

V3 submittal

HILLS AT HARRIS CREEK

PRELIMINARY SUBDIVISION PLAT V2-PSP-24-03

SITE INFORMATION:

LOCATION: 0 - 5326 MITCHELL MILL ROAD
 COUNTY: WAKE COUNTY
 PARENT PIN: 1757758529, 1757761273, 1757778982, 1757750520
 DB/PG: 001318 / 000333
 ZONING: RM-CZ CLUSTER DEVELOPMENT
 GROSS ACREAGE: 5,029,513 SF (115.46 AC)
 25' ROW DEDICATION ACREAGE: 43,196 SF (0.99 AC)
 NET ACREAGE: 4,986,317 SF (114.47 AC)

MINIMUM BUILDING SETBACKS:
 FRONT YARD: 20'
 SIDE YARD: 10'
 REAR YARD: 20'
 CORNER YARD: 12'

RIGHT OF WAY & OTHER AREAS:
 NATURAL WETLANDS: 657,515 SF (15.09 AC)

MAXIMUM ALLOWED NUMBER OF LOTS: 225 LOTS
TOTAL NUMBER PROPOSED LOTS: 221 LOTS
MINIMUM LOT FRONTAGE: 50'
MINIMUM REQUIRED LOT SIZE: 8,000 SF

OPEN SPACE BREAKDOWN:
 PROPERTY BOUNDARY: 4,986,317 SF (114.47 AC)
 REQUIRED OPEN SPACE(SECTION 3.1.B.1): 1,994,527 SF (45.79 AC)
 PROVIDED OPEN SPACE: 2,235,966 SF (51.33 AC)
 CLUSTER OPTION OPEN SPACE CALCULATIONS: SEE SHEET C-1.3
 ACTIVE/PASSIVE OPEN SPACE CALCULATIONS: SEE SHEET C-1.4

IMPERVIOUS AREAS:
 ROADWAYS & SIDEWALKS: 513,906 SF (11.80 AC)
 PONDS: 101,273 SF (2.32 AC)
 BUILD UPON AREA (BUA): 961,315 SF (22.07 AC)
 TOTAL ON-SITE IMPERVIOUS AREA: 1,576,494 SF (36.19 AC)
 TOTAL ON-SITE IMPERVIOUS PERCENT: 31.62%

CURRENT & PROPOSED USE AREAS:
 CURRENT USE: WAKE COUNTY AGRICULTURAL
 PROPOSED USE: MEDIUM DENSITY RESIDENTIAL

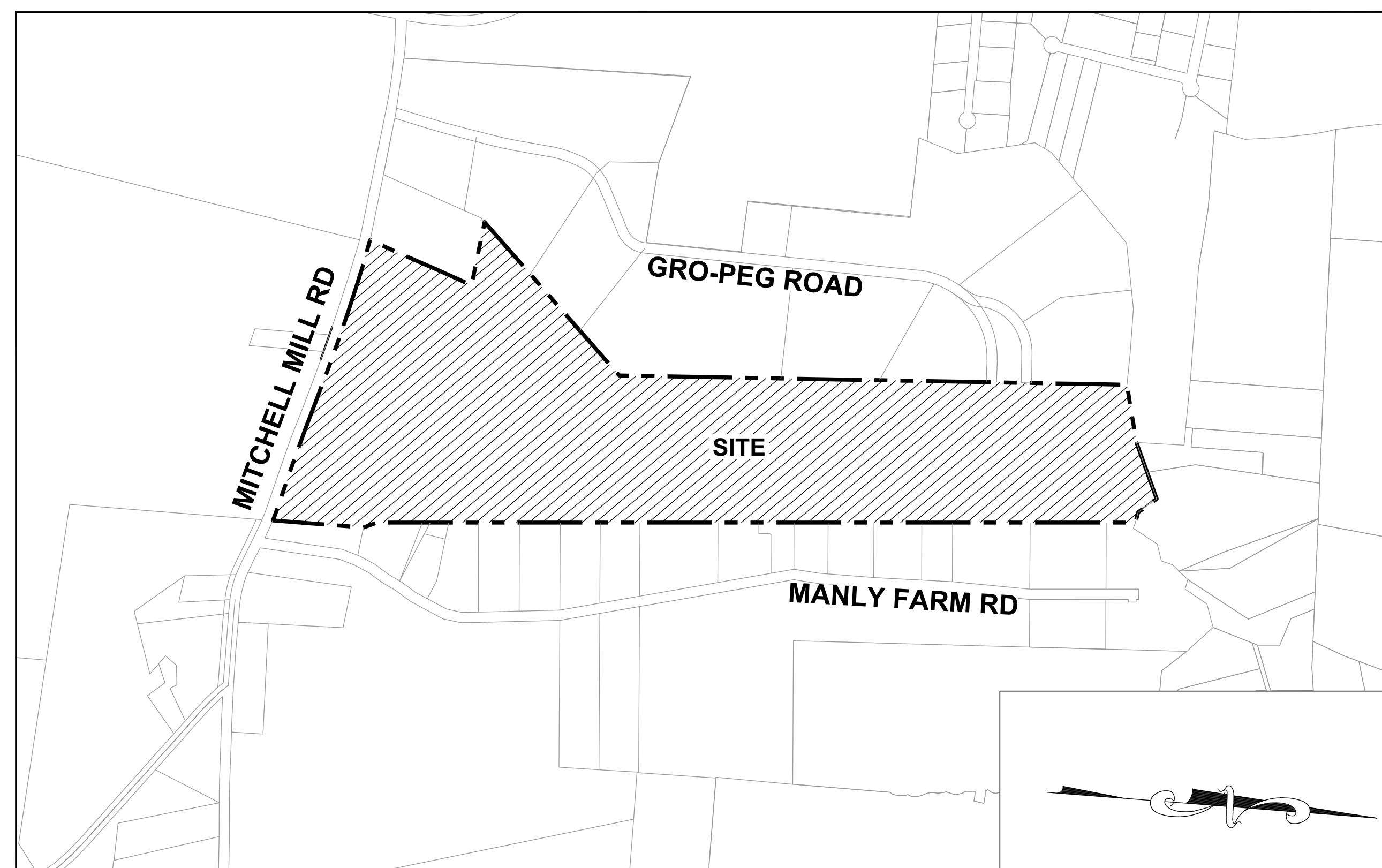
WATERSHED, RIVER BASIN:
 THIS PROJECT IS LOCATED WITHIN THE NEUSE RIVER BASIN

LOT ACREAGE:

LOT TYPE	DSF	LOTS
LOT TYPE (50'x160')	68	68 LOTS
LOT TYPE (55'x146')	16	16 LOTS
LOT TYPE (60'x134')	56	56 LOTS
LOT TYPE (65'x125')	52	52 LOTS
LOT TYPE (70'x115')	15	15 LOTS
LOT TYPE (80'x100')	14	14 LOTS
TOTAL NUMBER PROPOSED LOTS:	221	221 LOTS
MINIMUM PROPOSED LOT SIZE:	8,000	SF
MAXIMUM PROPOSED LOT SIZE:	26,428	SF
MINIMUM LOT WIDTH:	50'	
PROPOSED DENSITY:	1.93	UNITS/AC

DISTURBED AREA:
 TOTAL DISTURBED AREA: 3,639,480 SF (83.55 AC)

TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA
 PROJECT NUMBER: PSP-24-03



VICINITY MAP
 1" = 600'

Sheet	Sheet Number	Sheet Title
01	C-1.0	COVER SHEET
02	C-1.1	ZONING CONDITIONS
03	C-1.2	CONCEPT SKETCH PLAN
04	C-1.3	OVERALL OPEN SPACE PLAN
05	C-1.4	ACTIVE-PASSIVE OPEN SPACE REQUIREMENTS
06	C-2.0	CIVIL NOTES
07	C-3.0	EXISTING CONDITIONS PLAN
08	C-3.1	TREE PROTECTION PLAN
09	C-3.2	OVERALL TREE INVENTORY MAP
10	C-3.3	PARTIAL TREE INVENTORY MAP I
11	C-3.4	PARTIAL TREE INVENTORY MAP II
12	C-3.5	PARTIAL TREE INVENTORY MAP III
13	C-3.6	PARTIAL TREE INVENTORY MAP IV
14	C-3.7	PARTIAL TREE INVENTORY MAP V
15	C-3.8	PARTIAL TREE INVENTORY MAP VI
16	C-3.9	PARTIAL TREE INVENTORY MAP VII
17	C-3.10	PARTIAL TREE INVENTORY MAP VIII
18	C-3.11	TREE INVENTORY TABLE
19	C-4.0	DEMOLITION PLAN
20	C-5.0	OVERALL SITE PLAN
21	C-5.1	PARTIAL SITE PLAN I
22	C-5.2	PARTIAL SITE PLAN II
23	C-5.3	PARTIAL SITE PLAN III
24	C-5.4	PARTIAL SITE PLAN IV
25	C-5.5	PARTIAL SITE PLAN V
26	C-5.6	PARTIAL SITE PLAN VI
27	C-5.7	LOT SIZE TABLES
28	C-5.8	TYPICAL STREET SECTION
29	C-6.0	OVERALL UTILITY PLAN
30	C-6.1	PARTIAL UTILITY PLAN I
31	C-6.2	PARTIAL UTILITY PLAN II
32	C-6.3	PARTIAL UTILITY PLAN III
33	C-6.4	PARTIAL UTILITY PLAN IV
34	C-6.5	PARTIAL UTILITY PLAN V
35	C-6.6	PARTIAL UTILITY PLAN VI
36	C-6.7	PARTIAL UTILITY PLAN VII
37	C-6.8	SANITARY SEWER TABLE
38	C-7.0	OVERALL GRADING & DRAINAGE PLAN
39	C-7.1	PARTIAL GRADING & DRAINAGE PLAN I
40	C-7.2	PARTIAL GRADING & DRAINAGE PLAN II
41	C-7.3	PARTIAL GRADING & DRAINAGE PLAN III
42	C-7.4	PARTIAL GRADING & DRAINAGE PLAN IV
43	C-7.5	PARTIAL GRADING & DRAINAGE PLAN V
44	C-7.6	PARTIAL GRADING & DRAINAGE PLAN VI
45	C-8.0	OVERALL LANDSCAPE PLAN
46	C-8.1	PERIMETER BUFFER PLAN
47	C-8.2	PARTIAL LANDSCAPE PLAN I
48	C-8.3	PARTIAL LANDSCAPE PLAN II
49	C-8.4	PARTIAL LANDSCAPE PLAN III
50	C-8.5	PARTIAL LANDSCAPE PLAN IV
51	C-8.6	PARTIAL LANDSCAPE PLAN V
52	C-8.7	PARTIAL LANDSCAPE PLAN VI
53	C-9.0	FIRE PLAN
54	C-9.1	FIRE PLAN I
55	C-9.2	FIRE PLAN II
56	C-9.3	FIRE PLAN III
57	D-1.0	SITE DETAILS

STREET NAMES	PROPOSED ROW	PAVEMENT WIDTH	LINEAR FEET
A	50-70 Ft	24-32 Ft	2,575.07
B	50 Ft	24 Ft	1,253.10
C	50-60 Ft	24-32 Ft	597.86
F	50 Ft	24 Ft	1,090.75
G	50 Ft	24 Ft	1,072.02
H	50 Ft	24 Ft	1,047.13
I	62 Ft	36 Ft	849.39
J	50 Ft	24 Ft	1,154.99
K	50 Ft	24 Ft	347.23
L	50 Ft	24 Ft	2,271.75

OWNER:
 ALAN&RANDY WATKINS/LAURA AND RANDALL WATKINS/
 ELLIS LAND INVESTMENT COMPANY, LLC
 ADDRESS: 305 CHURCH AT NORTH HILLS STREET, SUITE 1110
 CITY/STATE/ZIP: RALEIGH, NC 27609
 PHONE: 919-824-6088
 EMAIL: jason@ellisdevgroup.com.

DEVELOPER:
 ELLIS DEVELOPMENTS NC, LLC
 CONTACT NAME: JASON PFISTER
 ADDRESS: 305 CHURCH AT NORTH HILLS STREET, SUITE 1110
 CITY/STATE/ZIP: RALEIGH, NC 27609
 PHONE: 919-824-6088
 EMAIL: jason@ellisdevgroup.com.

CIVIL ENGINEERING:
 STRONG ROCK ENGINEERING GROUP, PLLC
 PO BOX 55992
 RALEIGH, NC 27624
 COMPANY LICENSE #: P-2166
 PHONE: 984-200-1932 (O)
 information@strongrockgroup.com

For the Raleigh Water specific Notes, can these be listed as Conditions of Approval.

SREG: The water notes have been separated as Conditions of Approval, see Sheet C.1.0

- NOTES:**
- SEE SHEET C-1.1 FOR ZONING CONDITIONS.
 - THIS DEVELOPMENT IS CONTINGENT UPON THE COMPLETION OF THE "HARRIS CREEK SANITARY SEWER REPLACEMENT S-5037" PERMIT. THE SEWER REPLACEMENT IMPROVEMENTS SHALL BE INSTALLED, INSPECTED, AND ACCEPTED BY CITY OF RALEIGH PRIOR TO RECORDATION OF LOTS FOR THIS DEVELOPMENT.
 - ALL OFFSITE SEWER EASEMENTS MUST BE APPROVED, SIGNED AND RECORDED WITH RALEIGH DEED TEMPLATE PRIOR TO CD APPROVAL.



06/30/2024
 08/30/2024

TOWN OF ROLESVILLE V1-PSP-24-03
 TOWN OF ROLESVILLE V2-PSP-24-03

0
 1

NO.
 REVISIONS
 DATE
 BY

SEAL
 NORTH CAROLINA PROFESSIONAL SEAL
 036225
 ENGINEER
 JUSTIN W. LAMBERT

STRONGROCK
 ENGINEERING GROUP

STRONG ROCK ENGINEERING GROUP, PLLC COMPANY LICENSE # P-2166
 305 CHURCH AT NORTH HILLS STREET, SUITE 1110 RALEIGH, NC 27609 INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT
 NOT FOR CONSTRUCTION
 SCALE AS SHOWN
 DESIGNED BY JWL
 DRAWN BY SRG
 CHECKED BY JWL

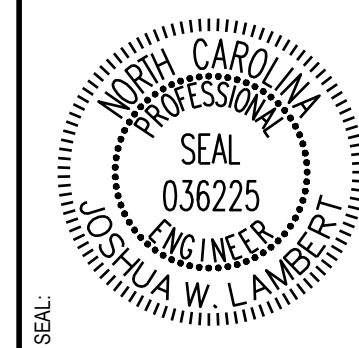
HILLS AT HARRIS CREEK
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

COVER SHEET

DRAWING SHEET
C-1.0

01 OF 57

NO.	DATE	REVISIONS
0		
1	08/30/2024	TOWN OF ROLESVILLE V1-FSP-24-03
2	08/30/2024	TOWN OF ROLESVILLE V2-FSP-24-03



STRONGROCK

ENGINEERING GROUP

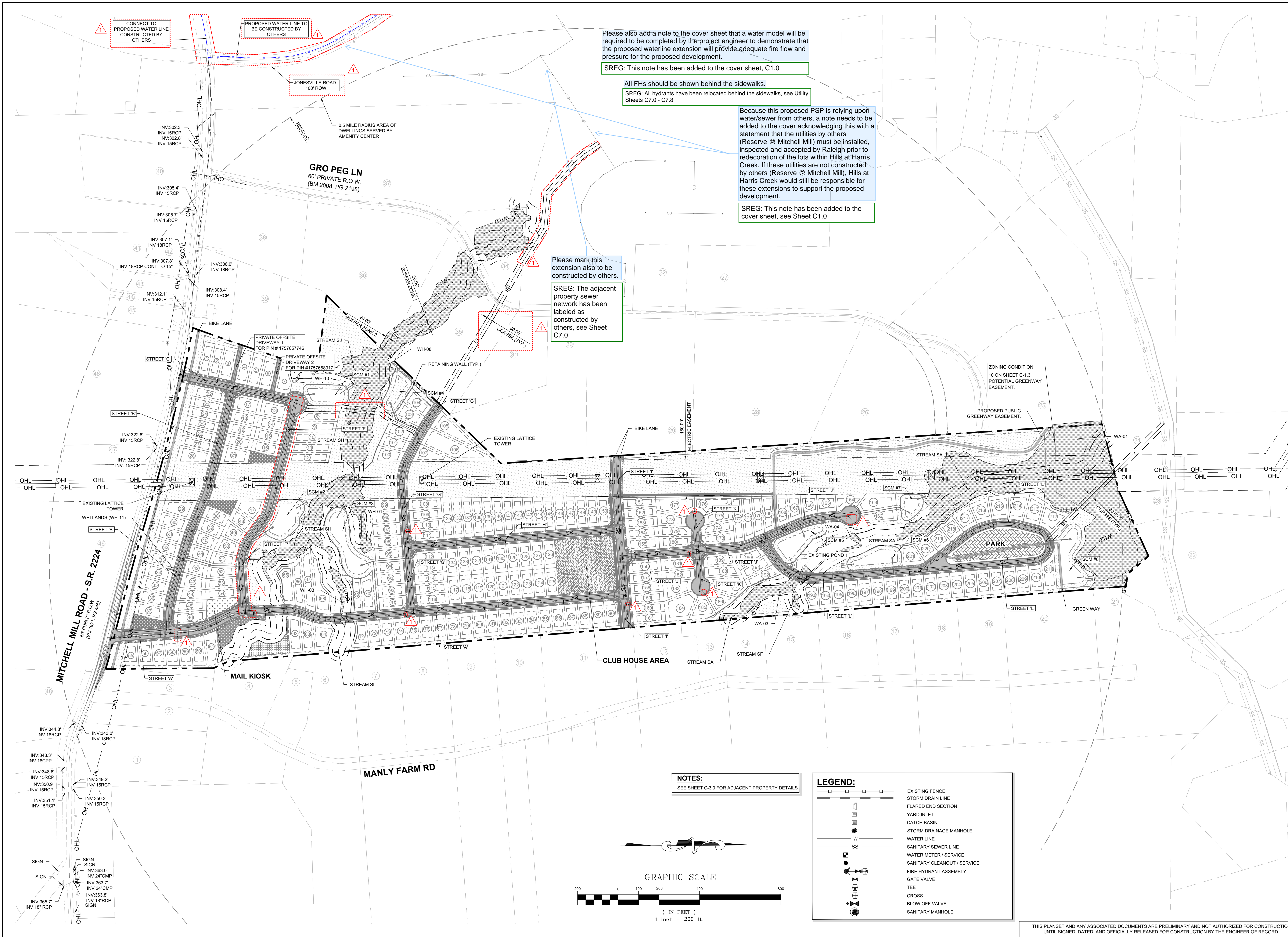
STRONG ROCK ENGINEERING GROUP, PLLC (COMPANY LICENSE # P-2166)
305 CHURCH AT NORTH HILLS STREET, SUITE 1110-PALEIGH, NC 27659 | INFORMATION@STRONGROCKGROUP.COM

STRONG ROCK PROJECT	NOT FOR CONSTRUCTION	SCALE AS SHOWN	JWL	SRG	JWL
			DESIGNED BY	DRAWN BY	CHECKED BY

HILLS AT HARRIS CREEK
TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

OVERALL UTILITY PLAN

DRAWING SHEET
C-6.0
29 OF 57



Please also add a note to the cover sheet that a water model will be required to be completed by the project engineer to demonstrate that the proposed waterline extension will provide adequate fire flow and pressure for the proposed development.
SREG: This note has been added to the cover sheet, C1.0

All FHs should be shown behind the sidewalks.
SREG: All hydrants have been relocated behind the sidewalks, see Utility Sheets C7.0 - C7.8

Because this proposed PSP is relying upon water/sewer from others, a note needs to be added to the cover acknowledging this with a statement that the utilities by others (Reserve @ Mitchell Mill) must be installed, inspected and accepted by Raleigh prior to re-decoration of the lots within Hills at Harris Creek. If these utilities are not constructed by others (Reserve @ Mitchell Mill), Hills at Harris Creek would still be responsible for these extensions to support the proposed development.
SREG: This note has been added to the cover sheet, see Sheet C1.0

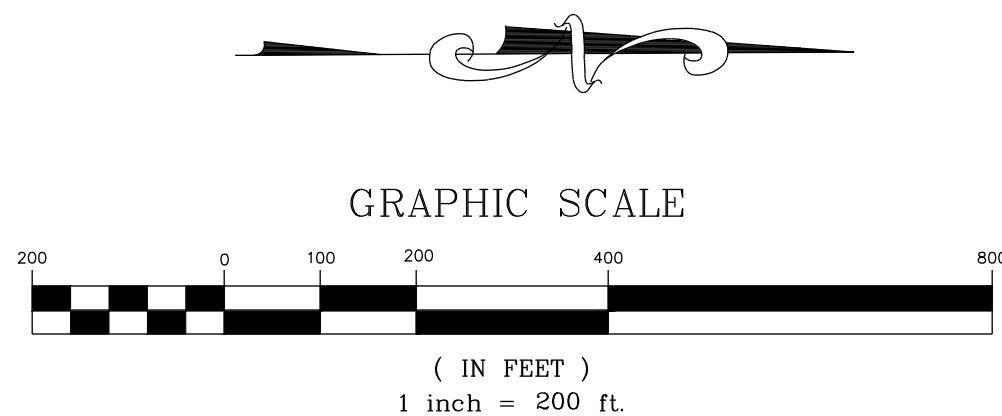
Please mark this extension also to be constructed by others.
SREG: The adjacent property sewer network has been labeled as constructed by others, see Sheet C7.0

ZONING CONDITION 10 ON SHEET C-1.3 POTENTIAL GREENWAY EASEMENT.

NOTES:
SEE SHEET C-3.0 FOR ADJACENT PROPERTY DETAILS

LEGEND:

	EXISTING FENCE
	STORM DRAIN LINE
	FLARED END SECTION
	YARD INLET
	CATCH BASIN
	STORM DRAINAGE MANHOLE
	WATER LINE
	SANITARY SEWER LINE
	WATER METER / SERVICE
	SANITARY CLEANOUT / SERVICE
	FIRE HYDRANT ASSEMBLY
	GATE VALVE
	TEE
	CROSS
	BLOW OFF VALVE
	SANITARY MANHOLE



THIS PLANSET AND ANY ASSOCIATED DOCUMENTS ARE PRELIMINARY AND NOT AUTHORIZED FOR CONSTRUCTION UNTIL SIGNED, DATED, AND OFFICIALLY RELEASED FOR CONSTRUCTION BY THE ENGINEER OF RECORD.