

19. NOTICE FOR PROJECTS THAT INVOLVE AN OVERSIZED MAIN OR URBAN MAIN REPLACEMENT. ANY CITY REIMBURSEMENT GREATER THAN \$250,000.00 MUST UNDERGO THE PUBLIC BIDDING PROCESS.

L0.01

J:\23\2045-pd\pds\woodlief\assemblies\construction\assembly set\03-05-002 General Notes.dwg, Monday, March 5, 2024 4:04:42 PM - MANKWELL

REZ-23-02: WOODLIEF REZONING CONDITIONS
 FEBRUARY 26, 2024

- THE DEVELOPMENT OF THE PROPERTY SHALL BE IN SUBSTANTIAL CONFORMANCE WITH THE ACCOMPANYING EXHIBIT, CONCEPT PLAN DATED 12/19/2023. LOCATIONS SHOWN FOR COMMITTED ELEMENTS INCLUDING, BUT NOT LIMITED TO GREENWAYS, STREETS, AND OPEN AREAS SHOWN ON THE CONCEPT PLAN, MAY BE ADJUSTED TO CONFORM TO LDO REQUIREMENTS OR AS PERMITTED AS A MINOR ADJUSTMENT BY THE LAND DEVELOPMENT ADMINISTRATOR.
- THE FOLLOWING USES SHALL BE PROHIBITED ON THE PORTION OF THE PROPERTY ZONED TO THE RESIDENTIAL HIGH DENSITY DISTRICT (THE "RH DISTRICT"):
 - LIVE-WORK UNIT;
 - RESIDENTIAL CARE (ALF, ILF, CCF);
 - TELECOMMUNICATIONS TOWER.
- THE FOLLOWING USES SHALL BE PROHIBITED ON THE PORTION OF THE PROPERTY ZONED TO THE RESIDENTIAL MEDIUM DENSITY DISTRICT (THE "RM DISTRICT"):
 - TELECOMMUNICATIONS TOWER.
- THE RH-C2 DISTRICT MAY BE DEVELOPED TO A MAXIMUM OF 98 DWELLING, SINGLE-FAMILY ATTACHED (TOWNHOUSE) LOTS.
- THE RM-C2 DISTRICT MAY BE DEVELOPED TO A MAXIMUM OF 157 DWELLING SINGLE-FAMILY DETACHED LOTS.
- ALL DWELLING, SINGLE-FAMILY DETACHED DWELLINGS SHALL ADHERE TO THE FOLLOWING CONDITIONS:
 - SIDING MATERIAL:**
 - IF MASONRY (SUCH AS BRICK VENEER OR FAUX STONE PRODUCT) IS NOT THE PREDOMINANT FIRST FLOOR FINISH (GREATER THAN 50%), THEN THE FRONT ELEVATION SHALL HAVE AT LEAST TWO (2) STYLES OF FIBER CEMENT SIDING (I.E. LAP, SHAKE, OR BOARD AND BATTEN, ETC.);
 - VINYL MATERIAL IS PROHIBITED EXCEPT FOR SOFFITS, FACIA, AND CORNER BOARDS;
 - NO DWELLING UNIT SHALL BE CONSTRUCTED WITH AN EXTERIOR ELEVATION OR COLOR PALETTE THAT IS IDENTICAL TO THE DWELLING UNIT ON EITHER SIDE OR DIRECTLY ACROSS THE STREET.
 - GARAGES:**
 - A MINIMUM 2-CAR SIDE-BY-SIDE (NOT TANDEM) GARAGE SHALL BE PROVIDED;
 - ALL GARAGE DOORS SHALL HAVE WINDOWS.
 - ROOFS:** ROOF MATERIALS SHALL BE ASPHALT SHINGLES, METAL, COPPER, WOOD, OR A COMBINATION OF THESE MATERIALS.
 - BUILDING FOUNDATIONS:** BUILDING FOUNDATIONS ALONG THE FRONT FAÇADE SHALL HAVE AN EXPOSED HEIGHT ABOVE FINISHED GRADE OF AT LEAST 18" AND MUST BE FINISHED WITH MASONRY PRODUCT SUCH AS BRICK VENEER OR FAUX STONE PRODUCT.
 - COVERED ENTRY:** A COVERED FRONT PORCH OR COVERED STOOP OF AT LEAST 20 SQUARE FEET WITH A MINIMUM DEPTH OF 5 FEET.
 - WINDOWS:**
 - ALL WINDOWS ALONG THE FRONT FAÇADE SHALL HAVE SHUTTERS AND/OR TRIM;
 - EACH SIDE ELEVATION SHALL HAVE AT LEAST TWO WINDOWS.
 - REAR YARD AMENITY:** AN UNENCLOSED PATIO, DECK, OR SCREENED-IN PORCH OF AT LEAST 64 SQUARE FEET.
- ALL DWELLING, SINGLE-FAMILY ATTACHED (TOWNHOME) BUILDINGS SHALL ADHERE TO THE FOLLOWING CONDITIONS:
 - SIDING MATERIAL:**
 - IF MASONRY (SUCH AS BRICK VENEER OR FAUX STONE PRODUCT) IS NOT THE PREDOMINANT FIRST FLOOR FINISH (GREATER THAN 50%), THEN THE FRONT ELEVATION SHALL HAVE AT LEAST TWO (2) STYLES OF FIBER CEMENT SIDING (I.E. LAP, SHAKE, OR BOARD AND BATTEN, ETC.);
 - VINYL MATERIAL IS PROHIBITED EXCEPT FOR SOFFITS, FACIA, AND CORNER BOARDS;
 - NO DWELLING UNIT SHALL BE CONSTRUCTED WITH AN EXTERIOR ELEVATION OR COLOR PALETTE THAT IS IDENTICAL TO THE DWELLING UNIT ON EITHER SIDE, DIRECTLY ACROSS THE STREET.
 - GARAGES:**
 - A MINIMUM 1-CAR GARAGE SHALL BE PROVIDED;
 - ALL GARAGE DOORS SHALL HAVE WINDOWS.
 - ROOFS:** ROOF MATERIALS SHALL BE ASPHALT SHINGLES, METAL, COPPER, WOOD, OR A COMBINATION OF THESE MATERIALS.
 - COVERED ENTRY:** A COVERED FRONT PORCH OR COVERED STOOP OF AT LEAST 20 SQUARE FEET WITH A MINIMUM DEPTH OF 4 FEET.
 - WINDOWS:**
 - ALL WINDOWS ALONG THE FRONT FAÇADE SHALL HAVE SHUTTERS AND/OR TRIM;
 - EACH SIDE ELEVATION SHALL HAVE AT LEAST ONE WINDOW (EXCLUDING INTERIOR UNITS).
 - REAR YARD AMENITY:** AN UNENCLOSED PATIO, DECK, OR SCREENED-IN PORCH OF AT LEAST 64 SQUARE FEET.
- AMENITY CENTER:** THE MAIN AMENITY AREA SHALL INCLUDE A MINIMUM 1,500 SQUARE FOOT CABANA WITH AN UNENCLOSED COVERED SEATING AREA, BATHROOMS, AND A MINIMUM 2,000 SQUARE FOOT POOL. THE MAIN AMENITY AREA SHALL BE CONSTRUCTED PRIOR TO THE ISSUANCE OF THE 200th RESIDENTIAL BUILDING PERMIT.
- POLLINATOR GARDEN:** THE DEVELOPMENT SHALL INCLUDE AT LEAST ONE POLLINATOR GARDEN. THE POLLINATOR GARDEN SHALL BE A LANDSCAPED GARDEN IN WHICH AT LEAST SEVENTY FIVE PERCENT (75%) OF ALL PLANTS, EXCLUDING GRASSES, ARE NATIVE MILKWEEDS AND OTHER NECTAR-RICH FLOWERS. THE POLLINATOR GARDEN SHALL BE A HALF-ACRE (21,780 SQUARE FEET) IN AREA AT A MINIMUM, WHICH MAY BE DISTRIBUTED IN SEVERAL DIFFERENT LOCATIONS. THE FINAL LOCATION(S) OF POLLINATOR GARDEN SHALL BE DETERMINED AT SUBSEQUENT STAGES OF APPROVAL AND WILL BE IDENTIFIED ON THE LANDSCAPE PLAN SUBMITTED WITH THE CONSTRUCTION DRAWINGS. THE POLLINATOR GARDEN SHALL BE CONSTRUCTED PRIOR TO THE ISSUANCE OF THE 150th RESIDENTIAL BUILDING PERMIT.
- COMMUNITY AMENITIES:** THE DEVELOPMENT SHALL INCLUDE ONE TOT-LOT AND ONE DOG PARK. LOCATIONS WILL BE DETERMINED AT SUBSEQUENT STAGES OF APPROVAL AND WILL BE IDENTIFIED ON THE CONSTRUCTION DRAWINGS. THE TOT-LOT AND DOG PARK SHALL BE CONSTRUCTED PRIOR TO THE ISSUANCE OF THE 150th RESIDENTIAL BUILDING PERMIT.
- THE DEVELOPMENT SHALL INCLUDE A MINIMUM OF FIVE (5) AFFORDABLE HOUSING ATTACHED TOWNHOME OWNERSHIP UNITS (THE "AFFORDABLE UNITS"). BUYERS OF THE AFFORDABLE UNITS SHALL BE VETTED TO ENSURE THAT THE SALE PRICE, IN THE FIRST SALE OF THE AFFORDABLE UNITS, IS AFFORDABLE TO LOW OR MODERATE INCOME HOUSEHOLDS EARNING NO MORE THAN EIGHTY PERCENT (80%) OF THE RALEIGH NC METROPOLITAN STATISTICAL AREA (MSA), AREA MEDIAN INCOME (AMI), ADJUSTED FOR FAMILY SIZE AS MOST RECENTLY PUBLISHED BY HUD. PRIOR TO SUBDIVISION CLOSEOUT, DOCUMENTATION OF COMPLIANCE WITH THIS ZONING CONDITION SHALL BE SUBMITTED TO THE TOWN, FOLLOWING THE FIRST SALE OF EACH OF THE AFFORDABLE UNITS, THE DEVELOPER SHALL HAVE NO FURTHER OBLIGATIONS UNDER THIS CONDITION.
- THE PROJECT SHALL BE RESPONSIBLE FOR THE WIDENING OF ROLESVILLE ROAD ALONG THE SITE'S FULL FRONTAGE OF ROLESVILLE ROAD, INCLUDING THE PARTIALLY RETAINED PARCELS, CURRENTLY IDENTIFIED BY WAKE COUNTY PIN(S) 1767590716, 1768409261, AND 1767590335. THIS SHALL INCLUDE THE DESIGN AND CONSTRUCTION OF HALF OF THE ULTIMATE CROSS SECTION FOR ROLESVILLE ROAD CONSISTENT WITH THE TOWN OF ROLESVILLE'S COMMUNITY TRANSPORTATION PLAN. THESE IMPROVEMENTS SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF THE 100th RESIDENTIAL BUILDING PERMIT.

EASEMENT ABBREVIATION LEGEND

UE	PUBLIC UTILITY EASEMENT
DE	PUBLIC DRAINAGE EASEMENT
VWIDE	PUBLIC VARIABLE WIDTH DRAINAGE EASEMENT
GE	PUBLIC GREENWAY EASEMENT
CORSE	CITY OF RALEIGH SANITARY SEWER EASEMENT
PSCSAE	PRIVATE STORMWATER CONTROL STRUCTURE AND ACCESS EASEMENT
PDE	PRIVATE DRAINAGE EASEMENT
PWMAE	PRIVATE WALL MAINTENANCE ACCESS EASEMENT

GENERAL LEGEND
 (UNLESS OTHERWISE DENOTED)

DESCRIPTION	EXISTING	PROPOSED	DESCRIPTION	EXISTING	PROPOSED
1' CONTOUR INTERVAL			OVERHEAD ELECTRIC		N/A
5' CONTOUR INTERVAL			POWER POLE		N/A
PROPERTY LINE			GUY ANCHOR		N/A
ROADWAY CENTERLINE			LIGHT POLE		N/A
RIGHT OF WAY LIMITS			ELECTRICAL PEDESTAL		N/A
EASEMENT LINE			GAS MAIN		N/A
CURB & GUTTER			ABANDONED GAS MAIN		N/A
EDGE OF PAVEMENT			GAS VALVE		N/A
WATER MAIN			TELEPHONE		N/A
FIRE HYDRANT ASSEMBLY			TELEPHONE STRUCTURE		N/A
BLOWOFF ASSEMBLY	N/A		TELEPHONE PEDESTAL		N/A
WATER VALVE			TELEVISION PEDESTAL		N/A
WATER METER			FIBER OPTIC MARKER		N/A
AIR RELEASE VALVE	N/A		UTILITY MANHOLE		N/A
WATER MANHOLE			STRUCTURES		
SANITARY SEWER MAIN			FENCING STRUCTURE		
SANITARY SEWER MANHOLE			TREE LINE		N/A
SANITARY SEWER SERVICE	N/A		WATERWAYS		N/A
FORCE MAIN			SIGN		N/A
STORM DRAINAGE PIPE			MAIL BOX		N/A
CATCH BASIN			PROPERTY IRON		N/A
YARD INLET			CONCRETE MONUMENT		N/A
JUNCTION BOX			SPOT ELEVATION		
FLARED END SECTION					
ELECTRIC		N/A			



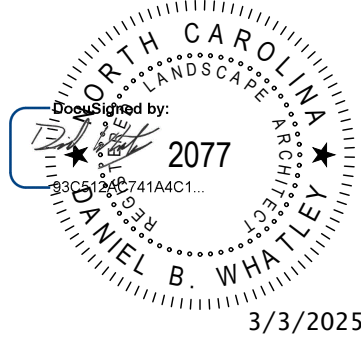
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1225 CRESCENT GREEN DRIVE,
 SUITE 290
 CARY, NC 27518

CONSTRUCTION DRAWINGS
 BROADMOOR
 CLUBHOUSE AMENITY

ROLESVILLE ROAD | ROLESVILLE, NC 27587 | WAKE COUNTY



3/3/2025

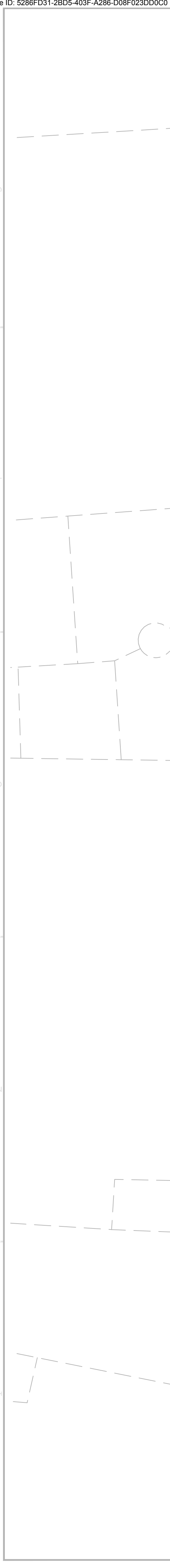
INITIAL PLAN DATE: 03/05/2025
 REVISIONS:

WR JOB NUMBER 23-0045
 DRN: WR DGN: WR CKD: WR

GENERAL NOTES &
 LEGEND

L0.02

J:\2024\45-paths_westfield_assets\mapa\CAD\drawing\pdc\construction\amenity\set\L0.03 Orientation Plan.dwg: 03/05/2025 09:03 PM - HANASSELL

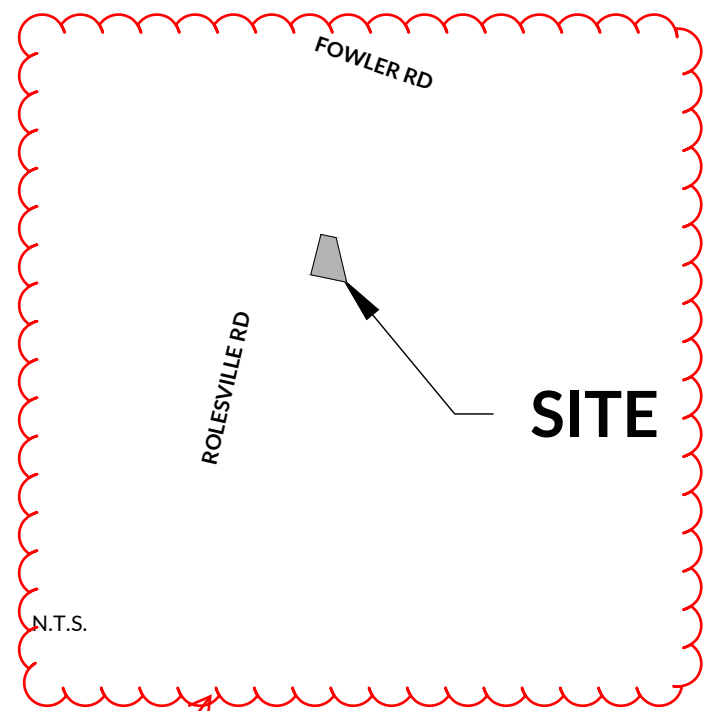


4. Update
page number
callout. L2.01?

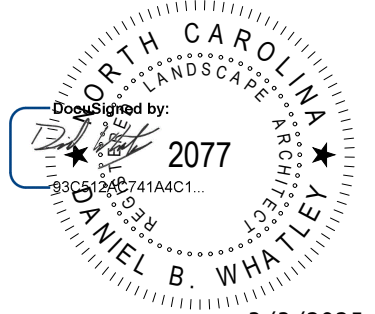
LX.01

10' x 70' SIGHT TRIANGLE

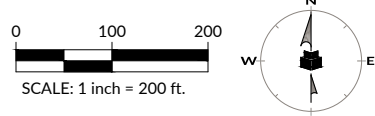
10' x 70' SIGHT TRIANGLE



4. Turn on
base layers



3/3/2025



INITIAL PLAN DATE: 03/05/2025
REVISIONS:

WR JOB NUMBER 23-0045
DRN: WR DGN: WR CKD: WR

ORIENTATION PLAN

L0.03



1225 CRESCENT GREEN DRIVE,
SUITE 250
CARY, NC 27518

CONSTRUCTION DRAWINGS
**BROADMOOR
CLUBHOUSE AMENITY**

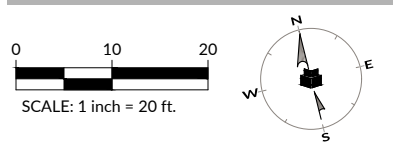
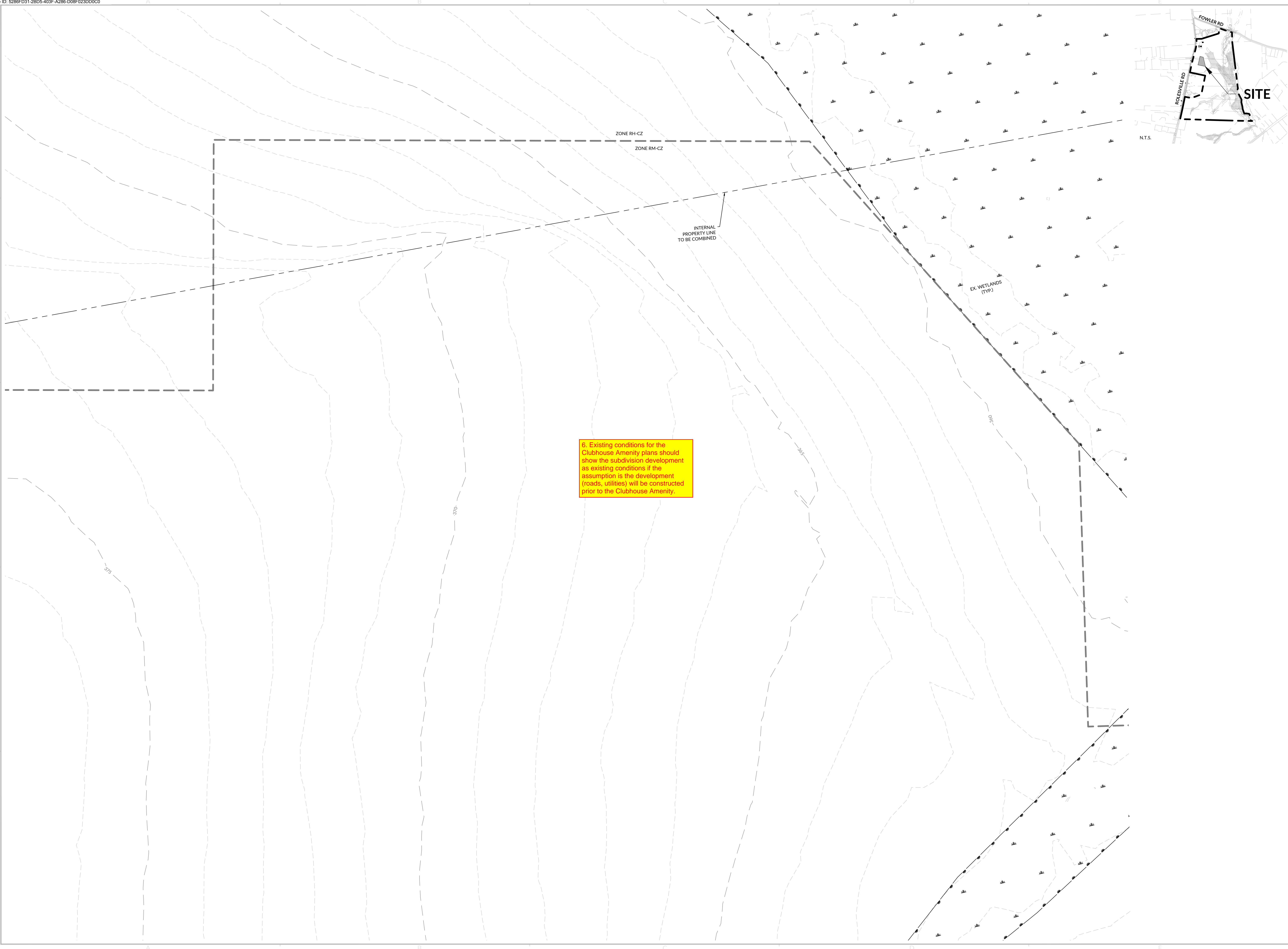
ROLESVILLE ROAD | ROLESVILLE, NC 27587 | WAKE COUNTY



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J:\23\0045\p01s\woodruff\assembly\cadd\drawing\ext\construction\amenity\sheet\1.01 OVERALL EXISTING CONDITIONS - DEEDUTION PLANS.dwg, Monday, March 3, 2025 4:04:13 PM - 000ANSEL



INITIAL PLAN DATE: 03/05/2025
REVISIONS:

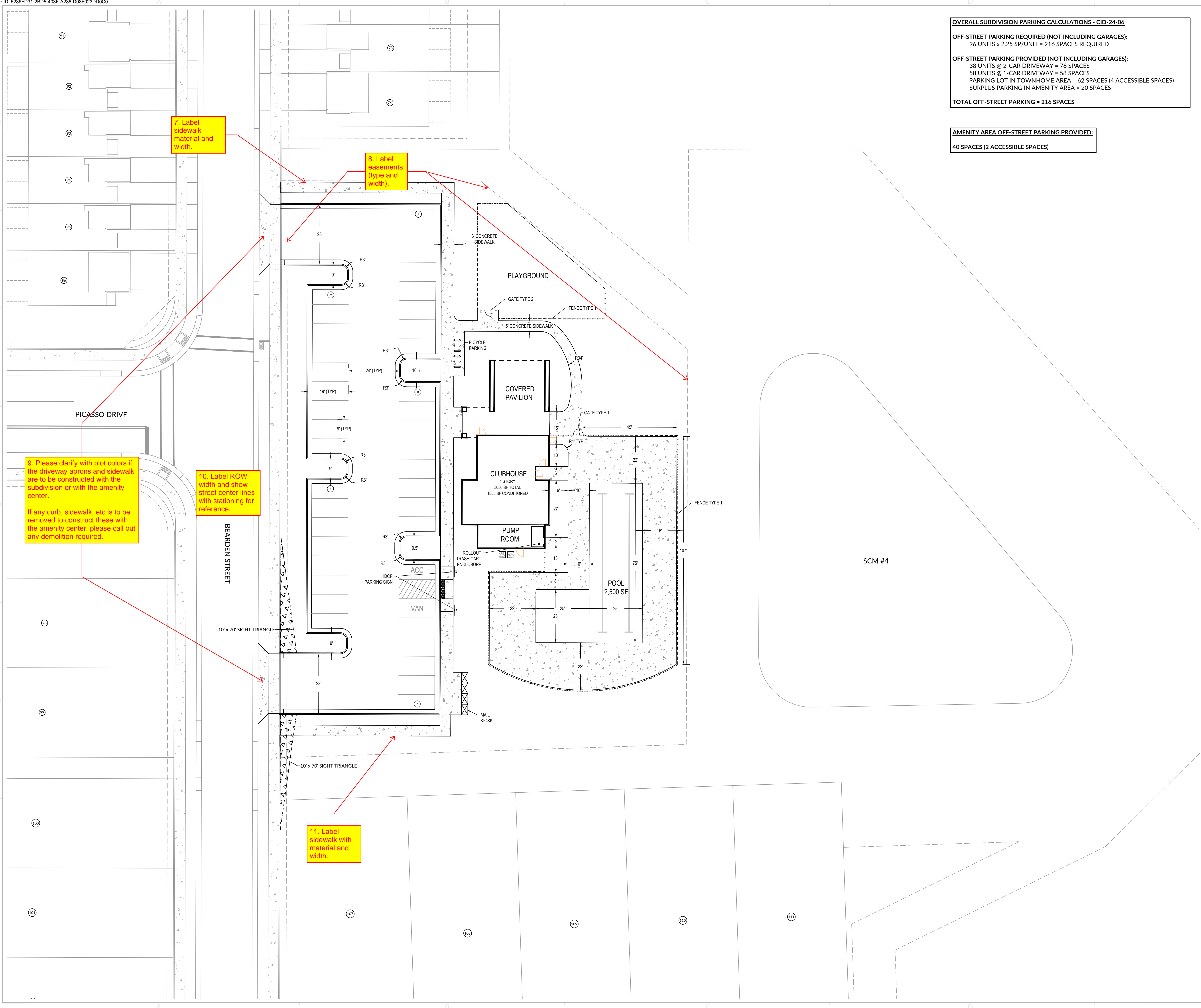
WR JOB NUMBER 23-0045
DRN: WR DGN: WR CKD: WR

EXISTING
CONDITIONS

L1.01



J:\2024\04\05\parks\woodruff\assemblies\CAD\drawing\scd\construction\amenity\scd\L2.01_Amenity_Site_Plan.dwg: Monday, March 3, 2025 4:04:43 PM - RMA\AMEL



7. Label sidewalk material and width.

8. Label easements (type and width).

9. Please clarify with plot colors if the driveway aprons and sidewalk are to be constructed with the subdivision or with the amenity center.

If any curb, sidewalk, etc is to be removed to construct these with the amenity center, please call out any demolition required.

10. Label ROW width and show street center lines with stationing for reference.

11. Label sidewalk with material and width.

OVERALL SUBDIVISION PARKING CALCULATIONS - CID-24-06

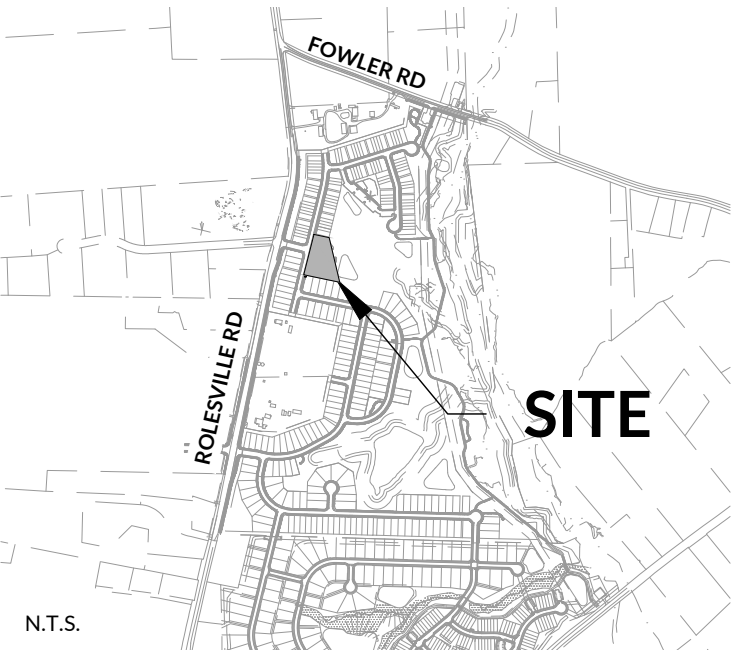
OFF-STREET PARKING REQUIRED (NOT INCLUDING GARAGES):
96 UNITS x 2.25 SP/UNIT = 216 SPACES REQUIRED

OFF-STREET PARKING PROVIDED (NOT INCLUDING GARAGES):
38 UNITS @ 2-CAR DRIVEWAY = 76 SPACES
58 UNITS @ 1-CAR DRIVEWAY = 58 SPACES
PARKING LOT IN TOWNHOME AREA = 62 SPACES (4 ACCESSIBLE SPACES)
SURPLUS PARKING IN AMENITY AREA = 20 SPACES

TOTAL OFF-STREET PARKING = 216 SPACES

AMENITY AREA OFF-STREET PARKING PROVIDED:

40 SPACES (2 ACCESSIBLE SPACES)



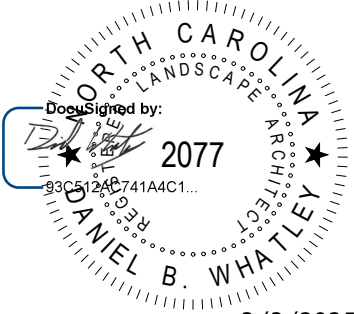
SUPPLEMENTAL MATERIALS LEGEND

SYMBOL	DESCRIPTION
	HEAVY DUTY CONCRETE PAVING
	LIGHT DUTY CONCRETE PAVING
	LIGHT DUTY ASPHALT PAVING
	HEAVY DUTY UNIT PAVERS
	LIGHT DUTY UNIT PAVERS
	HEAVY DUTY TURF PAVE
	GRAVEL SURFACE
	CHAPEL HILL GRIT
	SYNTHETIC TURF

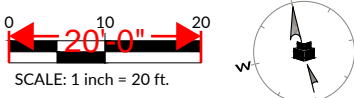
	FENCE 1
	FENCE 2
	FENCE 3
	SITE WALL
	LIGHT POLE
	BOLLARD
	CURB

CONSTRUCTION DRAWINGS
BROADMOOR
CLUBHOUSE AMENITY

ROLESVILLE ROAD | ROLESVILLE, NC 27587 | WAKE COUNTY



3/3/2025



INITIAL PLAN DATE: 03/05/2025
REVISIONS:

WR JOB NUMBER 23-0045
DRN: WR DGN: WR CKD: WR

SITE PLAN

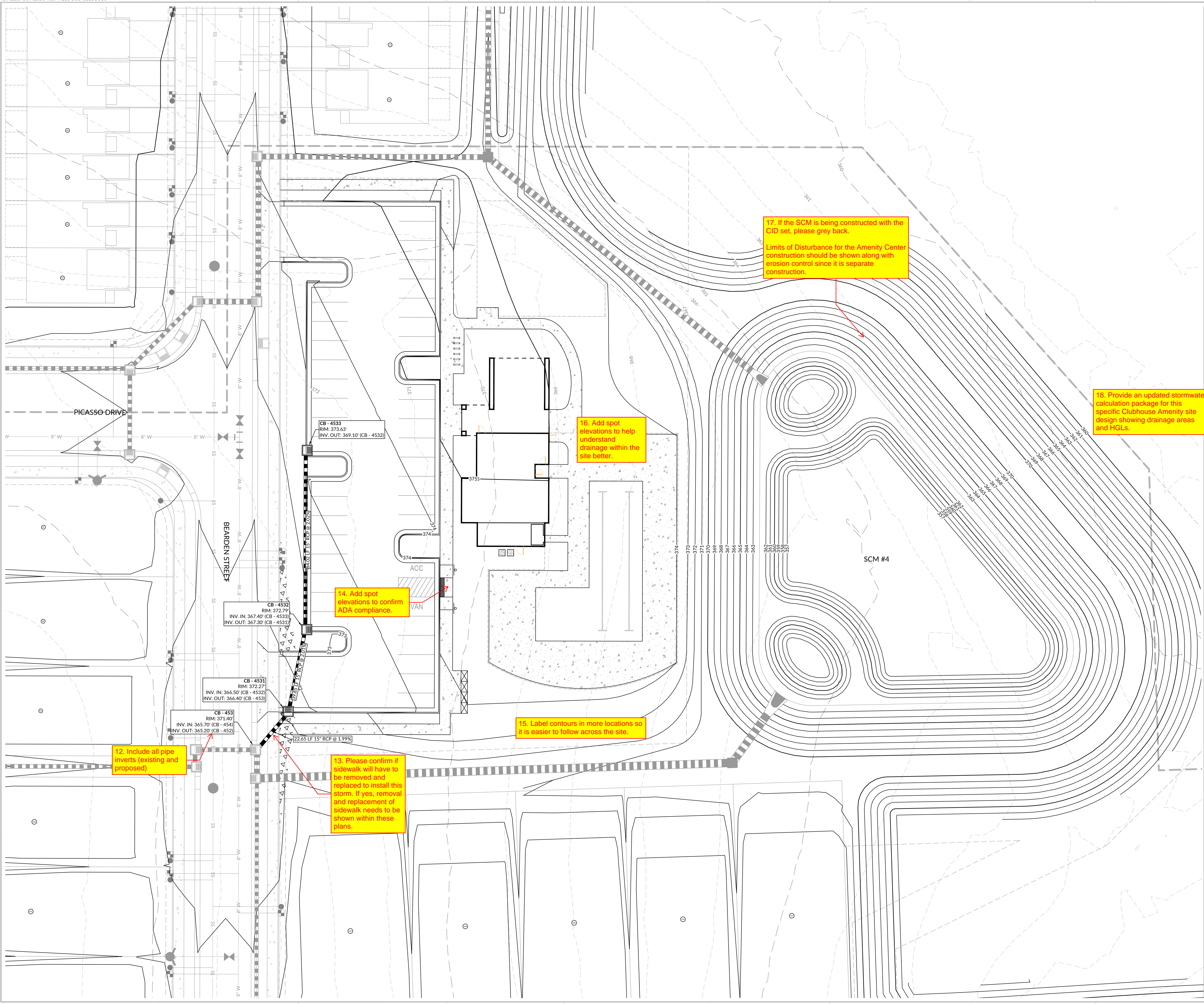
L2.01

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12. Include all pipe inverts (existing and proposed)

13. Please confirm if sidewalk will have to be removed and replaced to install this storm. If yes, removal and replacement of sidewalk needs to be shown within these plans.

14. Add spot elevations to confirm ADA compliance.

16. Add spot elevations to help understand drainage within the site better.

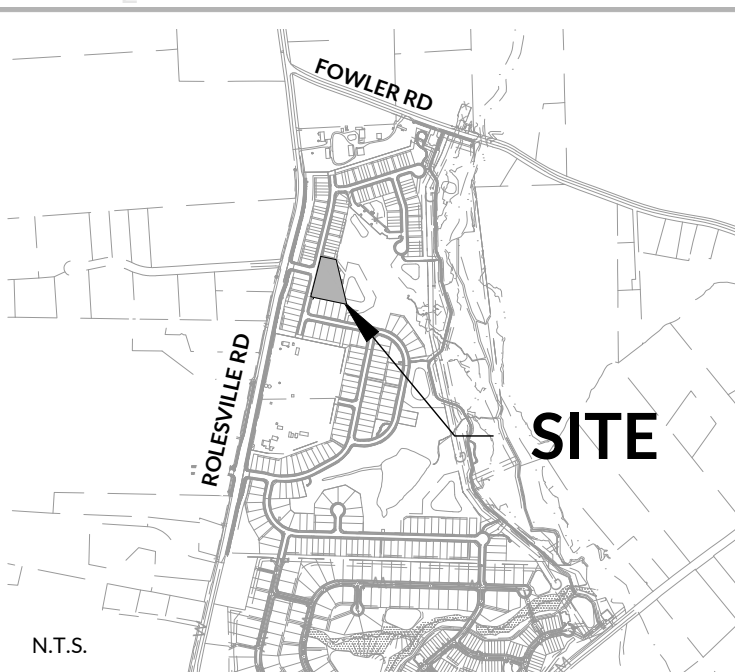
15. Label contours in more locations so it is easier to follow across the site.

17. If the SCM is being constructed with the CID set, please grey back.
Limits of Disturbance for the Amenity Center construction should be shown along with erosion control since it is separate construction.

18. Provide an updated stormwater calculation package for this specific Clubhouse Amenity site design showing drainage areas and HGLs.

PROPOSED GRADING LEGEND	
SYMBOL	DESCRIPTION
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED SPOT GRADES
	SLOPE GRADIENT

PROPOSED STORM DRAINAGE LEGEND	
SYMBOL	DESCRIPTION
	HPDE STORM PIPE
	FRENCH DRAIN
	CATCH BASIN (CB)



CONSTRUCTION DRAWINGS
**BROADMOOR
CLUBHOUSE AMENITY**



3/3/2025
0 10 20
SCALE: 1 inch = 20 ft.
N
E
S
W
INITIAL PLAN DATE: 03/05/2025
REVISIONS:

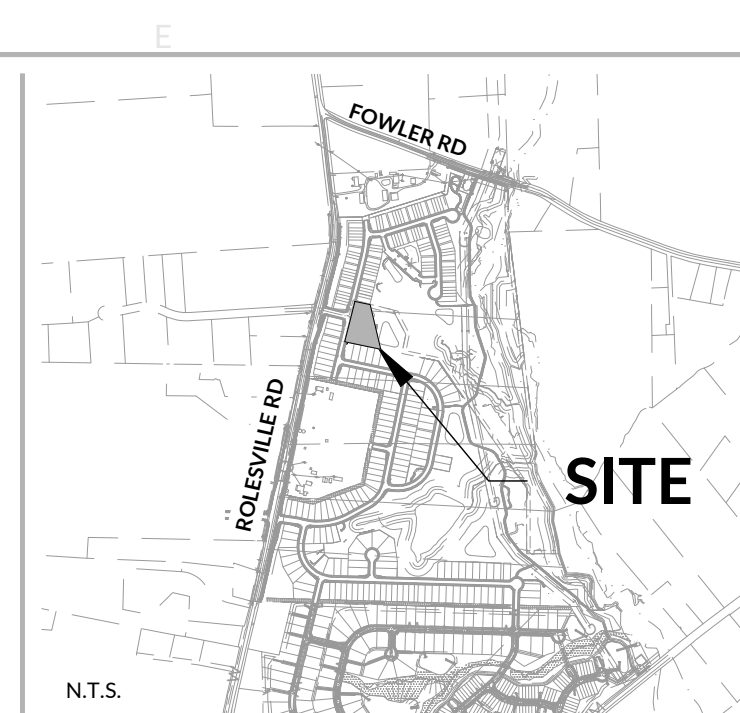
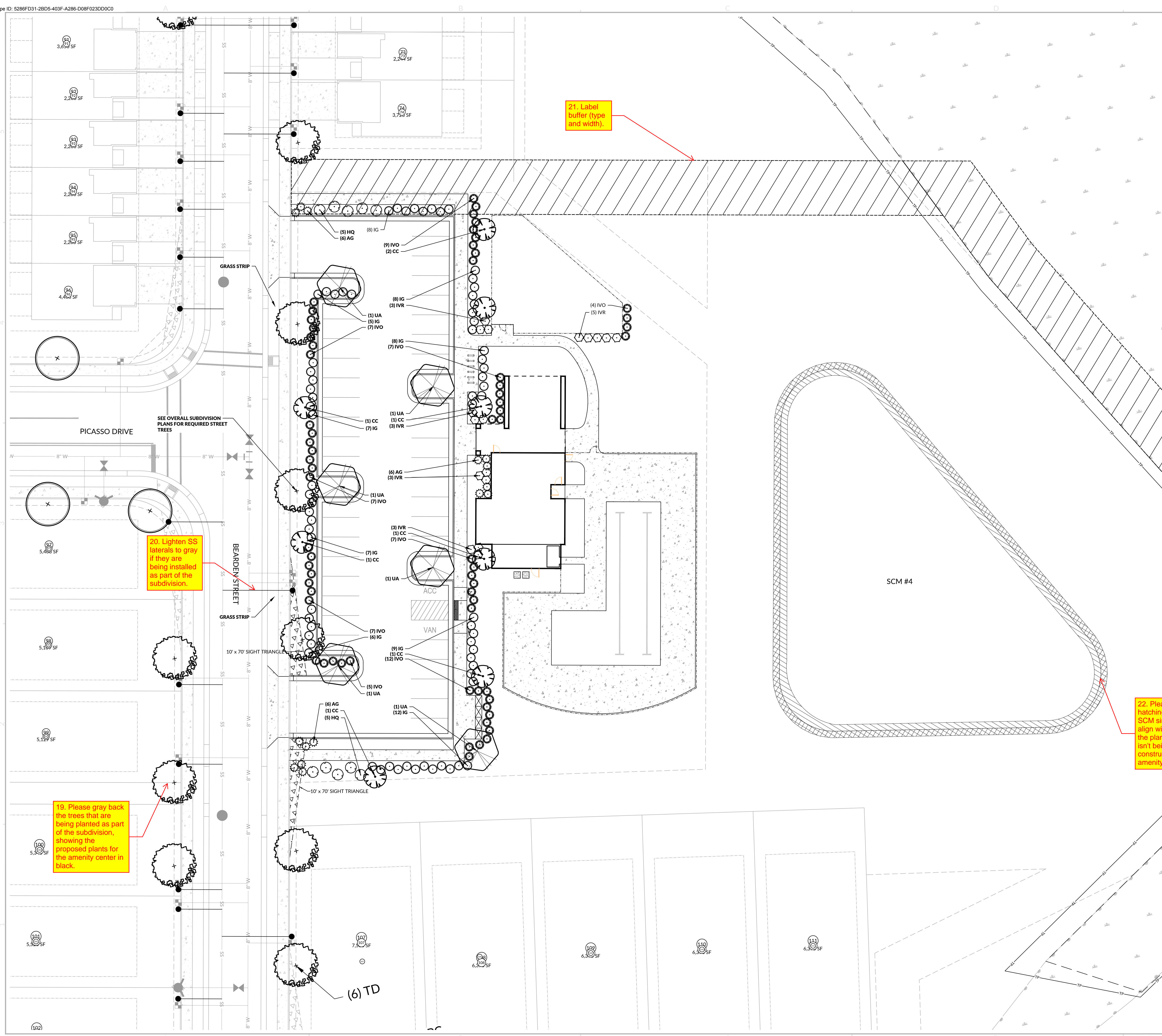
WR JOB NUMBER 23-0045
DRN: WR DGN: WR CKD: WR
**AMENITY GRADING
& DRAINAGE**

L4.01

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PULTEGROUP
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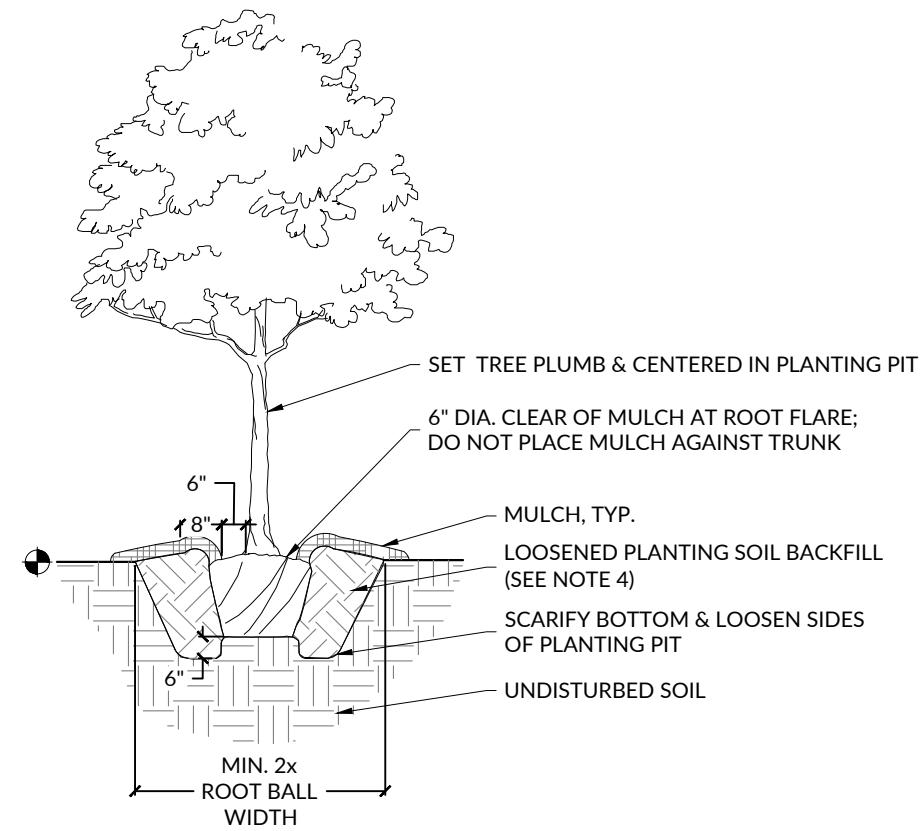


PLANT LEGEND

SYMBOL	CODE	BOTANICAL NAME
TREES		
	AR	Acer rubrum
	CC	Cercis canadensis
	CV	Chionanthus virginicus
	NS	Nyssa sylvatica
	PC	Pistacia chinensis
	PO	Platanus occidentalis
	QP	Quercus phellos
	TD	Taxodium distichum
	UA	Ulmus americana
SHRUBS		
	AG	Abelia x grandiflora
	HQ	Hydrangea quercifolia
	IC	Ilex cornuta 'Needlepoint'
	IG	Ilex glabra 'Shamrock'
	IVO	Ilex vomitoria
	IVR	Itea virginica
GROUND COVERS		
	POLL	Pollinator Mix

23. This is not shown anywhere.

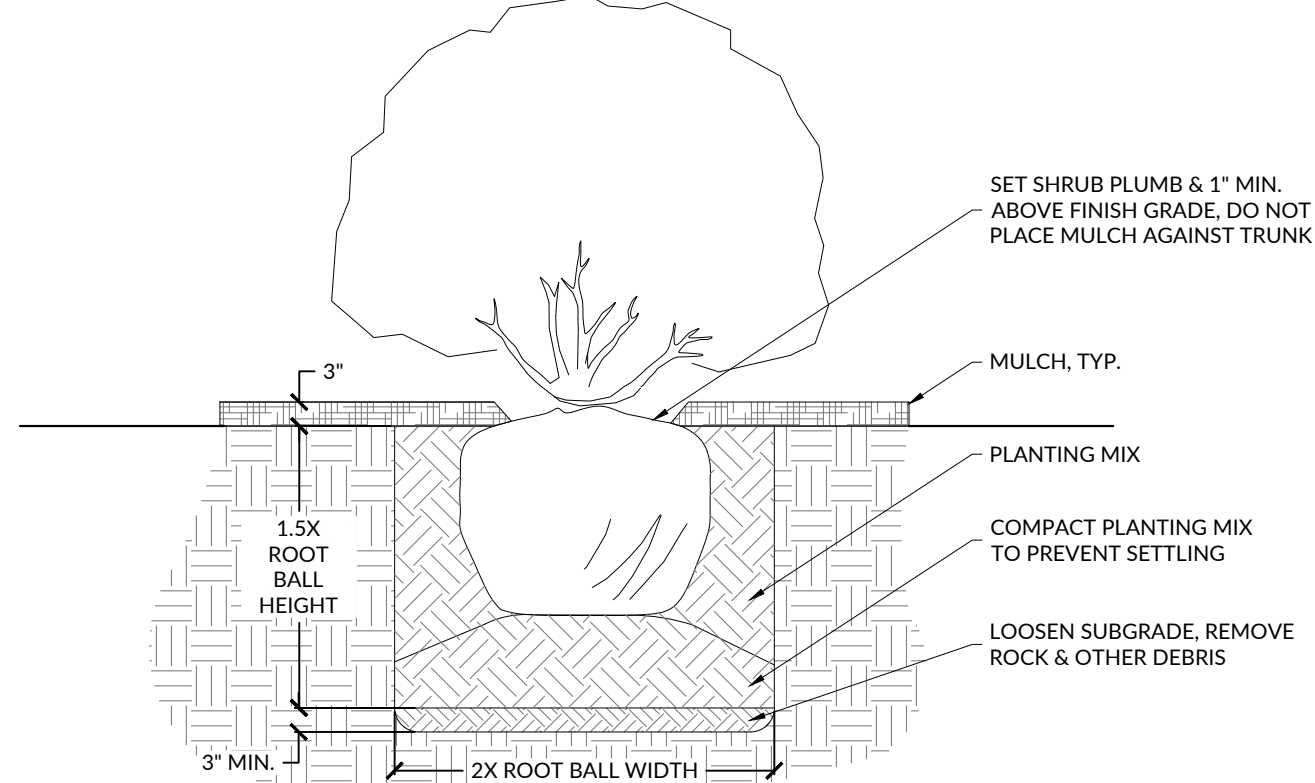
22. Please remove hatching around SCM since it doesn't align with anything in the plant legend and isn't being constructed with the amenity center.



- NOTES:
1. FOR CONTAINER PLANTS, REMOVE CONTAINER & SCARIFY ROOT MASS PRIOR TO PLANTING.
 2. FOR B&B PLANTS, COMPLETELY REMOVE WIRE BASKET AND BURLAP MATERIAL; REMOVE ALL TWINE, ROPE, BURLAP, AND WIRE FROM ROOT BALL.
 3. SET ROOT BALL ON UNDISTURBED STABLE SUBSOIL SO THAT TOP OF ROOT BALL IS 2-3" ABOVE FINISHED GRADE. TAMP SOIL FIRMLY AROUND BOTTOM OF ROOT BALL TO SET TREE PLUMB.
 4. DIG & TURN PLANTING SOIL TO REDUCE COMPACTION. LIGHTLY TAMP SOIL AROUND ROOT BALL IN 6" LIFTS TO BRACE THE TREE. DO NOT OVER-COMPACT. MIX COMPOST INTO EACH LIFT OF BACKFILL AS RECOMMENDED IN SOIL REPORT. POUR WATER AROUND ROOT BALL TO SETTLE SOIL AND BACKFILL AS REQUIRED TO MEET REQUIRED FINISHED GRADE.
 5. A 3" HIGH x 8" WIDE BERM SHALL BE MADE AROUND THE ROOT BALL EDGE.
 6. PRUNE TREES ONLY AS NEEDED TO REMOVE DEAD OR BROKEN BRANCHES.
 7. TREES IN WINDY LOCATIONS OR ON STEEP SLOPES ARE TO BE ANCHORED PER DIRECTION FROM LANDSCAPE ARCHITECT.

1 TREE PLANTING SECTION

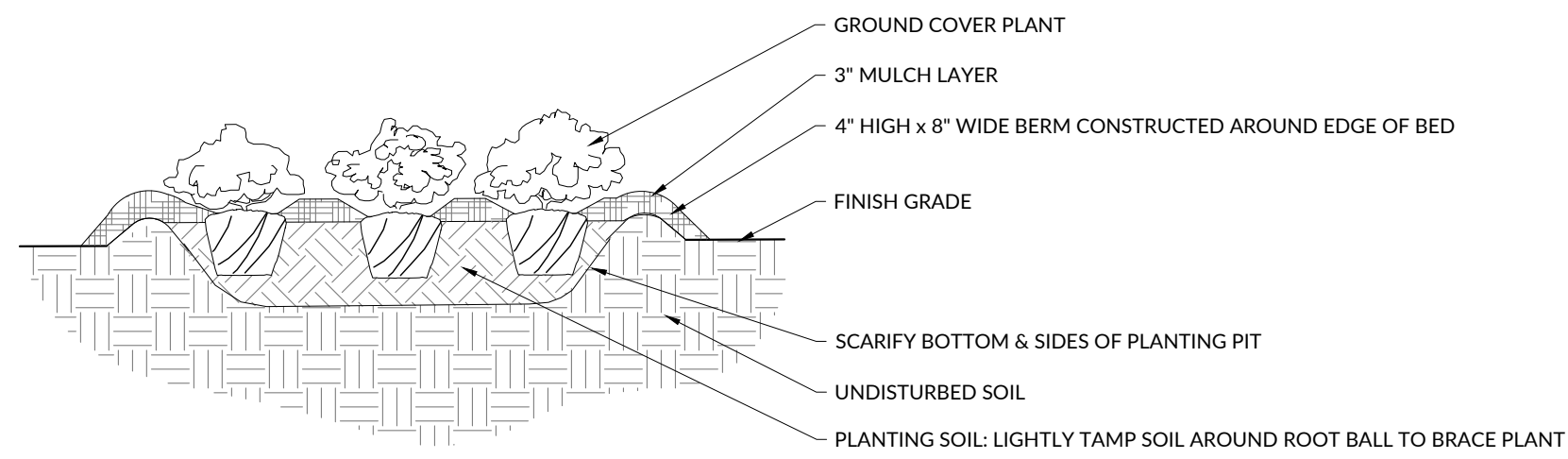
SCALE: 1/4" = 1'-0"



- NOTES:
1. FOR CONTAINER PLANTS, SPLIT THE ROOT BALL WITH 4 EQUALLY SPACED VERTICAL CUTS & SCARIFY ROOT MASS PRIOR TO PLANTING.
 2. FOR B&B PLANTS, REMOVE ALL TWINE, ROPE, WIRE, AND BURLAP FROM ROOT BALL.
 3. A 3" HIGH x 8" WIDE BERM SHALL BE MADE AROUND THE ROOT BALL EDGE.
 4. PLANTING AREAS WITH MULTIPLE SHRUBS ARE TO BE SIZED SO THAT THE OUTER EDGE OF PLANTING SOIL IS 8" MIN. FROM THE NEAREST SHRUB.
 5. SHRUBS ARE TO BE LOCATED SUCH THAT MATURE CANOPY IS 5' MIN. FROM FIRE HYDRANTS AND 24" MIN. FROM CURB LINE.
 6. SHRUBS ARE TO BE LOCATED WITH TRIANGULAR SPACING (SEE DETAIL) UNLESS OTHERWISE SHOWN ON THE PLANS.
 7. PRUNE SHRUBS ONLY AS NEEDED TO REMOVE DEAD OR BROKEN BRANCHES.

2 SHRUB PLANTING SECTION

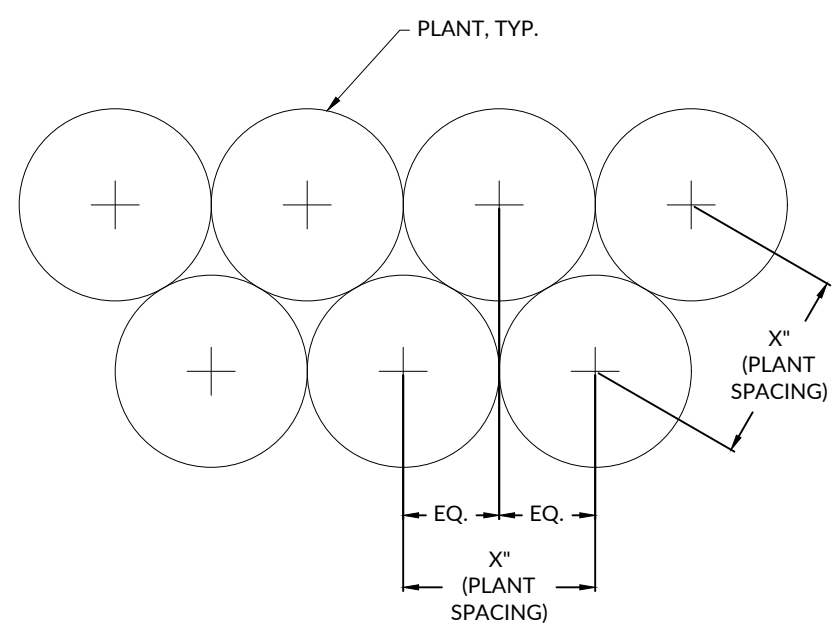
SCALE: 1/2" = 1'-0"



- PLANTING NOTES:
1. SPLIT PLANT ROOTS WITH 2-3 EQUALLY-SPACED VERTICAL CUTS.

3 GROUND COVER PLANTING SECTION

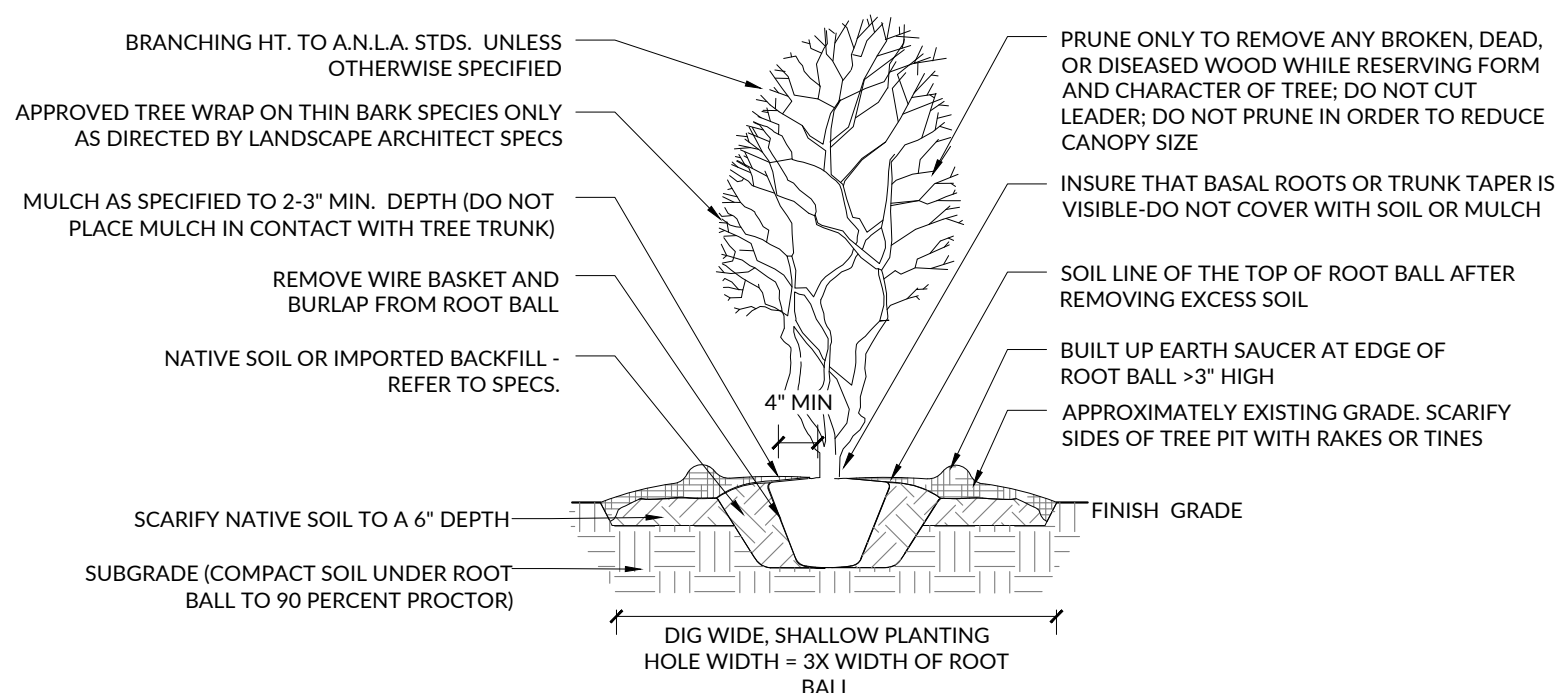
SCALE: 3/8" = 1'-0"



- NOTES:
1. REFER TO PLANT SCHEDULE FOR SPACING REQUIREMENTS FOR EACH SPECIES.
 2. PLANTS SHALL BE INSTALLED IN STRAIGHT AND PARALLEL ROWS FOLLOWING THIS PATTERN UNLESS OTHERWISE SHOWN ON DRAWINGS.

4 TYPICAL PLANT SPACING SECTION

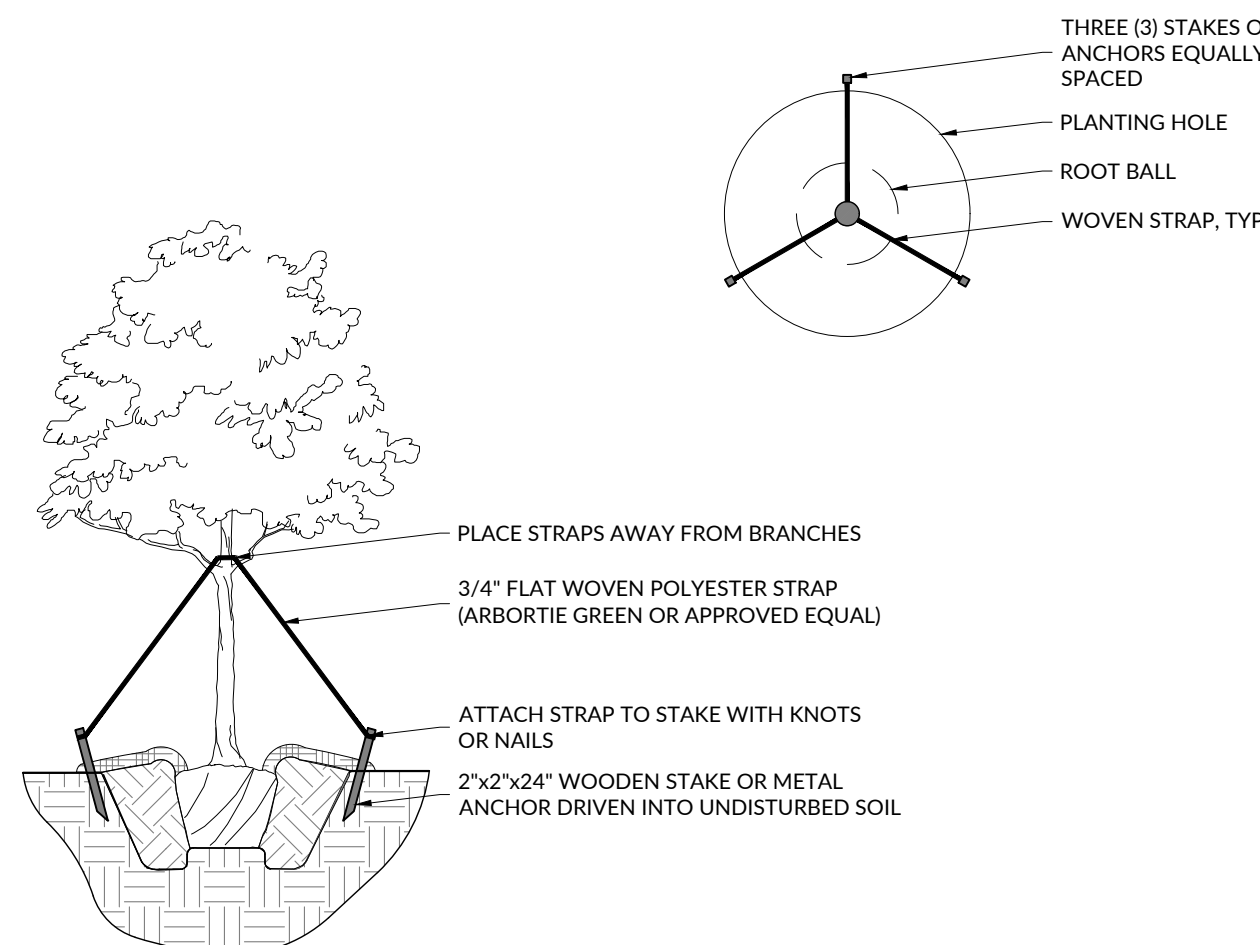
SCALE: 1/2" = 1'-0"



- TREE PLANTING NOTES:
1. IF TREES SETTLE OR ARE BLOWN OUT OF PLUMB POSITION, THEY SHOULD BE STRAIGHTENED BY MAKING ADJUSTMENTS TO THE POSITION OF THE ROOTBALL - NOT BY PUSHING ON THE TRUNK AND/OR TIGHTENING THE GUY WIRE. TREES SHALL BE STRAIGHTENED DURING THE LIFE OF THE PROJECT AS THEY GET OUT OF PLUMB, NOT JUST AT THE END OF THE PROJECT.
 2. BALL DEPTHS ON SOME TREES IN A SINGLE GROUP MAY VARY. IF DEPTHS VARY, ALL TREES IN A GROUP SHOULD BE SET SO THAT THE BASE OF THE TRUNKS WILL APPEAR TO BE AT THE SAME RELATIVE ELEVATION ABOVE GRADE.
 3. NO DECIDUOUS OR EVERGREEN TREES WILL BE ACCEPTED IF THERE IS MORE THAN ONE LEADER, UNLESS THE TREE IS SPECIFIED AS MULTI-TRUNK.
 4. CONTRACTOR TO VERIFY THAT ADEQUATE DRAINAGE EXISTS PRIOR TO PLANTING.
 5. STAKING OF TREES IS NOT RECOMMENDED, EXCEPT ON WINDY SITES OR IF TREES ARE 3" CALIPER AND LARGER. IF STAKING IS DONE, FLEXIBLE STRAPS - NOT HOSE AND WIRE - SHOULD BE USED AND MUST BE REMOVED AT APPROPRIATE TIME. PROPERTY OWNER IS RESPONSIBLE FOR REPLACEMENT OF DESTROYED OR DAMAGED TREES.
 6. ALL TREES SHALL CONFORM TO THE STANDARDS SET FORTH IN THE MOST RECENT EDITION (2004 OR LATER) OF AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY A.N.A.L.A.
 7. A ROOT COLLAR EXCAVATION FOR ALL TREES SPECIFIED WILL BE DONE BY THE TOWN ARBORIST TO ENSURE THAT TREES WERE PLANTED/GROWN TOO DEEPLY BY THE SOURCE (NURSERY). LANDSCAPE CONTRACTOR SHALL HAVE SUPPLIER MARK GROUND LEVEL LINE ABOVE ROOTBALL. IF TOWN ARBORIST DETERMINES THAT THERE IS EXCESSIVE SOIL OVER ROOT CROWN, THESE TREES WILL BE REJECTED.

5 MULTI-STEM TREE PLANTING SECTION

SCALE: 1/4" = 1'-0"



6 TREE STAKING SECTION

SCALE: 1/4" = 1'-0"

GENERAL LANDSCAPE NOTES:

1. THE CONTRACTOR SHALL TAKE PROPER PRECAUTIONS NOT TO DAMAGE EXISTING PLANTS, FACILITIES AND STRUCTURES THAT ARE TO REMAIN. THE CONTRACTOR SHALL RESTORE DISTURBED AREAS TO THEIR ORIGINAL CONDITION TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT AND OWNER. ADJACENT STREETS AND SIDEWALKS SHALL BE MAINTAINED IN A CLEAN CONDITION, MUD AND DUST-FREE.
2. ALL CONSTRUCTION IS TO BE IN ACCORDANCE WITH MUNICIPAL STANDARDS AND SPECIFICATIONS, AND NCDOT, STANDARDS AND SPECIFICATIONS IF APPLICABLE.
3. NO CHANGES TO ANY ASPECT OF APPROVED SITE PLAN, INCLUDING BUT NOT LIMITED TO LANDSCAPING, GRADING, BUILDING ELEVATIONS, LIGHTING, OR UTILITIES SHALL BE MADE WITHOUT THE APPROVAL OF THE GOVERNING MUNICIPALITY.
4. ALL PLANTS PROVIDED BY THE CONTRACTOR SHALL MEET OR SURPASS THE SPECIFICATIONS GIVEN IN THE PLANT TABLE AND CONFORM TO THE AMERICAN STANDARD OF NURSERY STOCK, ANSI Z601-1973 IN REGARD TO SIZING, GROWING AND B&B SPECIFICATIONS. PLANTS SHALL BE FULL AND HEAVY, AND IN HEALTHY CONDITION AT THE TIME OF PLANTING. LANDSCAPE ARCHITECT SHALL REJECT ANY PLANT NOT MEETING THESE GUIDELINES AND REQUIRE REPLACEMENT.
5. ALL PLANTS ARE TO BE FULLY GUARANTEED (INCLUDING LABOR AND MATERIALS) FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM FINAL ACCEPTANCE.
6. [PLANTING SHALL FOLLOW NCDOT STANDARD SPECIFICATIONS AS OUTLINED IN SECTION 1670. PLANTING SEASON IS OCTOBER 15 - MARCH 15, UNLESS OTHERWISE NOTED OR APPROVED BY NCDOT ENGINEER.] ALL PLANTS THAT ARE UNABLE TO BE IMMEDIATELY PLANTED SHALL BE STORED IN A PROTECTED AREA OUT OF DIRECT SUN AND WIND. PLANTS SHALL BE EVENLY AND CONSISTENTLY WATERED, AS NEEDED, TO PREVENT DRYING OF ROOTS. ROOT BALLS OF B&B STOCK SHALL BE COVERED WITH AT LEAST 4 INCHES OF HARDWOOD MULCH TO MAINTAIN MOISTURE IN ROOTS.
7. THE CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES SHOWN ON PLANS AND CLARIFY ANY DISCREPANCIES WITH LANDSCAPE ARCHITECT PRIOR TO PURCHASING PLANTS. CONTRACTOR SHALL TAG ALL TREES (AS DESIGNATED IN THE MASTER PLANT LIST) AT THE NURSERY FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO PURCHASING PLANTS.
8. LANDSCAPE ARCHITECT SHALL BE NOTIFIED IN WRITING OF ANY PROPOSED PLANT SUBSTITUTIONS BY THE CONTRACTOR. NO SUBSTITUTIONS SHALL BE MADE UNDER ANY CIRCUMSTANCES WITHOUT PRIOR APPROVAL BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
9. ALL PLANTS AND PLANTING BEDS ARE TO BE LOCATED BY SCALED DIMENSIONS FROM BUILDINGS, CURBS, PAVEMENTS, ETC. SPECIFIC ATTENTION SHALL BE GIVEN TO ENSURE THAT PLANTS INDIVIDUALLY SHOWN ON THE PLAN ARE ACCURATELY LOCATED. LOCATION OF ALL PLANTS SHALL BE REVIEWED IN THE FIELD BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR SHALL PROVIDE 48 HOURS NOTICE FOR REVIEW.
10. A PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL NEW PLANTING BEDS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND ALLOWED TO DISSIPATE PRIOR TO

INSTALLATION OF ANY PLANT MATERIAL.

11. ALL LANDSCAPE AREAS ARE TO BE GRADED FOR POSITIVE DRAINAGE AND TO ENSURE NO STANDING WATER. SEE GRADING PLAN FOR SPECIFIC GRADING INFORMATION.
12. ESTABLISH AND MAINTAIN TOP OF GRADE BELOW ADJACENT CURBS, WALKWAYS AND OTHER HARDSCAPE AREAS TO ALLOW FOR INSTALLATION OF MULCH.
13. ALL PLANTING BEDS ARE TO BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES. MULCH SHALL BE DARK BROWN, DESIGNER-GRADE, DOUBLE-SHREDDED HARDWOOD. NO PINE STRAW IS PERMITTED. CONTRACTOR TO SUBMIT A SAMPLE FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE AND DELIVERY TO PROJECT SITE.
14. FINISH OFF 2-4" CLEAR ZONE AROUND TREES WITH A 3" LAYER OF MULCH, BUT DO NOT PLACE UP AGAINST OR MOUND AROUND THE ROOT FLARE.
15. MIXED GROUND COVER AND PLANTS SPECIFIED FOR MASS PLANTINGS SHALL BE PLANTED IN GROUPS OF 3-7 AND LOCATED AS REQUIRED TO PROVIDE A GENERAL MIXING OF SPECIES. DO NOT PLANT IN ROWS OR REPETITIVE PATTERNS UNLESS OTHERWISE DIRECTED.
16. ALL TREES ADJACENT TO PEDESTRIAN WALKWAYS AND IN SIGHT TRIANGLES SHALL BE UNDER-TRIMMED SUFFICIENTLY TO ALLOW CLEAR SIGHT AND PEDESTRIAN ACCESS UP TO 6 FEET ABOVE SIDEWALK ELEVATION. ALL PRUNING SHALL BE PERFORMED BY A CERTIFIED ARBORIST, AND ADHERE TO THE ANSI A300 PRUNING STANDARD. PRUNING CUTS ARE TO BE DELIBERATE AND TARGETED ONLY TO THE NECESSARY BRANCHES IN ORDER TO SATISFY SIGHT AND CLEARANCE REQUIREMENTS WHILE MAINTAINING THE INTEGRITY OF THE TREES.
17. CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING, BUT NOT LIMITED TO WATERING, MULCHING, SPRAYING, FERTILIZING, ETC.) OF THE PLANTING AREAS UNTIL FINAL ACCEPTANCE.
18. ANY PLANT WHICH DIES, TURNS BROWN OR DEFOOLIATES PRIOR TO FINAL ACCEPTANCE OF THE WORK SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, IN ACCORDANCE WITH THE APPROPRIATE PLANTING SEASON, QUANTITY AND SIZE TO MEET PLAN SPECIFICATIONS.
19. UTILITIES SHOWN ON THE LANDSCAPE DRAWINGS ARE FOR REFERENCE ONLY. SEE UTILITY DRAWINGS FOR EXISTING AND PROPOSED UTILITY LOCATIONS. THE CONTRACTOR MUST LOCATE AND VERIFY ALL SUCH INFORMATION, INCLUDING INFORMATION NOT SHOWN ON THE PLANS, BY CONTACTING THE INDIVIDUAL UTILITY COMPANY & INVESTIGATING THE SITE TO DETERMINE THE EXACT LOCATION OF UTILITY LINES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING, AT HIS OWN EXPENSE, AND TO THE SATISFACTION OF THE PROJECT OWNER AND THE UTILITY OWNER, DAMAGE TO ANY UTILITY CAUSED BY HIS WORK. HE SHALL IMMEDIATELY NOTIFY THE OWNER AND THE UTILITY OWNER OF ANY DAMAGE TO ANY UTILITY BY HIS OPERATION.
20. THE SITE SHALL BE STABILIZED AND SEEDED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO).
21. ALL ABOVE-GROUND HVAC EQUIPMENT AND UTILITY DEVICES (TO INCLUDE, BUT NOT LIMITED

TO TELEPHONE AND CABLE PEDESTALS; ELECTRICAL TRANSFORMERS; BACKFLOW-DEVICE HOTBOX; ET/C) SHALL BE SCREENED

TREE PROTECTION NOTES:

1. ALL TREES THAT ARE TO REMAIN, WITHIN OR DIRECTLY ADJACENT TO THE LIMITS OF WORK, MUST BE PROTECTED WITH 6" TALL CHAIN LINK FENCE TO THE EXTENT OF THE TREE BOX OR THE DRIP LINE IN A PLANTING STRIP. THE DRIP LINE IS DEFINED AS THE GROUND AREA UNDER THE CANOPY OF THE TREE. FENCING IS TO BE INSTALLED PRIOR TO CONSTRUCTION, MAINTAINED THROUGHOUT, AND REMOVED ONLY AT THE END OF THE PROJECT.
2. NONE OF THE FOLLOWING SHALL OCCUR WITHIN THE ROOT ZONE OF A TREE WITHOUT PERMISSION OF LANDSCAPE ARCHITECT OR PROJECT ARBORIST: ALTERATION OR DISTURBANCE TO EXISTING GRADE; STAGING OR STORAGE OF CONSTRUCTION MATERIALS, EQUIPMENT, SOIL OR DEBRIS; TRENCHING; OR DISPOSAL OF ANY LIQUIDS.
3. NO HEAVY EQUIPMENT SHALL BE USED WITHIN THE DRIP LINE OF AN EXISTING TREE.
4. APPROVED EXCAVATIONS WITHIN THE DRIP LINE SHALL PROCEED WITH CARE BY USE OF HAND TOOLS OR EQUIPMENT THAT WILL NOT CAUSE INJURY TO TREE TRUNKS, BRANCHES AND ROOTS.
5. NO ROOTS GREATER THAN 2 INCHES IN DIAMETER SHALL BE CUT WITHOUT PERMISSION OF LANDSCAPE ARCHITECT OR PROJECT ARBORIST. EXPOSED ROOTS 2 INCHES AND LARGER IN DIAMETER SHALL BE WRAPPED IN BURLAP OR OTHER APPROVED MATERIAL AND KEPT MOIST AT ALL TIMES.
6. IF THERE ARE ANY TREE CONFLICTS ON THIS JOB SITE, PERMIT HOLDER MUST SUSPEND ALL WORK THAT CONTRIBUTES TO THE CONFLICT AND IMMEDIATELY CONTACT LANDSCAPE ARCHITECT OR PROJECT ARBORIST FOR DIRECTION AND CLEARANCE TO CONTINUE THE CONFLICTING WORK.
7. TREES THAT ARE PROTECTED SHALL BE THOROUGHLY WATERED AS REQUIRED TO KEEP ROOT BALLS FROM DRYING OUT, ESPECIALLY BETWEEN APRIL THROUGH SEPTEMBER.
8. UTILITIES NOTES:
9. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS AND NCDOT STANDARD DETAILS AND SPECIFICATIONS, LATEST REVISIONS, AS APPLICABLE.
10. EXISTING UTILITIES SHALL BE VERIFIED IN THE FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
11. ALL FILL MATERIAL IS TO BE IN PLACE AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
12. MINIMUM TRENCH WIDTH AT THE TOP OF THE PIPE SHALL BE 18" GREATER THAN THE OUTSIDE DIAMETER OF THE PIPE.
13. ALL NECESSARY INSPECTIONS, CERTIFICATIONS, OR TESTING REQUIRED BY CODES OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.

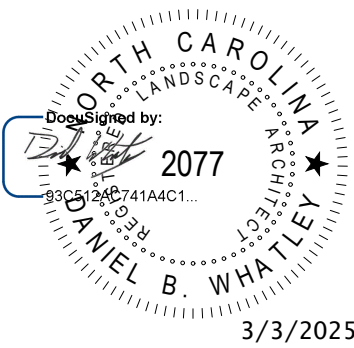
14. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
15. ALL GAS METERS AND ELECTRICAL EQUIPMENT SUBJECT TO VEHICLE IMPACT WILL BE PROTECTED BY BOLLARDS.
16. CONTRACTOR SHALL PROVIDE ALL MATERIALS AND APPURTENANCES NECESSARY FOR COMPLETE INSTALLATION OF THE STORM SEWER.
17. THE LOCATIONS OF EXISTING STORM SEWER STRUCTURES SHOWN ON THESE PLANS ARE APPROXIMATE. WHERE PROPOSED STORM SEWER PIPING TIES TO EXISTING STRUCTURES, PIPES, SWALES, ETC., THE CONTRACTOR SHALL FIELD ADJUST PROPOSED STORM SEWERS TO MATCH THE LOCATIONS OF THESE EXISTING FEATURES.
18. CONTRACTOR SHALL MAKE EVERY EFFORT TO SAVE PROPERTY IRONS, MONUMENTS, OTHER PERMANENT POINTS AND LINES OF REFERENCE AND CONSTRUCTION STAKES. A REGISTERED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE SHALL REPLACE PROPERTY IRONS, MONUMENTS, AND OTHER PERMANENT POINTS OF REFERENCE DESTROYED BY THE CONTRACTOR.
19. CONTRACTOR SHALL CLEAR AND GRUB ALL UTILITY EASEMENTS, AS DIRECTED BY THE OWNER, TO INSTALL NEW UTILITIES. ON ROADWAY RIGHT-OF-WAYS, THE CONTRACTOR SHALL ONLY REMOVE THE TREES MARKED ON THE PLANS AND SHALL MAKE EVERY EFFORT DURING CONSTRUCTION TO PROTECT THE TREES THAT WILL NOT BE REMOVED.
20. THE CONTRACTOR SHALL FURNISH, INSTALL, AND MAINTAIN ALL NECESSARY EROSION CONTROL MEASURES WHETHER OR NOT SHOWN ON THE PLANS TO PROTECT ADJACENT CREEKS, RIVERS, ROADWAYS, ETC. FROM SILTATION AND EROSION.
21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATION OF EXISTING UTILITIES IF REQUIRED DURING INSTALLATION OF NEW WORK. THERE WILL BE NO ADDITIONAL OR SEPARATE PAY ITEM FOR THIS WORK. UNLESS SPECIFICALLY CALLED OUT IN THE BID FORM, ANY RELOCATION OF EXISTING UTILITIES MUST BE COORDINATED WITH THE AFFECTED UTILITY COMPANY.
22. THE CONTRACTOR SHALL SUPPORT ALL UTILITY POLES AS NECESSARY. THE CONTRACTOR SHALL COORDINATE UTILITY POLE SUPPORT WITH THE APPROPRIATE UTILITY COMPANIES.

PLANT SCHEDULE AMENITY

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
TREES					
	CC	Cercis canadensis / Eastern Redbud Multi-trunk	6' Ht.	B&B	8
	UA	Ulmus americana / American Elm	3" CAL., 12' HT MIN	B&B	6
SHRUBS					
	AG	Abelia x grandiflora / Glossy Abelia	24" HT. MIN.	CONT.	15
	HQ	Hydrangea quercifolia / Oakleaf Hydrangea	7 gal.	CONT.	10
	IG	Ilex glabra 'Shamrock' / Shamrock Inkberry Holly	24" HT. MIN.	CONT.	70
	IVO	Ilex vomitoria / Yaupon Holly	24" HT. MIN.	CONT.	65
	IVR	Itea virginica / Virginia Sweetspire	24" HT. MIN.	CONT.	17

CONSTRUCTION DRAWINGS BROADMOOR CLUBHOUSE AMENITY

ROLESVILLE ROAD | ROLESVILLE, NC 27587 | WAKE COUNTY



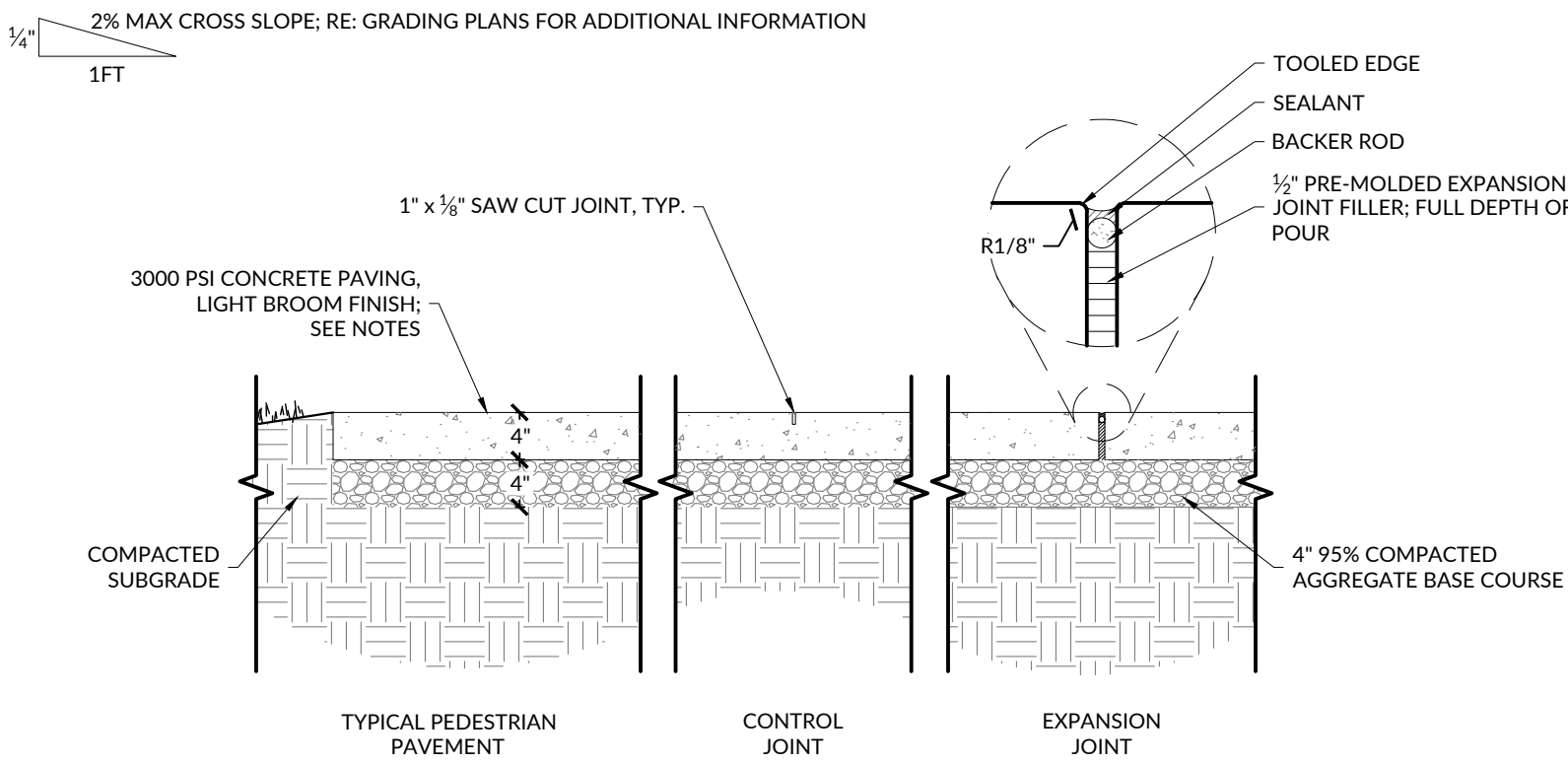
INITIAL PLAN DATE: 03/05/2025
REVISIONS:

WR JOB NUMBER 23-0045
DRN: WR DGN: WR CKD: WR

LANDSCAPE DETAILS

L6.01

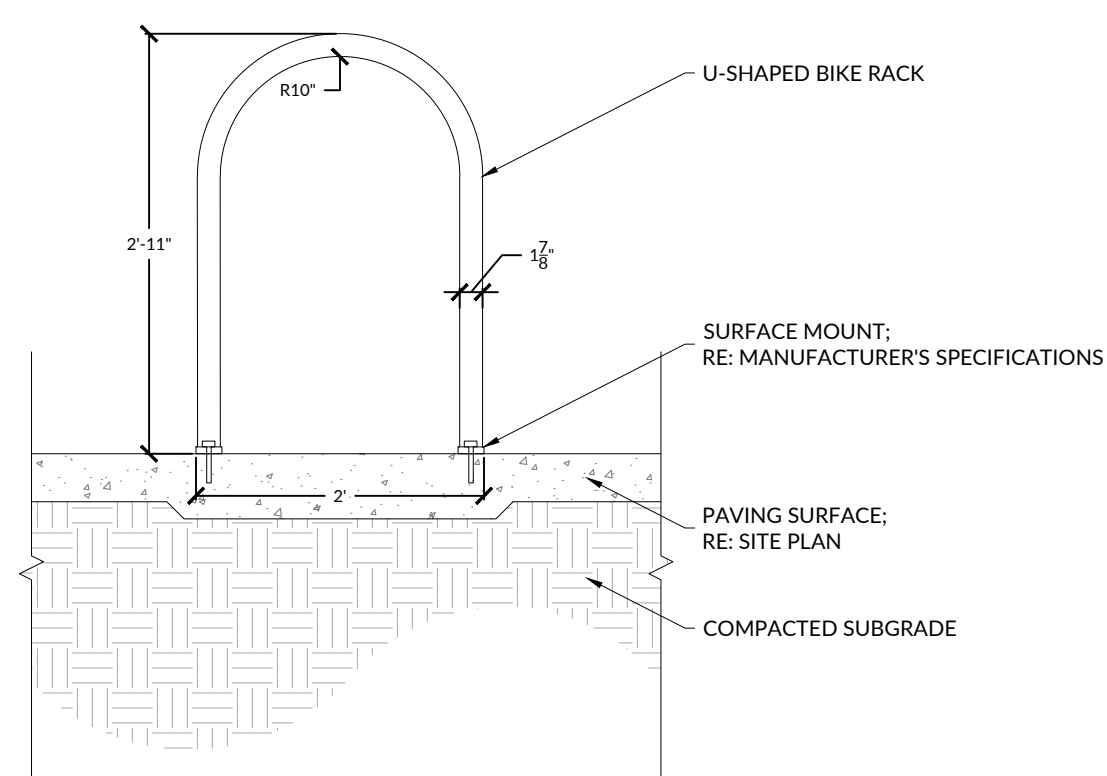
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- NOTES:
1. PROVIDE EXPANSION JOINT WHERE WALKS ARE POURED AGAINST VERTICAL SURFACES AND/OR DIFFERENT PAVING MATERIALS & AS SPECIFIED ON PLANS OR 25'-0" MAX O.C.
 2. PROVIDE CONTRACTION JOINT AT 5' INTERVALS UNLESS OTHERWISE SPECIFIED (SEE PLAN).
 3. CONTRACTOR TO PROVIDE MOCK-UP OF CONCRETE FINISH, COLOR, AND SCORING FOR OWNERS APPROVAL. MOCK-UP CAN BE USED AS PART OF FINAL PROJECT.

1 CONCRETE PAVING
SCALE: 3/4" = 1'-0"

SECTION

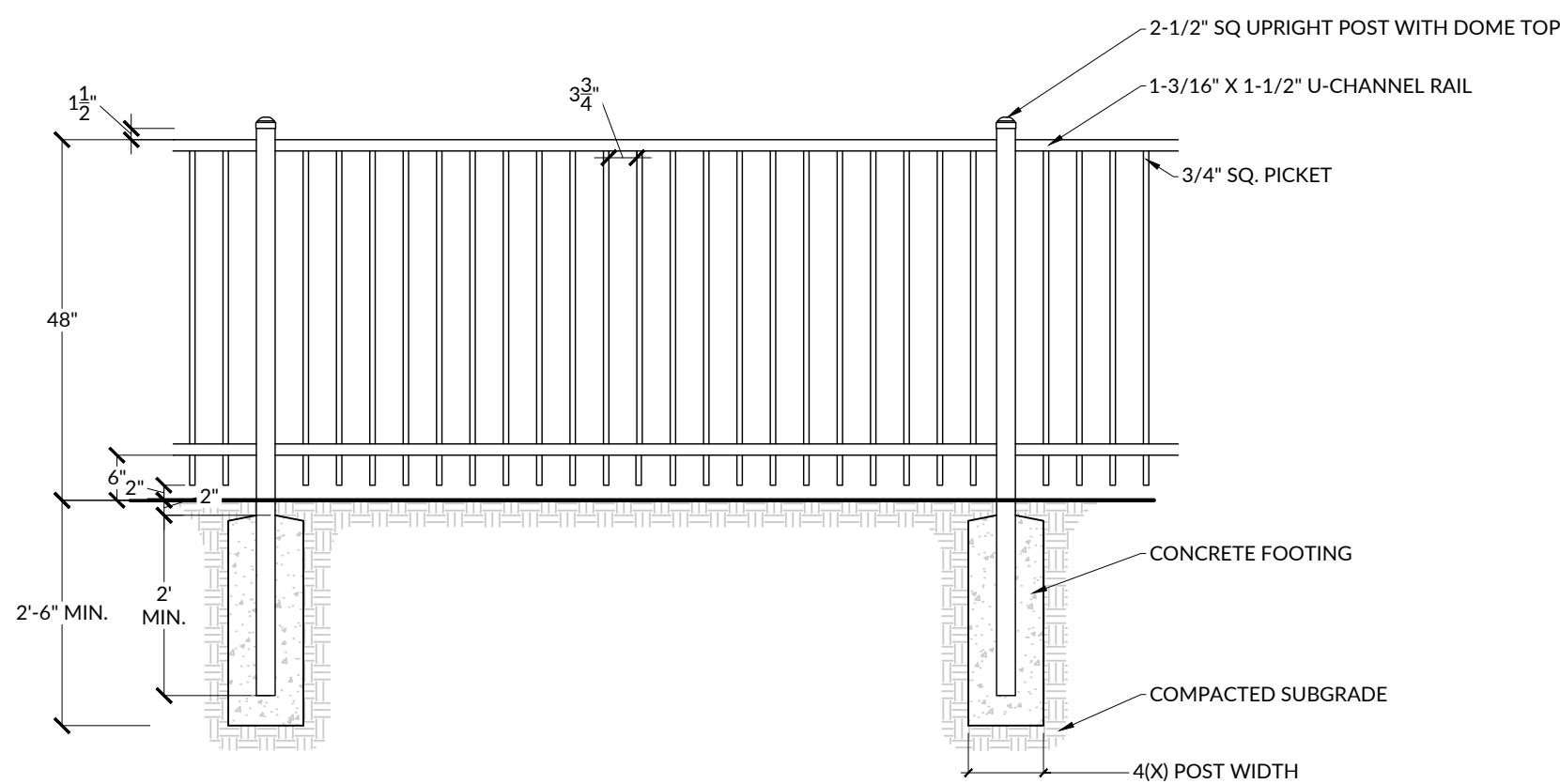


- NOTES:
1. BIKE RACK SHALL BE FABRICATED WITH 1-1/2" SCH. 40 STEEL PIPE (1.9" O.D.)
 2. INCLUDE CORROSION RESISTANCE UNDERCOAT FINISH.
 3. OUTER FINISH SHALL BE POWDER COAT. COLOR AS SELECTED BY OWNER.

2 BIKE RACK
SCALE: 3/4" = 1'-0"

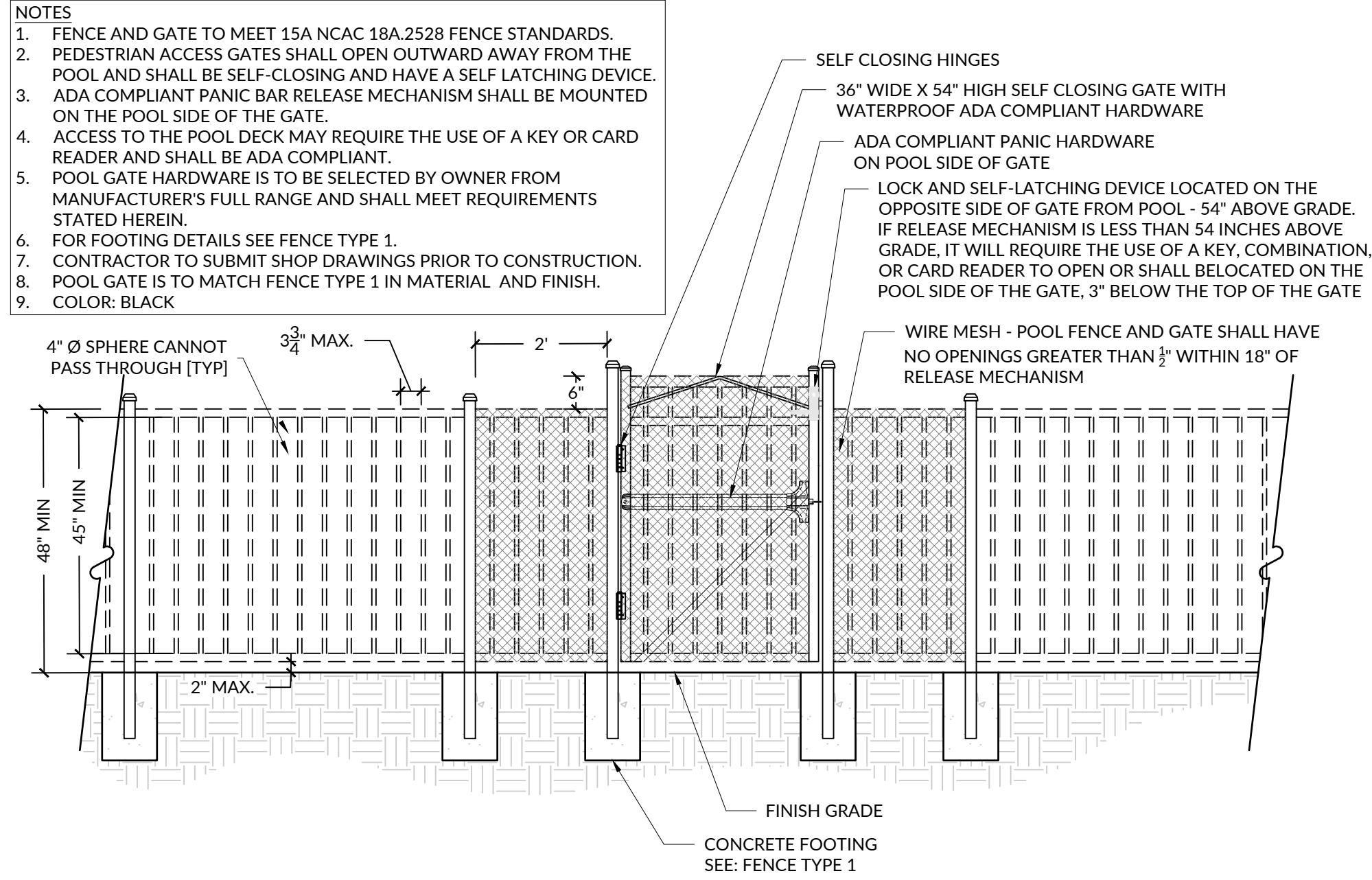
SECTION

- NOTES:
1. COLOR: BLACK
 2. DETAIL SPECIFICS MAY DEVIATE BASED ON FENCE PRODUCT SELECTED BY CONTRACTOR. THIS DETAIL PROVIDES DESIGN INTENT ONLY.
 3. FENCE HEIGHT AND COLOR SHALL REMAIN AS SPECIFIED



3 FENCE TYPE 1
SCALE: 1/2" = 1'-0"

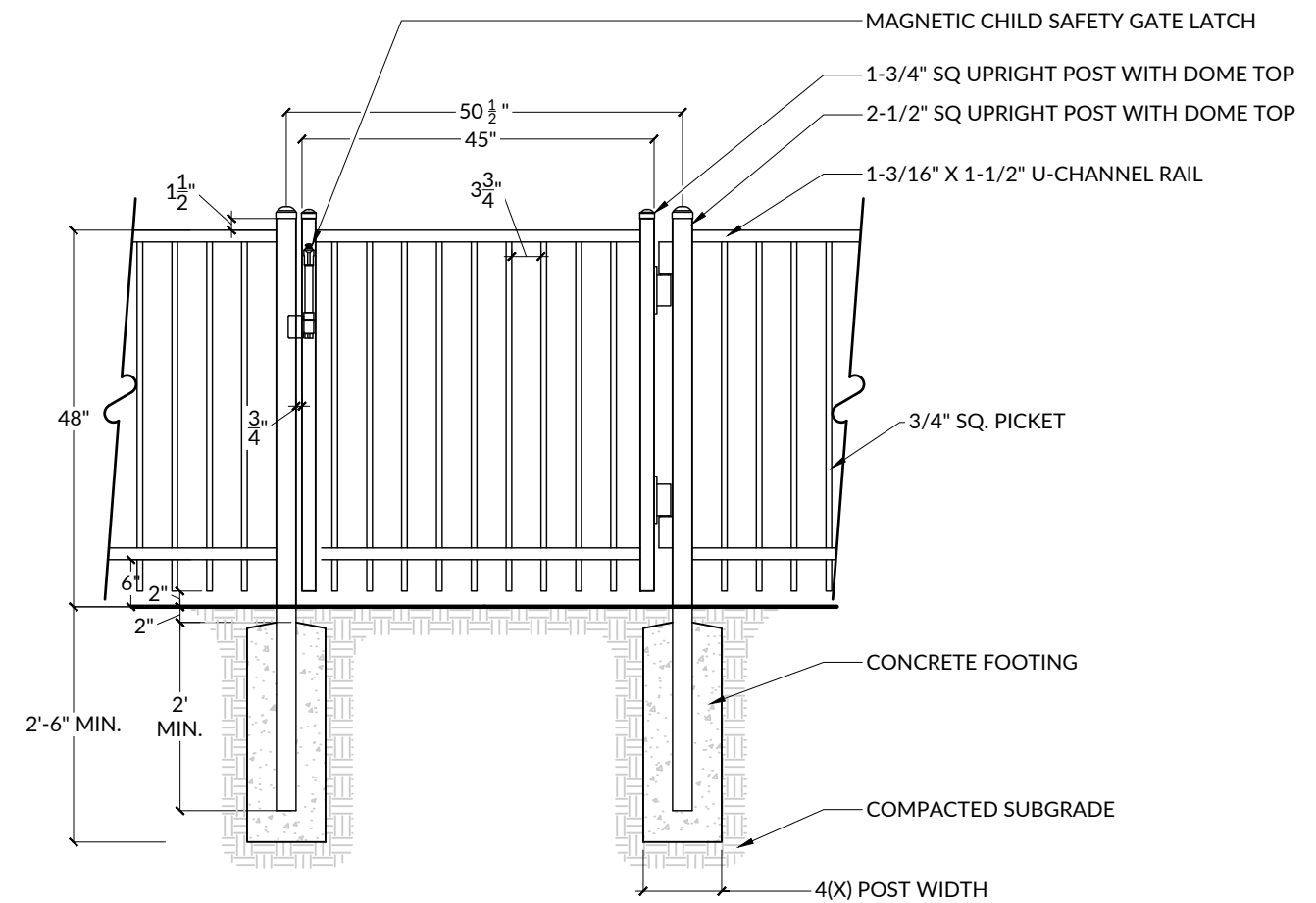
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4 GATE TYPE 1
SCALE: 1/2" = 1'-0"

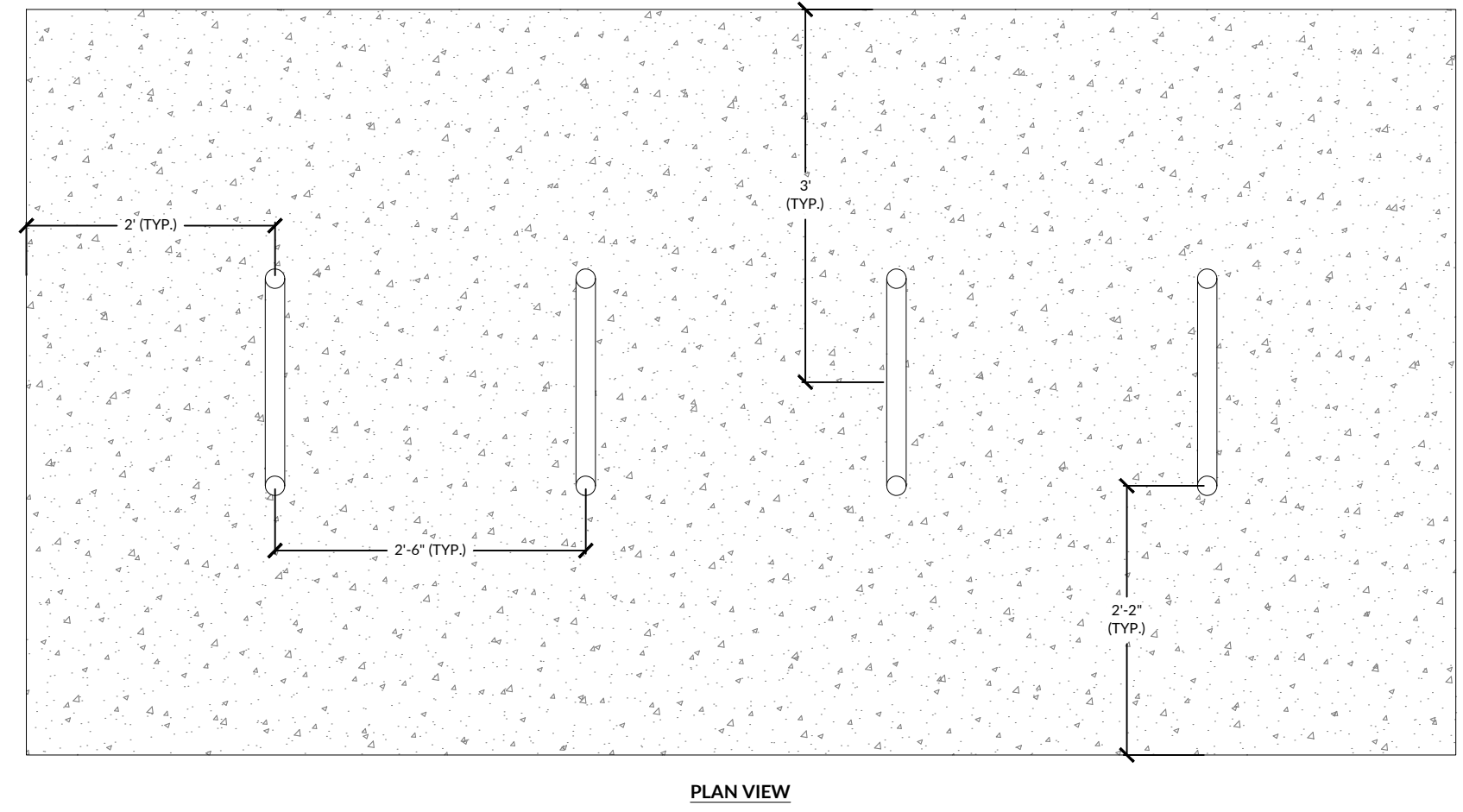
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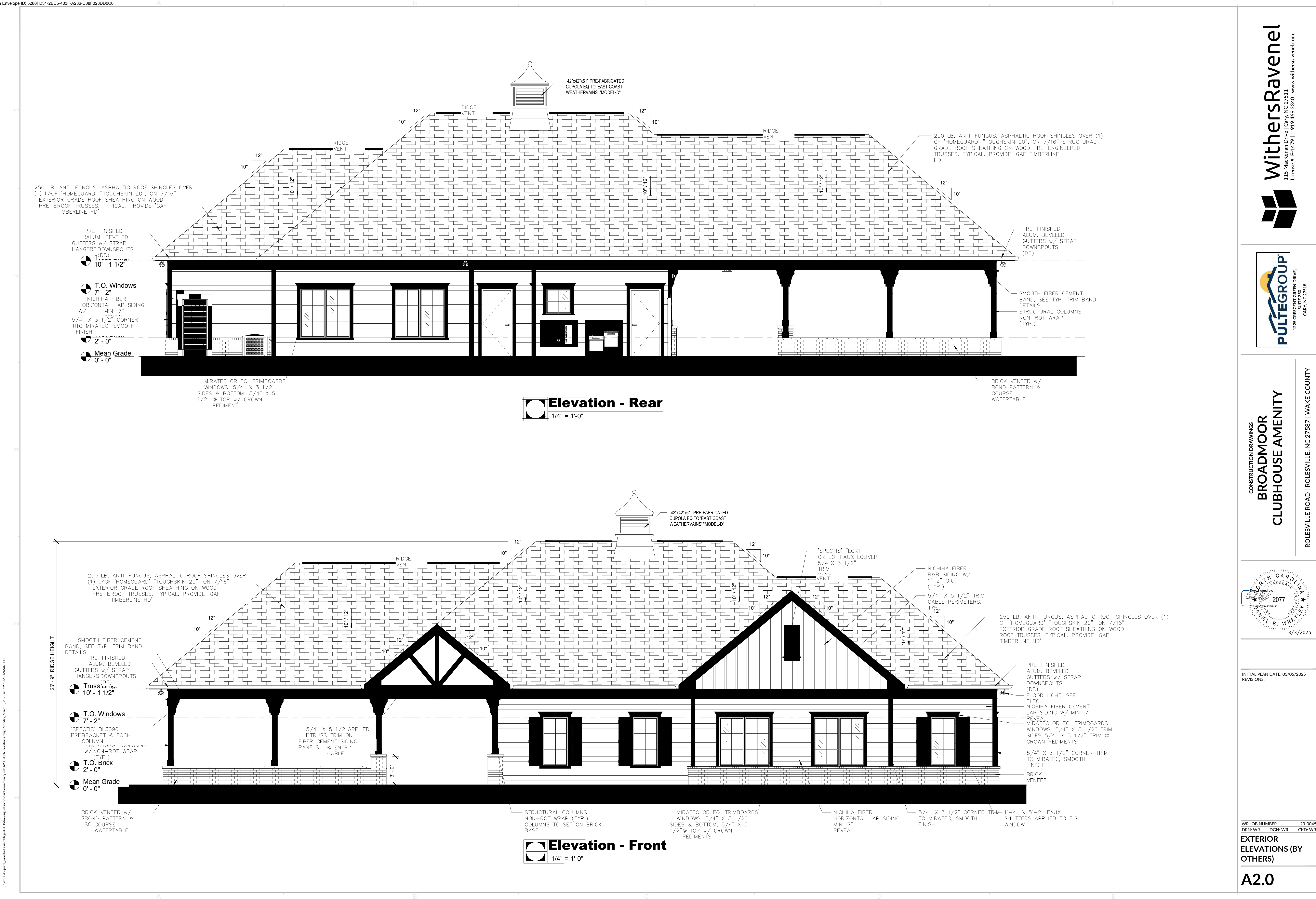
- NOTES:
1. COLOR: BLACK
 2. DETAIL SPECIFICS MAY DEVIATE BASED ON GATE PRODUCT SELECTED BY CONTRACTOR. THIS DETAIL PROVIDES DESIGN INTENT ONLY.
 3. GATE HEIGHT AND COLOR SHALL REMAIN AS SPECIFIED



5 GATE TYPE 2
SCALE: 1/2" = 1'-0"

SECTION





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CARY, NC 27518

CONSTRUCTION DRAWINGS
BROADMOOR CLUBHOUSE AMENITY

ROLESVILLE ROAD | ROLESVILLE, NC 27587 | WAKE COUNTY

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