

PARKER RIDGE AMENITY PLAN

82 SCHOOL STREET
ROLESVILLE, NORTH CAROLINA 27571

#1 Ensure site data for this submittal, SDP-24-10 and final plat match once parcel has been platted. This includes pin, zonings, acreage, etc.

SITE DEVELOPMENT PLAN
TOWN OF ROLESVILLE CASE NUMBER: SDP-24-10
PREVIOUS REZONING APPLICATION: MA22-03



SITE DATA

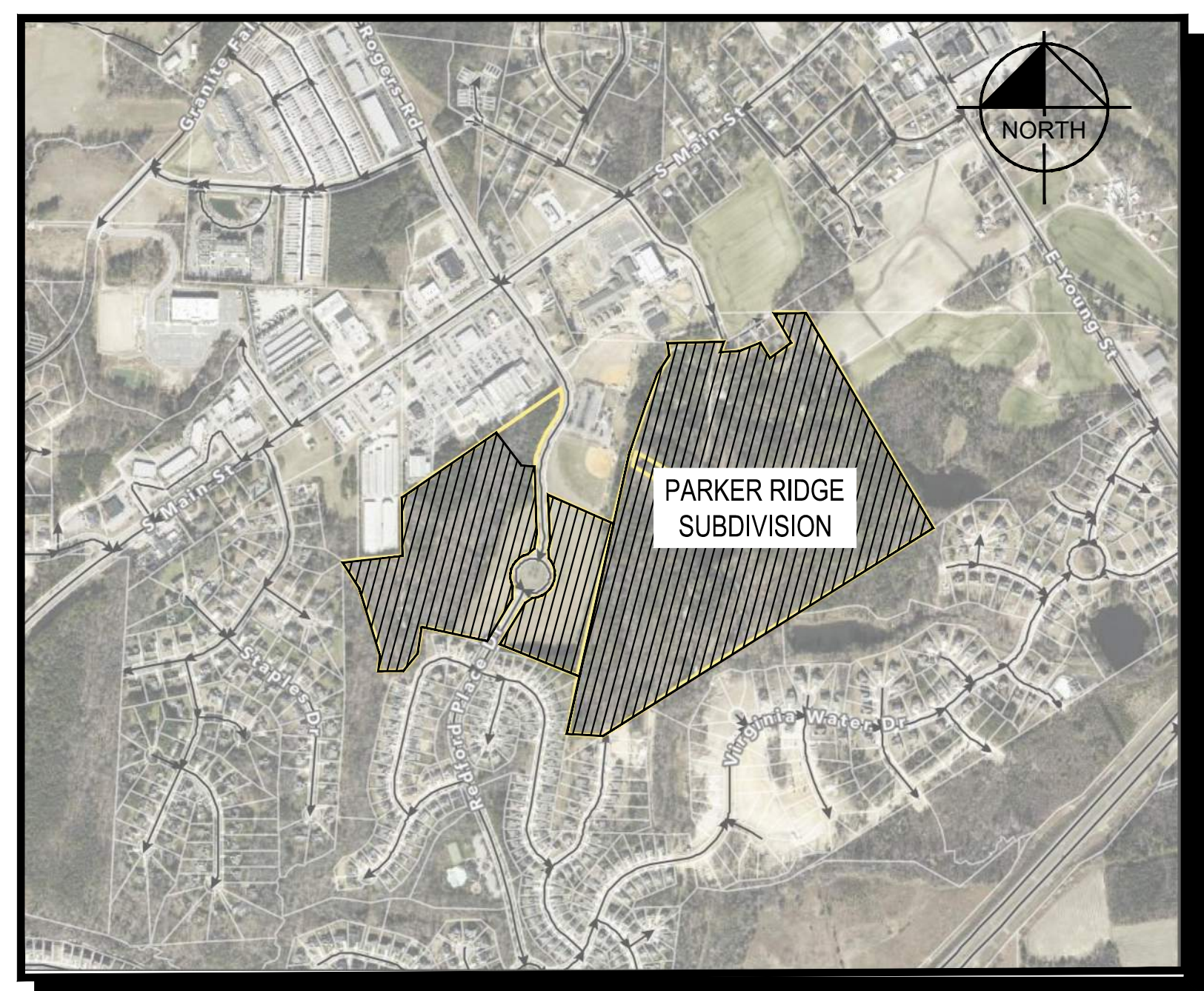
PIN #: 58884270
TOTAL ACREAGE: 1.29 ACRES
CURRENT USE: VACANT
PROPOSED USE: AMENITY CENTER
ZONING: RH/RM
WATERSHED: LOWER NEUSE RIVER
RIVER BASIN: NEUSE
CURRENT IMPERVIOUS (TO REMAIN): 0.35 AC
PROPOSED ADDITIONAL IMPERVIOUS: 0.24 AC
FINAL IMPERVIOUS: 0.59 AC
BLDG HT: 21'-6"
BLDG SF: 1,063 SF
TREE COVERAGE DATA: NO EXISTING TREES IN PROJECT SCOPE AREA

SHEET INDEX

- L4-0 AMENITY - COVER SHEET
- L4-1 AMENITY - EXISTING CONDITIONS PLAN
- L4-2 AMENITY - LAYOUT AND HARDSCAPE PLAN
- L4-3 AMENITY - GRADING, DRAINAGE AND UTILITIES PLAN
- L4-4 AMENITY - PLANTING PLAN
- L4-5 AMENITY - SITE AND PLANTING DETAILS (1 OF 2)
- L4-6 AMENITY - SITE AND PLANTING DETAILS (2 OF 2)
- L4-7 AMENITY - EROSION CONTROL PLAN
- A1.0 AMENITY - BATH HOUSE PLAN
- A2.0 AMENITY - BATH HOUSE ELEVATIONS
- L4-0 DEP LIGHTING PLAN WITH GRID
- L4-1 DEP LIGHTING PLAN WITHOUT GRID

Parking Clubhouse	Bldg	Unit	Per Unit	Additional
Building	1063	sf	1 / 1000 sf	2
Acre	1.29	ac	5/ac	7
Total				9

ENLARGEMENT
SCALE: 1" = 200'



SITE LOCATION MAP
NOT TO SCALE

PARKER RIDGE SUBDIVISION ZONING CONDITIONS

- DEVELOPMENT OF THE PROPERTY SHALL BE IN SUBSTANTIAL CONFORMANCE WITH THE ACCOMPANYING EXHIBIT C CONCEPT PLAN. LOCATIONS SHOWN FOR COMMITTED ELEMENTS INCLUDING, BUT NOT LIMITED TO GREENWAYS, STREETS, AND OPEN AREAS SHOWN ON EXHIBIT C, ARE CONCEPTUAL AND PROVIDED FOR ILLUSTRATION AND CONTEXT ONLY. FINAL LOCATIONS OF ELEMENTS SHALL BE DETERMINED AT SUBSEQUENT STAGES OF APPROVAL. DEVELOPER SHALL BE ENTITLED TO A CREDIT AGAINST THE PROJECT'S PARKS AND RECREATION FEES FOR THE COSTS TO CONSTRUCT PUBLIC GREENWAYS.
- THE FOLLOWING USES SHALL BE PROHIBITED ON THE PORTION OF THE PROPERTY ZONED RESIDENTIAL HIGH DENSITY (THE "RH PARCEL"):
 - A. LIVE-WORK UNIT.
 - B. RESIDENTIAL CARE (ALF, ILF, CCFC).
 - C. TELECOMMUNICATIONS TOWER.
- THE RH PARCEL SHALL HAVE A MAXIMUM OF 120 TOWNHOUSE DWELLINGS.
- THE FOLLOWING USES SHALL BE PROHIBITED ON THE PORTION OF THE PROPERTY ZONED RESIDENTIAL MEDIUM DENSITY (THE "RM PARCEL"):
 - A. TELECOMMUNICATIONS TOWER.
 - B. THE RM PARCEL SHALL HAVE A MAXIMUM OF 170 SINGLE-FAMILY DETACHED DWELLINGS.
- A SINGLE FAMILY DETACHED HOME SHALL BE DEVELOPED AND DONATED AS PART OF WOUNDED WARRIOR HOMES, OPERATION COMING HOME, OPERATION FINALLY HOME, OR SIMILAR ORGANIZATION PROVIDING HOMES TO VETERANS. DEVELOPER SHALL BE ENTITLED TO A WAIVER OF ALL TOWN OF ROLESVILLE PERMIT FEES FOR THIS HOME.
- THE DEVELOPMENT SHALL INCLUDE AT LEAST ONE POLLINATOR GARDEN. THE POLLINATOR GARDEN SHALL BE A LANDSCAPED GARDEN IN WHICH AT LEAST SEVENTY FIVE PERCENT (75%) OF ALL PLANTS, EXCLUDING GRASSES, ARE NATIVE MILKWEEDS AND OTHER NECTAR-RICH FLOWERS.
- PERIMETER BUFFERS SHALL BE PROVIDED AS SHOWN ON THE CONCEPT PLAN. TYPE 3 AND TYPE 4 PERIMETER BUFFERS MAY INCLUDE 6' FENCES INSTEAD OF WALLS.
- ALL SINGLE FAMILY DETACHED DWELLINGS SHALL HAVE THE FOLLOWING FEATURES:
 - A. A 2 CAR GARAGE.
 - B. ALL GARAGE DOORS SHALL HAVE WINDOWS.
 - C. GROUND FLOOR ELEVATION AT THE FRONT DOOR SHALL BE A MINIMUM OF 12" ABOVE AVERAGE GRADE ACROSS THE FRONT FACADE OF THE HOUSE.
 - D. A MINIMUM 24" STONE OR MASONRY WATER TABLE ALONG THE FRONT ELEVATION.
 - E. IF MASONRY IS NOT THE PREFERRED FIRST FLOOR FINISH, THEN THE FRONT ELEVATION SHALL HAVE 2 TYPES OF SIDING. FOR EXAMPLE, HORIZONTAL SIDING MAY BE COMBINED WITH SHAKEBOARD AND BATTEN.
 - F. ROOF PITCHES ON THE MAIN ROOF WILL HAVE A PITCH BETWEEN 5 ON 12 AND 12 ON 12.
 - G. ROOF MATERIALS SHALL BE ASPHALT SHINGLES. METAL, COPPER OR WOOD.
 - H. MINIMUM 12" FRONT OVERHANGS.
 - I. A COVERED STOOP OR PORCH AT LEAST 20 SF AND 5 FT DEEP.
 - J. ALL WINDOWS ON FRONT FACADES SHALL HAVE SHUTTERS OR WINDOW TRIM.
 - K. A MINIMUM 64 SF REAR PATIO.
 - L. AT LEAST ONE WINDOW ON EACH SIDE ELEVATION.
 - M. NO SINGLE FAMILY DETACHED HOME SHALL BE CONSTRUCTED WITH A FRONT ELEVATION OR COLOR PALETTE THAT IS IDENTICAL TO THE HOME ON EITHER SIDE OF IT OR DIRECTLY ACROSS FROM IT, AND N. A VARIED COLOR PALETTE SHALL BE USED THROUGHOUT THE SUBDIVISION.
- ALL TOWNHOUSE DWELLINGS SHALL HAVE THE FOLLOWING FEATURES:
 - A. A 1 OR 2 CAR GARAGE.
 - B. A MINIMUM 24" STONE OR MASONRY WATER TABLE ALONG THE FRONT ELEVATION.
 - C. IF MASONRY IS NOT THE PREFERRED FIRST FLOOR FINISH, THEN THE FRONT ELEVATION SHALL HAVE 2 TYPES OF SIDING. FOR EXAMPLE, HORIZONTAL SIDING MAY BE COMBINED WITH SHAKEBOARD AND BATTEN.
 - D. ROOF MATERIALS SHALL BE ASPHALT SHINGLES. METAL, COPPER OR WOOD.
 - E. MINIMUM 12" FRONT OVERHANGS.
 - F. A COVERED STOOP OR PORCH AT LEAST 20 SF AND 5 FT DEEP.
 - G. SHUTTERS OR WINDOW TRIM SHALL BE ON FRONT FACADE WINDOWS.
 - H. A MINIMUM 64 SF REAR PATIO SHALL BE PROVIDED ON FRONT LOADED TOWNHOUSES.
 - I. AT LEAST ONE WINDOW ON EACH SIDE ELEVATION (EXCLUDING INTERIOR UNITS).
 - J. NO TOWNHOUSE SHALL BE PAINTED A COLOR THAT IS IDENTICAL TO THE HOME ADJACENT ON EITHER SIDE OF IT, AND
 - K. A VARIED COLOR PALETTE SHALL BE USED THROUGHOUT THE SUBDIVISION.
- THE DEVELOPER SHALL OFFER TO DEDICATE THE SECTION OF LAND LABELED AS "PARCEL - A - TOWN OF ROLESVILLE PARK EXPANSION" ON THE CONCEPT PLAN FOR USE AS A PUBLIC PARK. THIS LAND SHALL COUNT TOWARD OPEN SPACE REQUIREMENTS FOR THE OVERALL DEVELOPMENT.
- THE PROJECT SHALL HAVE A PUBLIC GREENWAY STUBBED TO THE 307 S. MAIN STREET PROPERTY LINE NEAR "ACCESS C" AS SHOWN ON THE "PARKER RIDGE TRAFFIC IMPACT ANALYSIS" PREPARED BY STANTEC CONSULTING SERVICES, INC., DATED FEBRUARY 2, 2023 (THE "TIA"), NOTWITHSTANDING THE FOREGOING, THE PROJECT SHALL NOT HAVE A PUBLIC STREET ACCESS TO SCHOOL STREET.

PROJECT OWNER AND CONSULTANT INFORMATION

OWNER/DEVELOPER: LENNAR CORPORATION 1100 PERIMETER PARK DRIVE, SUITE 112 MORRISVILLE, NC 27560 (919) 863-6461	ENGINEER: BGE, INC 5400 WADE PARK BOULEVARD RALEIGH, NORTH CAROLINA 27607 (919) 276-0111	BOUNDARY SURVEYOR: JOHNSON, MIRMIRAN & THOMPSON, INC. 9201 ARBORETUM PARKWAY SUITE 310 RICHMOND, VA 23236 (804) 267-1258	TOPOGRAPHIC SURVEYOR: ADVANCED CIVIL DESIGN, INC. 51 KILMAYNE DRIVE SUITE 102 CARY, NC 27511 (919) 460-2024
CONTACT: MICHAEL TAYLOR, PE LEED AP	CONTACT: DEBRA FERM, P.E.	CONTACT MICHAEL ZMUDA, L.S., P.S.	CONTACT: JAMES WHITACRE, P.E., L.S.

REV	DATE	DESCRIPTION
1	01/02/2025	PER TOWN OF ROLESVILLE COMMENT

DESIGNED BY: DF/CD
DRAWN BY: DF/JWM
REVIEWED BY: DF

BGE
5438 WADE PARK BLVD, SUITE 420
RALEIGH, NC 27607
WWW.BGEINC.COM
NC LICENSE #C-4397

LENNAR
CORPORATION
1100 PERIMETER PARK DRIVE, SUITE 112
MORRISVILLE, NORTH CAROLINA / 27560

PARKER RIDGE
AMENITY CENTER
SDP-24-10
82 SCHOOL STREET
ROLESVILLE, NORTH CAROLINA / 27571

AMENITY
COVER SHEET

FILE NUMBER:
8430-03
DATE: 01/02/2025
L4-0

811
Know what's below.
Call before you dig.

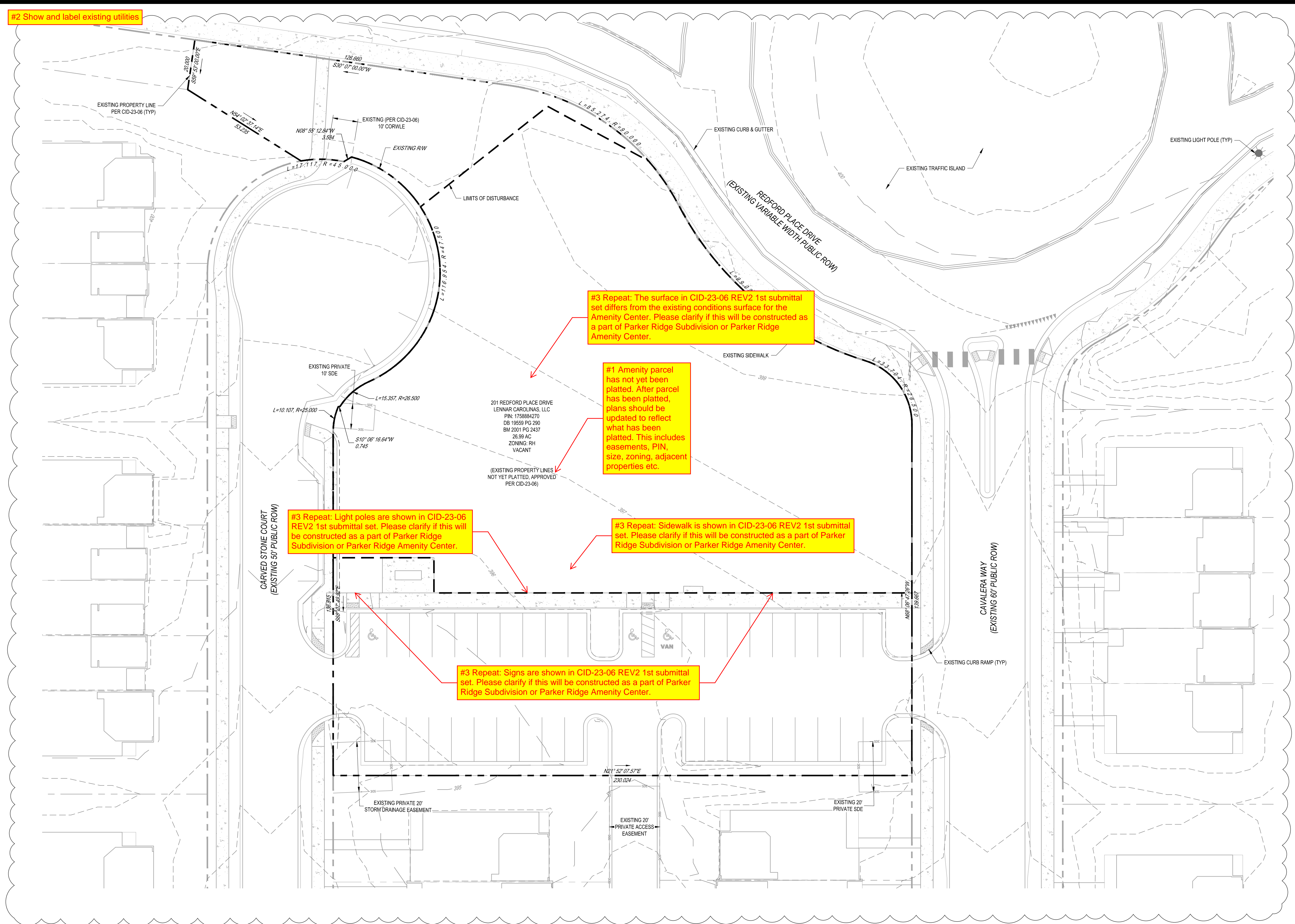
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#2 Show and label existing utilities

1

NOTE: METES AND BOUNDS ARE SHOWN FOR REFERENCE ONLY. THIS PLAN IS NOT TO BE USED FOR PLATTING OR RECORDATION.

G:\NCA\Projects\Lennar\8430-03 - Lennar - School Street - Rolesville\03 - DWG\PlanSheets\On-Site\L4-1 AMENITY - EXISTING CONDITIONS PLAN.dwg Plotted: 1/2/2025 1:44:17 PM



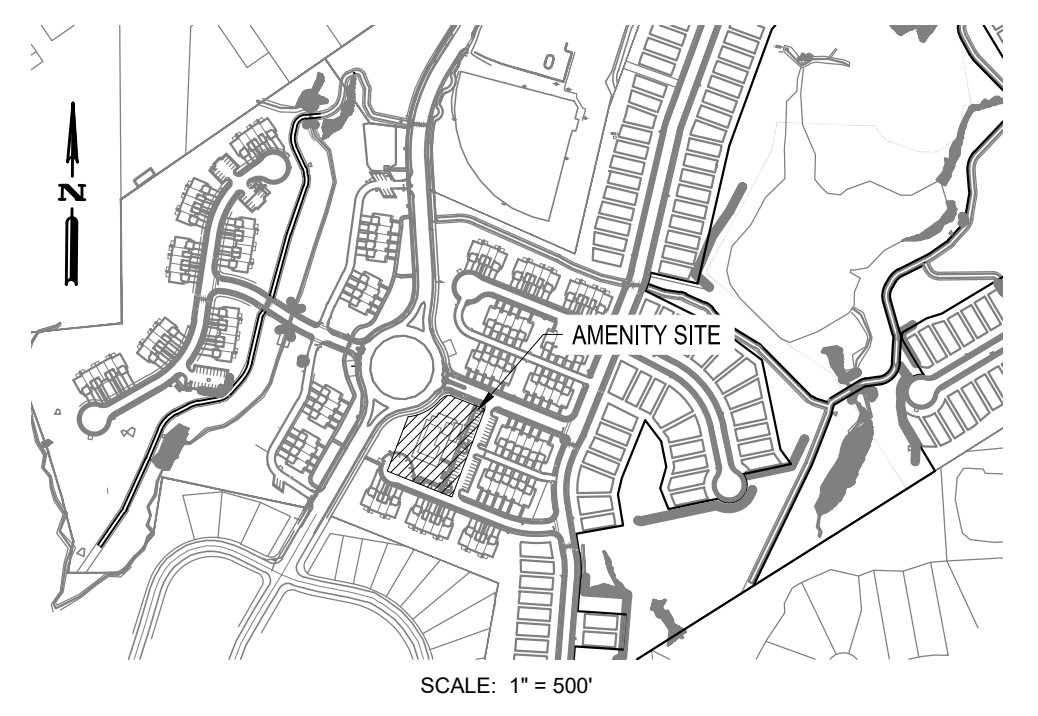
#3 Repeat: The surface in CID-23-06 REV2 1st submittal set differs from the existing conditions surface for the Amenity Center. Please clarify if this will be constructed as a part of Parker Ridge Subdivision or Parker Ridge Amenity Center.

#1 Amenity parcel has not yet been platted. After parcel has been platted, plans should be updated to reflect what has been platted. This includes easements, PIN, size, zoning, adjacent properties etc.

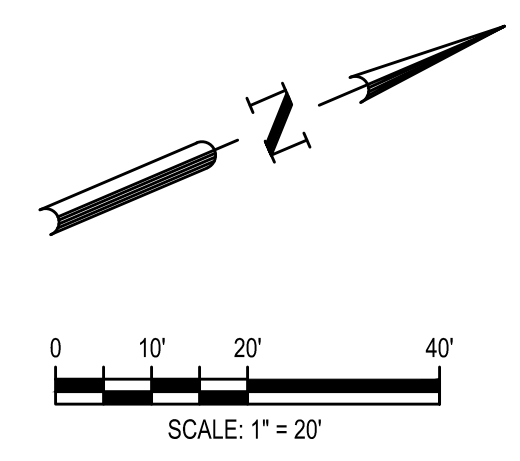
#3 Repeat: Light poles are shown in CID-23-06 REV2 1st submittal set. Please clarify if this will be constructed as a part of Parker Ridge Subdivision or Parker Ridge Amenity Center.

#3 Repeat: Sidewalk is shown in CID-23-06 REV2 1st submittal set. Please clarify if this will be constructed as a part of Parker Ridge Subdivision or Parker Ridge Amenity Center.

#3 Repeat: Signs are shown in CID-23-06 REV2 1st submittal set. Please clarify if this will be constructed as a part of Parker Ridge Subdivision or Parker Ridge Amenity Center.



SCALE: 1" = 500'



SCALE: 1" = 20'

SITE DEVELOPMENT PLAN
TOWN OF ROLESVILLE CASE NUMBER: SDP-24-10



FILE NUMBER:
8430-03
DATE: 01/02/2025

L4-1

REV	DATE	DESCRIPTION
1	01/02/2025	PER TOWN OF ROLESVILLE COMMENT

DESIGNED BY: DF/CD
DRAWN BY: DF/JWM
REVIEWED BY: DF

BCE
5438 WADE PARK BLVD, SUITE 420
RALEIGH NC 27607
WWW.BCEINC.COM
NC LICENSE #C-4397

LENNAR
CORPORAION
1100 PERIMETER PARK DRIVE, SUITE 112
MORRISVILLE / NORTH CAROLINA / 27560

PARKER RIDGE
AMENITY CENTER
SDP-24-10
92 SCHOOL STREET
ROLESVILLE / NORTH CAROLINA / 27571

AMENITY - EXISTING
CONDITIONS

Parking Clubhouse	Bldg	Unit	Per Unit	Additional
Building	1063	sf	1 / 1000 sf	2
Acre	1.29	ac	5/ac	7
Total				9

REV	DATE	DESCRIPTION
1	01/02/2025	PER TOWN OF ROLESVILLE COMMENT

DESIGNED BY: DF/CD
 DRAWN BY: DF/JWM
 REVIEWED BY: DF

BCE
 5438 WADE PARK BLVD, SUITE 420
 RALEIGH NC 27607
 WWW.BCEINC.COM
 NC LICENSE #C-4397
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LENNAR CORPORAION
 1100 PERIMETER PARK DRIVE, SUITE 112
 MORRISVILLE / NORTH CAROLINA / 27560

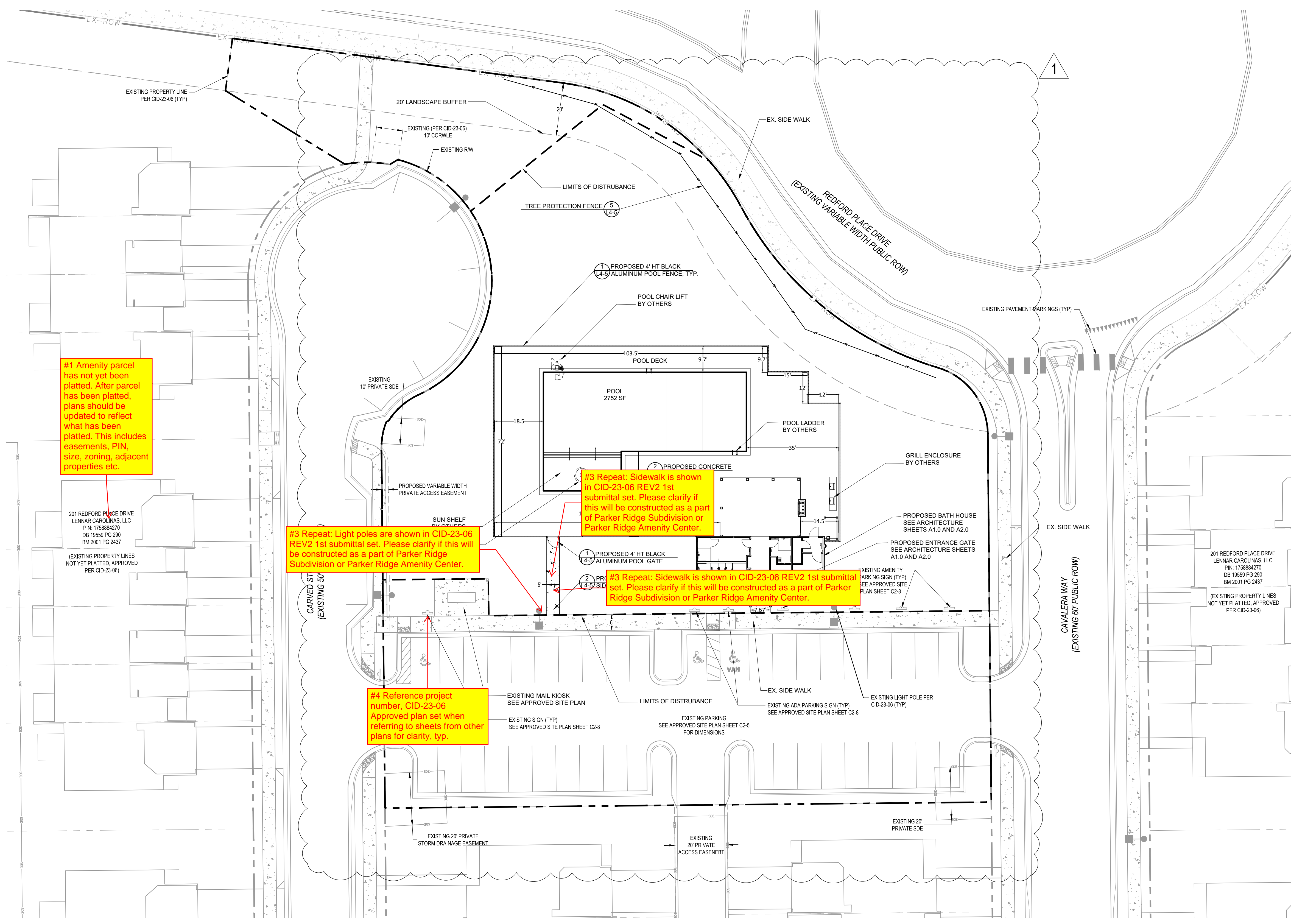
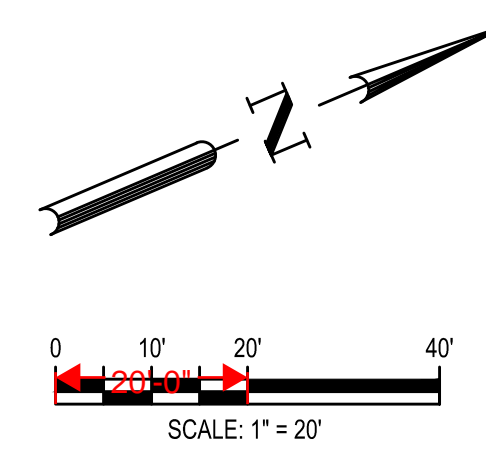
PARKER RIDGE AMENITY CENTER
 SDP-24-10
 82 SCHOOL STREET
 ROLESVILLE / NORTH CAROLINA / 27571

AMENITY - LAYOUT AND HARDSCAPE PLAN

FILE NUMBER:
8430-03
 DATE: 01/02/2025

L4-2

SITE DEVELOPMENT PLAN
 TOWN OF ROLESVILLE CASE NUMBER: SDP-24-10



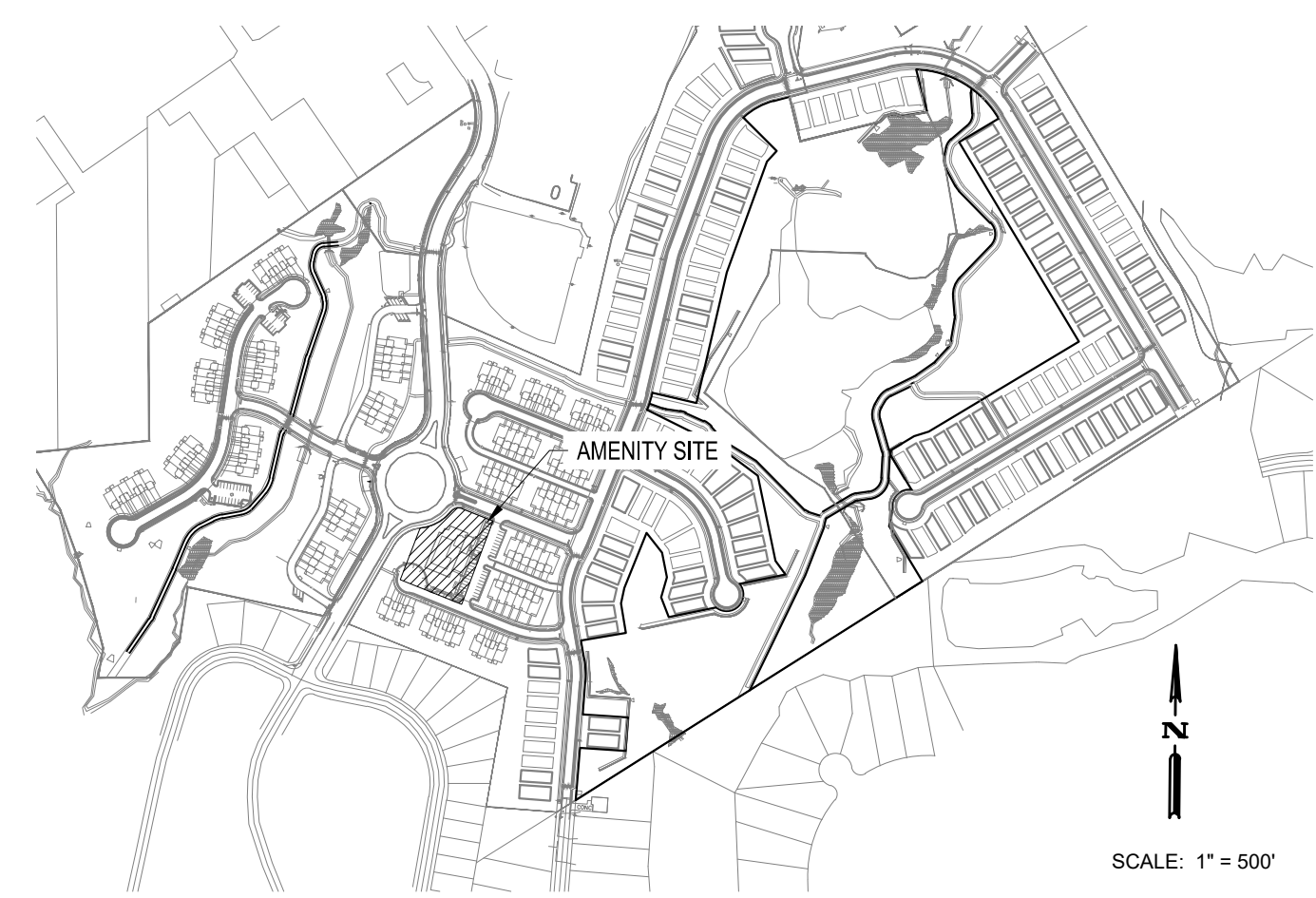
#1 Amenity parcel has not yet been platted. After parcel has been platted, plans should be updated to reflect what has been platted. This includes easements, PIN size, zoning, adjacent properties etc.

#3 Repeat: Light poles are shown in CID-23-06 REV2 1st submittal set. Please clarify if this will be constructed as a part of Parker Ridge Subdivision or Parker Ridge Amenity Center.

#3 Repeat: Sidewalk is shown in CID-23-06 REV2 1st submittal set. Please clarify if this will be constructed as a part of Parker Ridge Subdivision or Parker Ridge Amenity Center.

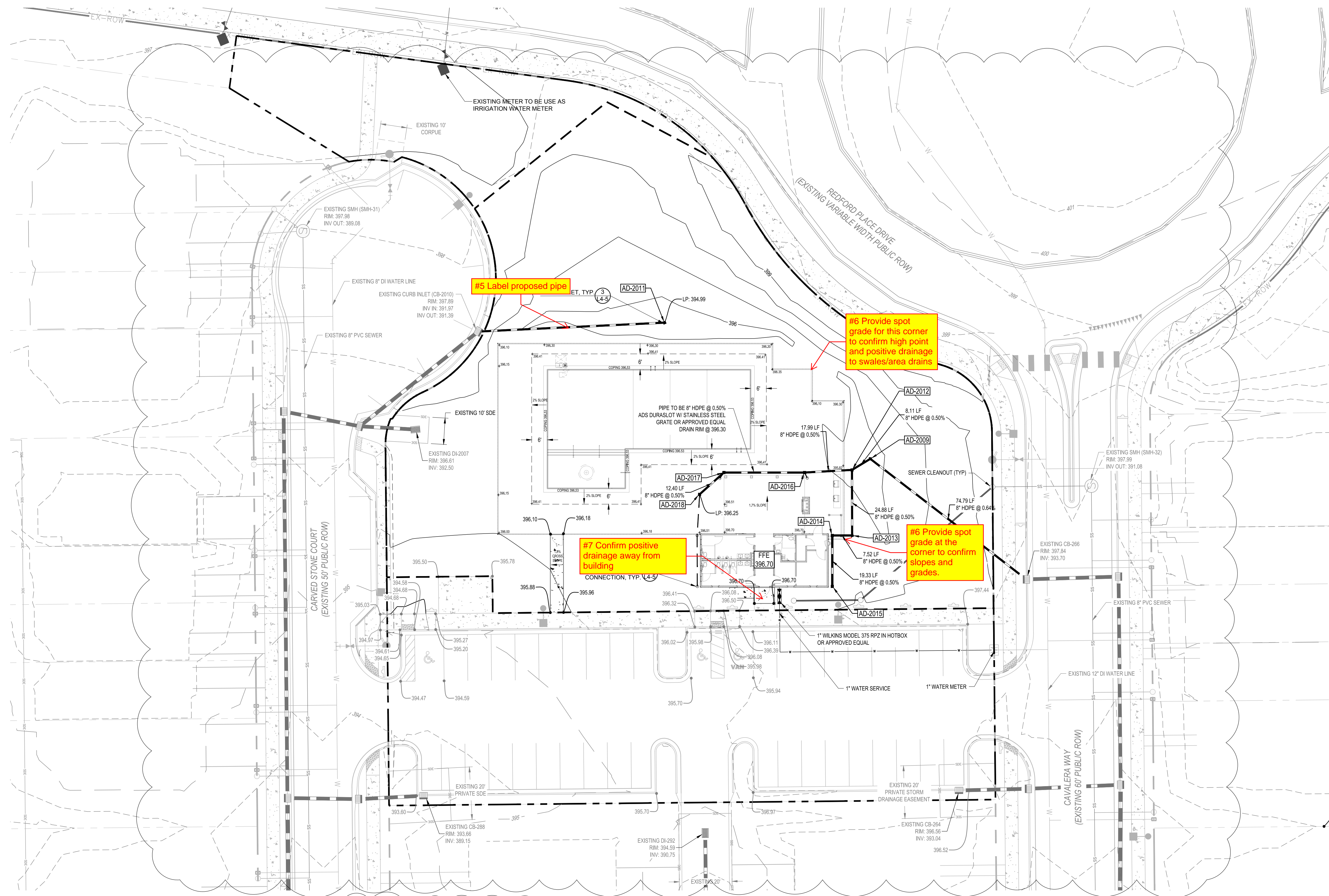
#3 Repeat: Sidewalk is shown in CID-23-06 REV2 1st submittal set. Please clarify if this will be constructed as a part of Parker Ridge Subdivision or Parker Ridge Amenity Center.

#4 Reference project number, CID-23-06 Approved plan set when referring to sheets from other plans for clarity, typ.



G:\NCA\Projects\Lennar\8430-03 - Lennar - School Street - Rolesville\03 - DWG\PlanSheets\On-Site\L4-2 AMENITY - LAYOUT AND HARDSCAPE PLAN.dwg Layout: L4-2 AMENITY - LAYOUT AND HARDSCAPE PLAN Plotted: 1/2/2025 1:43:35 PM

G:\NCA\Projects\Lennar\8430-03 - Lennar - School Street - Rolesville\03 - DWG\PlanSheets\On-Site\L4-3 AMENITY - GRADING AND DRAINAGE PLAN.dwg Layout: L4-3 AMENITY - GRADING AND DRAINAGE PLAN Plotted: 12/20/2025 1:08:38 PM



PROPOSED GRADING AND DRAINAGE LEGEND

	PROPOSED BORING
	PROPOSED DETENTION
	PROPOSED CLEARING LIMITS
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED SPOT
	PROPOSED GRADING ARROW
	PROPOSED SWALE
	PROPOSED STORM
	PROPOSED STORM SYMBOL
	PROPOSED BUILDING SPOT
	PROPOSED STEM WALL
	FINISHED PAD ELEVATION

PROPOSED UTILITY LEGEND

	PROPOSED DOMESTIC WATER
	PROPOSED FIRE WATER
	PROPOSED IRRIGATION
	PROPOSED SANITARY
	PROPOSED EASEMENT
	PROPOSED STORM EASEMENT
	TREE PROTECTION FENCE
	EXISTING STORM EASEMENT

NOTE: WHERE DISCHARGE TO THE STORM SEWER IS NOT POSSIBLE AND A SWIMMING POOL IS CONNECTED TO THE SANITARY SEWER SYSTEM FOR THE PURPOSES OF DRAINING OR FLUSHING THE POOL / FOUNTAIN OR BACKWASHING THE FILTERS, THE DRAINAGE SYSTEM SHALL BE EQUIPPED WITH A PUMP OR FLOW RESTRICTOR SO THAT THE DISCHARGE RATE TO THE SANITARY SEWER DOES NOT EXCEED 50 GPM.

NOTE: EXISTING (PER CID-23-06) PARKING LOT SPOT GRADES ARE SHOWN IN GRAY AND FOR REFERENCE ONLY.

1

1



STRUCTURE DATA TABLE

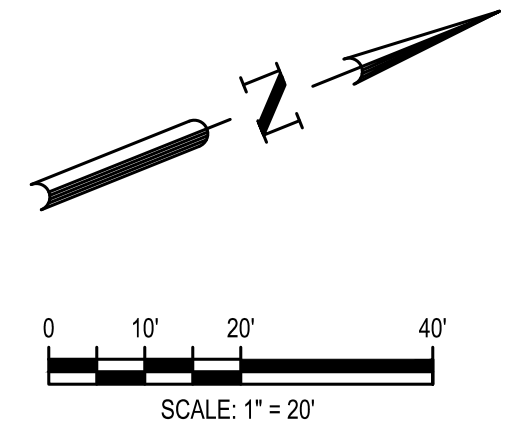
STRUCTURE NAME	RIM ELEV.	PIPE IN SIZE	INV. IN	INV. OUT	PIPE OUT SIZE	PIPE OUT TO NODE
AD-2009	395.27	8"	394.28 (S)	394.28	8"	CB-266
AD-2011	394.99			392.32	8"	CB-2010
AD-2012	395.75	8"	394.42 (E) 394.42 (S)	394.32 (N)	8"	AD-2009
AD-2013	396.63	8"	394.65 (S)	394.55 (W)	8"	AD-2012
AD-2014	396.67	8"	394.79 (E)	394.69 (N)	8"	AD-2013
AD-2015	396.74			394.88 (W)	8"	AD-2014
AD-2016	396.30	8"	394.51 (S)	394.51 (N)	8"	AD-2012
AD-2017	396.30	8"	394.66 (S)	394.66 (N)	8"	AD-2016
AD-2018	396.25			394.72 (N)	8"	AD-2017

1

#8 Please provide 0.2' drop between invert in and invert out if AD product allows

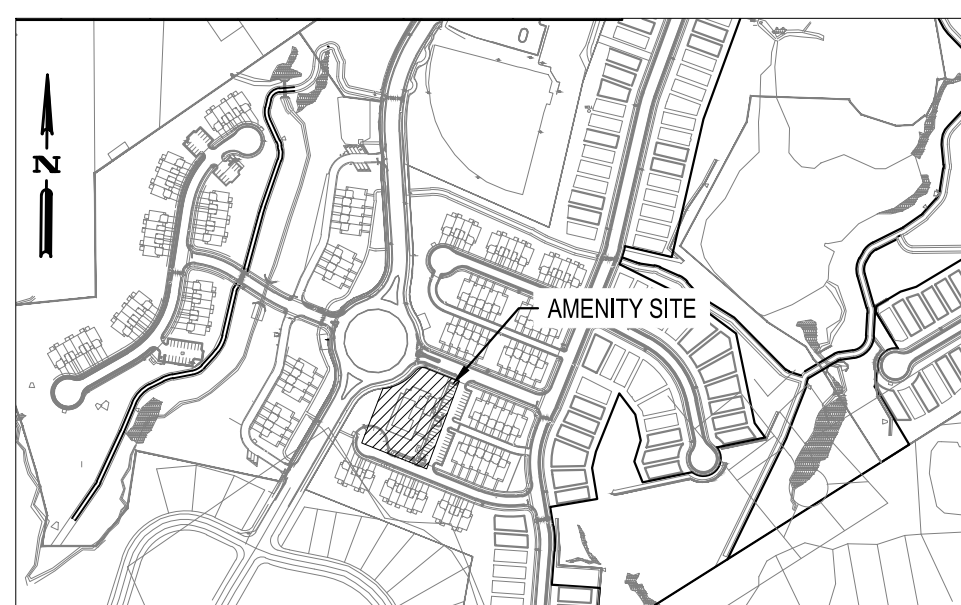
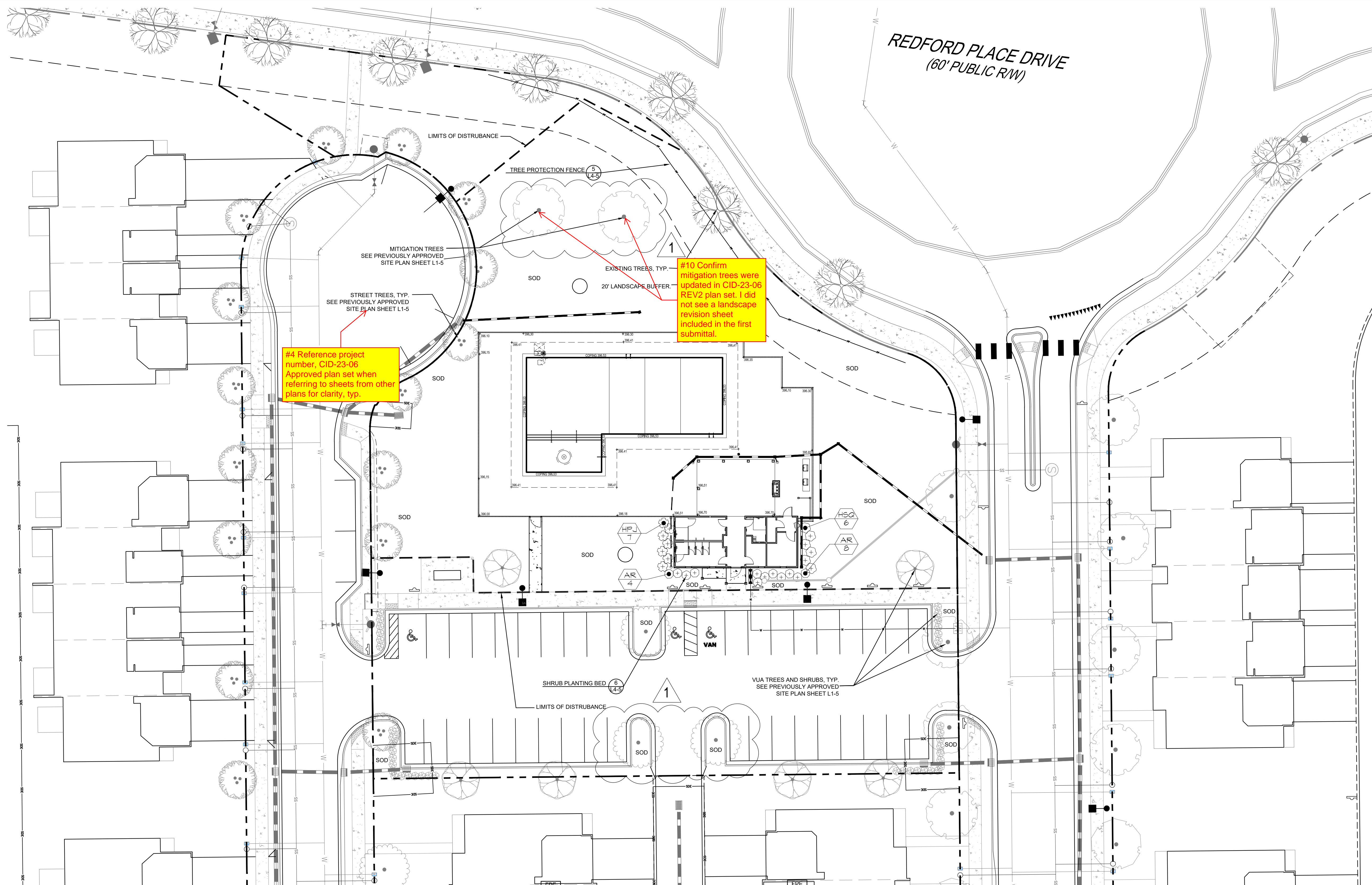
#9 Provide 2' minimum ground cover over pipes, typ.

SITE DEVELOPMENT PLAN
TOWN OF ROLESVILLE CASE NUMBER: SDP-24-10



 5438 WADE PARK BLVD, SUITE 420 RALEIGH, NC 27607 WWW.BCEINC.COM NC LICENSE #C-4397	DESIGNED BY: DF/CD	DATE: 01/02/2025	DESCRIPTION: PER TOWN OF ROLESVILLE COMMENT
	DRAWN BY: DF/JWM	REV: 1	
	REVIEWED BY: DF		
LENNAR CORPORAION 1100 PERIMETER PARK DRIVE, SUITE 112 MORRISVILLE / NORTH CAROLINA / 27560			
PARKER RIDGE AMENITY CENTER SDP-24-10 82 SCHOOL STREET ROLESVILLE / NORTH CAROLINA / 27571			
AMENITY - GRADING, DRAINAGE AND UTILITIES PLAN			
FILE NUMBER: 8430-03			
DATE: 01/02/2025			
L4-3			

G:\NCA\Projects\Lennar\8430-03 - Lennar - School Street - Rolesville\03 - DWG\PlanSheets\On-Site\L4-4 AMENITY - PLANTING PLAN.dwg Layout: L4-4 AMENITY - PLANTING PLAN Plotted: 1/2/2025 1:43:04 PM



SCALE: 1" = 500'

SODDING NOTES

SITE PREPARATION

1. CONTRACTOR TO FINE GRADE ALL SOD AREAS PRIOR TO INSTALLATION
2. CONTRACTOR TO LOOSEN SOIL TO A DEPTH OF 4" BY DISKING, RAKING, ROTO-TILLING, OR OTHER ACCEPTABLE MEANS, AND RAKE SMOOTH ENSURING ALL ROOTS, DEBRIS, AND STONES GREATER THAN 1"Ø ARE REMOVED.
3. CONTRACTOR TO PROVIDE A SOIL pH AND NUTRIENT TEST TO LANDSCAPE ARCHITECT PRIOR TO INSTALLATION, AND AMEND SOIL AS NEEDED PER LOCAL COOPERATIVE EXTENSION OFFICE GUIDELINES TO ACHIEVE IDEAL GROWING CONDITIONS FOR BOTH TURF AND LANDSCAPE BEDS.
4. ALL SODDED AREAS SHALL BE FINISHED GRADE AT THE THICKNESS OF SOD.

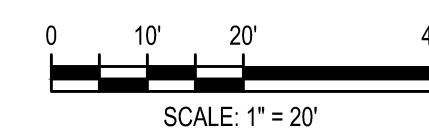
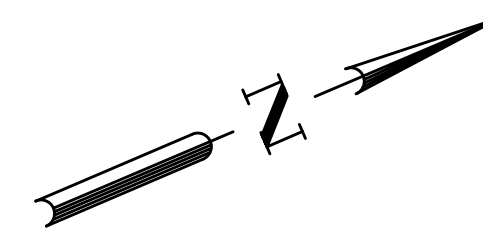
NO SODDED AREAS SHALL BE INSTALLED UNTIL ALL OTHER CONSTRUCTION ACTIVITIES, INCLUDING PLANTING AND MULCHING, HAVE OCCURRED.

SOD INSTALLATION

1. CONTRACTOR TO ENSURE SOD AREAS UTILIZE ROLLS THAT ARE NOT BROKEN OR STRETCHED AND FREE OF DISEASE, PESTS, AND THATCH.
2. SODDING SHALL OCCUR IN EARLY SPRING OR EARLY FALL AND SHALL BE INSTALLED WITHIN 24 HOURS OF ARRIVING ON SITE UNLESS APPROVED OTHERWISE BY LANDSCAPE ARCHITECT.
3. SOD SHALL BE LAID PARALLEL TO THE CONTOURS ON SITE AND HAVE STAGGERED JOINTS. SOD SHALL BE STAKED ON SLOPES GREATER THAN 3:1 OR IN DRAINAGE SWALES.
4. CONTRACTOR TO APPLY STARTER FERTILIZER AT TIME OF SODDING AT A RATE RECOMMENDED BY THE MANUFACTURER.
5. CONTRACTOR IS RESPONSIBLE FOR WATERING AND CONTINUED MAINTENANCE OF SODDED AREAS UNTIL PROJECT COMPLETION

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	HT	SPR	CONT
SHRUBS							
+	AR	11	Abelia x 'Rose Creek'	Rose Creek Abelia	24" ht	18" spr	3 gal
+	HPJ	7	Hydrangea paniculata 'Jane'	Little Lime® Panicle Hydrangea	24" ht	18" spr	3 gal
+	HSG	6	Hydrangea quercifolia 'Snow Queen'	Snow Queen Oakleaf Hydrangea	24" ht	18" spr	3 gal



SITE DEVELOPMENT PLAN
TOWN OF ROLESVILLE CASE NUMBER: SDP-24-10



FILE NUMBER:
8430-03
DATE: 01/02/2025

L4-4

REV	DATE	DESCRIPTION
1	01/02/2025	PER TOWN OF ROLESVILLE COMMENT

DESIGNED BY: DF/CD
DRAWN BY: DF/JWM
REVIEWED BY: DF

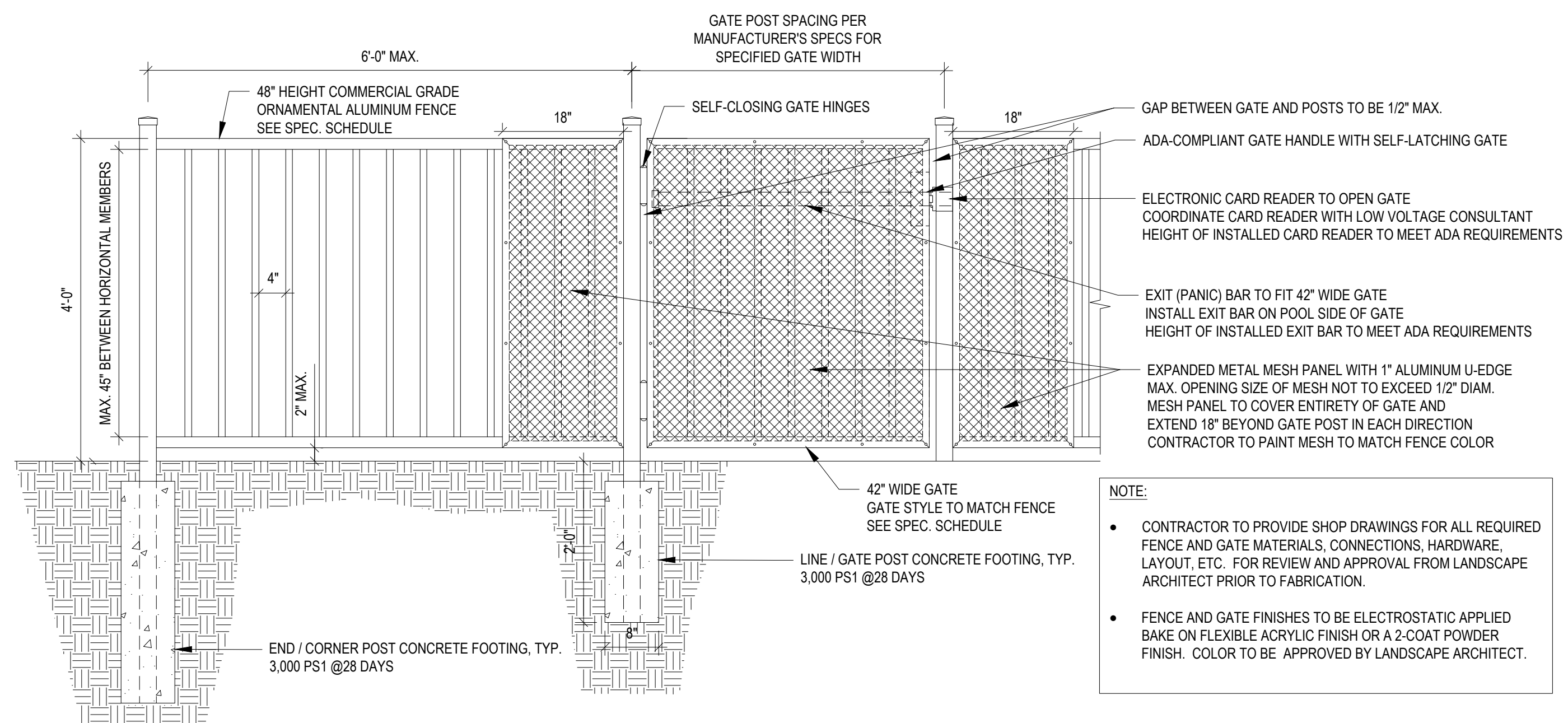
BCE
5438 WADE PARK BLVD, SUITE 420
RALEIGH, NC 27607
WWW.BCEINC.COM
NC LICENSE #C-4397

LENNAR
CORPORAION
1100 PERIMETER PARK DRIVE, SUITE 112
MORRISVILLE / NORTH CAROLINA / 27560

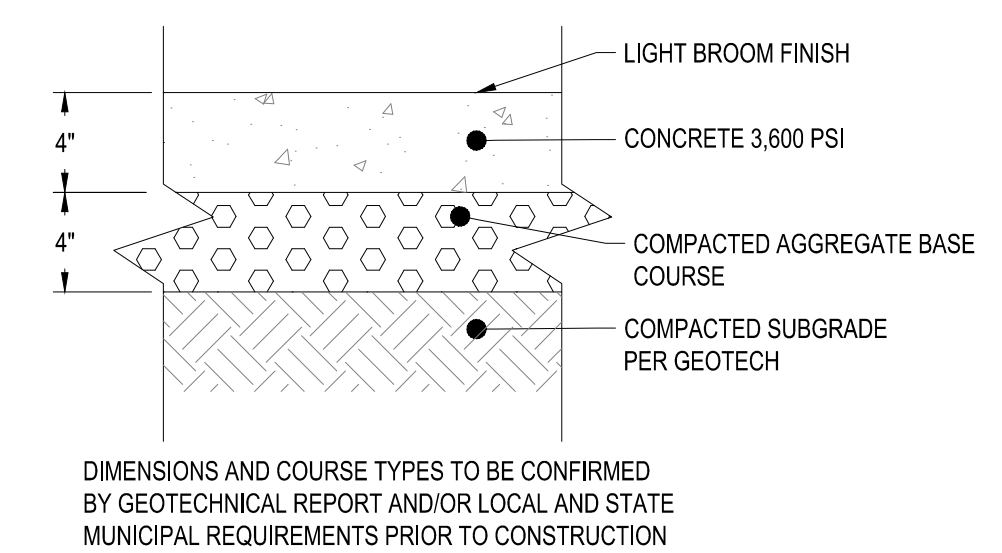
PARKER RIDGE
AMENITY CENTER
SDP-24-10
82 SCHOOL STREET
ROLESVILLE / NORTH CAROLINA / 27571

AMENITY - PLANTING PLAN

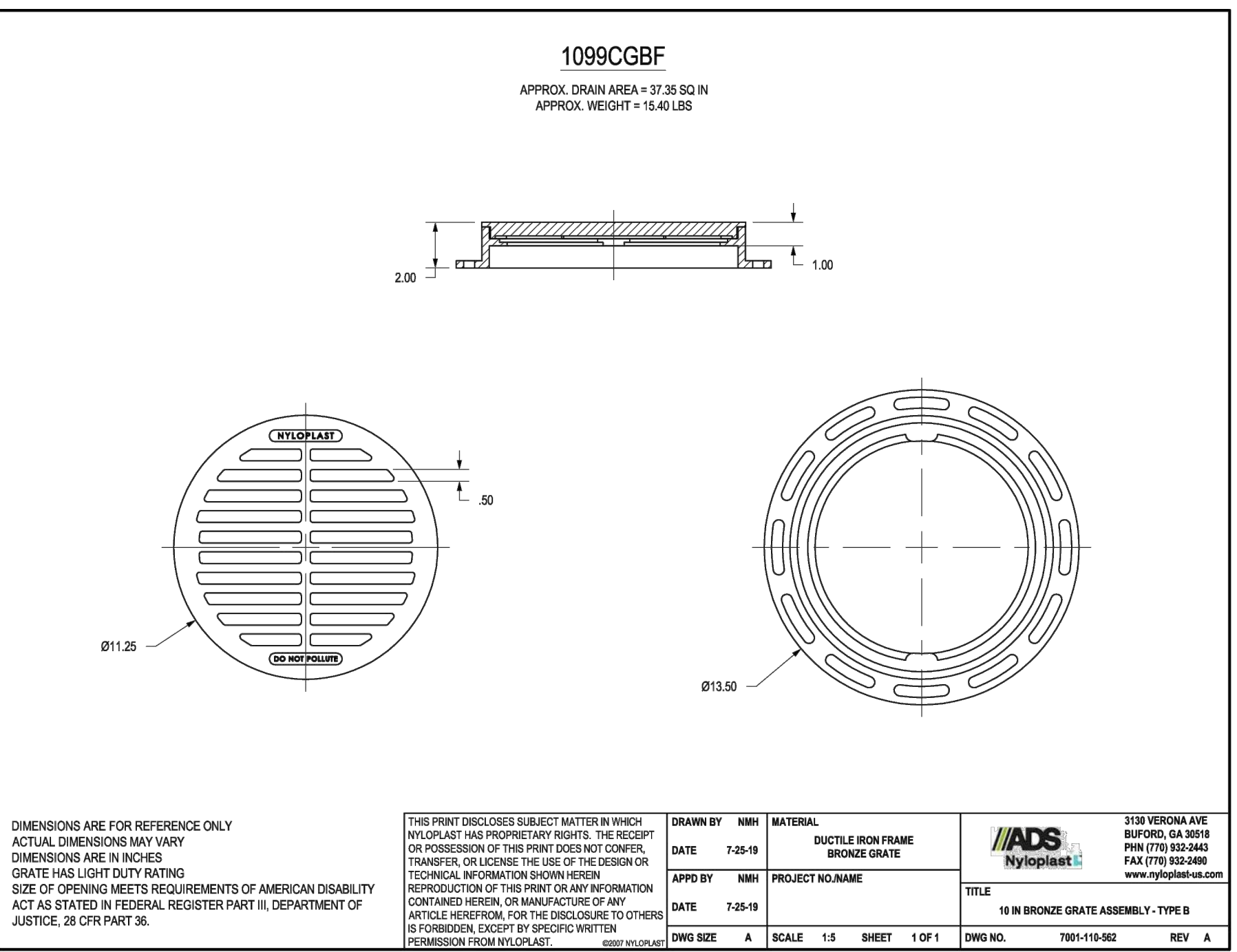
©2025



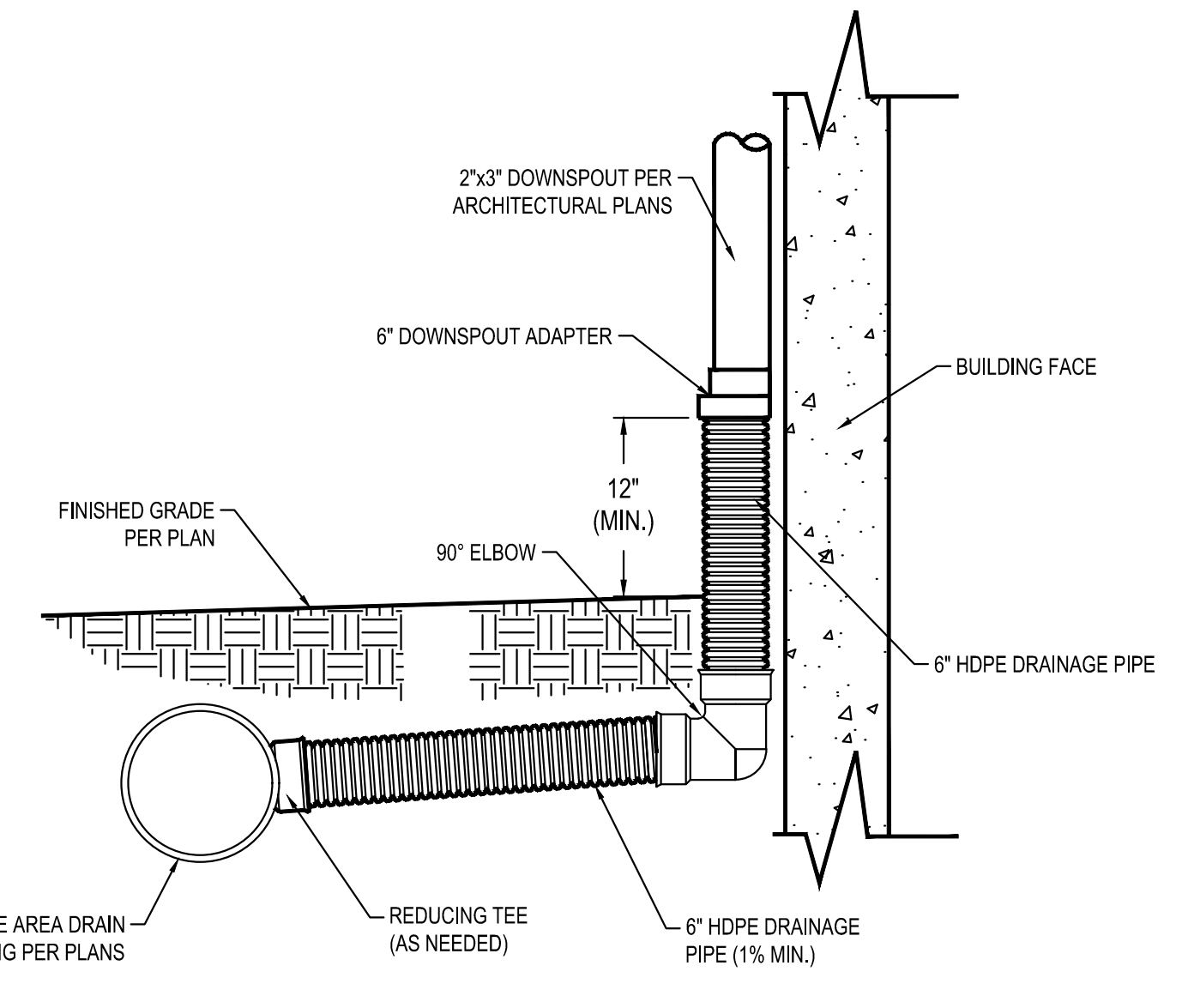
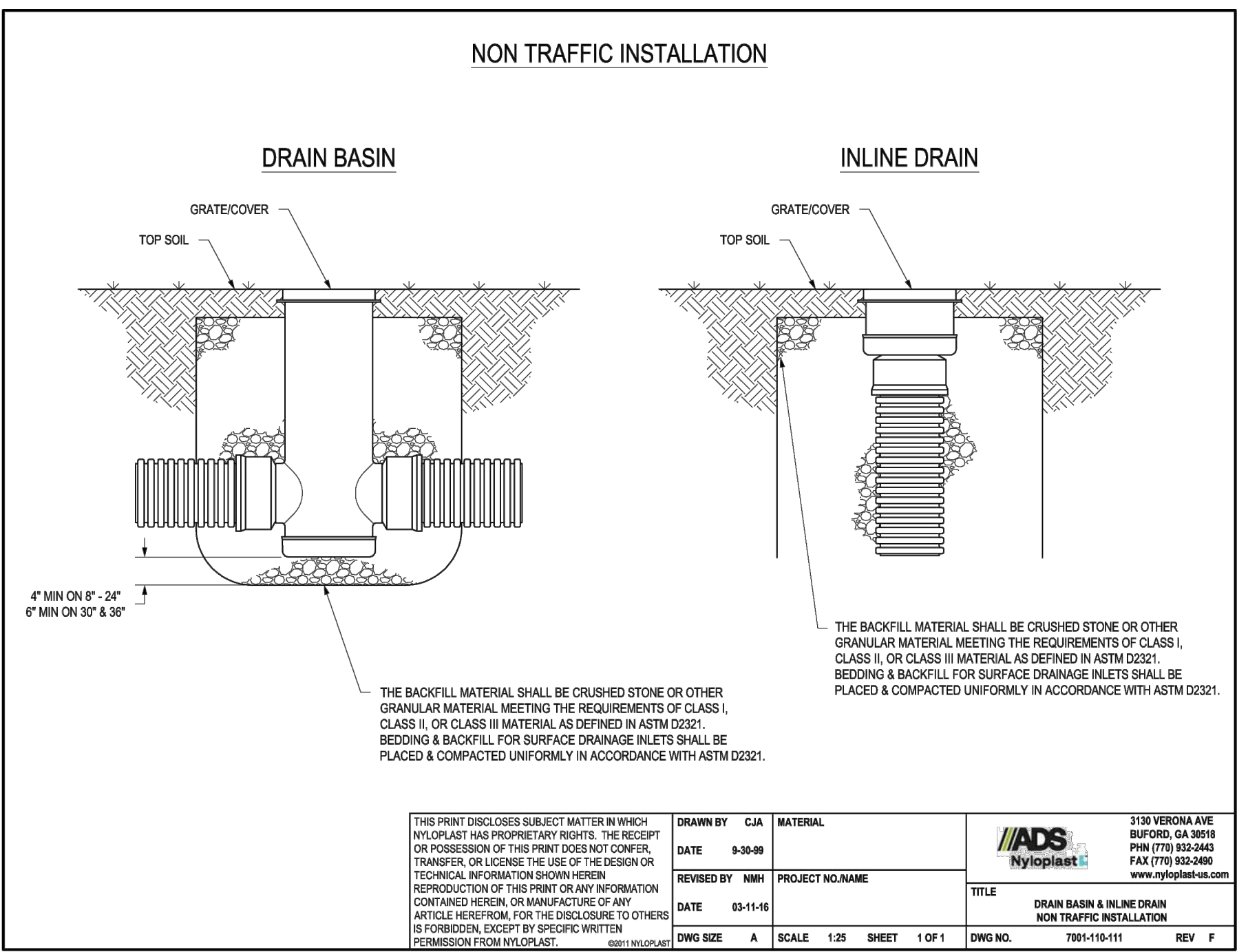
1 POOL FENCE AND GATE
 SCALE: 3/4" = 1'-0"



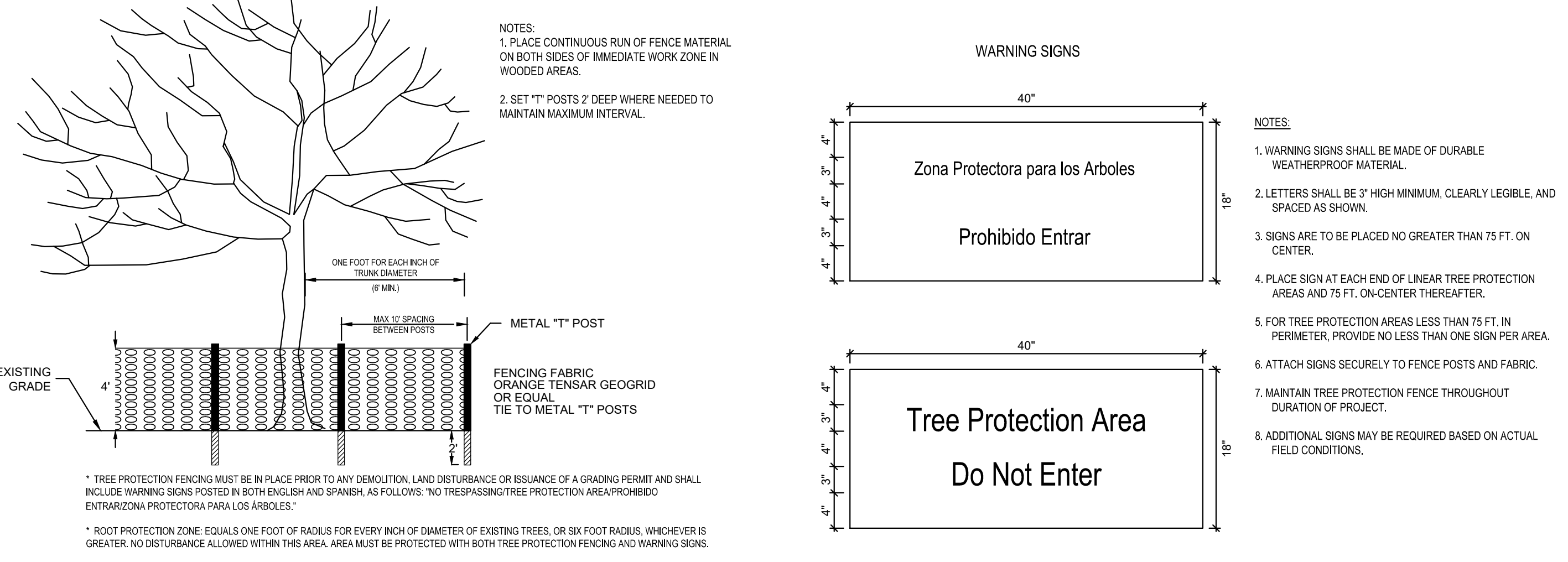
2 LIGHT DUTY CONCRETE SIDEWALK/PAVEMENT SECTION
 NOT TO SCALE



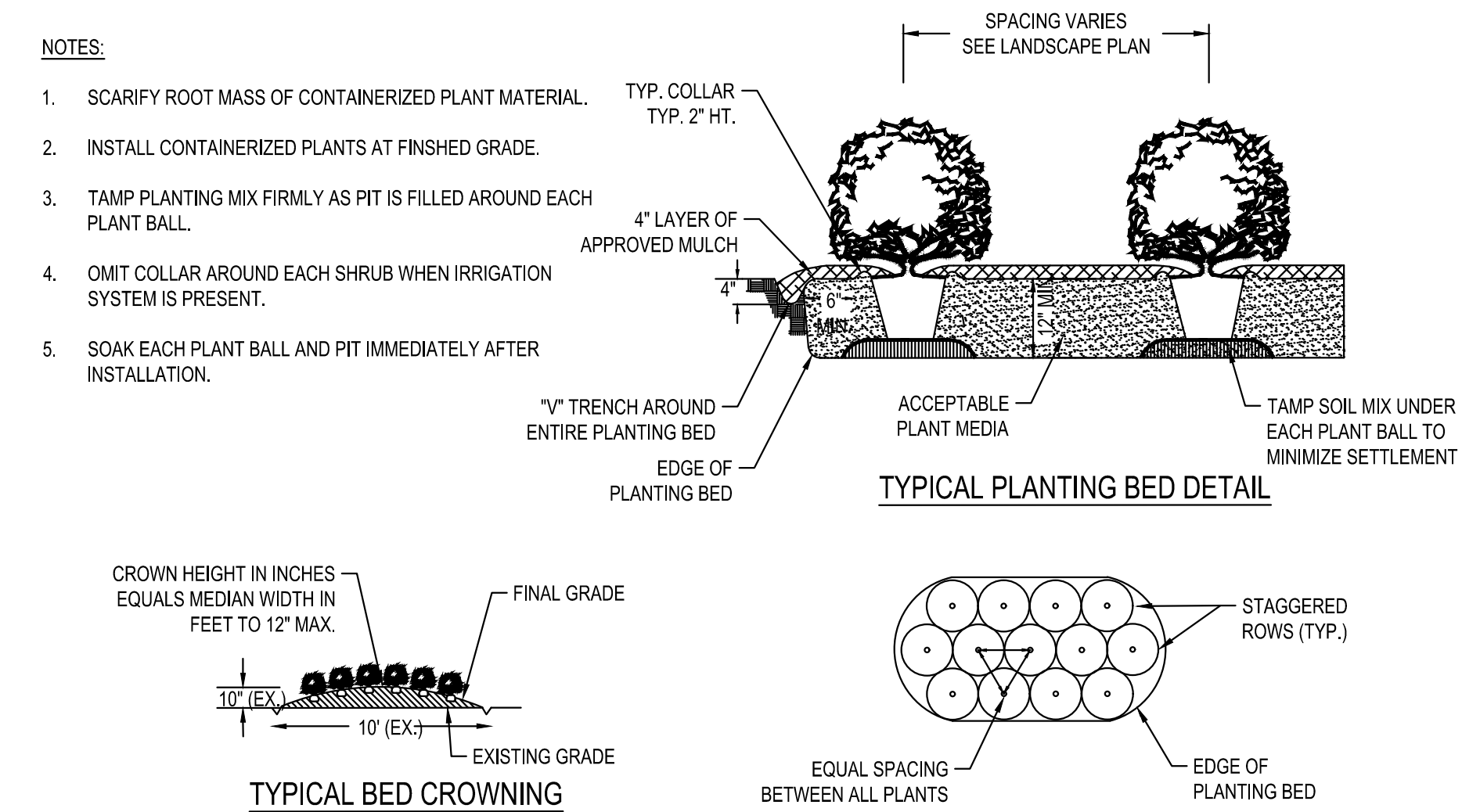
3 DRAIN INLET
 NOT TO SCALE



**4 6\"/>
 NOT TO SCALE**



5 TREE PROTECTION FENCE DETAIL
 NOT TO SCALE



6 SHRUB PLANTING BED DETAIL
 NOT TO SCALE

PER TOWN OF ROLESVILLE COMMENT
 DATE 01/02/2025
 REV
 DESIGNED BY: DFC/D
 DRAWN BY: DFC/JWM
 REVIEWED BY: DF

BCE
 5438 WADE PARK BLVD, SUITE 420
 RALEIGH NC 27607
 WWW.BCEINC.COM
 NC LICENSE #C-4387
 ©2023

**LENNAR
 CORPORAION**
 1100 PERIMETER PARK DRIVE, SUITE 112
 MORRISVILLE / NORTH CAROLINA / 27560

**PARKER RIDGE
 AMENITY CENTER**
 SDP-24-10
 62 SCHOOL STREET
 ROLESVILLE / NORTH CAROLINA / 27571

**AMENITY - SITE AND
 PLANTING DETAILS
 (1 OF 2)**

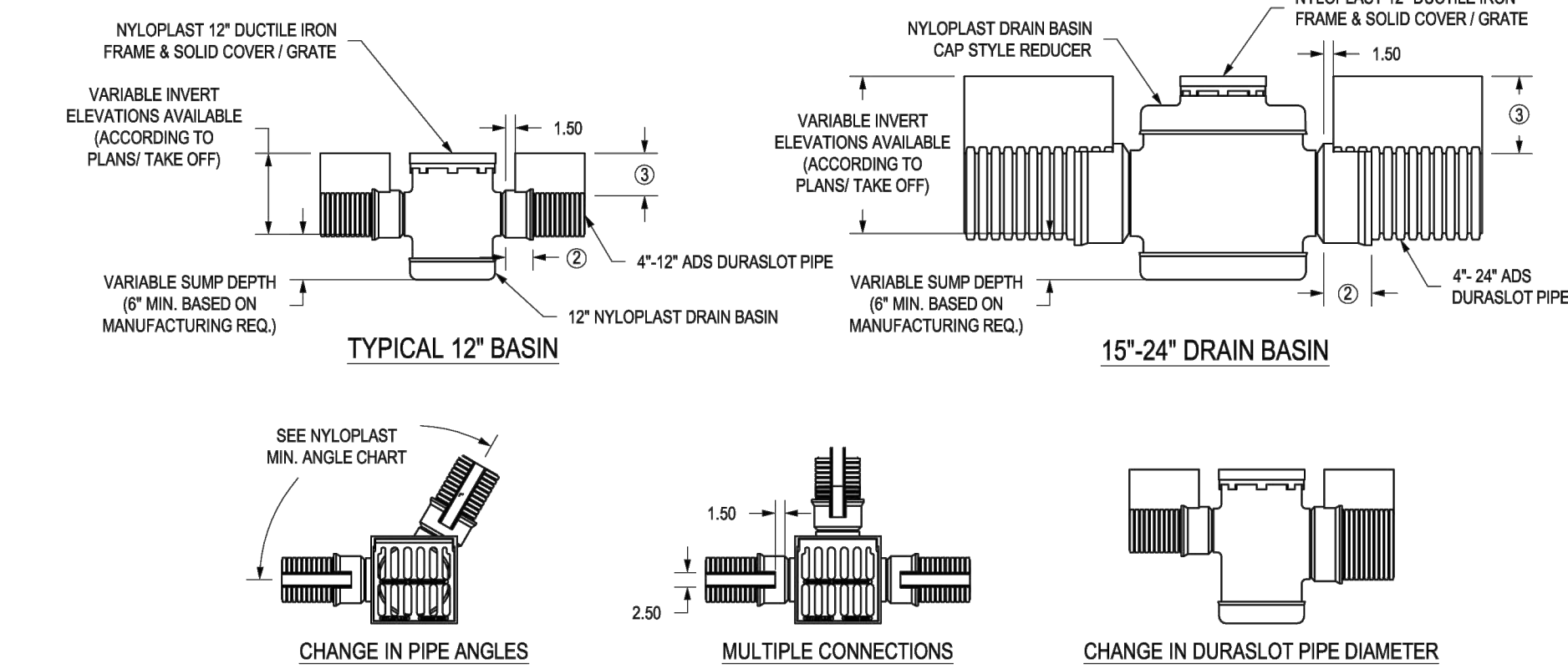
FILE NUMBER:
 8430-03
 DATE: 01/02/2025
L4-5



G:\INCA\Projects\Lennar\8430-03 - Lennar - School Street - Rolesville\03 - DWG\PlanSheets\On-Site\4-6 SITE AND PLANTING DETAILS (1 OF 2).dwg Layout: L4-5 AMENITY - SITE AND PLANTING DETAILS (1 OF 2) - Plotted: 1/22/2025 1:41:17 PM

C:\Inca\Projects\Lennar\84-30-03 - Lemar - School Street - Rolesville\03 - DWG\Plan\Sheet\03-SiteL4-6 SITE AND PLANTING DETAILS (2 OF 2) - Plotted: 1/22/2025 1:40:36 PM

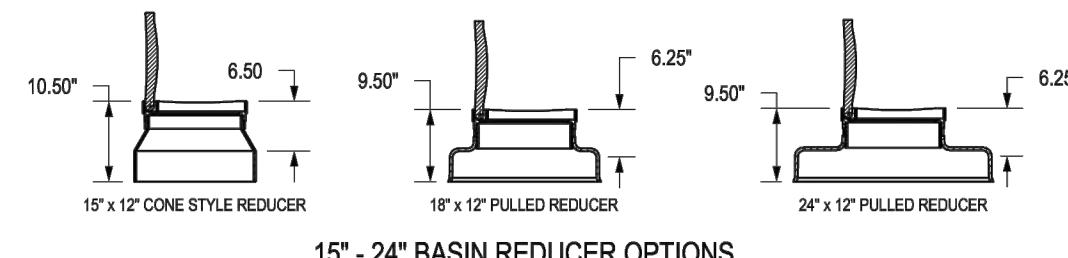
NYLOPLAST DRAIN BASIN STANDARD DETAIL FOR 4" - 24" DURASLOT PIPE



NYLOPLAST 12" CASTINGS			
GRATE OPTIONS	LOAD RATING	PART #	DRAWING #
SPRINKLER	METH-H-20	1399SC	7001-110-201
SOLID COVER	METH-H-20	1399SC	7001-110-204

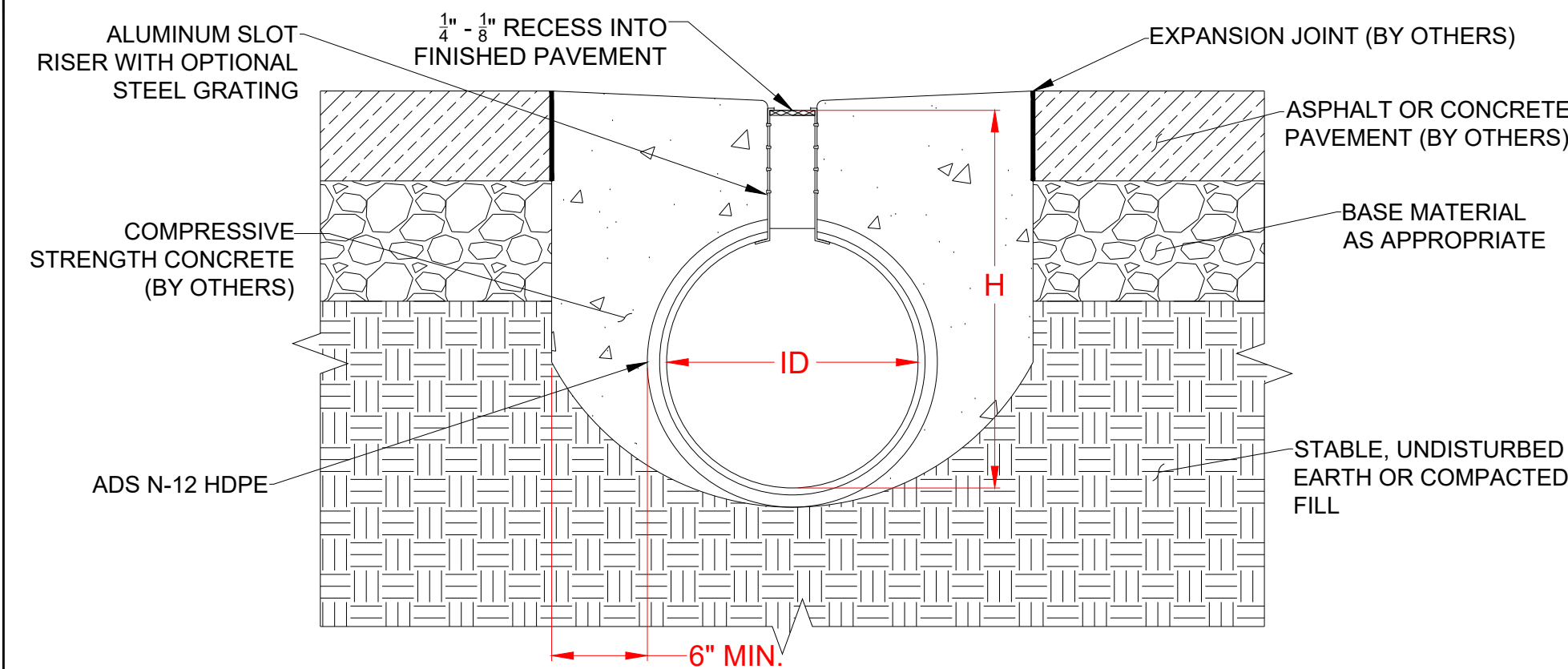
- 1 - NYLOPLAST 12" FRAMES & SOLID COVERS/GRATES SHALL CONFORM TO ASTM A 536 GRADE 70-50-05 FOR DUCTILE IRON.
- 2 - ADAPTERS FOR DURASLOT CONNECTION RANGE BETWEEN 4" - 24". SEE DRAWING NO. 7001-110-076 FOR ADS N-12 BELL INFORMATION.
- 3 - SLOT HEIGHT VARIES DEPENDING ON DESIGN CRITERIA. SLOT HEIGHT CAN RANGE FROM 2.25" TO 36". 15" - 24" BASINS WILL REQUIRE SLOTS TALLER THAN STANDARD 2.25" - 4" SLOTS.
- 4 - ENCASE ADAPTER IN CONCRETE TO SEAL CONNECTION BETWEEN ADS DURASLOT PIPE AND NYLOPLAST TEE BODY.
- 5 - RECTANGULAR SLOTS ARE TO BE CUT INTO BELL ON NYLOPLAST TEE DURING THE MANUFACTURING PROCESS TO ALLOW PIPE AND TEE TO FIT PROPERLY.
- 6 - 18" AND 24" REDUCERS ARE A CUSTOM PART. 15" X 12" CONE STYLE REDUCER IS TYPICAL, BUT REQUIRES TOP TO BE TRIMMED. BASINS WITH REDUCERS WILL REQUIRE CUSTOM SLOT HEIGHTS.
- 7 - DIMENSIONS ARE FOR REFERENCE ONLY. ACTUAL DIMENSIONS MAY VARY. DIMENSIONS ARE IN INCHES.

USES FOR DURASLOT BASINS



DATE	DESCRIPTION	BY	CHKD
3-27-20	Updated logo and table	KJS	10/23/24

REV	DESCRIPTION	BY	CHKD
1	Duraslot Moderate Traffic Installation		

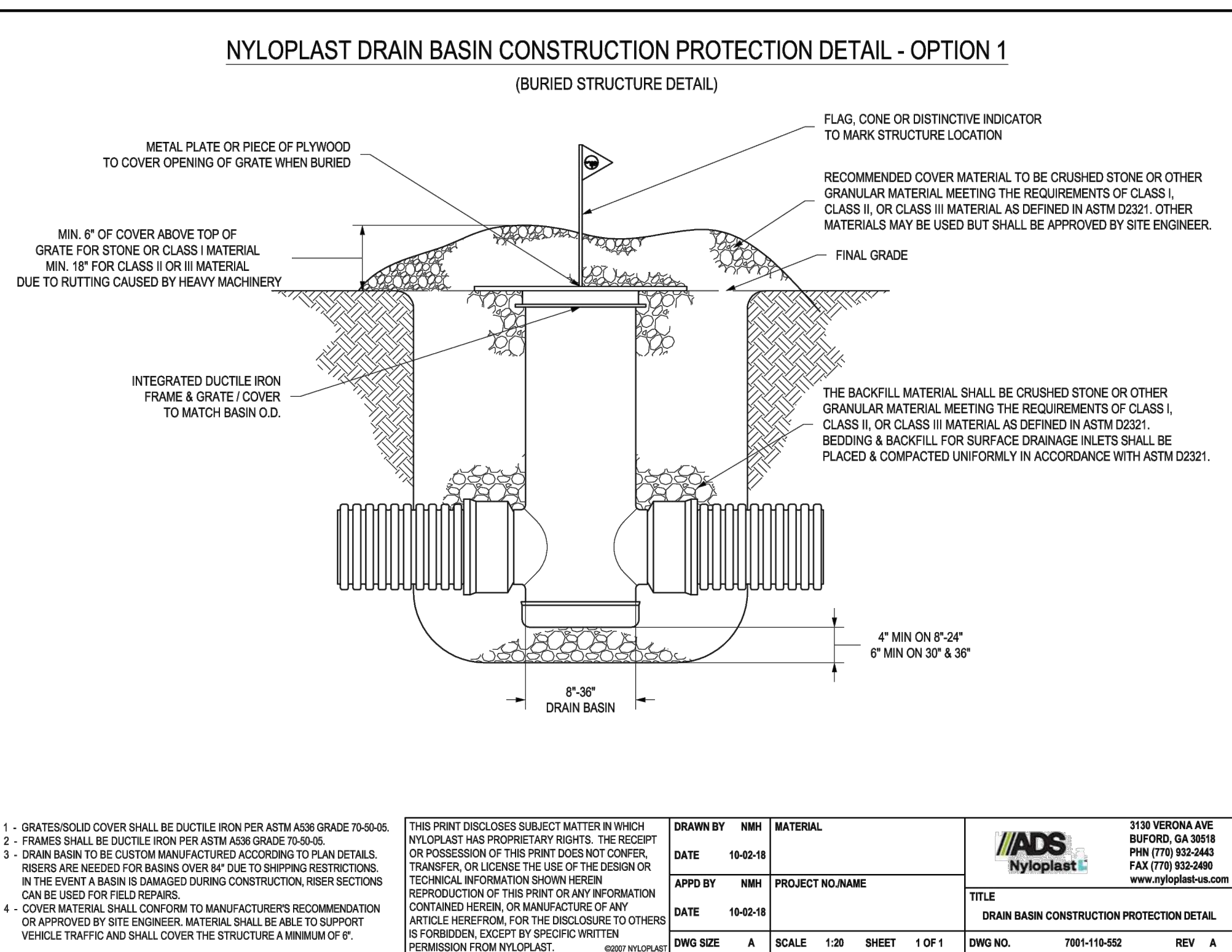


Nominal Diameter, ID, in. (mm)	Depth of Invert, H, in. (mm)	
	Minimum	Maximum
4 (100)	10.25 (260)	28.00 (711)
6 (150)	12.50 (318)	30.00 (762)
8 (200)	14.50 (368)	32.00 (813)
10 (250)	16.50 (419)	34.00 (864)
12 (300)	19.00 (483)	48.00 (1219)
15 (375)	22.00 (559)	51.00 (1295)
18 (450)	25.00 (635)	54.00 (1372)
24 (600)	31.25 (794)	60.00 (1524)
30 (750)	38.25 (972)	66.00 (1676)
36 (900)	44.25 (1024)	72.00 (1829)

- NOTES:**
1. BACKFILL DESIGN MAY BE USED FOR LIGHT TO MODERATE TRAFFIC LOADS (I.E. RETAIL PARKING LOTS, AGAINST A CURB, ETC.).
 2. CONCRETE BACKFILL SHOULD EXTEND DOWNWARD TO AT LEAST THE SPRING LINE OF THE PIPE. SOIL BELOW THE PIPE AND CONCRETE SHALL BE A LEAN CLAY OR SIMILAR AT 95% COMPACTION.
 3. SITE ENGINEER TO PROVIDE SITE SPECIFIC DETAILS, SUCH AS CONCRETE STRENGTH OR BACKFILL DESIGN ALTERATIONS.
 4. COUPLER BANDS ARE SOIL-TIGHT. FOR A TIGHTER SEAL, A FULL CONCRETE INSTALLATION, NEOPRENE SHEET, OR MASTIC FILLER (PROVIDED BY OTHER) MAY BE USED.
 5. REFER TO ADS TECH NOTE 2.11 FOR ADDITIONAL DESIGN INFORMATION.

ADVANCED DRAINAGE SYSTEMS, INC. (ADS) HAS PREPARED THIS DETAIL BASED ON INFORMATION PROVIDED TO ADS. THIS DRAWING IS INTENDED TO INDICATE THE COMPONENTS AS REQUESTED. ADS HAS NOT PERFORMED ANY ENGINEERING OR DESIGN SERVICES FOR THIS PROJECT. NOR HAS ADS INDEPENDENTLY VERIFIED THE INFORMATION SUPPLIED. THE INSTALLATION DETAILS PROVIDED HEREIN ARE GENERAL RECOMMENDATIONS AND ARE NOT SPECIFIC FOR THIS PROJECT. THE DESIGN ENGINEER SHALL REVIEW THESE DETAILS PRIOR TO CONSTRUCTION. IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ENSURE THE DETAILS PROVIDED HEREIN MEET OR EXCEEDS THE APPLICABLE NATIONAL, STATE, OR LOCAL REQUIREMENTS AND TO INSURE THAT THE DETAILS PROVIDED HEREIN ARE ACCEPTABLE FOR THIS PROJECT.

7 SLOTTED DRAIN
NOT TO SCALE



- 1 - GRATES/SOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
- 2 - FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
- 3 - DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 14" TO 36" RESTRICTIONS. IN THE EVENT A BASIN IS DAMAGED DURING CONSTRUCTION, RISER SECTIONS CAN BE USED FOR FIELD REPAIRS.
- 4 - COVER MATERIAL SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION OR APPROVED BY SITE ENGINEER. MATERIAL SHALL BE ABLE TO SUPPORT VEHICLE TRAFFIC AND SHALL COVER THE STRUCTURE A MINIMUM OF 4"

DATE	DESCRIPTION	BY	CHKD
10-02-18			
10-02-18			

REV	DESCRIPTION	BY	CHKD
1	DRAIN BASIN CONSTRUCTION PROTECTION DETAIL		

8 NYLOPLAST DRAIN INLET PROTECTION
NOT TO SCALE

SITE DEVELOPMENT PLAN
TOWN OF ROLESVILLE CASE NUMBER: SDP-24-10

DESIGNED BY: DF/CD	DATE: 01/02/2025	PER TOWN OF ROLESVILLE COMMENT	DESCRIPTION
DRAWN BY: DF/JWM	REV: 1		
REVIEWED BY: DF			

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LENNAR CORPORAION
1100 PERMETER PARK DRIVE, SUITE 112
MORRISVILLE / NORTH CAROLINA / 27560

PARKER RIDGE AMENITY CENTER
SDP-24-10
82 SCHOOL STREET
ROLESVILLE / NORTH CAROLINA / 27571

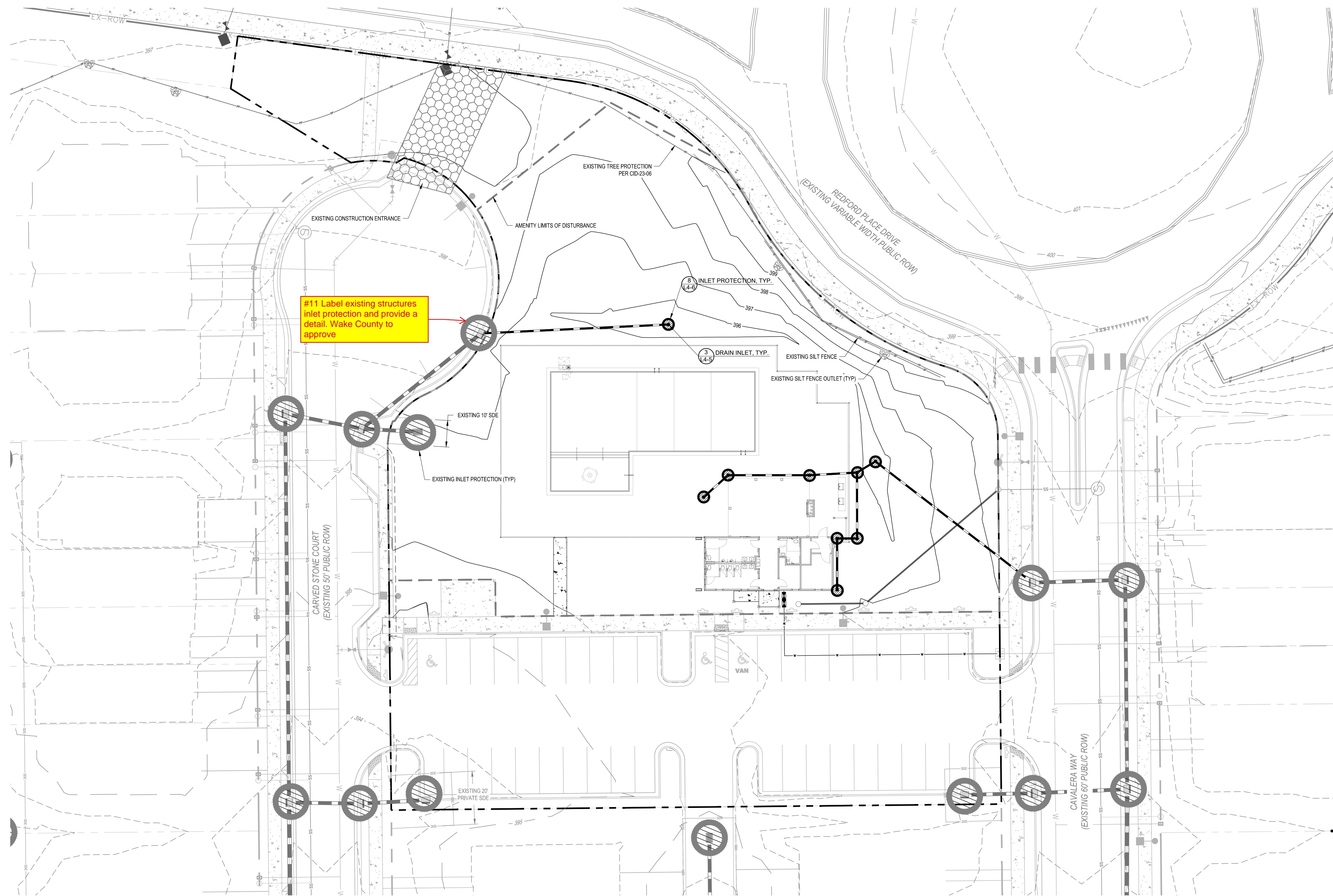
AMENITY - SITE AND PLANTING DETAILS (2 OF 2)

1/2/2025

FILE NUMBER: 8430-03
DATE: 01/02/2025
L4-6



G:\NCA\Projects\Lennar\8430-03 - Lennar - School Street - Rolesville\03 - DWG\PlanSheets\On-Site\L4-3 AMENITY - EROSION CONTROL.dwg Layout: L4-7 AMENITY - EROSION CONTROL Plotted: 1/22/2025 1:38:11 PM



#11 Label existing structures inlet protection and provide a detail. Wake County to approve

PROPOSED GRADING AND DRAINAGE LEGEND

	PROPOSED BORING
	PROPOSED DETENTION
	PROPOSED CLEARING LIMITS
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED SPOT
	PROPOSED GRADING ARROW
	PROPOSED SWALE
	PROPOSED STORM
	PROPOSED STORM SYMBOL
	PROPOSED BUILDING SPOT
	PROPOSED STEM WALL
	FINISHED PAD ELEVATION

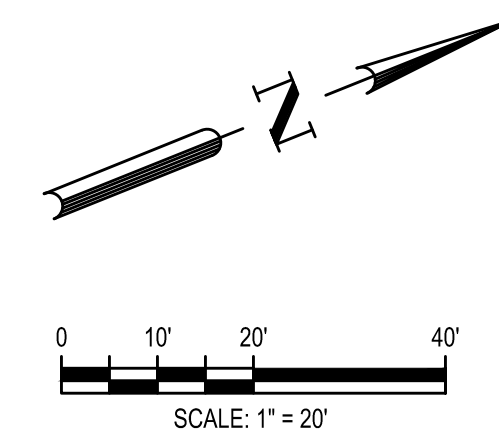
PROPOSED UTILITY LEGEND

	PROPOSED DOMESTIC WATER
	PROPOSED FIRE WATER
	PROPOSED IRRIGATION
	PROPOSED SANITARY
	PROPOSED EASEMENT
	PROPOSED STORM EASEMENT
	TREE PROTECTION FENCE
	EXISTING STORM EASEMENT

NOTE: INITIAL SITE STABILIZATION TO BE PER CID-23-06



SCALE: 1" = 500'



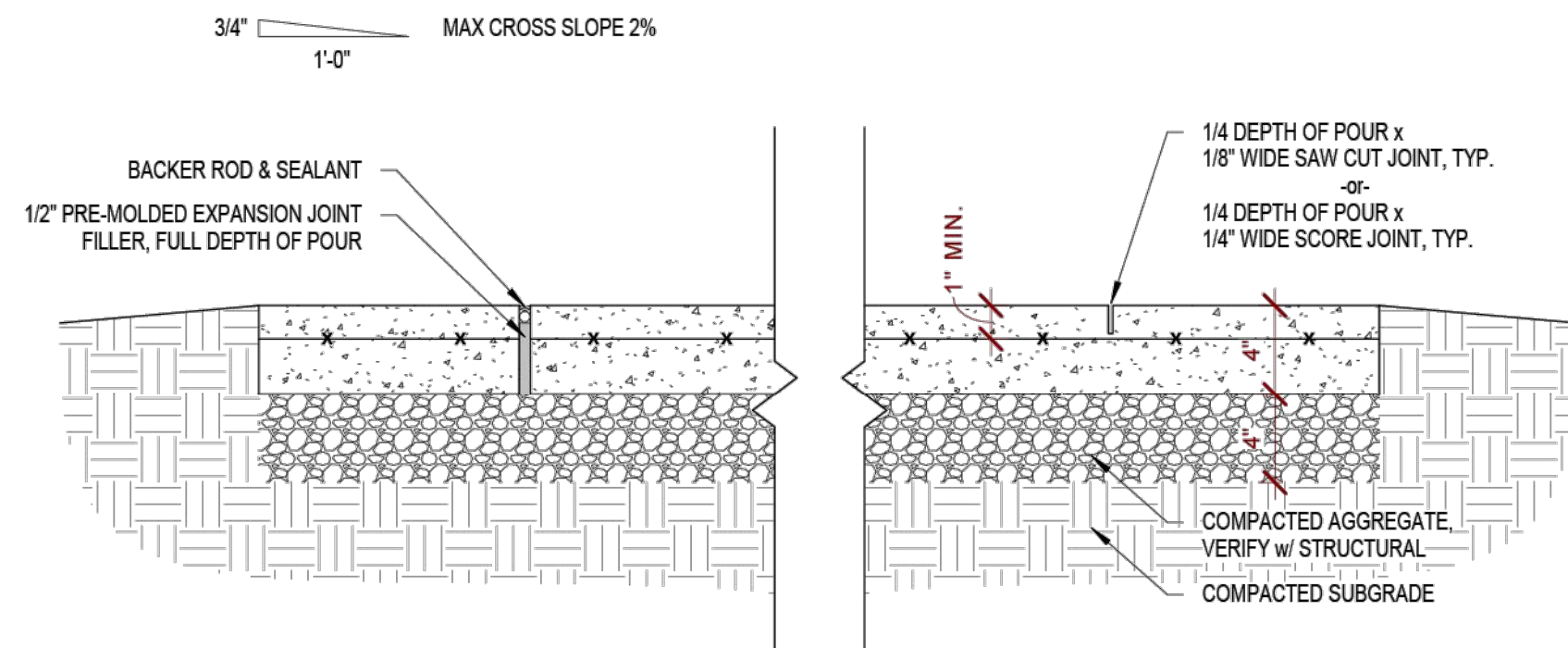
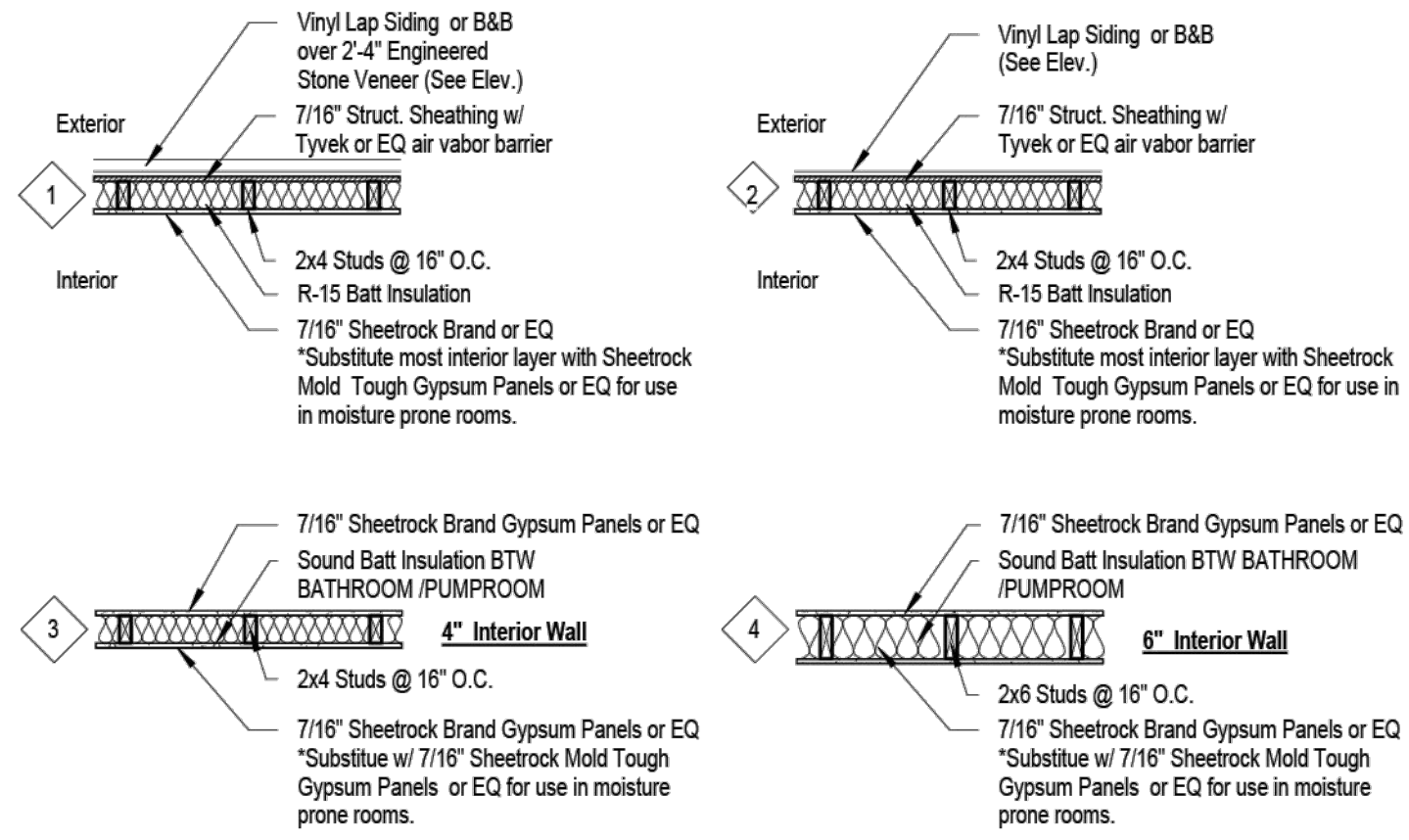
SITE DEVELOPMENT PLAN
TOWN OF ROLESVILLE CASE NUMBER: SDP-24-10

1

 5438 WADE PARK BLVD, SUITE 420 RALEIGH NC 27607 WWW.BCEINC.COM NC LICENSE #C-4397	
LENNAR CORPORAION 1100 PERIMETER PARK DRIVE, SUITE 112 MORRISVILLE / NORTH CAROLINA / 27560	
PARKER RIDGE AMENITY CENTER SDP-24-10 82 SCHOOL STREET ROLESVILLE / NORTH CAROLINA / 27571	
AMENITY - EROSION CONTROL	
FILE NUMBER: 8430-03	DATE: 01/02/2025
L4-7	

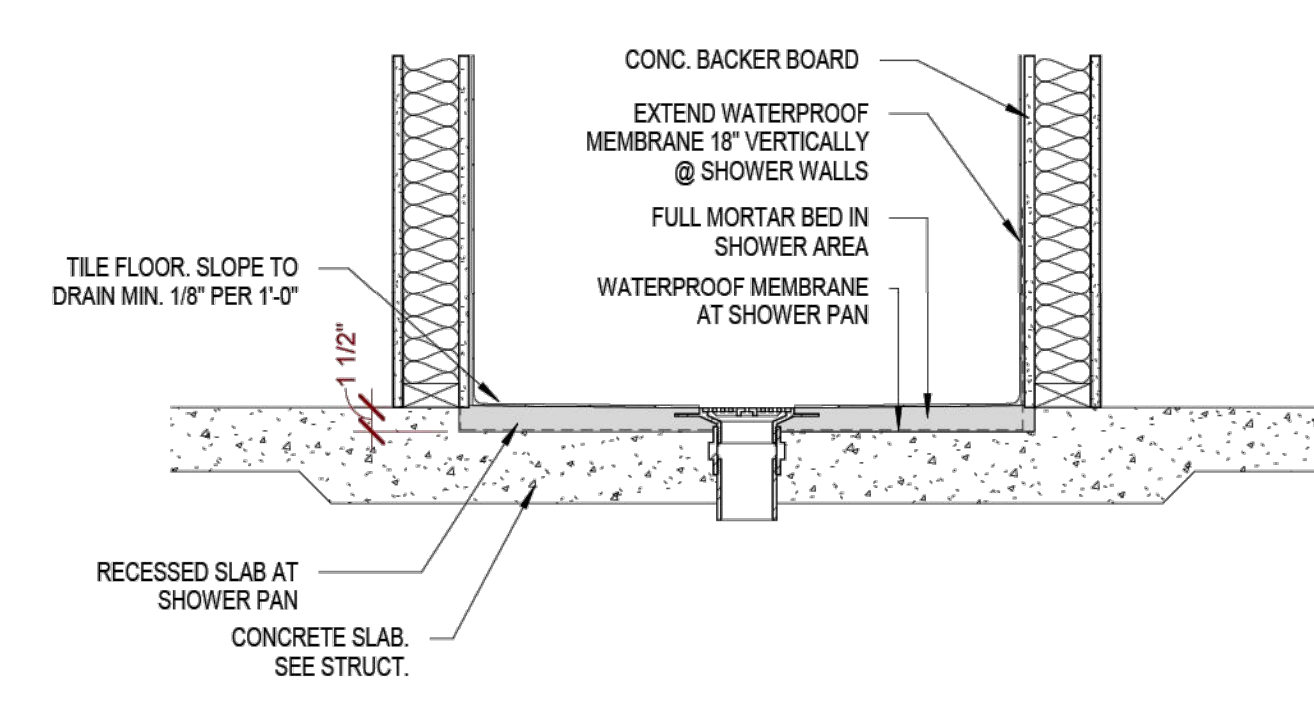
811
Know what's below.
Call before you dig.

Wall Type Details

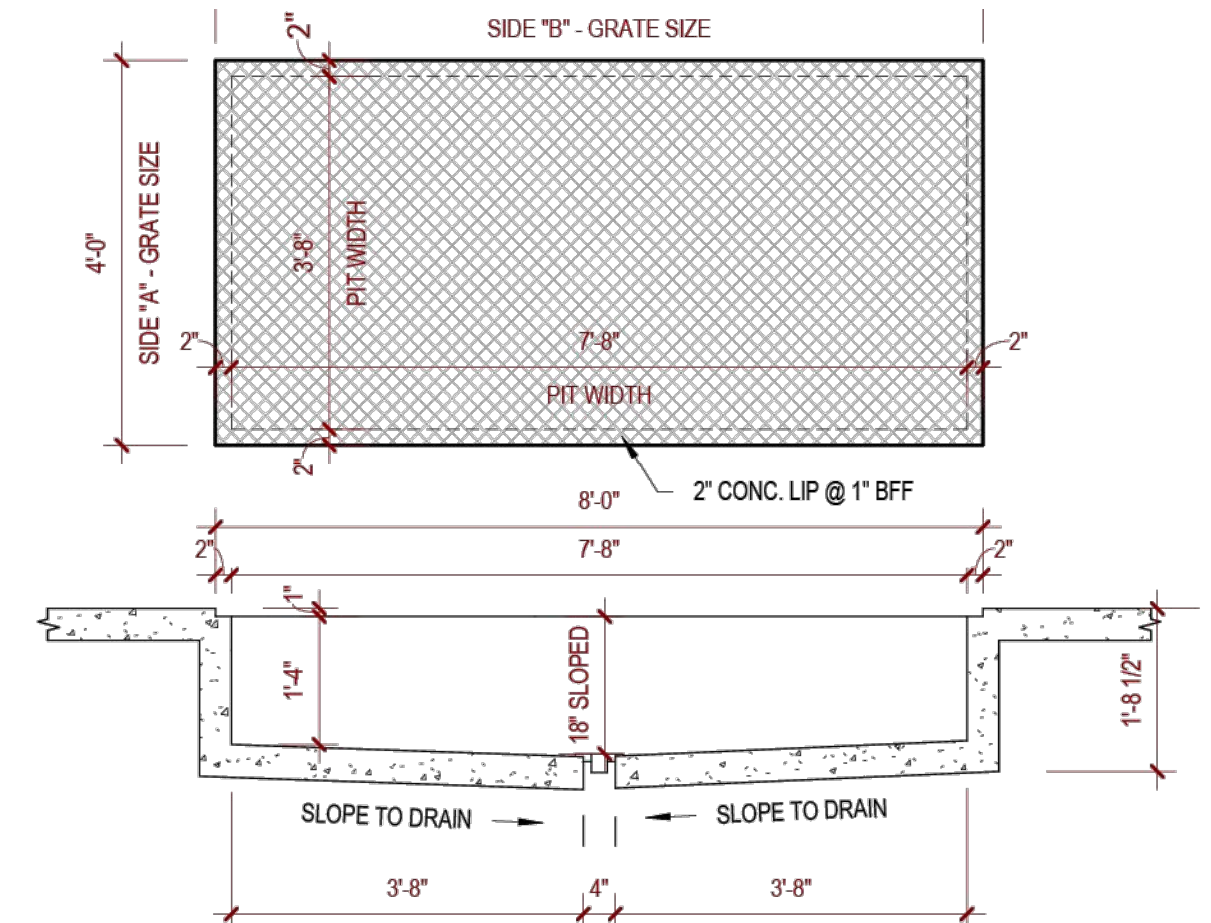


- NOTES:**
1. ALL JOINTS TO BE CUT w/ WET WALK BEHIND SAW TO ENSURE ALL CUTS ARE PERPENDICULAR w/ FACE OF CONCRETE
 2. MAXIMUM CONTROL JOINT SPACING SHALL BE 10 FT. IN EACH DIRECTION UNLESS SHOWN OTHERWISE ON PLAN, SEE STRUCT.
 3. PROVIDE EXPANSION JOINT WHERE SLABS ARE POURED AGAINST VERTICAL SURFACES AND/OR DIFFERENT PAVING MATERIALS AND AS SPECIFIED ON PLANS OR 25'-0" MAX O.C.

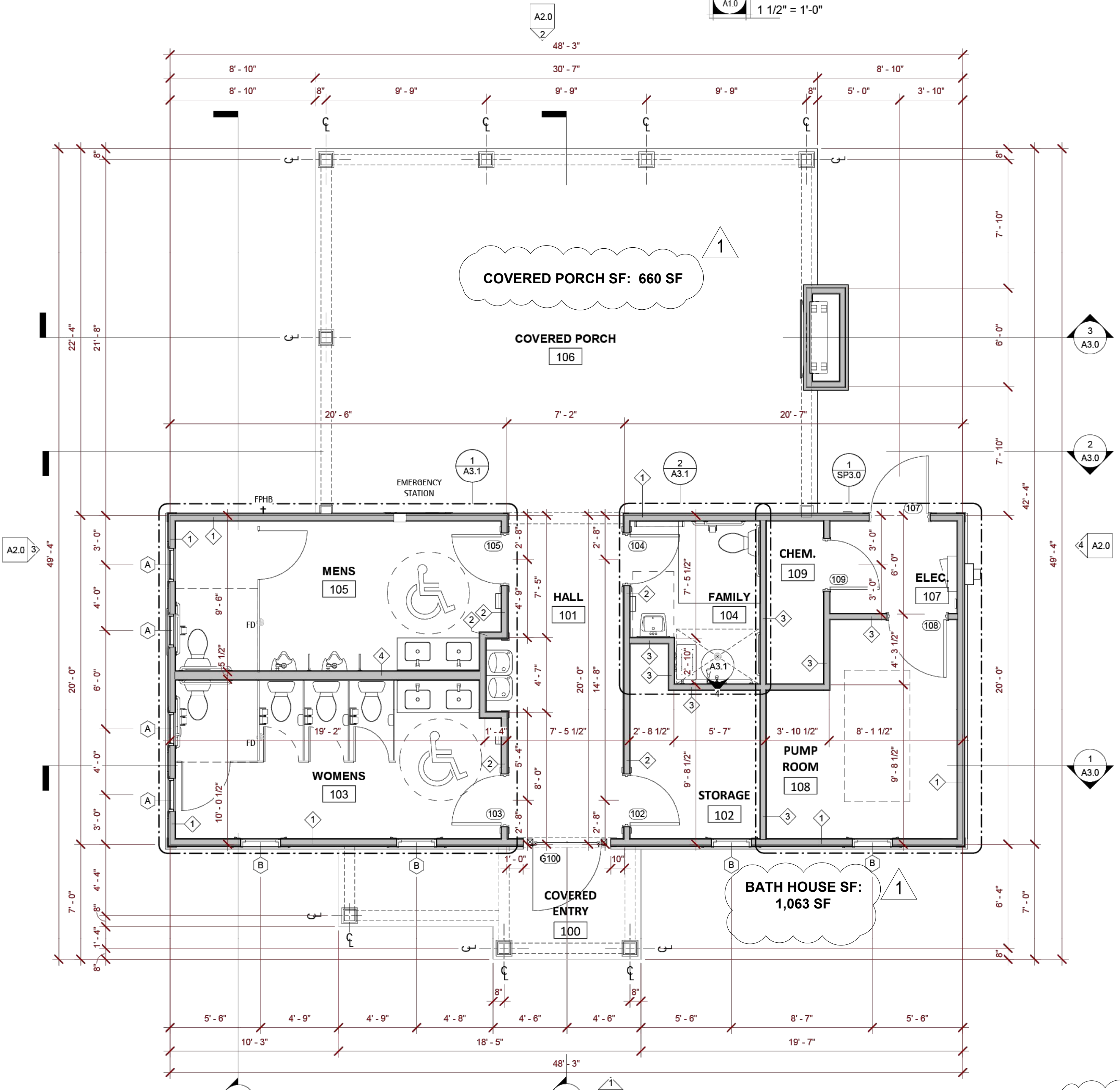
5 Detail - Typ Concrete Joints
1 1/2" = 1'-0"



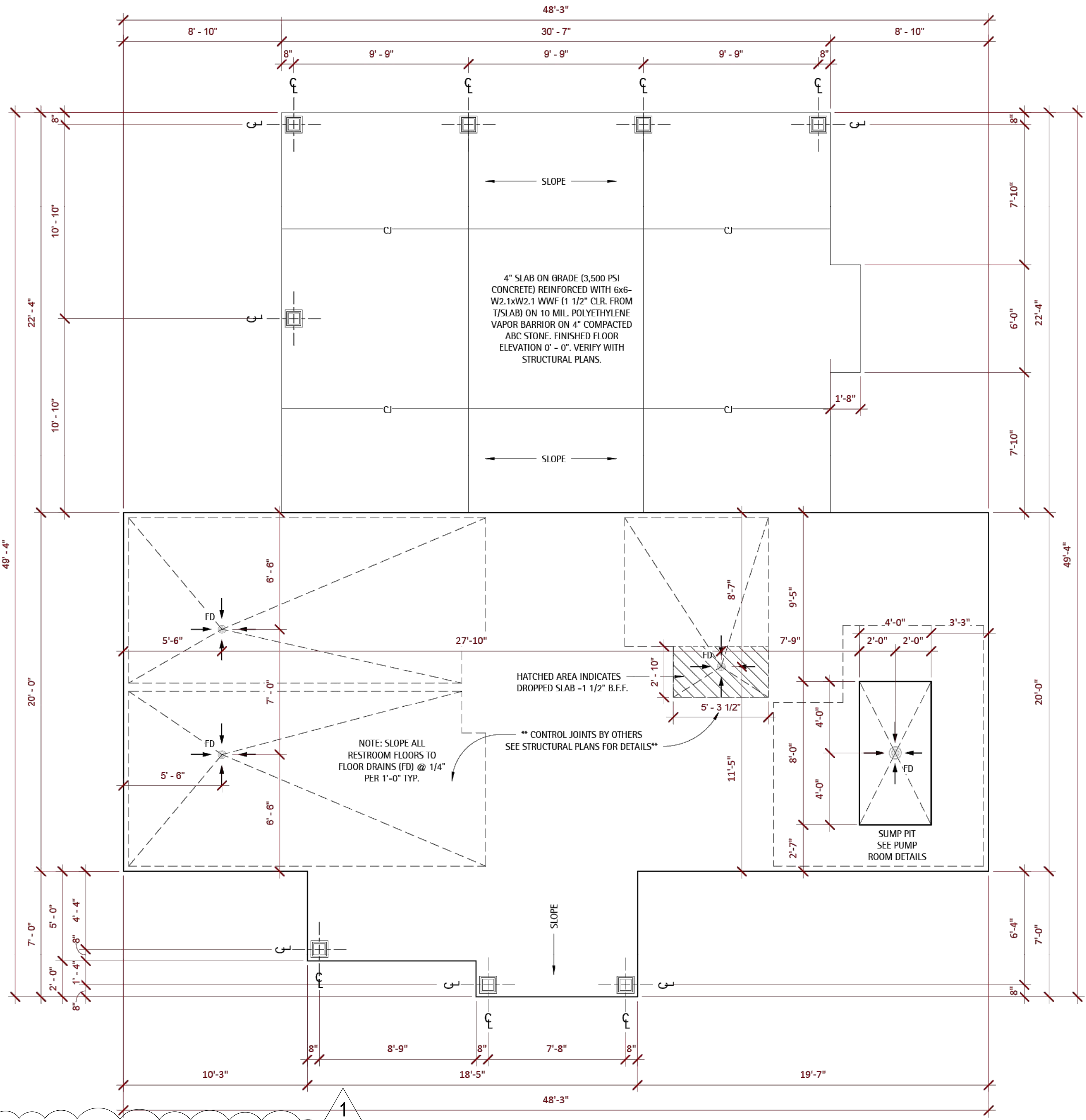
4 Detail - Recessed Slab @ Shower
1" = 1'-0"



3 Detail - Sump Pit
1/2" = 1'-0"



2 Ground Floor Plan
1/4" = 1'-0"



1 Foundation Plan
1/4" = 1'-0"

SITE DEVELOPMENT PLAN
TOWN OF ROLESVILLE CASE NUMBER: SDP-24-10



Perry Cox
architect, p.a.
207 Hudson Ave., Apex, NC 27502
P: 919.363.5411
www.pcoxdesign.com

DATE	
REVISION	
NO.	

SHEET DESCRIPTION
FOUNDATION & FLOOR PLANS

PROJECT #: 2024039
DATE ISSUED: 09/16/2024
DRAWING BY: JVD
CHECKED BY: DSC/PGC

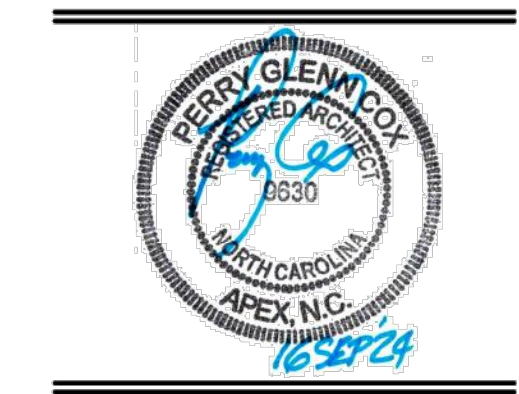
**PARKER RIDGE AMENITY
LENNAR HOMES
AMENITY & POOL
ROLESVILLE, NC**

A1.0

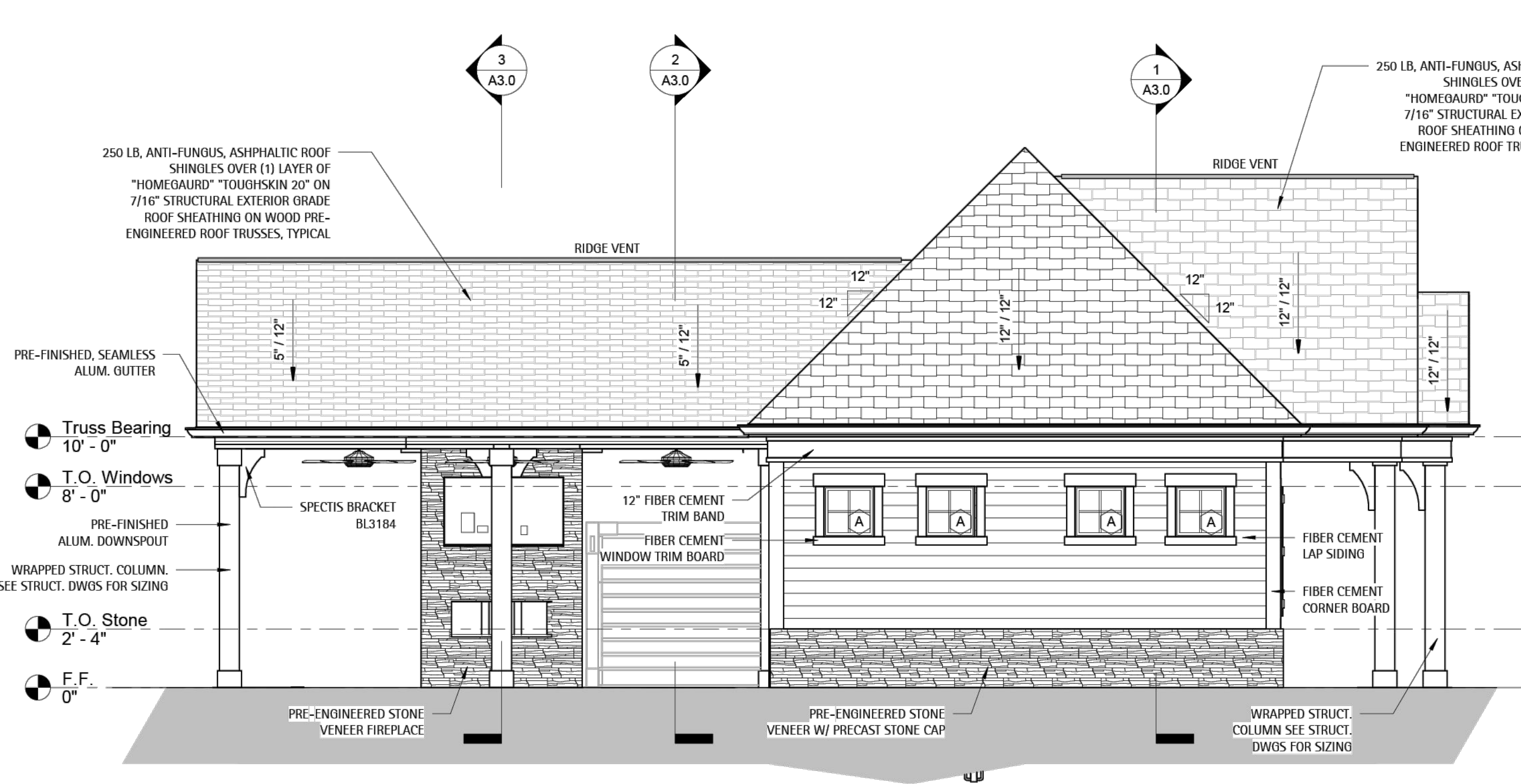
MATERIAL LEGEND

- ASPHALT ROOF SHINGLES - GAF/TIMBERLINE NATURAL COLOR: CHARCOAL GRAY
- PRE-ENGINEERED STONE VENEER - STYLE: PROVIA CUT: TERRA CUT COLOR: FLINTRIDGE
- PAINTED TRIM, COLUMN & DROP BEAM- COLOR: PURE WHITE (SW 7005)
- FIBER CEMENT LAP SIDING - JAMES HARDIE COLOR PLUS COLOR: ARTIC WHITE
- FIBER CEMENT BOARD & BATTEN - JAMES HARDIE COLOR PLUS COLOR: ARTIC WHITE
- SHUTTERS - COLOR: MID-AMERICAN TUXEDO GRAY
- EXTERIOR DOORS COLOR: AFRICAN GRAY (SW 9162)
- METAL GATE & FENCE - COLOR: TRICORN BLACK (SW 6258)
- PRE-FINISHED SEAMLESS ALUM GUTTER COLOR: WHITE
- WINDOW STYLE & COLOR STYLE: 4 OVER 1 COLOR: WHITE MI 4300 SERIES OR SIMILAR
- FIBER CEMENT TRIM BOARD JAMIE HARDIE COLOR PLUS COLOR: ARTIC WHITE

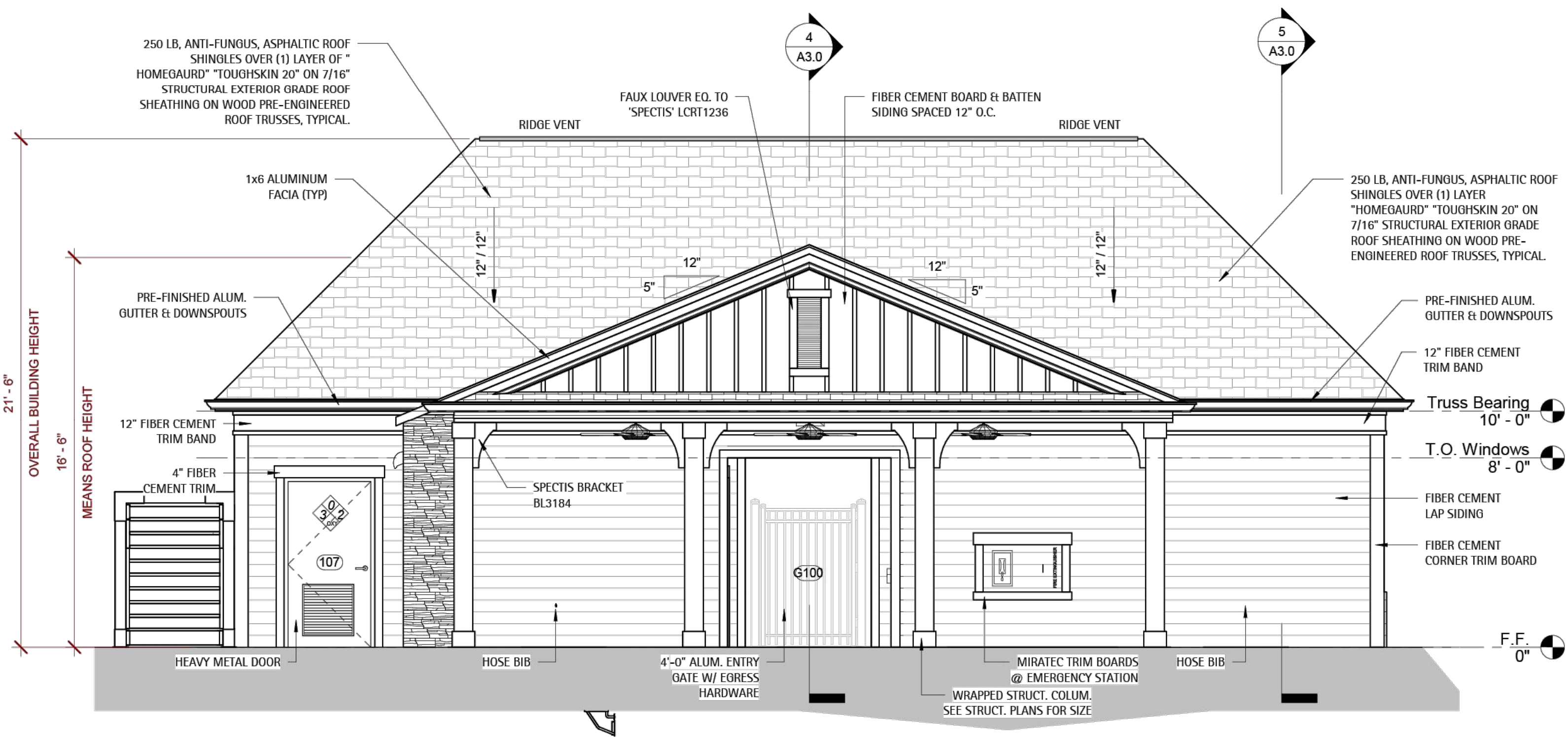
1
SITE DEVELOPMENT PLAN
TOWN OF ROLESVILLE CASE NUMBER: SDP-24-10



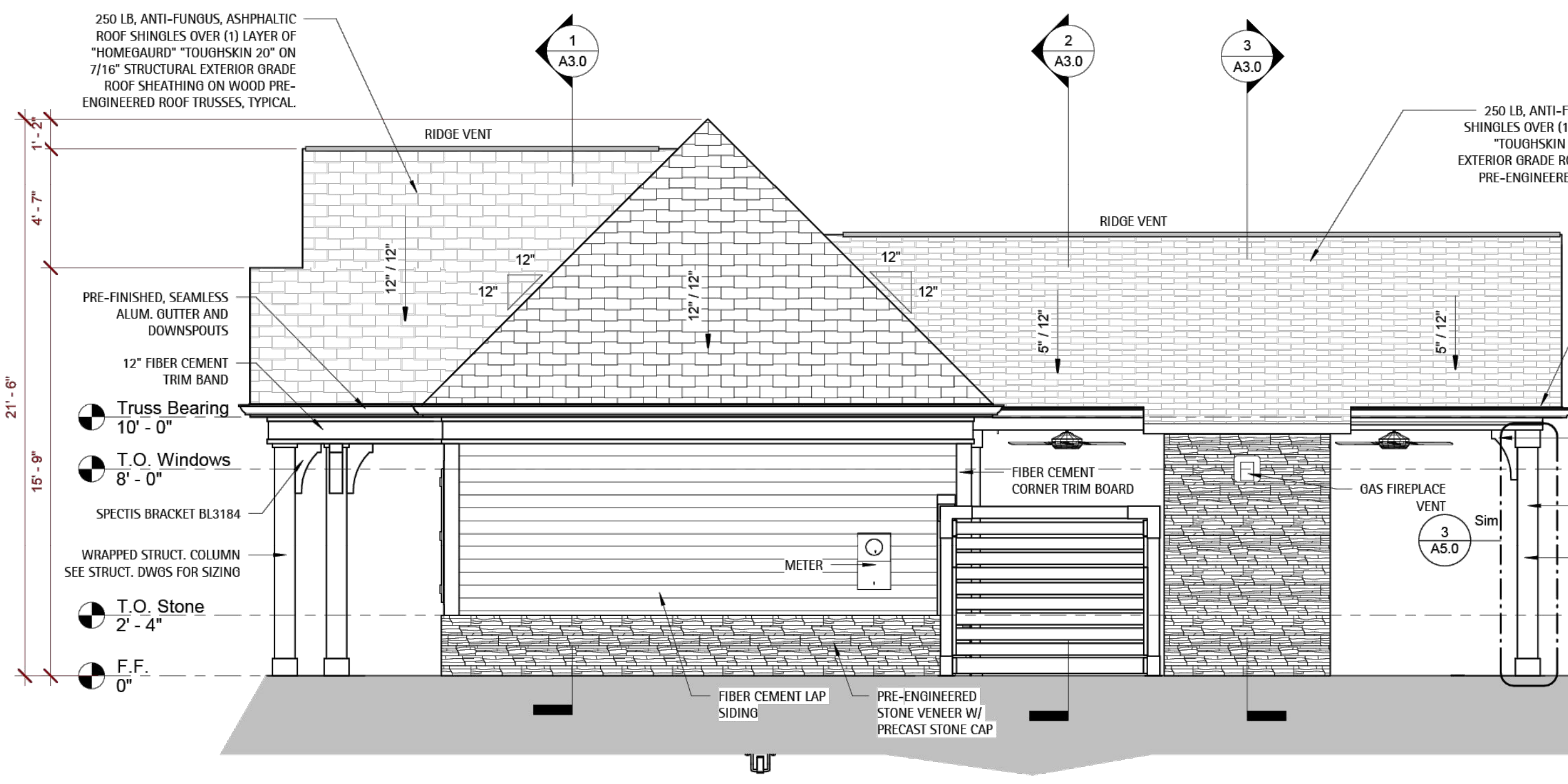
Perry Cox
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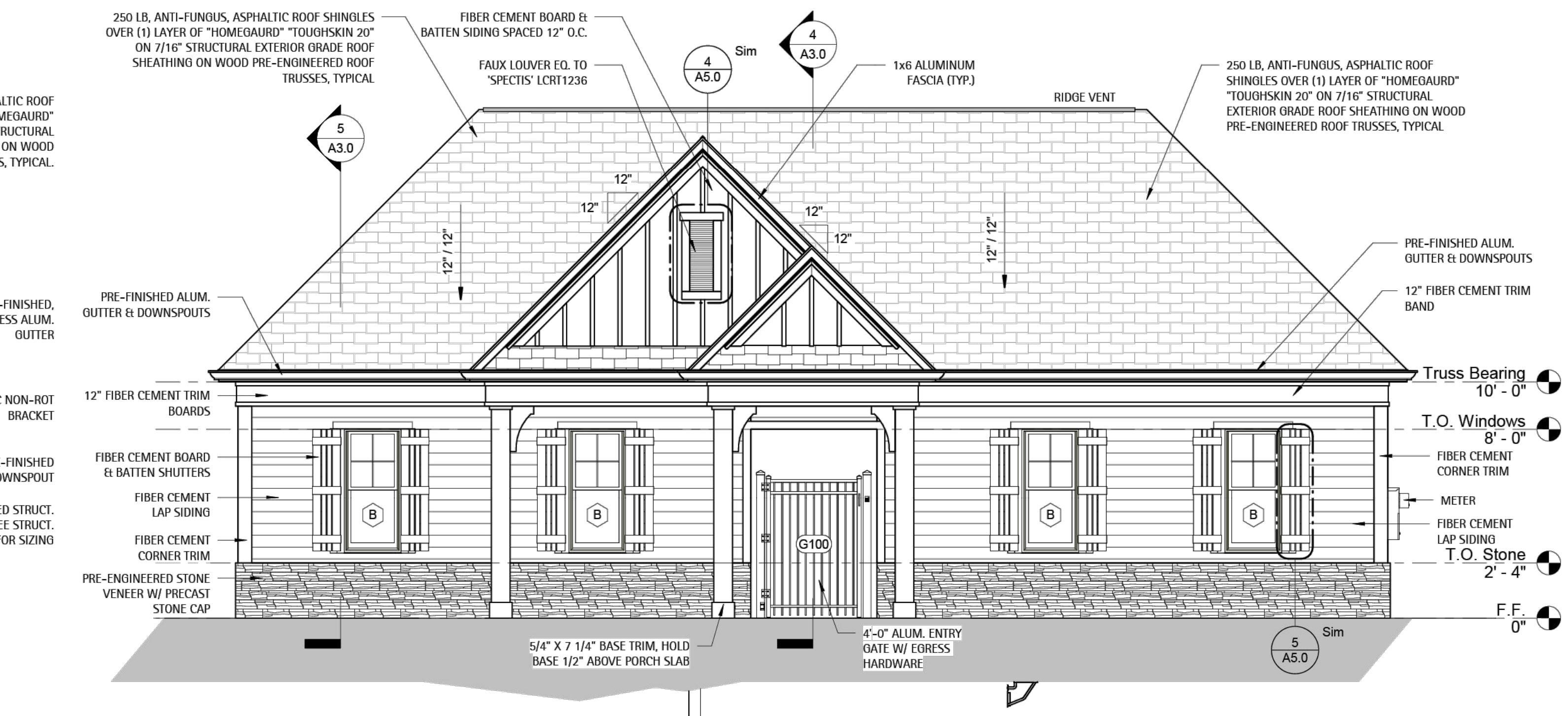
3 Left Side Elevation
1/4" = 1'-0"



2 Rear Elevation
1/4" = 1'-0"



4 Right Side Elevation
1/4" = 1'-0"



1 Front Elevation
1/4" = 1'-0"

DATE	REVISION	NO.

SHEET DISCRPTION
EXTERIOR ELEVATIONS


PROJECT #: 2024039
DATE ISSUED: 09/16/2024
DRAWING BY: JD
CHECKED BY: PGC/DSC

**PARKER RIDGE AMENITY
LENNAR HOMES
AMENITY & POOL
ROLESVILLE, NC**

A2.0

Symbol	Label	Quantity	Description	Lumens Per Lamp	Light Loss Factor
	A	49	LED 50w Roadway - Type III - 3000K - Street	5312	0.85
	B	5	LED 50w Roadway - Type III - 3000K - Parking	5312	0.85

Outdoor Lighting



MICRO LED ROADWAY
(Meets Dark Sky Criteria)

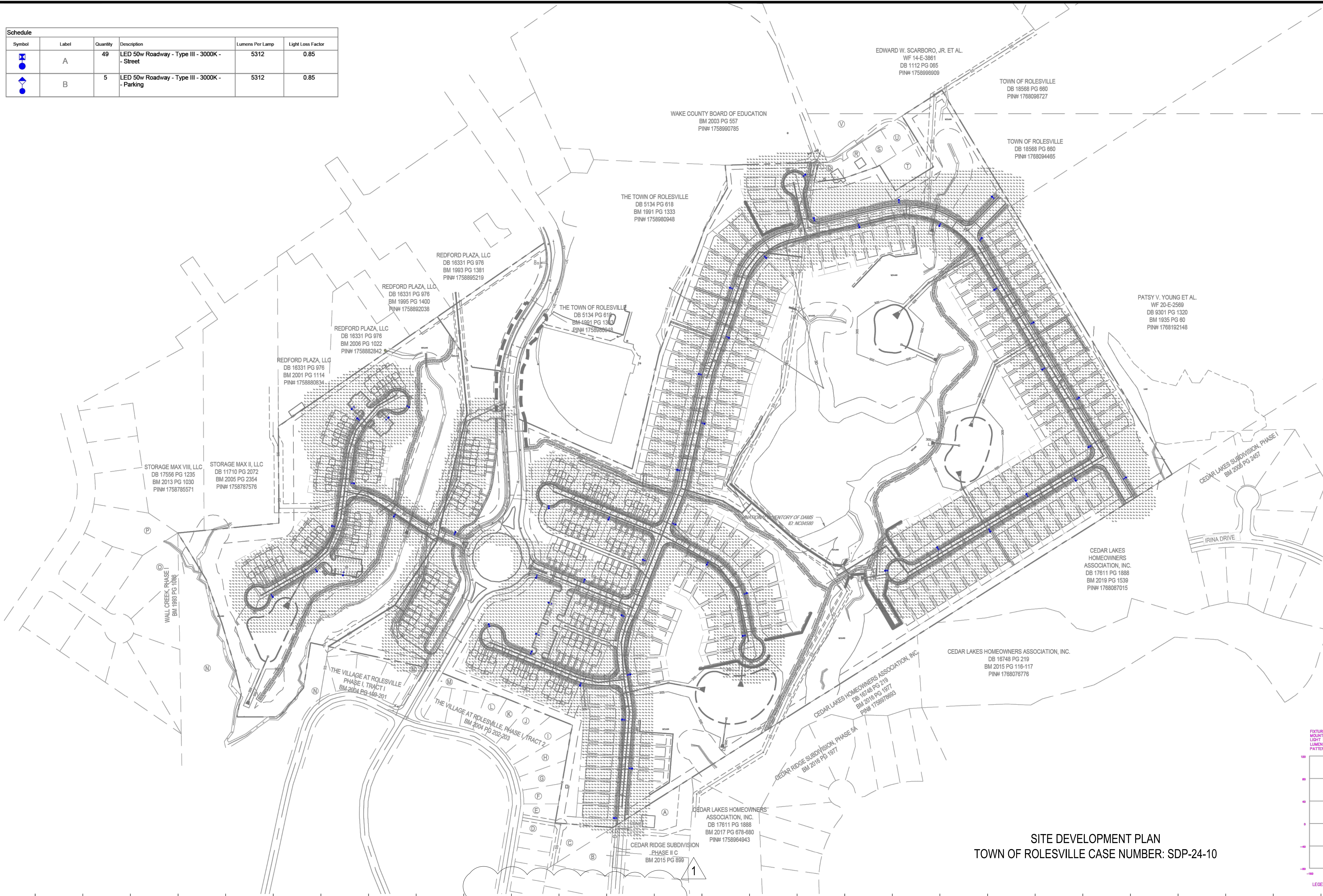
LED (Light emitting diode)	50 watts
Mounting height	20', 25', 30'
Color	Gray / Black
Pole	Fiberglass Steel Wood
Applications	Neighborhoods Parks Streets

Light source: LED (diode)
 Wattage: 50 watts, 70 watts
 Lumens: 5,252 - 8,170
 Light pattern: 230K Type II, III, V
 IESNA cutoff classification: Full cutoff
 BUG rating: Type II - 81L002 (20w)
 Type III - 81L001
 Type V - 81L001 (50w only)
 Color temperature: 3,000K

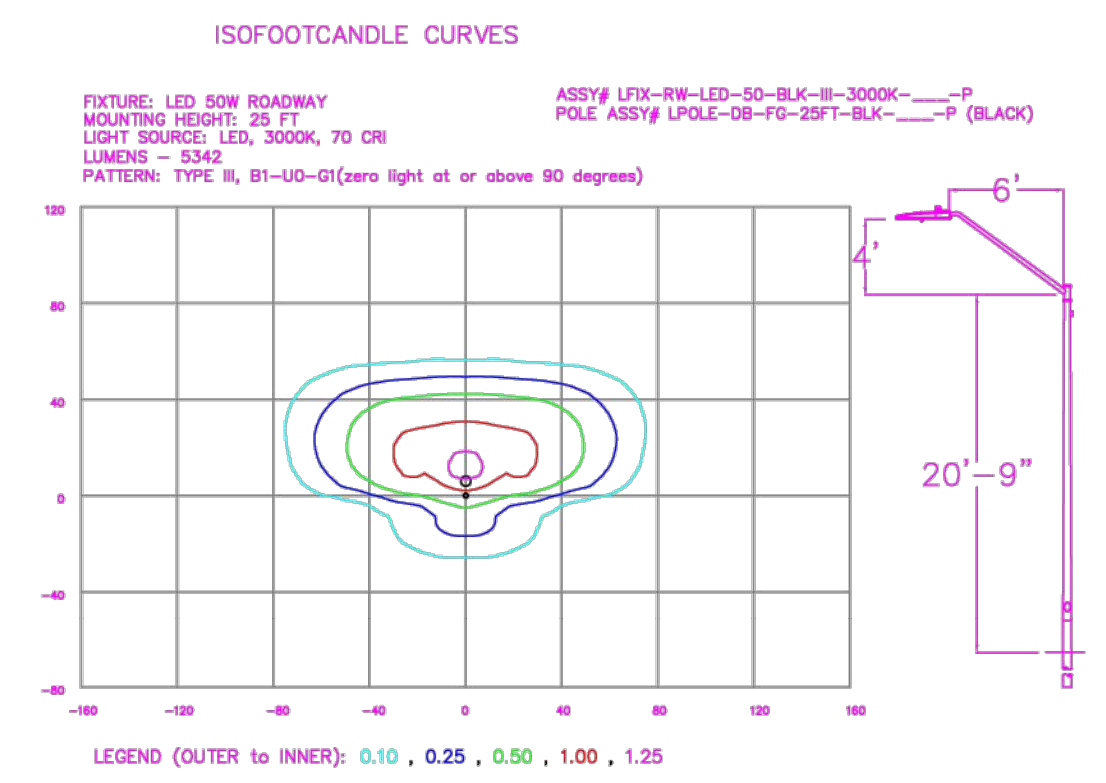
POLE AVAILABLE	MOUNTING HEIGHT	COLOR
Fiberglass	25', 30', 35'	Gray, Black (additional cost)
Wood	25', 30', 35'	Standard
Steel (Special conditions)	25', 30', 35'	Galvanized

FEATURES	BENEFITS
Turnkey installation	Provides hassle-free installation and service
Little or no installation cost	Frees up capital for other projects
Design services by lighting professionals included	Meets industry standards and lighting ordinances
Maintenance, electricity & warranty included	Eliminates high and unexpected repair bills
One low monthly cost on your electric bill	Convenience and savings for you

DUKE ENERGY
PROGRESS



SITE DEVELOPMENT PLAN
TOWN OF ROLESVILLE CASE NUMBER: SDP-24-10



NO.	DATE	REVISION	BY

L 4-0 DEP

DISTANCE CALIBRATION (INCHES)

LIGHTING DESIGN TOLERANCE

The calculated footcandle light levels in this lighting design are predicted values and are based on specific information that has been supplied to Duke Energy. Any inaccuracies in the supplied information, differences in luminaire installation, lighted area geometry including elevation differences, reflective properties of surrounding surfaces, obstructions (foliage or otherwise) in the lighted area, or lighting from sources other than listed in this design may produce different results from the predicted values. Normal tolerances of voltage, lamp output, and ballast and luminaire manufacture will also affect results.




PROPRIETARY & CONFIDENTIAL

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PARKER RIDGE	
Rolesville, NC	
SITE LIGHTING ARRANGEMENT	
Designed by	DUKE ENERGY PROGRESS LIGHTING SOLUTIONS
Reviewed by	N. Johnson Scale 1" = 150'
Date	07/18/2023 Size Drawing size "D"
Description	LED Roadway
Drawing No.	23-0308A Sht. 1 OF 1

Symbol	Label	Quantity	Description	Lumens Per Lamp	Light Loss Factor
	A	49	LED 50w Roadway - Type III - 3000K - Street	5312	0.85
	B	5	LED 50w Roadway - Type III - 3000K - Parking	5312	0.85

Outdoor Lighting

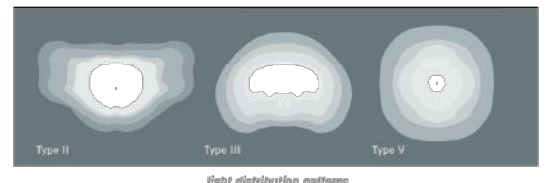


MICRO LED ROADWAY
(Meets Dark Sky Criteria)

LED (Light emitting diode)	50 watts
Mounting height	20', 25', 35'
Color	Gray / Black
Pole	Fiberglass / Metal / Wood

Applications
Neighborhoods
Parks
Streets

Light source: LED (white)
Wattage: 50 watts, 70 watts
Lumens: 5,252 - 8,170
Light pattern: 200W Type II, III, V
IESNA cutoff classification: Full cutoff
BUG rating: Type II - 81L002 (0.04) 803002 (0.04)
Type III - 81L001
Type V - 81L001 (50w only)
Color temperature: 3,000K

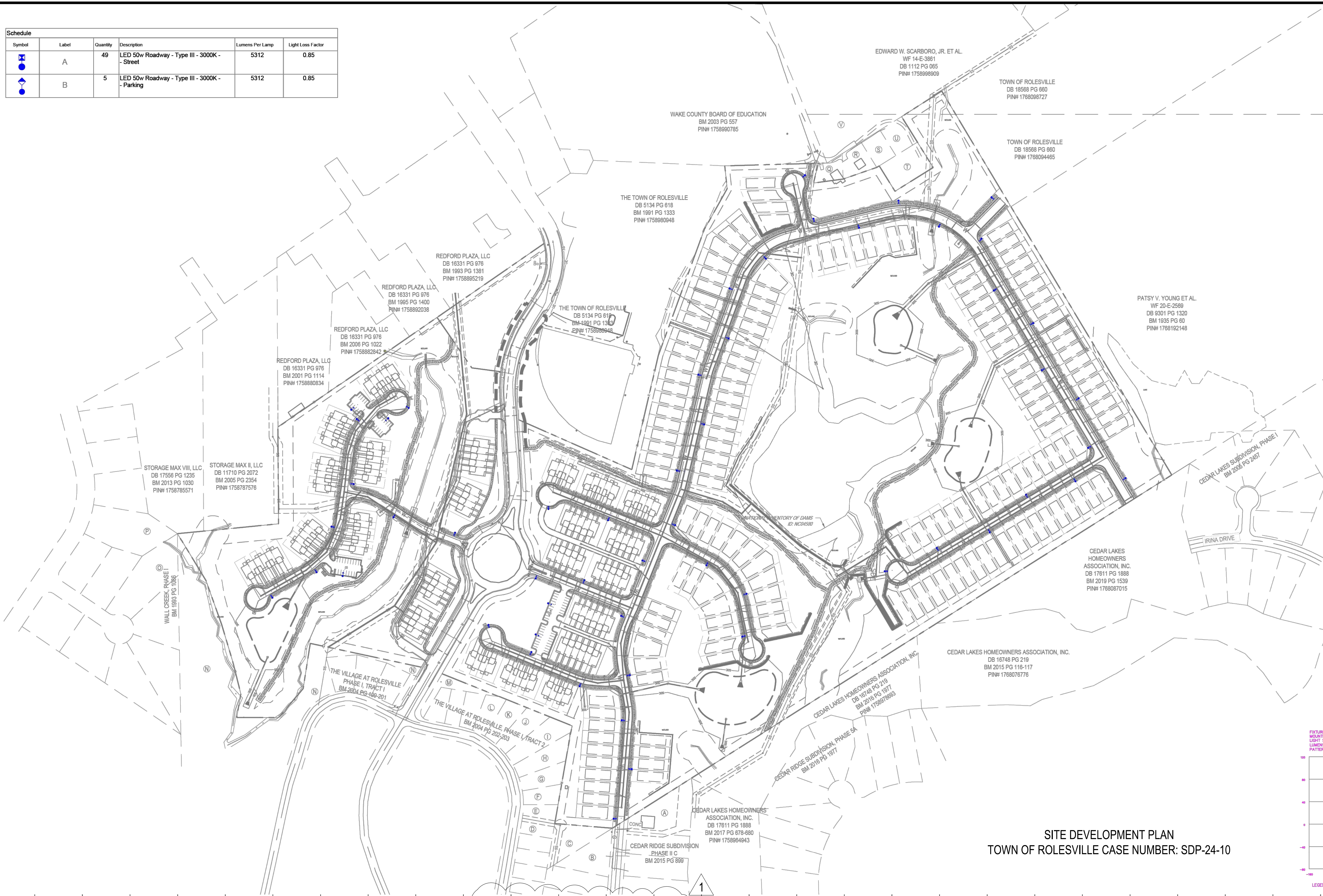


POLE AVAILABLE	MOUNTING HEIGHT	COLOR
Fiberglass	20', 30', 35'	Gray, Black (additional cost)
Wood	25', 30', 35'	Standard
Metal (Special conditions)	25', 30', 35'	Galvanized

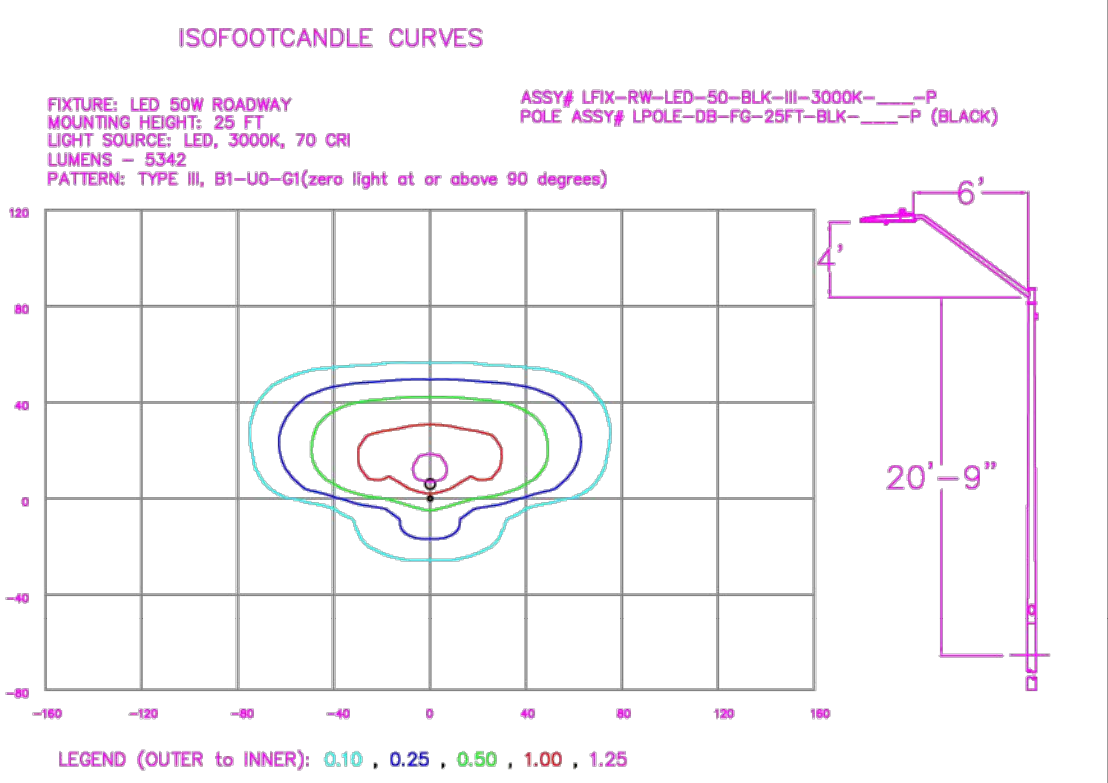
FEATURES	BENEFITS
Turnkey operation	Provides hassle-free installation and service
Little or no installation cost	Flows up capital for other projects
Design services by lighting professionals included	Meets industry standards and lighting ordinances
Maintenance, electricity & warranty included	Eliminates high and unexpected repair bills
One low monthly cost on your electric bill	Convenience and savings for you

For additional information, contact us at DUKEENERGY.com

DUKE ENERGY
PROGRESS



SITE DEVELOPMENT PLAN
TOWN OF ROLESVILLE CASE NUMBER: SDP-24-10



LIGHTING DESIGN TOLERANCE

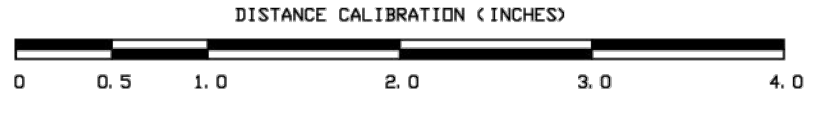
The calculated footcandle light levels in this lighting design are predicted values and are based on specific information that has been supplied to Duke Energy. Any inaccuracies in the supplied information, differences in luminaire installation, lighted area geometry including elevation differences, reflective properties of surrounding surfaces, obstructions (foliage or otherwise) in the lighted area, or lighting from sources other than listed in this design may produce different results from the predicted values. Normal tolerances of voltage, lamp output, and ballast and luminaire manufacture will also affect results.



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L 4-1 DEP



NO.	DATE	REVISION	BY

PARKER RIDGE	
Rolesville, NC	
SITE LIGHTING ARRANGEMENT	
Designed by	DUKE ENERGY ARRANGEMENT LIGHTING SOLUTIONS
Reviewed by	N. Johnson Scale 1" = 150'
Date	07/18/2023 Size Drawing size "D"
Description	LED Roadway
Drawing No.	23-0308A Sht. 1 OF 1