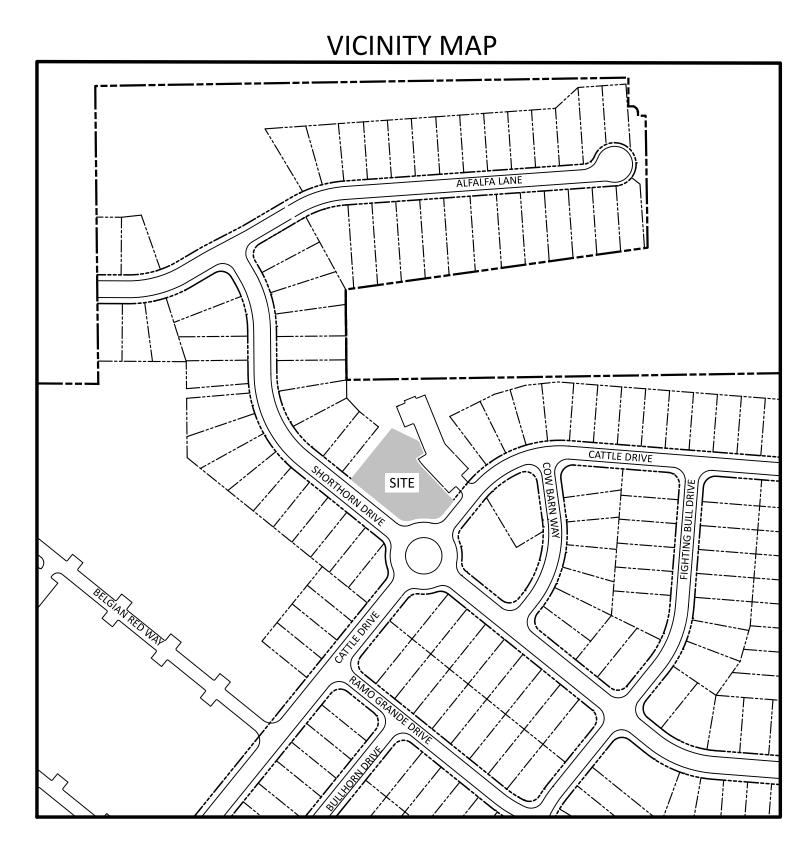
PRESTLEIGH AT JONES DAIRY



SCALE: 1" = 200'

SITE DEVELOPMENT PLAN **AMENITY CENTER ACTIVE OPEN SPACE #2** B.M. 2023, PG. 2190

1001 CATTLE DRIVE ROLESVILLE, NC PROJECT ID NO: SDP-24-02

FEBRUARY 29, 2024 REVISED: APRIL 29, 2024 REVISED: JUNE 7, 2024 REVISED: JUNE 11, 2024

OWNER/DEVELOPER

PRESERVE AT JONES DAIRY, LLC 10534 ARNOLD PALMER DRIVE RALEIGH, NC 27617 919-491-0761

PROPOSED SITE DATA - AMENITY CENTER			
LOT AREA	55,288 SF (1.27 AC)		
SETBACKS			
FRONT AND REAR:	25'		
SIDE:	5'		
CORNER:	10'		
DISTURBED AREA	27,589 SF (0.63 AC)		
BUILDING AREA	788 SF		
NUMBER OF STORIES	1 STORY		
IMPERVIOUS AREA	9,376 SF		
PROPOSED USE	AMENITY CENTER (POOL HOUSE AND POOL)		

SITE DATA - SUBDIVISION					
ZONING		R & PUD			
EXISTING SITE AREA		88.59 ACRES (3,859,005 SF)			
R/W DEDICATION		0.78 ACRES (34,140 SF) JONES DAIRY ROAD			
OTHER DEDICATION	S	0.15 ACRES (6,824 SF) AVERETTE ROAD SIDEWALK			
PROPOSED NET SITE	AREA	87.66 ACRES (3,818,041 SF)			
PROPOSED USE		SINGLE FAMILY AND TOWNHOME UNITS			
SINGLE FAMILY UNIT	ΓS	260 UNITS			
TOWNHOME UNITS		179 UNITS			
TOTALS UNITS		439 UNITS			
SINGLE FAMILY AREA	4 (GROSS)	68.52 ACRES (2,984,678 SF)			
TOWNHOME AREA (GROSS)		20.07 ACRES (874,327 SF)			
DENSITY					
SINGLE FAMILY	260 UNITS/68.52 ACRES = 3.79 UNITS/ACRE				
TOWNHOME	179 UNITS/20.07 ACRES = 8.92 UNITS/ACRE				
CENTRAL	439 UNITS/88.59 ACRES = 4.96 UNITS/ACRE				

SHEET INDEX				
SHEET NO.	SHEET NAME	MOST CURRENT REVISION DATE		
C1.0	EXISTING CONDITIONS PLAN	06/07/2024		
C2.0	SITE PLAN	06/07/2024		
C3.0	UTILITY PLAN	06/11/2024		
C4.0	GRADING AND EROSION CONTROL PLAN	06/11/2024		
L1.0	LANDSCAPE PLAN	06/07/2024		
D1.0	SITE DETAILS	06/07/2024		
	PLANS BY OTHERS			
SHEET NO.	SHEET NAME	MOST CURRENT REVISION DATE		
A0.1	BATHHOUSE FLOORPLAN	2/29/2024		
A0.2	BATHHOUSE BUILDING ELEVATIONS	2/29/2024		

PRESERVE AT JONES DAIRY - CENTRAI PARCEL PINS: 1759992822 1850906787 1769094682

STORMWATER MANAGEMENT CALCULATIONS PREVIOUSLY PROVIDED AS PART OF PRESERVE AT JONES DAIRY - CENTRAL

ALL CONSTRUCTION SHALL BE IN

ACCORDANCE WITH TOWN OF

ROLESVILLE STANDARDS AND

SPECIFICATIONS

THE PROJECT IS NOT LOCATED IN A WATERSUPPLY WATERSHED PROTECTION OVERLAY DISTRICT. THE PROJECT DOES NOT CONTAIN SPECIAL FLOOD HAZARD AREAS.

EROSION CONTROL, STORMWATER AND FLOODPLAIN MANAGEMENT APPROVED EROSION CONTROL X SEC-048926-202 STORMWATER MGMT.

S-FLOOD STUDY S-DATE 6-28-2024 Barney Blackburn
ENVIRONMENTAL CONSULTANT SIGNATURE

SDP-24-02 / Site Development Plan / Prestleigh **Amenity Center** APPROVED Date: June 12, 2024 Meredith Truber

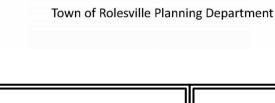
Rolesville



CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION ELECTRONIC APPROVAL: THIS APPROVAL IS BEING ISSUED ELECTRONICALLY. THIS APPROVAL IS VALID ONLY UPON THE SIGNATURE OF A CITY OF RALEIGH REVIEW OFFICER BELOW. THE CITY WILL RETAIN A COPY OF THE APPROVED PLANS. ANY WORK AUTHORIZED BY THIS APPROVAL MUST PROCEED IN ACCORDANCE WITH THE PLANS KEPT ON FILE WITH THE CITY. THIS ELECTRONIC APPROVAL MAY NOT BE EDITED ONCE ISSUED.

ANY MODIFICATION TO THIS APPROVAL ONCE ISSUED WILL INVALIDATE THIS APPROVAL. CITY OF RALEIGH DEVELOPMENT APPROVAL

RALEIGH WATER REVIEW OFFICER



TOWN OF ROLESVILLE

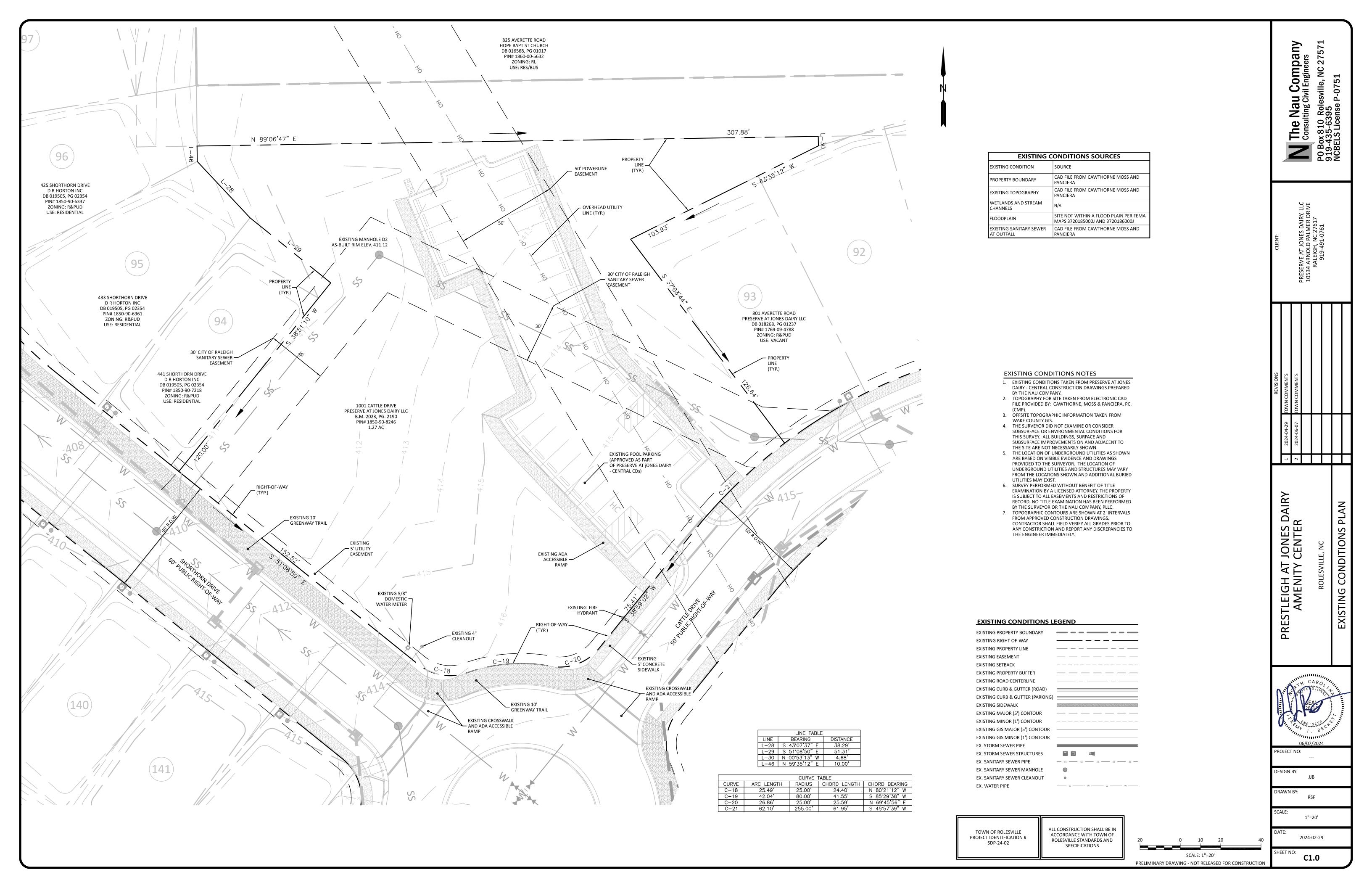
PROJECT IDENTIFICATION #

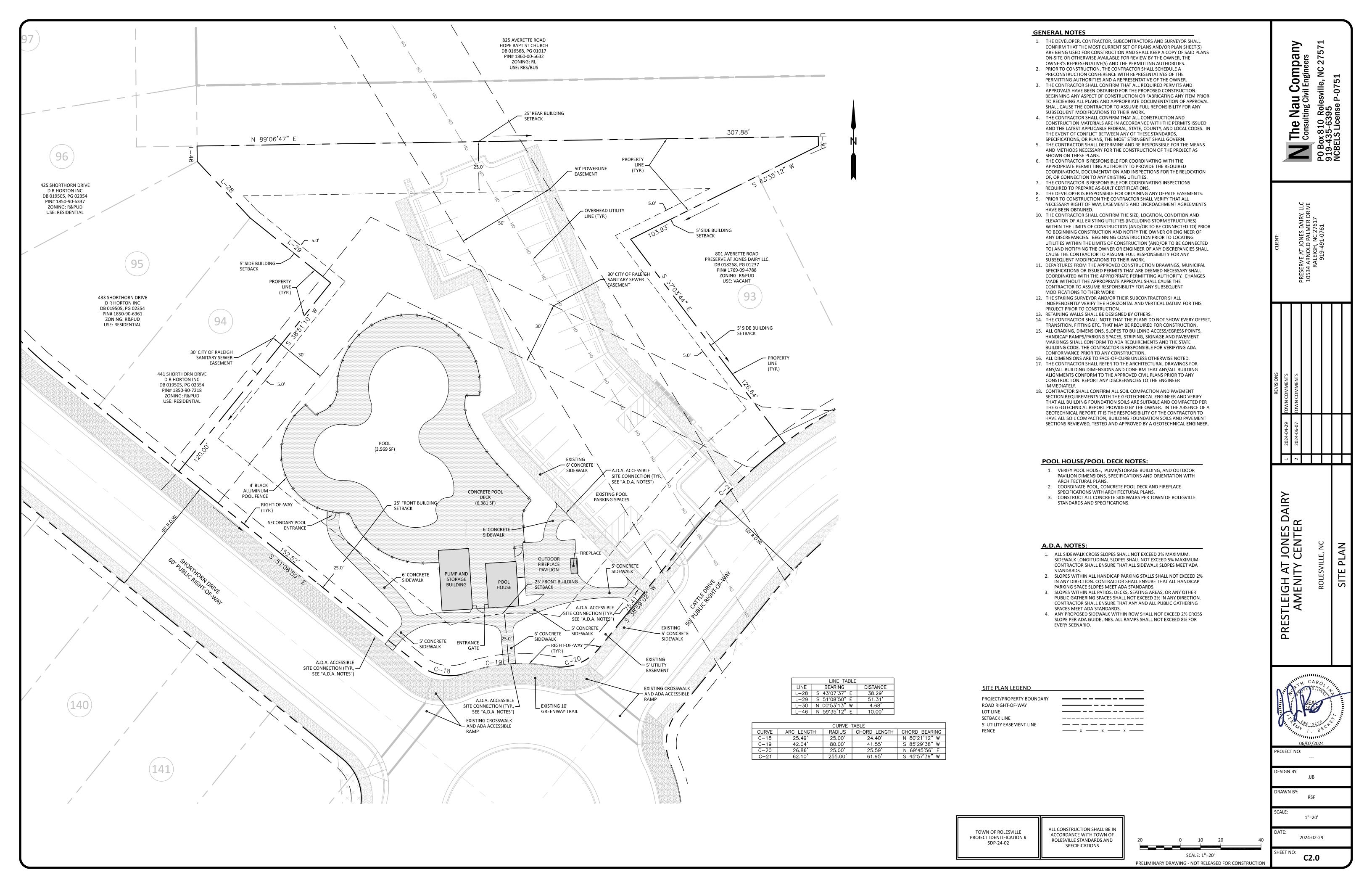
SDP-24-02

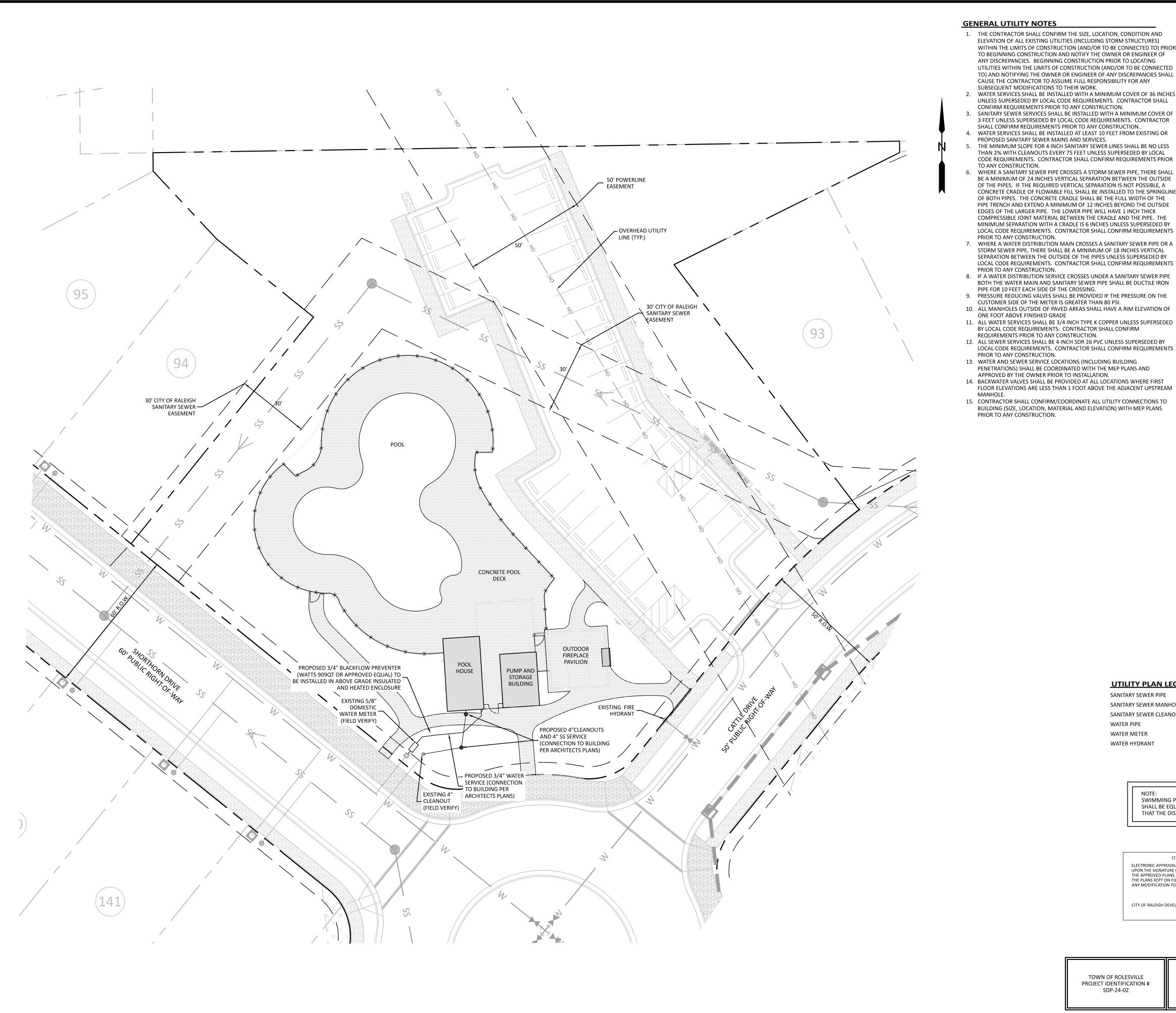
The Nau Company Consulting Civil Engineers

PO Box 810 Rolesville, NC 27571 919-435-6395 NCBELS License P-0751

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION







GENERAL UTILITY NOTES

- 1. THE CONTRACTOR SHALL CONFIRM THE SIZE, LOCATION, CONDITION AND ELEVATION OF ALL EXISTING UTILITIES (INCLUDING STORM STRUCTURES) WITHIN THE LIMITS OF CONSTRUCTION (AND/OR TO BE CONNECTED TO) PRIOR TO BEGINNING CONSTRUCTION AND NOTIFY THE OWNER OR ENGINEER OF ANY DISCREPANCIES. BEGINNING CONSTRUCTION PRIOR TO LOCATING
- UTILITIES WITHIN THE LIMITS OF CONSTRUCTION (AND/OR TO BE CONNECTED TO) AND NOTIFYING THE OWNER OR ENGINEER OF ANY DISCREPANCIES SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATIONS TO THEIR WORK.
- WATER SERVICES SHALL BE INSTALLED WITH A MINIMUM COVER OF 36 INCHES UNLESS SUPERSEDED BY LOCAL CODE REQUIREMENTS. CONTRACTOR SHALL CONFIRM REQUIREMENTS PRIOR TO ANY CONSTRUCTION.
- SANITARY SEWER SERVICES SHALL BE INSTALLED WITH A MINIMUM COVER OF 3 FEET UNLESS SUPERSEDED BY LOCAL CODE REQUIREMENTS. CONTRACTOR SHALL CONFIRM REQUIREMENTS PRIOR TO ANY CONSTRUCTION..
- WATER SERVICES SHALL BE INSTALLED AT LEAST 10 FEET FROM EXISTING OR PROPOSED SANITARY SEWER MAINS AND SERVICES.
- THE MINIMUM SLOPE FOR 4 INCH SANITARY SEWER LINES SHALL BE NO LESS THAN 2% WITH CLEANOUTS EVERY 75 FEET UNLESS SUPERSEDED BY LOCAL CODE REQUIREMENTS. CONTRACTOR SHALL CONFIRM REQUIREMENTS PRIOR
- TO ANY CONSTRUCTION. WHERE A SANITARY SEWER PIPE CROSSES A STORM SEWER PIPE, THERE SHALL BE A MINIMUM OF 24 INCHES VERTICAL SEPARATION BETWEEN THE OUTSIDE OF THE PIPES. IF THE REQUIRED VERTICAL SEPARATION IS NOT POSSIBLE, A CONCRETE CRADLE OF FLOWABLE FILL SHALL BE INSTALLED TO THE SPRINGLINE OF BOTH PIPES. THE CONCRETE CRADLE SHALL BE THE FULL WIDTH OF THE PIPE TRENCH AND EXTEND A MINIMUM OF 12 INCHES BEYOND THE OUTSIDE EDGES OF THE LARGER PIPE. THE LOWER PIPE WILL HAVE 1 INCH THICK COMPRESSIBLE JOINT MATERIAL BETWEEN THE CRADLE AND THE PIPE. THE
- PRIOR TO ANY CONSTRUCTION. WHERE A WATER DISTRIBUTION MAIN CROSSES A SANITARY SEWER PIPE OR A STORM SEWER PIPE, THERE SHALL BE A MINIMUM OF 18 INCHES VERTICAL SEPARATION BETWEEN THE OUTSIDE OF THE PIPES UNLESS SUPERSEDED BY LOCAL CODE REQUIREMENTS. CONTRACTOR SHALL CONFIRM REQUIREMENTS
- PRIOR TO ANY CONSTRUCTION. 8. IF A WATER DISTRIBUTION SERVICE CROSSES UNDER A SANITARY SEWER PIPE BOTH THE WATER MAIN AND SANITARY SEWER PIPE SHALL BE DUCTILE IRON
- PIPE FOR 10 FEET EACH SIDE OF THE CROSSING. 9. PRESSURE REDUCING VALVES SHALL BE PROVIDED IF THE PRESSURE ON THE CUSTOMER SIDE OF THE METER IS GREATER THAN 80 PSI.
- 10. ALL MANHOLES OUTSIDE OF PAVED AREAS SHALL HAVE A RIM ELEVATION OF ONE FOOT ABOVE FINISHED GRADE
- 11. ALL WATER SERVICES SHALL BE 3/4 INCH TYPE K COPPER UNLESS SUPERSEDED BY LOCAL CODE REQUIREMENTS. CONTRACTOR SHALL CONFIRM REQUIREMENTS PRIOR TO ANY CONSTRUCTION.
- LOCAL CODE REQUIREMENTS. CONTRACTOR SHALL CONFIRM REQUIREMENTS PRIOR TO ANY CONSTRUCTION.
- 13. WATER AND SEWER SERVICE LOCATIONS (INCLUDING BUILDING PENETRATIONS) SHALL BE COORDINATED WITH THE MEP PLANS AND APPROVED BY THE OWNER PRIOR TO INSTALLATION.
- 14. BACKWATER VALVES SHALL BE PROVIDED AT ALL LOCATIONS WHERE FIRST FLOOR ELEVATIONS ARE LESS THAN 1 FOOT ABOVE THE ADJACENT UPSTREAM
- 15. CONTRACTOR SHALL CONFIRM/COORDINATE ALL UTILITY CONNECTIONS TO BUILDING (SIZE, LOCATION, MATERIAL AND ELEVATION) WITH MEP PLANS PRIOR TO ANY CONSTRUCTION.

MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49)

- CITY OF RALEIGH STANDARD UTILITY NOTES:

 1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- 2. UTILITY SEPARATION REQUIREMENTS: A) A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF
- ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL

Compai

au มัย Ci

The Consu

27

- B) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL
- DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER C) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A
- WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS D) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER
- FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER E) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6"
- F) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED
- 3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION 4. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES &
- BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT, ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT
- 5. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS $\textbf{6.} \quad \textbf{IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER \& SEWER SERVICES NOT \\ \textbf{2.1} \quad \textbf{3.1} \quad \textbf{3.2} \quad \textbf{3$
- BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE
- . INSTALL ¾" COPPER* WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE
- 8. INSTALL 4" PVC* SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM 9. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER
- VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE
- 10. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWO. USACE &/OR FEMA FOR ANY RIPARIAN BUFFER. WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- 11. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION

UTILITY PLAN LEGEND

WATER HYDRANT

SANITARY SEWER PIPE SANITARY SEWER MANHOLE SANITARY SEWER CLEANOUT WATER PIPE WATER METER

SWIMMING POOL DISCHARGE TO THE SANITARY SEWER SYSTEM

SHALL BE EQUIPPED WITH A PUMP OR FLOW RESTRICTOR SO

THAT THE DISCHARGE RATE DOES NOT EXCEED 50 GPM.

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION ELECTRONIC APPROVAL: THIS APPROVAL IS BEING ISSUED ELECTRONICALLY. THIS APPROVAL IS VALID ONLY UPON THE SIGNATURE OF A CITY OF RALEIGH REVIEW OFFICER BELOW. THE CITY WILL RETAIN A COPY OF THE APPROVED PLANS. ANY WORK AUTHORIZED BY THIS APPROVAL MUST PROCEED IN ACCORDANCE WITH THE PLANS KEPT ON FILE WITH THE CITY. THIS ELECTRONIC APPROVAL MAY NOT BE EDITED ONCE ISSUED ANY MODIFICATION TO THIS APPROVAL ONCE ISSUED WILL INVALIDATE THIS APPROVAL CITY OF RALEIGH DEVELOPMENT APPROVAL RALEIGH WATER REVIEW OFFICER

TOWN OF ROLESVILLE PROJECT IDENTIFICATION # SDP-24-02

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF ROLESVILLE STANDARDS AND SPECIFICATIONS

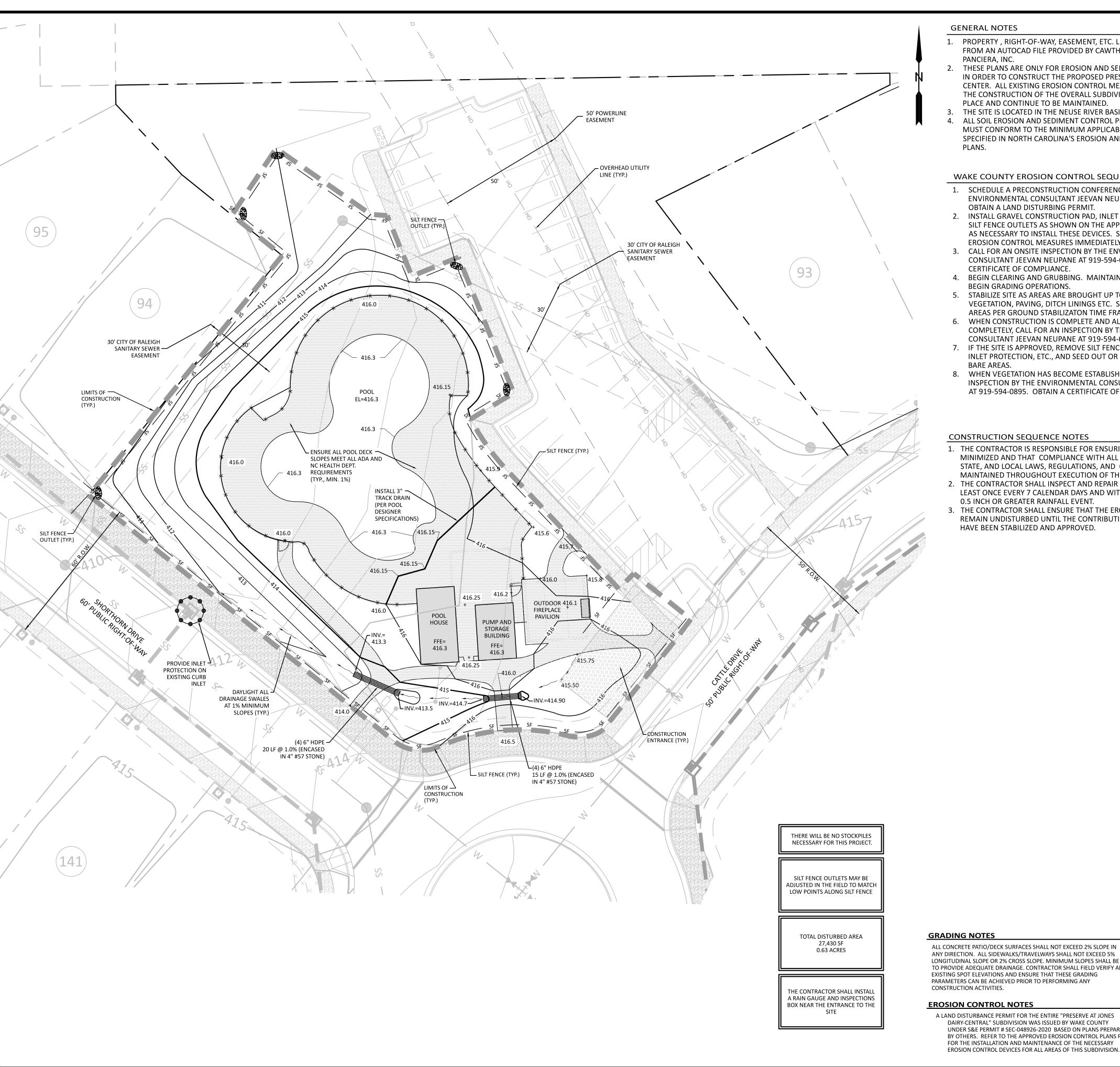
SCALE: 1"=20' PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION DESIGN BY: JJB DRAWN BY: RSF 1"=20'

PRESTLEIGH AT JONES AMENITY CENTE

PLAN

2024-02-29

C3.0



GENERAL NOTES

- PROPERTY , RIGHT-OF-WAY, EASEMENT, ETC. LINEWORK WAS TAKEN FROM AN AUTOCAD FILE PROVIDED BY CAWTHORNE, MOSS & PANCIERA, INC.
- 2. THESE PLANS ARE ONLY FOR EROSION AND SEDIMENTATION CONTROL IN ORDER TO CONSTRUCT THE PROPOSED PRESLEIGH AMENTITY CENTER. ALL EXISTING EROSION CONTROL MEASURES REQUIRED FOR THE CONSTRUCTION OF THE OVERALL SUBDIVISION SHALL REMAIN IN PLACE AND CONTINUE TO BE MAINTAINED.
 - THE SITE IS LOCATED IN THE NEUSE RIVER BASIN.
- ALL SOIL EROSION AND SEDIMENT CONTROL PLANS AND MEASURES MUST CONFORM TO THE MINIMUM APPLICABLE STANDARDS SPECIFIED IN NORTH CAROLINA'S EROSION AND SEDIMENT CONTROL

WAKE COUNTY EROSION CONTROL SEQUENCE

- 1. SCHEDULE A PRECONSTRUCTION CONFERENCE WITH THE WAKE COUNTY ENVIRONMENTAL CONSULTANT JEEVAN NEUPANE AT 919-594-0895. OBTAIN A LAND DISTURBING PERMIT.
- 2. INSTALL GRAVEL CONSTRUCTION PAD, INLET PROTECTION, SILT FENCE, SILT FENCE OUTLETS AS SHOWN ON THE APPROVED PLAN. CLEAR ONLY AS NECESSARY TO INSTALL THESE DEVICES. SEED AREAS DISTURBED FOR EROSION CONTROL MEASURES IMMEDIATELY AFTER CONSTRUCTION.
- 3. CALL FOR AN ONSITE INSPECTION BY THE ENVIRONMENTAL CONSULTANT JEEVAN NEUPANE AT 919-594-0895 TO OBTAIN A CERTIFICATE OF COMPLIANCE.
- 4. BEGIN CLEARING AND GRUBBING. MAINTAIN DEVICES AS NEEDED. BEGIN GRADING OPERATIONS.
- 5. STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISH GRADE WITH VEGETATION, PAVING, DITCH LININGS ETC. SEED AND MULCH DENUDED AREAS PER GROUND STABILIZATON TIME FRAMES.
- 6. WHEN CONSTRUCTION IS COMPLETE AND ALL AREAS ARE STABILIZED COMPLETELY, CALL FOR AN INSPECTION BY THE ENVIRONMENTAL CONSULTANT JEEVAN NEUPANE AT 919-594-0895.
- 7. IF THE SITE IS APPROVED, REMOVE SILT FENCE, SILT FENCE OUTLETS, INLET PROTECTION, ETC., AND SEED OUT OR STABILIZE AND RESULTING
- 8. WHEN VEGETATION HAS BECOME ESTABLISHED, CALL FOR A FINAL SITE INSPECTION BY THE ENVIRONMENTAL CONSULTANT JEEVAN NEUPANE AT 919-594-0895. OBTAIN A CERTIFICATE OF COMPLETION.

CONSTRUCTION SEQUENCE NOTES

- 1. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT EROSION IS MINIMIZED AND THAT COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, REGULATIONS, AND ORDINANCES IS MAINTAINED THROUGHOUT EXECUTION OF THIS PROJECT.
- 2. THE CONTRACTOR SHALL INSPECT AND REPAIR ALL EROSION DEVICES AT LEAST ONCE EVERY 7 CALENDAR DAYS AND WITHIN 24 HOURS OF EVERY 0.5 INCH OR GREATER RAINFALL EVENT.
- 3. THE CONTRACTOR SHALL ENSURE THAT THE EROSION CONTROL DEVICES REMAIN UNDISTURBED UNTIL THE CONTRIBUTING UPSTREAM AREAS HAVE BEEN STABILIZED AND APPROVED.

GRADING NOTES

- PROPOSED CONTOURS REPRESENT APPROXIMATE ELEVATIONS AT A POINT. PROPOSED SPOT ELEVATIONS AND ROADWAY PROFILES SUPERSEDE CONTOUR INFORMATION.
- 2. ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE (2% MIN. IN LANDSCAPE AREAS, 1% MIN. IN CONCRETE/ASPHALT) AWAY FROM BUILDING FOUNDATIONS AND TOWARD STORM STRUCTURES CONTRACTOR SHALL MAINTAIN THIS MINIMUM DRAINAGE CRITERIA
- **DURING ALL CONSTRUCTION ACTIVITIES.** 3. ALL GRADING, BACKFILLING, EXCAVATION, ETC. SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS SET FORTH BY THE LOCAL GOVERNING AUTHORITY. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR

 $\boldsymbol{\sigma}$

- COORDINATING ALL CONSTRUCTION ACTIVITIES WITH SAID 4. CONTRACTOR IS TO CONTACT NORTH CAROLINA "ONE CALL" AT 811
- FOR UNDERGROUND UTILITY LOCATION 72 HOURS PRIOR TO ANY 5. CONTRACTOR SHALL LOCATE AND VERIFY THE LOCATION OF ALL
- UTILITIES PRIOR TO BEGINNING ANY CONSTRUCTION. 6. ANY AND ALL DISTURBED AREAS SHALL BE FINE GRADED, SEEDED WITH PERMANENT GRASS SEEDING MIX AND STRAWED PRIOR TO
- DEMOBILIZATION FROM THE SITE. 7. ALL GRASS SWALES/DITCHES/SLOPES SHALL BE GRADED TO BE 2% OR STEEPER UNLESS SPECIFICALLY NOTED ON THE PLANS.
- SLOPES STEEPER THAN 3H:1V SHOULD BE EVALUATED AND DESIGNED BY A GEOTECHNICAL ENGINEER.
- 9. THE CONTRACTOR SHALL NOTE THAT SPILL CURB SHALL BE USED AS NECESSARY IN PARKING AREAS, AT INTERSECTIONS, AT MEDIANS TO ELIMINATE AREAS OF STANDING WATER IN THE CURB. NO LONGITUDINAL CURB SLOPES LESS THAN 1% SHALL BE INSTALLED IN CATCHING CURBS.
- 10. THE CONTRACTOR SHALL COORDINATE SIZE AND LOCATION OF ALL BUILDING ROOF LEADERS WITH ARCHITECTURAL PLANS PRIOR TO ANY CONSTRUCTION AND CONNECT THEM TO ON-SITE STORM DRAINAGE SYSTEM, UNLESS NOTED OTHERWISE, ROOF LEADERS SHALL BE 8" SCH.
- 40 PVC LAID AT 1% MINIMUM SLOPE TO DAYLIGHT. 11. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SPOT ELEVATIONS ADJACENT TO ALL PROPOSED SITE IMPROVEMENTS PRIOR TO ANY CONSTRUCTION TO ENSURE POSITIVE DRAINAGE CAN BE MAINTAINED. NOTIFY THE ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
- 12. THE CONTRACTOR IS RESPONSIBLE FOR TAKING ALL MEASURES NECESSARY, INCLUDING GRADING ADDITIONAL SWALES AS NEEDED, TO ENSURE POSITIVE DRAINAGE AWAY FROM AND AROUND ALL 13. ALL RUNOFF SHALL BE DIRECTED TOWARD DRAINAGE SWALES,
- DITCHES, CATCH BASINS, AND STORM WATER BASINS. 14. THE CONTRACTOR IS RESPONSIBLE FOR REVIEWING ALL THE INFORMATION PROVIDED BY THE OWNER'S GEOTECHNICAL ENGINEER

PRIOR TO BIDDING THIS PROJECT.

- 15. THE CONTRACTOR SHALL CONDUCT ALL GRADING AND OTHER CONSTRUCTION IN ACCORDANCE RECOMMENDATIONS PROVIDED BY THE OWNER'S GEOTECHNICAL ENGINEER 16. CONTRACTOR SHALL CONFIRM ALL SOIL COMPACTION AND PAVEMENT
- SECTION REQUIREMENTS WITH THE GEOTECHNICAL ENGINEER AND VERIFY THAT ALL BUILDING FOUNDATION SOILS ARE SUITABLE AND COMPACTED PER THE GEOTECHNICAL REPORT PROVIDED BY THE OWNER. IN THE ABSENCE OF A GEOTECHNICAL REPORT, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL SOIL COMPACTION, BUILDING FOUNDATION SOILS AND PAVEMENT SECTIONS REVIEWED, TESTED AND APPROVED BY A GEOTECHNICAL
- 17. MAXIMUM SLOPE IN ANY DIRECTION FOR AN ADA PARKING SPACE IS 2%. THE CONTRACTOR SHALL ENSURE THAT INSTALLATION MEETS ADA
- 18. SIDEWALK CROSS SLOPE SHALL BE 2% MAXIMUM. SIDEWALK LONGITUDINAL SLOPE SHALL BE 5% MAXIMUM. CONTRACTOR SHALL INSURE THAT ALL SIDEWALK SLOPES MEET ADA STANDARDS.
- 19. SLOPES WITHIN ALL HANDICAP PARKING STALLS SHALL NOT EXCEED 2% IN ANY DIRECTION. CONTRACTOR SHALL INSURE THAT ALL HANDICAP PARKING SPACE SLOPES MEET ADA STANDARDS

20. ANY PROPOSED SIDEWALK WITHIN ROW SHALL NOT EXCEED 2% CROSS

- SLOPE PER ADA GUIDELINES. ALL RAMPS SHALL NOT EXCEED 8% FOR EVERY SCENARIO.
- 21. ALL PROPOSED STORM PIPING SHALL BE CLASS III RCP UNLESS NOTED OTHERWISE. 22. THE CONTRACTOR SHALL NOTE THAT SPILL CURB SHALL BE USED AS
- NECESSARY IN PARKING AREAS, AT INTERSECTIONS, AT MEDIANS TO ELIMINATE AREAS OF STANDING WATER IN THE CURB 23. ENSURE ALL POOL DECK SLOPES AND TRACK DRAINS MEET ALL ADA

AND NC HEALTH DEPARTMENT REQUIREMENTS. INSTALL TRACK

DRAINS AS NECESSARY AND COORDINATE WITH POOL DESIGNER. SILT FENCE OUTLETS AND CHECK DAMS ARE SHOWN IN THEIR APPROXIMATE

SOIL STABILIZATION SHALL BE ACHIEVED ON ANY AREA OF A SITE WHERE LAND-DISTURBING ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED ACCORDING TO THE FOLLOWING SCHEDULE:

LOCATION. SILT FENCE OUTLETS SHOULD BE ADJUSTED AS NECESSARY TO THE LOW

POINTS ALONG THE SILT FENCE ENCOUNTERED IN THE FIELD.

- ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1) SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 7 CALENDAR DAYS FROM THE LAST LAND-DISTURBING
- ALL OTHER DISTURBED AREAS SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 14 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.

TOWN OF ROLESVILLE

PROJECT IDENTIFICATION #

SDP-24-02

- STORMWATER MANAGEMENT CALCULATIONS PREVIOUSLY PROVIDED AS PART OF PRESERVE AT JONES DAIRY CENTRAL
- THE PROJECT IS NOT LOCATED IN A WATERSUPPLY WATERSHED PROTECTION OVERLAY DISTRICT.
- THE PROJECT DOES NOT CONTAIN SPECIAL FLOOD HAZARD AREAS.

GRADING/DRAINAGE PLAN LEGEND

EXISTING MAJOR (5') CONTOUR EXISTING MINOR (1') CONTOUR PROPOSED MAJOR (5') CONTOUR PROPOSED MINOR (1') CONTOUR

STORM DRAINAGE PIPE STORM DRAINAGE STRUCTURES RETAINING WALL

EROSION CONTROL PLAN LEGEND

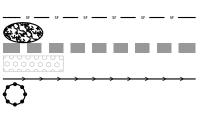
SILT FENCE SILT FENCE OUTLET LIMITS OF CONSTRUCTION CONSTRUCTION ENTRANCE TEMP. DIVERSION DITCH INLET PROTECTION

ALL CONSTRUCTION SHALL BE IN

ACCORDANCE WITH TOWN OF

ROLESVILLE STANDARDS AND

SPECIFICATIONS



SCALE: 1"=20' PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

3 2 1

EROSION

AND

۳ <u>۵</u>

STLEI(AMI

ESIGN BY:

RAWN BY: RSF

2024-02-29

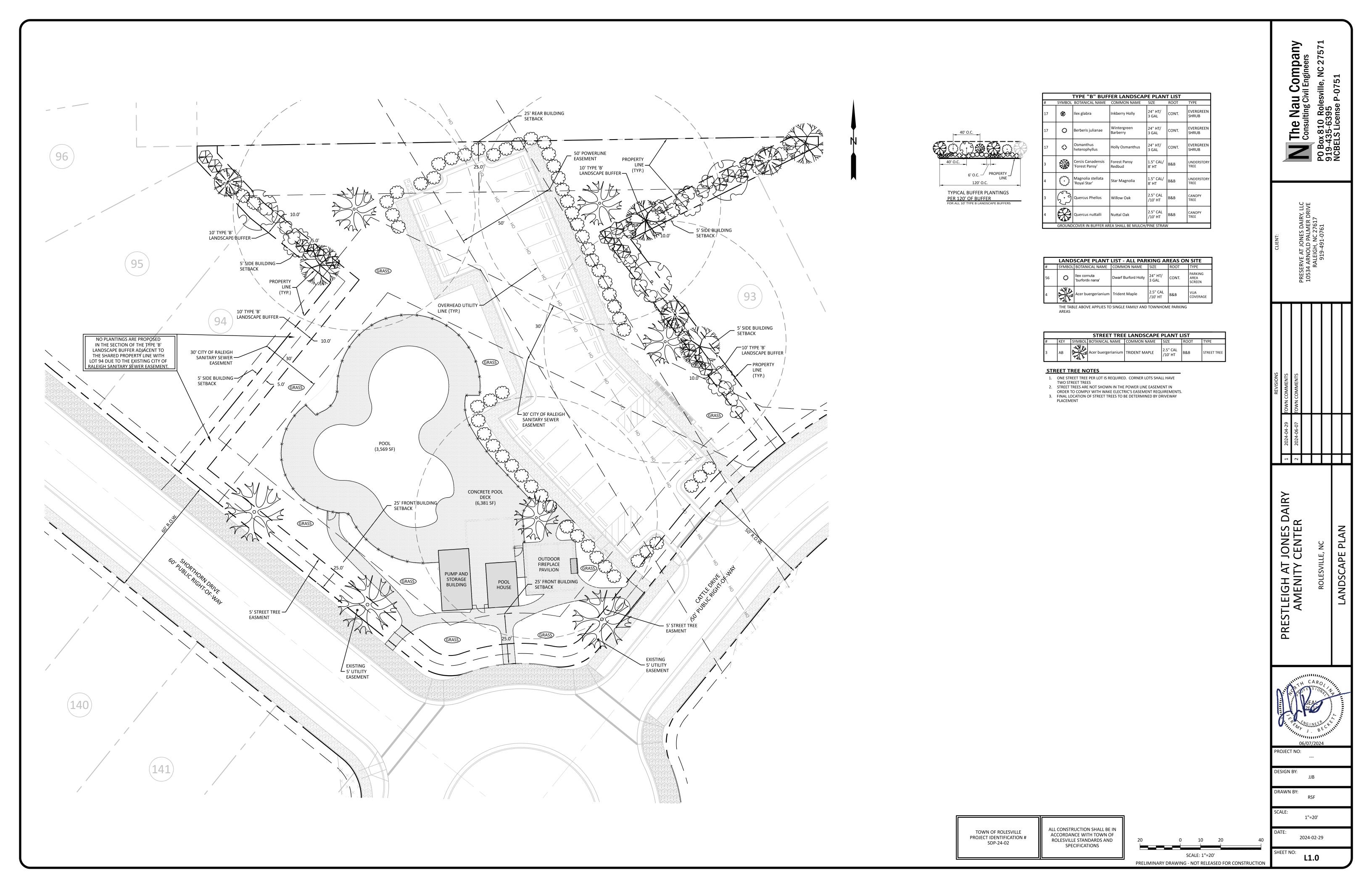
C4.0

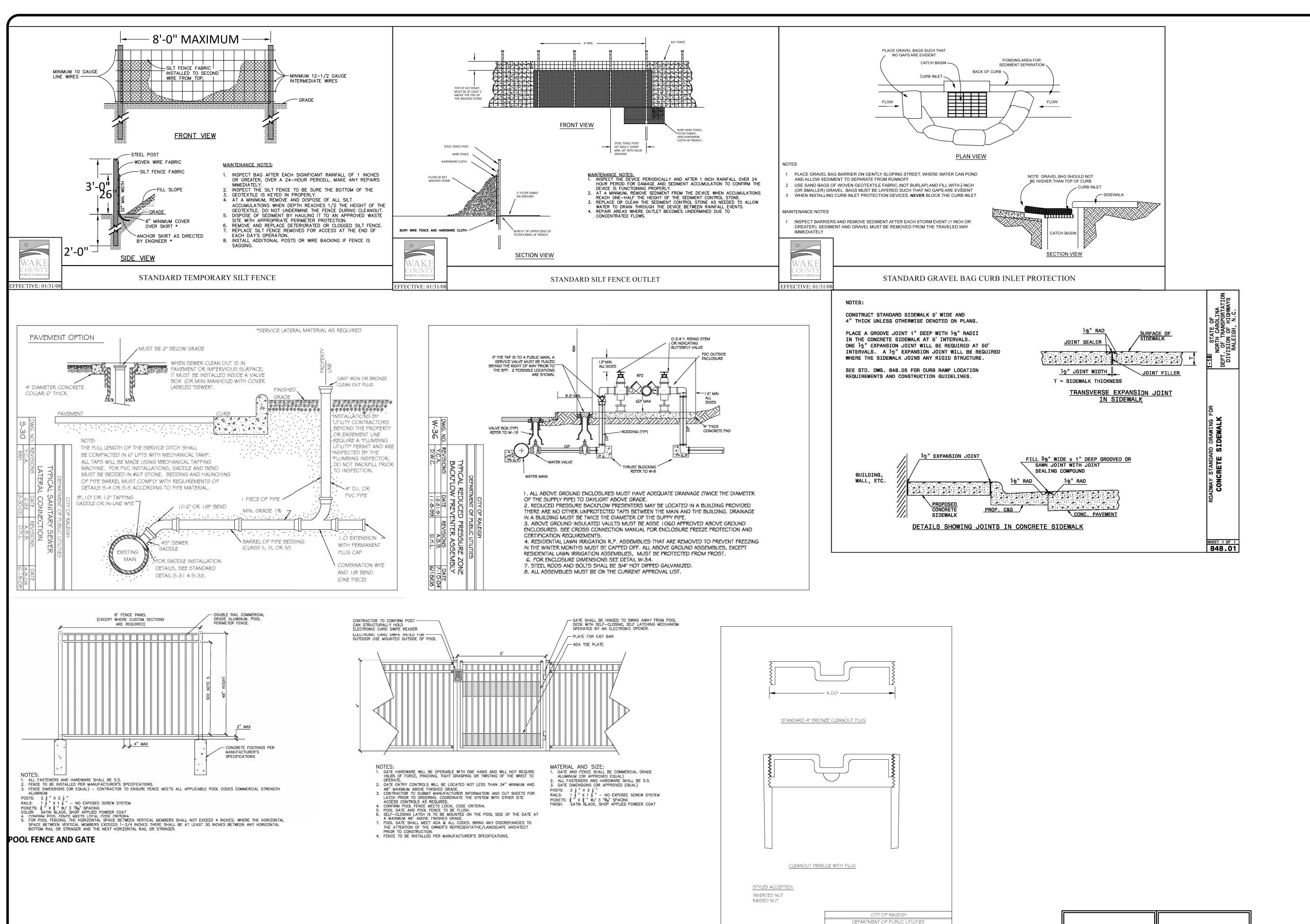
CONSTRUCTION ACTIVITIES.

ANY DIRECTION. ALL SIDEWALKS/TRAVELWAYS SHALL NOT EXCEED 5% LONGITUDINAL SLOPE OR 2% CROSS SLOPE. MINIMUM SLOPES SHALL BE 1% TO PROVIDE ADEQUATE DRAINAGE. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SPOT ELEVATIONS AND ENSURE THAT THESE GRADING PARAMETERS CAN BE ACHIEVED PRIOR TO PERFORMING ANY

EROSION CONTROL NOTES

A LAND DISTURBANCE PERMIT FOR THE ENTIRE "PRESERVE AT JONES DAIRY-CENTRAL" SUBDIVISION WAS ISSUED BY WAKE COUNTY UNDER S&E PERMIT # SEC-048926-2020 BASED ON PLANS PREPARED BY OTHERS. REFER TO THE APPROVED EROSION CONTROL PLANS FOR FOR THE INSTALLATION AND MAINTENANCE OF THE NECESSARY EROSION CONTROL DEVICES FOR ALL AREAS OF THIS SUBDIVISION.





DAII JONES DETAILS PRESTLEIGH AT J AMENITY (SITE PROJECT NO: DESIGN BY: JJB DRAWN BY: RSF SCALE: NTS ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF 2024-02-29 ROLESVILLE STANDARDS AND SPECIFICATIONS D1.0 PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

TOWN OF ROLESVILLE

PROJECT IDENTIFICATION #

SDP-24-02

4" CLEANOUT PLUG

pa

Comp

Nau Iting Civ

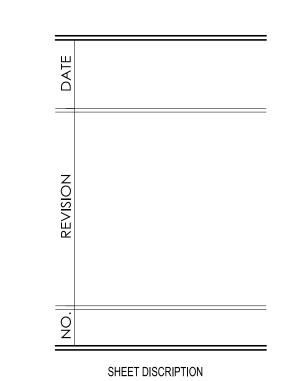
The

AET.









PROJECT #:	2024XXX
DATE ISSUED:	02/29/2024
DRAWING BY:	JGM
CHECKED BY:	DSC

PLANNING

FLOOR

PLANS

PRESTLEIGH AMENITY
DR HORTON
BATHHOUSE & POOL
ROLESVILLE, NC



66' - 0"

A0.2

2 3/4" 7' - 9 1/4"

66' - 0"

A0.2

15' - 0"

6' - 0"

H.O.A. STORAGE

8' - 10 1/2" — 🗀

PUMP ROOM

COVERED PORCH

8' - 0"

24' - 0"

7' - 9 1/4" 2 3/4"

14' - 0"

8' - 0"

15' - 0"

6' - 0"

4' - 6"

24' - 0"

8' - 8"

21' - 9 3/4"

COVERED PAVILLION

8' - 8"

28' - 0"

Copyright D CLUGSTON, INC. 2022 - Unless otherwise indicated, all Materials, Ideas & Design on these pages are copyrighted by D. Clugston Inc. All rights reserved. No part of these pages, either text or image may be used for any other than intended use on the specific project, nor can this project be assigned to any other than intended use on the specific project, nor can this project be assigned to any other than intended use on the specific project, nor can this project be assigned to any other text or image may be used for any other text or image may be use

2 3/4"

7' - 5 1/4"

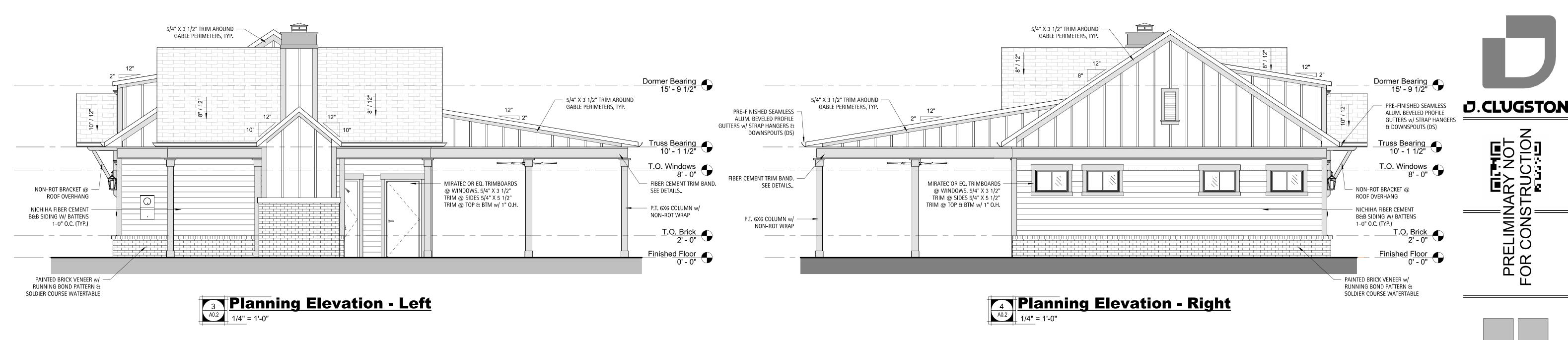
7' - 5 1/4"

A0.2 3

7' - 5 1/4"

7' - 5 1/4"

A0.1



MATERIAL LEGEND

HORIZONTAL SIDING

COLOR: STERLING WHITE BENJAMIN MOORE: 1591

BOARD & BATTEN SIDING

COLOR: STERLING WHITE

BENJAMIN MOORE: 1591

COLOR: STERLING WHITE BENJAMIN MOORE: 1591

COLOR: STERLING WHITE BENJAMIN MOORE: 1591

EXTERIOR TRIM

<u>COLUMNS</u>

BRICK VENEER

A MANAGER

COLOR: CORTEZ BY GENERAL SHALE

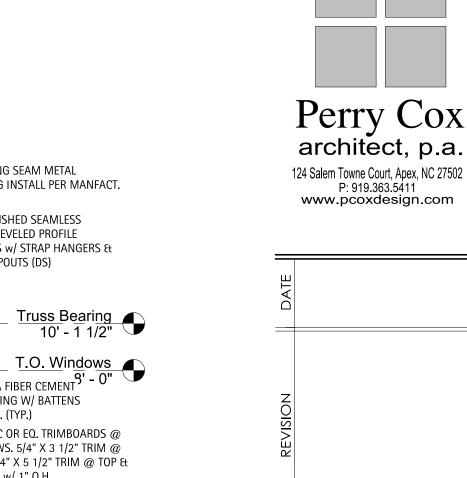
ROOFING SHINGLES

COLOR: CHARCOAL

COLOR: BLACK

MBCI - 200 SERIES

ROOFING STANDING SEAM



SHEET DISCRIPTION **PLANNING ELEVATIONS**

P: 919.363.5411

PROJECT #:	2024XXX
DATE ISSUED:	02/29/2024
DRAWING BY:	JGM
CHECKED BY:	DSC

PRESTLEIGH AMENITY DR HORTON POOL NC ROLESVILLE,

RIDGE VENT RIDGE VENT 5/4" X 5 1/2" TRIM AROUND GABLE PERIMETERS, TYP. STANDING SEAM METAL ROOFING INSTALL PER MANFACT. NICHIHA FIBER CEMENT B&B -PRE-FINISHED SEAMLESS SIDING W/ BATTENS 1-0" O.C. ALUM. BEVELED PROFILE (TYP.) GUTTERS w/ STRAP HANGERS & STANDING SEAM METAL PRE-FINISHED SEAMLESS -DOWNSPOUTS (DS) ROOFING INSTALLED PER ALUM. BEVELED PROFILE MANFACT. SPECS. GUTTERS w/ STRAP HANGERS & DOWNSPOUTS (DS) NICHIHA FIBER CEMENT 9' - 0" FIBER CEMENT TRIM BAND. B&B SIDING W/ BATTENS ELEC. — SEE DETAILS.. METER 1-0" O.C. (TYP.) MIRATEC OR EQ. TRIMBOARDS @ P.T. 6X6 COLUMN w/ WINDOWS. 5/4" X 3 1/2" TRIM @ NON-ROT WRAP SIDES 5/4" X 5 1/2" TRIM @ TOP & BOTTOM w/ 1" O.H. - 5/4" X 5 1/2" CORNER TRIM EQ. Finished Floor 0' - 0" EMERGENCY STATION

Planning Elevation - Rear 1/4" = 1'-0"



Planning Elevation - Front

1/4" = 1'-0"