

SITE INFORMATION:
 ADDRESS: ROLESVILLE, NC
 PROPERTY AREA: 1.92 ACRES
 PARCEL: 1758479244
 EXISTING USE: UNDEVELOPED
 PROPOSED USE: CAR WASH

TOWN CORPORATE ZONING LIMITS PER ANX-24-02:
 PROPERTY ZONING: GENERAL COMMERCIAL - CONDITIONAL ZONING (G-CZ) PER REZ-24-03

BUILDING SETBACKS:
 FRONT (SE): 30'
 CORNER (NE): 25'
 REAR (NW): 35'
 SIDE (SW): 15'

PERIMETER LANDSCAPE YARDS:
 NORTHEAST: 15'

REQUIRED OPEN SPACE (5%) = 0.01 AC (4182 SF)

PRE VS. POST DEVELOPMENT AREA:
 SITE AREA: 1.92 AC
 PRE-IMPERVIOUS AREA: 0.04 AC (2.08%)
 POST-IMPERVIOUS AREA: 1.30 AC (67.7%)

PARKING NOTE:
 PARKING REQUIRED:
 1 SPACE PER 400 SF GFA OR 5 SPACES MINIMUM = 5 SPACES

PARKING PROVIDED:
 EMPLOYEE SPACES: 5 SPACES (4 MAX ON SHIFT)
 VACUUM STALLS: 26 STALLS (1 ADA)
 ADA PARKING: 2 SPACES
 TOTAL PARKING: 33 SPACES

BIKE PARKING:
 REQUIRED: 1 SPACE (1 SPACE PER 5000 SF GFA)
 PROVIDED: 4 SPACES

SITE LAYOUT AND STAKING NOTES:

- CONTRACTOR SHALL CAREFULLY EXAMINE ALL DOCUMENTS AND THE CONSTRUCTION SITE TO OBTAIN FIRST HAND KNOWLEDGE OF EXISTING CONDITIONS.
- ENTIRE SITE SHALL BE DRESSED TO UNIFORM, WELL DRAINED AND VISUALLY APPEALING SURFACE WITH A MINIMUM TOPSOIL LAYER OF FOUR INCHES.
- ALL STRIPING AND SIGNS SHALL CONFORM WITH THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION. PARKING STALL STRIPING TO BE WHITE WITH BLUE HANDICAPPED STRIPING.
- ALL HANDICAP PARKING SPACED AND ACCESSIBLE ROUTE SHALL CONFORM WITH THE AMERICAN WITH DISABILITY ACT DESIGN GUIDELINES AND SPECIFICATIONS LATEST EDITION.
- DIMENSIONS AND CURVE RADII ARE GIVEN TO FACE OF CURB, WHERE CURB AND GUTTER IS SHOWN. OTHERWISE DIMENSIONS ARE GIVEN TO THE EDGE OF PAVEMENT. CONTRACTOR IS TO COORDINATE WITH THE ARCHITECTURAL PLANS AS TO THE BUILDING LAYOUT AND DIMENSIONS.
- THIS DEVELOPMENT IS NOT REQUIRED TO PERFORM A TRAFFIC IMPACT ANALYSIS PER DETERMINATION BY LAND DEVELOPMENT ADMINISTRATOR ON 02/14/2024 PER LDO SECTION 8.C.5.
- INTERNAL PEDESTRIAN ACCESS AND FLOW IN ACCORDANCE WITH LDO 8.4.B.3 IS NOT APPLICABLE DUE TO NO PUBLIC BUILDING ACCESS ON SITE AND NECESSITY FOR PATRONS TO BE IN A VEHICLE TO PURCHASE THE SERVICES OF THE ESTABLISHMENT.

SITE LEGEND

	PROPOSED SIDEWALK
	HEAVY DUTY CONCRETE PAVEMENT
	STANDARD DUTY CONCRETE PAVEMENT
	ASPHALT GREENWAY
	STOP SIGN
	DO NOT ENTER SIGN
	HANDICAP PARKING SIGN

SW SEAMONWHITESIDE

MOUNT PLEASANT, SC 843.884.1667
 GREENVILLE, SC 864.298.0534
 SUMMERVILLE, SC 843.972.0710
 SPARTANBURG, SC 864.272.1272
 CHARLOTTE, NC 980.312.5450
 WWW.SEAMONWHITESIDE.COM

TIDAL WAVE AUTO SPA
 ROLESVILLE, NC

SW+ PROJECT: 10772
 DATE: 10/01/24
 DRAWN BY: CPE
 CHECKED BY: TLL

REVISION HISTORY

A	10/30/23
B	12/22/23
C	03/01/24
D	09/04/24
E	10/01/24

SITE PLAN

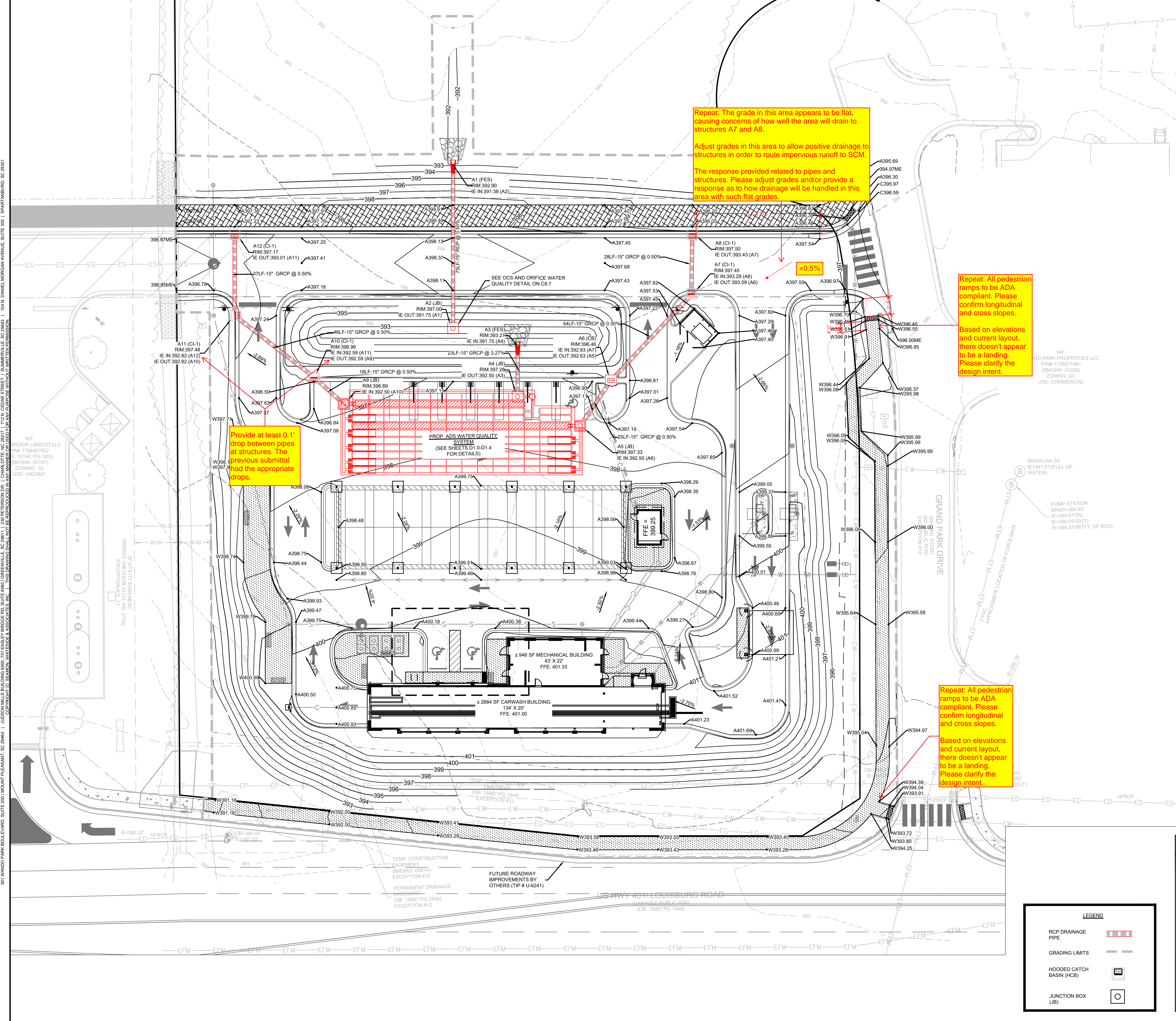
C5.1

501 WANDO PARK BOULEVARD, SUITE 200 | MOUNT PLEASANT, SC 29564 | JACOBS/MULLS BUILDING GROUP, 3741 BAKER STREET, SUITE 600 | GREENVILLE, SC 29611 | 270 PETERSBORO | SPARTANBURG, SC 29581 | 701 N. CEDAR STREET | SUMMERVILLE, SC 29586
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811
 Know what's below.
 Call before you dig.

SCALE: 1" = 20'

0 10 20 40



Repeat: The grade in this area appears to be flat, causing concerns of how well the area will drain to structures A7 and A8.
Adjust grades in this area to allow positive drainage to structures in order to route impervious runoff to SCM.
The response provided related to pipes and structures. Please adjust grades and/or provide a response as to how drainage will be handled in this area with such flat grades.

Repeat: All pedestrian ramps to be ADA compliant. Please confirm longitudinal and cross slopes.
Based on elevations and current layout, there doesn't appear to be a landing. Please clarify the design intent.

Provide at least 0.1' drop between pipes at structures. The previous submittal had the appropriate drops.

Repeat: All pedestrian ramps to be ADA compliant. Please confirm longitudinal and cross slopes.
Based on elevations and current layout, there doesn't appear to be a landing. Please clarify the design intent.

- STANDARD DRAINAGE PLAN NOTES:**
- FOR PROJECT SURVEY INFORMATION INCLUDING VERTICAL DATUM AND BENCHMARK LOCATIONS, SEE "PROJECT SURVEY INFORMATION AND CONTRACTOR VERIFICATION REQUIREMENTS" ON SHEET C1.0.
 - PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS, INCLUDING BUT NOT LIMITED TO TOPOGRAPHIC, TREE, STORM DRAINAGE FACILITIES, AND ALL UTILITIES. EXISTING UTILITIES SHOWN ARE APPROXIMATE AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ENGINEER. THEREFORE, THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXACT VERTICAL AND HORIZONTAL LOCATIONS OF ALL EXISTING UTILITIES. ANY DISCREPANCIES OR CONFLICTS IDENTIFIED DURING VERIFICATION OF EXISTING CONDITIONS AND UTILITIES SHALL BE REPORTED TO THE OWNER AND ENGINEER. ANY COSTS ASSOCIATED WITH CORRECTIVE WORK OR DAMAGES THAT ARE A RESULT OF THE CONTRACTOR NOT VERIFYING EXISTING CONDITIONS AND THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES WILL BE THE CONTRACTOR'S RESPONSIBILITY.
 - REFER TO DRAINAGE PROFILE SHEETS, ROADWAY PLAN & PROFILE SHEETS, GRADING PLAN SHEETS, AND ROADWAY & DRAINAGE DETAIL SHEETS FOR ADDITIONAL DRAINAGE AND GRADING INFORMATION AND REQUIREMENTS.
 - DRAINAGE PIPE LENGTHS PROVIDED REPRESENT DISTANCES FROM CENTER OF BOX TO CENTER OF BOX. DRAINAGE PIPES ARE TO TERMINATE INSIDE THE DRAINAGE STRUCTURES IN ACCORDANCE WITH GOVERNING AUTHORITY REQUIREMENTS OR IN ACCORDANCE WITH SCODOT STANDARD DRAWING 719-000-03 DRAINAGE STRUCTURE GENERAL NOTES.
 - ANY NECESSARY UNDERCUTTING OR MUCK AND FILL OPERATIONS ARE TO BE COORDINATED WITH THE OWNER AND THE PROJECT GEOTECHNICAL CONSULTANT PRIOR TO EXECUTING THE WORK.
 - PRIOR TO BEGINNING WORK WITHIN ANY PUBLIC RIGHT-OF-WAY OR EASEMENT, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE ENCROACHMENT PERMITS FROM THE OWNER OR ENGINEER AND IS RESPONSIBLE FOR FOLLOWING ALL REQUIREMENTS SPECIFIED IN THESE PERMITS.
 - UNLESS OTHERWISE NOTED, REINFORCED CONCRETE PIPE (RCP) SHALL BE IN ACCORDANCE WITH ASTM C76, CLASS III, WALL B WITH SEALANT JOINTS (ASTM C990) PER NCDOT SPECIFICATIONS. ALL PIPE JOINTS SHALL BE WRAPPED WITH MINIMUM 18" WIDTH OF NON-WOVEN GEOTEXTILE.
 - REFER TO DRAINAGE PROFILE SHEETS FOR ADDITIONAL RIM ELEVATION INFORMATION.
 - GRCP- GASKETED (O-RING) REINFORCED CONCRETE PIPE, ASTM C76, CLASS III, WALL B WITH GASKETED JOINTS (ASTM C443).

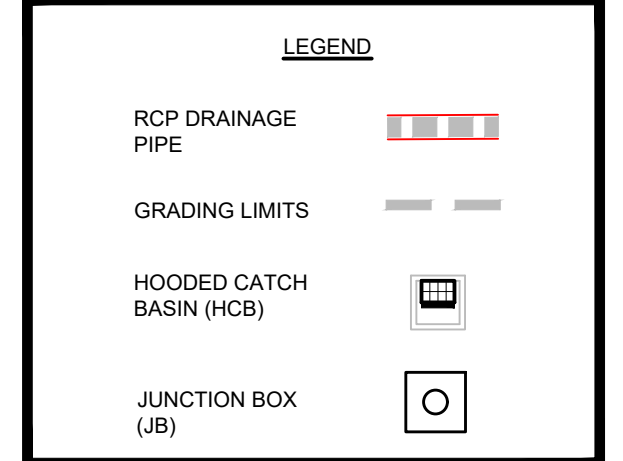
NF
ND PARK PROPERTIES LLC
PIN# 1758571481
(RM1889-01039)
ZONING: GC
USE: COMMERCIAL

811
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SPOT ELEV KEY (FINISHED GRADING)

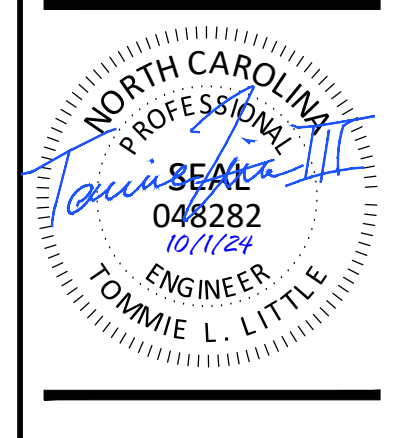
A-(ASPHALT) SURFACE OF FINISHED ASPHALT ROADWAY OR WALKING PATH
C-(CONCRETE) CONCRETE PAVING
D-(DIRT) FINISHED GROUND ELEVATION
F-(FLOW) ELEVATION AT WHICH SURFACE WATER FLOWS INTO DRAINAGE STRUCTURE
-SURFACE OF ASPHALT ADJACENT TO THROAT OR GRATE AT CURB INLET
-SURFACE OF ACCESS COVER FOR JUNCTION OR ISOLATION BOX
-SURFACE OF GRATE AT OUTSIDE EDGE FOR CATCH BASIN, GUTTER INLET, OR GRATED POND STRUCTURE
FFE - FINISHED FLOOR ELEVATION
G-(GUTTER) SURFACE OF FINISHED GUTTER AT LOWEST POINT (ALONG WATER FLOW PATH)
W-(WALK) SURFACE OF FINISHED CONCRETE OR INTERLOCKING PAVER SIDEWALK, PATIO, PLAZA, OR SLAB
TC - TOP OF CURB ELEVATION
BC - BOTTOM OF CURB ELEVATION
TS - TOP OF STAIRS ELEVATION
BS - BOTTOM OF STAIRS ELEVATION
TW - FINISHED GRADE ELEVATION AT TOP OF WALL
BW - FINISHED GRADE ELEVATION AT BOTTOM OF WALL
ME-(MATCH EXISTING) FOLLOWING ELEVATION NUMBER -
INDICATES TO MATCH ELEVATION OF EXISTING SURFACE AT POINT OF CONNECTION

EXAMPLE: A12.56ME MEANS THAT THE SURFACE OF NEW ASPHALT IS TO BE AT ELEVATION 12.56 WHICH SHOULD MATCH THE ELEVATION OF THE EXISTING ASPHALT SURFACE AT THE JOINT



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OVERALL GRADING AND DRAINAGE PLAN