

PROPOSED ZONING CONDITIONS FOR THE MERRITT PROPERTY

MAP AMENDMENT REQUEST

REZ-24-01

PINS 1758-92-8330 (portion of), 1768-23-6815 AND 1768-32-8863 (portion of)

February 1, 2024

Amended April 11, 2024

Amended June 26, 2024

Amended July 15, 2024

Amended August 22, 2024

Amended August 28, 2024

Amended August 30, 2024

Amended October 30, 2024

Amended October 31, 2024

1. The subject property shall be developed generally in accordance with the Concept Site Plan/Zoning in Exhibit A incorporated herein as if fully set out.
2. No single townhouse building shall contain more than six units.
3. Construction of the on-site amenities shall be completed on or before the issuance of the certificate of compliance/occupancy for the 300th unit.
4. This will be an age-restricted development limited to residents aged 55 and older in accordance with the rules and regulations for age restricted housing established by the US Department of Housing and Urban Development.
5. No more than 505 units will be permitted for the development with the maximum number of attached units limited to 278.
6. The following uses are prohibited in the portion of the site to be zoned General Commercial District: Tattoo Establishment, Vape and Tobacco Store, Vehicle Rental, and Sales.
7. The developer shall install a Type 3 buffer in the southwest corner of the property as shown on Exhibit B.
8. One (1) building consisting of two (2) townhome units shall be developed and donated as part of Heroes for Home or similar organization providing homes to veterans.

Developer shall be entitled to a waiver of all Town of Rolesville permit fees for these units.

9. All single-family detached dwellings shall have the following features:
 - a. At least one (1) single or double car garage;
 - b. All garage doors shall have windows;
 - c. Ground floor elevation at the front door shall be minimum of 12" above average grade across the front façade of the house.
 - d. If masonry is not the predominant first floor finish, then the front elevation shall have 2 types of siding. For example, horizontal siding may be combined with shake/board and batten;
 - e. Roof materials shall be asphalt shingles, metal copper or wood;
 - f. All windows on front façade shall have shutters or window trim;
 - g. No single-family detached home shall be constructed with a front elevation or color palette that is identical to the home on either side of it or directly across from it; and
 - h. A varied color palette shall be used throughout the subdivision.

10. All townhouse dwellings shall have the following features:
 - a. One (1) single or double car garage
 - b. If masonry is not the predominant first floor finish, then the front elevation shall have 2 types of siding. For example, horizontal siding may be combined with shake/board and batten;
 - c. Roof materials shall be asphalt shingles, metal, copper or wood;
 - d. No townhouse shall be painted a color that is identical to the home adjacent on either side of it; and a varied palette shall be used throughout the subdivision.

11. Construction Documents for the Property to include on-lot grading including (i) proposed finished floor elevations. (ii) 4- corner finished-pad spot elevations. (iii) 1-foot contours of the proposed grades, (iv) proposed high point(s), (v) proposed swale directions, spot elevations, and slopes at not less than 1% and (vi) other information as necessary to demonstrate future feasibility of compliance with section R401.3 of the NC Residential Code.

12. The Developer shall design and construct a public greenway along the southern property boundary adjacent to within the proposed sewer easement as shown on Exhibit C. Additional dedication of a 40' greenway easement along the Lilies Family, LLC property will be finalized and dedicated to the Town once the approval has been granted by the Town of Rolesville for the future greenway connection with the extension of Fowler Road.

LILES FAMILY, LLC
 D.B. 9920 PG. 1879
 B.M. 2004 PG. 2412
 PIN 1758.04-92-8330

STEVEN G. MCNULTY
 D.B. 12777 PG. 218
 B.M. 1997 PG. 1621
 PIN 1758.04-91-7927

JOSEPH E. WALL &
 BETTY R. GUNZ
 D.B. 5178 PG. 858
 B.M. 1985 PG. 1806
 PIN 1786.03-21-6907

LEWIS CHARLES SELLETT
 D.B. 14011 PG. 2574
 B.M. 2010 PG. 291
 PIN 1768.03-01-0460

25' TYPE 3 BUFFER:
 6' WALL
 PLANTS PER 100'
 4- CANOPY TREES
 2- UNDERSTORY TREE
 60- SHRUBS

25' TYPE 3 BUFFER:
 6' WALL
 PLANTS PER 100'
 4- CANOPY TREES
 2- UNDERSTORY TREE
 60- SHRUBS

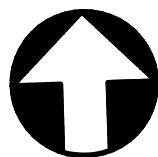
SCM ACCESS
 POINT

PROPOSED SEWER AND
 30' EASEMENT ALIGNMENT

PROPERTY
 BOUNDARY

PROPERTY
 BOUNDARY

EXISTING LAKE

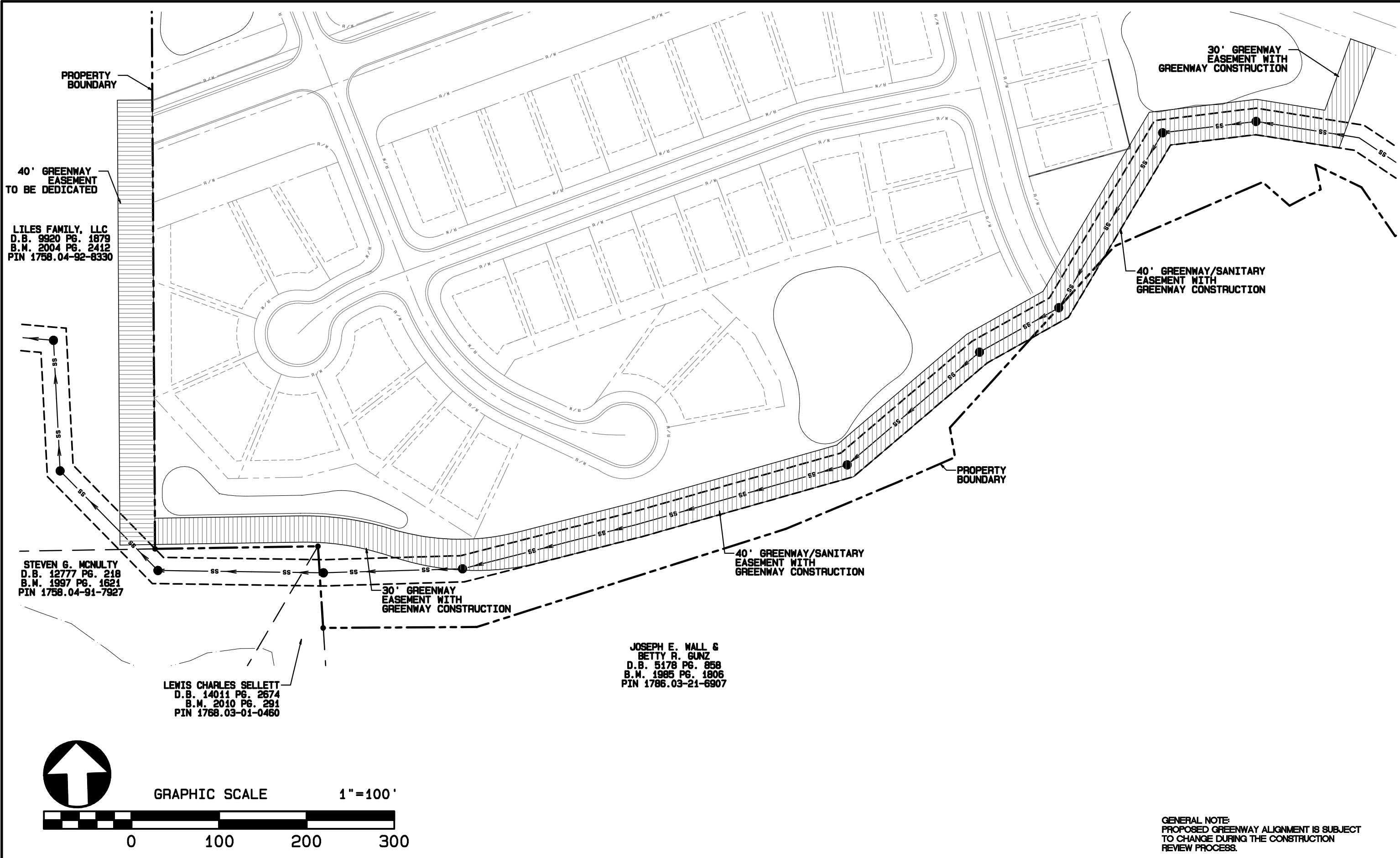


GRAPHIC SCALE

1"=50'



GENERAL NOTE:
 THE PROPOSED BUFFER IS SUBJECT TO ADJUSTMENT
 DURING THE PRELIMINARY PLAT AND CONSTRUCTION
 DRAWING REVIEW PROCESS.

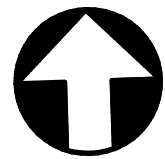


LILES FAMILY, LLC
 D.B. 9920 PG. 1879
 B.M. 2004 PG. 2412
 PIN 1758.04-92-8330

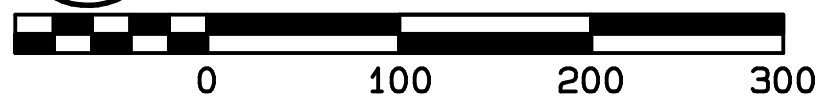
STEVEN G. MCNULTY
 D.B. 12777 PG. 218
 B.M. 1997 PG. 1621
 PIN 1758.04-91-7927

LEWIS CHARLES SELLETT
 D.B. 14011 PG. 2674
 B.M. 2010 PG. 291
 PIN 1768.03-01-0460

JOSEPH E. WALL &
 BETTY R. GUNZ
 D.B. 5178 PG. 858
 B.M. 1985 PG. 1806
 PIN 1786.03-21-6907



GRAPHIC SCALE 1"=100'



30' GREENWAY EASEMENT WITH GREENWAY CONSTRUCTION

40' GREENWAY/SANITARY EASEMENT WITH GREENWAY CONSTRUCTION

40' GREENWAY/SANITARY EASEMENT WITH GREENWAY CONSTRUCTION

30' GREENWAY EASEMENT WITH GREENWAY CONSTRUCTION

GENERAL NOTE:
 PROPOSED GREENWAY ALIGNMENT IS SUBJECT TO CHANGE DURING THE CONSTRUCTION REVIEW PROCESS.

MERRITT PROPERTY

WAKE COUNTY, NC

American Engineering Associates- Southeast, P.A.
 Business Lic. # C-3881
 4020 Westchase Blvd. Suite 450 Raleigh, NC 27607 Phone: (919)469-1101

GREENWAY EXHIBIT
 DWN BY: - JOB #: R23-0004 SHT:
 DATE: 10/26/24 HRZ SCALE: 1"=100' **EXB C**