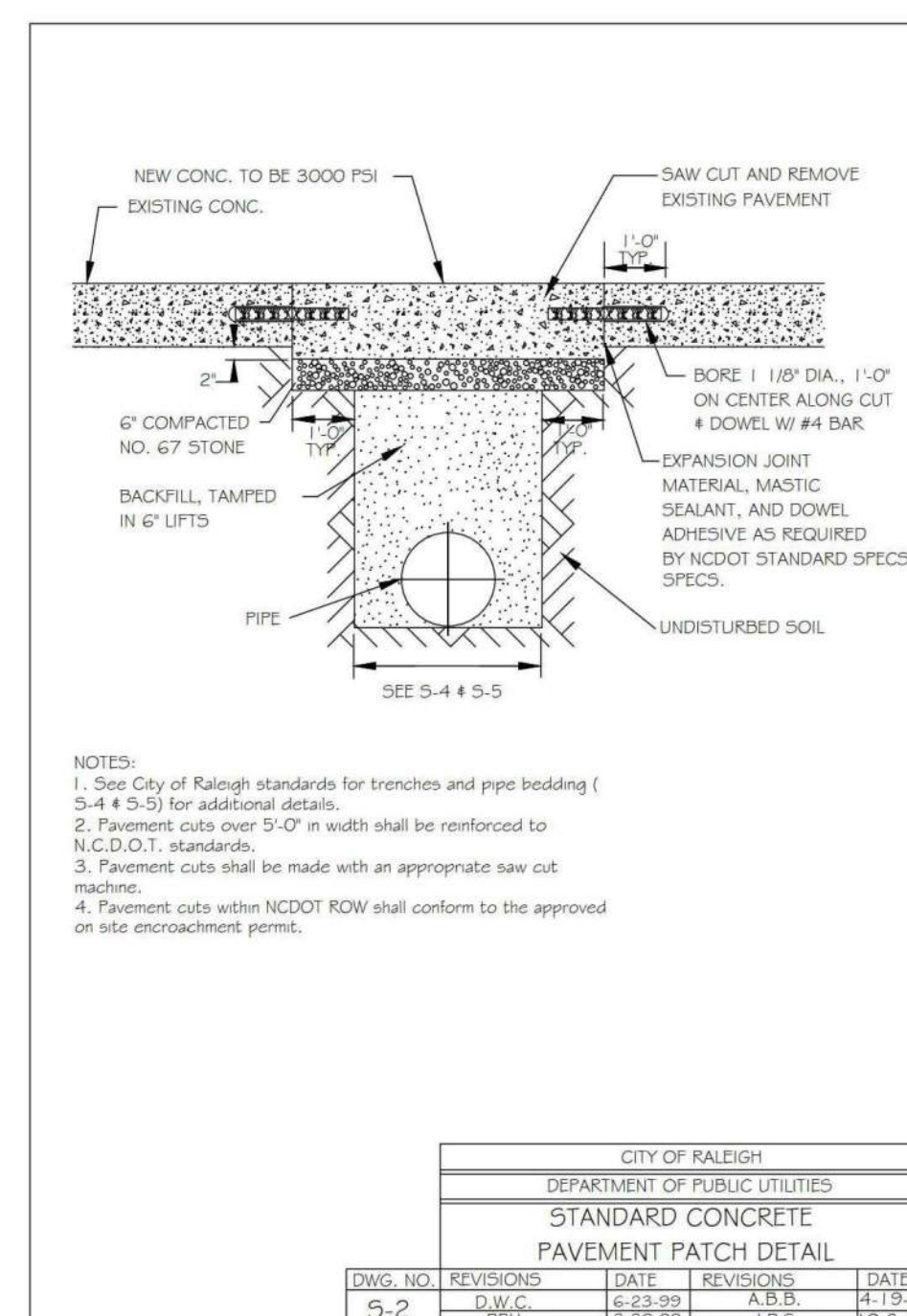
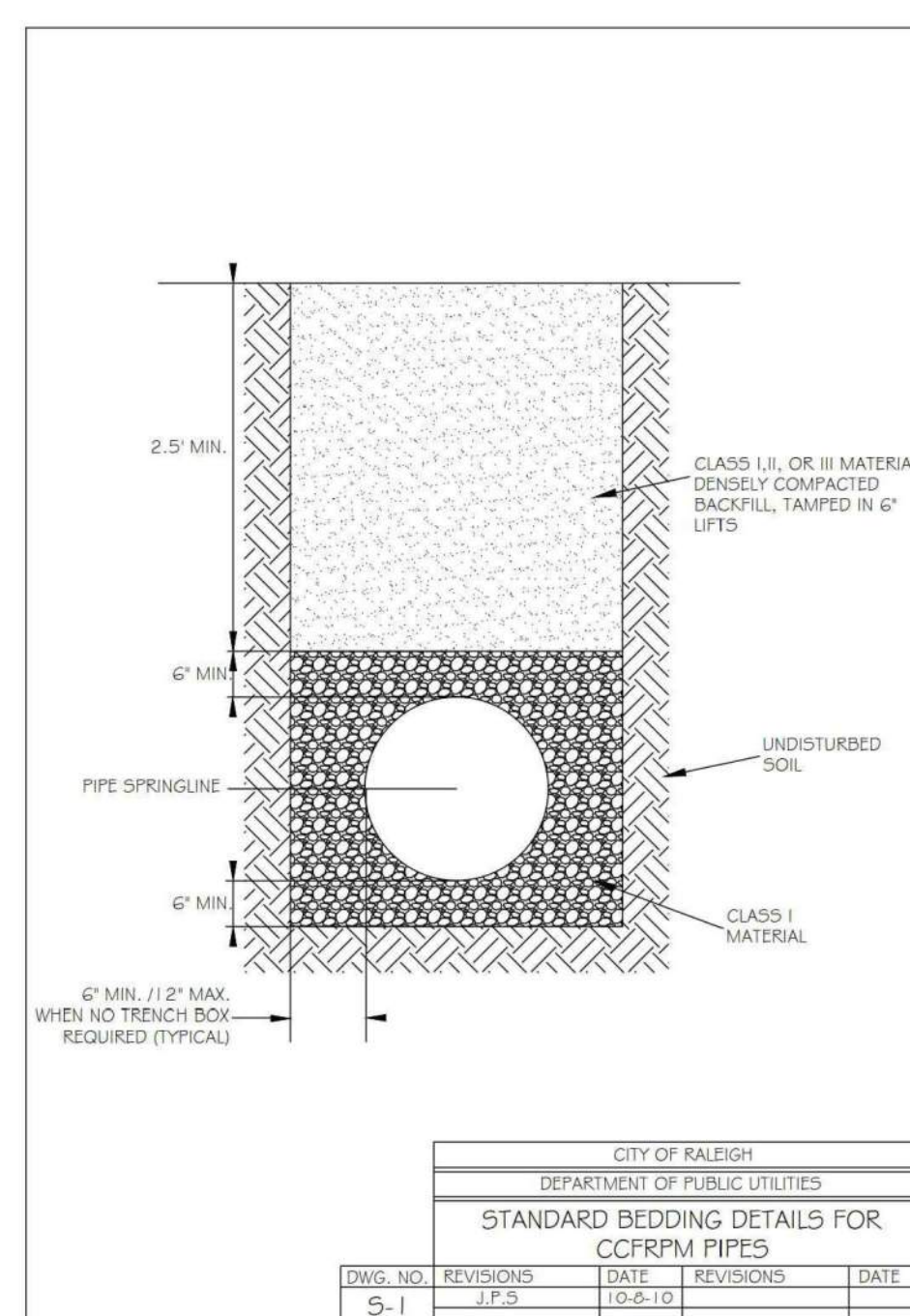
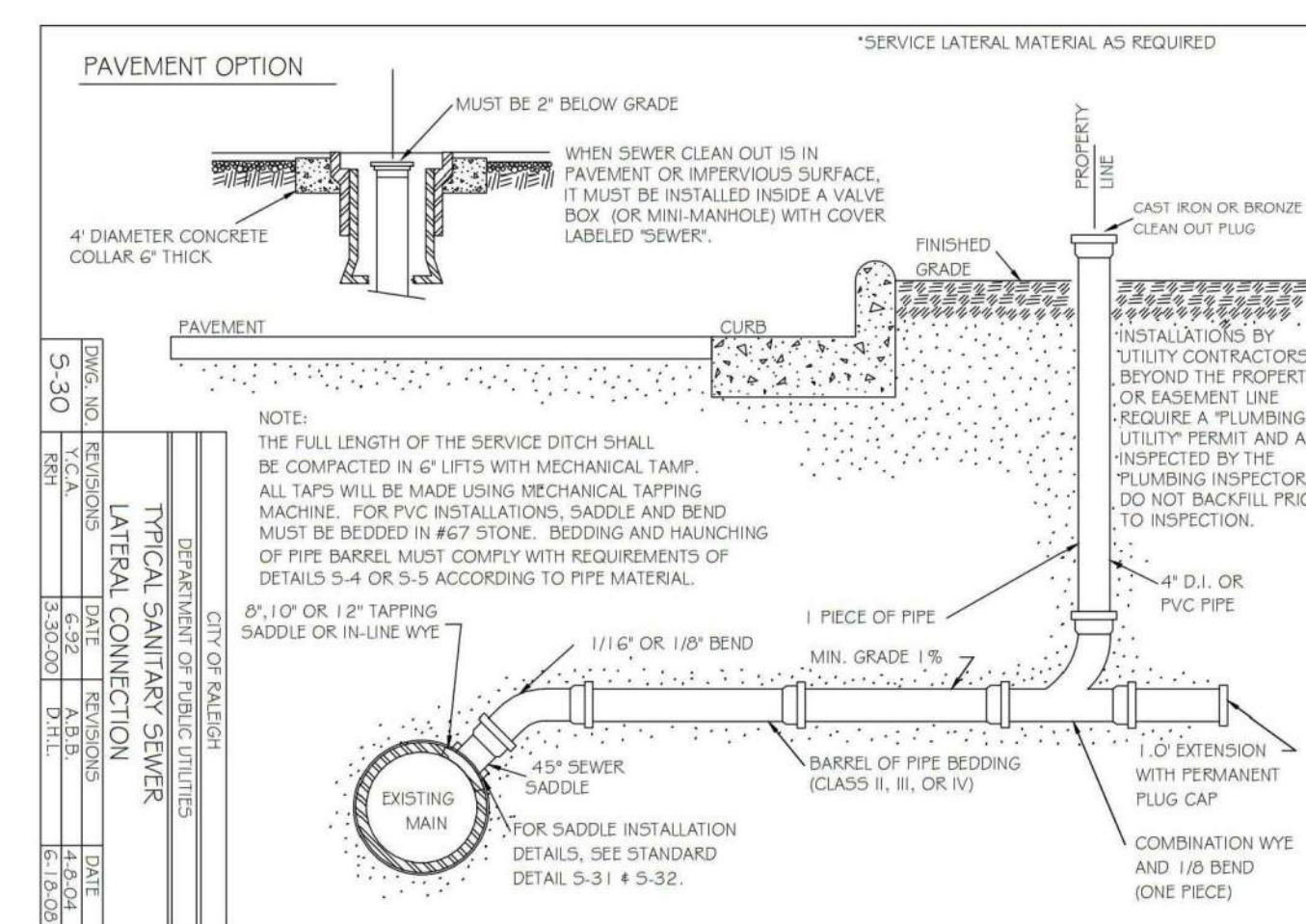
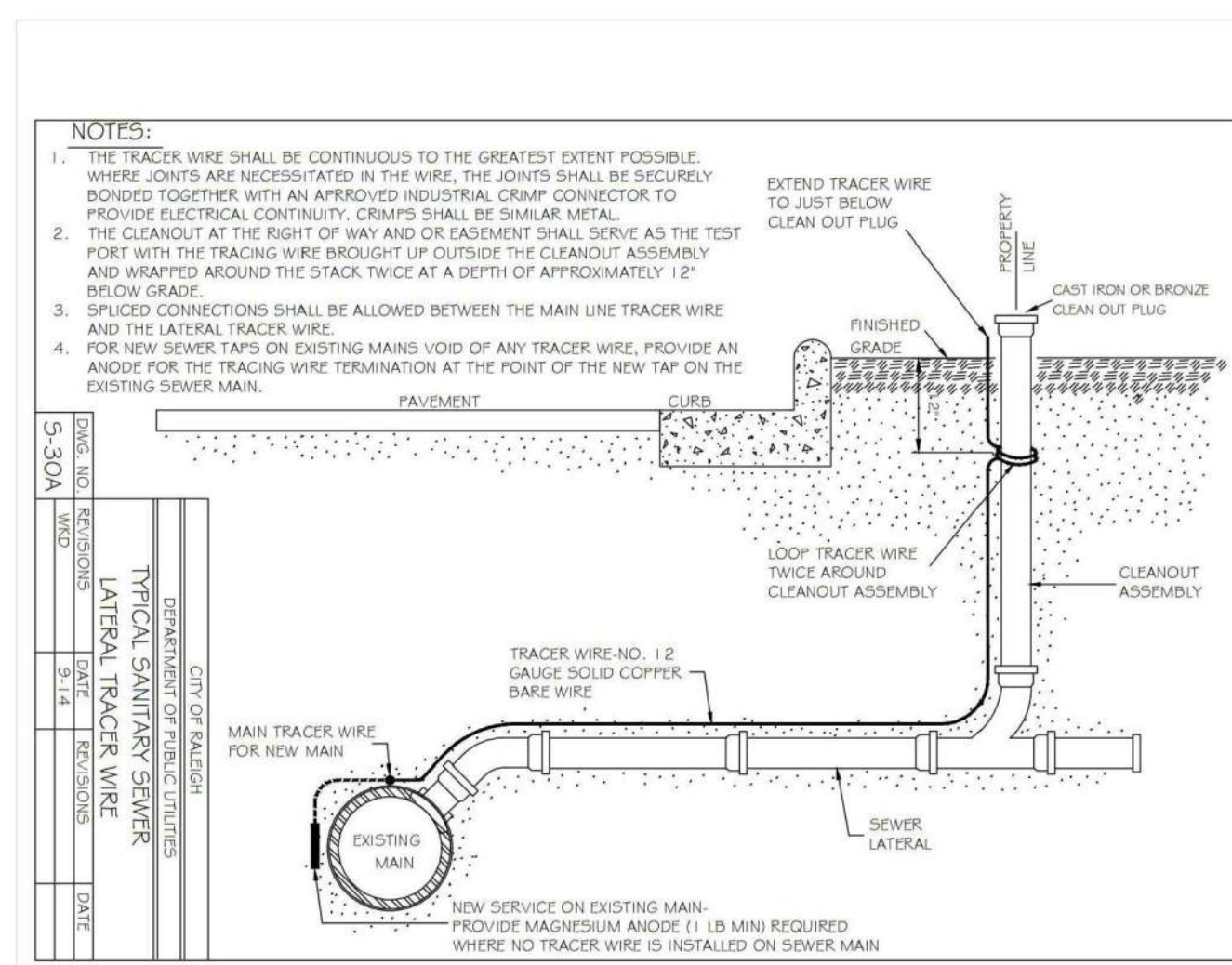
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SITE DETAILS

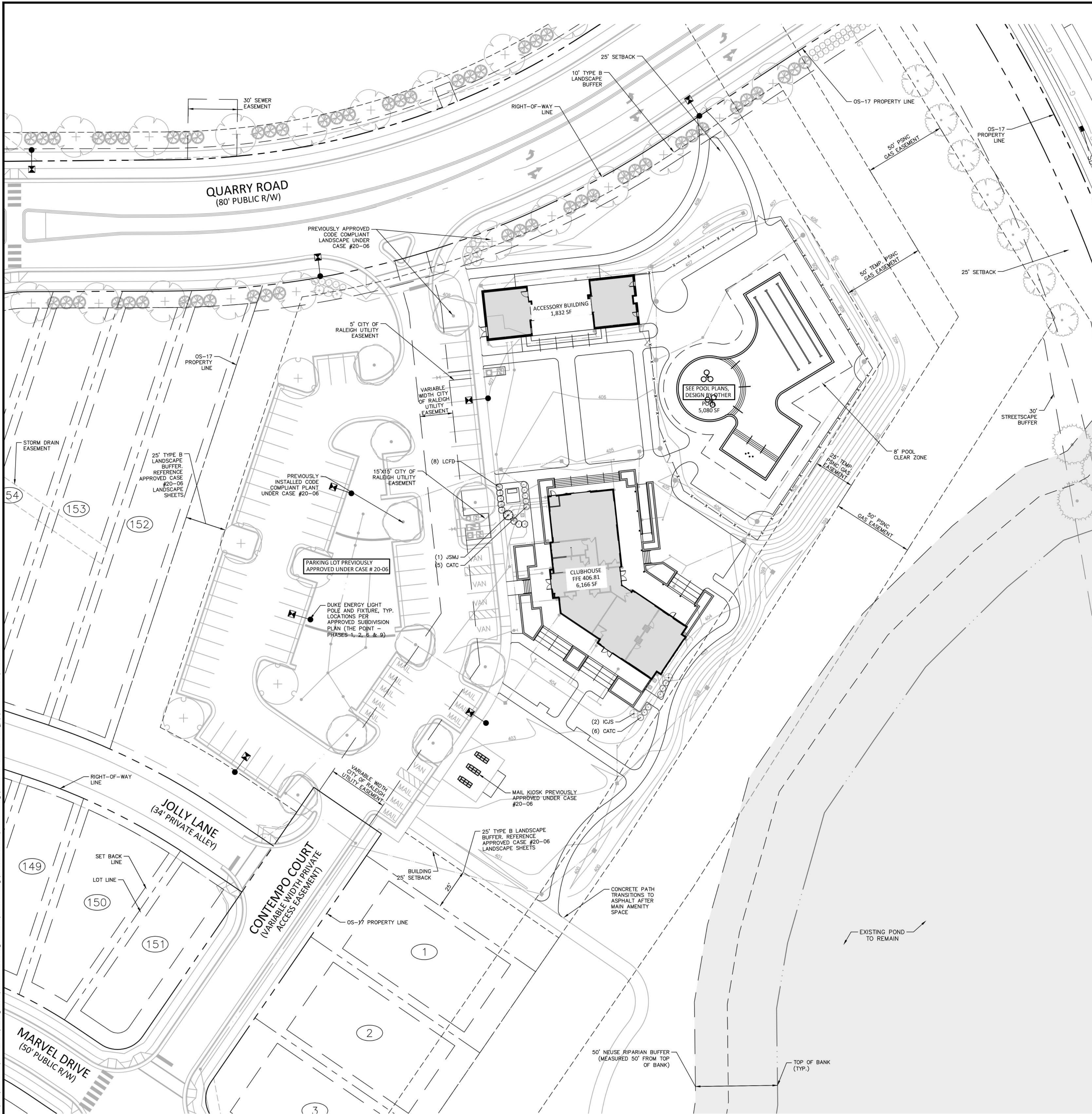
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ROLESVILLE PLAN # SP22-04

FINAL DRAWING - RELEASED FOR CONSTRUCTION



M:\Projects\AWH\AWH-20000\04-Production\Planning and LA\Construction Drawings\Enhanced\Current Drawings\Site Plan\Submittal\Current Drawings\AWH20000-LandArch-LS2.dwg, 3/17/2023 9:58:49 AM, Mark Shaw



SITE LEGEND

	SIGNAGE
	YARD LIGHTS
	LIGHT POLE
	POWER POLE
	TRAFFIC DIRECTIONAL ARROW
	ACCESSIBLE PARKING STALL
	VAN ACCESSIBLE PARKING STALL
	PARKING SPACE COUNT
	ACCESSIBLE RAMPS
	ACCESSIBLE ROUTE
	PHASE LINE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE
	CENTERLINE

PLANT SCHEDULE CODE LANDSCAPE

SHRUBS	CODE	BOTANICAL / COMMON NAME	REMARKS
	CATC	Chamaecyparis pisifera 'Filifera Aurea Nano' Golden Dwarf Threadleaf Sawara Cypress	
	ICJS	Ilex crenata 'Steads' Steads Japanese Holly	
	JSMJ	Juniperus scopulorum Rocky Mountain Juniper	
	LCFD	Loropetalum chinense rubrum 'Fire Dance' Purple Leaf Fringe Flower	

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 RALEIGH, NORTH CAROLINA 27609
 BOB MISHLER
 PHONE: 919.232.3695



**THE POINT-AMENITY
 SITE PLAN
 EAST YOUNG STREET
 TOWN OF ROLESVILLE, WAKE FOREST TOWNSHIP,
 NORTH CAROLINA**



REVISIONS

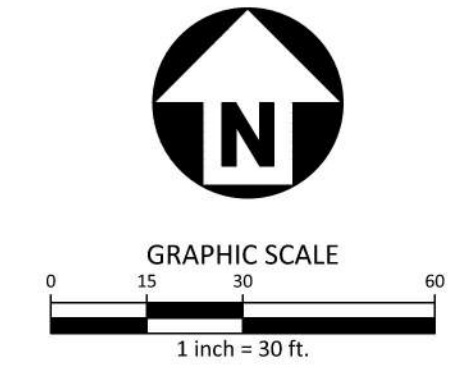
NO.	DATE	RESPONSE TO TOWN COMMENT
1	07.15.2022	RESPONSE TO TOWN COMMENT
2	09.30.2022	RESPONSE TO TOWN COMMENT
3	03.07.2023	WAKE COUNTY COMMENT

PLAN INFORMATION

PROJECT NO. AWH-20000
 FILENAME AWH20000-LANDARCH-LS2
 CHECKED BY SRD
 DRAWN BY PTH
 SCALE 1"=30'
 DATE 04.01.2022

CODE LANDSCAPE PLAN

L5.00



ROLESVILLE PLAN # SP22-04

FINAL DRAWING - RELEASED FOR CONSTRUCTION

PLANTING SPECIFICATIONS:

- GENERAL**
- REFER TO CIVIL DRAWINGS FOR NOTES AND DETAILS ON SITE GRADING AND EROSION AND SEDIMENT CONTROL. REFER TO SEEDING AND SODDING NOTES FOR TURF GRASS INSTALLATION.
 - CONTRACTOR TO SUBMIT A LIST OF PLANT MATERIALS AND SOURCES FOR REVIEW BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE AND INSTALLATION. CONTRACTOR TO COORDINATE ANY DISCREPANCIES OR SUBSTITUTIONS WITH LANDSCAPE ARCHITECT.
 - DURING DELIVERY, STORAGE AND HANDLING, CONTRACTOR TO PROTECT AND MAINTAIN PLANT LIFE UNTIL PLANTED. PROVIDE PROTECTIVE COVERING OVER ALL PLANTINGS DURING TRANSPORT. ADEQUATELY PROTECT PLANTS FROM DRYING OUT, EXPOSURE OF ROOTS TO SUN, WIND OR EXTREMES OF HEAT AND COLD TEMPERATURES. IF PLANTING IS DELAYED MORE THAN 24 HOURS AFTER DELIVERY, STORE PLANTS IN LOCATION PROTECTED FROM SUN AND WIND AND PROVIDE ADEQUATE WATER TO THE ROOT BALL PACKAGE. PLANT MATERIAL DAMAGED AS A RESULT OF DELIVERY, STORAGE OR HANDLING WILL BE REJECTED.
 - PLANTS, INCLUDING TREES, SHRUBS, GROUNDCOVERS, VINES AND ORNAMENTAL GRASSES, TO BE INSTALLED BETWEEN THE FOLLOWING DATES:
SPRING PLANTING SEASON: MARCH 15 TO JUNE 1
FALL PLANTING SEASON: SEPTEMBER 15 TO DECEMBER 1
 - PROCEED WITH PLANTING ONLY WHEN EXISTING AND FORECASTED WEATHER CONDITIONS PERMIT. PLANT TREES AND SHRUBS AFTER FINISH GRADES ARE ESTABLISHED AND BEFORE PLANTING LAWNS. PROTECT LAWN AREAS TO REMAIN AND PROMPTLY REPAIR DAMAGE CAUSED BY PLANTING OPERATIONS.
 - CONTRACTOR SHALL CAREFULLY EXAMINE THE CIVIL, RECORD AND SURVEY DRAWINGS TO BECOME FAMILIAR WITH EXISTING UNDERGROUND CONDITIONS BEFORE DIGGING. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BE AWARE OF ALL SURFACE AND SUBSURFACE CONDITIONS, AND TO NOTIFY THE LANDSCAPE ARCHITECT OF ANY CIRCUMSTANCES THAT WOULD NEGATIVELY IMPACT UNDERGROUND CONDITIONS OR THE HEALTH OF THE PLANTINGS.

- PRODUCTS**
- TREE AND SHRUB MATERIAL: FURNISH NURSERY-GROWN, TYPICAL OF THEIR SPECIES OR VARIETY, WITH NORMAL GROWTH HABIT, WELL-DEVELOPED BRANCH STRUCTURE, HEALTHY FOLIAGE, AND VIGOROUS ROOT SYSTEMS IN ACCORDANCE WITH APPLICABLE REQUIREMENTS IN ANSIZ60.1 "AMERICAN STANDARD FOR NURSERY STOCK". PLANTS SHALL BE FREE FROM DEFECTS OR DAMAGE, INCLUDING BUT NOT LIMITED TO, DISFIGURING KNOTS, SUNSCALD INJURIES, FROST CRACKS, ABRASION OF THE BARK, PLANT DISEASES, INSECT EGGS, BORERS, FIRE ANTS, AND ALL FORMS OF INFESTATION.
 - SOIL: ASTM D 5268 TOPSOIL, pH RANGE OF 5.5 TO 7, A MINIMUM OF 6 PERCENT ORGANIC MATERIAL CONTENT; FREE OF STONES 1 INCH OR LARGER IN ANY DIMENSION AND OTHER EXTRANEOUS MATERIALS HARMFUL TO PLANT GROWTH.
 - SOIL AMENDMENTS:
 - ORGANIC COMPOST: WELL-COMPOSTED, STABLE AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 3/4" SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DECISEMENS/M; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS.
 - INORGANIC SOIL AMENDMENTS: COMMERCIAL GRADE, FREE OF TOXIC MATERIALS.
 - FERTILIZER: GRANULAR OR PELLET SLOW-RELEASE FERTILIZER CONSISTING OF 50 PERCENT WATER-INSOLUBLE NITROGEN, PHOSPHOROUS AND POTASSIUM IN THE COMPOSITION AS DIRECTED BY SOIL ANALYSIS TESTING.
 - ORGANIC MULCH: SHREDED HARDWOOD IN NATURAL BROWN COLOR; 3" MAXIMUM SIZE IN LONGEST DIMENSION; FREE FROM DELETERIOUS MATERIALS AND SUITABLE FOR A TOP DRESSING OF TREES AND SHRUBS.
 - STAKES AND GUYS: DEEPROOT ARBORITIE STAKING AND GUYING MATERIAL OR APPROVED EQUAL.

WARRANTY AND MAINTENANCE:

- WARRANTY**
- INSTALLER SHALL REPAIR OR REPLACE ANY PLANTINGS THAT FAIL IN MATERIALS, WORKMANSHIP, OR GROWTH WITHIN ONE YEAR AFTER THE DATE OF SUBSTANTIAL COMPLETION. FAILURES INCLUDE BUT ARE NOT LIMITED TO:
- DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE, NEGLIGENCE OR ABUSE BY OWNER, OR INCIDENTS THAT ARE BEYOND THE CONTRACTOR'S CONTROL.
 - STRUCTURAL FAILURES INCLUDING PLANTINGS FALLING OR BLOWING OVER.
- PLANTS THAT DO NOT MEET THESE REQUIREMENTS SHALL BE DEFINED AS DEFECTIVE. ANY DEFECTIVE PLANTS SHALL BE REMOVED IMMEDIATELY UPON NOTIFICATION BY THE LANDSCAPE ARCHITECT AND REPLACED WITHOUT COST TO THE OWNER AS SOON AS WEATHER CONDITIONS PERMIT AND WITHIN THE SPECIFIED PLANTING PERIOD.

- MAINTENANCE**
- INITIAL MAINTENANCE SHALL BE PROVIDED IMMEDIATELY AFTER EACH AREA IS PLANTED AND CONTINUE UNTIL SUBSTANTIAL COMPLETION. UPON SUBSTANTIAL COMPLETION, MAINTENANCE FOR ALL PLANT MATERIAL SHALL BE PROVIDED FOR ONE YEAR AT A MINIMUM AND SHALL INCLUDE:
- TREE AND SHRUB MAINTENANCE: MAINTAIN PLANTINGS BY PRUNING, CULTIVATING, WATERING, WEEDING, FERTILIZING, RESTORING PLANTING SAUCERS, AND RESETTING TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED TO ESTABLISH HEALTHY, VIABLE PLANTINGS. SPRAY OR TREAT AS REQUIRED TO KEEP TREES AND SHRUBS FREE TO INSECTS AND DISEASE. TREES AND SHRUBS TO BE PRUNED TO RESTORE NATURAL SHAPE TYPICAL OF THEIR SPECIES OR VARIETY IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES AND APPLICABLE REQUIREMENTS IN ANSIZ60.1 "AMERICAN STANDARD FOR NURSERY STOCK".
 - GROUNDCOVER AND PLANT MAINTENANCE: MAINTAIN AND ESTABLISH PLANTINGS BY WATERING, WEEDING, FERTILIZING, MULCHING, AND OTHER OPERATIONS AS REQUIRED TO ESTABLISH HEALTHY, VIABLE PLANTINGS.
 - PROTECT EXTERIOR PLANTS FROM DAMAGE DUE TO LANDSCAPE OPERATIONS, OPERATIONS BY OTHER CONTRACTORS AND TRADES, AND OTHERS. MAINTAIN PROTECTION DURING INSTALLATION AND MAINTENANCE PERIODS. TREAT, REPAIR OR REPLACE DAMAGED PLANTINGS.

PLANTING INSTALLATION:

- EXAMINATION AND PREPARATION**
- INSTALLER TO EXAMINE AREAS TO RECEIVE EXTERIOR PLANTS FOR COMPLIANCE WITH REQUIREMENTS AND CONDITIONS AFFECTING INSTALLATION AND PERFORMANCE. PROCEED WITH INSTALLATION ONLY AFTER UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.
 - PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES, AND LAWNS AND EXISTING PLANTINGS FROM DAMAGE CAUSED BY PLANTING OPERATIONS. REFER TO CIVIL DRAWINGS FOR EROSION AND SEDIMENT CONTROL MEASURES.
 - LAY OUT INDIVIDUAL TREE AND SHRUB LOCATIONS PER PLANTING PLAN. OBTAIN LANDSCAPE ARCHITECT'S ACCEPTANCE OF LAYOUT BEFORE PLANTING AND MAKE MINOR ADJUSTMENTS AS NEEDED.

- PLANTING BED ESTABLISHMENT**
- VERIFY SITE GRADING PRIOR TO DIGGING. LOOSEN SUBGRADE TO A MINIMUM DEPTH OF 8 INCHES. REMOVE STONES LARGER THAN 1 INCH IN ANY DIMENSION AND STICKS, ROOTS, RUBBISH AND OTHER EXTRANEOUS MATTER. APPLY TOP SOIL, FERTILIZER, LIME AND SOIL AMENDMENTS AND THOROUGHLY BLEND PLANTING SOIL MIX TO CREATE ACCEPTABLE PLANTING SOIL AS DESCRIBED THROUGH ANLA.
 - EXCAVATE CIRCULAR PITS AND TRENCHES WITH SIDES SLOPED INWARD, LEAVING THE CENTER AREA RAISED SLIGHTLY TO SUPPORT THE ROOT BALL AND ASSIST IN DRAINAGE. EXCAVATE APPROXIMATELY THREE TIMES AS WIDE AS BALL DIAMETER FOR BALLED AND BURLAPPED AND CONTAINER-GROWN STOCK. SCARIFY PIT OR TRENCH WALLS.

- TREE, SHRUB, VINE, ORNAMENTAL GRASS AND GROUNDCOVER PLANTING**
- SET BALLED AND BURLAPPED OR CONTAINER-GROWN STOCK PLUMB AND CENTER OF PIT OR TRENCH WITH ROOT BALL 1 INCH ABOVE ADJACENT FINISHED GRADES.
 - REMOVE WIRE AND PALLETS ENTIRELY FROM ROOT BALL. REMOVE BURLAP FROM TOPS OF ROOT BALLS AND PARTIALLY FROM SIDES BUT DO NOT REMOVE FROM UNDER ROOT BALL.
 - PLACE PLANTING SOIL MIX AROUND ROOT BALL IN LAYERS, TAMPING TO SETTLE MIX AND ELIMINATE VOIDS AND AIR POCKETS. WHEN PIT IS APPROXIMATELY ONE-HALF BACKFILLED, WATER THOROUGHLY BEFORE PLACING REMAINDER OF BACKFILL. WATER AGAIN AFTER PLACING AND TAMPING FINAL LAYER OF PLANTING SOIL MIX.
 - APPLY 3-INCH MINIMUM AVERAGE THICKNESS OF ORGANIC MULCH EXTENDING 12 INCHES BEFORE EDGE OF PLANTING PIT OR TRENCH OR TO EDGE OF BEDLINE. DO NOT PLACE MULCH WITH 3 INCHES OF ROOT FLARE, TRUNK OR STEMS.
 - PRUNE, THIN AND SHAPE TREES AND SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICE AND TO RETAIN NATURAL CHARACTER. DO NOT CUT TREE LEADERS. REMOVE ONLY INJURED OR DEAD BRANCHES FROM FLOWERING TREES.
 - INSTALL GUYING AND STAKING PER MANUFACTURER'S SPECIFICATIONS. REMOVE GUY WIRES AND STAKES AFTER TWO PLANTING ESTABLISHMENT SEASONS.
 - DISPOSAL: REMOVE SURPLUS SOIL AND WASTE MATERIAL, INCLUDING EXCESS SUBSOIL, UNSUITABLE SOIL, TRASH, AND DEBRIS, AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.

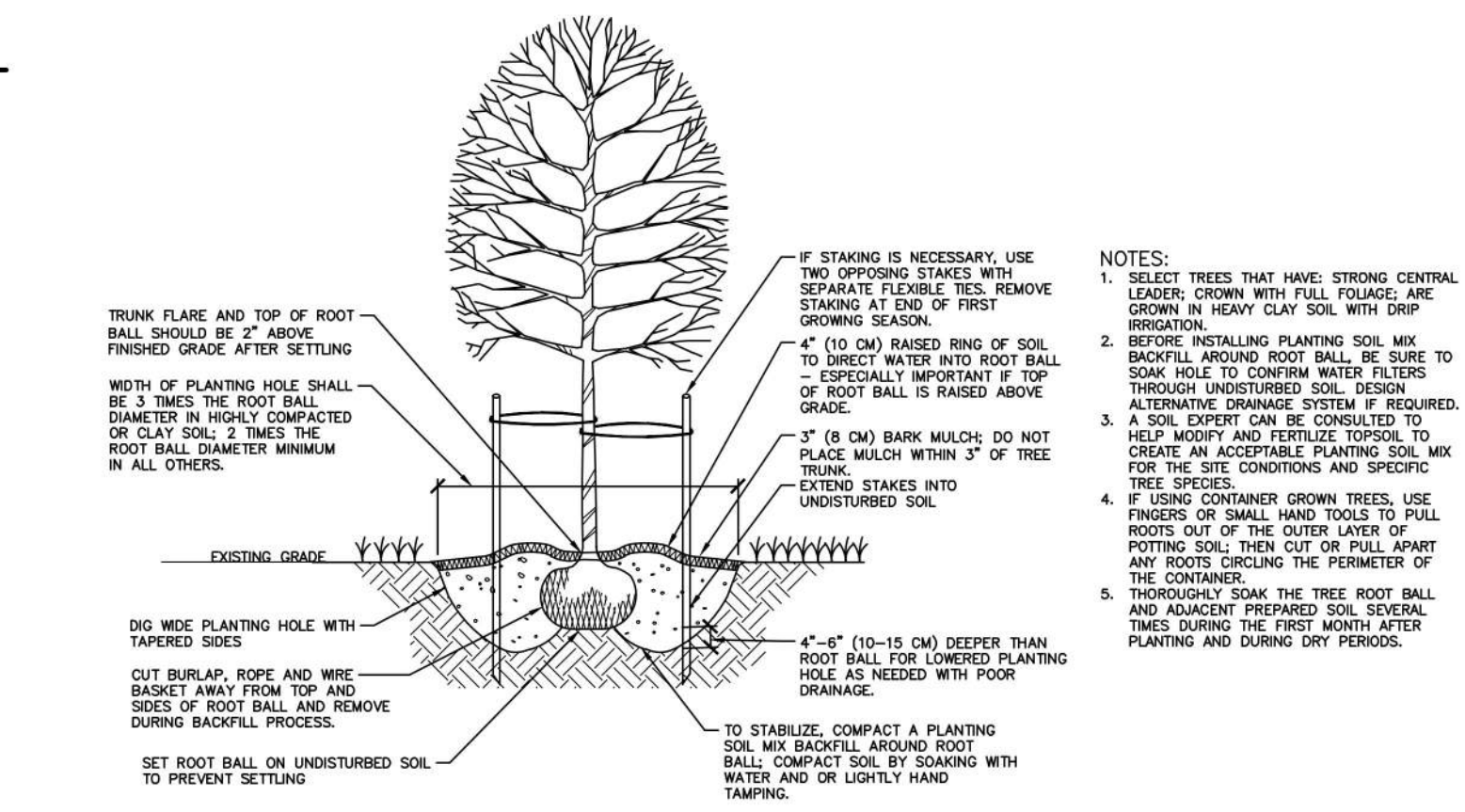
LANDSCAPE NOTES

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ROLESVILLE AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR THE SITE INSPECTION BEFORE LANDSCAPE CONSTRUCTION AND INSTALLATION IN ORDER TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES BEFORE BEGINNING DEMOLITION OR INSTALLATION.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE NOTES, SPECIFICATIONS, DRAWINGS OR SITE CONDITIONS FOR RESOLUTION PRIOR TO INSTALLATION.
- ANY DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THIS PLAN IS FOR PLANTING PURPOSES ONLY. FOR INFORMATION REGARDING BUILDINGS, GRADING, WALLS, ETC., REFER TO ARCHITECTURE, SITE AND GRADING PLANS.
- VERIFICATION OF TOTAL PLANT QUANTITIES AS SHOWN IN THE PLANT SCHEDULE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- CONTRACTOR TO ENSURE PROPER STABILIZATION AND SEEDING OF THE SITE IN ACCORDANCE WITH APPLICABLE REGULATIONS.
- LANDSCAPE MATERIAL SHALL BE WELL FORMED, VIGOROUS, GROWING SPECIMENS WITH GROWTH TYPICAL OF VARIETIES SPECIFIED AND SHALL BE FREE FROM DAMAGE, INSECTS AND DISEASES. MATERIAL SHALL EQUAL OR SURPASS #1 QUALITY AS DEFINED IN THE CURRENT ISSUE OF "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- ALL PLANT MATERIAL IS TO BE CAREFULLY HANDLED BY THE ROOT BALL, NOT THE TRUNK, BRANCHES AND/OR FOLIAGE OF THE PLANT. MISHANDLED PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL IS TO BE WELL ROOTED, NOT ROOT BOUND, SUCH THAT THE ROOT BALL REMAINS INTACT THROUGHOUT THE PLANTING PROCESS. DEFICIENT PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT OR OWNER.
- ALL PLANTS TO BE A MINIMUM OF WHAT IS SPECIFIED IN THE PLANT SCHEDULE. ANY CHANGES OR SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND GOVERNING JURISDICTION PRIOR TO ANY HOLE BEING DUG.
- CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT TO ESTABLISH THE EXTENTS OF MULCH/SEED/SOD IF NOT SPECIFICALLY SHOWN ON PLANS.
- CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE IN ALL PLANTING AREAS.
- PROPOSED TREES TO BE PLANTED A MINIMUM 10 FEET FROM ANY LIGHT POLE AS MEASURED FROM TRUNK OF THE TREE TO THE POLE.
- PROPOSED TREES TO BE PLANTED A MINIMUM 5 FEET FROM ANY FIRE HYDRANT AS MEASURED FROM TRUNK OF THE TREE TO THE HYDRANT.
- CONTRACTOR SHALL COMPLETE SOIL TEST IN ALL PLANTING AREAS TO DETERMINE SOIL AMENDMENT REQUIREMENTS UNLESS WAIVED BY OWNER'S REPRESENTATIVE. CONTRACTOR SHALL ADJUST PH AND FERTILITY BASED UPON THE SOIL TEST RESULTS.
- TOPSOIL SHALL BE FREE OF MATERIAL LARGER THAN 1.0 INCH IN DIAMETER OR LENGTH AND SHALL NOT CONTAIN SHAG, CINDERS, STONES, LUMPS OF SOIL, STICKS, ROOTS, TRASH, OR OTHER EXTRANEOUS MATERIAL.
- LOOSEN SUBGRADE / SURFACE SOIL TO A MINIMUM DEPTH OF 6 INCHES. APPLY SOIL AMENDMENTS AND FERTILIZERS AS REQUIRED BY THE SOIL TEST RESULTS TO ACHIEVE A HEALTHY GROWING MEDIA AND MIX THOROUGHLY INTO TOP 4 INCHES OF SOIL. SPREAD PLANTING SOIL MIX TO A DEPTH OF 6 INCHES BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
- IF IMPORTED TOPSOIL IS REQUIRED, THE SUBGRADE SHALL BE SCARIFIED OR TILLED TO A DEPTH OF AT LEAST 6 INCHES PRIOR TO INSTALLATION OF IMPORTED TOPSOIL. FOLLOWING INSTALLATION OF IMPORTED TOPSOIL, THE TOPSOIL SHALL BE TILLED TO INTEGRATE THE SOIL PROFILES.
- PLANT MATERIALS ARE TO BE GUARANTEED FOR A PERIOD OF 12 MONTHS. PLANT MATERIALS WHICH REMAIN UNHEALTHY WILL BE REPLACED BY THE LANDSCAPE CONTRACTOR BEFORE THE EXPIRATION OF THE GUARANTEE PERIOD OR IMMEDIATELY IF SO DIRECTED BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
- ALL TREE PLANTINGS SHALL BE MULCHED TO A DEPTH OF 3 INCHES, AND WITH A MINIMUM 3 FOOT RADIUS FROM BASE OF TREE OR TO DRIFLINE. MULCH SHALL BE FREE OF TRASH AND MAINTAINED WEED FREE. MULCH SHALL NOT COVER THE ROOT FLARE. CONFIRM MULCH SPECIFICATIONS WITH OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
- DO NOT PRUNE TREES AND SHRUBS BEFORE DELIVERY. PROTECT BARK, BRANCHES, AND ROOT SYSTEMS FROM SUN SCALD, DRYING, SWEATING, WHIPPING, AND OTHER HANDLING AND TYING DAMAGE. DO NOT BEND OR BIND-TIE TREES OR SHRUBS IN SUCH A MANNER AS TO DESTROY THEIR NATURAL SHAPE. PROVIDE PROTECTIVE COVERING OF EXTERIOR PLANTS DURING DELIVERY. DO NOT DRIOP EXTERIOR PLANTS DURING DELIVERY AND HANDLING.
- DELIVER EXTERIOR PLANTS AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND INSTALL IMMEDIATELY. IMMEDIATELY AFTER UNLOADING, STAND THE TREES UP TO REDUCE THE RISK OF SUN SCALD. PROPERLY STAGED TREES ARE STANDING, UNTIED AND SPACED. UNLESS IMMEDIATELY INSTALLED, SET EXTERIOR PLANTS AND TREES IN SHADE, PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS MOIST.
- SEE LANDSCAPE DETAILS FOR TREE STAKING REQUIREMENTS.
- CONTRACTOR SHALL REMOVE DEBRIS AND FINE GRADE ALL PLANTING AREAS PRIOR TO INSTALLATION.
- REMOVE GUY WIRES AND STAKES AT END OF WARRANTY PERIOD OR ESTABLISHMENT.
- FINISH GRADING: GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. GRADE TO WITHIN PLUS OR MINUS 1/2 INCH OF FINISH ELEVATION. ROLL AND BAKE. REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES. LIMIT FINISHED GRADING TO AREAS THAT CAN BE PLANTED IN THE IMMEDIATE FUTURE.

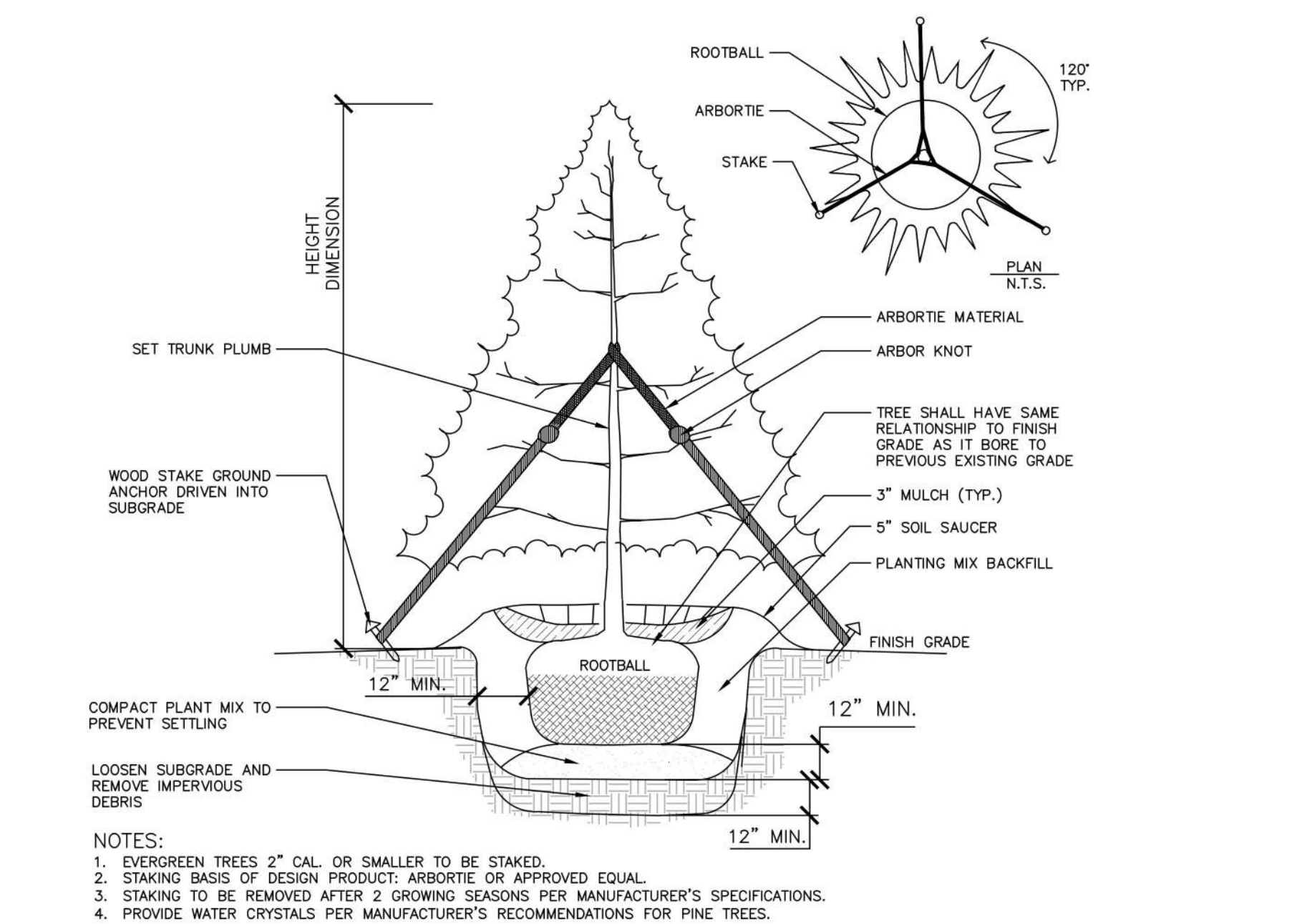
PLANT SCHEDULE OVERALL

SHRUBS	CODE	QTY	COMMON NAME	BOTANICAL NAME	HEIGHT	CONT	REMARKS
⊖	CATC	11	Golden Dwarf Threadleaf Sawara Cypress	Chamaecyparis pisifera 'Filifera Aurea Nana'	24" min		
⊕	ICJS	2	Steeds Japanese Holly	Ilex crenata 'Steeds'	36" min		
⊗	JSMJ	1	Rocky Mountain Juniper	Juniperus scopulorum	24" min	3 gal	
⊙	LCFD	8	Purple Leaf Fringe Flower	Loropetalum chinense rubrum 'Fire Dance'	24" min		

NOTE: PARKING LOT PLANTING PLAN PREVIOUSLY APPROVED UNDER CASE# CD 20-06 AND FOR REFERENCE ONLY



01 TREE INSTALLATION
SCALE: 3/8"=1'-0"



02 EVERGREEN TREE INSTALLATION
SCALE: 3/8"=1'-0"

03 SHRUB INSTALLATION
SCALE: 3/8"=1'-0"



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RALEIGH, NORTH CAROLINA 27609
BOB MISHLER
PHONE: 919.232.3695



THE POINT-AMENITY
SITE PLAN
EAST YOUNG STREET
TOWN OF ROLESVILLE, WAKE FOREST TOWNSHIP,
NORTH CAROLINA



REVISIONS

NO.	DATE	RESPONSE TO TOWN COMMENT
1	07.15.2022	RESPONSE TO TOWN COMMENT
2	09.30.2022	RESPONSE TO TOWN COMMENT
3	03.07.2023	WAKE COUNTY COMMENT

PLAN INFORMATION

PROJECT NO. AWH-20000
FILENAME AWH20000-LANDARCH-L52
CHECKED BY SRD
DRAWN BY PTH
SCALE NTS
DATE 04.01.2022

SHEET

LANDSCAPE NOTES AND DETAILS
L5.01

ROLESVILLE PLAN # SP22-04

FINAL DRAWING - RELEASED FOR CONSTRUCTION

M:\Projects\AWH\AWH-20000\04-Production\Planning and LA\Construction\Drawings-Enhanced\Current Drawings\Site Plan Submittal\Current Drawings\AWH20000-LandArch\L52.dwg, 3/17/2023 9:57:09 AM, Mark Shaw

ELEVATION GENERAL NOTES







ROOFS

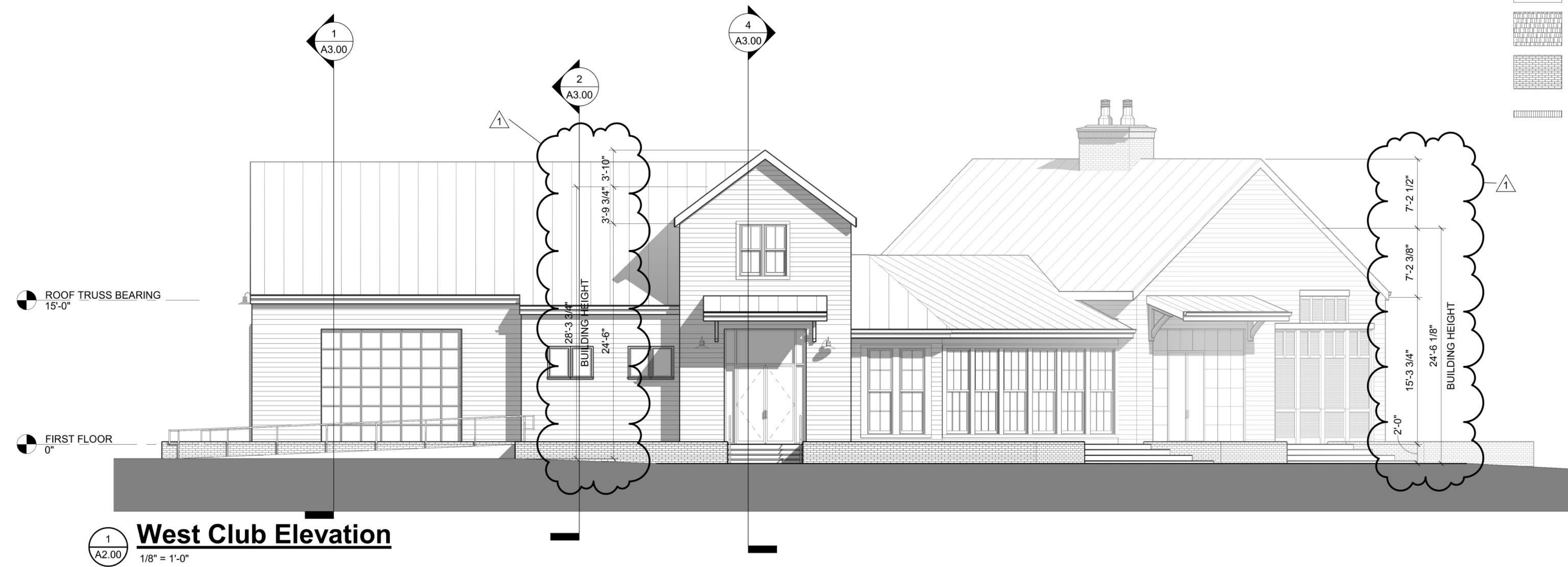
1. USE ICE AND WATER SHIELD AT ALL ROOF PLANES SLOPED BELOW 4:12

ROOF VENTILATION

1. SEE ROOF PLANS FOR ATTIC VENTILATION CALCULATION REQUIREMENTS

EXTERIOR MATERIALS

-  SHINGLE ROOF PER BUILDER
-  STANDING SEAM METAL ROOF PER BUILDER
-  HORIZONTAL SIDING PER BUILDER
-  HARDIE SHAKE SIDING
-  BRICK PER BUILDER
-  BRICK SOLDIER



1 West Club Elevation
A2.00
1/8" = 1'-0"



2 Southwest Club Elevation
A2.00
1/8" = 1'-0"



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RALEIGH, NORTH CAROLINA 27609
website www.planworx.com



The Point Amenity Clubhouse

Ashton Woods

E. Young St., Rolesville, NC

Schematic Design

Preliminary -
Not for
Construction

PROGRESS DATE:	07/14/22		
ISSUE DATE:			
REVISIONS:			
NUMBER	DATE	INITIALS	DESCRIPTION
1	7-15-2022		PER TOWN COMMENTS

PROJECT NO: 000321

DRAWN BY: CL

CHECKED BY: --

SHEET TITLE: Clubhouse Elevations

SHEET NUMBER:

A2.00

ROLESVILLE PLAN # SP20-04

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