

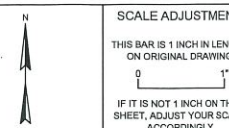


REVISION HISTORY

REV #	DESCRIPTION	DATE	BY

ORIGINAL PLAN SIZE: 24" X 36"

SCALE: 1 INCH = 30 FEET



SITE CONSTRUCTION PLANS

PINE GLO
 414 S MAIN ST
 ROLESVILLE, NC 27571

OPTIMAL GLO LLC

DATE:	06-03-2024
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	FLM
PROJECT NO.:	24028

SITE PLAN

SUMMARY INFORMATION

DEVELOPMENT NAME: PINE GLO
 STREET ADDRESS: 414 S MAIN ST
 PIN NUMBER: 1758-79-7437
 TOTAL AREA: 4.19 AC

EXISTING USE: INDUSTRIAL
 PROPOSED USE: COMMERCIAL (EATING ESTABLISHMENT; RECREATION, INDOOR; AND RETAIL SALES AND SERVICES, NEIGHBORHOOD)

JURISDICTION: TOWN OF ROLESVILLE
 ZONING DISTRICT: GI (GENERAL INDUSTRIAL)

PROPOSED BUILDING AREA: 64,450 SF
 PROPOSED EATING ESTABLISHMENT AREA: 8,560 SF
 PROPOSED RECREATION, INDOOR AREA: 49,190 SF
 PROPOSED RETAIL SALES AND SERVICES, NEIGHBORHOOD AREA: 1,600 SF

GI MAX. BUILDING HEIGHT: 35' WITHOUT SPRINKLERS, 60' WITH SPRINKLERS
 PROPOSED BUILDING HEIGHT: 40' (SPRINKLERED)

GI BUILDING SETBACKS:
 FRONT: 30'
 SIDE: 15'
 REAR: 35'
 CORNER: 25'

PARKING CALCULATIONS:
 REQUIRED EATING ESTABLISHMENT SPACES: MIN. 2.5/1,000 SF, MAX. 10/10,000 SF = MIN. 21, MAX. 85
 REQUIRED RECREATION, INDOOR SPACES: MIN. 4/1,000 SF, 10/1,000 SF = MIN. 197, MAX. 492
 REQUIRED RETAIL SALES AND SERVICES SPACES: MIN. 2.5/1,000 SF, MAX. 7.5/10,000 SF = MIN. 4, MAX. 16
 TOTAL REQUIRED SPACES: MIN. 222, MAX. 593
 TOTAL PROPOSED SPACES: 165 (6 ADA, VAN ACCESSIBLE); REFER TO ALTERNATIVE PARKING PLAN (APP)

LOADING SPACE CALCULATIONS:
 REQUIRED SPACES: 1/20,000 SF = 3
 PROPOSED SPACES: 3

BICYCLE PARKING CALCULATIONS:
 REQUIRED SPACES: 1/5,000 SF = 13
 PROPOSED SPACES: 14 (7 INVERTED 'U' RACKS)

REQUIRED OPEN SPACE: 9,132 SF (5%); 4,566 SF ACTIVE (50% OF REQUIRED OPEN SPACE)
 PROPOSED OPEN SPACE: 9,532 SF (5.2%); 4,966 SF ACTIVE

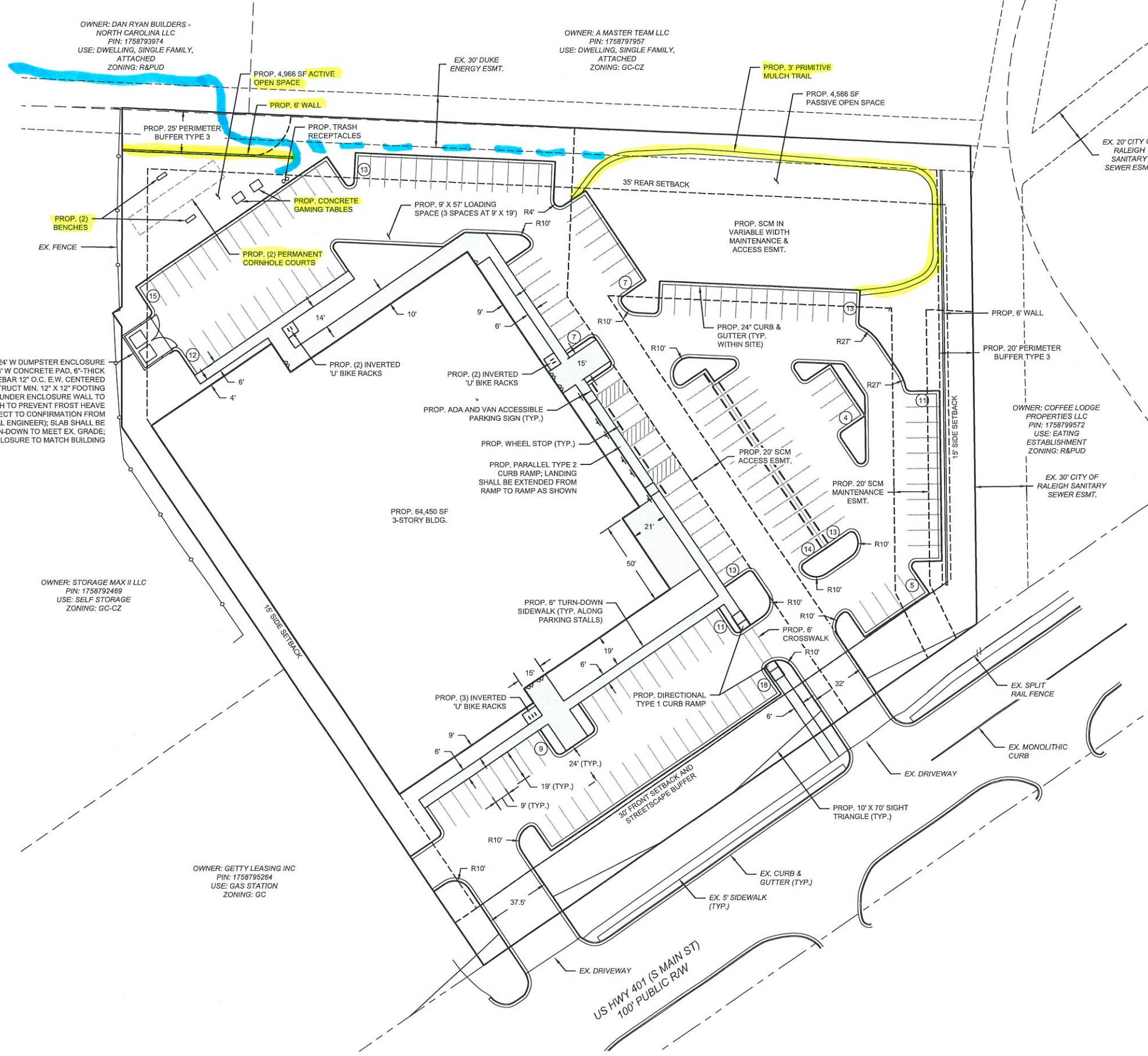
EXISTING IMPERVIOUS SURFACE AREA: 101,590 SF, 2.33 AC (55.6%)
 PROPOSED IMPERVIOUS SURFACE AREA: 121,650 SF, 2.80 AC (66.8%)

NOTES

- PROPOSED ADA STALLS AND AISLES SHALL HAVE SLOPES NO STEEPER THAN 1:48 (2%) IN ALL DIRECTIONS.
- PROPOSED ACCESSIBLE ROUTES SHALL HAVE RUNNING SLOPES NO STEEPER THAN 1:20 (5%) AND CROSS SLOPES NO STEEPER THAN 1:48 (2%).
- ACCESSIBLE PARKING SPACES ARE THOSE DENOTED BY ADA PARKING SIGNS AND ACCESSIBLE AISLES ARE REPRESENTED BY CROSS HATCHING.
- DIMENSIONS SHOWN ARE TO FACE OF CURB.
- RADII ARE 3' UNLESS OTHERWISE NOTED.

LEGEND

- EX. PROPERTY LINE
- - - EX. RIGHT-OF-WAY
- - - EX. ADJACENT OWNERS
- - - EX. EASEMENT
- - - EX. CHAIN LINK FENCE
- - - EX. WOOD FENCE
- - - PROP. SETBACK LINE
- - - PROP. EASEMENT



CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

ELECTRONIC APPROVAL: THIS APPROVAL IS BEING ISSUED ELECTRONICALLY. THIS APPROVAL IS VALID ONLY UPON THE SIGNATURE OF A CITY OF RALEIGH REVIEW OFFICER BELOW. THE CITY WILL RETAIN A COPY OF THE APPROVED PLANS. ANY WORK AUTHORIZED BY THIS APPROVAL MUST PROCEED IN ACCORDANCE WITH THE PLANS KEPT ON FILE WITH THE CITY. THIS ELECTRONIC APPROVAL MAY NOT BE EDITED ONCE ISSUED. ANY MODIFICATION TO THIS APPROVAL ONCE ISSUED WILL INVALIDATE THIS APPROVAL.

CITY OF RALEIGH DEVELOPMENT APPROVAL _____ RALEIGH WATER REVIEW OFFICER _____

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL TOWN OF ROLESVILLE, CITY OF RALEIGH AND WAKE COUNTY STANDARDS AND SPECIFICATIONS

CALL 48 HOURS BEFORE YOU DIG
 North 811 Carolina
 NORTH CAROLINA ONE-CALL CENTER
 1-800-632-4949

- dead end road
- existing sidewalk
- existing fence to be removed

- ~~Proposed~~ proposed continuing sidewalk
- Proposed greenway/side path



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