

PARKER RIDGE AMENITY PLAN

82 SCHOOL STREET
ROLESVILLE, NORTH CAROLINA 27571

V1 -
SDP-24-10

Note: Based on the conflicting information between existing and proposed conditions and the Parker Ridge Subdivision plans, plans were not able to be reviewed in full and additional comments may follow in subsequent submittals, based on updates.

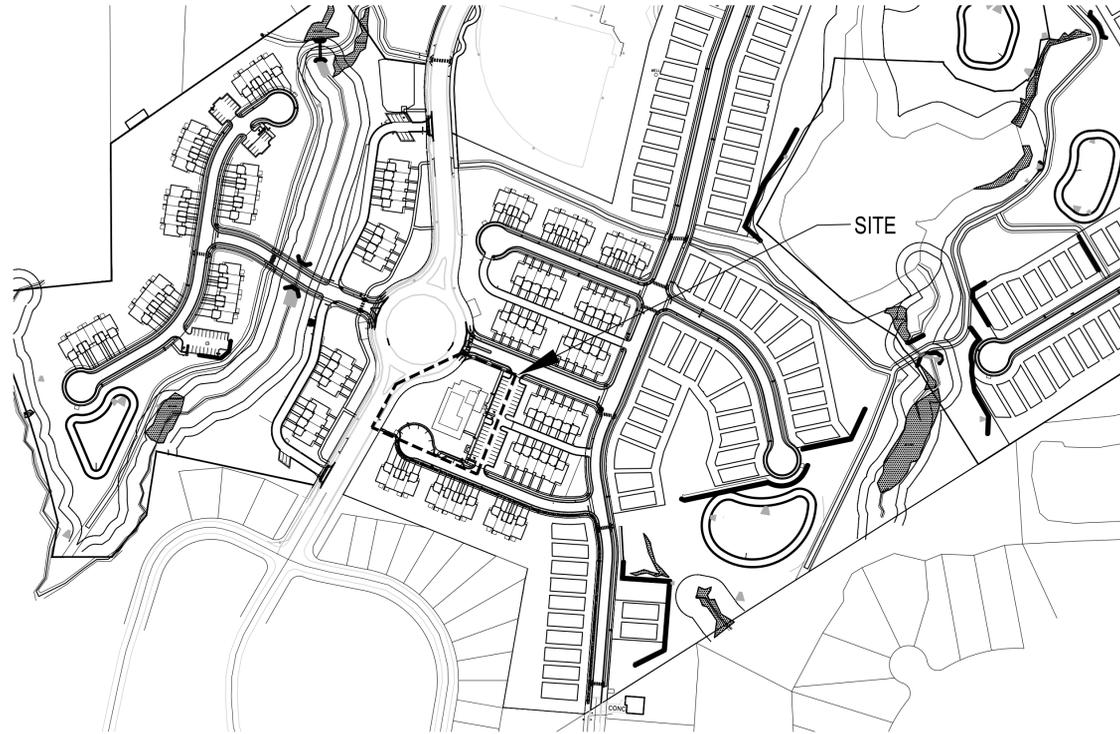
1. Please provide site data table with next submittal including:
- PIN
 - Zoning (current and proposed)
 - Watershed
 - River Basin
 - Current Use(s)
 - Proposed Use(s)
 - Current Impervious
 - Proposed Impervious
 - Parking Data per use
 - Tree Coverage Data
 - Building Height
 - Building Square Footage

2. With next submittal please include:
- Erosion control plan
 - Lighting plan

SITE DEVELOPMENT PLAN
TOWN OF ROLESVILLE CASE NUMBER: PSP23-02
PREVIOUS REZONING APPLICATION: MA22-03

3. Update Case number to SDP-24-10

4. Clear out revision block to refer only to Parker Ridge Amenity Plan

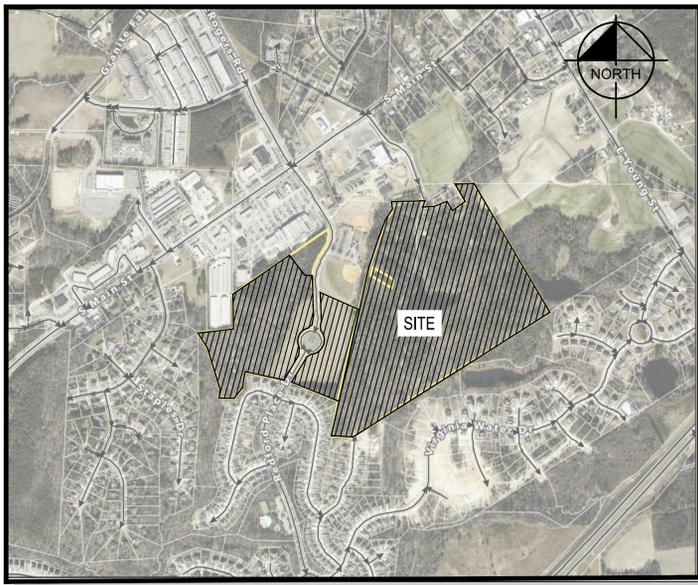


ENLARGEMENT
SCALE: 1" = 200'

SHEET INDEX

- L4-0 AMENITY - COVER SHEET
- L4-1 AMENITY - EXISTING CONDITIONS PLAN
- L4-2 AMENITY - LAYOUT AND HARDSCAPE PLAN
- L4-3 AMENITY - GRADING, DRAINAGE AND UTILITIES PLAN
- L4-4 AMENITY - PLANTING PLAN
- L4-5 AMENITY - SITE AND PLANTING DETAILS
- A1.0 AMENITY - BATH HOUSE PLAN
- A2.0 AMENITY - BATH HOUSE ELEVATIONS

5. Include consultants contact information



SITE LOCATION MAP
NOT TO SCALE

PARKER RIDGE SUBDIVISION ZONING CONDITIONS

- DEVELOPMENT OF THE PROPERTY SHALL BE IN SUBSTANTIAL CONFORMANCE WITH THE ACCOMPANYING EXHIBIT C CONCEPT PLAN. LOCATIONS SHOWN FOR COMMITTED ELEMENTS INCLUDING, BUT NOT LIMITED TO GREENWAYS, STREETS, AND OPEN AREAS SHOWN ON EXHIBIT C ARE CONCEPTUAL AND PROVIDED FOR ILLUSTRATION AND CONTEXT ONLY. FINAL LOCATIONS OF ELEMENTS SHALL BE DETERMINED AT SUBSEQUENT STAGES OF APPROVAL. DEVELOPER SHALL BE ENTITLED TO A CREDIT AGAINST THE PROJECT'S PARKS AND RECREATION FEES FOR THE COSTS TO CONSTRUCT PUBLIC GREENWAYS.
- THE FOLLOWING USES SHALL BE PROHIBITED ON THE PORTION OF THE PROPERTY ZONED RESIDENTIAL HIGH DENSITY (THE "RH PARCEL"):
 - LIVE-WORK UNIT
 - RESIDENTIAL CARE (ALF, ILF, CCF)
 - TELECOMMUNICATIONS TOWER
- THE RH PARCEL SHALL HAVE A MAXIMUM OF 120 TOWNHOUSE DWELLINGS.
- THE FOLLOWING USES SHALL BE PROHIBITED ON THE PORTION OF THE PROPERTY ZONED RESIDENTIAL MEDIUM DENSITY (THE "RM PARCEL"):
 - TELECOMMUNICATIONS TOWER
 - THE RM PARCEL SHALL HAVE A MAXIMUM OF 170 SINGLE-FAMILY DETACHED DWELLINGS.
- A SINGLE FAMILY DETACHED HOME SHALL BE DEVELOPED AND DONATED AS PART OF WOUNDED WARRIOR HOMES, OPERATION COMING HOME, OPERATION FINALLY HOME, OR SIMILAR ORGANIZATION PROVIDING HOMES TO VETERANS. DEVELOPER SHALL BE ENTITLED TO A WAIVER OF ALL TOWN OF ROLESVILLE PERMIT FEES FOR THIS HOME.
- THE DEVELOPMENT SHALL INCLUDE AT LEAST ONE POLLINATOR GARDEN. THE POLLINATOR GARDEN SHALL BE A LANDSCAPED GARDEN IN WHICH AT LEAST SEVENTY FIVE PERCENT (75%) OF ALL PLANTS, EXCLUDING GRASSES, ARE NATIVE MILKWEEDS AND OTHER NECTAR-RICH FLOWERS.
- PERIMETER BUFFERS SHALL BE PROVIDED AS SHOWN ON THE CONCEPT PLAN, TYPE 3 AND TYPE 4 PERIMETER BUFFERS MAY INCLUDE 9' FENCES INSTEAD OF WALLS.
- ALL SINGLE FAMILY DETACHED DWELLINGS SHALL HAVE THE FOLLOWING FEATURES:
 - A 2 CAR GARAGE.
 - ALL GARAGE DOORS SHALL HAVE WINDOWS.
 - GROUND FLOOR ELEVATION AT THE FRONT DOOR SHALL BE A MINIMUM OF 12" ABOVE AVERAGE GRADE ACROSS THE FRONT FAÇADE OF THE HOUSE.
 - A MINIMUM 24" STONE OR MASONRY WATER TABLE ALONG THE FRONT ELEVATION.
- E, IF MASONRY IS NOT THE PREDOMINANT FIRST FLOOR FINISH, THEN THE FRONT ELEVATION SHALL HAVE 2 TYPES OF SIDING. FOR EXAMPLE, HORIZONTAL SIDING MAY BE COMBINED WITH SHAKEBOARD AND BATTEN; F. ROOF PITCHES ON THE MAIN ROOF WILL HAVE A PITCH BETWEEN 5 ON 12 AND 12 ON 12; G. ROOF MATERIALS SHALL BE ASPHALT SHINGLES, METAL, COPPER OR WOOD; H. MINIMUM 12" FRONT OVERHANGS; I. A COVERED STOOP OR PORCH AT LEAST 20 SF AND 5 FT DEEP; J. ALL WINDOWS ON FRONT FAÇADES SHALL HAVE SHUTTERS OR WINDOW TRIM; K. A MINIMUM 64 SF REAR PATIO; L. AT LEAST ONE WINDOW ON EACH SIDE ELEVATION; M. NO SINGLE FAMILY DETACHED HOME SHALL BE CONSTRUCTED WITH A FRONT ELEVATION OR COLOR PALETTE THAT IS IDENTICAL TO THE HOME ON EITHER SIDE OF IT OR DIRECTLY ACROSS FROM IT; AND N. A VARIED COLOR PALETTE SHALL BE USED THROUGHOUT THE SUBDIVISION.
- ALL TOWNHOUSE DWELLINGS SHALL HAVE THE FOLLOWING FEATURES:
 - A 1 OR 2 CAR GARAGE;
 - A MINIMUM 24" STONE OR MASONRY WATER TABLE ALONG THE FRONT ELEVATION;
 - IF MASONRY IS NOT THE PREDOMINANT FIRST FLOOR FINISH, THEN THE FRONT ELEVATION SHALL HAVE 2 TYPES OF SIDING. FOR EXAMPLE, HORIZONTAL SIDING MAY BE COMBINED WITH SHAKEBOARD AND BATTEN; D. ROOF MATERIALS SHALL BE ASPHALT SHINGLES, METAL, COPPER OR WOOD; E. MINIMUM 12" FRONT OVERHANGS; F. A COVERED STOOP OR PORCH AT LEAST 20 SF AND 5 FT DEEP; G. SHUTTERS OR WINDOW TRIM SHALL BE ON FRONT FAÇADE WINDOWS; H. A MINIMUM 64 SF REAR PATIO SHALL BE PROVIDED ON FRONT LOADED TOWNHOUSES; I. AT LEAST ONE WINDOW ON EACH SIDE ELEVATION (EXCLUDING INTERIOR UNITS); J. NO TOWNHOUSE SHALL BE PAINTED A COLOR THAT IS IDENTICAL TO THE HOME ADJACENT ON EITHER SIDE OF IT; AND K. A VARIED COLOR PALETTE SHALL BE USED THROUGHOUT THE SUBDIVISION.
 - THE DEVELOPER SHALL OFFER TO DEDICATE THE SECTION OF LAND LABELED AS "PARCEL - A - TOWN OF ROLESVILLE PARK EXPANSION" ON THE CONCEPT PLAN FOR USE AS A PUBLIC PARK. THIS LAND SHALL COUNT TOWARD OPEN SPACE REQUIREMENTS FOR THE OVERALL DEVELOPMENT.
 - THE PROJECT SHALL HAVE A PUBLIC GREENWAY STUBBED TO THE 307 S. MAIN STREET PROPERTY LINE
- NEAR "ACCESS C" AS SHOWN ON THE "PARKER RIDGE TRAFFIC IMPACT ANALYSIS" PREPARED BY STANTEC CONSULTING SERVICES, INC., DATED FEBRUARY 2, 2023 (THE "TIA"), NOTWITHSTANDING THE FOREGOING, THE PROJECT SHALL NOT HAVE A PUBLIC STREET ACCESS TO SCHOOL STREET.
- DEVELOPER SHALL DESIGN AND CONSTRUCT: (1) THE PUBLIC COLLECTOR STREET IDENTIFIED AS ACCESS D IN THE TIA THAT EXTENDS THE STREET NETWORK WITHIN THE DEVELOPMENT THROUGH WAKE COUNTY PIN 1768-08-8727 (THE "CAMPUS SITE") TO E YOUNG STREET ("ACCESS D ROUTE"); AND (2) A NORTH-BOUND LEFT TURN LANE WITH 75 FEET OF FULL-WIDTH STORAGE AND APPROPRIATE TAPER FROM YOUNG STREET TO ACCESS D AS RECOMMENDED BY THE TIA ("TURN LANE"). ACCESS D ROUTE AND TURN LANE ARE COLLECTIVELY REFERRED TO AS THE "YOUNG STREET CONNECTION". THE YOUNG STREET CONNECTION SHALL BE DESIGNED AND CONSTRUCTED TO TOWN OF ROLESVILLE AND NCDOT STANDARDS AND ACCESS D SHALL BE LOCATED IN SUBSTANTIAL CONFORMANCE WITH THE CORRIDOR SHOWN IN THE ATTACHED EXHIBIT E. THE STREET SECTION FOR ACCESS D SHALL BE CONSTRUCTED AS SHOWN IN THE ATTACHED EXHIBIT F. DEVELOPER SHALL BE RESPONSIBLE FOR ALL COSTS TO DESIGN AND CONSTRUCT THE YOUNG STREET CONNECTION (THE "COSTS") AND DEVELOPER SHALL BE ENTITLED TO A CREDIT AGAINST THE PROJECT'S TRANSPORTATION IMPACT FEES FOR THE COSTS. CONSTRUCTION OF THE YOUNG STREET CONNECTION SHALL COMMENCE PRIOR TO APPROVAL OF THE 10TH DWELLING UNIT BUILDING PERMIT FOR THE PROJECT AND SHALL BE COMPLETE NOT LATER THAN APPROVAL OF THE 138TH DWELLING UNIT BUILDING PERMIT FOR THE PROJECT.

WHILE IT IS ANTICIPATED THAT THIS CONDITION WILL BE CLARIFIED BY A FORMAL DEVELOPMENT AGREEMENT, REIMBURSEMENT AGREEMENT, OR OTHER WRITTEN AGREEMENT BETWEEN THE DEVELOPER AND THE TOWN, THE ABSENCE OF SUCH A SUBSEQUENT WRITTEN AGREEMENT SHALL NOT BE DEEMED TO INVALIDATE THIS CONDITION. THIS CONDITION IS SUBJECT TO THE FOLLOWING CAVETS:

- IN THE EVENT THE CAMPUS SITE, AN APPROVED ALIGNMENT WITHIN THE EXHIBIT E CORRIDOR, OR NECESSARY RIGHTS-OF-WAY, EASEMENTS, OR OTHER PROPERTY RIGHTS ARE MADE UNAVAILABLE TO THE PROJECT, THIS CONDITION SHALL BE DEEMED EXTINGUISHED.
- IN THE EVENT THE TOWN COMMENCES DESIGN AND/OR DEVELOPMENT OF ANY PART OF THE YOUNG STREET CONNECTION, THE DEVELOPER'S OBLIGATIONS FOR DESIGN AND/OR DEVELOPMENT, AS APPROPRIATE, FOR THOSE PORTIONS OF THE YOUNG STREET CONNECTION SHALL BE DEEMED EXTINGUISHED. FOR PURPOSES OF CLARITY, DEVELOPER SHALL REMAIN ENTITLED TO A CREDIT AGAINST THE PROJECT'S TRANSPORTATION IMPACT FEES FOR REMAINING COSTS.

*PROJECT SHALL MEAN "PARKER RIDGE" AS DESCRIBED BY MA 22-03 AND ANX 22-06.
*DEVELOPER SHALL MEAN "PARKER RIDGE" AND ITS SUCCESSORS AND ASSIGNS.

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Electronic Approval: This approval is being issued electronically. This approval is valid only upon the signature of a City of Raleigh Review Officer below. The City will retain a copy of the approved plans. Any work authorized by this approval must proceed in accordance with the plans kept on file with the City. This electronic approval may not be edited once issued. Any modification to this approval once issued will invalidate this approval.

City of Raleigh Development Approval _____
Raleigh Water Review Officer _____



FILE NUMBER:
8430-03

DATE: 11/01/2024

L4-0



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1100 PERIMETER PARK DRIVE, SUITE 112
MORRISVILLE, NORTH CAROLINA / 27560

PARKER RIDGE
82 SCHOOL STREET
ROLESVILLE, NORTH CAROLINA / 27571

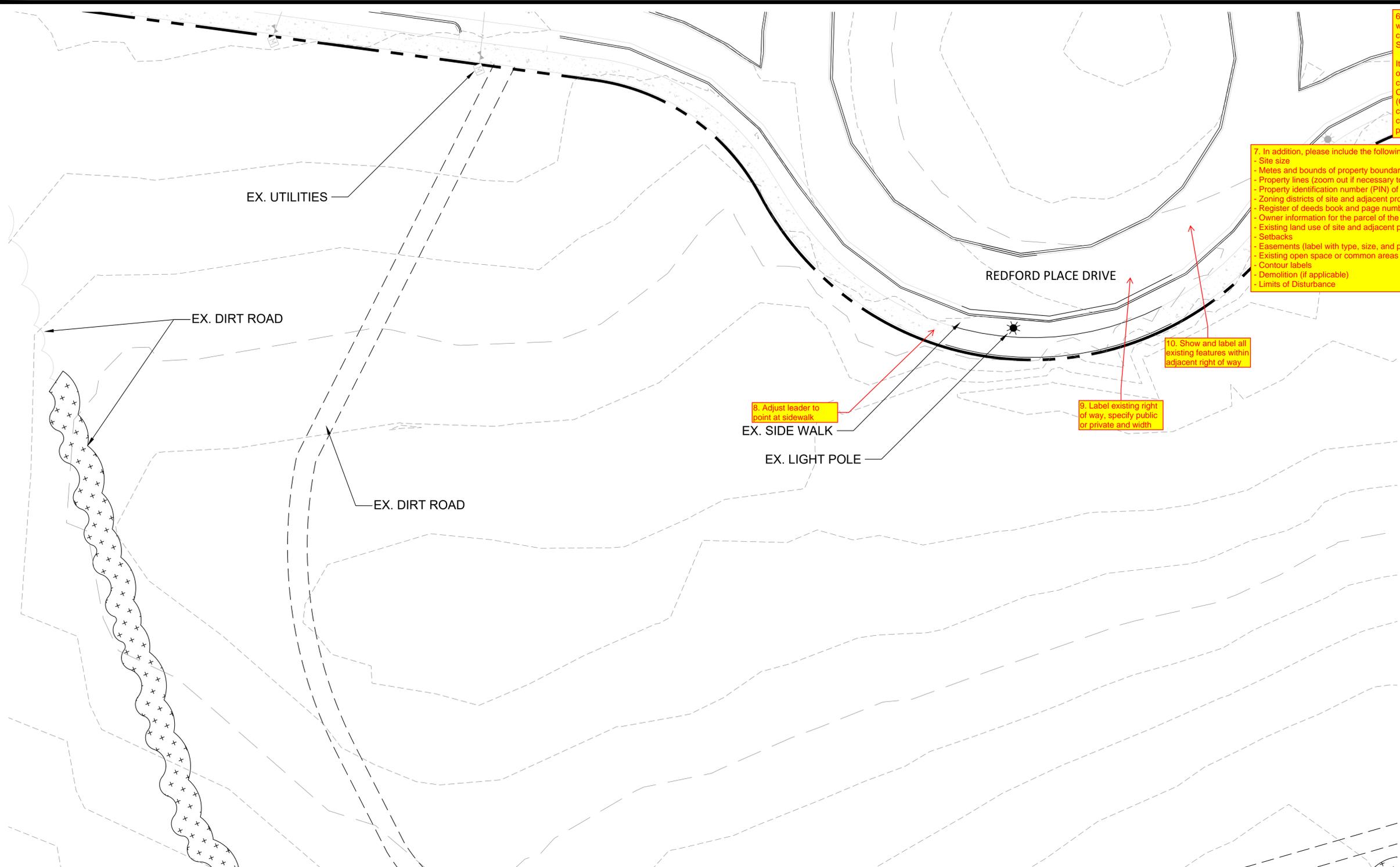
AMENITY
COVER SHEET



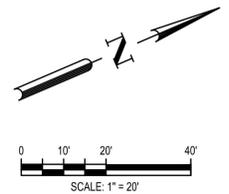
REV	DATE	DESCRIPTION
06/06/2024	06/06/2024	RETAINING WALL LOCATION REVISION
06/04/2024	06/04/2024	STORM STRUCTURE REVISIONS
04/08/2024	04/08/2024	EROSION CONTROL REVISION

DESIGNED BY: DF/CD
DRAWN BY: DF/JWM
REVIEWED BY: DF

G:\NCA\Projects\Lenmar\8430-03 - Lenmar - School Street - Rolesville\03 - DWG\PlanSheets\On-Site\L4-1 AMENITY - EXISTING CONDITIONS PLAN.dwg Ploited: 11/1/2024 12:19:43 PM



SCALE: 1" = 500'



6. Please confirm time line of project and whether Park Ridge Amenity will be constructed during or after Parker Ridge Subdivision
 It is assumed that the existing conditions of this site will be based on the proposed conditions for the overall Parker Ridge Construction Infrastructure Drawings Set (CID-23-06). Please update existing conditions sheet to match proposed conditions from the approved CID-23-06 plan set.

7. In addition, please include the following:
 - Site size
 - Metes and bounds of property boundary
 - Property lines (zoom out if necessary to see lot)
 - Property identification number (PIN) of site and adjacent properties
 - Zoning districts of site and adjacent properties
 - Register of deeds book and page number for any adjacent platted subdivisions
 - Owner information for the parcel of the project location
 - Existing land use of site and adjacent properties
 - Setbacks
 - Easements (label with type, size, and public or private)
 - Existing open space or common areas
 - Contour labels
 - Demolition (if applicable)
 - Limits of Disturbance

8. Adjust leader to point at sidewalk

9. Label existing right of way, specify public or private and width

10. Show and label all existing features within adjacent right of way

REV	DATE	DESCRIPTION
1	06/06/2024	RETAINING WALL LOCATION REVISION
2	06/04/2024	STORM STRUCTURE REVISIONS
3	04/08/2024	EROSION CONTROL REVISION

DESIGNED BY: DF/CD
 DRAWN BY: DF/JWM
 REVIEWED BY: DF

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AMENITY
EXISTING CONDITIONS



FILE NUMBER:
 8430-03
 DATE: 11/01/2024

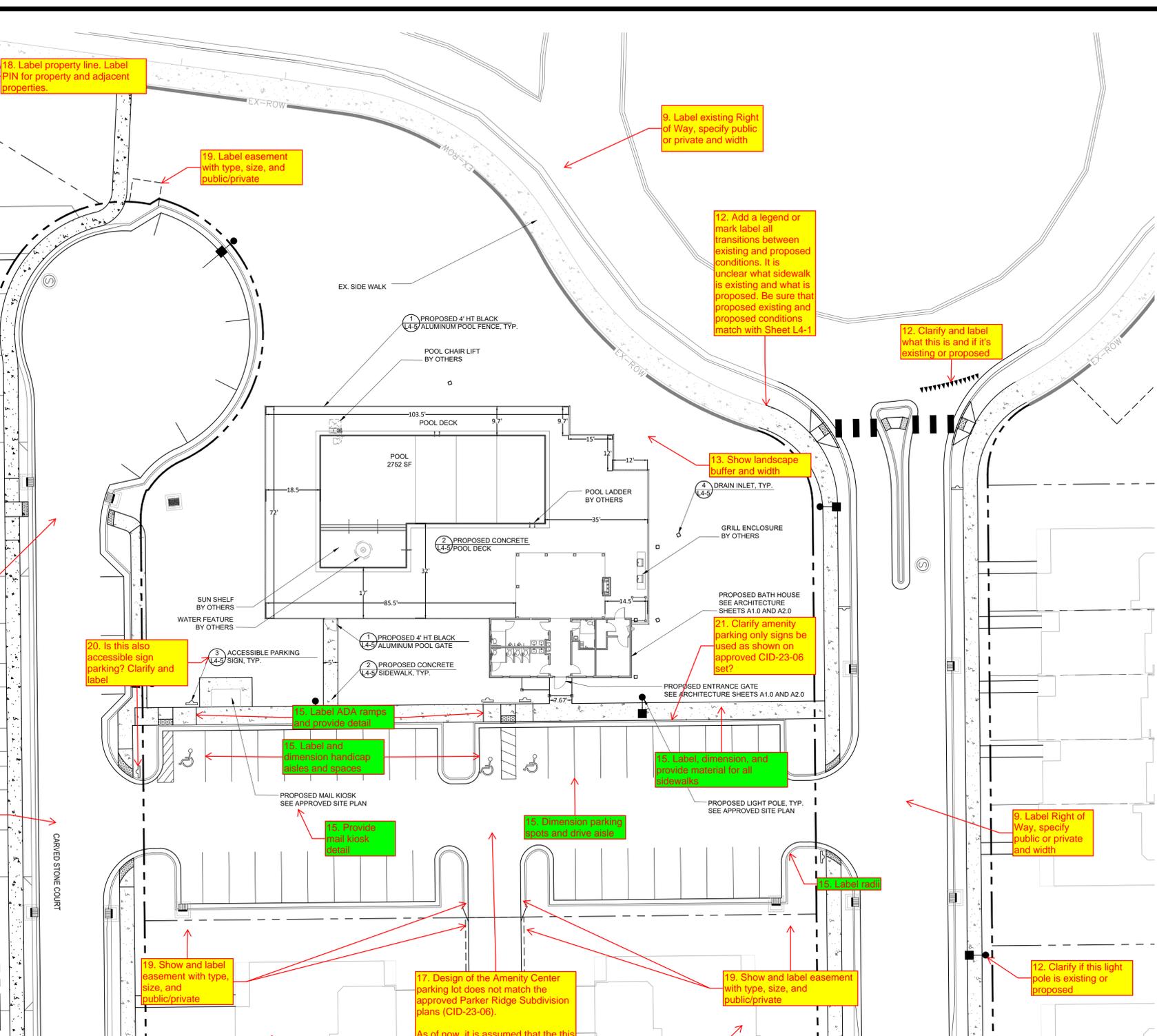


L4-1

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- 11. Include the limits of disturbance. It is unclear where work is proposed versus existing based on screening.
- 12. Include a legend or labels to clarify what is shown and whether it is existing or proposed. It is unclear what site feature symbols represent. Be sure that existing and proposed conditions shown match with Sheet L4-1
- 13. Include setbacks and landscape buffers per zoning
- 14. Include tree protection fencing location if applicable
- 15. Markups in green refer to comments on potential existing conditions based on approved CID-23-06 plan set. If these areas on the site are existing or treated as existing, green markups may be changed. Please clarify and update as needed.
- 16. Clarify if bike parking and a dumpster be included

17. Design of Carved Stone Court culdasac does not match the approved Parker Ridge Subdivision plans (CID-23-06).
As of now, it is assumed that the this area will be constructed per (CID-23-06), then demolished and reconstructed per this plan set. If this is the case, label proposed conditions and provide a demolition plan for updates.
If not, (CID-23-06) may require a revision so to be constructed correctly. Coordinate with Town of Rolesville for design updates.



Parking Clubhouse	Bldg	Unit	Per Unit	Additional
	1063	sf	1 / 1000 sf	2
		1.29 ac	5/ac	7
Total				9

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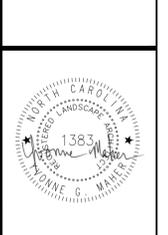
DESIGNED BY: DF/CD
DRAWN BY: DF/JWM
REVIEWED BY: DF

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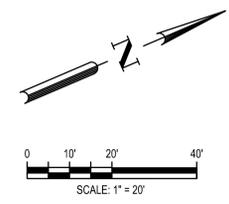
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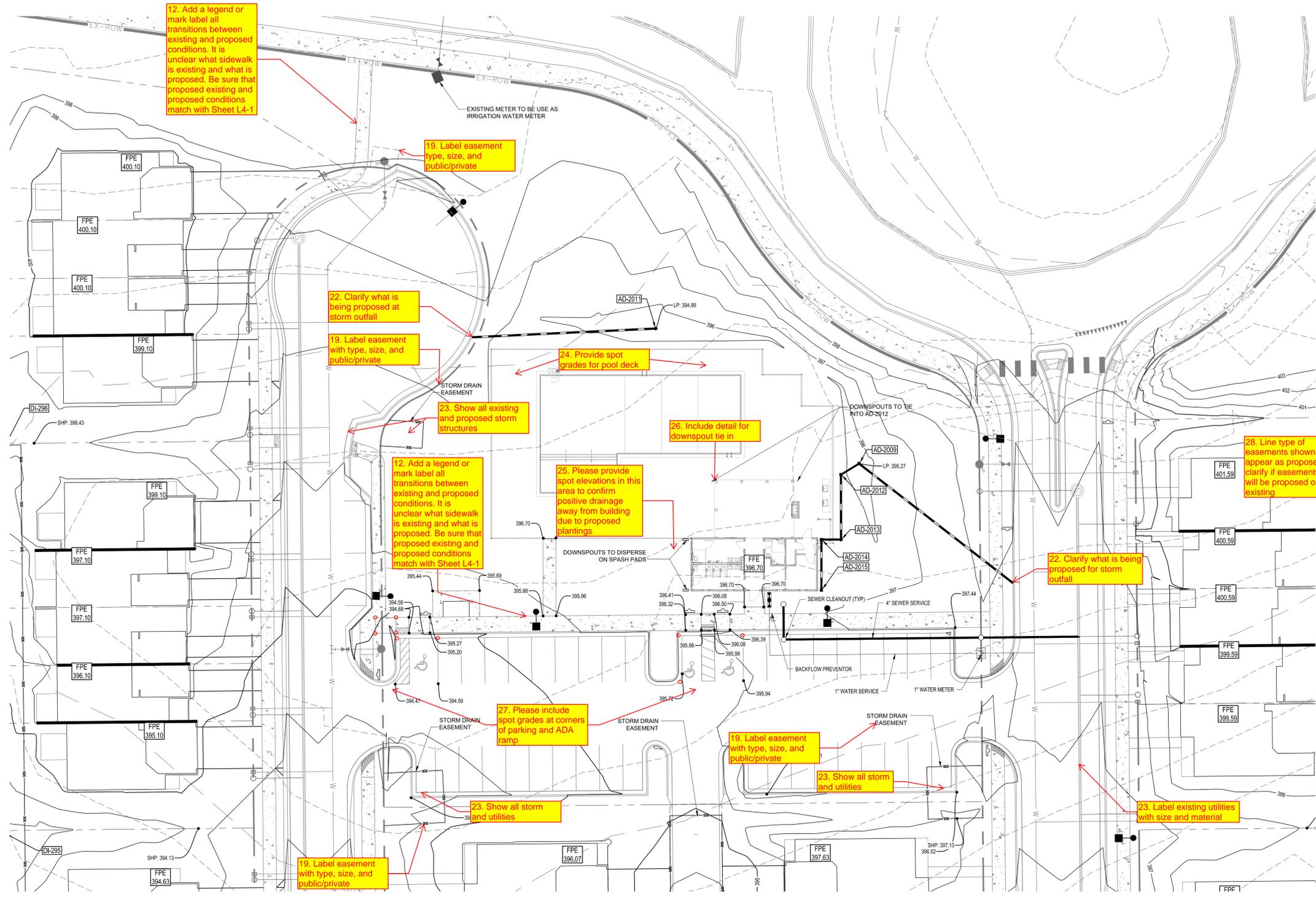
AMENITY - LAYOUT AND HARDSCAPE PLAN



FILE NUMBER: 8430-03
DATE: 11/01/2024
L4-2



G:\NCA\Projects\Lennar\8430-03 - Lennar - School Street - Rolesville\03 - DWG\PlanSheets\On-Site\L4-3 AMENITY - GRADING AND DRAINAGE PLAN - Plotted: 11/1/2024 1:01:22 PM

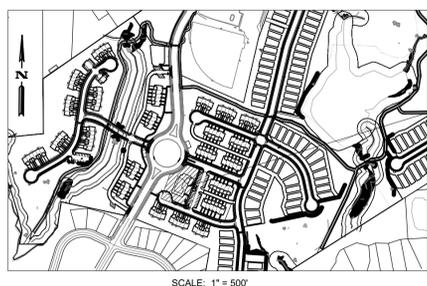


PROPOSED GRADING AND DRAINAGE LEGEND

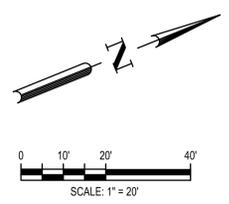
	PROPOSED BORING
	PROPOSED DETENTION
	PROPOSED CLEARING LIMITS
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED SPOT
	PROPOSED GRADING ARROW
	PROPOSED SWALE
	PROPOSED STORM
	PROPOSED STORM SYMBOL
	PROPOSED BUILDING SPOT
	PROPOSED STEM WALL
	FINISHED PAD ELEVATION

PROPOSED UTILITY LEGEND

	PROPOSED DOMESTIC WATER
	PROPOSED FIRE WATER
	PROPOSED IRRIGATION
	PROPOSED SANITARY
	PROPOSED EASEMENT
	PROPOSED STORM EASEMENT
	TREE PROTECTION FENCE



SCALE: 1" = 50'



06/06/2024	RETAINING WALL LOCATION REVISION	DATE	DESCRIPTION
06/04/2024	STORM STRUCTURE REVISIONS	REV	
04/08/2024	EROSION CONTROL REVISION	REV	
DESIGNED BY: DF/CD		DRAWN BY: DF/JWM	
REVIEWED BY: DF			

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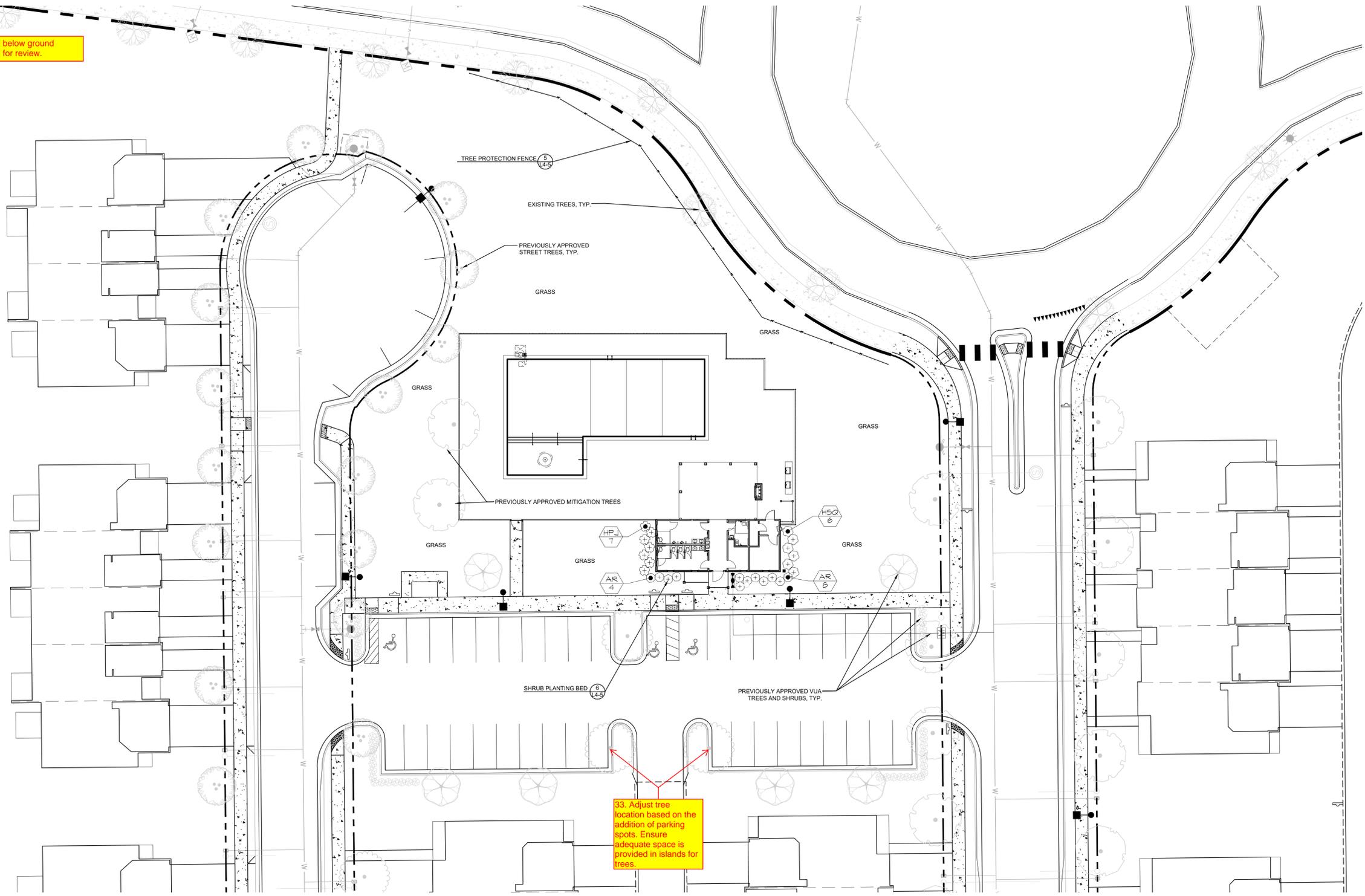
AMENITY - GRADING, DRAINAGE AND UTILITIES PLAN

FILE NUMBER: 8430-03
DATE: 11/01/2024
L4-3

31. Please confirm the intent is for an LA to sign and seal utilities



32. Show all above and below ground utilities on planting plan for review.



33. Adjust tree location based on the addition of parking spots. Ensure adequate space is provided in islands for trees.

SODDING NOTES

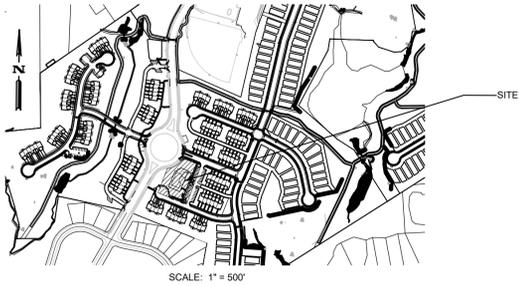
SITE PREPARATION

- CONTRACTOR TO FINE GRADE ALL SOD AREAS PRIOR TO INSTALLATION
- CONTRACTOR TO LOOSEN SOIL TO A DEPTH OF 4" BY DISKING, RAKING, ROTO-TILLING, OR OTHER ACCEPTABLE MEANS, AND RAKE SMOOTH ENSURING ALL ROOTS, DEBRIS, AND STONES GREATER THAN 1" ARE REMOVED.
- CONTRACTOR TO PROVIDE A SOIL pH AND NUTRIENT TEST TO LANDSCAPE ARCHITECT PRIOR TO INSTALLATION, AND AMEND SOIL AS NEEDED PER LOCAL COOPERATIVE EXTENSION OFFICE GUIDELINES TO ACHIEVE IDEAL GROWING CONDITIONS FOR BOTH TURF AND LANDSCAPE BEDS.
- ALL SODDED AREAS SHALL BE FINISHED GRADE AT THE THICKNESS OF SOD.

NO SODDED AREAS SHALL BE INSTALLED UNTIL ALL OTHER CONSTRUCTION ACTIVITIES, INCLUDING PLANTING AND MULCHING, HAVE OCCURRED.

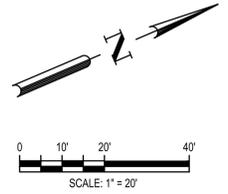
SOD INSTALLATION

- CONTRACTOR TO ENSURE SOD AREAS UTILIZE ROLLS THAT ARE NOT BROKEN OR STRETCHED AND FREE OF DISEASE, PESTS, AND THATCH.
- SODDING SHALL OCCUR IN EARLY SPRING OR EARLY FALL AND SHALL BE INSTALLED WITHIN 24 HOURS OF ARRIVING ON SITE UNLESS APPROVED OTHERWISE BY LANDSCAPE ARCHITECT.
- SOD SHALL BE LAID PARALLEL TO THE CONTOURS ON SITE AND HAVE STAGGERED JOINTS. SOD SHALL BE STAKED ON SLOPES GREATER THAN 3:1 OR IN DRAINAGE SWALES.
- CONTRACTOR TO APPLY STARTER FERTILIZER AT TIME OF SODDING AT A RATE RECOMMENDED BY THE MANUFACTURER.
- CONTRACTOR IS RESPONSIBLE FOR WATERING AND CONTINUED MAINTENANCE OF SODDED AREAS UNTIL PROJECT COMPLETION



PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	HT	SPR	CONT
SHRUBS							
(+)	AR	11	Abella x 'Rose Creek'	Rose Creek Abella	24" ht	18" spr	3 gal
(+)	HPJ	7	Hydrangea paniculata 'Jane'	Little Lime® Panicle Hydrangea	24" ht	18" spr	3 gal
(+)	HSG	6	Hydrangea quercifolia 'Snow Queen'	Snow Queen Oakleaf Hydrangea	24" ht	18" spr	3 gal



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REV	DATE	DESCRIPTION
1	06/06/2024	RETAINING WALL LOCATION REVISION
2	06/04/2024	STORM STRUCTURE REVISIONS
3	04/08/2024	EROSION CONTROL REVISION

DESIGNED BY: DF/CD
 DRAWN BY: DF/JWM
 REVIEWED BY: DF

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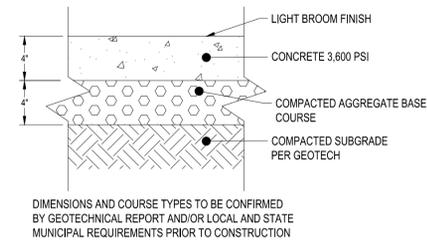
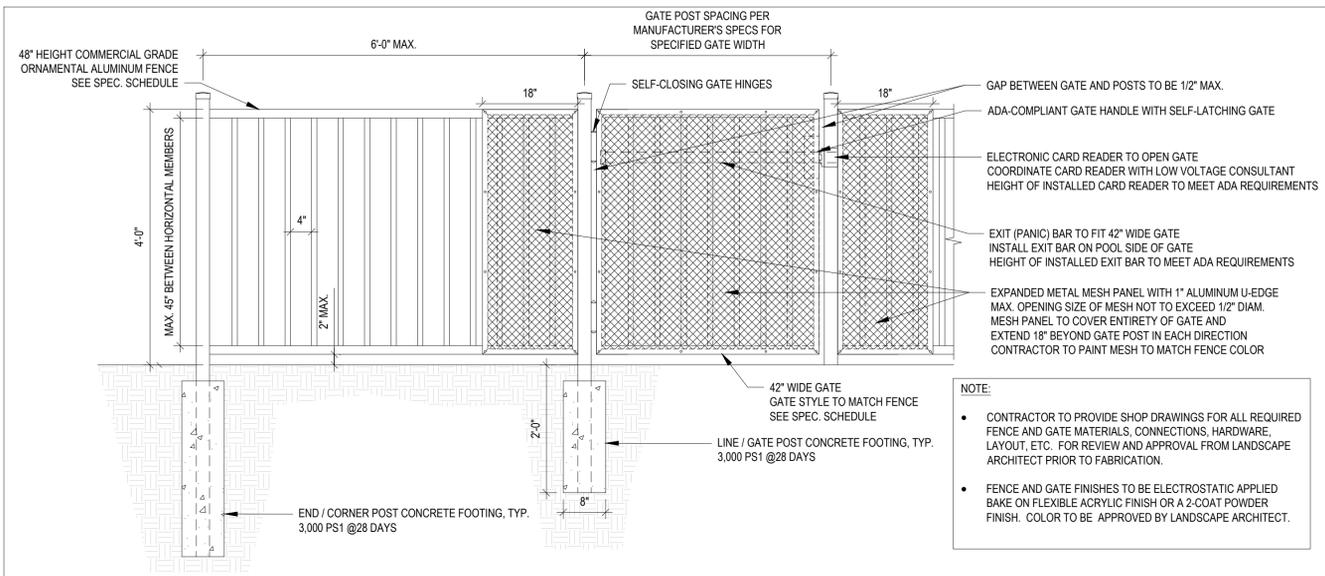
AMENITY
PLANTING PLAN



FILE NUMBER:
8430-03
 DATE: 11/01/2024



L4-4



34. Additional details may be required based on updates to existing and proposed conditions. Please provide details for any items the are to be proposed.

3 ACCESSIBLE PARKING AND SIGNAGE STANDARDS DETAIL
NOT TO SCALE

ACCESSIBLE PARKING REQUIREMENTS

TOTAL PARKING SPACES PROVIDED	MINIMUM NUMBER OF ACCESSIBLE SPACES REQUIRED	MINIMUM NUMBER OF ACCESSIBLE SPACES REQUIRED TO BE VAN ACCESSIBLE
1 TO 25	1	1
26 TO 50	2	1
51 TO 75	3	1
76 TO 100	4	1
101 TO 150	5	1
151 TO 200	6	1
201 TO 300	7	2
301 TO 400	8	2
401 TO 500	9	2
501 TO 1000	2% OF TOTAL	1 IN EVERY 6 ACCESSIBLE SPACES
1001 AND OVER	20 PLUS 1 FOR EACH 100 OVER 1000	1 IN EVERY 6 ACCESSIBLE SPACES

NOTES:

- ALL ACCESSIBLE SIGNS (R7-8P, R7-8, R7-1) SHALL BE MOUNTED AT 7 FEET FROM GRADE TO BOTTOM EDGE OF SIGN FACE. MOUNTING HEIGHT CAN BE REDUCED TO 5 FEET IF PLACED IN AN AREA BETWEEN SIDEWALK AND BUILDING FACE IN WHICH PEDESTRIANS ARE NOT EXPECTED TO USE.
- IF ACCESSIBLE ROUTE IS A RAISED SIDEWALK AREA, THEN RAMPS ARE REQUIRED AT LOADING ZONE AREA. MAINTAIN MIN. 4" WIDE CONTINUOUS PASSAGE.
- VERTICAL CLEARANCE FOR VANS MUST BE GREATER THAN 98-INCHES.
- THIS DETAIL IS TO PROVIDE GENERAL GUIDANCE FOR PARKING LAYOUT AND DESIGN. REFER TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) U.S. DEPARTMENT OF TRANSPORTATION.

PARKING SPACE PAVEMENT MARKINGS

SIGNAGE (MUST NOT OBSTRUCT ACCESSIBLE ROUTE)

ACCESSIBLE ROUTE (SEE NOTE 2)

NOTE: ONE OUT OF EVERY SIX (6) ACCESSIBLE SPACES, BUT NOT LESS THAN ONE, IS REQUIRED TO BE VAN ACCESSIBLE.

VAN ACCESSIBLE SPACE (OPTION 1)

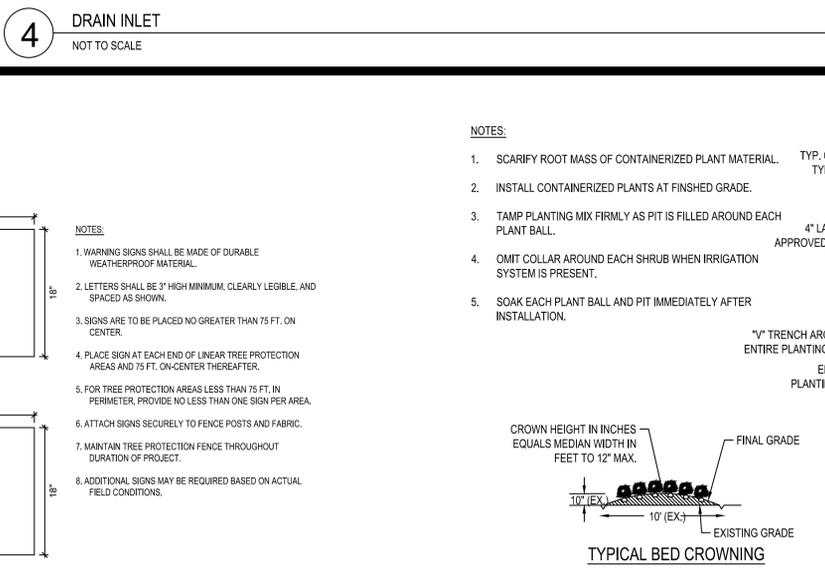
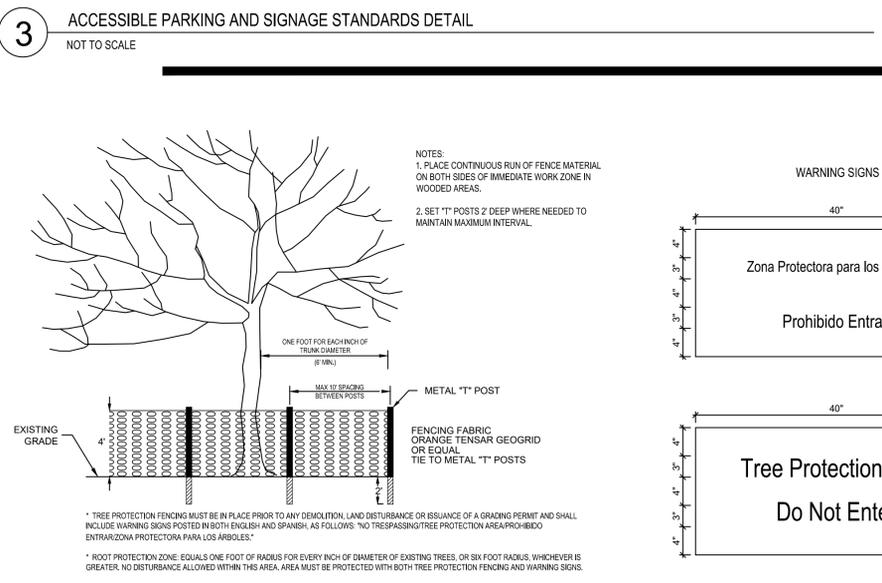
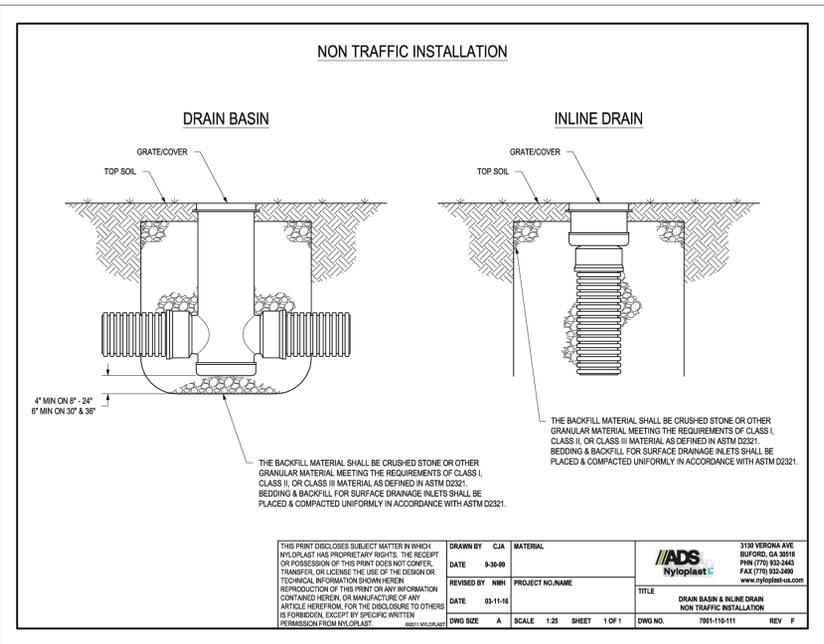
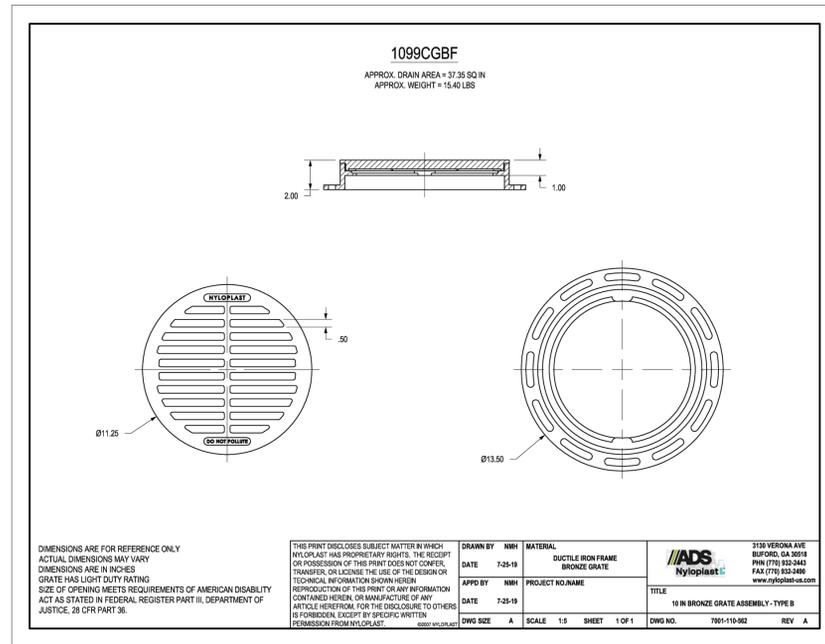
VAN ACCESSIBLE SPACE (OPTION 2)

NOTE: ONE OUT OF EVERY SIX (6) ACCESSIBLE SPACES, BUT NOT LESS THAN ONE, IS REQUIRED TO BE VAN ACCESSIBLE.

A VAN ACCESSIBLE PERMIT PARKING ONLY TOW AWAY ZONE
MUTCD R7-8P 12'x6'
REFERENCE STATE HANDICAP PARKING SIGN
MAXIMUM FINE \$500.00

B NO PARKING ANY TIME
MUTCD R7-1 12'x18'
OPTIONAL ACCESSIBLE LOADING ZONE SIGN
REFERENCE STATE HANDICAP PARKING SIGN

C PERMIT PARKING ONLY TOW AWAY ZONE
MUTCD R7-1 12'x18'
MAXIMUM FINE \$500.00
REFERENCE STATE HANDICAP PARKING SIGN



C:\NCA\Projects\Lennar\8430-03 - DWG\PlanSheets\On-Site\4-6 SITE AND PLANTING DETAILS.dwg Layout: L4-5 SITE AND PLANTING DETAILS Plotted: 11/1/2024 12:24:31 PM

BCE
5438 WALKER PARK BLVD, SUITE 420
RALEIGH, NC 27607
WWW.BCEINC.COM
NC LICENSE #C-4397 ©2023

LENNAR CORPORAION
1100 PERIMETER PARK DRIVE, SUITE 112
MORRISVILLE, NORTH CAROLINA / 27560

PARKER RIDGE
82 SCHOOL STREET
ROLESVILLE, NORTH CAROLINA / 27571

AMENITY SITE AND PLANTING DETAILS

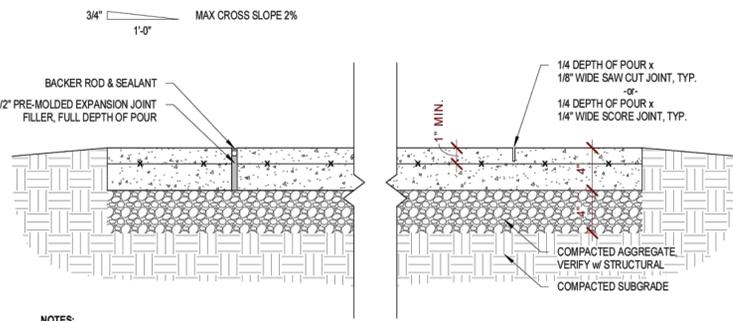
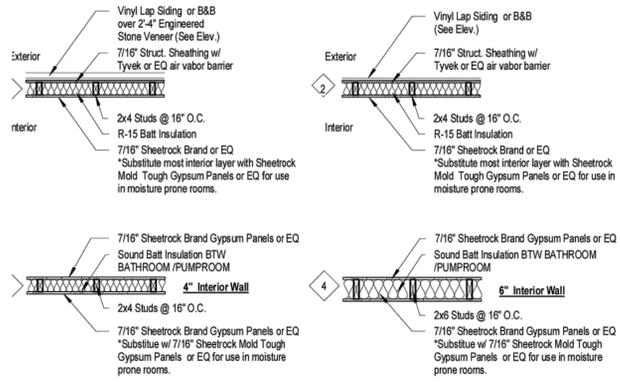
REV	DATE	DESCRIPTION
06/06/2024	06/06/2024	RETAINING WALL LOCATION REVISION
06/04/2024	06/04/2024	STORM STRUCTURE REVISIONS
04/08/2024	04/08/2024	EROSION CONTROL REVISION

DESIGNED BY: DF/CD
DRAWN BY: DF/JWM
REVIEWED BY: DF

FILE NUMBER: 8430-03
DATE: 11/01/2024
L4-5

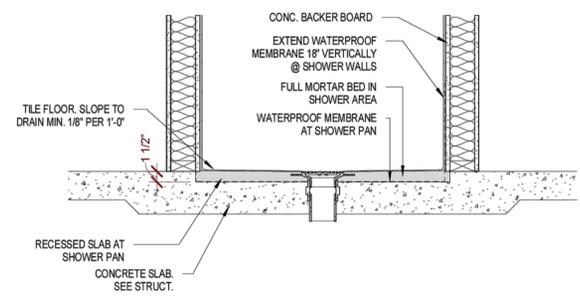


Wall Type Details

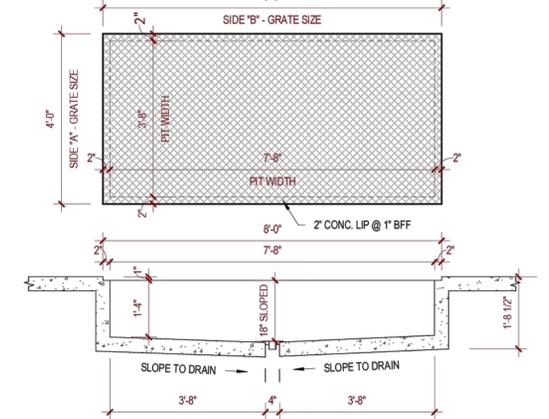


- NOTES:**
1. ALL JOINTS TO BE CUT W/ WET WALK BEHIND SAW TO ENSURE ALL CUTS ARE PERPENDICULAR W/ FACE OF CONCRETE. MAXIMUM CONTROL JOINT SPACING SHALL BE 10 FT. IN EACH DIRECTION UNLESS SHOWN OTHERWISE ON PLAN. SEE STRUCT.
 2. PROVIDE EXPANSION JOINT WHERE SLABS ARE POURED AGAINST VERTICAL SURFACES AND/OR DIFFERENT PAVING MATERIALS AND AS SPECIFIED ON PLANS OR 25'-0\"/>

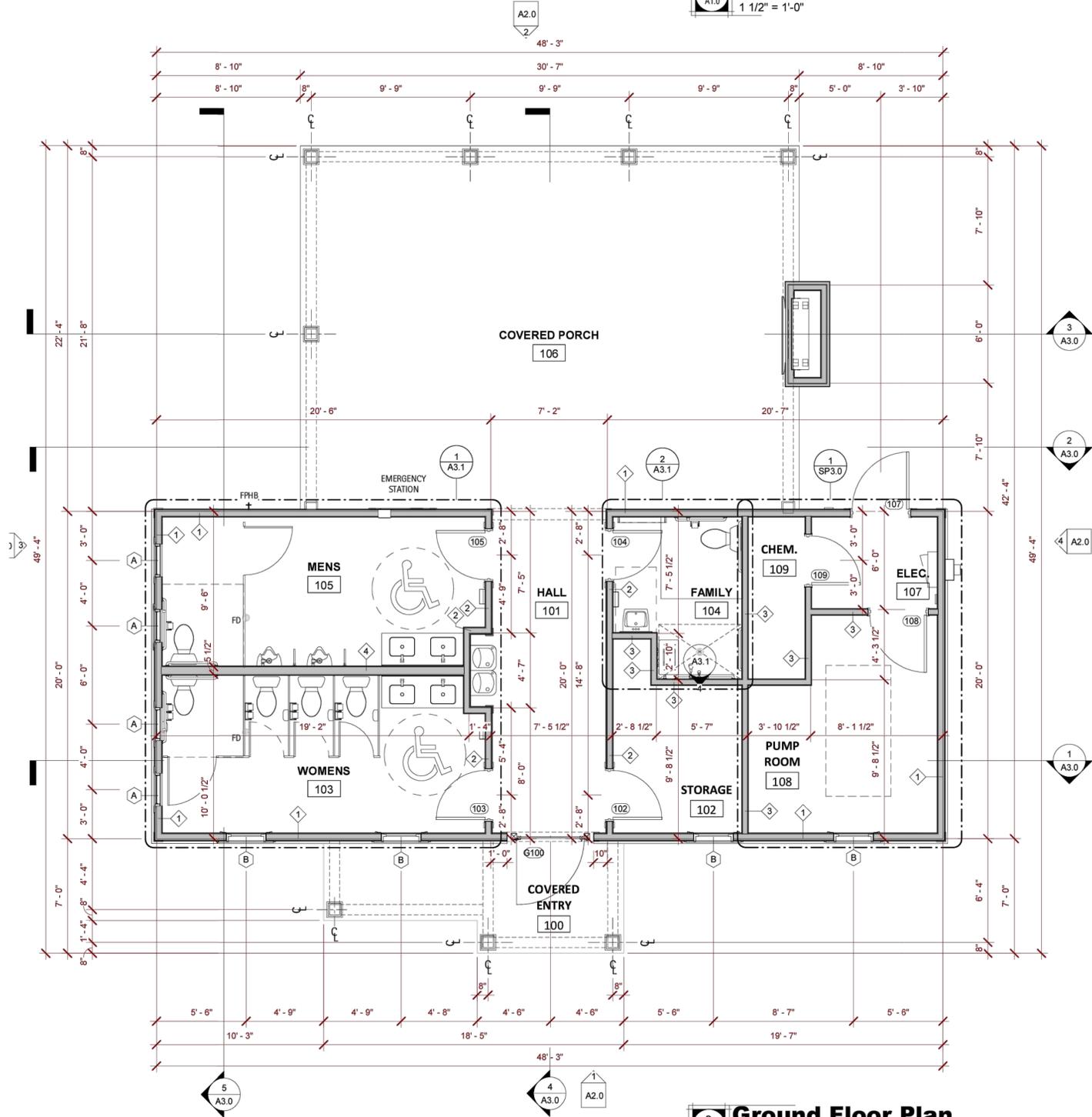
5 Detail - Typ Concrete Joints
1 1/2" = 1'-0"



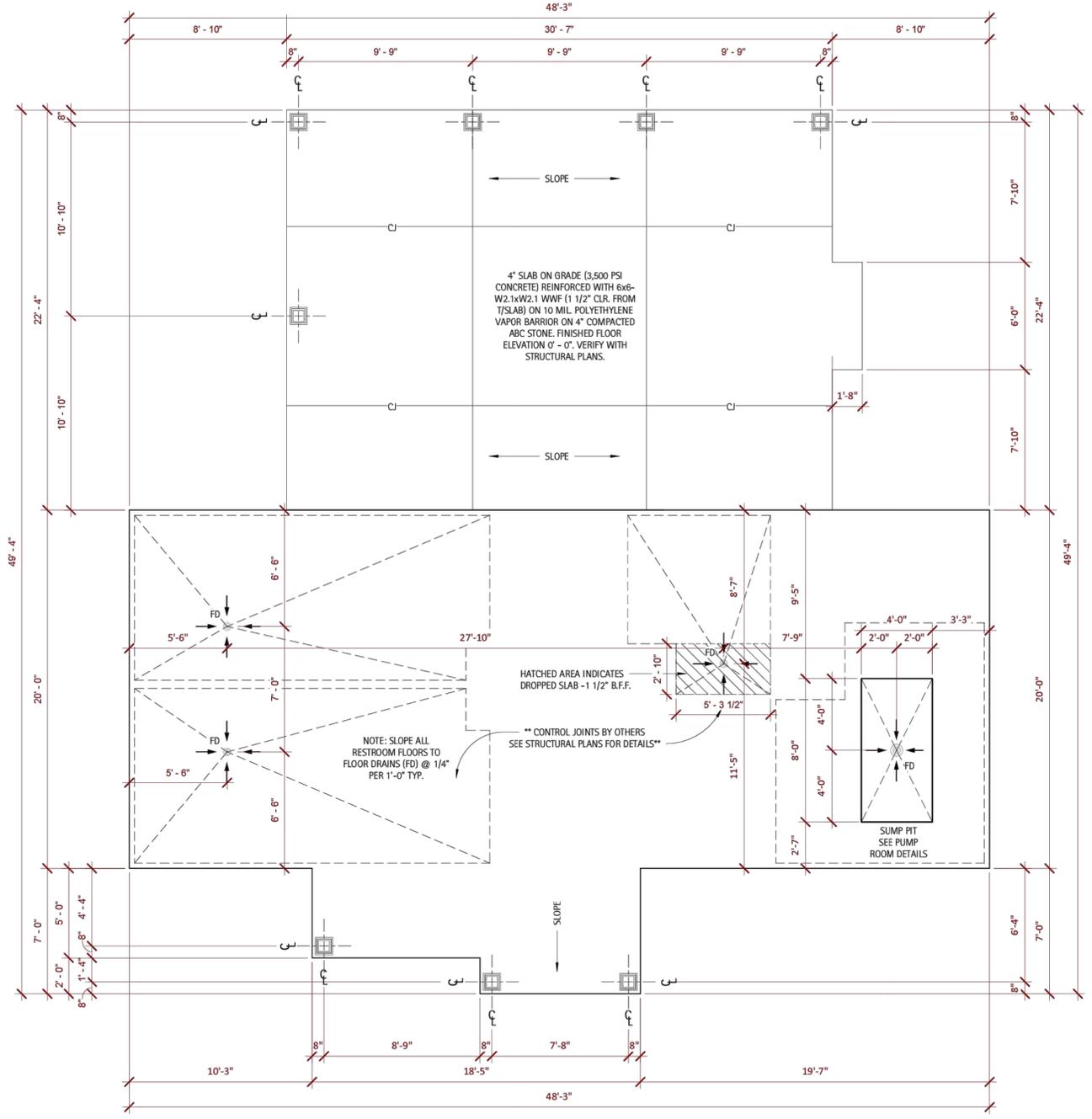
4 Detail - Recessed Slab @ Shower
1" = 1'-0"



3 Detail - Sump Pit
1/2" = 1'-0"



2 Ground Floor Plan
1/4" = 1'-0"



1 Foundation Plan
1/4" = 1'-0"



Perry Cox
architect, p.a.
207 Hudson Ave., Apex, NC 27502
P: 919.383.5411
www.pcoxdesign.com

NO.	REVISION	DATE

SHEET DESCRIPTION
FOUNDATION & FLOOR PLANS

PROJECT #: 202403
DATE ISSUED: 09/16/2024
DRAWING BY: JV
CHECKED BY: DSC/PJG

**PARKER RIDGE AMENITY
LENNAR HOMES
AMENITY & POOL
ROI FS VII F NC**

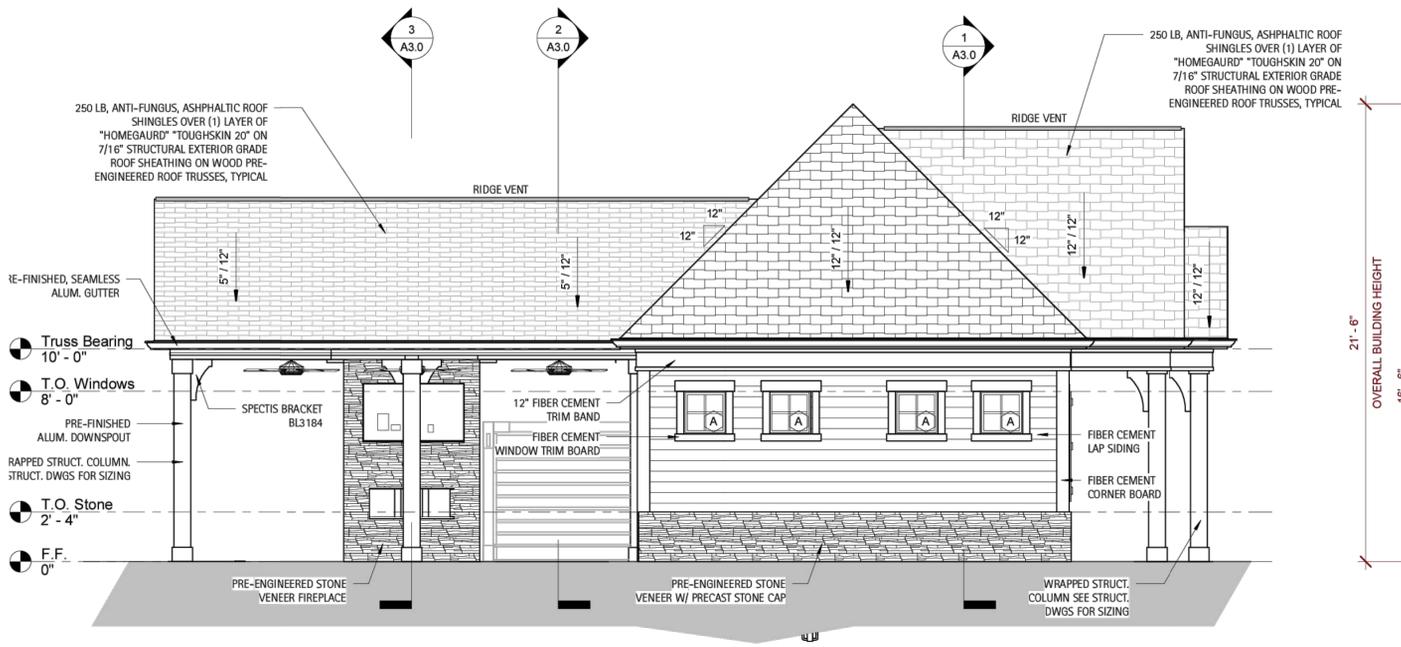
A1.0

MATERIAL LEGEND

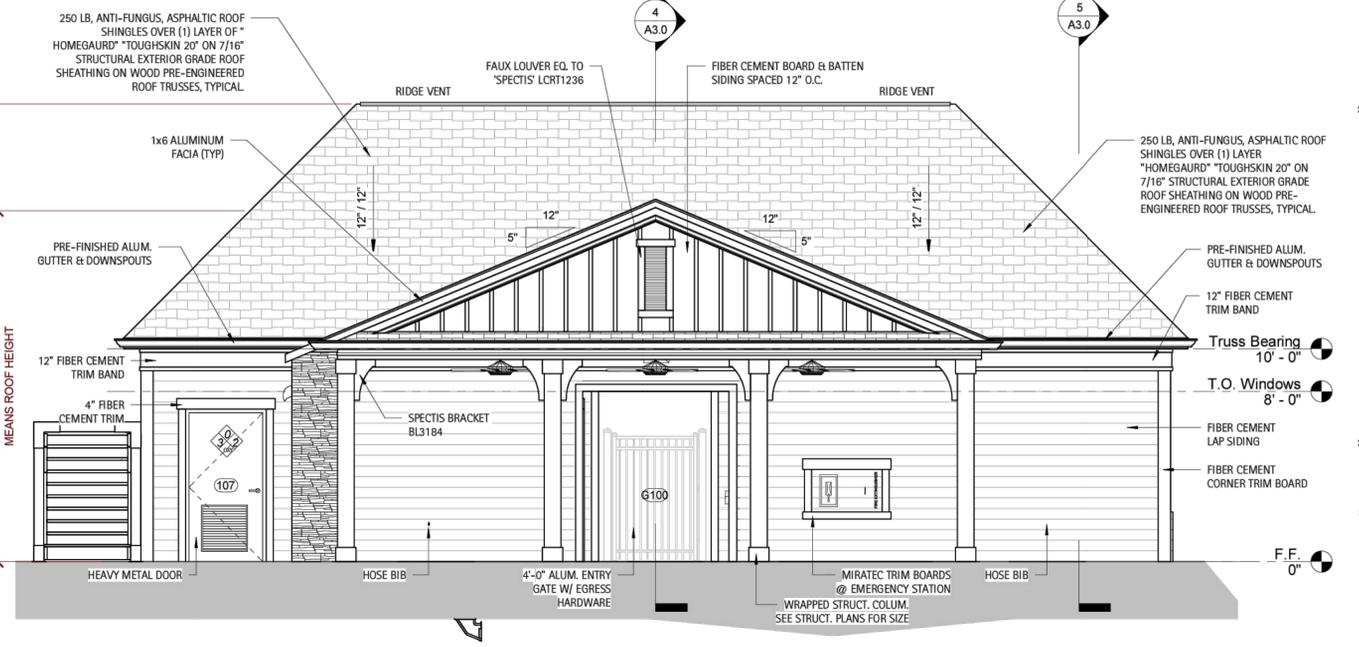
 ASPHALT ROOF SHINGLES - GAF/TIMBERLINE NATURAL COLOR: CHARCOAL GRAY	 PRE-ENGINEERED STONE VENEER - STYLE: PROVIA CUT; TERRA CUT COLOR: FLINTRIDGE	 PAINTED TRIM, COLUMN & DROP BEAM - COLOR: PURE WHITE (SW 7005)	 FIBER CEMENT LAP SIDING - JAMES HARDIE COLOR PLUS COLOR: ARTIC WHITE	 FIBER CEMENT BOARD & BATTEN - JAMES HARDIE COLOR PLUS COLOR: ARTIC WHITE	 SHUTTERS - COLOR: MID-AMERICAN TUXEDO GRAY	 EXTERIOR DOORS - COLOR: AFRICAN GRAY (SW 9162)	 METAL GATE & FENCE - COLOR: TRICORN BLACK (SW 6258)
 PRE-FINISHED SEAMLESS ALUM GUTTER - COLOR: WHITE	 WINDOW STYLE & COLOR - STYLE: 4 OVER 1 - COLOR: WHITE - MI 4300 SERIES OR SIMILAR	 FIBER CEMENT TRIM BOARD - JAMIE HARDIE COLOR PLUS - COLOR: ARTIC WHITE					



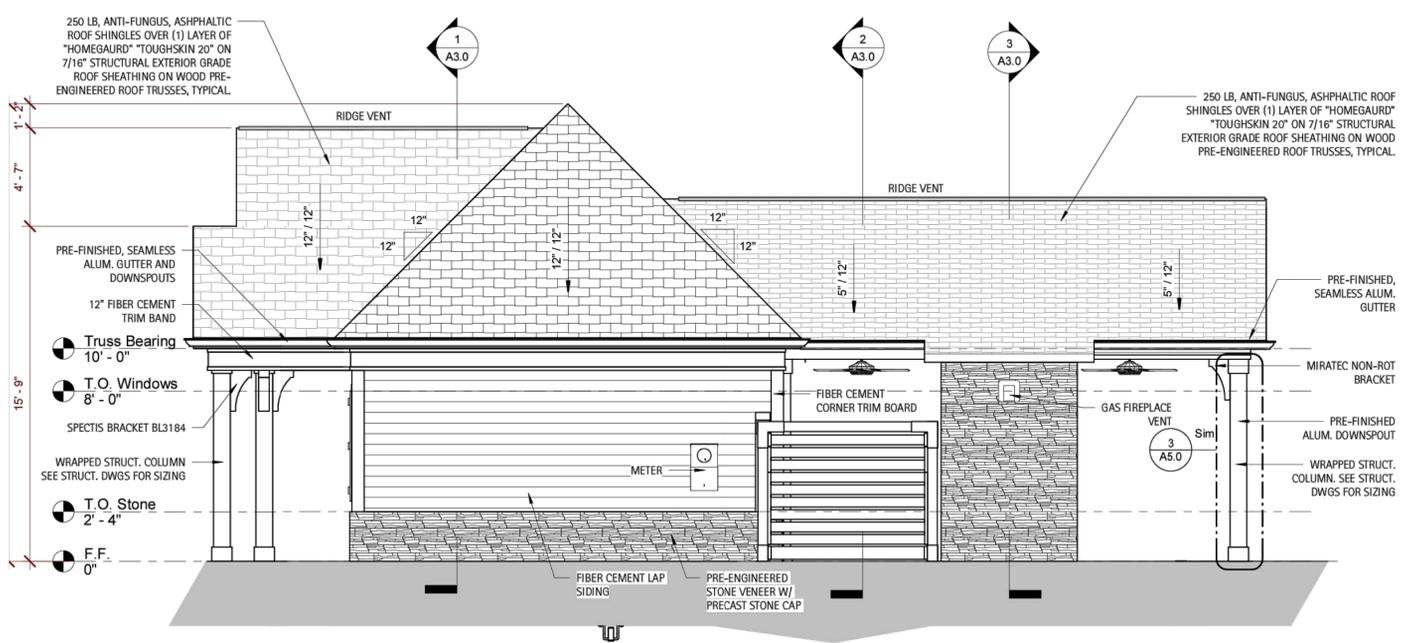
Perry Co.
architect, p.a.
207 Hudson Ave., Apex, NC 27502
P: 919.363.5411
www.pcoarchitect.com



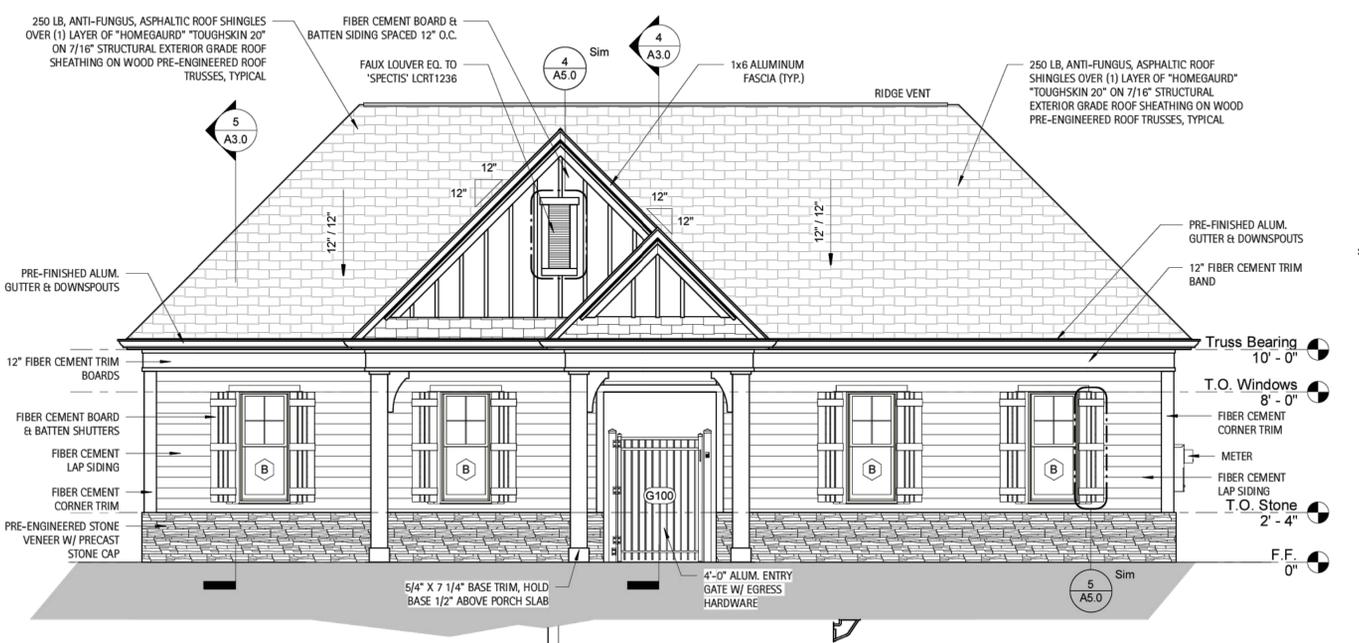
3 Left Side Elevation
1/4" = 1'-0"



2 Rear Elevation
1/4" = 1'-0"



4 Right Side Elevation
1/4" = 1'-0"



1 Front Elevation
1/4" = 1'-0"

DATE	
REVISION	
NO.	

SHEET DESCRIPTION	
EXTERIOR ELEVATIONS	
PROJECT #:	202403
DATE ISSUED:	09/16/202
DRAWING BY:	JV
CHECKED BY:	PGQ/DS

**PARKER RIDGE AMENITY
LENNAR HOMES
AMENITY & POOL
ROI/F5/VII/F NC**

A2.0