



The applicant shall demonstrate compliance with the requirements of Rolesville LDO Section 6.8.2

# Wallbrook Entitlements

JPM Chase Retail Banking Center  
 SEC of S Main St. and Virginia Water Dr  
 Rolesville, NC 27587  
 CHASE # 48100R008594  
 Version 20.6

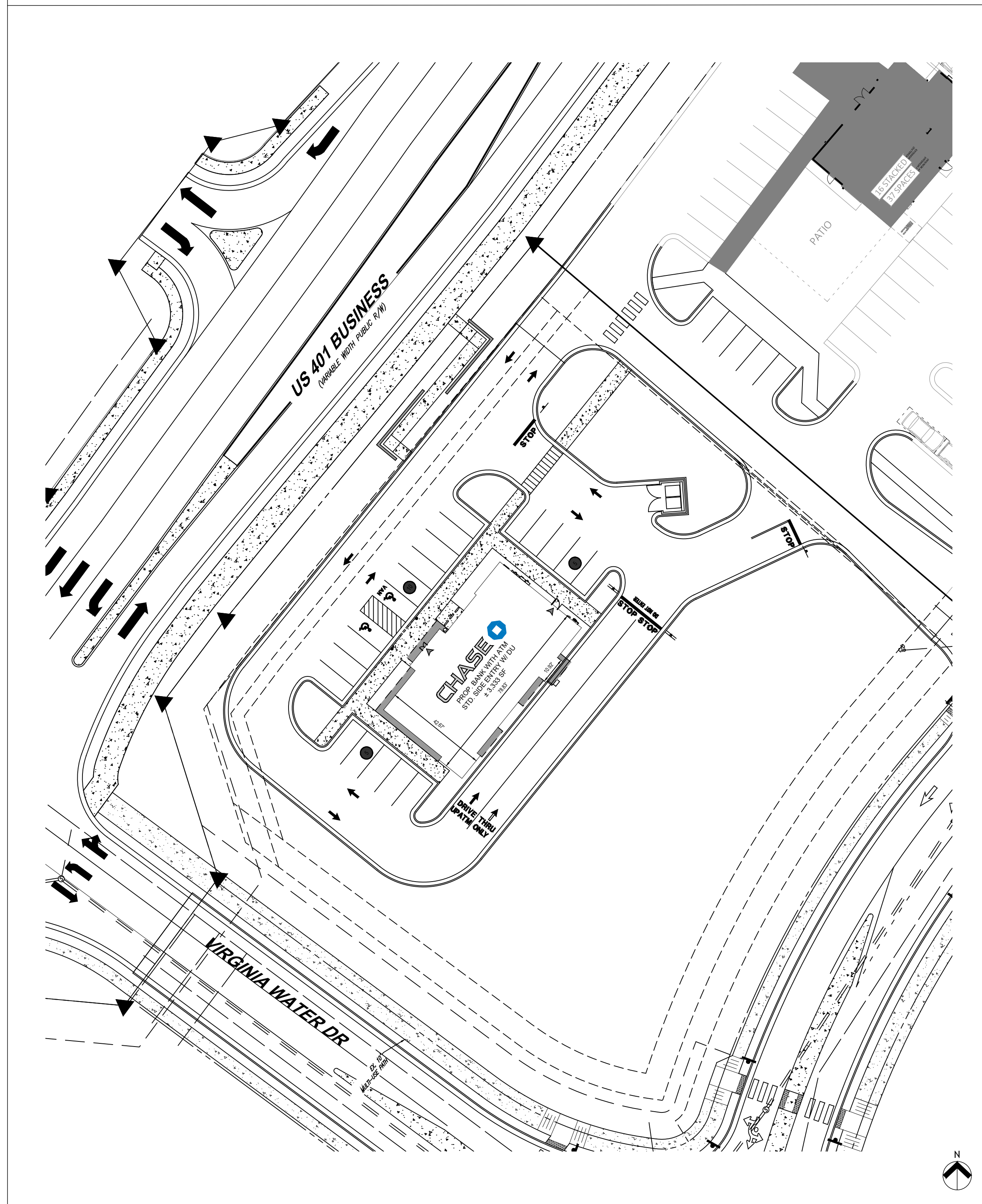


400 N. Ashley Dr.  
 Suite 600  
 Tampa, FL 33602  
 P: 813-323-9233  
 FL LIC#AR-0014752  
 www.bdgllp.com

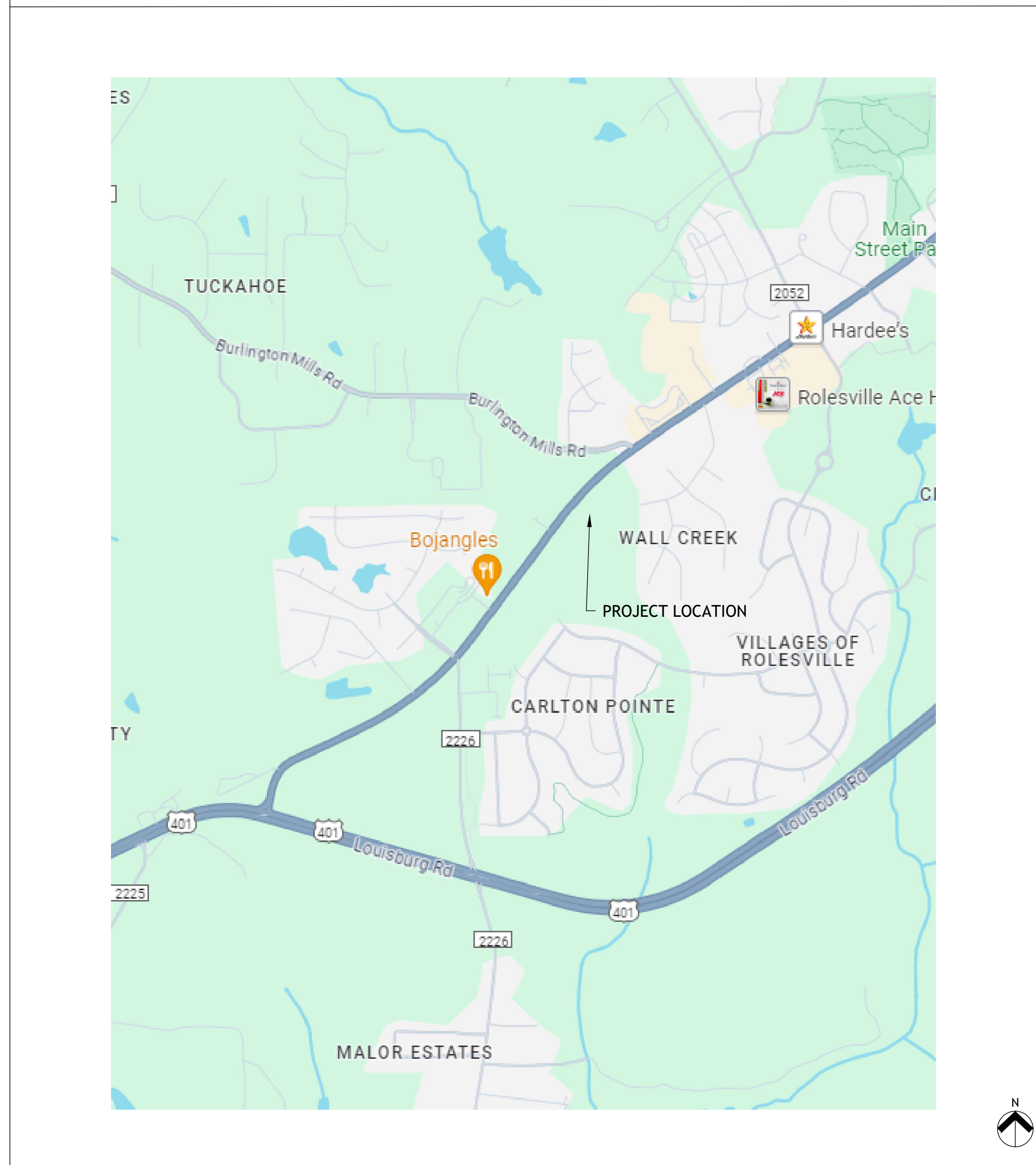


**Wallbrook Entitlements**  
 JPM Chase Retail Banking Center  
 SEC of S Main St. and Virginia Water Dr  
 Rolesville, NC 27587

SITE PLAN - FOR REFERENCE ONLY. REFER TO CIVIL.



LOCATION MAP



### SCOPE OF WORK

PROTOTYPE - 20.6  
 ATM CANOPY: ATTACHED  
 DUMPSTER ENCLOSURE: Y  
 BRG: N  
 SEISMIC ZONE: N  
 PROTOTYPE BUILDING WITH BRICK EXTERIOR FINISHES

BUILDING FLOOR AREA = 3,333 SF

SITE AREA = 71,000 SF

SHEET INDEX

ARCHITECTURAL DRAWINGS		04-23-2024 ENTITLEMENT REVIEW												
A00.0	COVER SHEET	●												
A00.1	FURNITURE FLOOR PLAN	●												
A00.2	BUILDING RENDERINGS	●												
A00.3	BUILDING RENDERINGS	●												
A00.4	DUMPSTER RENDERINGS	●												
A00.5	EXTERIOR ELEVATIONS	●												
A00.6	EXTERIOR ELEVATIONS	●												
ELECTRICAL DRAWINGS														
E1.0	PHOTOMETRIC SITE PLAN	●												

THESE DRAWINGS AND PLANS, ANY REPRODUCTION THEREOF, AND ANY CAD OR ELECTRONIC FILE OF THESE DRAWINGS AND PLANS (HEREINAFTER "PLANS") ARE THE SOLE AND EXCLUSIVE PROPRIETARY PROPERTY OF BDG ARCHITECTS, AND MAY NOT BE REPRODUCED, PUBLISHED, MODIFIED OR USED IN ANY WAY WITHOUT THE EXPRESS WRITTEN PERMISSION OF BDG ARCHITECTS. USE OF THESE PLANS FOR CONSTRUCTION SHALL BE CONSIDERED ACCEPTANCE OF THE TERMS CONTAINED HEREIN AND THE SUITABILITY AND CONSTRUCTION OF THE PLANS. THE PLANS SHALL NOT BE SEaled OR MODIFIED FOR ANY PURPOSE WITHOUT THE EXPRESS WRITTEN APPROVAL OF BDG ARCHITECTS. ANY CHANGES TO THESE PLANS, REGARDLESS OF HOW MINOR, WITHOUT THE EXPRESS WRITTEN APPROVAL OF BDG ARCHITECTS, ANY CONSTRUCTION APPROVAL OF BDG ARCHITECTS OR ANY CHANGE IN THE SCOPE, DESIGN, OR INTENT OF THESE PLANS FOR ANY REASON, BY ANY PERSON OTHER THAN BDG ARCHITECTS, SHALL AUTOMATICALLY VOID ANY CONTRACT AND RESULT IN THE FULL AND COMPLETE RELEASE OF BDG ARCHITECTS FROM ANY LIABILITY, CLAIM, OR DAMAGES INCLUDING ERRORS AND OMISSIONS ARISING OUT OF OR RELATED TO THE PLANS, ANY DISCREPANCIES OR CONFLICTS IN THE PLANS SHALL BE REFERRED IMMEDIATELY TO BDG ARCHITECTS FOR CLARIFICATION PRIOR TO CONTINUING WITH THE WORK. FAILURE TO REFER DISCREPANCIES OR CONFLICTS TO BDG ARCHITECTS PRIOR TO PERFORMING WORK SHALL RESULT IN THE WAIVER OF ANY CLAIMS OR DAMAGES ASSOCIATED WITH THE DISCREPANCIES OR CONFLICTS. THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION, SCHEDULING AND PERFORMANCE OF ITS WORK AND ALL WORK PERFORMED BY SUBCONTRACTORS OR OTHER TRADES WITH THE DESIGN DOCUMENTS.

Firm Name:  
 BDG Architects, LLP  
 400 North Ashley Drive, Suite 600  
 Tampa, Florida 33602

Partners:  
 Christopher Kirschner - 60%  
 FL License No. AR0014752  
 North Carolina License No. 10173

Interco Management - 40%  
 No Architectural License

SEAL

Architect of Record:  
 Christopher Gary Kirschner, AIA, LEED AP  
 NC License No. 10173

ISSUE/BY	DATE	DESCRIPTION

PROJECT INFORMATION BLOCK	
JOB #:	234053
DATE:	04-23-2024
DRAWN BY:	KF
CHECKED BY:	TN

SHEET TITLE  
**ENTITLEMENT PACKAGE COVER SHEET**

SHEET NUMBER

**A00.0**

THESE DRAWINGS AND PLANS, ANY REPRODUCTION THEREOF, AND ANY CAD OR ELECTRONIC FILE OF THESE DRAWINGS AND PLANS (HEREINAFTER "PLANS") ARE THE SOLE AND EXCLUSIVE PROPRIETARY PROPERTY OF BDG ARCHITECTS, AND MAY NOT BE REPRODUCED, PUBLISHED, MODIFIED OR USED IN ANY WAY WITHOUT THE EXPRESS WRITTEN PERMISSION OF BDG ARCHITECTS. USE OF THESE PLANS FOR CONSTRUCTION SHALL BE CONSIDERED ACCEPTANCE OF THE TERMS CONTAINED HEREIN AND THE SUITABILITY AND CONSTRUCTION OF THE PLANS. THE PLANS SHALL NOT BE SCALED OR MODIFIED FOR ANY PURPOSE WITHOUT THE EXPRESS WRITTEN APPROVAL OF BDG ARCHITECTS. ANY CHANGES TO THESE PLANS SHALL BE MADE BY THE ARCHITECTS WITHOUT THE EXPRESS WRITTEN APPROVAL OF BDG ARCHITECTS. ANY CONSTRUCTION APPROVAL OF BDG ARCHITECTS OR ANY CHANGE IN THE SCOPE, DESIGN, OR INTENT OF THESE PLANS FOR ANY REASON, BY ANY PERSON OTHER THAN BDG ARCHITECTS, SHALL BE AT THE SOLE RISK OF THE ARCHITECTS. BDG ARCHITECTS SHALL NOT BE RESPONSIBLE FOR ANY PROJECT AND RESULTING IN THE FULL AND COMPLETE RELEASE OF THE ARCHITECTS FROM ANY LIABILITY, CLAIM, OR DAMAGES INCLUDING ERRORS AND OMISSIONS ARISING OUT OF OR RELATED TO THE PLANS, ANY DISCREPANCIES OR CONFLICTS IN THE PLANS, SHALL BE REFERRED IMMEDIATELY TO BDG ARCHITECTS FOR CLARIFICATION PRIOR TO CONTINUING WITH THE WORK. FAILURE TO OBTAIN CLARIFICATION PRIOR TO CONTINUING WITH THE WORK SHALL BE AT THE SOLE RISK OF THE ARCHITECTS. BDG ARCHITECTS SHALL NOT BE RESPONSIBLE FOR ANY PROJECT AND RESULTING IN THE FULL AND COMPLETE RELEASE OF THE ARCHITECTS FROM ANY LIABILITY, CLAIM, OR DAMAGES INCLUDING ERRORS AND OMISSIONS ARISING OUT OF OR RELATED TO THE PLANS, ANY DISCREPANCIES OR CONFLICTS IN THE PLANS, SHALL BE REFERRED IMMEDIATELY TO BDG ARCHITECTS FOR CLARIFICATION PRIOR TO CONTINUING WITH THE WORK. FAILURE TO OBTAIN CLARIFICATION PRIOR TO CONTINUING WITH THE WORK SHALL BE AT THE SOLE RISK OF THE ARCHITECTS.

Firm Name:  
BDG Architects, LLP  
400 North Ashley Drive, Suite 600  
Tampa, Florida 33602  
Partners:  
Christopher Kirschner - 60%  
FL License No. AR0014752  
North Carolina License No. 10173  
Interco Management - 40%  
No Architectural License

SEAL

Architect of Record:  
Christopher Gary Kirschner, AIA, LEED AP  
NC License No. 10173

ISSUE/BY	DATE	DESCRIPTION

PROJECT INFORMATION BLOCK	
JOB #:	234053
DATE:	04-23-2024
DRAWN BY:	KF
CHECKED BY:	TN

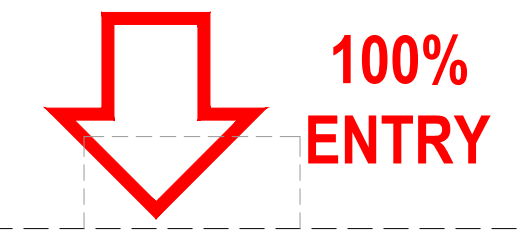
SHEET TITLE

FURNITURE FLOOR PLAN

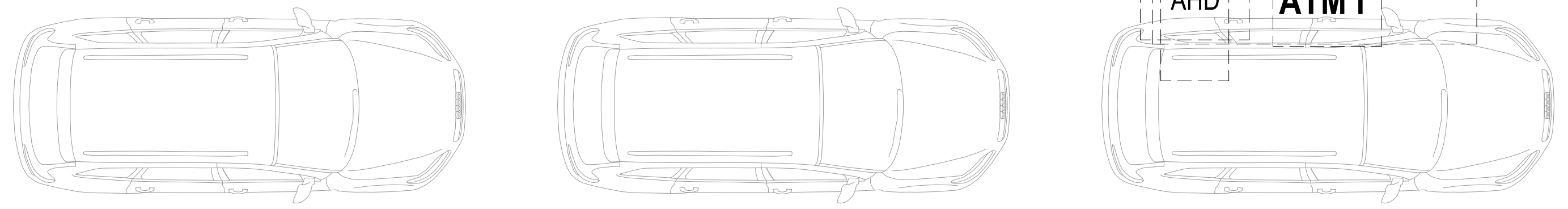
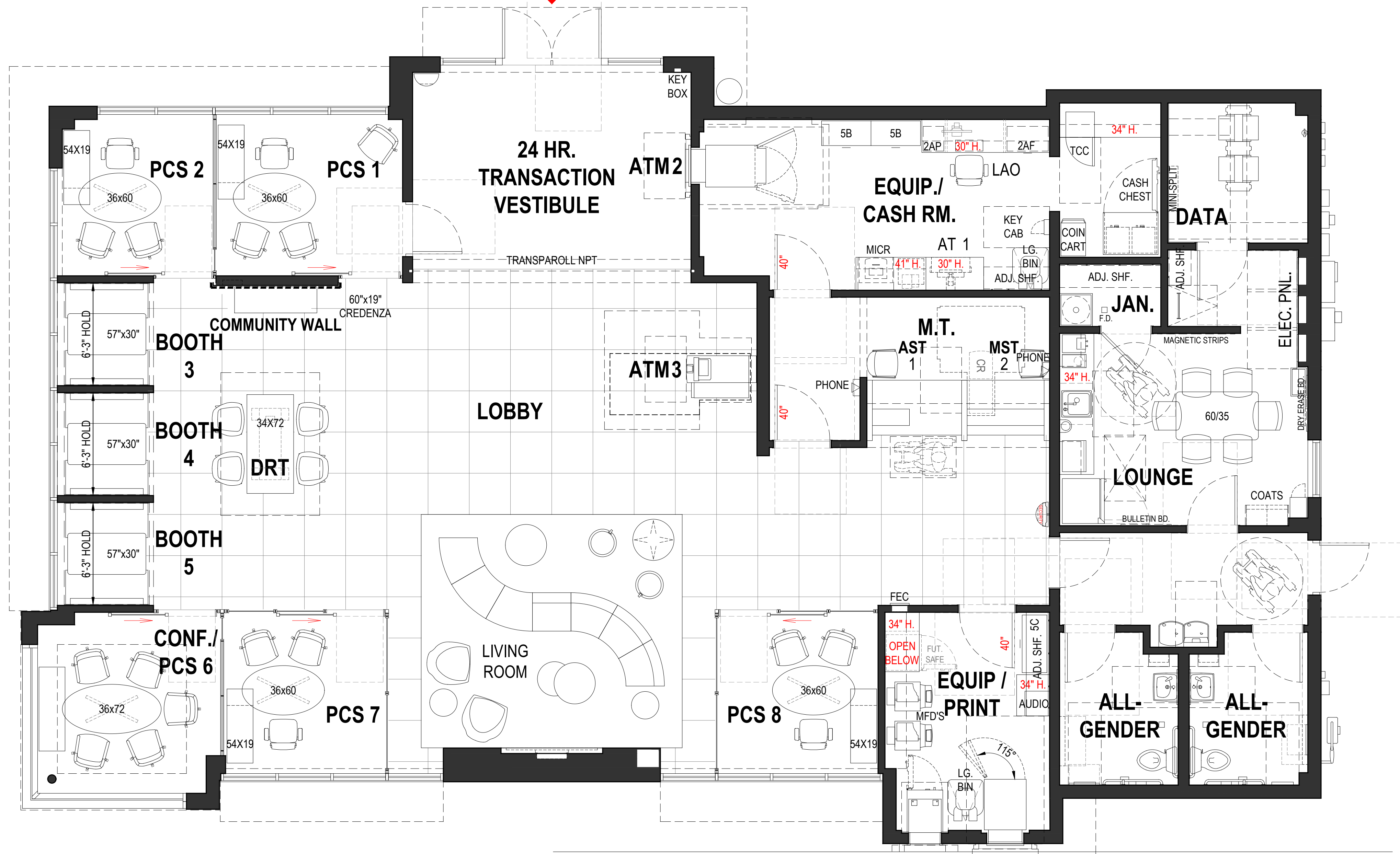
SHEET NUMBER

**A00.1**

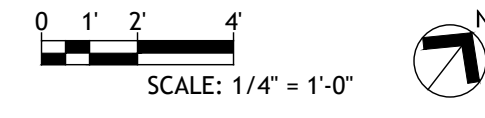
US 401 BUSINESS  
PRIMARY PARKING



VIRGINIA WATER DR.



WALLBROOK DRIVE



FURNITURE FLOOR PLAN SCALE 1/4" = 1'-0"

1

THESE DRAWINGS AND PLANS, ANY REPRODUCTION THEREOF, AND ANY CAD OR ELECTRONIC FILE OF THESE DRAWINGS AND PLANS (HEREINAFTER "PLANS") ARE THE SOLE AND EXCLUSIVE PROPRIETARY PROPERTY OF BDG ARCHITECTS, AND MAY NOT BE REPRODUCED, PUBLISHED, MODIFIED OR USED IN ANY WAY WITHOUT THE EXPRESS WRITTEN PERMISSION OF BDG ARCHITECTS. USE OF THESE PLANS FOR CONSTRUCTION SHALL BE CONSIDERED ACCEPTANCE OF THE TERMS CONTAINED HEREIN AND THE SUITABILITY AND CONSTRUCTIBILITY OF THE PLANS. THE PLANS SHALL NOT BE SCALED OR MODIFIED FOR ANY PURPOSE WITHOUT THE EXPRESS WRITTEN APPROVAL OF BDG ARCHITECTS. ANY CHANGES TO THESE PLANS, REGARDLESS OF HOW MINOR, WITHOUT THE EXPRESS WRITTEN APPROVAL OF BDG ARCHITECTS, ANY CONSTRUCTION APPROVAL OF BDG ARCHITECTS OR ANY CHANGE IN THE SCOPE, DESIGN, OR INTENT OF THESE PLANS FOR ANY REASON, BY ANY PERSON OTHER THAN BDG ARCHITECTS, SHALL AUTOMATICALLY VOID ANY CONTRACT AND RESULT IN THE FULL AND COMPLETE RELEASE OF BDG ARCHITECTS FROM ANY LIABILITY, CLAIM, OR DAMAGES INCLUDING ERRORS AND OMISSIONS ARISING OUT OF OR RELATED TO THE PLANS, ANY DISCREPANCIES OR CONFLICTS IN THE PLANS SHALL BE REFERRED IMMEDIATELY TO BDG ARCHITECTS FOR CLARIFICATION PRIOR TO CONTINUING WITH THE WORK. FAILURE TO REFER DISCREPANCIES OR CONFLICTS TO BDG ARCHITECTS PRIOR TO PERFORMING WORK SHALL RESULT IN THE WORK BEING CONSIDERED AS CONSTRUCTION WITH THE DISCREPANCIES OR CONFLICTS. THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION, SCHEDULING AND COMPLETION OF ITS WORK AND ALL WORK PERFORMED BY SUBCONTRACTORS OR OTHER TRADES WITH THE DESIGN DOCUMENTS.

Firm Name:  
BDG Architects, LLP  
400 North Ashley Drive, Suite 600  
Tampa, Florida 33602  
Partners:  
Christopher Kirschner - 60%  
FL License No. AR0014752  
North Carolina License No. 10173  
Interco Management - 40%  
No Architectural License

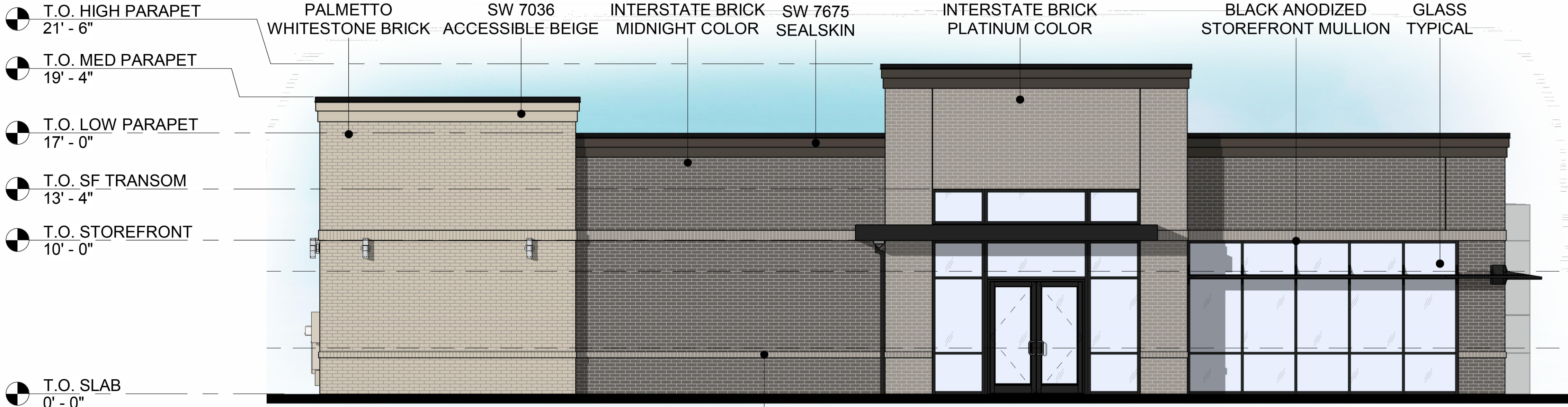
Architect of Record:  
Christopher Gary Kirschner, AIA, LEED AP  
NC License No. 10173

ISSUE/BY	DATE	DESCRIPTION

PROJECT INFORMATION BLOCK	
JOB #:	234053
DATE:	04-23-2024
DRAWN BY:	KF
CHECKED BY:	TN

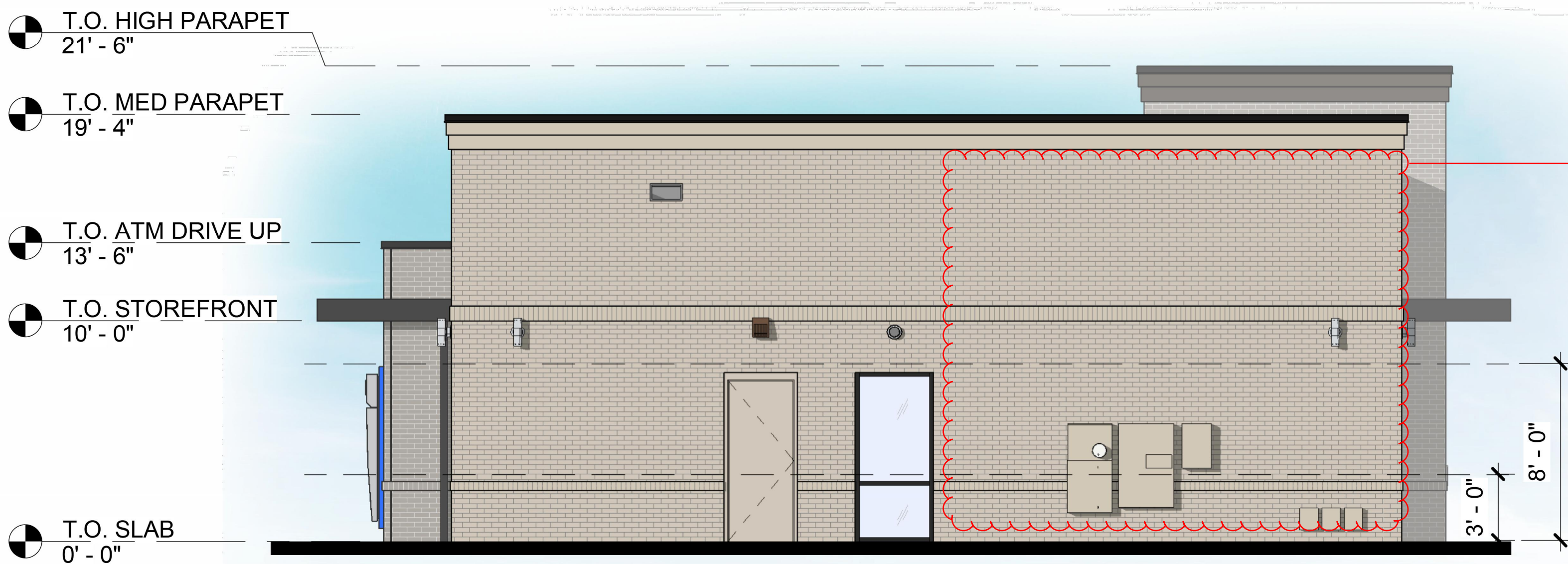
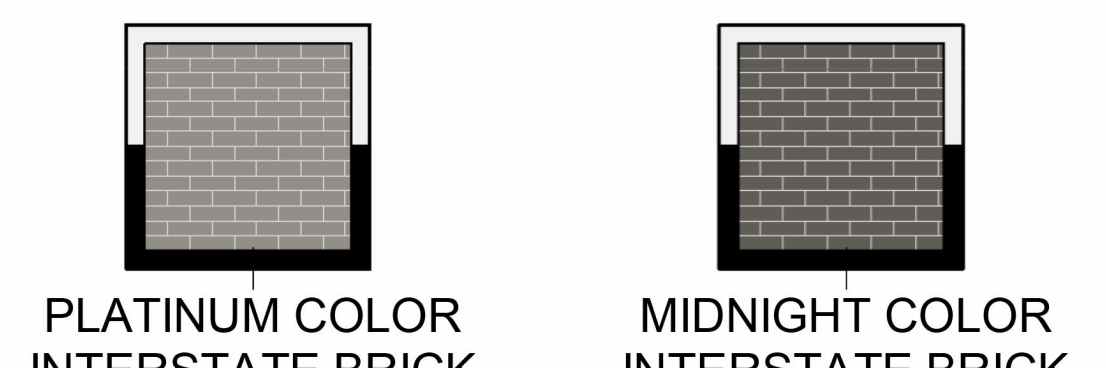
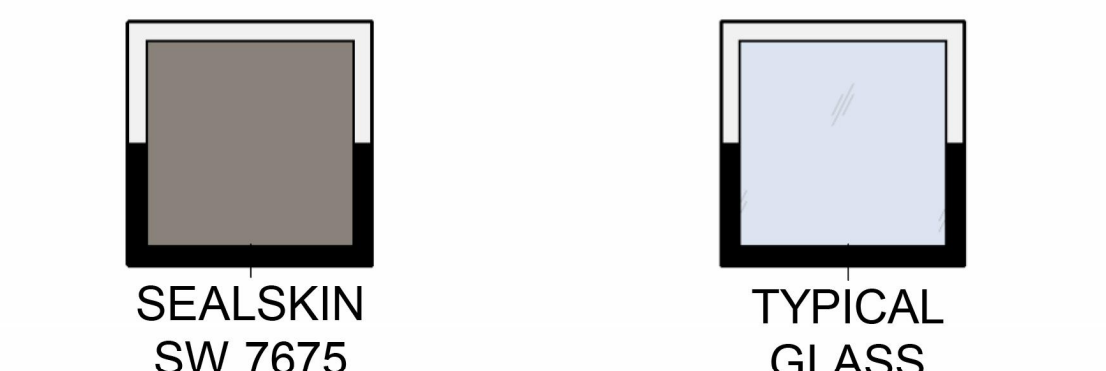
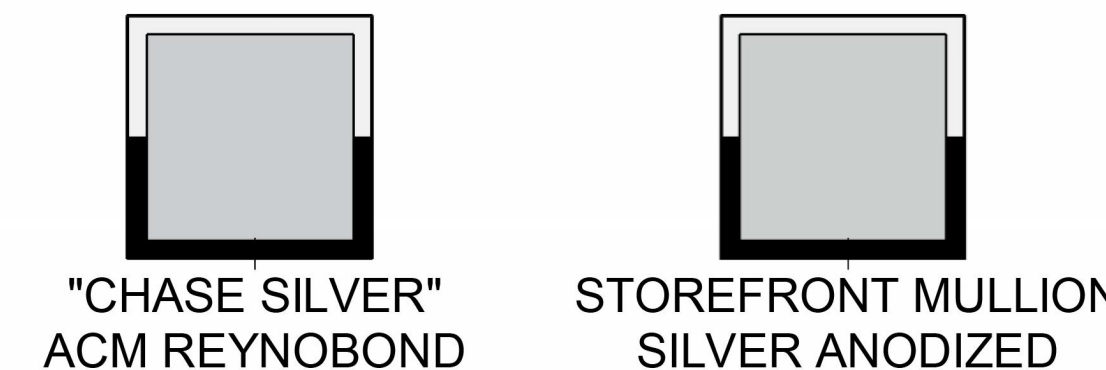
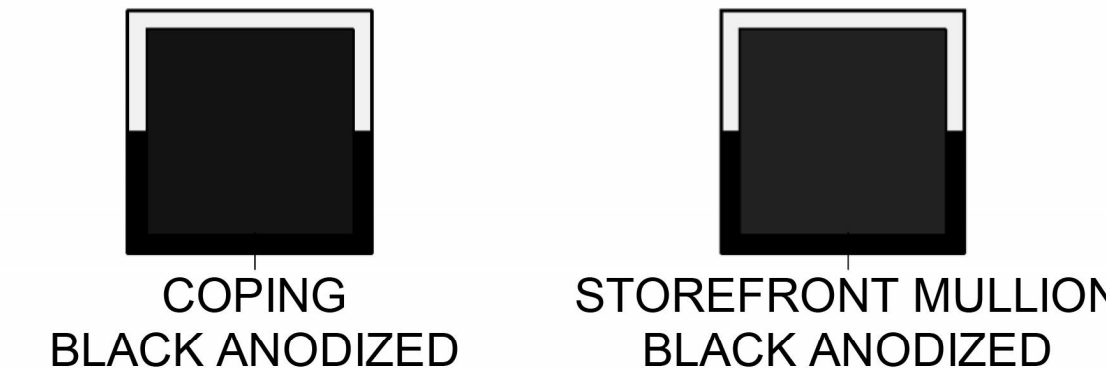
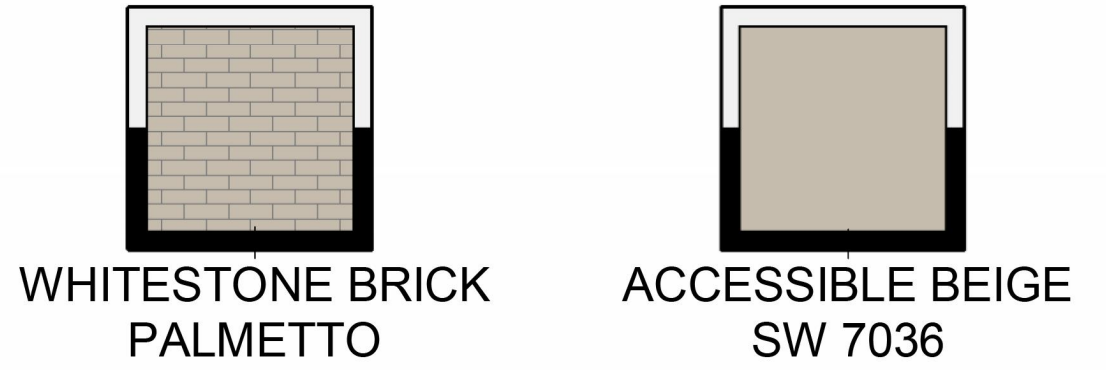
SHEET TITLE
BUILDING RENDERINGS
SHEET NUMBER

**A00.2**



**NORTH ELEVATION**  
TOTAL SF OF GLAZING: 344 SF (37%)  
TOTAL SF OF GLAZING 3'-0" - 8'-0": 155 SF

INTERSTATE BRICK  
PLATINUM COLOR



**EAST ELEVATION**  
TOTAL SF OF GLAZING: 25 SF

7. Per LDO Section 6.8.2.D.2, ground floor transparency shall be calculated based on the total facade area located between the finished ground floor level and beginning of the upper floor. All ground floor transparency shall be a minimum thirty (30) percent. As proposed, the East Elevation does not appear to comply with this requirement.

Also note that blank wall area is prohibited per LDO section 6.8.2.C.1 and that b. The maximum continuous blank wall area for any building shall be a maximum fifty (50) square feet without a break by windows, doors, architectural features greater than one (1) foot in depth, or a substantial material change. As proposed, the East Elevation appears to conflict with this requirement.

**WALLBROOK**

SEC of S Main St. and Virginia Water Dr.  
Rolesville, NC 27587



234053(48100R008594)  
04-18-2024

THE COLORS SHOWN IN THIS RENDERING ARE CLOSE APPROXIMATIONS. DUE TO INK VARIATIONS AND DIFFERENCES IN PRINTERS, AN EXACT MATCH CANNOT BE ACHIEVED. THE VIEWER IS ADVISED TO USE THE RENDERING AS A GUIDELINE FOR THE ARRANGEMENT OF COLORS ON THE BUILDING, AND TO THEN REFER TO THE ACTUAL COLOR OR MATERIAL SAMPLES PROVIDED.





**Wallbrook**  
Entitlements  
JPM Chase Retail Banking Center  
SEC of S Main St. and Virginia  
Water Dr  
Rolesville, NC 27587

THESE DRAWINGS AND PLANS, ANY REPRODUCTION THEREOF, AND ANY CAD OR ELECTRONIC FILE OF THESE DRAWINGS AND PLANS (HEREINAFTER "PLANS") ARE THE SOLE AND EXCLUSIVE PROPRIETARY PROPERTY OF BDG ARCHITECTS, AND MAY NOT BE REPRODUCED, PUBLISHED, MODIFIED OR USED IN ANY WAY WITHOUT THE EXPRESS WRITTEN PERMISSION OF BDG ARCHITECTS. USE OF THESE PLANS FOR CONSTRUCTION SHALL BE CONSIDERED ACCEPTANCE OF THE TERMS CONTAINED HEREIN AND THE SUITABILITY AND CONSTRUCTIBILITY OF THE PLANS. THE PLANS SHALL NOT BE SCALED OR MODIFIED FOR ANY PURPOSE WITHOUT THE EXPRESS WRITTEN APPROVAL OF BDG ARCHITECTS. ANY CONSTRUCTION SHALL BE CONSIDERED TO BE IN ACCORDANCE WITH THE EXPRESS WRITTEN APPROVAL OF BDG ARCHITECTS OR ANY CHANGE IN THE SCOPE, DESIGN, OR INTENT OF THESE PLANS FOR ANY REASON. BY ANY PERSON OTHER THAN BDG ARCHITECTS SHALL AUTOMATICALLY VOID ANY CONTRACT AND RESULT IN THE FULL AND COMPLETE RELEASE OF BDG ARCHITECTS FROM ANY LIABILITY, CLAIMS, OR DAMAGES INCLUDING ERRORS AND OMISSIONS ARISING OUT OF OR RELATED TO THE PLANS. ANY DISCREPANCIES OR CONFLICTS IN THE PLANS SHALL BE REFERRED IMMEDIATELY TO BDG ARCHITECTS FOR CLARIFICATION PRIOR TO CONTINUING WITH THE WORK. FAILURE TO REFER DISCREPANCIES OR CONFLICTS TO BDG ARCHITECTS PRIOR TO PERFORMING WORK SHALL RESULT IN THE WAIVER OF ANY CLAIMS OR DAMAGES ASSOCIATED WITH THE DISCREPANCIES OR CONFLICTS. THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION, SCHEDULING AND COMPLETION OF ITS WORK AND ALL WORK PERFORMED BY SUBCONTRACTORS OR OTHER TRADES WITH THE DESIGN DOCUMENTS.

**Firm Name:**  
BDG Architects, LLP  
400 North Ashley Drive, Suite 600  
Tampa, Florida 33602

**Partners:**  
Christopher Kirschner - 60%  
FL License No. AR0014752  
North Carolina License No. 10173

**Interco Management - 40%**  
No Architectural License

SEAL

**Architect of Record:**  
Christopher Gary Kirschner, AIA, LEED AP  
NC License No. 10173

ISSUE/BY	DATE	DESCRIPTION

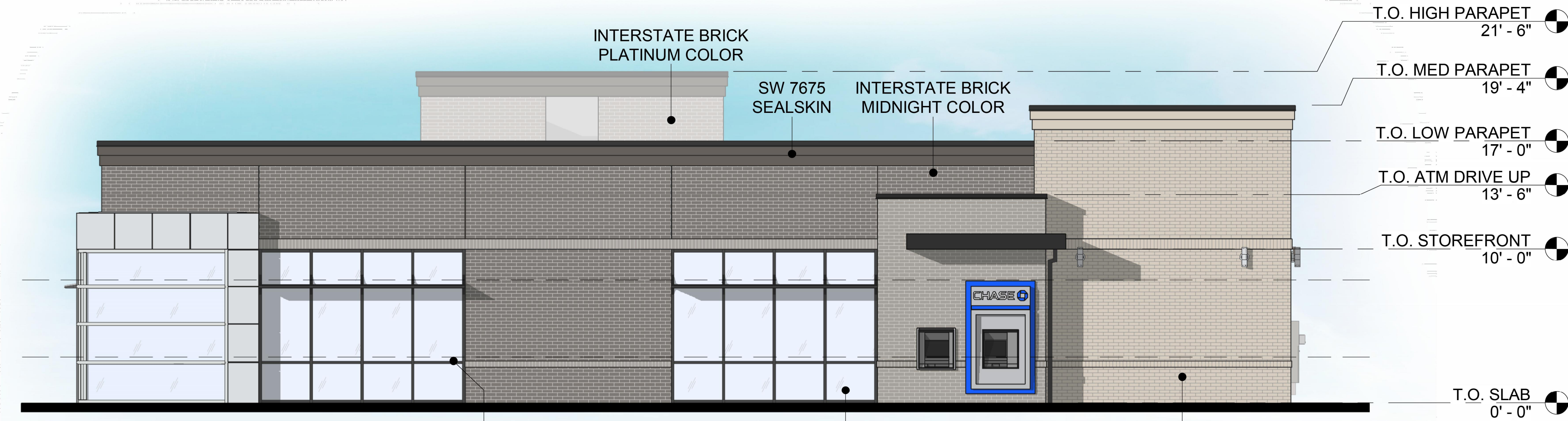
PROJECT INFORMATION BLOCK	
JOB #:	234053
DATE:	04-23-2024
DRAWN BY:	KF
CHECKED BY:	TN

SHEET TITLE

BUILDING RENDERINGS

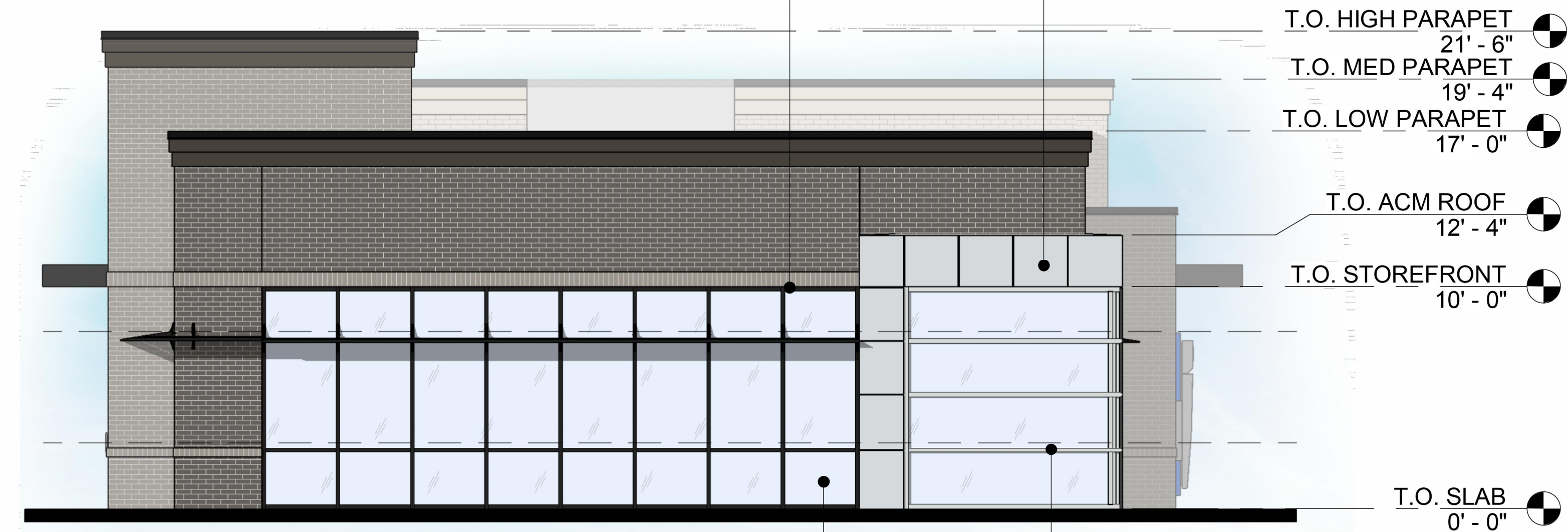
SHEET NUMBER

A00.3



**SOUTH ELEVATION**  
TOTAL SF OF GLAZING: 363 SF (39%)  
TOTAL SF OF GLAZING 3'-0"-8'-0": 182 SF

BLACK ANODIZED STOREFRONT MULLION  
GLASS TYPICAL  
PALMETTO WHITESTONE BRICK  
BLACK ANODIZED STOREFRONT MULLION  
ACM REYNOBOND "CHASE SILVER"



**WEST ELEVATION**  
TOTAL SF OF GLAZING: 360 SF (70%)  
TOTAL SF OF GLAZING 3'-0"-8'-0": 181 SF

GLASS TYPICAL  
SILVER ANODIZED STOREFRONT MULLION

- T.O. HIGH PARAPET 21' - 6"
- T.O. MED PARAPET 19' - 4"
- T.O. LOW PARAPET 17' - 0"
- T.O. ATM DRIVE UP 13' - 6"
- T.O. STOREFRONT 10' - 0"
- T.O. SLAB 0' - 0"
- WHITESTONE BRICK PALMETTO
- ACCESSIBLE BEIGE SW 7036
- COPING BLACK ANODIZED
- STOREFRONT MULLION BLACK ANODIZED
- "CHASE SILVER" ACM REYNOBOND
- STOREFRONT MULLION SILVER ANODIZED
- SEALSKIN SW 7675
- TYPICAL GLASS
- PLATINUM COLOR INTERSTATE BRICK
- MIDNIGHT COLOR INTERSTATE BRICK

# WALLBROOK

SEC of S Main St. and Virginia Water Dr.  
Rolesville, NC 27587



234053(48100R008594)  
04-18-2024

THE COLORS SHOWN IN THIS RENDERING ARE CLOSE APPROXIMATIONS. DUE TO INK VARIATIONS AND DIFFERENCES IN PRINTERS, AN EXACT MATCH CANNOT BE ACHIEVED. THE VIEWER IS ADVISED TO USE THE RENDERING AS A GUIDELINE FOR THE ARRANGEMENT OF COLORS ON THE BUILDING, AND TO THEN REFER TO THE ACTUAL COLOR OR MATERIAL SAMPLES PROVIDED.



THESE DRAWINGS AND PLANS, ANY REPRODUCTION THEREOF, AND ANY CAD OR ELECTRONIC FILE OF THESE DRAWINGS AND PLANS (HEREINAFTER "PLANS") ARE THE SOLE AND EXCLUSIVE PROPRIETARY PROPERTY OF BDG ARCHITECTS, AND MAY NOT BE REPRODUCED, PUBLISHED, MODIFIED OR USED IN ANY WAY WITHOUT THE EXPRESS WRITTEN PERMISSION OF BDG ARCHITECTS. USE OF THESE PLANS FOR CONSTRUCTION SHALL BE CONSIDERED ACCEPTANCE OF THE TERMS CONTAINED HEREIN AND THE SUITABILITY AND CONSTRUCTIBILITY OF THE PLANS. THE PLANS SHALL NOT BE SCALED OR MODIFIED FOR ANY PURPOSE WITHOUT THE EXPRESS WRITTEN APPROVAL OF BDG ARCHITECTS. ANY CHANGES TO THESE PLANS, REGARDLESS OF HOW MINOR, WITHOUT THE EXPRESS WRITTEN APPROVAL OF BDG ARCHITECTS, ANY CONTRACTOR OR ARCHITECT SHALL BE AT THE CONTRACTOR'S OR ARCHITECT'S OWN RISK. BDG ARCHITECTS SHALL NOT BE RESPONSIBLE FOR ANY DISCREPANCIES OR CONFLICTS IN THE PLANS, OR FOR ANY DAMAGE TO PERSONS OR PROPERTY RESULTING FROM THE USE OF THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY MATERIALS AND LABOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE AND BONDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SCHEDULING AND COORDINATION OF ITS WORK WITH ALL OTHER TRADES AND CONTRACTORS.

Firm Name:  
BDG Architects, LLP  
400 North Ashley Drive, Suite 600  
Tampa, Florida 33602

Partners:  
Christopher Kirschner - 60%  
FL License No. AR0014752  
North Carolina License No. 10173

Interco Management - 40%  
No Architectural License

SEAL

Architect of Record:  
Christopher Gary Kirschner, AIA, LEED AP  
NC License No. 10173

ISSUE/DATE	DATE	DESCRIPTION

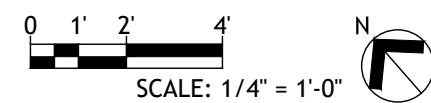
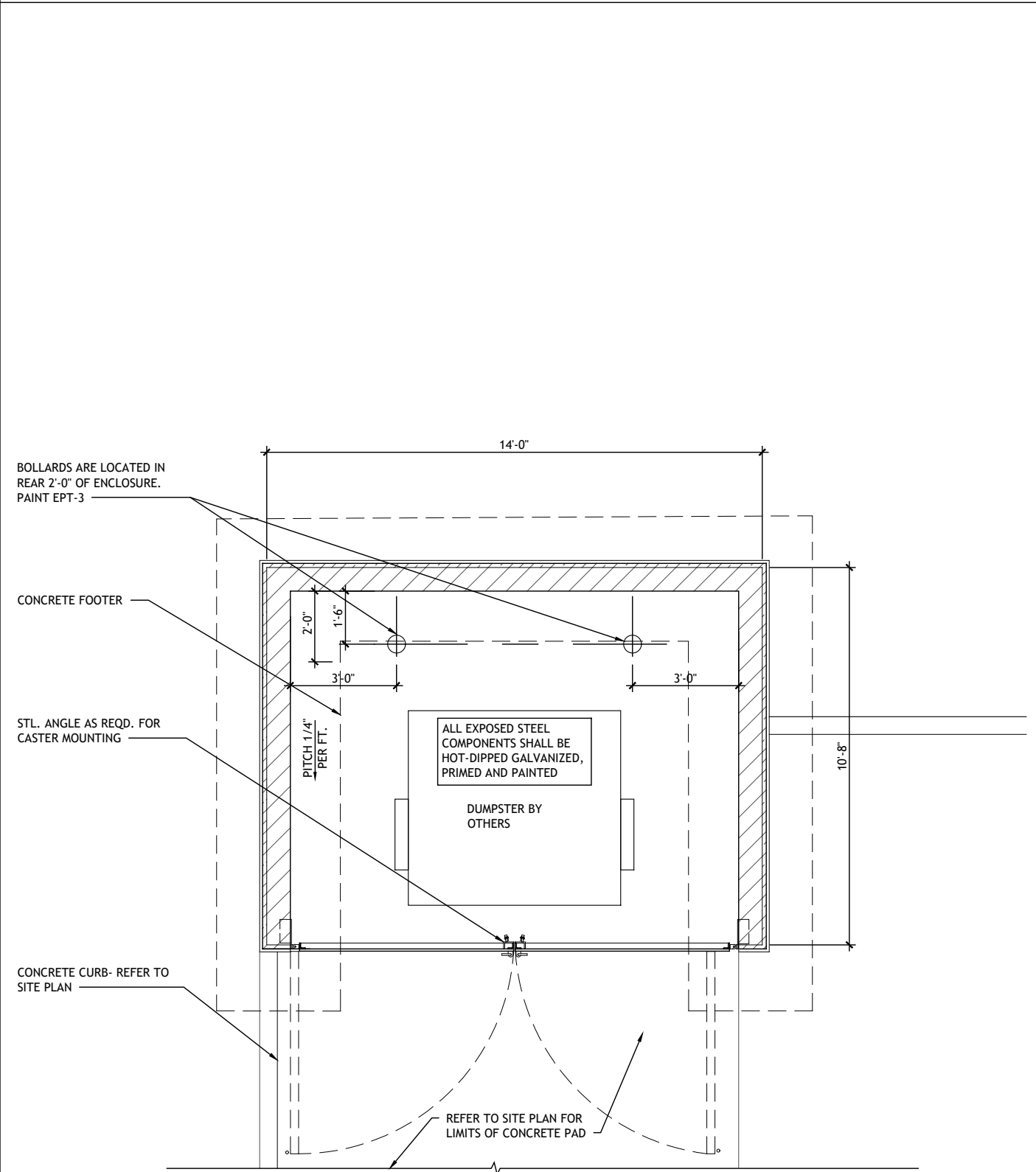
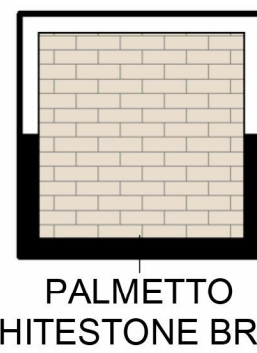
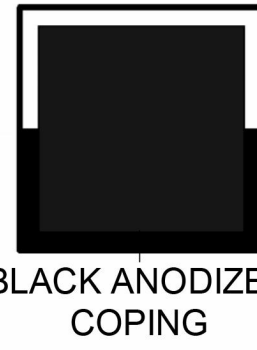
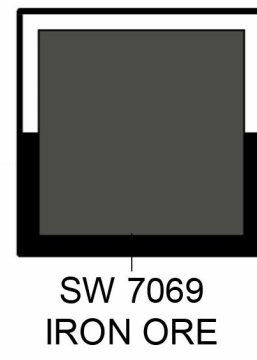
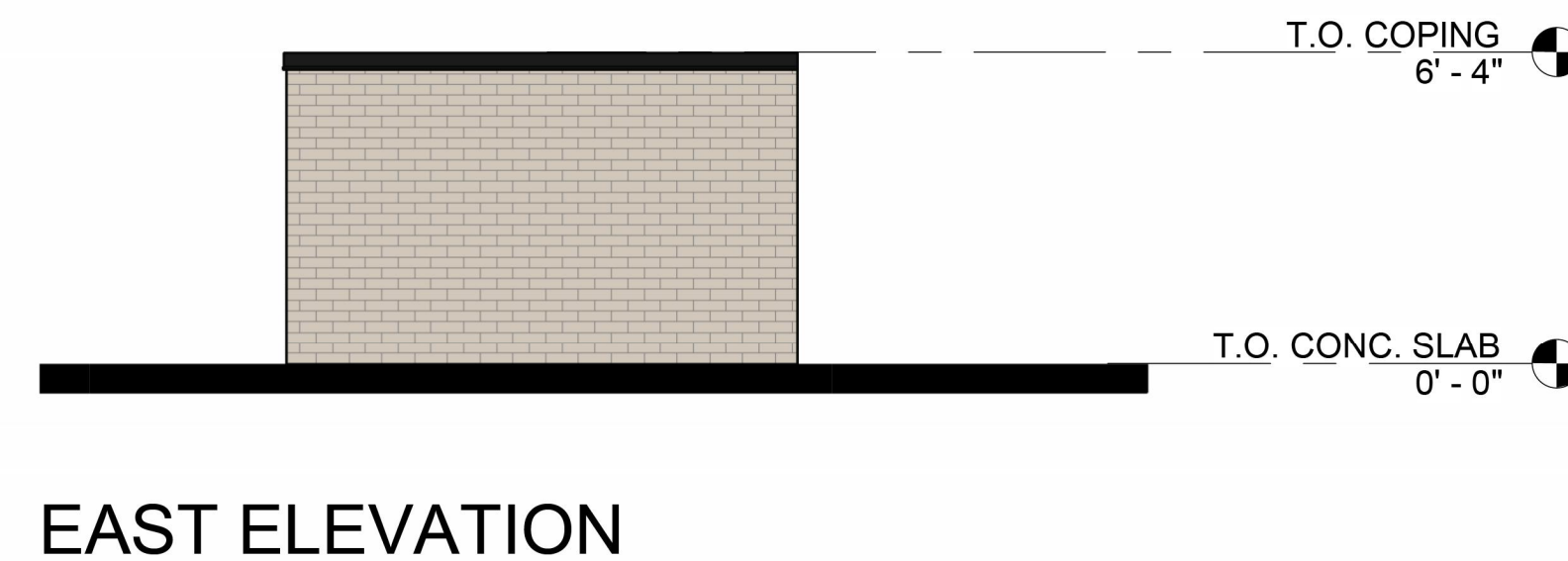
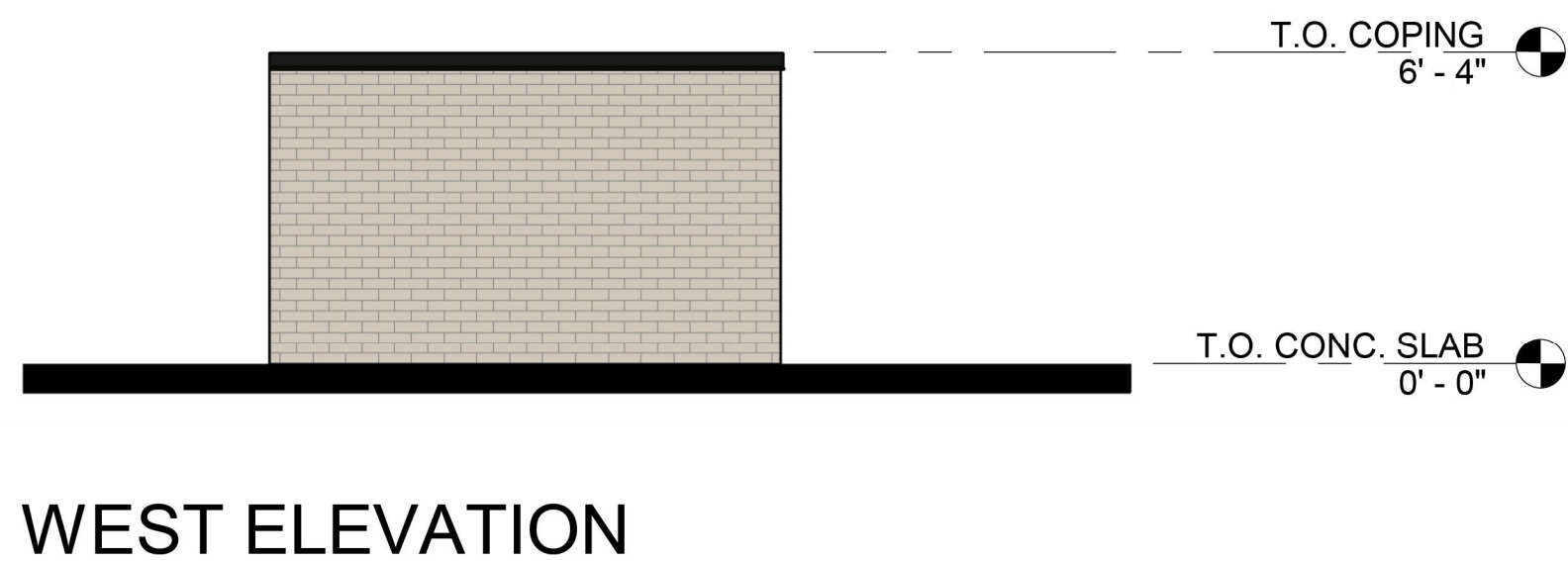
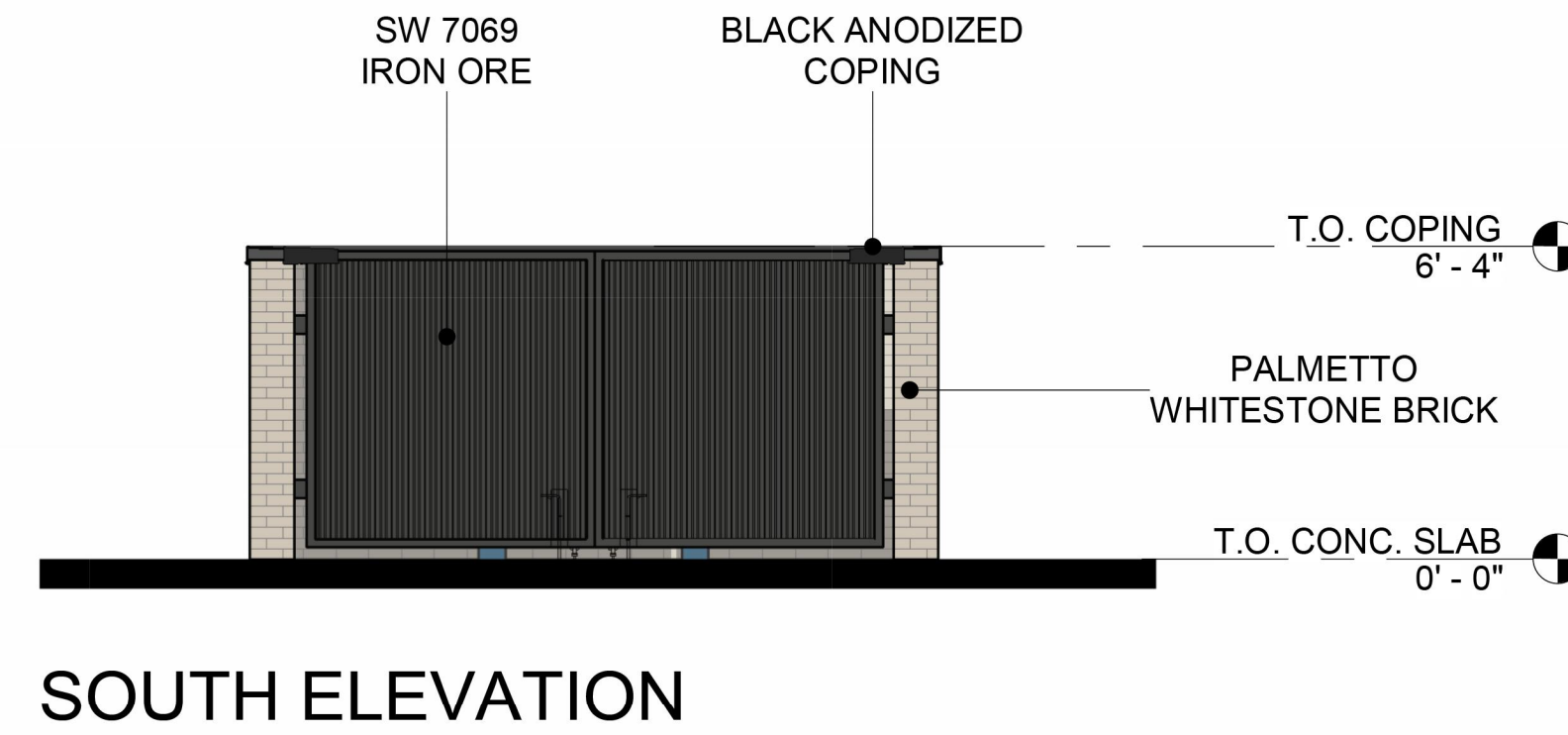
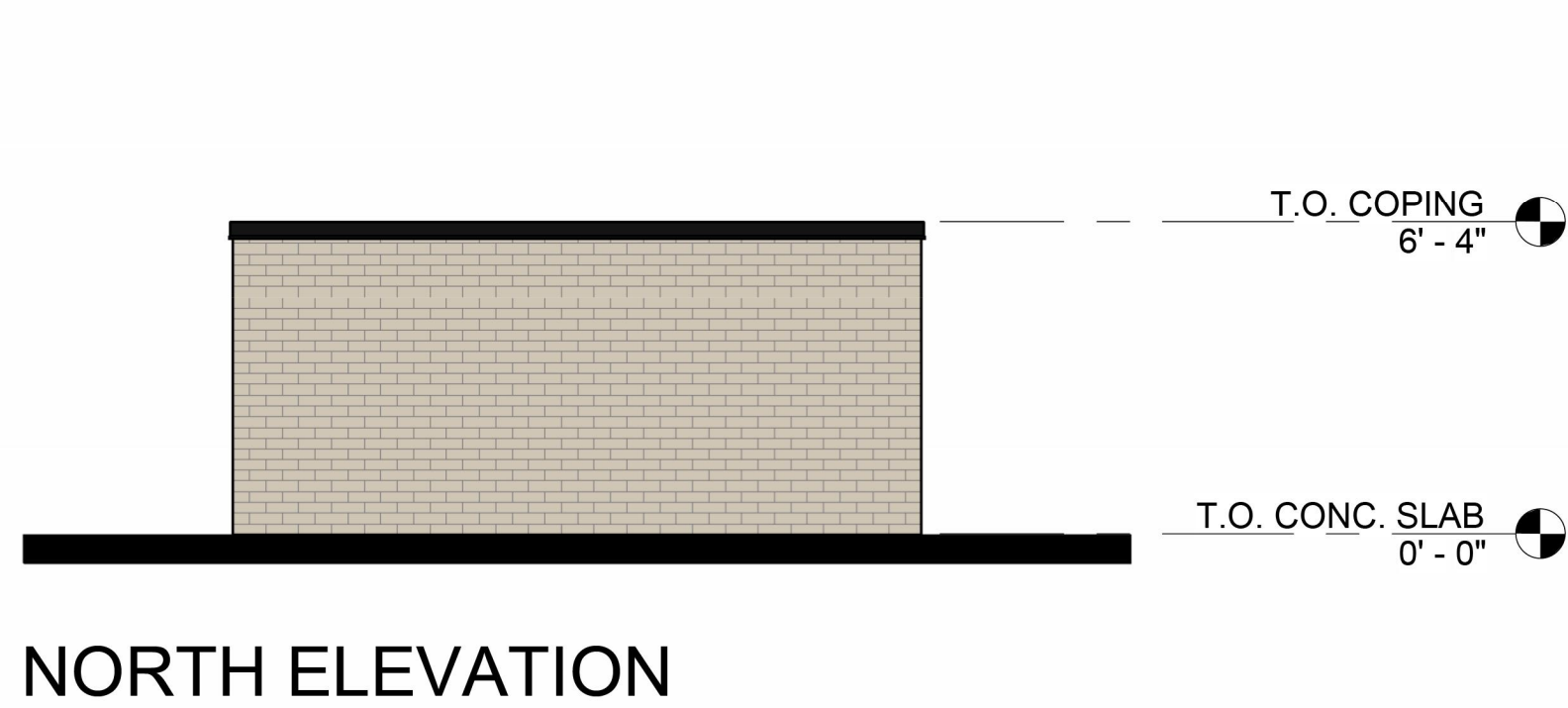
PROJECT INFORMATION BLOCK	
JOB #:	234053
DATE:	04-23-2024
DRAWN BY:	KF
CHECKED BY:	TN

SHEET TITLE

DUMPSTER RENDERINGS

SHEET NUMBER

A00.4



DUMPSTER PLAN SCALE 1/4"=1'-0" 2



234053(48100R008594)  
04-18-2024

# WALLBROOK

SEC of S Main St. and Virginia Water Dr.  
Rolesville, NC 27587

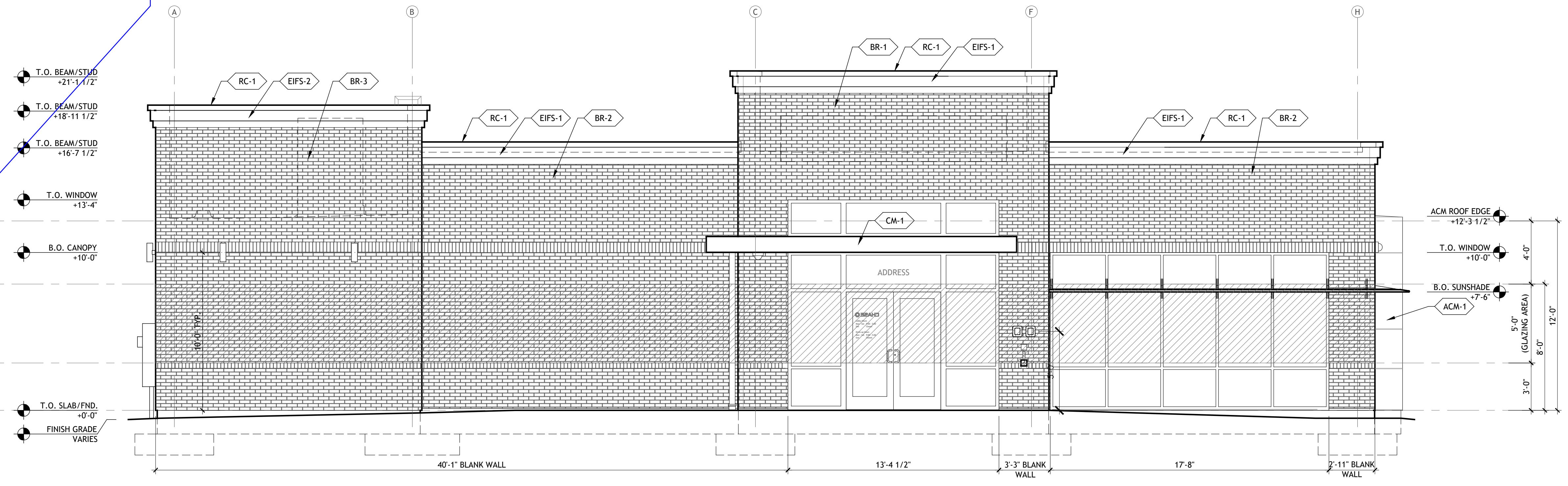
THE COLORS SHOWN IN THIS RENDERING ARE CLOSE APPROXIMATIONS. DUE TO VARIATIONS MONITORS, INK, AND DIFFERENCES IN PRINTERS, AN EXACT MATCH CANNOT BE ACHIEVED. THE VIEWER IS ADVISED TO USE THE RENDERING AS A GUIDELINE FOR THE ARRANGEMENT OF COLORS ON THE BUILDING, AND TO THEN REFER TO THE ACTUAL COLOR OR MATERIAL SAMPLES PROVIDED.

DUMPSTER RENDERINGS SCALE NTS 1



PROPOSED GRADES	EXISTING GRADES
SOUTH ELEVATION: 388.00' FFE	SOUTH ELEVATION: 388.00' FFE
NORTH ELEVATION: 388.00' FFE	NORTH ELEVATION: 388.00' FFE
EAST ELEVATION: 388.00' FFE	EAST ELEVATION: 388.00' FFE
WEST ELEVATION: 388.00' FFE	WEST ELEVATION: 388.00' FFE
AVERAGE GRADE: -388.00' FFE	AVERAGE EXISTING PREDEVELOPMENT GRADE: 388.00' FFE
<b>MAX BUILDING HEIGHT</b>	
BUILDING HEIGHT: 21'-6" AFF (409.50' FFE)	
<b>BUILDING HEIGHTS</b>	
TALLEST PARAPET HEIGHT: +21'-6" (409.50' FFE)	
MAIN PARAPET HEIGHT: +17'-0" (405.00' FFE)	

Building Design Standards are contained in Section 6.8.2. It appears the applicant has included the wrong standards. The applicant shall demonstrate compliance with Section 6.8.2



FRONT BUILDING ELEVATION - NORTH SCALE 1/4" = 1'-0" 2

**UDO SECTION 1.5.9B**

- THE MINIMUM PERCENTAGE OF WINDOWS AND DOORS THAT MUST COVER A GROUND STORY FACADE IS MEASURED BETWEEN 0 AND 12 FEET ABOVE THE ADJACENT SIDEWALK. MORE THAN 50% OF THE REQUIRED TRANSPARENCY MUST BE LOCATED BETWEEN 3 AND 8 FEET OF THE BUILDING FACADE.
- THE MINIMUM PERCENTAGE OF WINDOWS AND DOORS THAT MUST COVER AN UPPER STORY FACADE IS MEASURED FROM TOP OF THE FINISHED FLOOR TO THE TOP OF THE FINISHED FLOOR ABOVE. WHEN THERE IS NO FLOOR ABOVE, UPPER STORY TRANSPARENCY IS MEASURED FROM THE TOP OF THE FINISHED FLOOR TO THE TOP OF THE WALL PLATE.
- IN A MIXED USE BUILDING, OR GENERAL BUILDING WHERE AN URBAN FRONTAGE IS APPLIED, A MINIMUM OF 60% OF THE STREET-FACING STREET-LEVEL WINDOW PANE SURFACE AREA MUST ALLOW VIEWS INTO THE GROUND STORY USE FOR A DEPTH OF AT LEAST 8 FEET. WINDOWS SHALL NOT BE MADE OPAQUE BY NON-OPERABLE WINDOW TREATMENTS (EXCEPT CURTAINS, BLINDS OR SHADES WITHIN THE CONDITIONED SPACE).
- GLASS SHALL BE CONSIDERED TRANSPARENT WHERE IT HAS A TRANSPARENCY HIGHER THAN 80% AND EXTERNAL REFLECTANCE OF LESS THAN 15%. GLASS ON UPPER STORIES MAY HAVE ANY LEVEL OF TRANSPARENCY AND EXTERNAL REFLECTANCE.

**ELEVATION LEGEND**

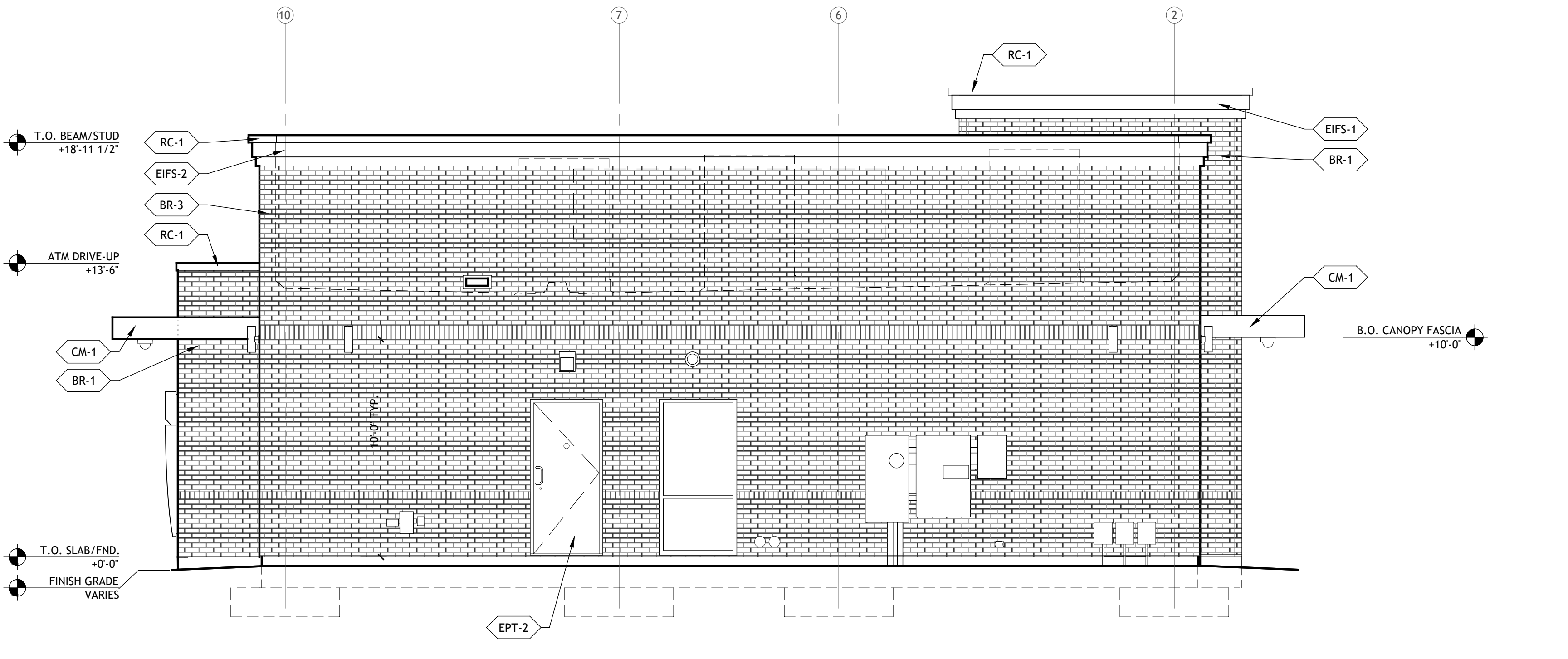
	3'-0" TO 8'-0" GLAZING AREA
--	-----------------------------

**TRANSPARENCY TABLE**

FLOOR LEVEL	SF OF WALL	0'-0" TO 12'-0" TRANSPARENCY REQD (33%)	0'-0" TO 12'-0" TRANSPARENCY PROVIDED	3'-0" TO 8'-0" TRANSPARENCY REQD	3'-0" TO 8'-0" TRANSPARENCY PROVIDED
GROUND FLOOR-NORTH	928 SF*	310 SF (33%)	344 SF (37%)	155 SF (50% OF THE 33% REQD.)	155 SF
GROUND FLOOR-SOUTH	950 SF*	317 SF (33%)	363 SF (38%)	158.5 SF (50% OF THE 33% REQD.)	182 SF
GROUND FLOOR-WEST	514 SF*	172 SF (33%)	360 SF (70%)	86 SF (50% OF THE 33% REQD.)	181 SF
GROUND FLOOR-EAST	N/A	N/A	N/A	N/A	N/A
2ND FLOOR FLOOR-NORTH	N/A	N/A	N/A	N/A	N/A
2ND FLOOR FLOOR-NORTH	N/A	N/A	N/A	N/A	N/A
2ND FLOOR FLOOR-WEST	N/A	N/A	N/A	N/A	N/A
2ND FLOOR FLOOR-EAST	N/A	N/A	N/A	N/A	N/A

\* SF MEASURED PER GENERAL REQUIREMENTS NOTED IN UDO SECTION 1.5.9B NOTE BOX ABOVE.

Please demonstrate compliance with the requirements of 6.8.D.2



SIDE BUILDING ELEVATION - EAST SCALE 1/4" = 1'-0" 1

THESE DRAWINGS AND PLANS, ANY REPRODUCTION THEREOF, AND ANY CAD OR ELECTRONIC FILE OF THESE DRAWINGS AND PLANS (HEREINAFTER "PLANS") ARE THE SOLE AND EXCLUSIVE PROPRIETARY PROPERTY OF BDG ARCHITECTS, AND MAY NOT BE REPRODUCED, PUBLISHED, MODIFIED OR USED IN ANY WAY WITHOUT THE EXPRESS WRITTEN PERMISSION OF BDG ARCHITECTS. USE OF THESE PLANS FOR CONSTRUCTION SHALL BE CONSIDERED ACCEPTANCE OF THE TERMS CONTAINED HEREIN AND THE SUITABILITY AND CONSTRUCTION OF THE PLANS. THE PLANS SHALL NOT BE SCALED OR MODIFIED FOR ANY PURPOSE WITHOUT THE EXPRESS WRITTEN APPROVAL OF BDG ARCHITECTS. ANY CHANGES TO THESE PLANS, REGARDLESS OF HOW MINOR, WITHOUT THE EXPRESS WRITTEN APPROVAL OF BDG ARCHITECTS, ANY CONSTRUCTION OR INSTALLATION OF THESE PLANS FOR ANY REASON, BY ANY PERSON OTHER THAN BDG ARCHITECTS, SHALL AUTOMATICALLY VOID ANY PROJECT AND RESULT IN THE FULL AND COMPLETE RELEASE OF THE ARCHITECTS FROM ANY LIABILITY, CLAIMS, OR DAMAGES INCLUDING ERRORS AND OMISSIONS ARISING OUT OF OR RELATED TO THE PLANS, ANY DISCREPANCIES OR CONFLICTS IN THE PLANS, SHALL BE REFERRED IMMEDIATELY TO BDG ARCHITECTS FOR CLARIFICATION PRIOR TO CONTINUING WITH THE WORK. FAILURE TO REFER DISCREPANCIES OR CONFLICTS TO BDG ARCHITECTS PRIOR TO PERFORMING WORK SHALL RESULT IN THE LOSS OF ANY CLAIMS OR DAMAGES ASSOCIATED WITH THE DISCREPANCIES OR CONFLICTS. THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION, SCHEDULING AND COMPLETION OF ITS WORK AND ALL WORK PERFORMED BY SUBCONTRACTORS OR OTHER TRADES WITH THE DESIGN DOCUMENTS.

Firm Name:  
BDG Architects, LLP  
400 North Ashley Drive, Suite 600  
Tampa, Florida 33602

Partners:  
Christopher Kirschner - 60%  
FL License No. AR0014752  
North Carolina License No. 10173

Intero Management - 40%  
No Architectural License

Architect of Record:  
Christopher Gary Kirschner, AIA, LEED AP  
NC License No. 10173

ISSUE/BY	DATE	DESCRIPTION

PROJECT INFORMATION BLOCK

JOB #:	234053
DATE:	04-23-2024
DRAWN BY:	KF
CHECKED BY:	TN

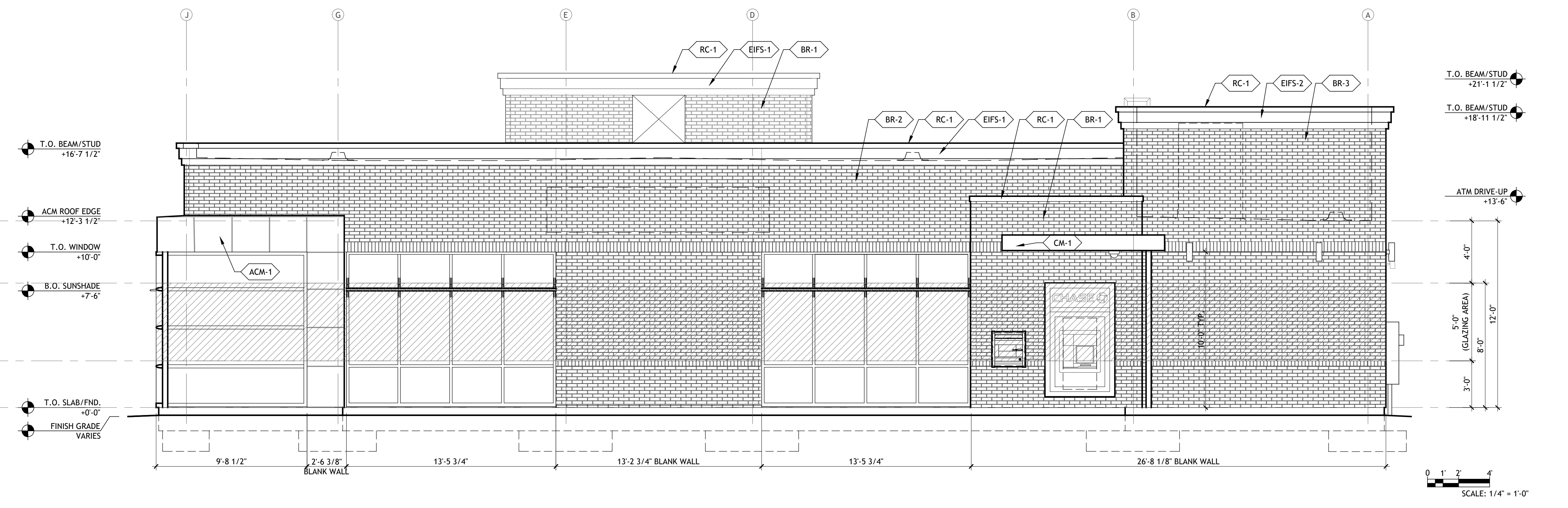
SHEET TITLE

**EXTERIOR ELEVATIONS**

SHEET NUMBER

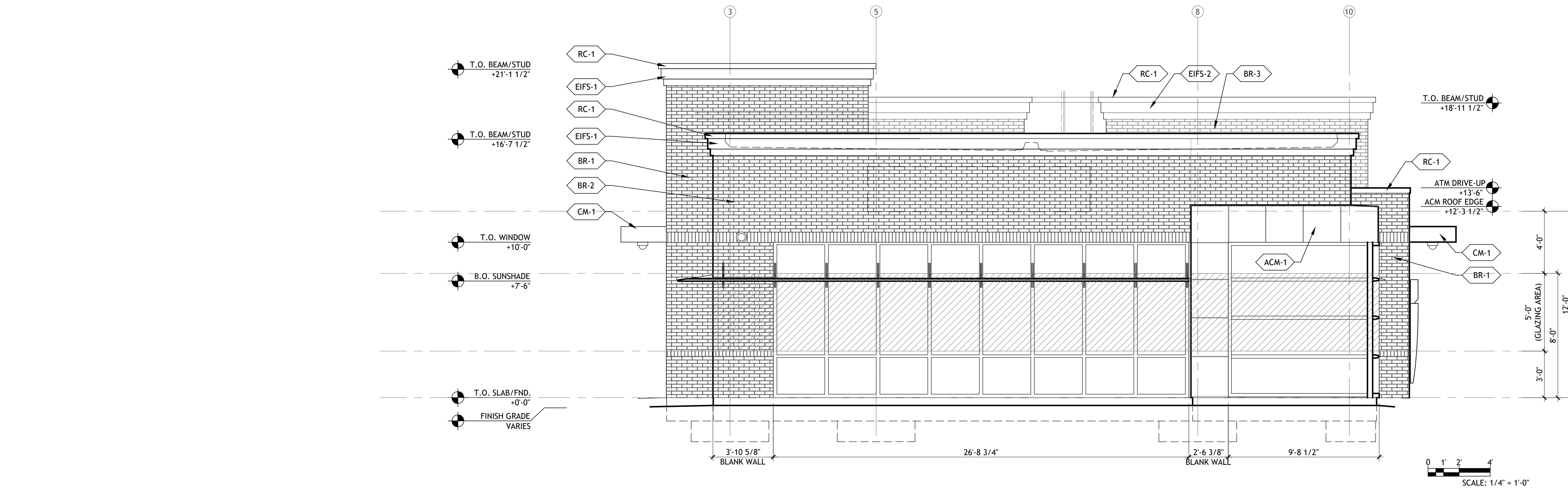
**A00.5**

EXTERIOR FINISH MATERIALS	
THIS SCHEDULE IS COMPREHENSIVE. NOT ALL LISTED ITEMS ARE USED IN THIS PROJECT	
BR-1	SIMULATED MASONRY MANUFACTURER INTERSTATE BRICK PRODUCT BRICK VENEER COLOR PLATINUM SIZE MODULAR, THIN BRICK NOTES RUNNING BOND MORTAR COLOR TO BE COOSA BUFF MORTAR
BR-2	SIMULATED MASONRY MANUFACTURER INTERSTATE BRICK PRODUCT BRICK VENEER COLOR MIDNIGHT SIZE MODULAR, THIN BRICK NOTES RUNNING BOND MORTAR COLOR TO BE COOSA BUFF MORTAR
BR-3	SIMULATED MASONRY MANUFACTURER PALMETTO PRODUCT BRICK VENEER COLOR WHITESTONE BRICK SIZE MODULAR, THIN BRICK NOTES RUNNING BOND MORTAR COLOR TO BE COOSA BUFF MORTAR
RC-1	ROOF COPING MANUFACTURER PETERSEN ALUMINUM / PAC-CLAD PRODUCT PAC-CONTINUOUS COLOR MATTE BLACK STEEL / BLACK ALUMINUM
ACM-1	ALUMINUM COMPOSITE MATERIAL MANUFACTURER ARCONIC ARCHITECTURAL PRODUCTS PRODUCT REYNOBOND COLOR DURAGLOSS 5000 PROGRAM "CHASE SILVER"
EPT-1	EXTERIOR PAINT MANUFACTURER BENJAMIN MOORE PRODUCT BM ULTRA SPEC EXT COLOR PAINT TO MATCH SW 7045 INTELLECTUAL GRAY FINISH SEMI-GLOSS
EPT-2	EXTERIOR PAINT MANUFACTURER BENJAMIN MOORE PRODUCT BM ULTRA SPEC EXT COLOR PAINT TO MATCH SW 7036 ACCESSIBLE BEIGE FINISH SEMI-GLOSS
EPT-3	EXTERIOR PAINT MANUFACTURER BENJAMIN MOORE PRODUCT BM ULTRA SPEC EXT COLOR PAINT TO MATCH SW 7069 IRON ORE FINISH SEMI-GLOSS
EPT-8	EXTERIOR PAINT MANUFACTURER BENJAMIN MOORE PRODUCT BM ULTRA SPEC EXT COLOR PAINT TO MATCH SW 6995 SUPERWHITE FINISH SEMI-GLOSS
EPT-9	EXTERIOR PAINT - OPTIONAL MATCH TO NICHHA BARK MANUFACTURER BENJAMIN MOORE PRODUCT BM ULTRA SPEC EXT COLOR PAINT TO MATCH SW 7675 SEALSKIN FINISH SEMI-GLOSS
EPT-10	EXTERIOR PAINT - OPTIONAL MATCH TO NICHHA ASH MANUFACTURER BENJAMIN MOORE PRODUCT BM ULTRA SPEC EXT COLOR PAINT TO MATCH SW 7018 DOVETAIL FINISH SEMI-GLOSS
CM-1	PRE-MANUFACTURED CANOPY MANUFACTURER MAPES PRODUCT ALUMINUM CANOPY SYSTEM COLOR TO MATCH CHASE PROGRAM BLACK
EIFS-1	EIFS ACCENT BANDS / PARAPETS MANUFACTURER STO CORP. (OR APPROVED EQUAL) PRODUCT STOTHERM PREMIER NEXT COLOR TO MATCH INTERSTATE BRICK MIDNIGHT FINISH STOSILCO LIT 1.0 (FINE)
EIFS-2	EIFS ACCENT BANDS / PARAPETS MANUFACTURER STO CORP. (OR APPROVED EQUAL) PRODUCT STOTHERM PREMIER NEXT COLOR TO MATCH SHERWIN-WILLIAMS #SW 7036 (ACCESSIBLE BEIGE) FINISH STOSILCO LIT 1.0 (FINE)



SIDE BUILDING ELEVATION - SOUTH

SCALE 1/4" = 1'-0" 2



REAR BUILDING ELEVATION - WEST

SCALE 1/4" = 1'-0" 1

**Wallbrook**  
Entitlements  
JPM Chase Retail Banking Center  
SEC of S Main St. and Virginia  
Water Dr  
Rolesville, NC 27587

THESE DRAWINGS AND PLANS, ANY REPRODUCTION THEREOF, AND ANY CAD OR ELECTRONIC FILE OF THESE DRAWINGS AND PLANS (HEREINAFTER "PLANS") ARE THE SOLE AND EXCLUSIVE PROPERTY OF BDG ARCHITECTS, AND MAY NOT BE REPRODUCED, PUBLISHED, MODIFIED OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF BDG ARCHITECTS. USE OF THESE PLANS FOR CONSTRUCTION SHALL BE CONSIDERED ACCEPTANCE OF THE TERMS CONTAINED HEREIN AND THE SUITABILITY AND CONSTRUCTION OF THE PLANS. THE PLANS SHALL NOT BE SEALED OR MODIFIED FOR ANY PURPOSE WITHOUT THE EXPRESS WRITTEN APPROVAL OF BDG ARCHITECTS. ANY CHANGES TO THESE PLANS, REGARDLESS OF HOW MINOR, WITHOUT THE EXPRESS WRITTEN APPROVAL OF BDG ARCHITECTS, ANY CONSTRUCTION CARRIED OUT FROM THESE PLANS WITHOUT THE EXPRESS WRITTEN APPROVAL OF BDG ARCHITECTS OR ANY CHANGE IN THE SCOPE, DESIGN, OR CONTENT OF THESE PLANS FOR ANY REASON, BY ANY PERSON OTHER THAN BDG ARCHITECTS, SHALL AUTOMATICALLY VOID ANY CONTRACT AND RESULT IN THE FULL AND COMPLETE RELEASE OF THE ARCHITECTS FROM ANY LIABILITY, CLAIM, OR DAMAGES INCLUDING ERRORS AND OMISSIONS ARISING OUT OF OR RELATED TO THE PLANS, ANY DISCREPANCIES OR CONFLICTS IN THE PLANS, SHALL BE REFERRED IMMEDIATELY TO BDG ARCHITECTS FOR CLARIFICATION PRIOR TO CONTINUING WITH THE WORK. FAILURE TO REFER DISCREPANCIES OR CONFLICTS TO BDG ARCHITECTS PRIOR TO PERFORMING WORK SHALL RESULT IN THE WAIVER OF ANY CLAIM OR DAMAGES ASSOCIATED WITH THE DISCREPANCIES OR CONFLICTS. THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION, SCHEDULING AND CONFIRMANCE OF ITS WORK AND ALL WORK PERFORMED BY SUBCONTRACTORS OR OTHER TRADES WITH THE DESIGN DOCUMENTS.

Firm Name:  
BDG Architects, LLP  
400 North Ashley Drive, Suite 600  
Tampa, Florida 33602  
Partners:  
Christopher Kirschner - 60%  
FL License No. AR0014752  
North Carolina License No. 10173  
Intero Management - 40%  
No Architectural License

SEAL  
Architect of Record:  
Christopher Gary Kirschner, AIA, LEED AP  
NC License No. 10173

ISSUE/DATE	DATE	DESCRIPTION

PROJECT INFORMATION BLOCK	
JOB #:	234053
DATE:	04-23-2024
DRAWN BY:	KF
CHECKED BY:	TN

SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

**A00.6**