



REVISION HISTORY

REV #	DESCRIPTION	DATE	BY
1	TOR COMMENTS	6/28/2024	FLM
2	TOR COMMENTS	9/3/2024	FLM
3	TOR COMMENTS	10/29/2024	FLM
4	SIGNATURE SET	11/7/2024	FLM

ORIGINAL PLAN SIZE: 24" X 36"

SCALE ADJUSTMENT

THIS BAR IS 1 INCH IN LENGTH ON ORIGINAL DRAWING

IF IT IS NOT 1 INCH ON THIS SHEET, ADJUST YOUR SCALE ACCORDINGLY

SITE CONSTRUCTION PLANS
SDP-24-04

105 S MAIN ST
ROLESVILLE, NC 27571

DRAGONFLY INVESTMENTS LLC

DATE:	04-26-2024
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	FLM
PROJECT NO.:	23043

COVER

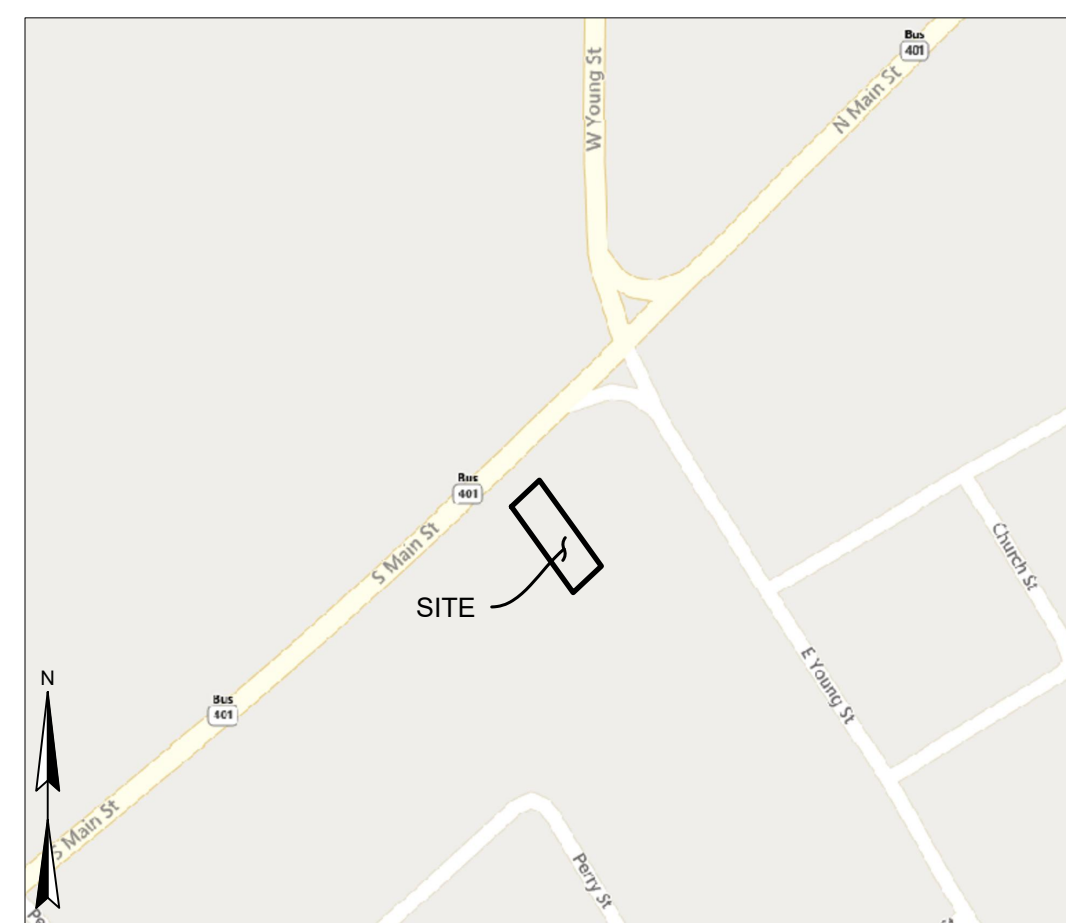
C-1

SHEET 1 OF 13

SITE CONSTRUCTION PLANS FOR

SDP-24-04

105 S MAIN ST
ROLESVILLE, WAKE COUNTY, NC
PIN: 1769-01-5157



VICINITY MAP
1" = 250'

SUMMARY INFORMATION

DEVELOPMENT NAME: 105 S MAIN ST
SITE ADDRESS: 105 S MAIN ST, ROLESVILLE, NC 27571
PIN NUMBER(S): 1769-01-5157
TOTAL ACREAGE: 0.168 AC
EXISTING USE: RETAIL SALES AND SERVICES
PROPOSED USE: RETAIL SALES AND SERVICES
JURISDICTION: TOWN OF ROLESVILLE
CURRENT ZONING DISTRICT: GC
SETBACKS:
FRONT: 20'
SIDE: 15'
REAR: 35'
EXISTING BUILDING AREA: 2,560 SF
PROPOSED BUILDING AREA: 2,560 SF
EXISTING BUILDING HEIGHT:
PROPOSED BUILDING HEIGHT:
REQUIRED PARKING: 2.5 SPACES PER 1,000 SF (BANK, EATING ESTABLISHMENT, RETAIL SALES AND SERVICES) = 2,560 SF / 2.5 SPACES / 1,000 SF = 6.4 SPACE
PROPOSED PARKING: 8 SPACES (1 ADA, VAN ACCESSIBLE)
REQUIRED BICYCLE PARKING: 1 SPACE
PROVIDED BICYCLE PARKING: 2 SPACES (1 INVERTED 'U' RACK)
WATERSHED: LOWER NEUSE RIVER
RIVER BASIN: NEUSE
EXISTING IMPERVIOUS AREA: 5,800 SF (0.13 AC) OR 80% (INCLUDES 4,200 SF OF COMPACTED PARKING AREA BEHIND BUILDING)
PROPOSED IMPERVIOUS AREA: 5,830 SF (0.13 AC) OR 80%
EXISTING TREE COVERAGE AREA: 0 SF

NOTES

- THE PROPOSED PROJECT CONTAINS A NONCONFORMING STRUCTURE AND LOT AS OUTLINED IN SECTION 10.3 OF THE LDO. ANY MODIFICATIONS TO THE STRUCTURE SHALL BE IN CONFORMANCE WITH THE PROVISIONS OUTLINED IN 10.3.
- NONCONFORMITIES INCLUDE: EXISTING STRUCTURE IS WITHIN THE FRONT AND SIDE SETBACKS, AND THE EXISTING LOT IS LESS THAN 100' WIDE AND 20,000 SF IN AREA (TABLE 3.2.1) AS SHOWN ON SHEET C-2.
- THE PROJECT IS EXEMPT FROM PERIMETER BUFFERS PER ROLESVILLE LDO SECTION 6.2.2.1.B.4 AND AS CONFIRMED BY THE LDA IN THE EMAIL DATED AUGUST 16, 2024.
- CROSS ACCESS EASEMENT, RECORDED AS BK017598/PG02543-02548 ON 2019-10-02, EXISTS BETWEEN 105 AND 107 S. MAIN STREET.

SHEET TITLE

C-1	COVER
C-2	EXISTING CONDITIONS & DEMOLITION PLAN
C-3	SITE PLAN
C-4	UTILITY PLAN
C-5	GRADING AND EROSION & SEDIMENT CONTROL PLAN
C-6	LANDSCAPING PLAN
C-7	SITE DETAILS
C-8	EROSION & SEDIMENT CONTROL DETAILS
C-9	WATER & SEWER DETAILS
A1.1	FLOOR PLAN, BUILDING SECTION, DOOR SCHEDULE
A1.2	FLOOR PLAN, RCP, FINISH SCHEDULE
A2.1	BUILDING ELEVATIONS
-	FRONT FACADE

OWNER/DEVELOPER:

DRAGONFLY INVESTMENTS NC LLC
CONTACT: ALLEN CLARK
15405 NEW LIGHT RD
WAKE FOREST, NC 27587
919.868.1576
ALLEN@WHITEWATERHOMES.BIZ

ENGINEER OF RECORD:

FLM ENGINEERING, INC
CONTACT: JON FRAZIER, PE
PO BOX 91727
RALEIGH, NC 27675
919.610.1051
JFRAZIER@FLMENGINEERING.COM



SDP-24-04 / Site Development Plan /
105 S. Main Street

APPROVED

Date: November 6, 2024

Town of Rolesville Planning Department

**EROSION CONTROL, STORMWATER
AND FLOODPLAIN MANAGEMENT**

APPROVED

EROSION CONTROL S-_____

STORMWATER MGMT. S-_____

FLOOD STUDY S-_____

DATE _____



ENVIRONMENTAL CONSULTANT SIGNATURE

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

ELECTRONIC APPROVAL: THIS APPROVAL IS BEING ISSUED ELECTRONICALLY. THIS APPROVAL IS VALID ONLY UPON THE SIGNATURE OF A CITY OF RALEIGH REVIEW OFFICER BELOW. THE CITY WILL RETAIN A COPY OF THE APPROVED PLANS. ANY WORK AUTHORIZED BY THIS APPROVAL MUST PROCEED IN ACCORDANCE WITH THE PLANS KEPT ON FILE WITH THE CITY. THIS ELECTRONIC APPROVAL MAY NOT BE EDITED ONCE ISSUED. ANY MODIFICATION TO THIS APPROVAL ONCE ISSUED WILL INVALIDATE THIS APPROVAL.

CITY OF RALEIGH DEVELOPMENT APPROVAL _____
RALEIGH WATER REVIEW OFFICER

CALL 48 HOURS BEFORE
YOU DIG



NORTH CAROLINA
ONE-CALL CENTER
1-800-632-4949

ALL CONSTRUCTION SHALL BE IN
ACCORDANCE WITH ALL TOWN OF
ROLESVILLE, CITY OF RALEIGH AND WAKE
COUNTY STANDARDS AND SPECIFICATIONS

PROPOSED INFRASTRUCTURE QUANTITIES			
ITEM	OWNERSHIP	DIAMETER / MATERIAL	LENGTH
WATER	CITY OF RALEIGH	STUB	1
SEWER	CITY OF RALEIGH	STUB	1



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EXISTING CONDITIONS & DEMOLITION PLAN

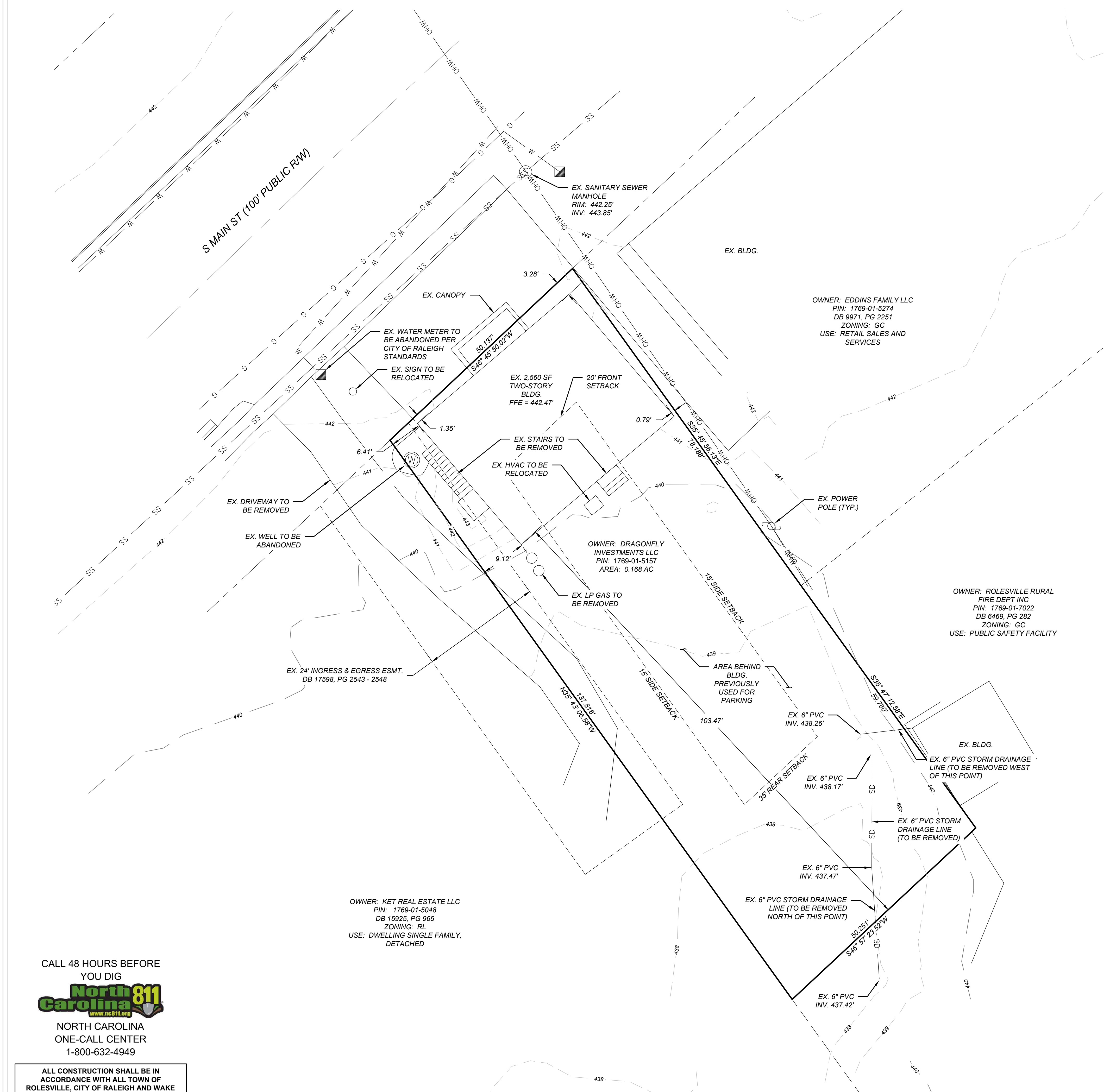
C-2
SHEET 2 OF 13

NOTES

- BOUNDARY AND TOPOGRAPHIC SURVEY DATA PROVIDED BY CAWTHORNE, MOSS & PANCIERA, PC.
- THERE IS NO EXISTING VEGETATION ONSITE.
- EXISTING TOPOGRAPHIC CONTOURS OUTSIDE OF SITE ARE WAKE COUNTY GIS TOPOGRAPHIC DATA.
- THE UTILITIES SHOWN ARE NOT GUARANTEED TO BE A REPRESENTATION OF ALL UTILITIES WITHIN THE PROJECT EXTENT.
- THE CONTRACTOR SHALL CALL THE NORTH CAROLINA ONE-CALL-CENTER AT LEAST 48 HOURS PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL VERIFY DEPTHS AND LOCATIONS OF ALL UTILITIES PRIOR TO BEGINNING WORK AND SHALL USE CARE WHEN OPERATING AROUND EXISTING UTILITIES.
- THE CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE FOR THE REPAIR OF ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.

LEGEND

- EX. PROPERTY LINE
- - - - EX. SETBACK
- EX. RIGHT-OF-WAY
- - - - EX. ADJACENT OWNERS
- OHW — OHW — EX. OVERHEAD ELECTRIC LINE
- W — W — EX. WATER LINE
- G — G — EX. GAS LINE
- SS — SS — EX. SANITARY SEWER
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ZONING: GC
USE: RETAIL SALES AND SERVICES

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PIN: 1769-01-5157
AREA: 0.168 AC

OWNER: ROLESVILLE RURAL FIRE DEPT INC
PIN: 1769-01-7022
DB 6469, PG 282
ZONING: GC
USE: PUBLIC SAFETY FACILITY

OWNER: KET REAL ESTATE LLC
PIN: 1769-01-5048
DB 15925, PG 965
ZONING: RL
USE: DWELLING SINGLE FAMILY, DETACHED

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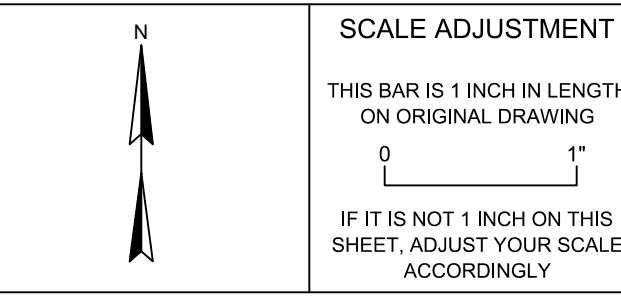
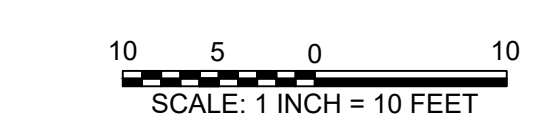
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CITY OF RALEIGH DEVELOPMENT APPROVAL _____ RALEIGH WATER REVIEW OFFICER



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UTILITY PLAN

C-4
SHEET 4 OF 13

CITY OF RALEIGH STANDARD UTILITY NOTES (AS APPLICABLE)

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 10' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5'0" MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATION CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24-HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- SEWER BYPASS PUMPING - A BYPASS PLAN SEALED BY AN NC PROFESSIONAL ENGINEER SHALL BE PROVIDED TO RALEIGH WATER PRIOR TO PUMPING OPERATIONS FOR APPROVAL. THE OPERATIONS AND EQUIPMENT SHALL COMPLY WITH THE PUBLIC UTILITIES HANDBOOK.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL 1/2" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RW FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A LIC AND/OR BUILDING PERMIT. CONTACT: (919) 996-4516 OR FOG@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON THE DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA.
- THE DEVICES SHALL MEET THE AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS AND BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST.
- THE DEVICE AND INSTALLATION SHALL MEET THE GUIDELINES OF APPENDIX A - GUIDELINES AND REQUIREMENTS FOR THE CROSS CONNECTION PROGRAM IN RALEIGH'S SERVICE AREA.
- THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH, INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT CROSS.CONNECTION@RALEIGHNC.GOV FOR MORE INFORMATION.
- NOTICE FOR PROJECTS THAT INVOLVE AN OVERSIZED MAIN OR URBAN MAIN REPLACEMENT, ANY CITY REIMBURSEMENT GREATER THAN \$250,000.00 MUST UNDERGO THE PUBLIC BIDDING PROCESS.

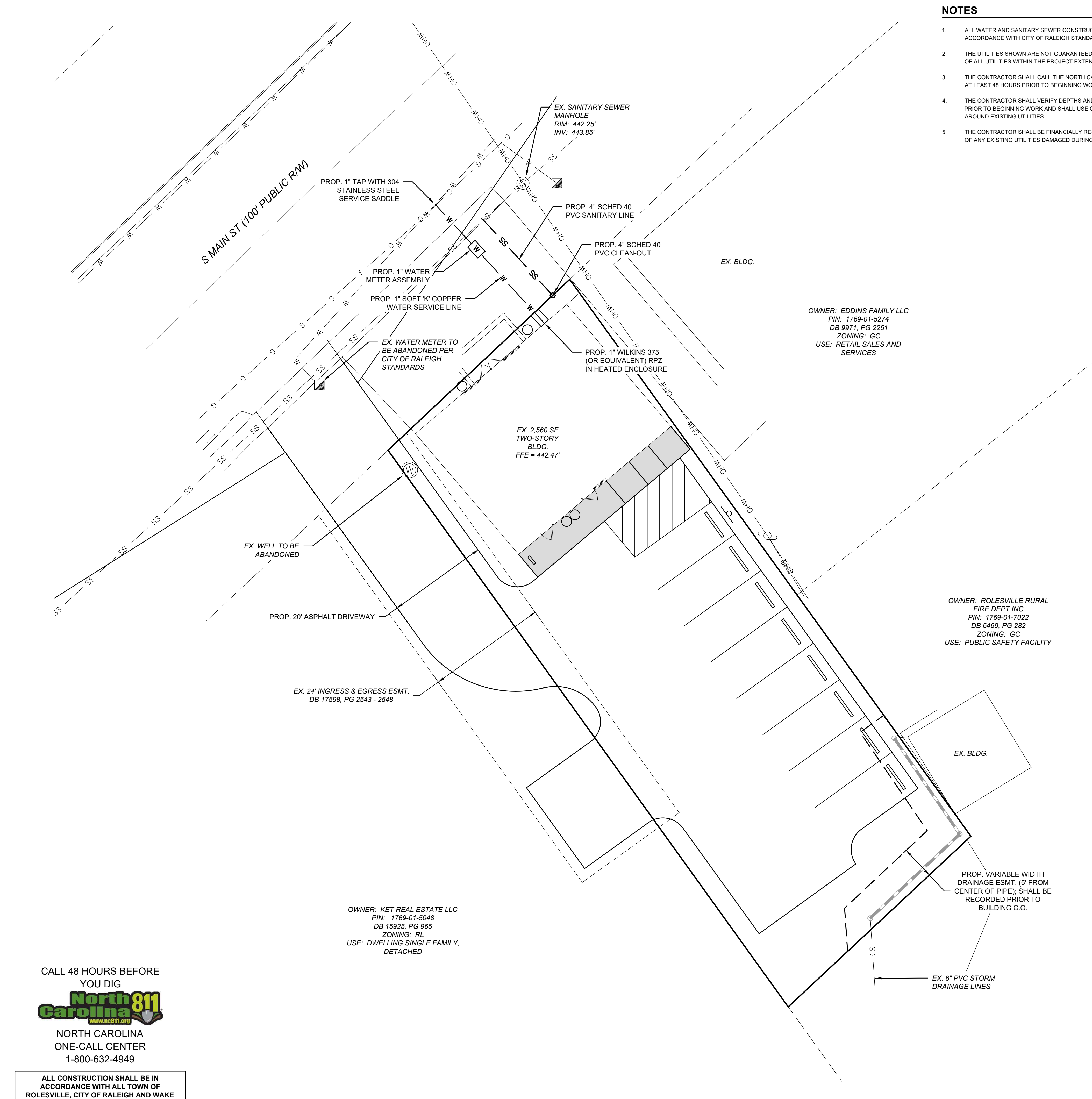
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CITY OF RALEIGH DEVELOPMENT APPROVAL _____ RALEIGH WATER REVIEW OFFICER

NOTES

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ZONING: GC
USE: RETAIL SALES AND SERVICES

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PIN: 1769-01-7022
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USE: PUBLIC SAFETY FACILITY

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PIN: 1769-01-5048
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ZONING: RL
USE: DWELLING SINGLE FAMILY, DETACHED

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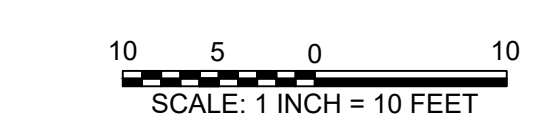
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GRADING AND EROSION & SEDIMENT CONTROL PLAN

C-5
 SHEET 5 OF 13

CONSTRUCTION SEQUENCE

1. INSTALL GRAVEL CONSTRUCTION PAD, SILT FENCE, OR OTHER MEASURES AS SHOWN ON THE APPROVED PLAN.
2. BEGIN CLEARING AND GRUBBING. MAINTAIN DEVICES AS NEEDED.
3. BEGIN ROUGH GRADING.
4. INSTALL STORM, WATER, AND SEWER UTILITIES.
5. STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISH GRADE WITH VEGETATION, PAVING, ETC. SEED AND MULCH DENUDED AREAS PER GROUND STABILIZATION TIME FRAMES.
6. REMOVE TEMPORARY SILT FENCE, ETC., AND SEED OR STABILIZE ANY RESULTING BARE AREAS.

EROSION CONTROL NOTES

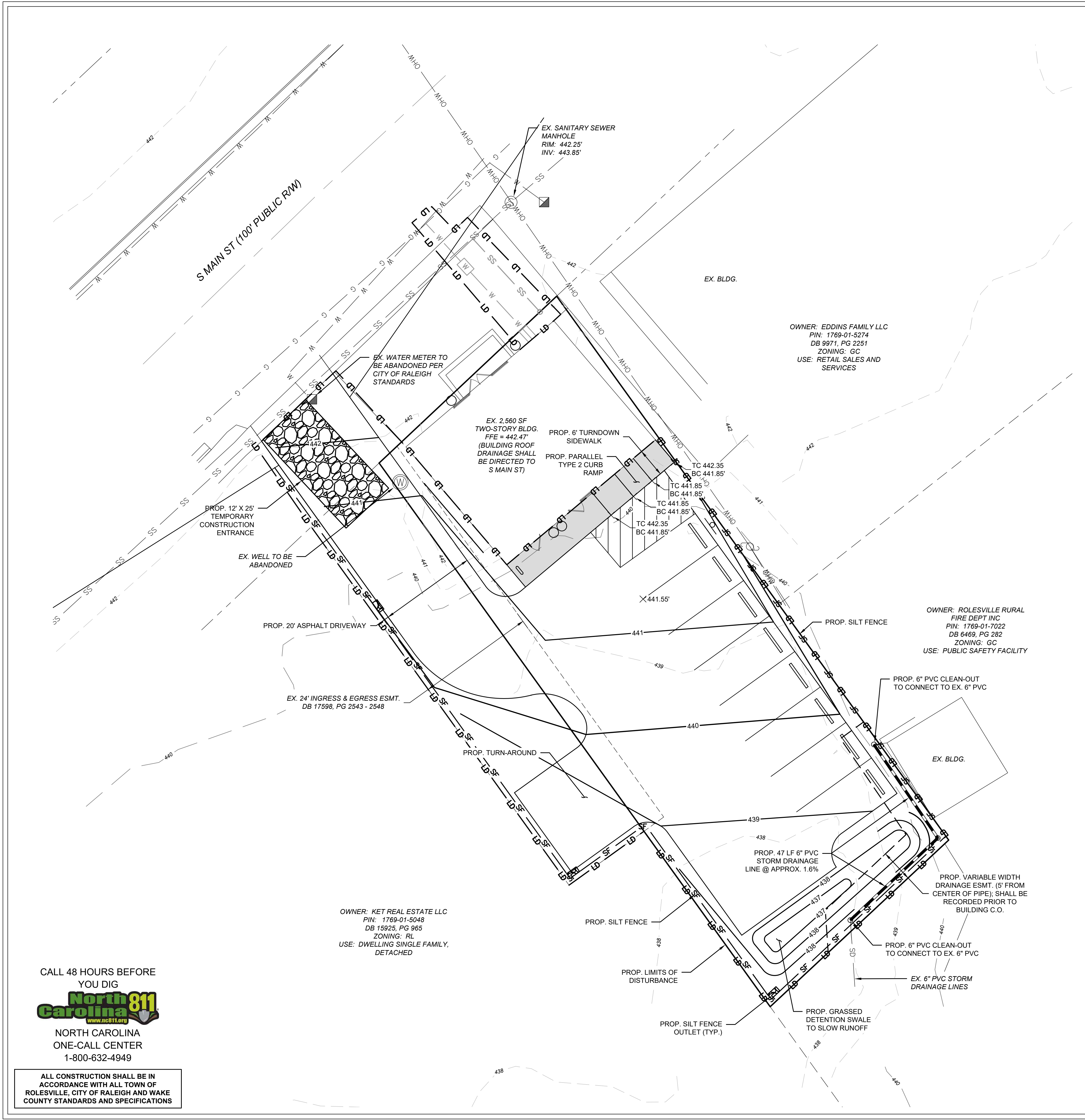
1. ALL LAND DISTURBING ACTIVITIES SHALL BE CONDUCTED IN ACCORDANCE WITH WAKE COUNTY AND NCEQ STANDARDS.
 2. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE MAINTAINED IN PROPER WORKING CONDITION DURING THE PERIOD OF CONSTRUCTION.
 3. ADDITIONAL EROSION CONTROL MEASURES AND/OR MODIFICATIONS TO PROPOSED MEASURES MAY BE NECESSARY DEPENDING ON ACTUAL SITE CONDITIONS.
4. THE TOTAL DISTURBED AREA IS 0.19 ACRE.
5. SILT FENCE OUTLETS TO BE PLACED AS SHOWN AND AT LOW POINTS ALONG SILT FENCE AS NECESSARY.

GRADING & DRAINAGE NOTES

1. EXISTING TOPOGRAPHIC CONTOURS OUTSIDE OF SITE ARE WAKE COUNTY GIS TOPOGRAPHIC DATA.
2. PROPOSED CONTOURS REPRESENT FINISH GRADES.
3. PROPOSED ADA STALL AND AISLE SHALL HAVE SLOPES NO STEEPER THAN 1:48 (2%) IN ALL DIRECTIONS.
4. PROPOSED ACCESSIBLE ROUTES SHALL HAVE RUNNING SLOPES NO STEEPER THAN 1:20 (5%) AND CROSS SLOPES NO STEEPER THAN 1:48 (2%).

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- 439 — PROP. MINOR CONTOUR (1')
- LD — LD — PROP. LIMIT OF DISTURBANCE
- SF — SF — PROP. SILT FENCE
- — — PROP. CONSTRUCTION ENTRANCE
- — — PROP. SILT FENCE OUTLET



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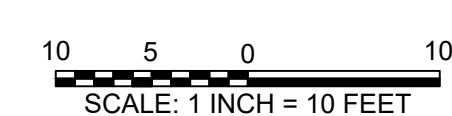
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 CITY OF RALEIGH DEVELOPMENT APPROVAL _____ RALEIGH WATER REVIEW OFFICER



REVISION HISTORY

REV #	DESCRIPTION	DATE	BY
1	TOR COMMENTS	6/28/2024	FLM
2	TOR COMMENTS	9/3/2024	FLM
3	TOR COMMENTS	10/29/2024	FLM
4	SIGNATURE SET	11/7/2024	FLM

ORIGINAL PLAN SIZE: 24" X 36"



SCALE ADJUSTMENT
THIS BAR IS 1 INCH IN LENGTH ON ORIGINAL DRAWING
IF IT IS NOT 1 INCH ON THIS SHEET, ADJUST YOUR SCALE ACCORDINGLY

SITE CONSTRUCTION PLANS
SDP-24-04
105 S MAIN ST
ROLESVILLE, NC 27571

DRAGONFLY INVESTMENTS LLC

DATE:	04-26-2024
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	FLM
PROJECT NO.:	23043

LANDSCAPING PLAN

C-6
SHEET 6 OF 13

NOTES

- ALL NEW PLANTINGS SHALL MEET THE REQUIREMENTS OF THE TOWN OF ROLESVILLE LAND DEVELOPMENT ORDINANCE (LDO) SECTION 6.2.
- NO CHANGE OF USE IS PROPOSED, THUS, PERIMETER BUFFERS ARE NOT REQUIRED.
- ALL DISTURBED AREAS NOT OCCUPIED BY STRUCTURES, PAVING OR PLANTINGS SHALL BE GRADED AND SEEDED AS INDICATED IN SPECIFICATIONS.
- ALL TREE PLANTINGS SHALL BE MULCHED WITH 4" CLEAN, PINE STRAW MULCH.
- ALL PLANT BEDS TO BE EDGED WITH TYPICAL "V-CANNEL" EDGE.
- A MINIMUM OF FOUR INDIVIDUAL SOIL SAMPLES SHALL BE TAKEN THROUGHOUT THE SITE FOR OVERALL SOIL ANALYSIS.
- CONTRACTOR TO UTILIZE ALL ONSITE TOPSOIL. CONTRACTOR SHALL SUPPLY ADDITIONAL TOPSOIL AT NO ADDITIONAL COST TO OWNER IF EXISTING TOPSOIL IS NOT SUFFICIENT TO MEET THE NEEDS OF THIS PROJECT.
- ALL PLANTING AREAS TO RECEIVE 1 CY OF SOIL CONDITIONER FOR EACH 75 SF OF PLANT BED AREA. ACCEPTABLE SOIL CONDITIONERS SHALL BE PULVERIZED PINE BARK, PEAT MOSS OR SHREDDED/COMPOSTED LEAVES.
- CONTRACTOR TO FIELD VERIFY LOCATION OF EXISTING UTILITIES BEFORE BEGINNING OF GRADING AND LANDSCAPE INSTALLATION.
- CONTRACTOR TO VERIFY QUANTITIES OF PLANTINGS AS SHOWN. PLANTINGS INDICATED ON PLANS SHALL PREVAIL OVER QUANTITIES INDICATED IN PLANT LIST IF DISCREPANCIES ARISE.
- ALL PLANTS ARE TO BE THOROUGHLY "WATERED IN" THE SAME DAY AS PLANTED.
- THE PLANT HOLE WIDTH SHALL BE A MINIMUM THREE TIMES THE DIAMETER OF THE ROOT BALL.
- REMOVE ALL STRAPPING AND TWINE FROM ROOT BALL. REMOVE WIRE BASKET AND BURLAP FROM TOP 1/3 OF ROOT BALL BEFORE BACKFILLING AROUND BALL IS COMPLETED.
- ALL TREES WHICH ARE SMOOTH BARKED AT THE TIME OF PLANTING AND HAVE MORE THAN 2' OF ALL TREE WRAPPING SHALL EXTEND FROM THE TOP OF THE BACKFILL TO THE LOWERMOST TREE BRANCHES.
- ALL TREES, WHEN PLANTED, SHALL HAVE THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE GRADING PLAN.
- LANDSCAPING SHOWN MEETS QUANTITY REQUIREMENTS. ALL INSTALLATION AND MAINTENANCE SHALL BE PER TOWN OF ROLESVILLE UDO.
- ALL ADDITIONAL LANDSCAPING SHALL BE PER OWNER.
- ALL MECHANICAL EQUIPMENT SHALL COMPLY WITH TOWN OF ROLESVILLE LDO SECTION 6.8.8.

LANDSCAPING REQUIREMENTS

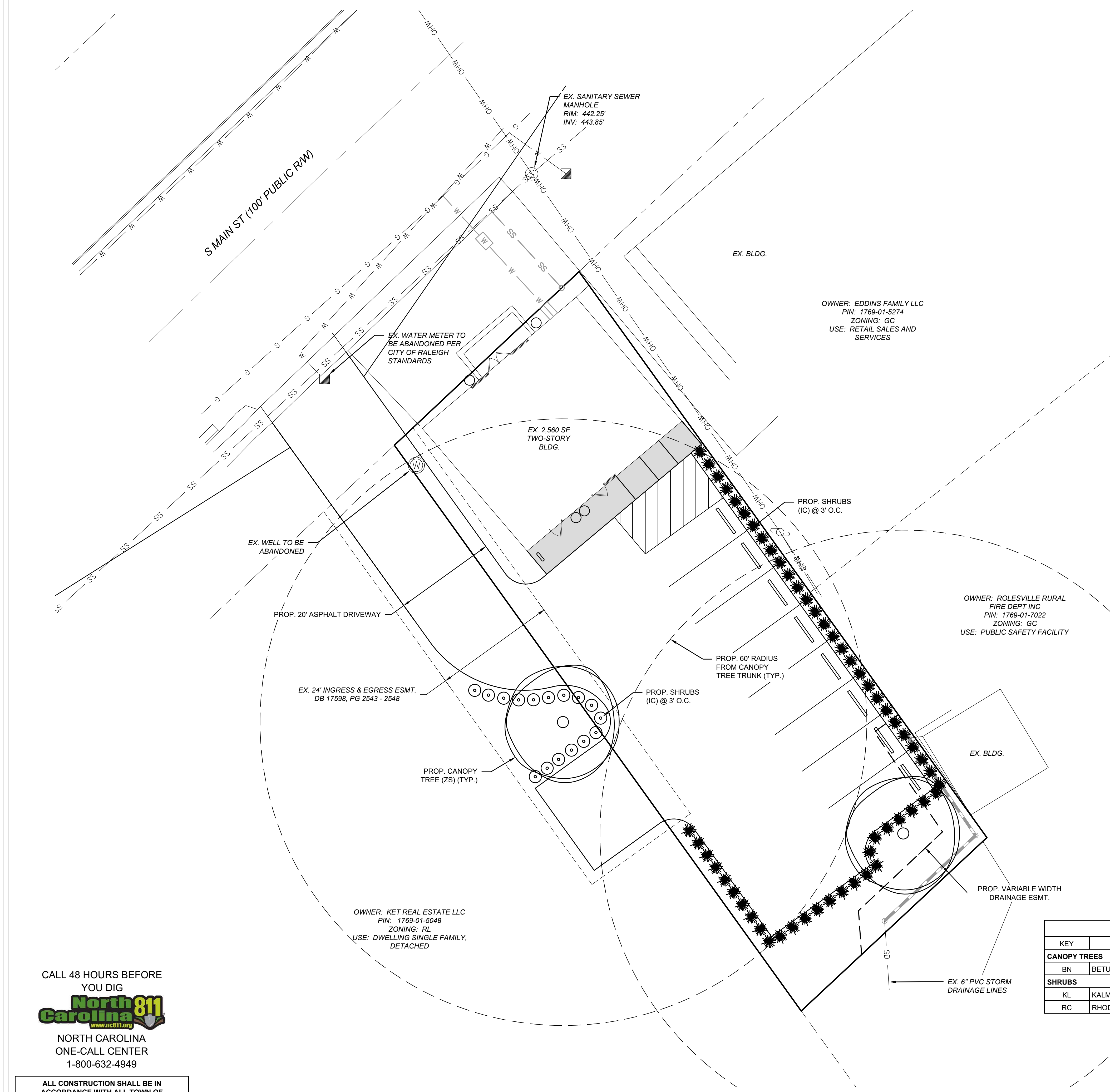
- PARKING LANDSCAPING:**
- ALL PARKING SPACES SHALL BE WITHIN 60' FROM THE TRUNK OF A CANOPY TREE
 - PARKING PERIMETER SHALL CONSIST OF A SINGLE CONTINUOUS ROW OF SHRUBS NO GREATER THAN 3' ON-CENTER AND WITHIN 5' OF THE PARKING LOT EDGE

LEGEND

- EX. PROPERTY LINE
- - - EX. RIGHT-OF-WAY
- - - EX. ADJACENT OWNERS
- OHW — OHW — EX. OVERHEAD ELECTRIC LINE
- W — W — EX. WATER LINE
- G — G — EX. GAS LINE
- SS — SS — EX. SANITARY SEWER
- SD — SD — EX. STORM SEWER
- W — W — PROP. WATER LINE
- SS — SS — PROP. SANITARY SEWER
- SS — SS — PROP. STORM SEWER
- PROP. CANOPY TREE (BN)
- * PROP. SHRUB (RC)
- PROP. SHRUB (KL)

PLANT LIST						
KEY	SCIENTIFIC NAME	COMMON NAME	QUAN.	CAL.	HT.	MATURITY HT.
CANOPY TREES						
BN	BETULA NIGRA	RIVER BIRCH	2	2"	8'	
SHRUBS						
KL	KALMIA LATIFOLIA	MOUNTAIN LAUREL	16		18"	6' - 10'
RC	RHODODENDRON CAROLINIANUM	CAROLINA RHODODENDRON	54		18"	10' - 15'

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CITY OF RALEIGH DEVELOPMENT APPROVAL _____
RALEIGH WATER REVIEW OFFICER



OWNER: EDDINS FAMILY LLC
PIN: 1769-01-5274
ZONING: GC
USE: RETAIL SALES AND SERVICES

OWNER: ROLESVILLE RURAL FIRE DEPT INC
PIN: 1769-01-7022
ZONING: GC
USE: PUBLIC SAFETY FACILITY

OWNER: KET REAL ESTATE LLC
PIN: 1769-01-5048
ZONING: RL
USE: DWELLING SINGLE FAMILY, DETACHED

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www.nc811.org
NORTH CAROLINA ONE-CALL CENTER
1-800-632-4949

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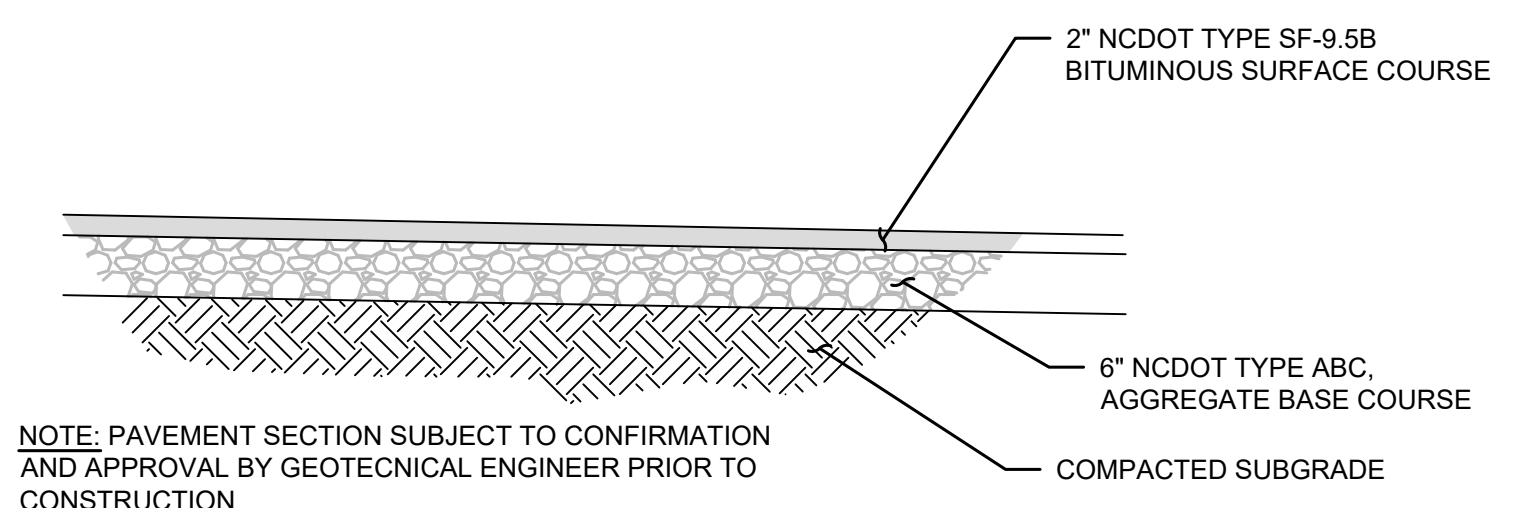
SITE CONSTRUCTION PLANS
SDP-24-04
105 S MAIN ST
ROLESVILLE, NC 27571

DRAGONFLY INVESTMENTS LLC

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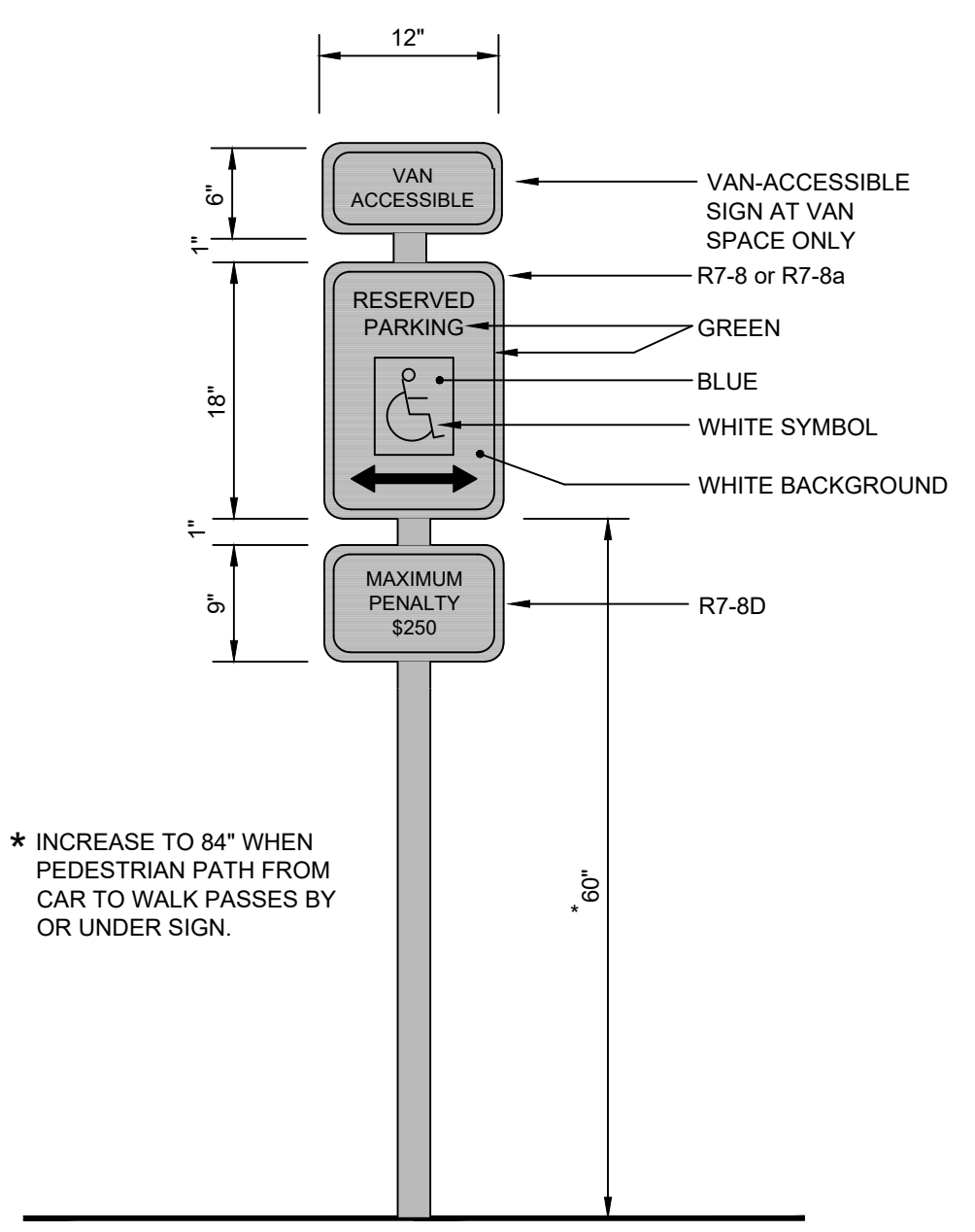
SITE DETAILS

C-7
SHEET 7 OF 13



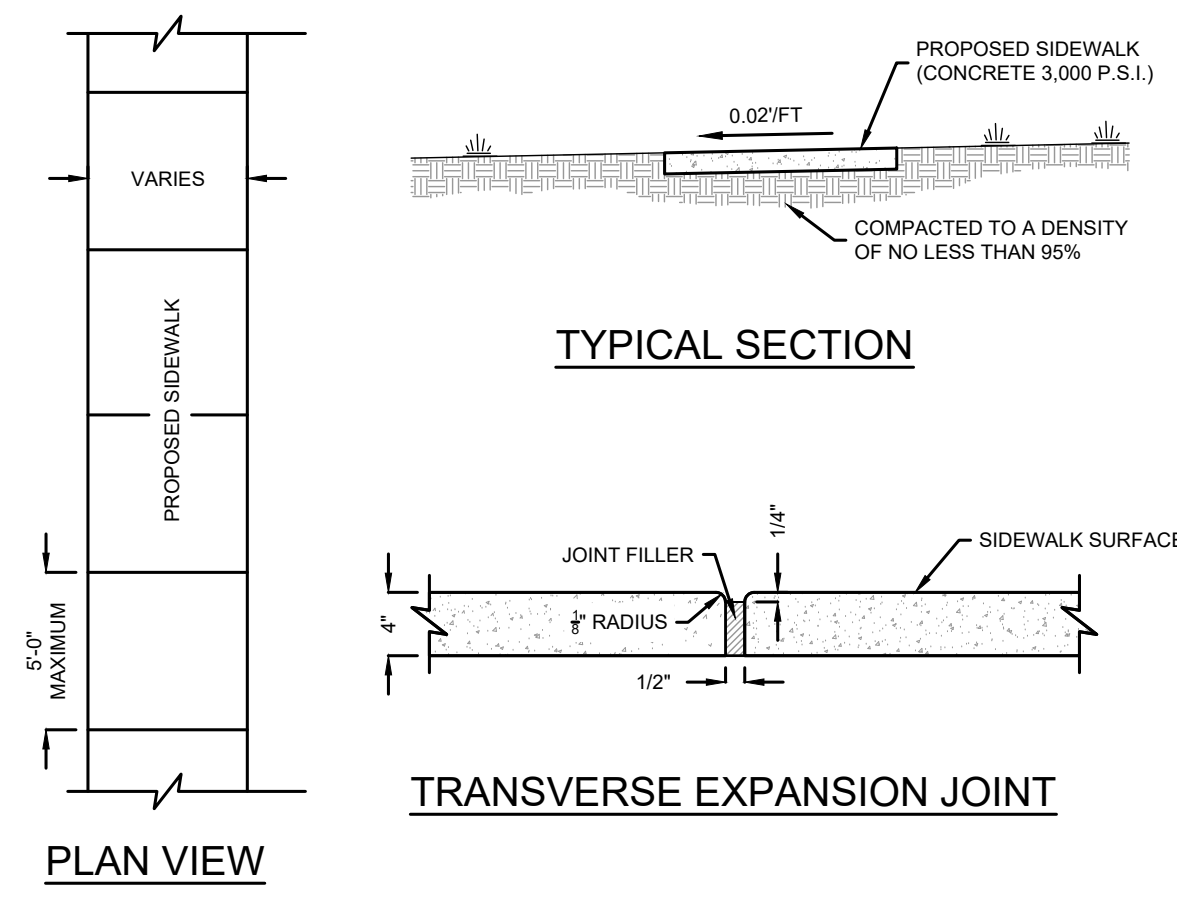
ASPHALT PARKING PAVEMENT SECTION
NO SCALE

NOTE: PAVEMENT SECTION SUBJECT TO CONFIRMATION AND APPROVAL BY GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTION



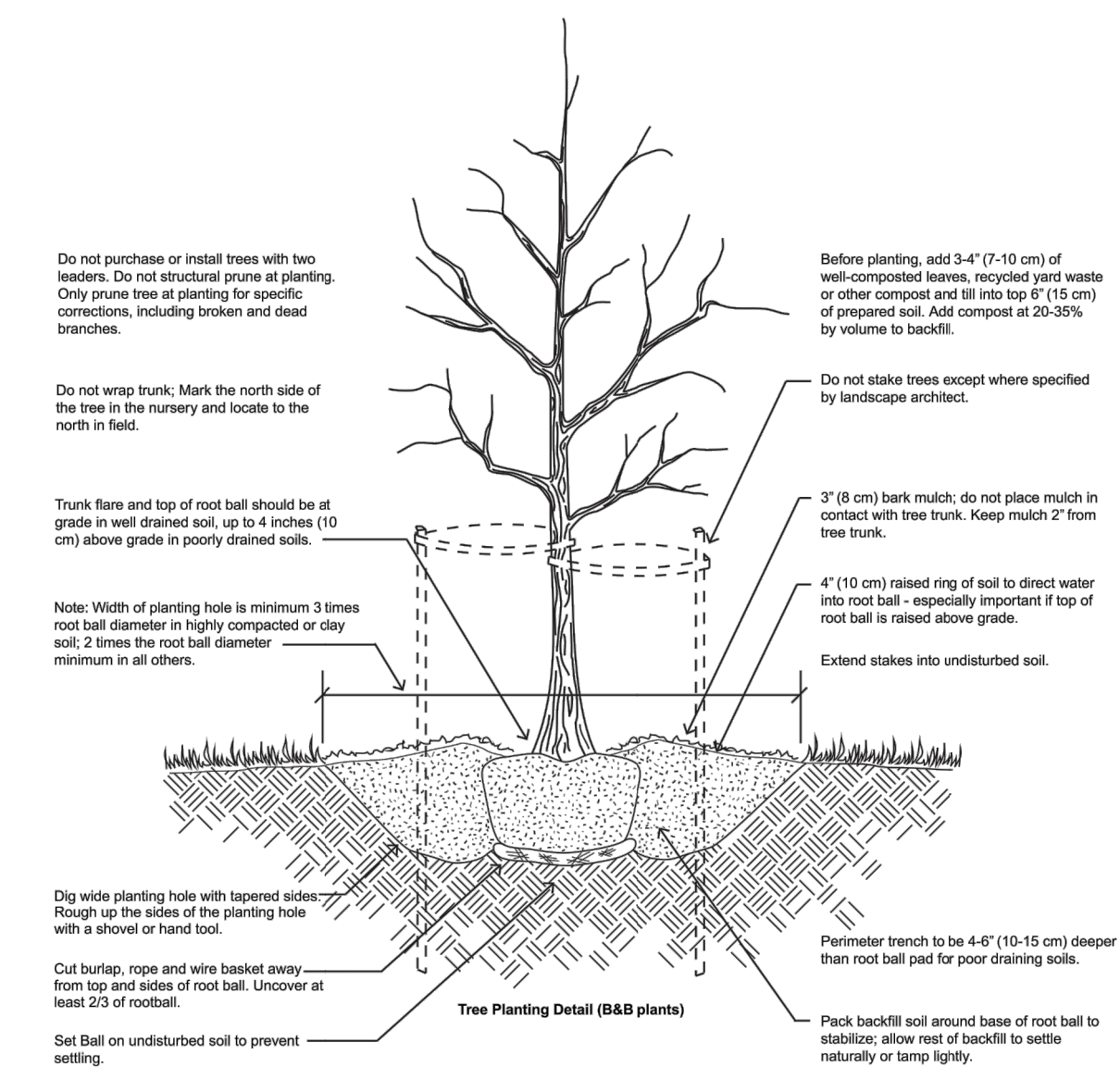
ADA SIGN AND POST
NO SCALE

* INCREASE TO 84" WHEN PEDESTRIAN PATH FROM CAR TO WALK PASSES BY OR UNDER SIGN.



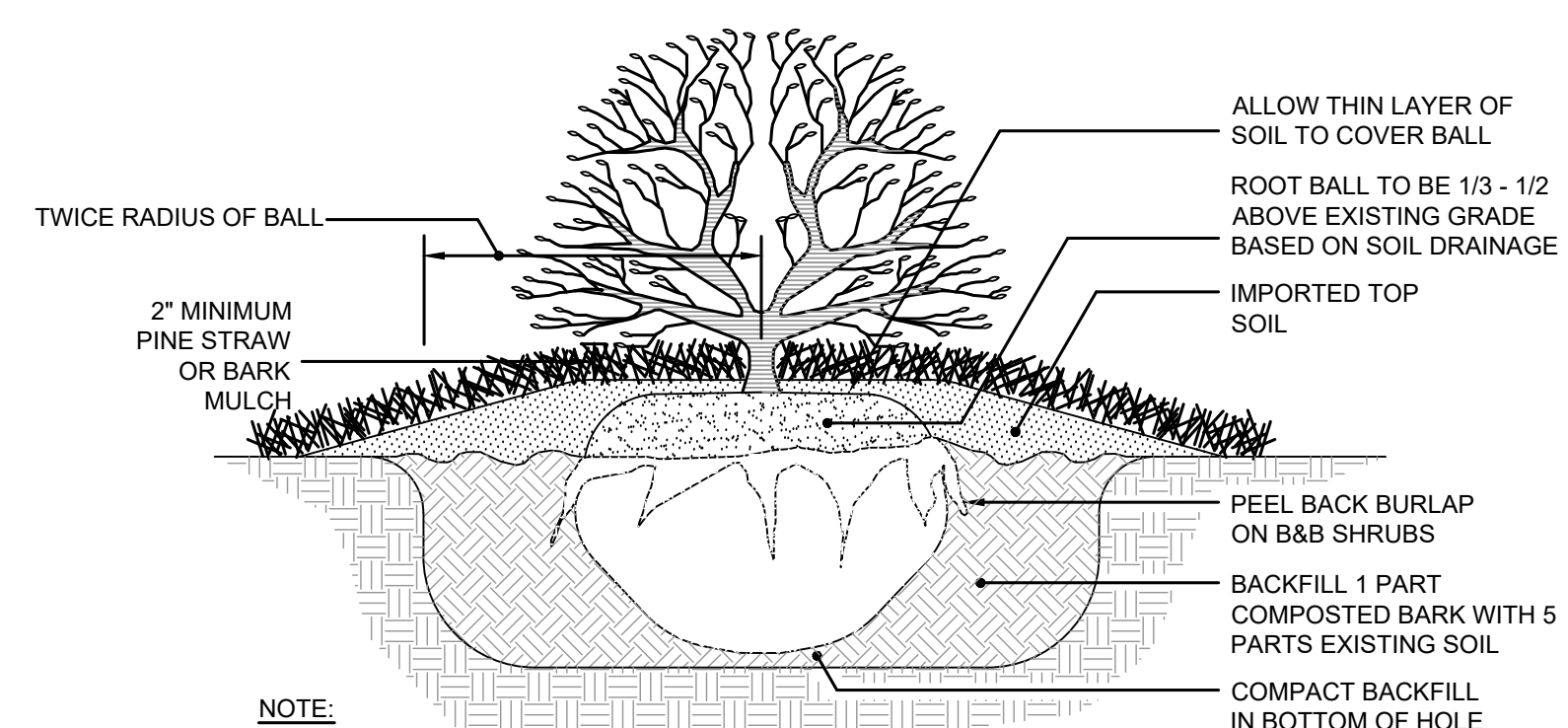
CONCRETE SIDEWALK
NO SCALE

- NOTES:
- TRANSVERSE EXPANSION JOINTS TO BE A MAXIMUM OF 5 FEET.
 - ALL CONCRETE TO BE FINISHED WITH CURING COMPOUND.
 - A 6 INCH DEPTH IS REQUIRED AT LOCATIONS OF DRIVEWAY CROSSINGS, AT STREET INTERSECTIONS (ALONG THE LENGTH OF RADIUS CURB RETURNS), AND IN THE HANDICAP RAMPS.



TREE PLANTING DETAIL
NO SCALE

- NOTES:
- Where several trees will be planted close together such that they will reach above root space, fill in soil amendments to a depth of 4'-0" (10-15cm) over the entire area.
 - For container grown trees, use fingers or small hand tools to pull the roots out of the outer layer of potting soil; then cut or pull apart any roots extending the perimeter of the container.
 - During the design phase, confirm that water drains out of the soil; use covered drainage system as required.
 - Thoroughly soak the tree root ball and adjacent potting soil several times during the first month after planting and regularly throughout the following two summers.
 - The planting process is similar for deciduous and evergreen trees.



TYP. SHRUB/EVERGREEN PLANTING DETAIL
NO SCALE

- NOTE:
- ALL SHRUB/EVERGREEN BEDS SHALL BE RAISED 6" - 8" ABOVE ADJACENT GRADE, AND FILLED WITH SOIL CONDITIONER.
 - ALL SHRUB/EVERGREEN BEDS IN PARKING ISLANDS ONLY SHALL BE RAISED 12" ABOVE ADJACENT GRADE AND FILLED WITH SOIL CONDITIONER.

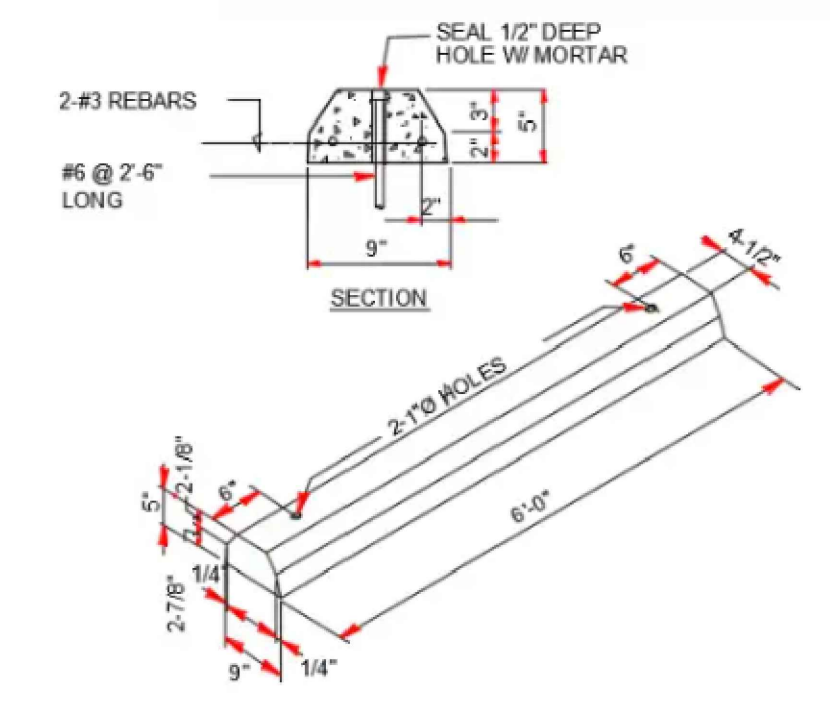
1-Loop Wave Style Bike Rack - 3 Bike Capacity, Black



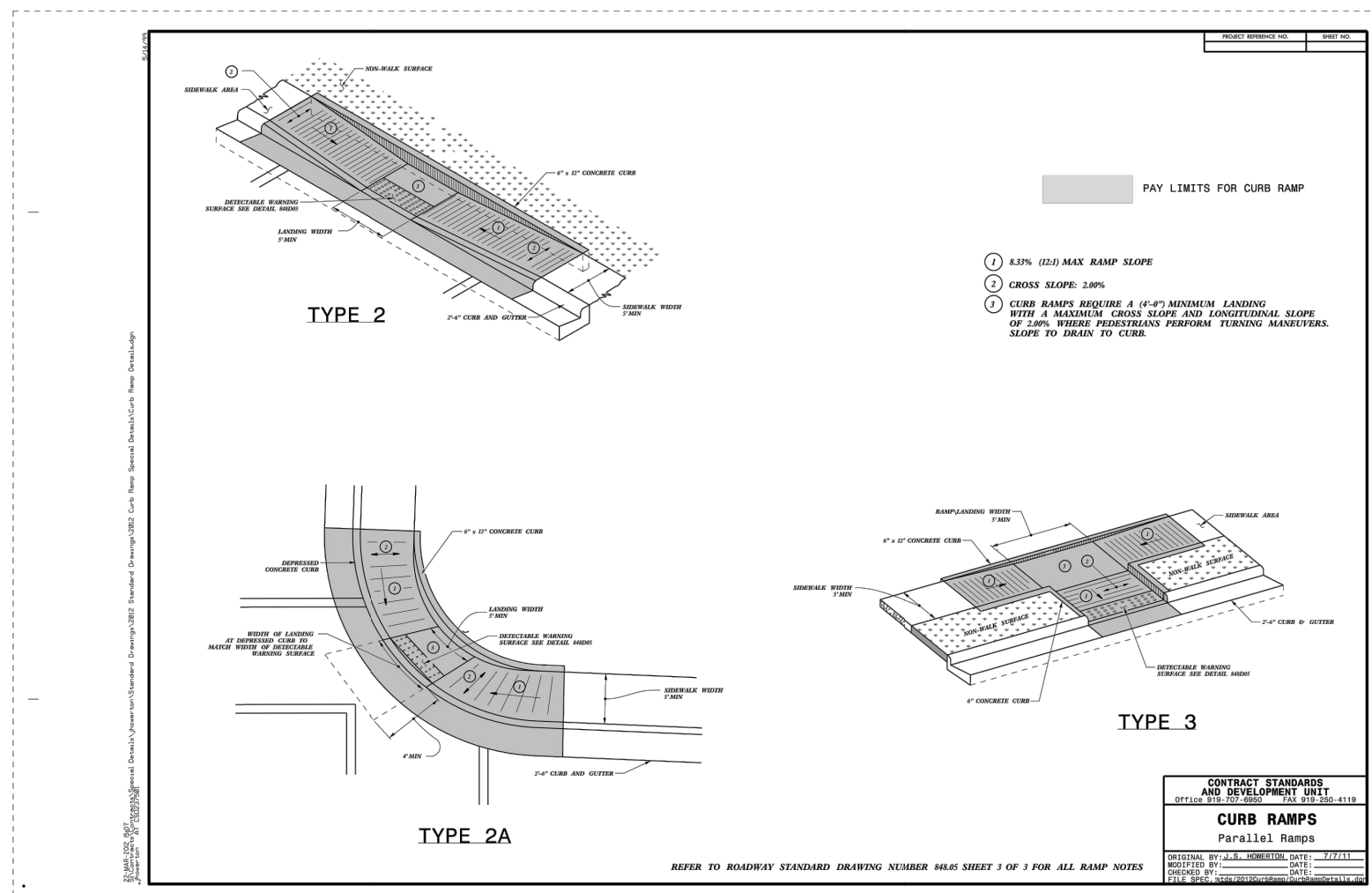
- Upscale stylish look for downtown shopping and business districts.
- For stadiums, parks and athletic fields.
 - 10-gauge steel with attractive powder coating.
 - 2 3/8" diameter bar.
 - Mounting hardware included.

MODEL NO.	DESCRIPTION	SIZE L x W x H	BIKE CAPACITY	WT. (LBS.)	PRICE EACH	COLOR	IN STOCK
H-2892BL	1-Loop	22 x 2 1/2 x 34"	3	27	\$230 \$220	Black	ADD

BIKE RACK DETAIL
NO SCALE



PRE-CAST CONCRETE WHEEL STOP DETAIL
NO SCALE



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RALEIGH WATER REVIEW OFFICER _____



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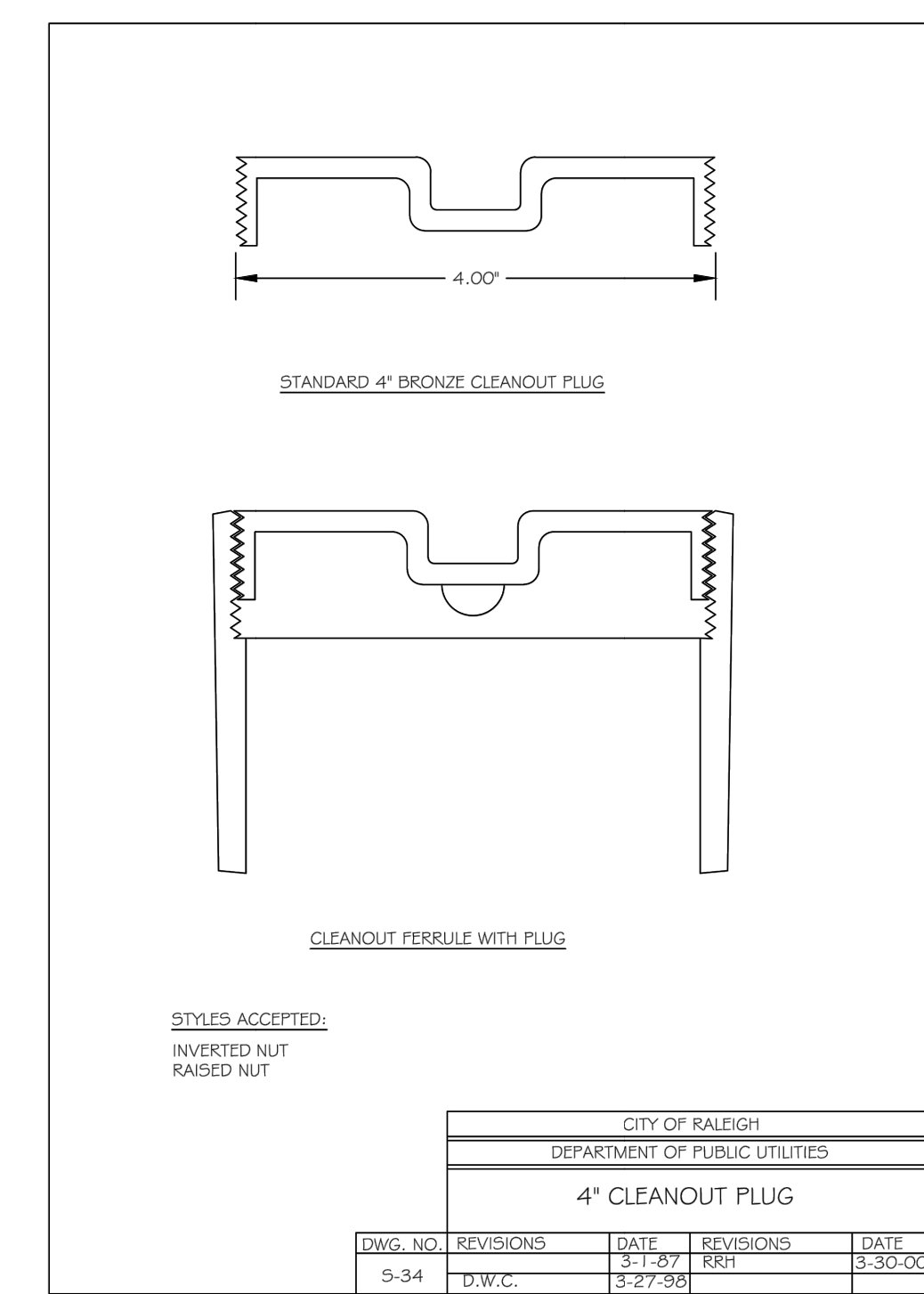
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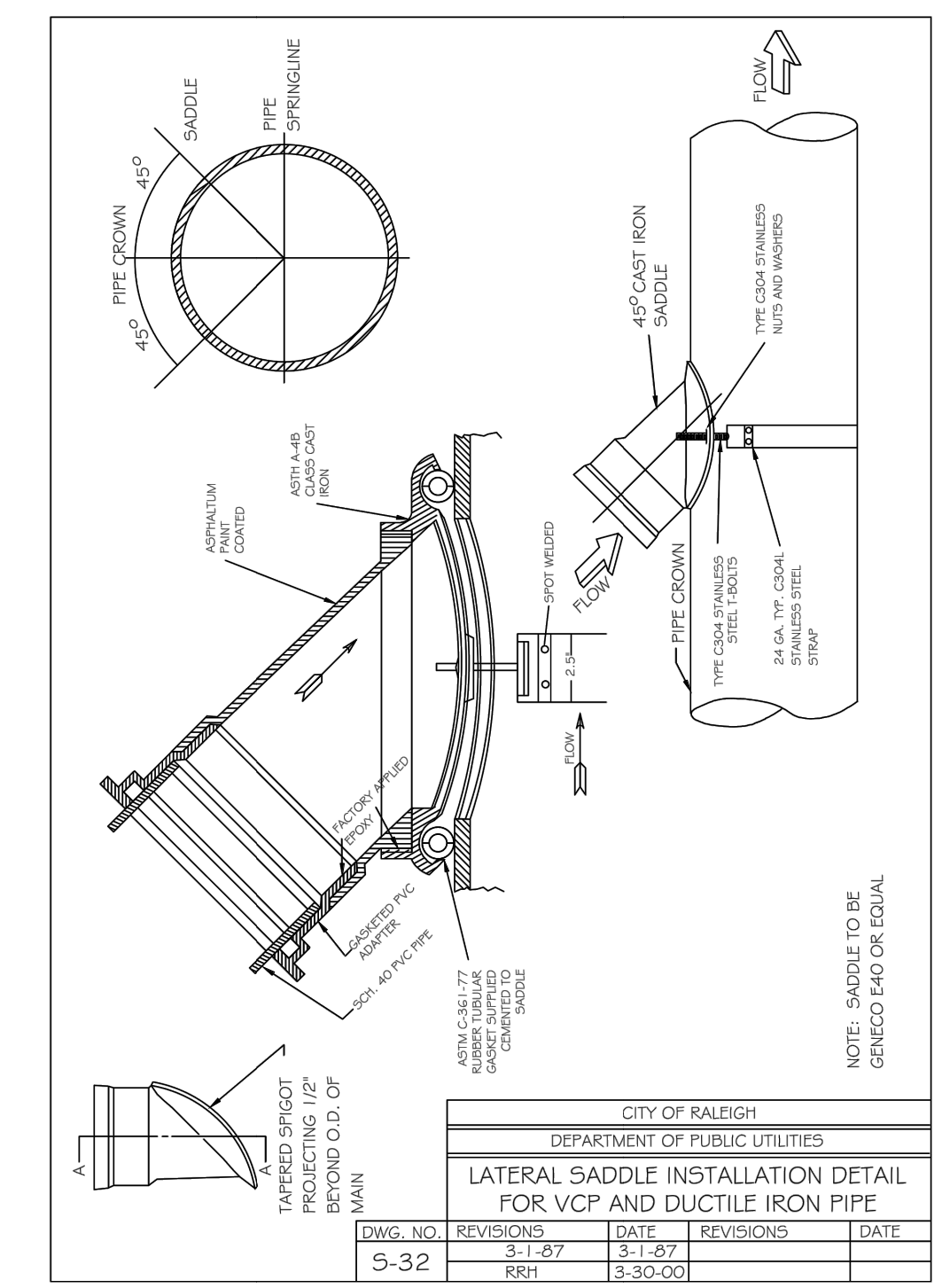
WATER & SEWER DETAILS

C-9

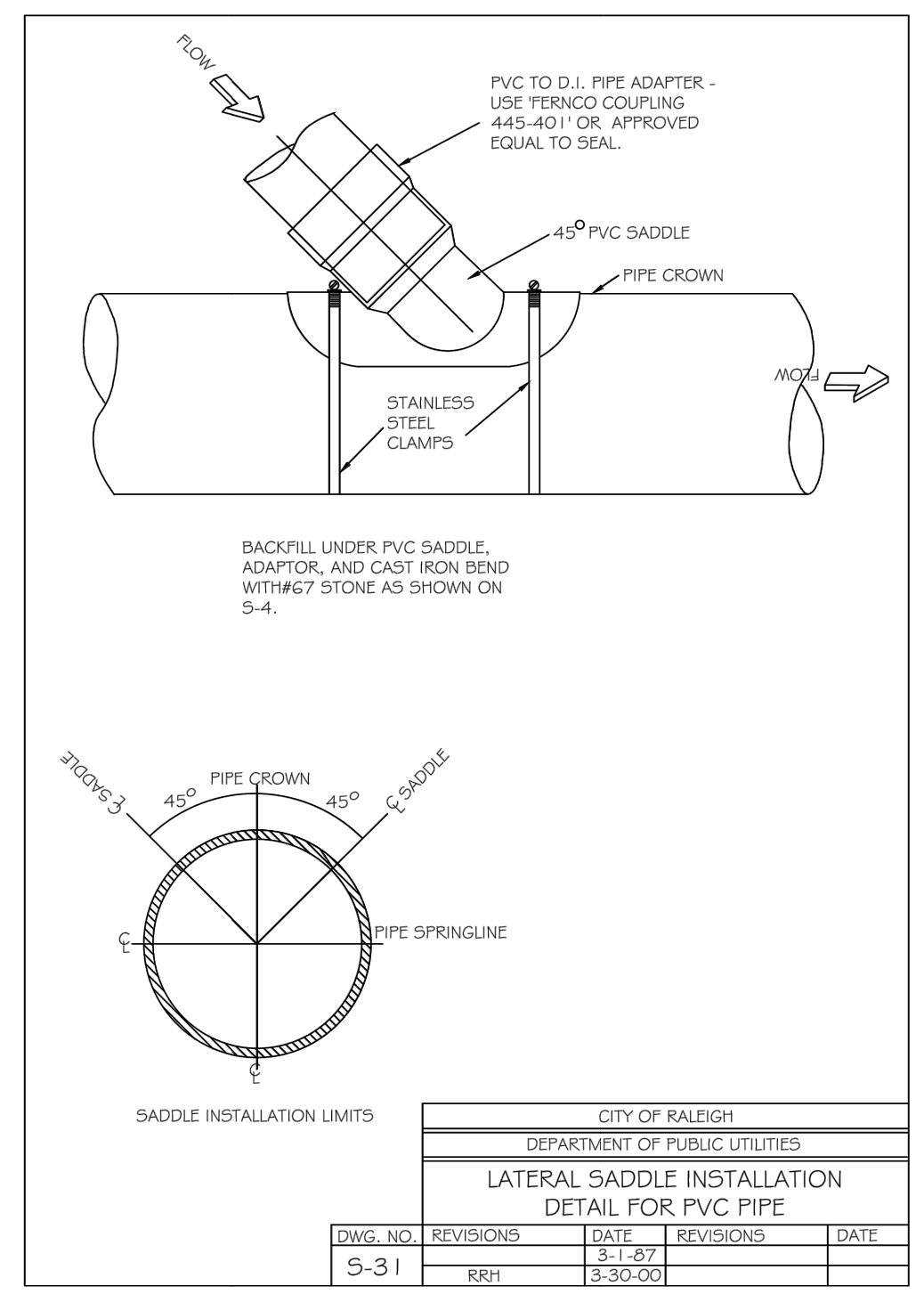
SHEET 9 OF 13



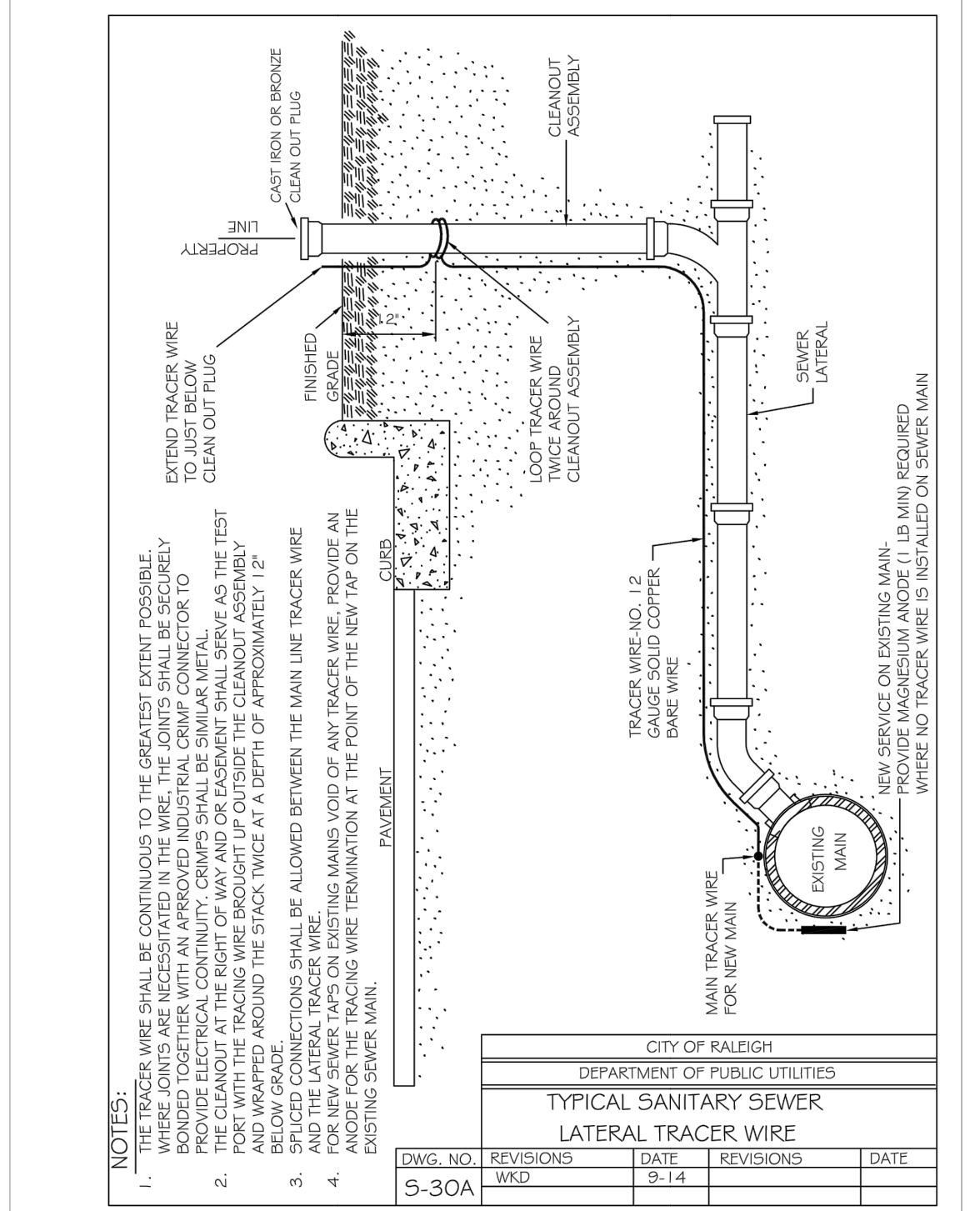
CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
4" CLEANOUT PLUG				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
5-34		D.W.C.	3-27-2024	



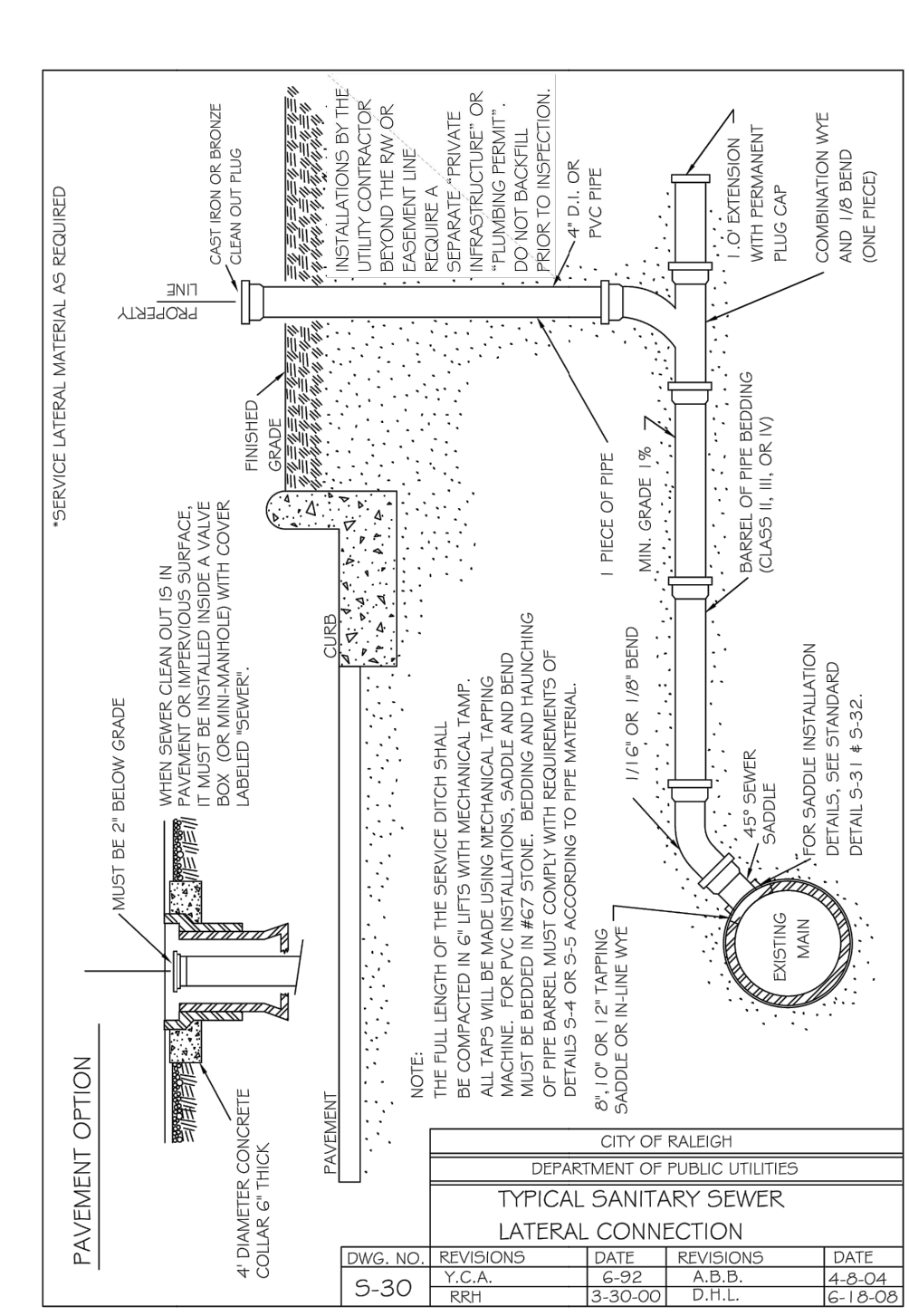
CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
LATERAL SADDLE INSTALLATION DETAIL FOR VCP AND DUCTILE IRON PIPE				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
5-32		3-1-87	3-1-87	
		RRH	RRH	3-30-00



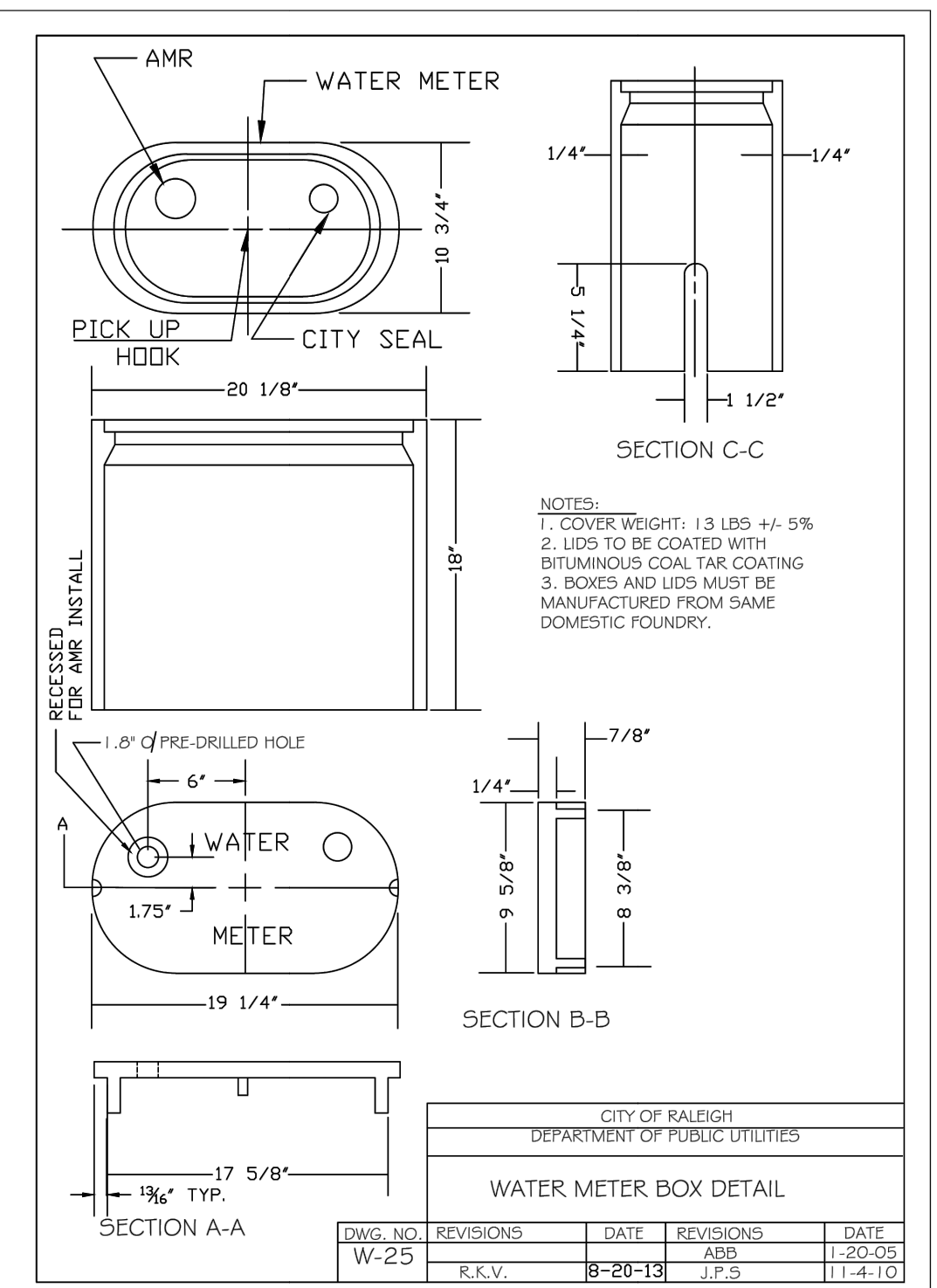
CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
LATERAL SADDLE INSTALLATION DETAIL FOR PVC PIPE				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
5-31		RRH	3-30-00	



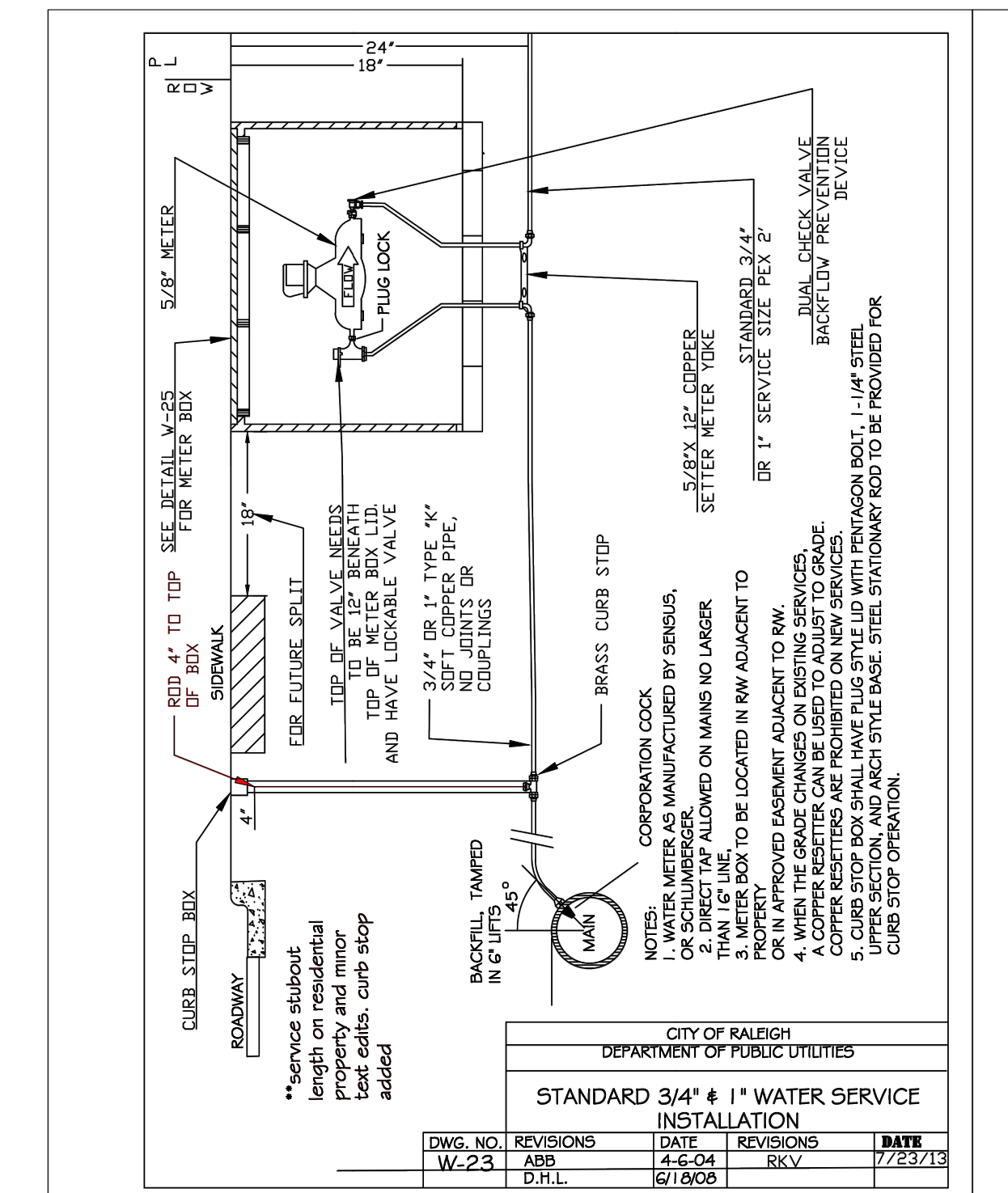
CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
TYPICAL SANITARY SEWER LATERAL TRACER WIRE				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
5-30A		WKD	9-14	



CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
TYPICAL SANITARY SEWER LATERAL CONNECTION				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
5-30		RRH	3-30-00	
		D.H.L.	D.H.L.	8-18-08



CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
WATER METER BOX DETAIL				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-25		R.K.V.	8-20-19	
		ABB	J.P.S.	11-4-10



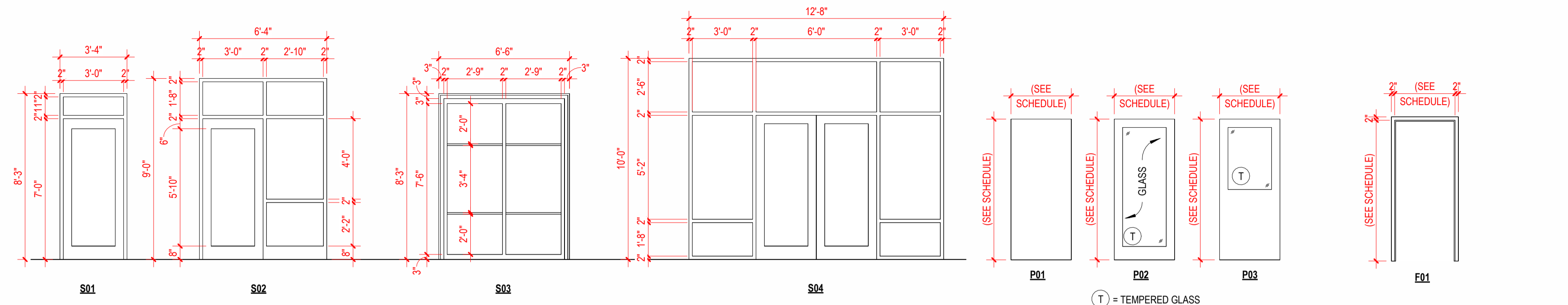
CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
STANDARD 3/4" x 1" WATER SERVICE INSTALLATION				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-23		ABB	4-6-04	
		D.H.L.	6/19/08	7/23/13

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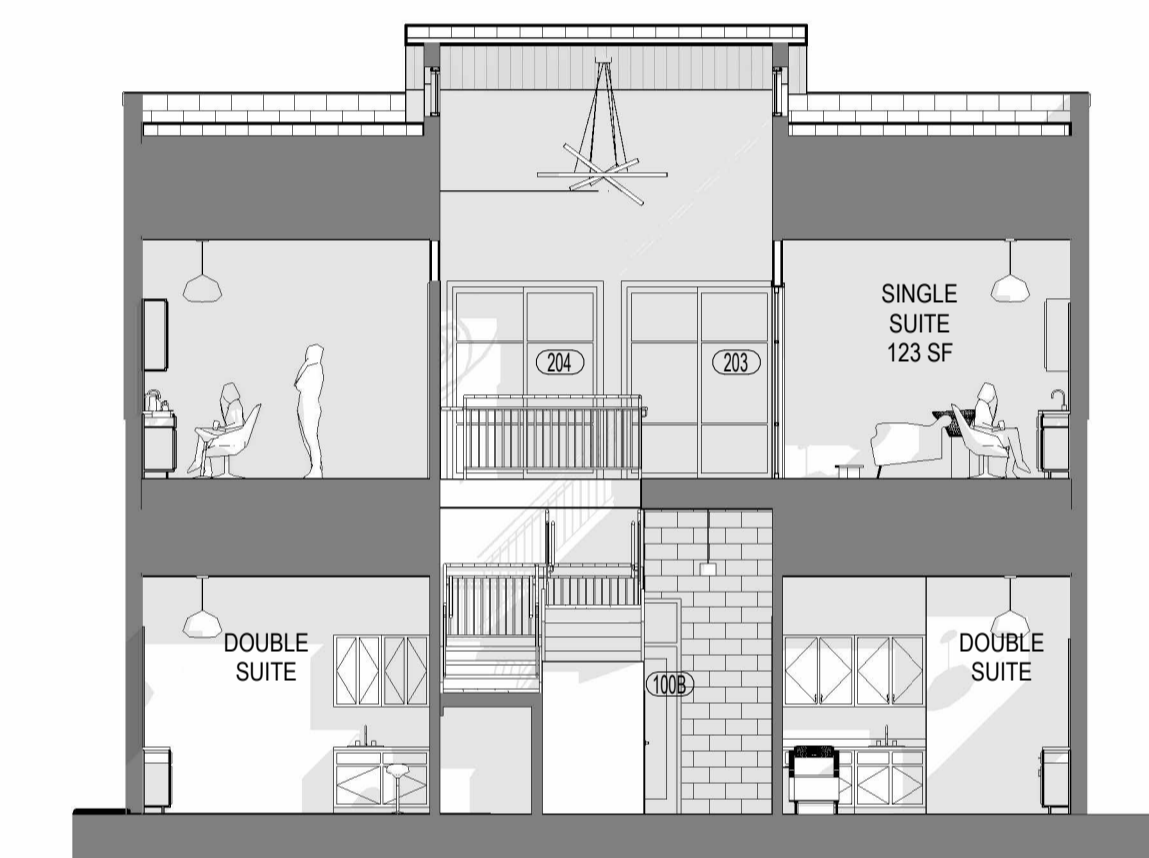
Door Schedule (All)													
No.	Qty.	DOOR			TYPE	FRAME		IV Strip	THRES	CLOSERS	Rating	Hardware Group	NOTES
		W	H	T		MATL	MATL						
100A	2	6'-0"	7'-2"	1 3/4"	S04	ALUM	F01	ALUM	Yes	Yes	YES		PANIC HARDWARE, ENTRY LOCKSET
100B	1	3'-0"	7'-0"	2"	S02	ALUM	F01	ALUM	Yes	Yes	YES		PANIC HARDWARE, ENTRY LOCKSET
101	1	6'-0"	8'-0"	2"									S03 DOOR TYPE & MATERIAL PER MANUFACTURER, LOCKSET
102	1	6'-0"	8'-0"	2"									S03 DOOR TYPE & MATERIAL PER MANUFACTURER, LOCKSET
103	1	3'-0"	7'-0"	2"	S01	H.M.	F01	H.M.					LOCKSET
104	1	3'-0"	7'-0"	1 3/4"	P01	S.C.WD.	F01	H.M.			YES		PRIVATE LOCKSET
105A	1	6'-0"	8'-0"	2"									DOOR TYPE & MATERIAL PER MANUFACTURER, LOCKSET
105B	1	3'-0"	7'-0"	1 3/4"	P03	ALUM	F01	ALUM	Yes	Yes	YES		PUSH BAR, LOCKSET, EXIT ONLY
106	1	3'-0"	7'-0"	1 3/4"	P01	S.C.WD.	F01	H.M.			YES		PRIVATE LOCKSET
108	1	2'-6"	5'-0"	1 3/4"	P01	S.C.WD.	F01	H.M.					LOCKSET
201	1	6'-0"	8'-0"	2"									S03 DOOR TYPE & MATERIAL PER MANUFACTURER, LOCKSET
202	1	6'-0"	8'-0"	2"									S03 DOOR TYPE & MATERIAL PER MANUFACTURER, LOCKSET
203	1	6'-0"	8'-0"	2"									S03 DOOR TYPE & MATERIAL PER MANUFACTURER, LOCKSET
204	1	6'-0"	8'-0"	2"									S03 DOOR TYPE & MATERIAL PER MANUFACTURER, LOCKSET
205	1	6'-0"	8'-0"	2"									S03 DOOR TYPE & MATERIAL PER MANUFACTURER, LOCKSET
206	1	6'-0"	8'-0"	2"									S03 DOOR TYPE & MATERIAL PER MANUFACTURER, LOCKSET



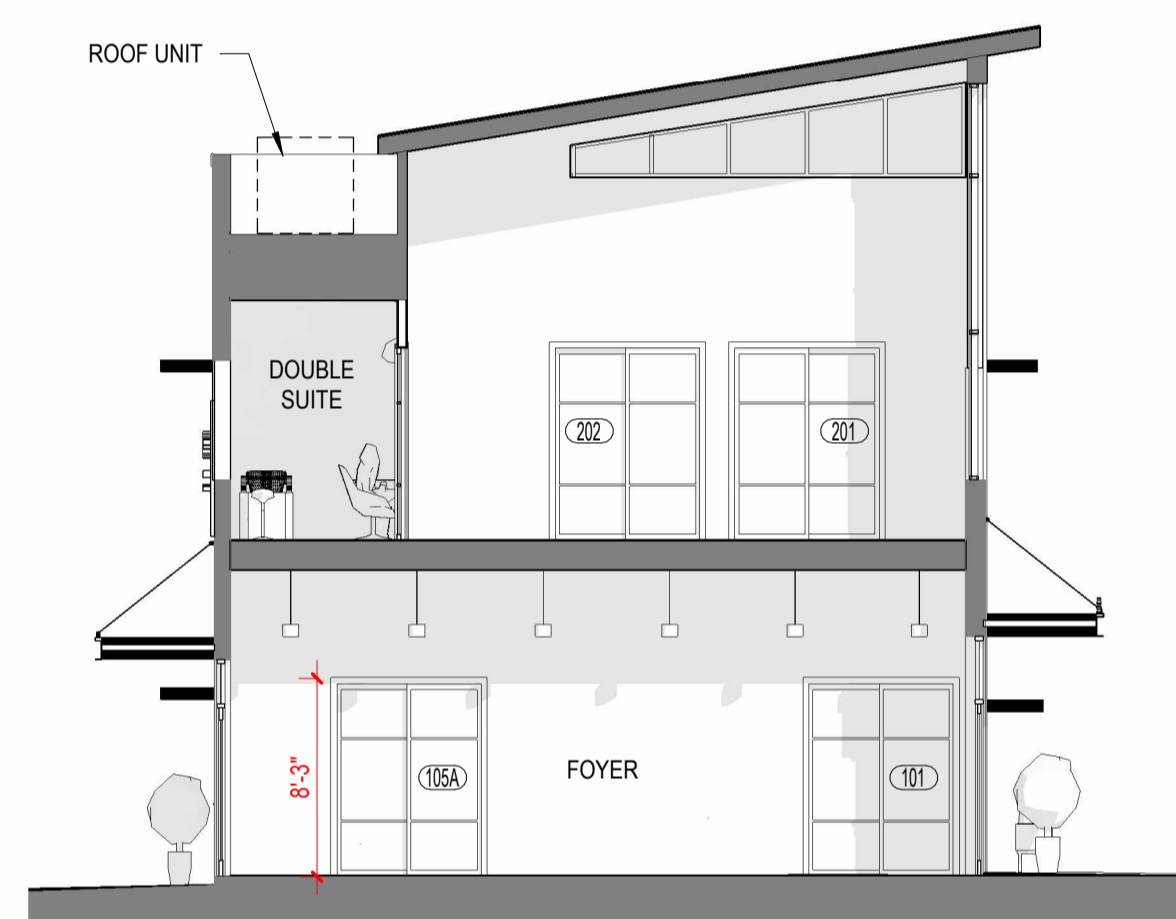
ELEVATIONS - STOREFRONT
1/4" = 1'-0"

ELEVATIONS - LEAF
1/4" = 1'-0"

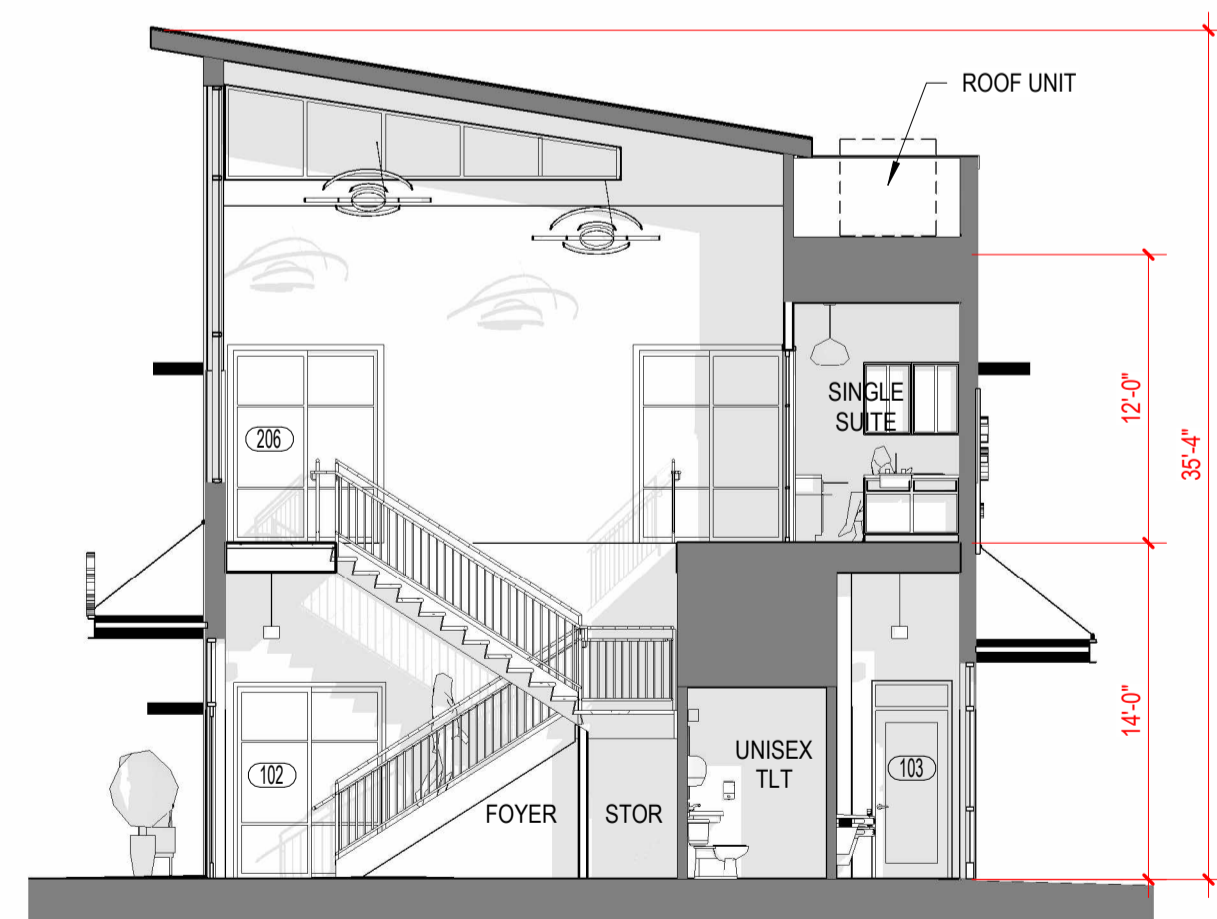
ELEVATIONS - FRAME
1/4" = 1'-0"



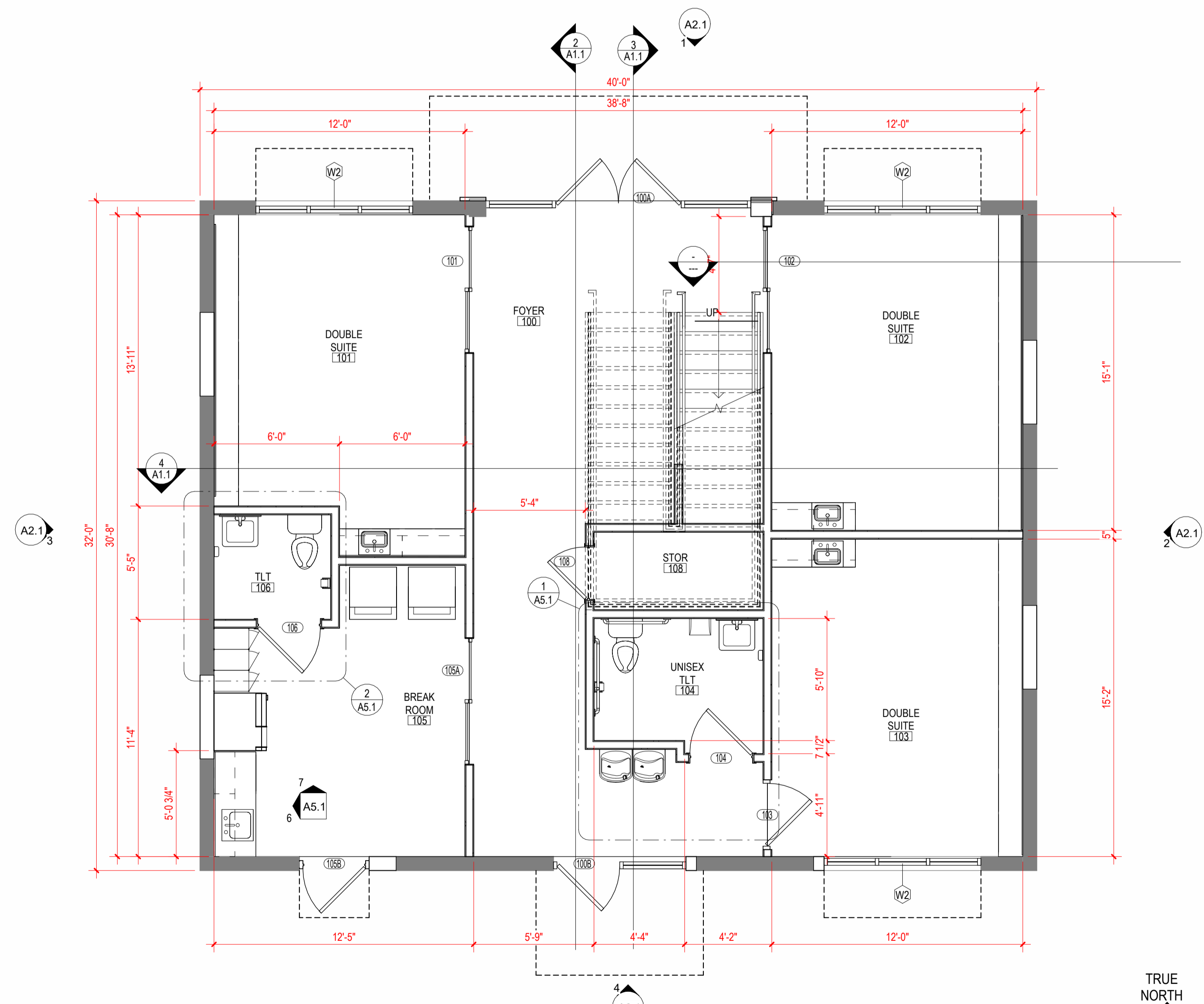
4 Section 3
1/8" = 1'-0"



2 SECTION - WEST
1/8" = 1'-0"



3 SECTION - EAST
1/8" = 1'-0"



1 FLOOR PLAN
1/4" = 1'-0"

INTERIOR WALL LEGEND	WALL CONSTRUCTION TYPE						HEAD CONDITION		MEMBER SIZES		WALL RATING		READING LEFT TO RIGHT: 1. THE FIRST CHARACTER IN THE TAG INDICATES WHICH DETAIL TO REFERENCE FOR THE WALL CONSTRUCTION 2. THE SECOND CHARACTER INDICATES THE HEAD CONDITION "1" (FULL HEIGHT TO UNDERSIDE OF STRUCTURE), "2" (TO THE DIMENSION ABOVE THE FINISH FLOOR AS INDICATED IN THE DETAIL), OR "3" (TO THE DIMENSION ABOVE FINISH FLOOR INDICATED IN THE PLANS) 3. THE THIRD CHARACTER INDICATES THE STUD SIZE. REFERENCE THE DETAIL FOR THE STUD SIZE. 4. THE FOURTH CHARACTER INDICATES THE HOURLY WALL RATING. SEE UL SHEET FOR UL DETAIL.	
	A	B	C	D	E	F	1	2	3	4	5	6		
ACOUSTICAL INSULATION MTL STD 1 LAYERS 5/8" GYP. BOARD EACH SIDE	ACOUSTICAL INSULATION MTL STD 1 LAYERS 5/8" GYP. BOARD MTL STD	ACOUSTICAL INSULATION WOOD STD 1 LAYERS 5/8" GYP. BOARD EACH SIDE	ACOUSTICAL INSULATION WOOD STD 1 LAYERS 5/8" GYP. BOARD MTL STD	CMU	1 LAYERS 5/8" GYP. BOARD MTL STD 3/4" FURRING STRIP CMU	BOTTOM OF STRUCTURE	EXTEND PARTITION ABOVE FINISH LINE LINE OF CEILING	HEIGHT AS DETAILED	Metal 7/8" 1 5/8" 2 1/2" 3 5/8" 4" 6" 7 1/2" 8" 10" 12"	Wood 3/4" 1 1/2"	3 1/2" 5 1/2" 7 1/2" 9 1/4" 11 1/4"	CMU 3 5/8" 7 5/8" 11 5/8"	Concrete	-1 (1 HOUR RATING - SEE UL DETAILS) -2 (2 HOUR RATING - SEE UL DETAILS) -3 (3 HOUR RATING - SEE UL DETAILS) -4 (4 HOUR RATING - SEE UL DETAILS)

**REVIEW SET
NOT FOR
CONSTRUCTION**

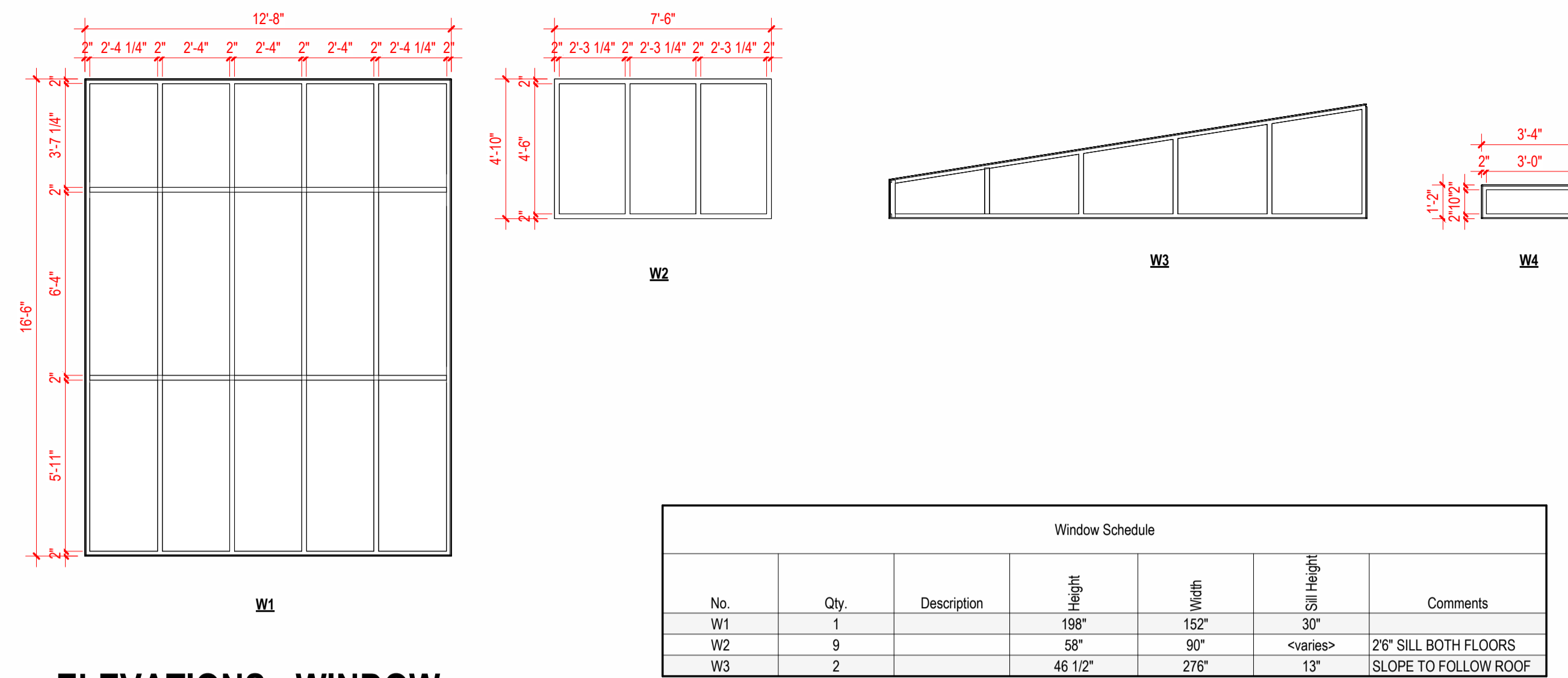
SALON SUITES AT ROLESVILLE
105 S. Main St. Rolesville, NC 27571

No.	Description	Date

PROJECT #: 240042
DATE: 10/16/2024

1 FLOOR PLAN,
BUILDING SECTION,
DOOR SCHEDULE

Room Finish Schedule						
No.	Name	Wall	Floor	Base	Ceiling	Remarks
10	STOR					
13	STOR					
17	HC TLT					
19	STOR					
25	LOUNGE/ BREAK ROOM					
100	FOYER					
101	DOUBLE SUITE					
102	DOUBLE SUITE					
103	DOUBLE SUITE					
104	UNISEX TLT					
105	BREAK ROOM					
106	TLT					
107	STOR					
108	STOR					
109	STOR					
110	STOR					
201	SINGLE SUITE					
202	SINGLE SUITE					
203	SMALL SUITE					
203	DOUBLE SUITE					
204	SINGLE SUITE					
205	SINGLE SUITE					
206	SINGLE SUITE					
207	STOR					
208	STOR					
209	STOR					
210	STOR					
211	STOR					
212	STOR					
213	Room					
214	Room					

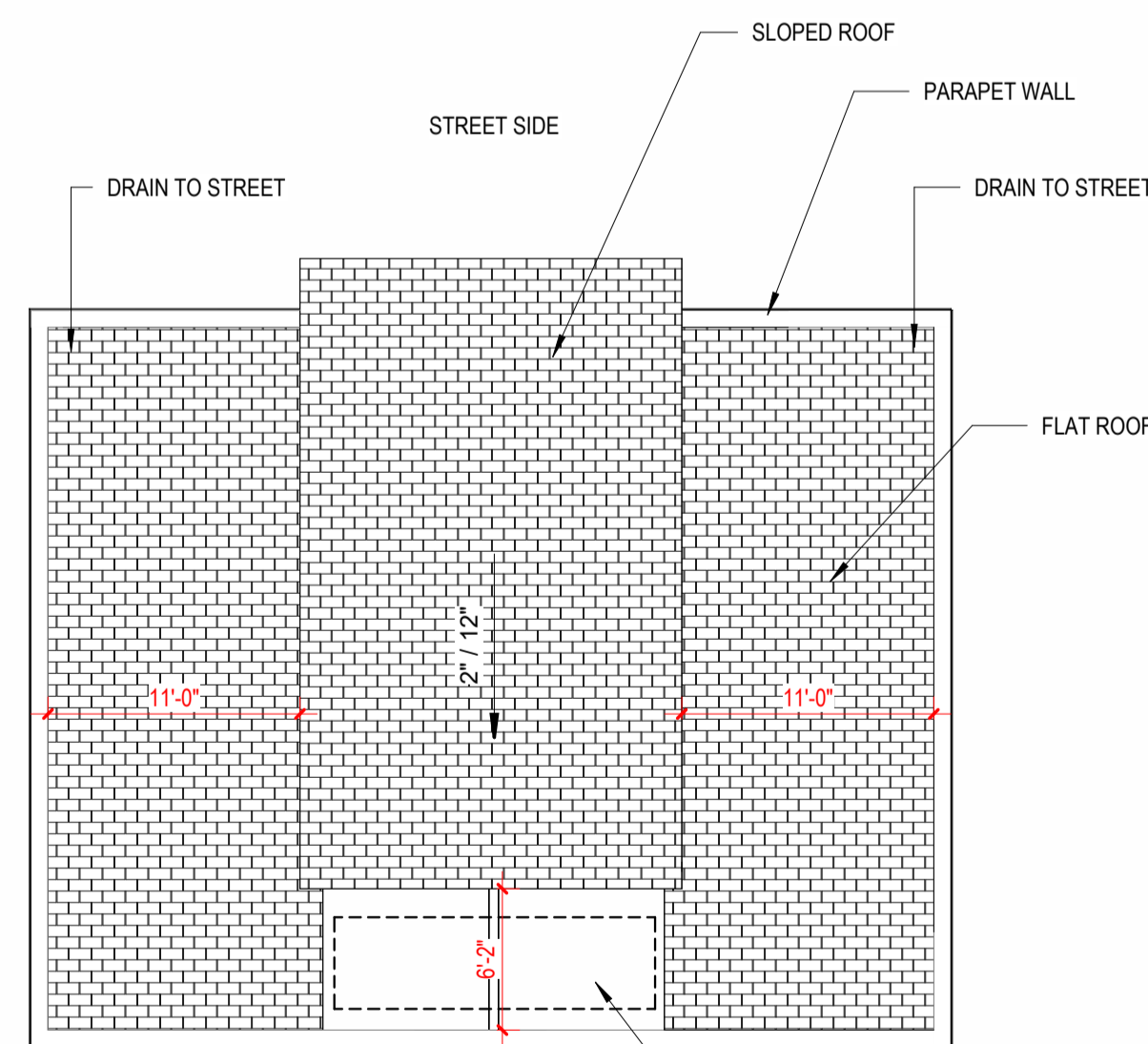


ELEVATIONS - WINDOW

1/4" = 1'-0"

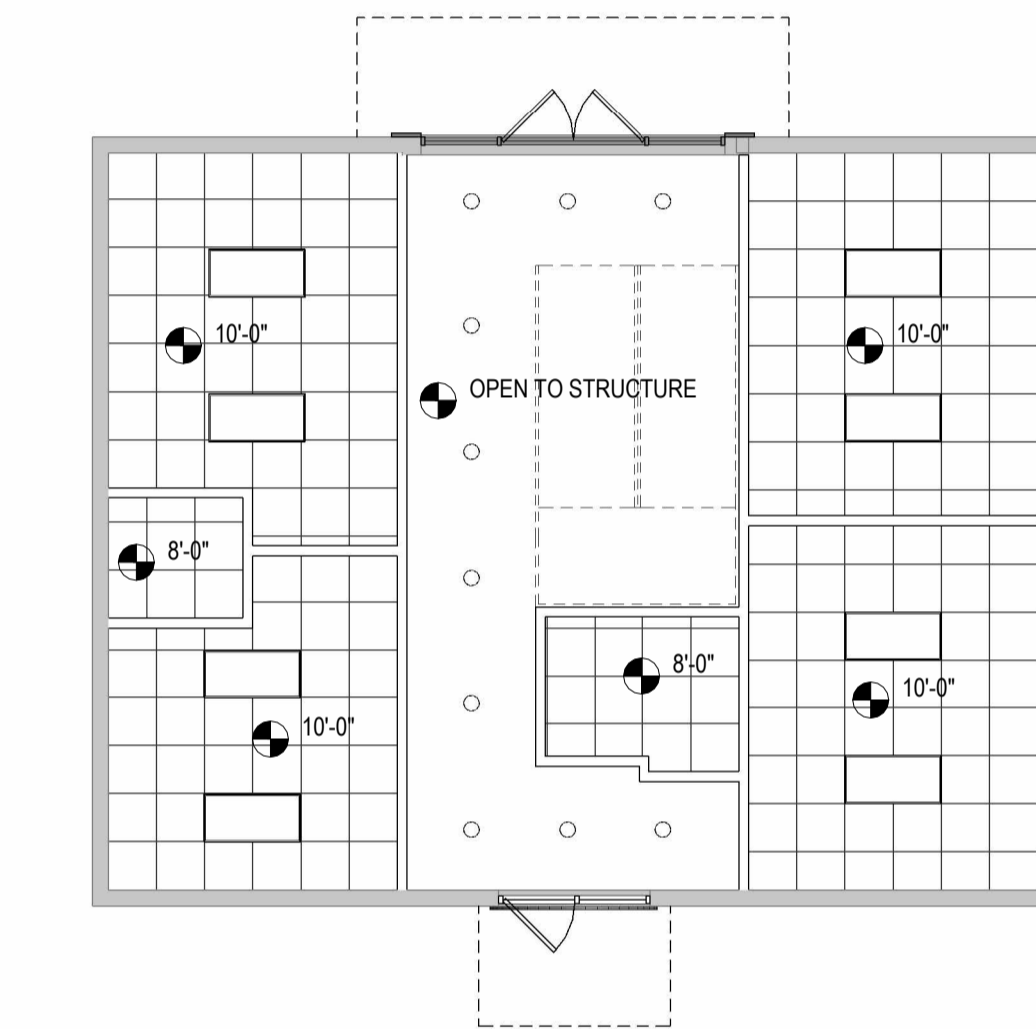
Window Schedule						
No.	Qty.	Description	Height	Width	Sill Height	Comments
W1	1		198"	152"	30"	
W2	9		58"	90"	<varies>	2" SILL BOTH FLOORS
W3	2		46 1/2"	276"	13"	SLOPE TO FOLLOW ROOF

**REVIEW SET
NOT FOR
CONSTRUCTION**



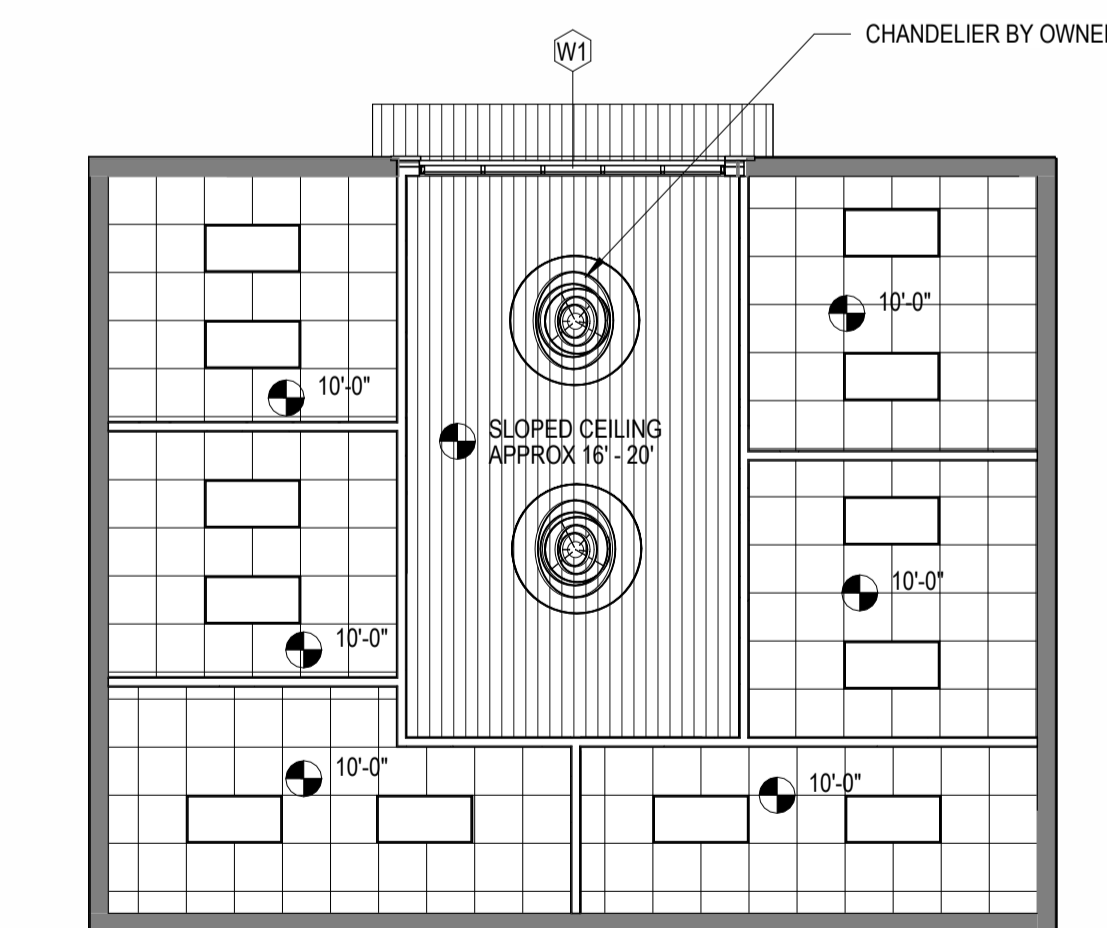
4 ROOF PLAN

1/8" = 1'-0"



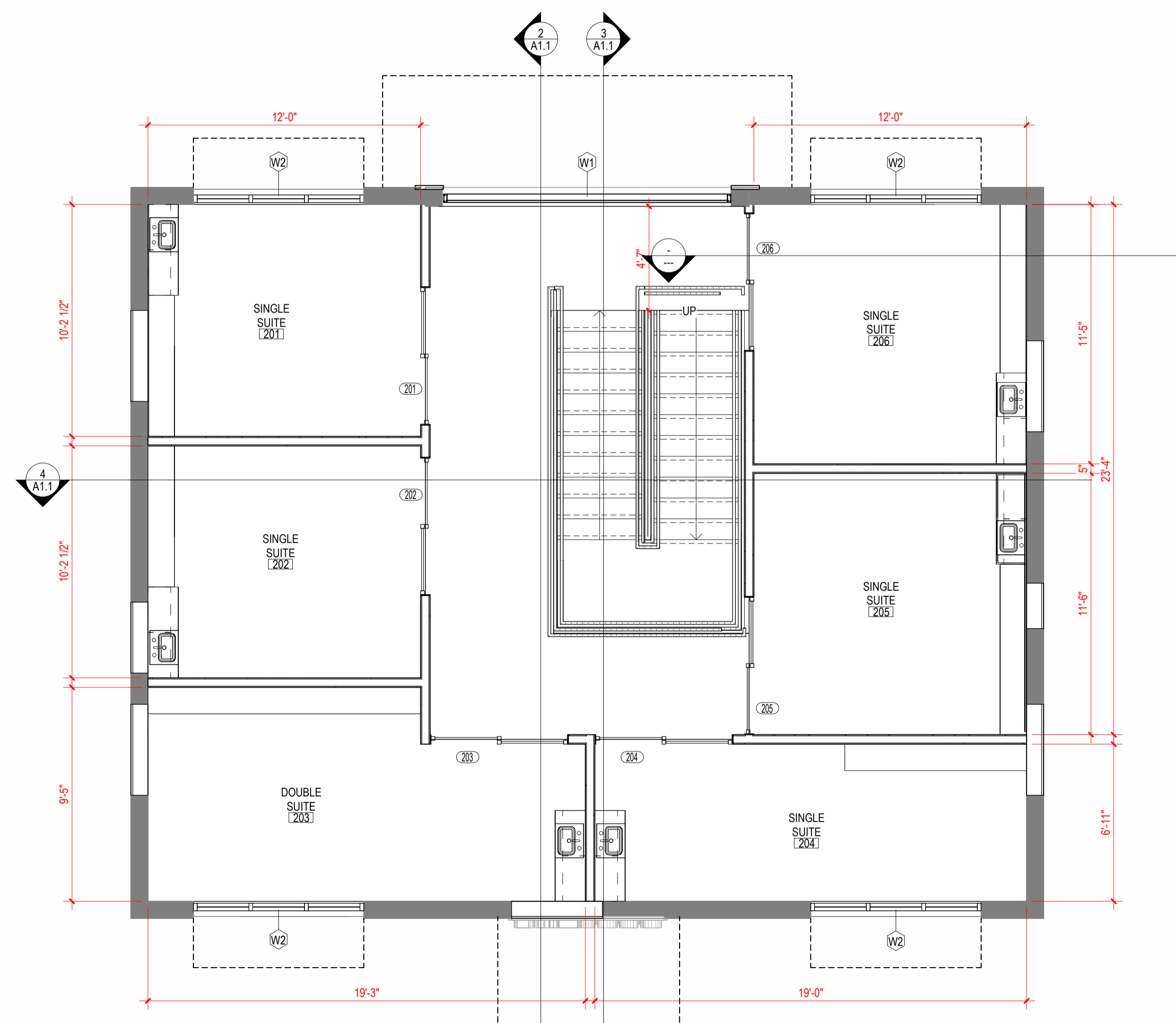
2 LEVEL 1 - REFLECTED CEILING PLAN

1/8" = 1'-0"



3 LEVEL 2 - REFLECTED CEILING PLAN

1/8" = 1'-0"



1 LEVEL 2 - FLOOR PLAN

1/4" = 1'-0"



SALON SUITES AT ROLESVILLE
105 S. Main St. Rolesville, NC 27571

No.	Description	Date

PROJECT #: 240042

DATE: 10/16/2024

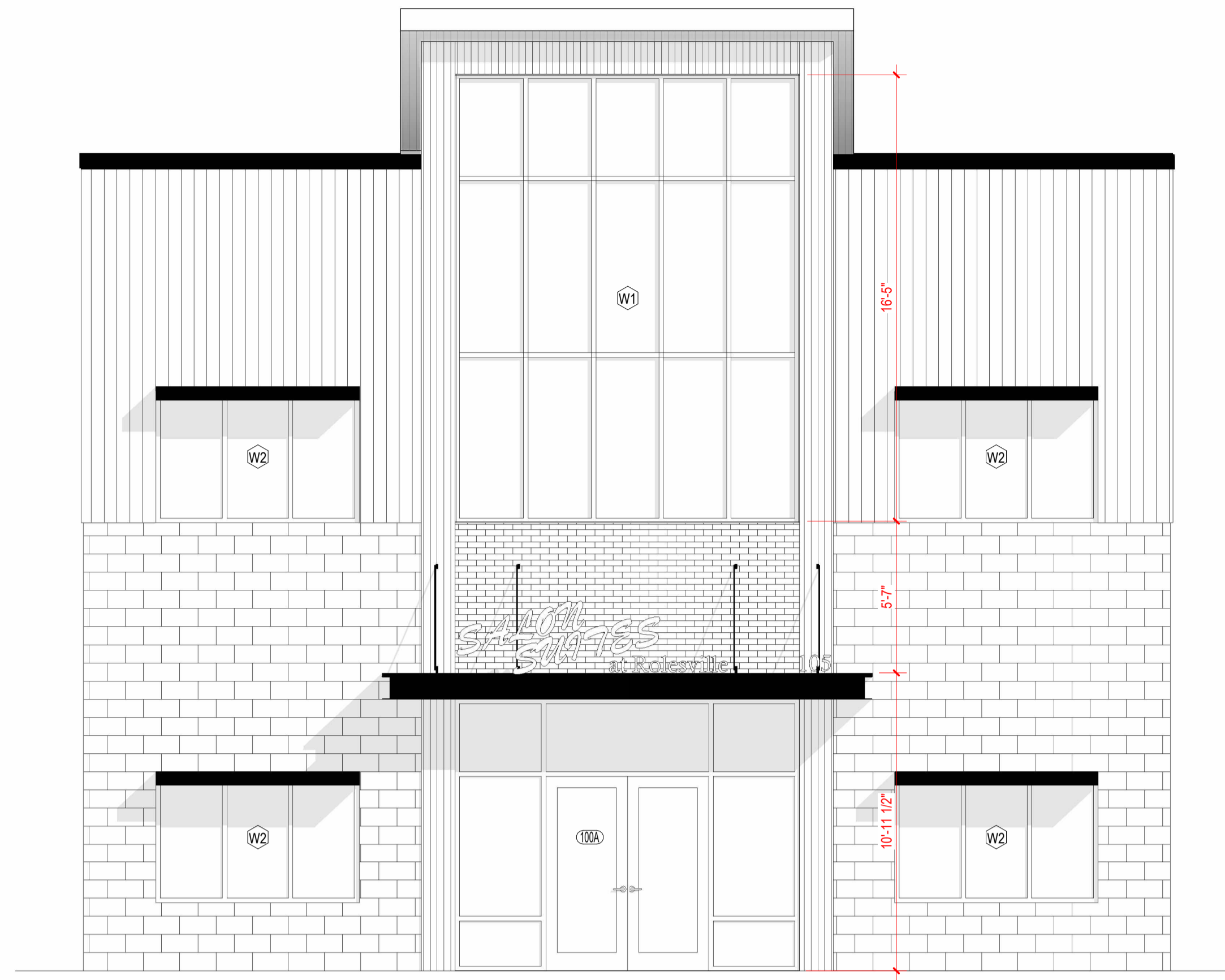
2 FLOOR PLAN, RCP,
FINISH SCHEDULE

A1.2

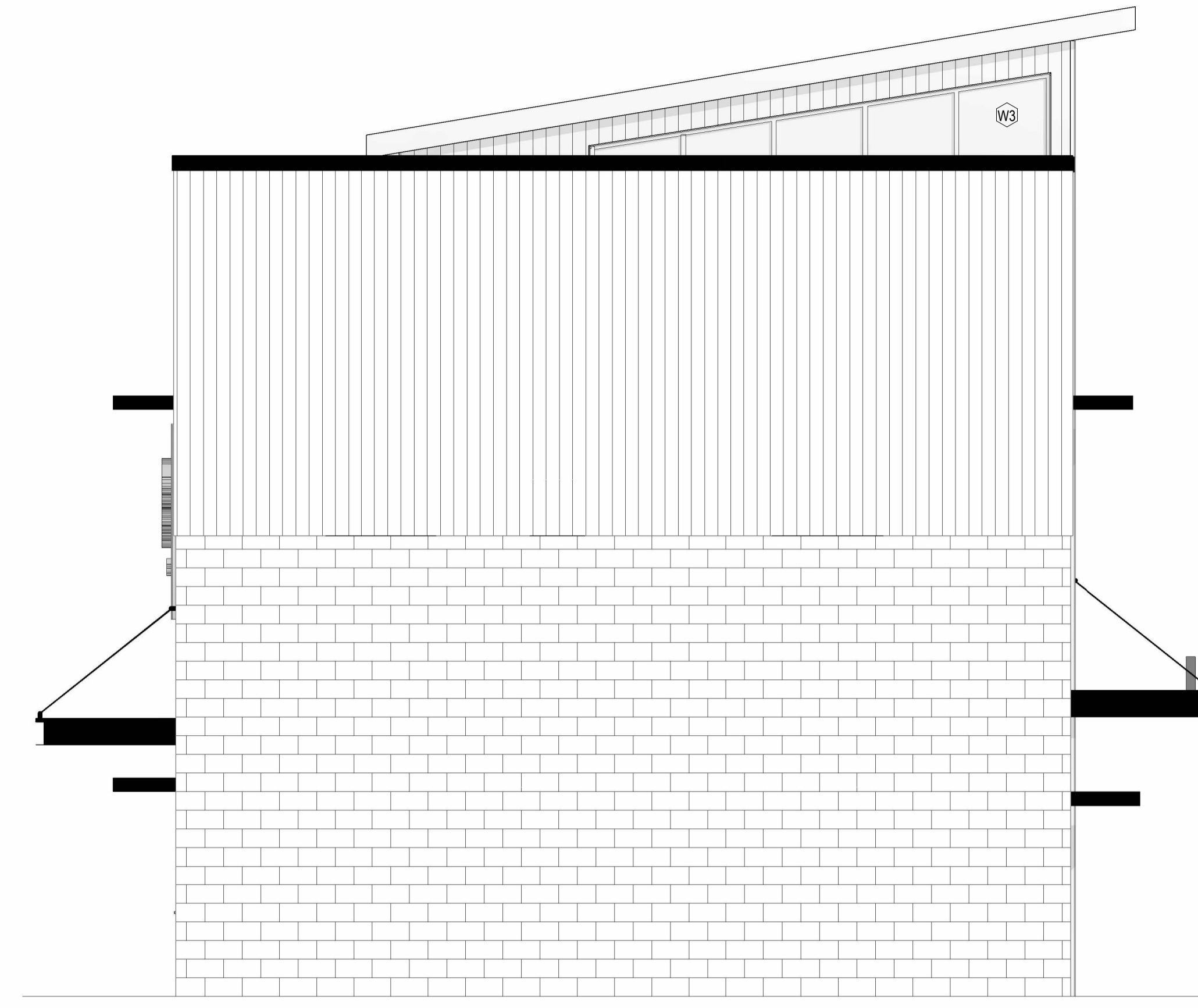
DIGITAL PRINT DATE: 10/16/2024 3:49:51 PM

INTERIOR WALL LEGEND	WALL CONSTRUCTION TYPE						HEAD CONDITION			MEMBER SIZES		WALL RATING		
	A	B	C	D	E	F	1	2	3	0	1	2	3	4
ACOUSTICAL INSULATION MTL STD 1 LAYERS 5/8" GYP. BOARD EACH SIDE	ACOUSTICAL INSULATION MTL STD 1 LAYERS 5/8" GYP. BOARD MTL STD	ACOUSTICAL INSULATION WOOD STD 1 LAYERS 5/8" GYP. BOARD MTL STD	ACOUSTICAL INSULATION WOOD STD 1 LAYERS 5/8" GYP. BOARD MTL STD	ACOUSTICAL INSULATION WOOD STD 1 LAYERS 5/8" GYP. BOARD MTL STD	CMU	1 LAYERS 5/8" GYP. BOARD MTL STD 3/4" FURRING STRIP CMU	BOTTOM OF STRUCTURE	EXTEND PARTITION ABOVE FINISH CEILING LINE	HEIGHT AS DETAILED	Metal 7/8"	3/4"	1 1/2"	2 1/2"	3 5/8"
										Wood 3/4"	1 1/2"	3 1/2"	5 1/2"	7 1/2"
										Concrete				11 5/8"

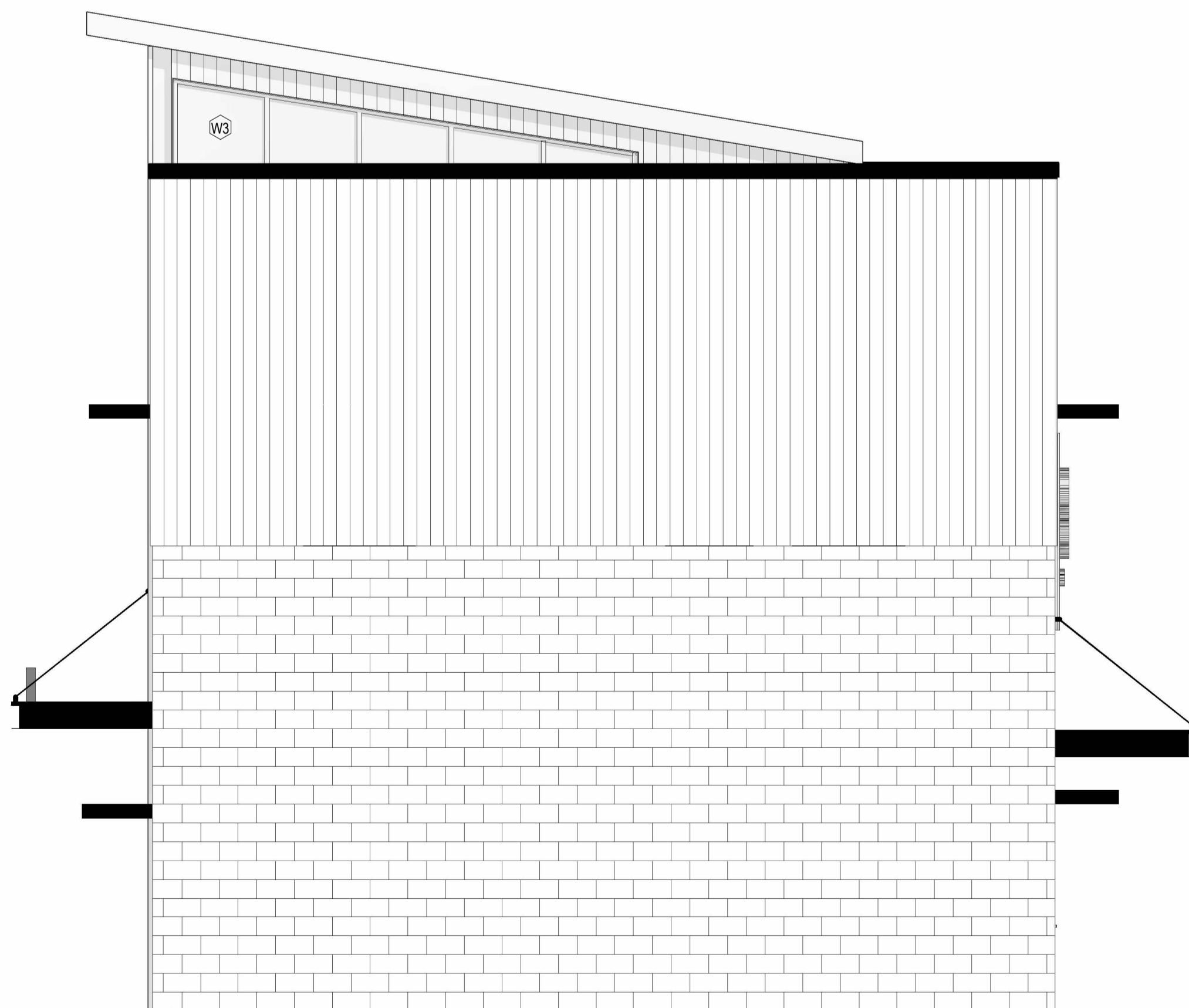
READING LEFT TO RIGHT:
1. THE FIRST CHARACTER IN THE TAG INDICATES WHICH DETAIL TO REFERENCE FOR THE WALL CONSTRUCTION
2. THE SECOND CHARACTER INDICATES THE HEAD CONDITION "1" (FULL HEIGHT TO UNDERSIDE OF STRUCTURE), "2" (TO THE DIMENSION ABOVE THE CEILING AS INDICATED IN THE DETAIL), OR "3" (TO THE DIMENSION ABOVE FINISH FLOOR INDICATED IN THE PLANS)
3. THE THIRD CHARACTER INDICATES THE STUD SIZE. REFERENCE THE DETAIL FOR THE STUD SIZE.
4. THE FOURTH CHARACTER INDICATES THE HOURLY WALL RATING. SEE UL SHEET FOR UL DETAIL.



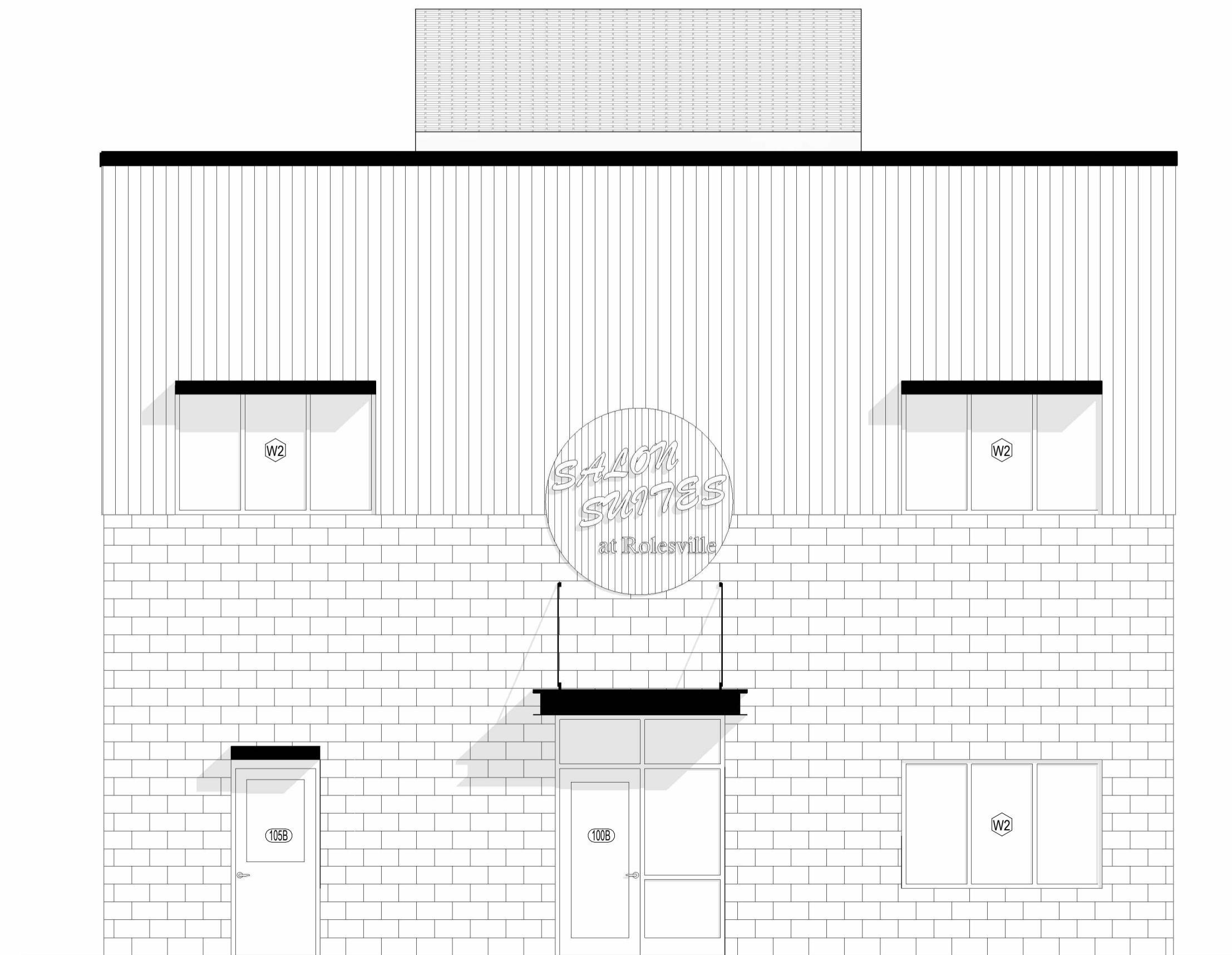
1 NORTH ELEVATION
1/4" = 1'-0"



2 EAST ELEVATION
1/4" = 1'-0"



3 WEST ELEVATION
1/4" = 1'-0"



4 SOUTH ELEVATION
1/4" = 1'-0"

**REVIEW SET
NOT FOR
CONSTRUCTION**

SALON SUITES AT ROLESVILLE
105 S. Main St. Rolesville, NC 27571

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No.	Description	Date
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PROJECT #: 240042

DATE: 10/16/2024

BUILDING ELEVATIONS

A2.1

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MATERIALS AND ROLESVILLE 6.8 DESIGN STANDARD COMPLIANCE



NICHIHA MODERNBRICK
MIDNIGHT COLOR

ROOF LINES DIFFERING IN
PITCHES AND PLANES

ARTICULATED VERTICAL
MASS

NICHIHA FIBERCEMENT
VINTAGEWOOD SERIES
POPLAR COLOR



36" TALL
PARAPET

NICHIHA FIBERCEMENT
VINTAGEWOOD SERIES
ASH COLOR



STUCCO FINISH
OVER EXISTING
BLOCK

BUILDING
ADDRESS
AT PRIMARY
ENTRANCE

*ALL MATERIAL COLORS ARE LOW REFLECTANCE,
NEUTRAL, COMPLIMENTARY IN COLOR PALLET

*ROOFTOP EQUIPMENT NOT PUBLICALLY VISIBLE

*PARKING LOT CONFIGURED TO BE MOSTLY IN REAR
OF BUILDING

*PRIMARY ENTRANCE FACES PUBLIC STREET

*NO VINYL SIDING OR UNTREATED CONCRETE
BLOCK USED

AWNING OVER
PUBLIC ENTRANCE

SUN SHADING
DOORS AND WINDOWS
WITH REGULAR
SPACING AND SYMMETRY

OVER 30% TRANSPARENCY
ON GROUND FLOOR
OVER 20% TRANSPARENCY
ON UPPER FLOOR



FRONT FACADE