

PRESTLEIGH AT JONES DAIRY

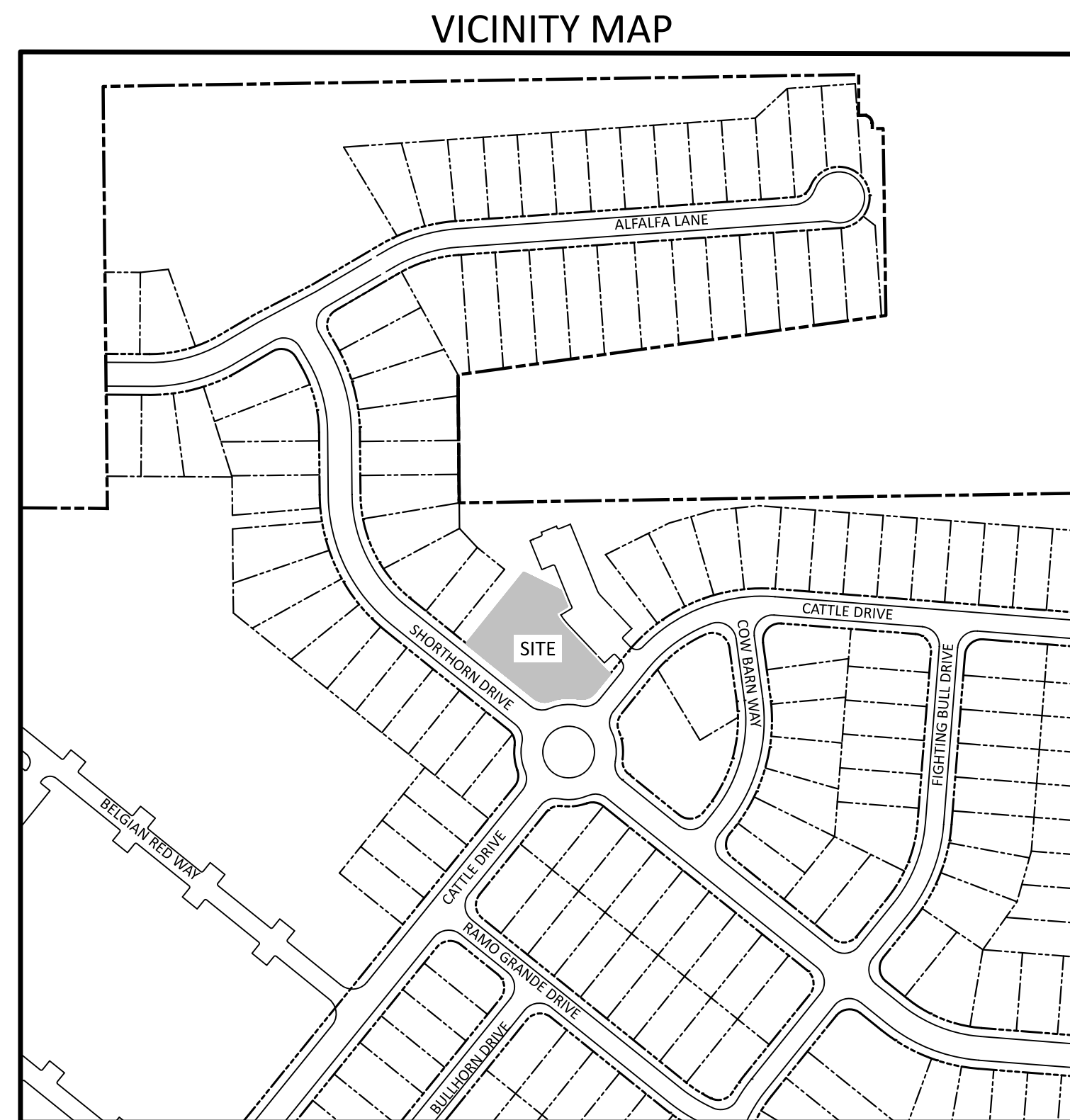
SITE DEVELOPMENT PLAN AMENITY CENTER ACTIVE OPEN SPACE #2 B.M. 2023, PG. 2190

1001 CATTLE DRIVE
ROLESVILLE, NC
PROJECT ID NO: SDP-24-02

FEBRUARY 29, 2024
REVISED: APRIL 29, 2024
REVISED: JUNE 7, 2024
REVISED: JUNE 11, 2024

OWNER/DEVELOPER
PRESERVE AT JONES DAIRY, LLC
10534 ARNOLD PALMER DRIVE
RALEIGH, NC 27617
919-491-0761

SHEET INDEX		
SHEET NO.	SHEET NAME	MOST CURRENT REVISION DATE
C1.0	EXISTING CONDITIONS PLAN	06/07/2024
C2.0	SITE PLAN	06/07/2024
C3.0	UTILITY PLAN	06/11/2024
C4.0	GRADING AND EROSION CONTROL PLAN	06/11/2024
L1.0	LANDSCAPE PLAN	06/07/2024
D1.0	SITE DETAILS	06/07/2024
PLANS BY OTHERS		
SHEET NO.	SHEET NAME	MOST CURRENT REVISION DATE
A0.1	BATHHOUSE FLOORPLAN	2/29/2024
A0.2	BATHHOUSE BUILDING ELEVATIONS	2/29/2024



SCALE: 1" = 200'

PROPOSED SITE DATA - AMENITY CENTER	
LOT AREA	55,288 SF (1.27 AC)
SETBACKS	
FRONT AND REAR:	25'
SIDE:	5'
CORNER:	10'
DISTURBED AREA	27,589 SF (0.63 AC)
BUILDING AREA	788 SF
NUMBER OF STORIES	1 STORY
IMPERVIOUS AREA	9,376 SF
PROPOSED USE	AMENITY CENTER (POOL HOUSE AND POOL)

SITE DATA - SUBDIVISION	
ZONING	R & PUD
EXISTING SITE AREA	88.59 ACRES (3,859,005 SF)
R/W DEDICATION	0.78 ACRES (34,140 SF) JONES DAIRY ROAD
OTHER DEDICATIONS	0.15 ACRES (6,824 SF) AVERETTE ROAD SIDEWALK
PROPOSED NET SITE AREA	87.66 ACRES (3,818,041 SF)
PROPOSED USE	SINGLE FAMILY AND TOWNHOME UNITS
SINGLE FAMILY UNITS	260 UNITS
TOWNHOME UNITS	179 UNITS
TOTALS UNITS	439 UNITS
SINGLE FAMILY AREA (GROSS)	68.52 ACRES (2,984,678 SF)
TOWNHOME AREA (GROSS)	20.07 ACRES (874,327 SF)
DENSITY	
SINGLE FAMILY	260 UNITS/68.52 ACRES = 3.79 UNITS/ACRE
TOWNHOME	179 UNITS/20.07 ACRES = 8.92 UNITS/ACRE
CENTRAL	439 UNITS/88.59 ACRES = 4.96 UNITS/ACRE

PRESERVE AT JONES DAIRY - CENTRAL	
PARCEL PINS:	
	<ul style="list-style-type: none"> 1759992822 1850906787 1769094682

STORMWATER MANAGEMENT NOTE	
	<ul style="list-style-type: none"> STORMWATER MANAGEMENT CALCULATIONS PREVIOUSLY PROVIDED AS PART OF PRESERVE AT JONES DAIRY - CENTRAL SUBDIVISION PLANS. THE PROJECT IS NOT LOCATED IN A WATERSUPPLY WATERSHED PROTECTION OVERLAY DISTRICT. THE PROJECT DOES NOT CONTAIN SPECIAL FLOOD HAZARD AREAS.



SDP-24-02 / Site Development Plan / Prestleigh
Amenity Center
APPROVED
Date: June 12, 2024

Marcus R. Underwood
Town of Rolesville Planning Department

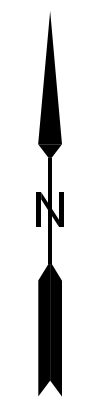
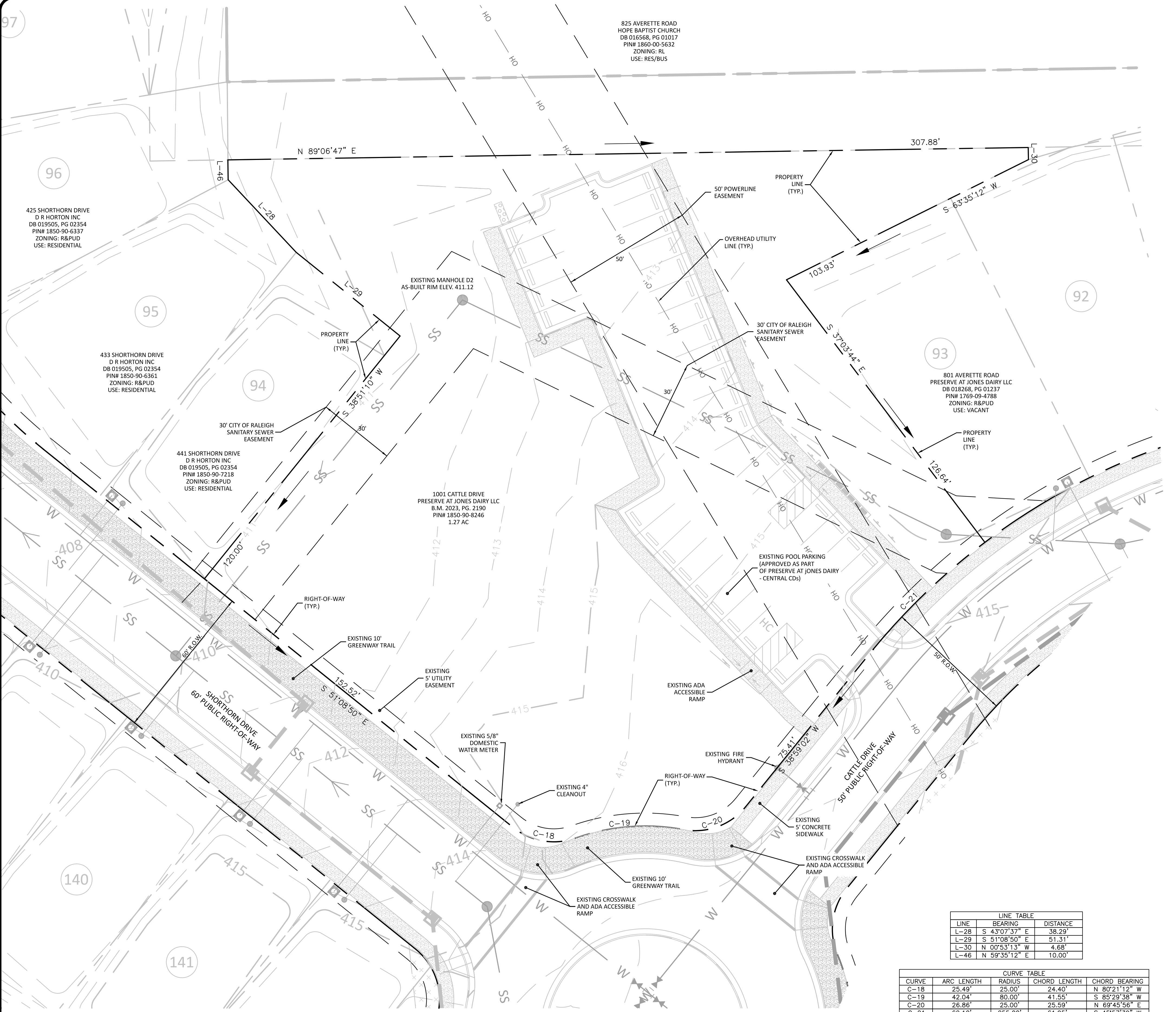


CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION
ELECTRONIC APPROVAL: THIS APPROVAL IS BEING ISSUED ELECTRONICALLY. THIS APPROVAL IS VALID ONLY UPON THE SIGNATURE OF A CITY OF RALEIGH REVIEW OFFICER BELOW. THE CITY WILL RETAIN A COPY OF THE APPROVED PLANS. ANY WORK AUTHORIZED BY THIS APPROVAL MUST PROCEED IN ACCORDANCE WITH THE PLANS KEPT ON FILE WITH THE CITY. THIS ELECTRONIC APPROVAL MAY NOT BE EDITED ONCE ISSUED. ANY MODIFICATION TO THIS APPROVAL ONCE ISSUED WILL INVALIDATE THIS APPROVAL.
CITY OF RALEIGH DEVELOPMENT APPROVAL _____
RALEIGH WATER REVIEW OFFICER

TOWN OF ROLESVILLE
PROJECT IDENTIFICATION #
SDP-24-02

ALL CONSTRUCTION SHALL BE IN
ACCORDANCE WITH TOWN OF
ROLESVILLE STANDARDS AND
SPECIFICATIONS

The Nau Company
Consulting Civil Engineers
PO Box 810 Rolesville, NC 27571
919 435 6395
NCBELS License P 0751
PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



EXISTING CONDITIONS SOURCES	
EXISTING CONDITION	SOURCE
PROPERTY BOUNDARY	CAD FILE FROM CAWTHORNE MOSS AND PANCIERA
EXISTING TOPOGRAPHY	CAD FILE FROM CAWTHORNE MOSS AND PANCIERA
WETLANDS AND STREAM CHANNELS	N/A
FLOODPLAIN	SITE NOT WITHIN A FLOOD PLAIN PER FEMA MAPS 3720185000J AND 3720186000J
EXISTING SANITARY SEWER AT OUTFALL	CAD FILE FROM CAWTHORNE MOSS AND PANCIERA

EXISTING CONDITIONS NOTES

- EXISTING CONDITIONS TAKEN FROM PRESERVE AT JONES DAIRY - CENTRAL CONSTRUCTION DRAWINGS PREPARED BY THE NAU COMPANY.
- TOPOGRAPHY FOR SITE TAKEN FROM ELECTRONIC CAD FILE PROVIDED BY: CAWTHORNE, MOSS & PANCIERA, PC (CMP).
- OFFSITE TOPOGRAPHIC INFORMATION TAKEN FROM WAKE COUNTY GIS.
- THE SURVEYOR DID NOT EXAMINE OR CONSIDER SUBSURFACE OR ENVIRONMENTAL CONDITIONS FOR THIS SURVEY. ALL BUILDINGS, SURFACE AND SUBSURFACE IMPROVEMENTS ON AND ADJACENT TO THE SITE ARE NOT NECESSARILY SHOWN.
- THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN ARE BASED ON VISIBLE EVIDENCE AND DRAWINGS PROVIDED TO THE SURVEYOR. THE LOCATION OF UNDERGROUND UTILITIES AND STRUCTURES MAY VARY FROM THE LOCATIONS SHOWN AND ADDITIONAL BURIED UTILITIES MAY EXIST.
- SURVEY PERFORMED WITHOUT BENEFIT OF TITLE EXAMINATION BY A LICENSED ATTORNEY. THE PROPERTY IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD. NO TITLE EXAMINATION HAS BEEN PERFORMED BY THE SURVEYOR OR THE NAU COMPANY, PLLC.
- TOPOGRAPHIC CONTOURS ARE SHOWN AT 2' INTERVALS FROM APPROVED CONSTRUCTION DRAWINGS. CONTRACTOR SHALL FIELD VERIFY ALL GRADES PRIOR TO ANY CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

EXISTING CONDITIONS LEGEND

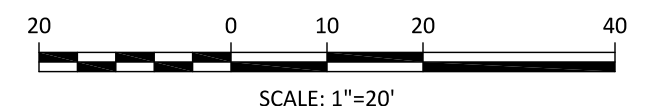
EXISTING PROPERTY BOUNDARY	
EXISTING RIGHT-OF-WAY	
EXISTING PROPERTY LINE	
EXISTING EASEMENT	
EXISTING SETBACK	
EXISTING PROPERTY BUFFER	
EXISTING ROAD CENTERLINE	
EXISTING CURB & GUTTER (ROAD)	
EXISTING CURB & GUTTER (PARKING)	
EXISTING SIDEWALK	
EXISTING MAJOR (5') CONTOUR	
EXISTING MINOR (1') CONTOUR	
EXISTING GIS MAJOR (5') CONTOUR	
EXISTING GIS MINOR (1') CONTOUR	
EX. STORM SEWER PIPE	
EX. STORM SEWER STRUCTURES	
EX. SANITARY SEWER PIPE	
EX. SANITARY SEWER MANHOLE	
EX. SANITARY SEWER CLEANOUT	
EX. WATER PIPE	

LINE TABLE			
LINE	BEARING	RADIUS	DISTANCE
L-28	S 43°07'37" E		38.29'
L-29	S 51°08'50" E		51.31'
L-30	N 00°53'13" W		4.68'
L-46	N 59°35'12" E		10.00'

CURVE TABLE			
CURVE	ARC LENGTH	RADIUS	CHORD BEARING
C-18	25.49'	25.00'	N 80°21'12" W
C-19	42.04'	80.00'	S 85°29'38" W
C-20	26.86'	25.00'	N 69°45'56" E
C-21	62.10'	255.00'	S 45°57'39" W

TOWN OF ROLESVILLE
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PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

The Nau Company
Consulting Civil Engineers
PO Box 810, Rolesville, NC 27571
919-435-6395
NCBELS License P-0751

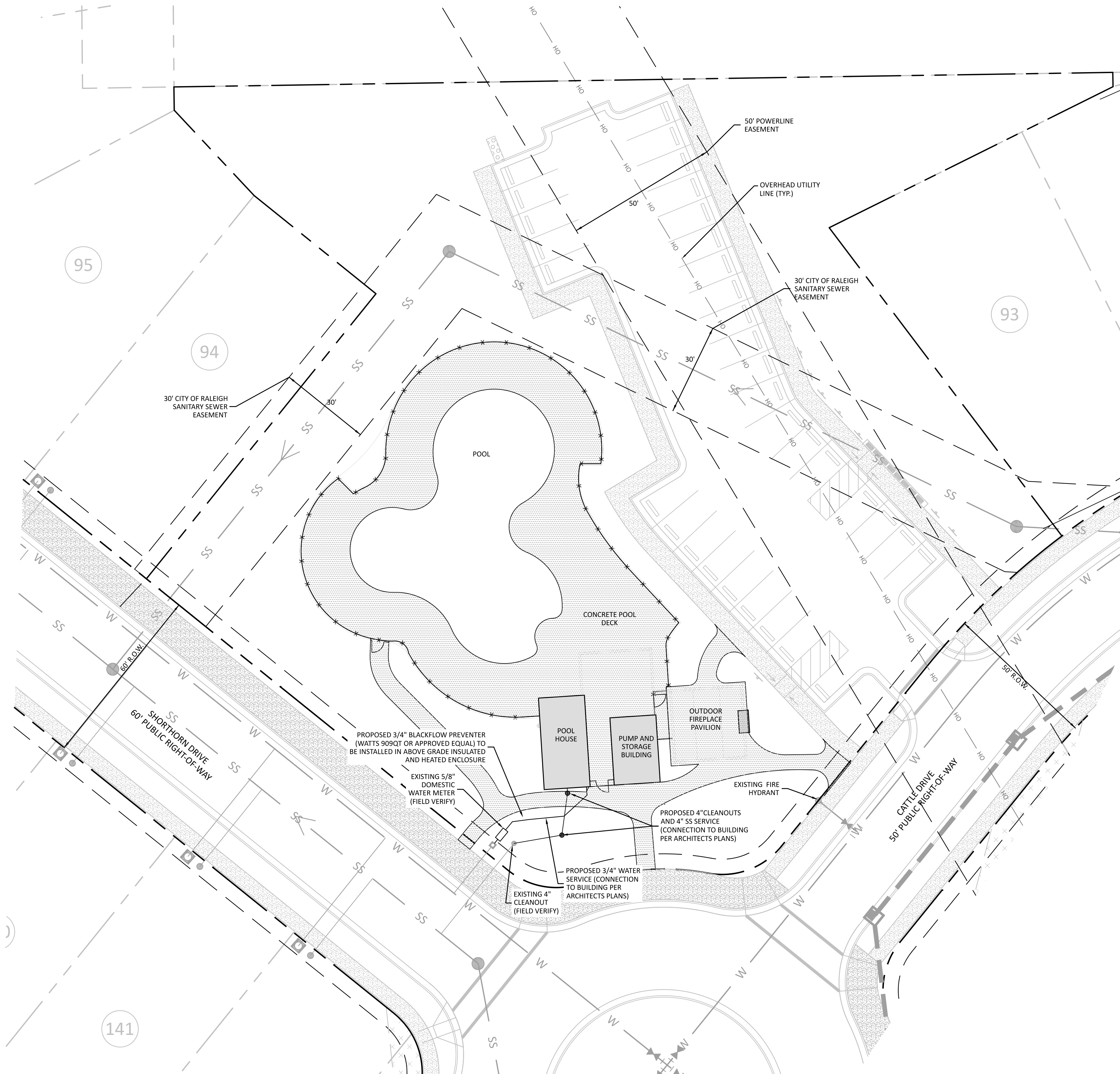
CLIENT:
PRESERVE AT JONES DAIRY, LLC
10534 ARAUOLD PALMER DRIVE
RALEIGH, NC 27617
919-493-0761

NO.	DATE	REVISIONS
1	2024-04-29	TOWN COMMENTS
2	2024-06-07	TOWN COMMENTS

**PRESTLEIGH AT JONES DAIRY
AMENITY CENTER**
ROLESVILLE, NC
EXISTING CONDITIONS PLAN



PROJECT NO: ---
DESIGN BY: JJB
DRAWN BY: RSF
SCALE: 1"=20"
DATE: 2024-02-29
SHEET NO: **C1.0**



GENERAL UTILITY NOTES

1. THE CONTRACTOR SHALL CONFIRM THE SIZE, LOCATION, CONDITION AND ELEVATION OF ALL EXISTING UTILITIES (INCLUDING STORM STRUCTURES) WITHIN THE LIMITS OF CONSTRUCTION (AND/OR TO BE CONNECTED TO) PRIOR TO BEGINNING CONSTRUCTION AND NOTIFY THE OWNER OR ENGINEER OF ANY DISCREPANCIES. BEGINNING CONSTRUCTION PRIOR TO LOCATING UTILITIES WITHIN THE LIMITS OF CONSTRUCTION (AND/OR TO BE CONNECTED TO) AND NOTIFYING THE OWNER OR ENGINEER OF ANY DISCREPANCIES SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATIONS TO THEIR WORK.
2. WATER SERVICES SHALL BE INSTALLED WITH A MINIMUM COVER OF 36 INCHES UNLESS SUPERSEDED BY LOCAL CODE REQUIREMENTS. CONTRACTOR SHALL CONFIRM REQUIREMENTS PRIOR TO ANY CONSTRUCTION.
3. SANITARY SEWER SERVICES SHALL BE INSTALLED WITH A MINIMUM COVER OF 3 FEET UNLESS SUPERSEDED BY LOCAL CODE REQUIREMENTS. CONTRACTOR SHALL CONFIRM REQUIREMENTS PRIOR TO ANY CONSTRUCTION.
4. WATER SERVICES SHALL BE INSTALLED AT LEAST 10 FEET FROM EXISTING OR PROPOSED SANITARY SEWER MAINS AND SERVICES.
5. THE MINIMUM SLOPE FOR 4 INCH SANITARY SEWER LINES SHALL BE NO LESS THAN 2% WITH CLEANOUTS EVERY 75 FEET UNLESS SUPERSEDED BY LOCAL CODE REQUIREMENTS. CONTRACTOR SHALL CONFIRM REQUIREMENTS PRIOR TO ANY CONSTRUCTION.
6. WHERE A SANITARY SEWER PIPE CROSSES A STORM SEWER PIPE, THERE SHALL BE A MINIMUM OF 24 INCHES VERTICAL SEPARATION BETWEEN THE OUTSIDE OF THE PIPES. IF THE REQUIRED VERTICAL SEPARATION IS NOT POSSIBLE, A CONCRETE CRADLE OF FLOWABLE FILL SHALL BE INSTALLED TO THE SPRINGLINE OF BOTH PIPES. THE CONCRETE CRADLE SHALL BE THE FULL WIDTH OF THE PIPE TRENCH AND EXTEND A MINIMUM OF 12 INCHES BEYOND THE OUTSIDE EDGES OF THE LARGER PIPE. THE LOWER PIPE WILL HAVE 1 INCH THICK COMPRESSIBLE JOINT MATERIAL BETWEEN THE CRADLE AND THE PIPE. THE MINIMUM SEPARATION WITH A CRADLE IS 6 INCHES UNLESS SUPERSEDED BY LOCAL CODE REQUIREMENTS. CONTRACTOR SHALL CONFIRM REQUIREMENTS PRIOR TO ANY CONSTRUCTION.
7. WHERE A WATER DISTRIBUTION MAIN CROSSES A SANITARY SEWER PIPE OR A STORM SEWER PIPE, THERE SHALL BE A MINIMUM OF 18 INCHES VERTICAL SEPARATION BETWEEN THE OUTSIDE OF THE PIPES UNLESS SUPERSEDED BY LOCAL CODE REQUIREMENTS. CONTRACTOR SHALL CONFIRM REQUIREMENTS PRIOR TO ANY CONSTRUCTION.
8. IF A WATER DISTRIBUTION SERVICE CROSSES UNDER A SANITARY SEWER PIPE BOTH THE WATER MAIN AND SANITARY SEWER PIPE SHALL BE DUCTILE IRON PIPE FOR 80 FEET EACH SIDE OF THE CROSSING.
9. PRESSURE REDUCING VALVES SHALL BE PROVIDED IF THE PRESSURE ON THE CUSTOMER SIDE OF THE METER IS GREATER THAN 80 PSI.
10. ALL MANHOLES OUTSIDE OF PAVED AREAS SHALL HAVE A RIM ELEVATION OF ONE FOOT ABOVE FINISHED GRADE.
11. ALL WATER SERVICES SHALL BE 3/4 INCH TYPE K COPPER UNLESS SUPERSEDED BY LOCAL CODE REQUIREMENTS. CONTRACTOR SHALL CONFIRM REQUIREMENTS PRIOR TO ANY CONSTRUCTION.
12. ALL SEWER SERVICES SHALL BE 4 INCH SDR 26 PVC UNLESS SUPERSEDED BY LOCAL CODE REQUIREMENTS. CONTRACTOR SHALL CONFIRM REQUIREMENTS PRIOR TO ANY CONSTRUCTION.
13. WATER AND SEWER SERVICE LOCATIONS (INCLUDING BUILDING PENETRATIONS) SHALL BE COORDINATED WITH THE MEP PLANS AND APPROVED BY THE OWNER PRIOR TO INSTALLATION.
14. BACKWATER VALVES SHALL BE PROVIDED AT ALL LOCATIONS WHERE FIRST FLOOR ELEVATIONS ARE LESS THAN 1 FOOT ABOVE THE ADJACENT UPSTREAM MANHOLE.
15. CONTRACTOR SHALL CONFIRM/COORDINATE ALL UTILITY CONNECTIONS TO BUILDING (SIZE, LOCATION, MATERIAL AND ELEVATION) WITH MEP PLANS PRIOR TO ANY CONSTRUCTION.

CITY OF RALEIGH STANDARD UTILITY NOTES :

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
2. UTILITY SEPARATION REQUIREMENTS:
 A) A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 B) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 C) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 D) 5' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 E) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49)
 F) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION
4. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT
5. 3' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS
6. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE
7. INSTALL 1/2" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE
8. INSTALL 4" PVC WATER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM
9. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1'0" ABOVE THE NEXT UPSTREAM MANHOLE
10. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
11. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION

UTILITY PLAN LEGEND

SANITARY SEWER PIPE	SS
SANITARY SEWER MANHOLE	●
SANITARY SEWER CLEANOUT	○
WATER PIPE	W
WATER METER	□
WATER HYDRANT	▲

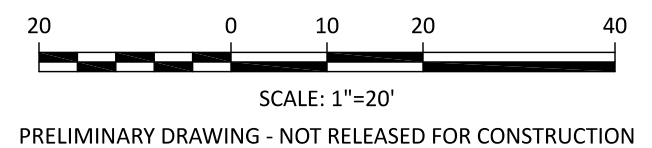
NOTE: SWIMMING POOL DISCHARGE TO THE SANITARY SEWER SYSTEM SHALL BE EQUIPPED WITH A PUMP OR FLOW RESTRICTOR SO THAT THE DISCHARGE RATE DOES NOT EXCEED 50 GPM.

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION
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CITY OF RALEIGH DEVELOPMENT APPROVAL _____ RALEIGH WATER REVIEW OFFICER

TOWN OF ROLESVILLE
 PROJECT IDENTIFICATION # SDP-24-02

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The Nau Company
 Consulting Civil Engineers
 PO Box 810, Rolesville, NC 27571
 919-435-6395
 NCBELS License P-0751

CLIENT:
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 10534 ARNOLD PALMER DRIVE
 RALEIGH, NC 27617
 919-493-0761

NO.	DATE	REVISIONS
1	2024-04-29	TOWN COMMENTS
2	2024-06-07	TOWN COMMENTS
3	2024-06-11	TOWN COMMENTS

PRESTLEIGH AT JONES DAIRY AMENITY CENTER
 ROLESVILLE, NC
 UTILITY PLAN



PROJECT NO: ---
 DESIGN BY: JJB
 DRAWN BY: RSF
 SCALE: 1"=20'
 DATE: 2024-02-29
 SHEET NO: **C3.0**



PROJECT NO:	---
DESIGN BY:	JJB
DRAWN BY:	RSF
SCALE:	1"=20'
DATE:	2024-02-29
SHEET NO:	L1.0

TYPE "B" BUFFER LANDSCAPE PLANT LIST

#	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	TYPE
17		<i>Ilex glabra</i>	Inkberry Holly	24" HT/ 3 GAL	CONT.	EVERGREEN SHRUB
17		<i>Berberis julianae</i>	Wintergreen Barberry	24" HT/ 3 GAL	CONT.	EVERGREEN SHRUB
17		<i>Osmanthus heterophyllus</i>	Holly Osmanthus	24" HT/ 3 GAL	CONT.	EVERGREEN SHRUB
3		<i>Cercis canadensis</i>	Forest Pansy	1.5" CAL/ 8" HT	B&B	UNDERSTORY TREE
4		<i>Magnolia stellata</i>	Star Magnolia	1.5" CAL/ 8" HT	B&B	UNDERSTORY TREE
3		<i>Quercus phellos</i>	Willow Oak	2.5" CAL/ 10" HT	B&B	CANOPY TREE
4		<i>Quercus nuttallii</i>	Nuttall Oak	2.5" CAL/ 10" HT	B&B	CANOPY TREE

GROUND COVER IN BUFFER AREA SHALL BE MULCH/PINE STRAW

LANDSCAPE PLANT LIST - ALL PARKING AREAS ON SITE

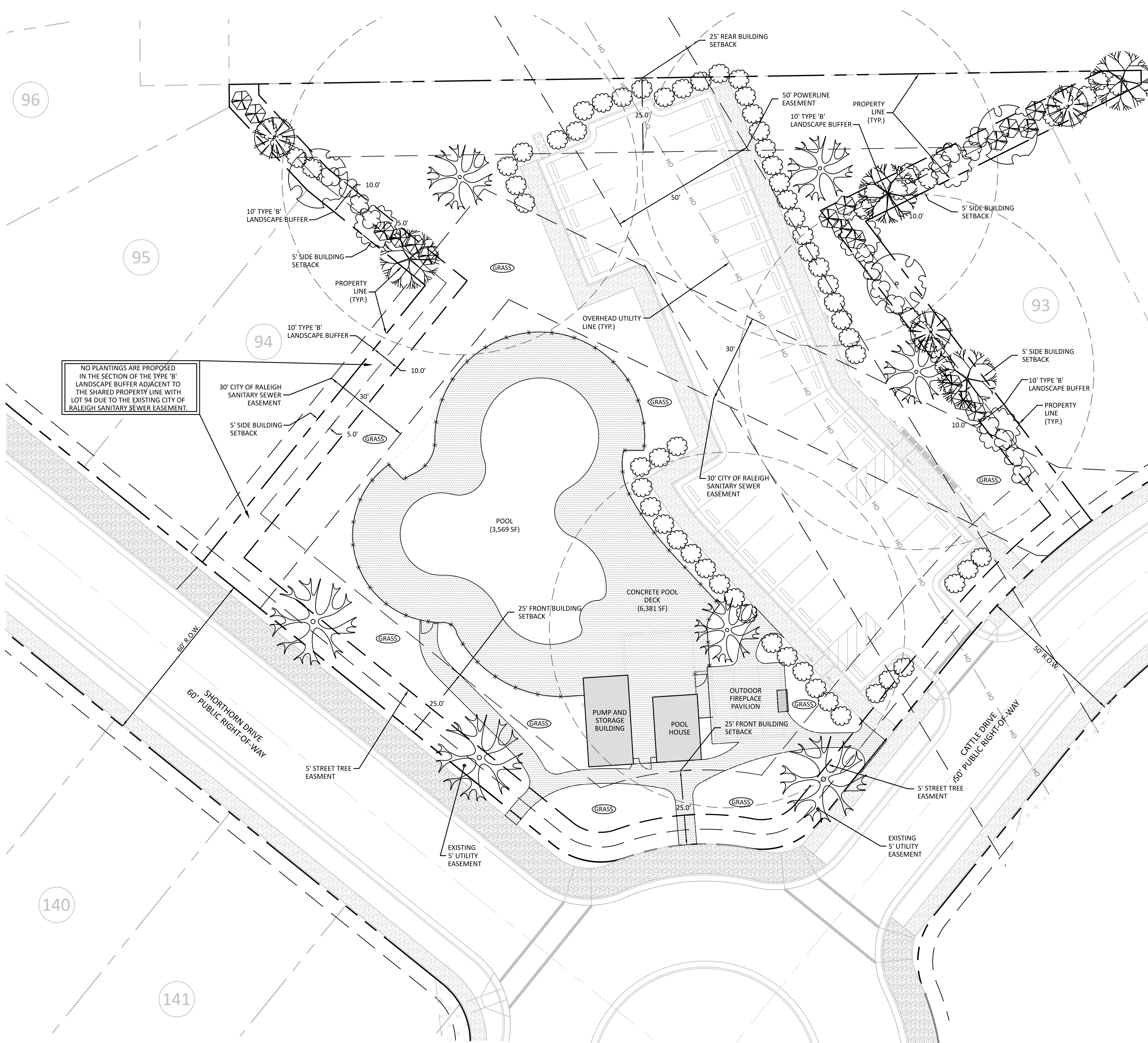
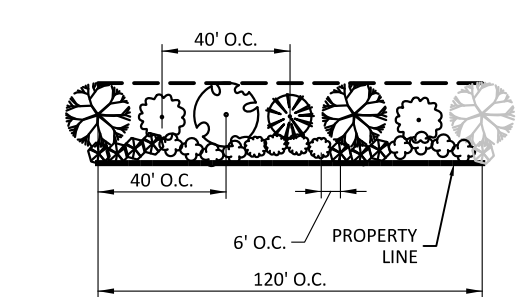
#	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	TYPE
56		<i>Ilex cornuta</i>	Dwarf Burford Holly	24" HT/ 3 GAL	CONT.	PARKING AREA SCREEN
4		<i>Acer buergerianum</i>	Trident Maple	2.5" CAL/ 10" HT	B&B	VUA COVERAGE

THE TABLE ABOVE APPLIES TO SINGLE FAMILY AND TOWNHOME PARKING AREAS

STREET TREE LANDSCAPE PLANT LIST

#	KEY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	TYPE
3	AB		<i>Acer buergerianum</i>	TRIDENT MAPLE	2.5" CAL/ 10" HT	B&B	STREET TREE

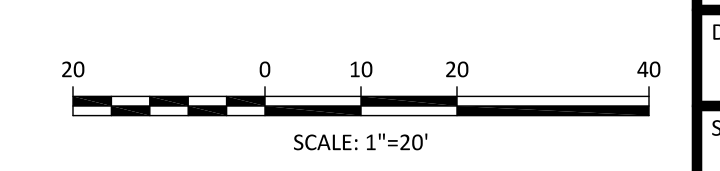
- STREET TREE NOTES**
- ONE STREET TREE PER LOT IS REQUIRED. CORNER LOTS SHALL HAVE TWO STREET TREES
 - STREET TREES ARE NOT SHOWN IN THE POWER LINE EASEMENT IN ORDER TO COMPLY WITH WAKE ELECTRIC'S EASEMENT REQUIREMENTS.
 - FINAL LOCATION OF STREET TREES TO BE DETERMINED BY DRIVEWAY PLACEMENT

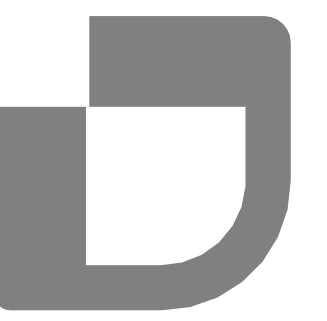


NO PLANTINGS ARE PROPOSED IN THE SECTION OF THE TYPE 'B' LANDSCAPE BUFFER ADJACENT TO THE SHARED PROPERTY LINE WITH LOT 94 DUE TO THE EXISTING CITY OF RALEIGH SANITARY SEWER EASEMENT.

TOWN OF ROLESVILLE
 PROJECT IDENTIFICATION # SDP-24-02

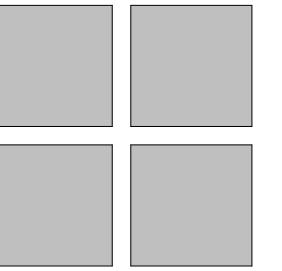
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF ROLESVILLE STANDARDS AND SPECIFICATIONS





D. CLUGSTON

PRELIMINARY NOT FOR CONSTRUCTION



Perry Cox architect, p.a. 124 Salem Towne Court, Apex, NC 27502 P: 919.383.5411 www.pcoxdesign.com

Table with columns: NO., REVISION, DATE

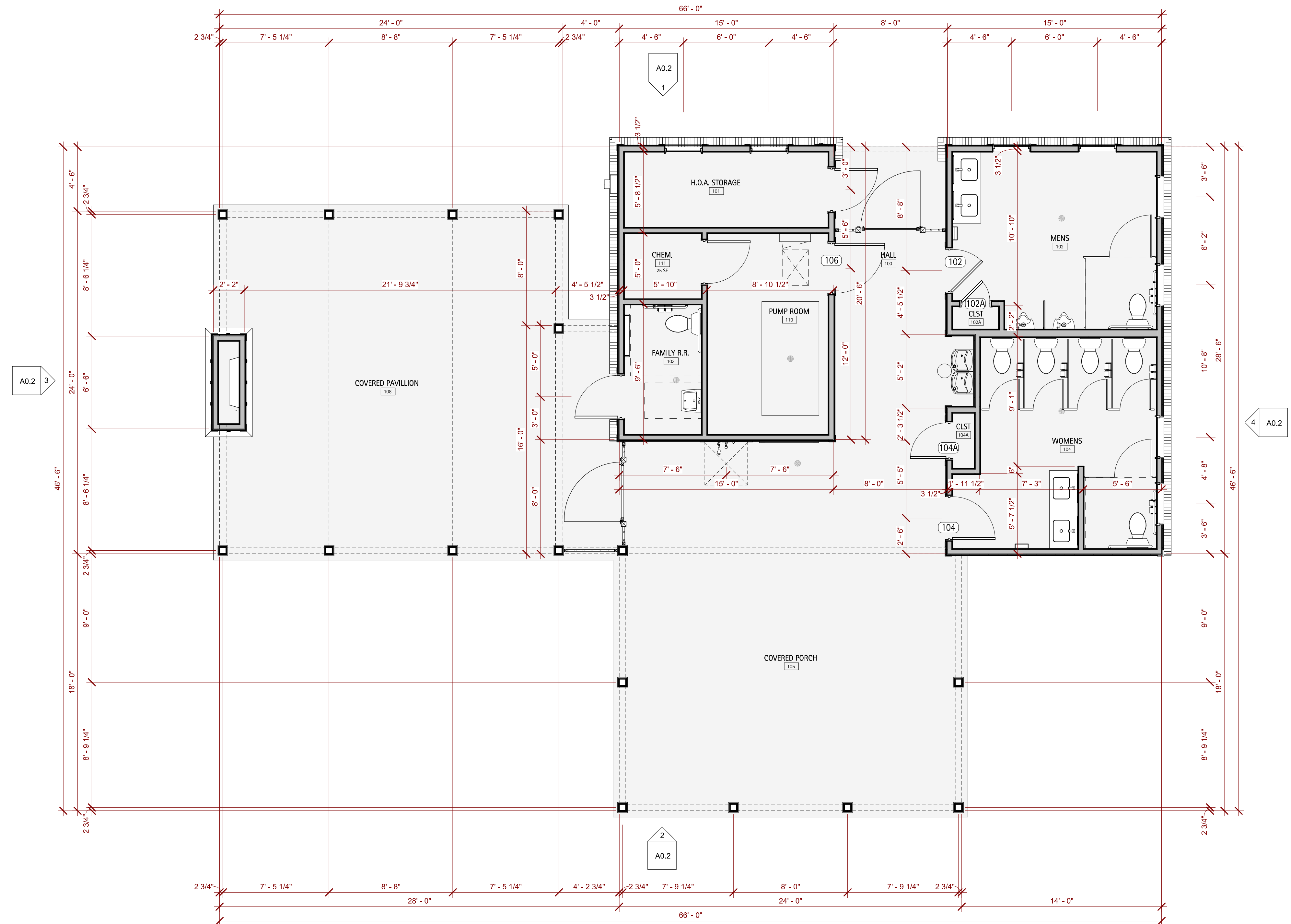
SHEET DISCRPTION

PLANNING FLOOR PLANS

Table with project details: PROJECT #, DATE ISSUED, DRAWING BY, CHECKED BY

PRESTLEIGH AMENITY DR HORTON BATHHOUSE & POOL ROLESVILLE, NC

A0.1



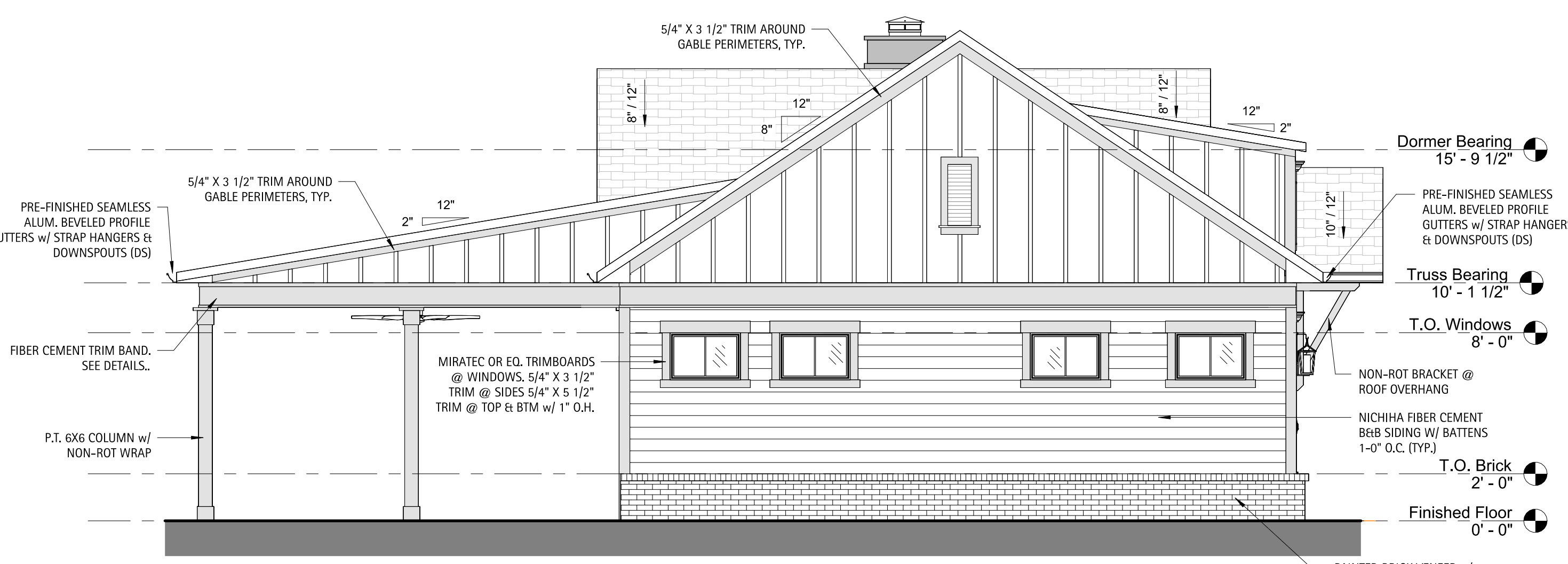
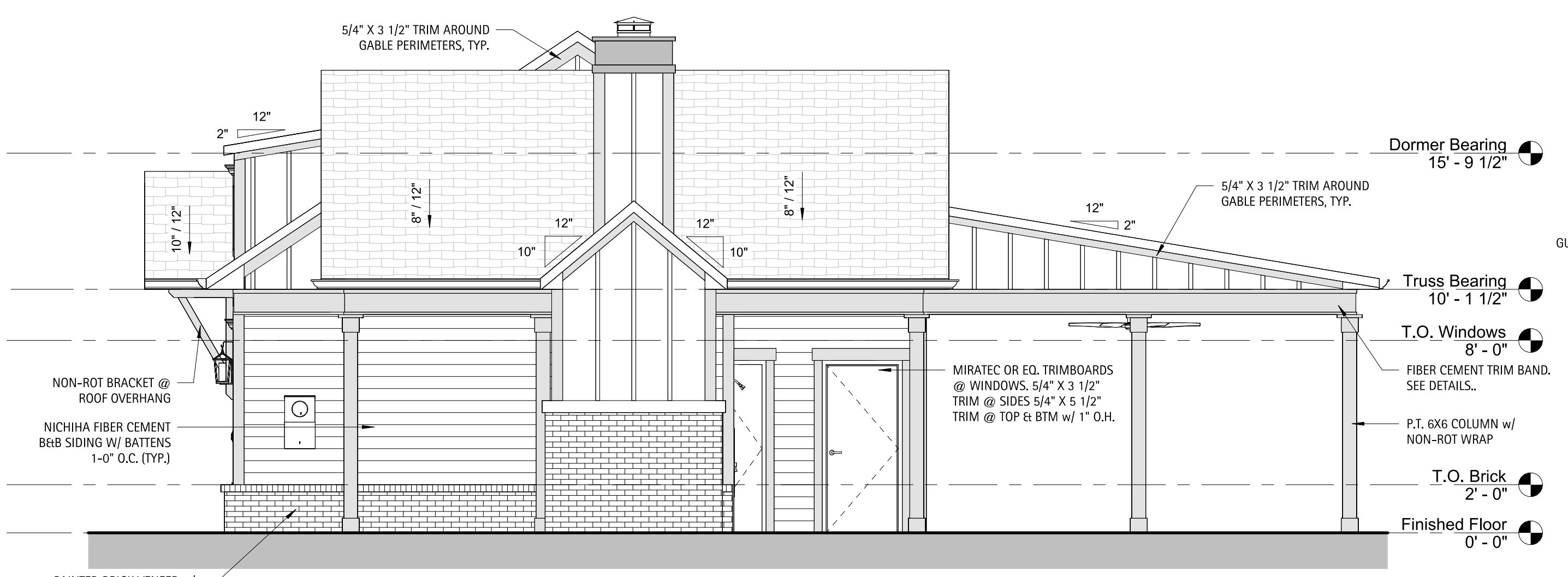
1 Floor Plan 1/4" = 1'-0"

NO.	REVISION	DATE

SHEET DESCRIPTION
PLANNING ELEVATIONS

PROJECT #:	2024XXX
DATE ISSUED:	02/29/2024
DRAWING BY:	JGM
CHECKED BY:	DSC

**PRESTLEIGH AMENITY
 DR HORTON
 BATHHOUSE & POOL
 ROLESVILLE, NC**



MATERIAL LEGEND

- HORIZONTAL SIDING**
 COLOR: STERLING WHITE
 BENJAMIN MOORE: 1591
- BOARD & BATTEN SIDING**
 COLOR: STERLING WHITE
 BENJAMIN MOORE: 1591
- EXTERIOR TRIM**
 COLOR: STERLING WHITE
 BENJAMIN MOORE: 1591
- COLUMNS**
 COLOR: STERLING WHITE
 BENJAMIN MOORE: 1591
- BRICK VENEER**
 COLOR: CORTEZ BY
 GENERAL SHALE
- ROOFING SHINGLES**
 COLOR: CHARCOAL
- ROOFING STANDING SEAM**
 COLOR: BLACK
 MBCI - 200 SERIES

