

# PRELIMINARY SUBDIVISION PLAT FOR

# ROLESVILLE RD MIXED USE

SHEET	TITLE
C-1	COVER
C-2	EXISTING CONDITIONS PLAN
C-3	SITE PLAN
C-4	UTILITY PLAN
C-5	GRADING AND DRAINAGE PLAN
C-6	PRESERVATION PLAN

1216 ROLESVILLE ROAD ROLESVILLE, NORTH CAROLINA PIN: 1768-33-7689

#1 - Please list the submittal number (PSP-25-01), and the submittal dates on the cover. For future submittals, please include the original submittal date and all re-submittal dates.

# SITE DATA TABLE

DEVELOPMENT NAME: ROLESVILLE ROAD MIXED USE

SITE ADDRESS: 1216 ROLESVILLE RD

**PIN NUMBER(S)**: 1768-33-7689

TOTAL AREA: 11 78 AC

LESS ROLESVILLE RD R/W DEDICATION AREA: 0.24 AC NET AREA: 11.54 AC

EXISTING USE: VACANT

PROPOSED USE: MIXED USE

JURISDICTION: TOWN OF ROLESVILLE
CURRENT ZONING DISTRICT: NEIGHBORHOOD CENTER CONDITIONAL
ZONING, NC CZ (MA 22-05)

USE BREAKDOWN: NON-RESIDENTIAL: 1.74 AC (15.1%)

RESIDENTIAL: 9.80 AC (84.9%)

PROPOSED SINGLE FAMILY, ATTACHED LOTS: 68 NC MAX. DENSITY: 8 UNITS/AC

PROPOSED DENSITY: 6.9 UNITS/AC

NC MAX. BLDG. HEIGHT: 35' (TWO STORIES)

NC BUILDING SETBACKS (MIN/MAX):

FRONT: 15'/100'
| SIDE: 10'/50' (MIN. 30' BETWEEN STRUCTURES)

BICYLCE PARKING REQUIREMENTS:

**REAR:** 10'/50'

**DWELLING MULTIPLE FAMILY PARKING:**1.0 SPACES PER EVERY 5 UNITS (MAXIMUM OF 30 SPACES)

BICYCLE PARKING REQUIRED:

1 SPACES \* 68 UNITS = 13.6 SPACES (ROUND TO 14 SPACES)
BICYCLE PARKING PROVIDED:

14 SPACES

VEHICULAR PARKING REQUIREMENTS:

**DWELLING MULTIPLE FAMILY PARKING:**2.0 SPACES PER UNIT PLUS 0.25 GUEST SPACE PER UNIT

PARKING REQUIRED:
2.0 SPACES \* 68 UNITS + 0.25 SPACES \* 68 UNITS = 153 SPACES

PARKING PROVIDED:
2 SPACES PER DRIVEWAY + 17 GUEST = 153 SPACES

MAIL KIOSK PARKING PROVIDED:

2 SPACES FOR MAIL KIOSK (1 IS ADA ACCESSIBLE)

TOTAL PARKING PROVIDED:

153 SPACES + 2 MAIL KIOSK SPACES = 155 SPACES (1 IS ADA ACCESSIBLE)

REQUIRED OPEN SPACE: 1.73 AC (15%)

PROPOSED OPEN SPACE: 3.31 AC (28.7%); (1) LINEAR PARK/GREENWAY AND

OWNER/DEVELOPER:

OPTIMAL DEVELOPMENT LLC
CONTACT: ROBERT SHAAR
924 EVENING SNOW ST
WAKE FOREST, NC 27587
610.295.3699
SHAAR@MYOPTIMALEQUITY.COM

ENGINEER OF RECORD:

FLM ENGINEERING, INC
CONTACT: JON FRAZIER, PE
PO BOX 91727
RALEIGH, NC 27675
919.610.1051
JFRAZIER@FLMENGINEERING.COM

SPACE RESERVED FOR TOWN OF ROLESVILLE SIGNATURE BLOCK

ALL CONSTRUCTION SHALL BE IN
ACCORDANCE WITH ALL TOWN OF
ROLESVILLE, CITY OF RALEIGH AND WAKE
COUNTY STANDARDS AND SPECIFICATIONS



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REVISION HISTORY

REV #	DESCRIPTION	DATE	BY

ORIGINAL PLAN SIZE: 24" X 36"

PRELIMINARY PLANS

DO NOT USE FOR CONSTRUCTION

SCALE ADJUSTMENT

THIS BAR IS 1 INCH IN LENGTH
ON ORIGINAL DRAWING

0 1"

L

IF IT IS NOT 1 INCH ON THIS
SHEET, ADJUST YOUR SCALE

ACCORDINGLY

PRELIMINARY SUBDIVISION PLAT PSP-25-01

ROLESVILLE RD MIXED USE 1216 ROLESVILLE RD ROLESVILLE, NC 27571

OPTIMAL DEVELOPMENT LLC

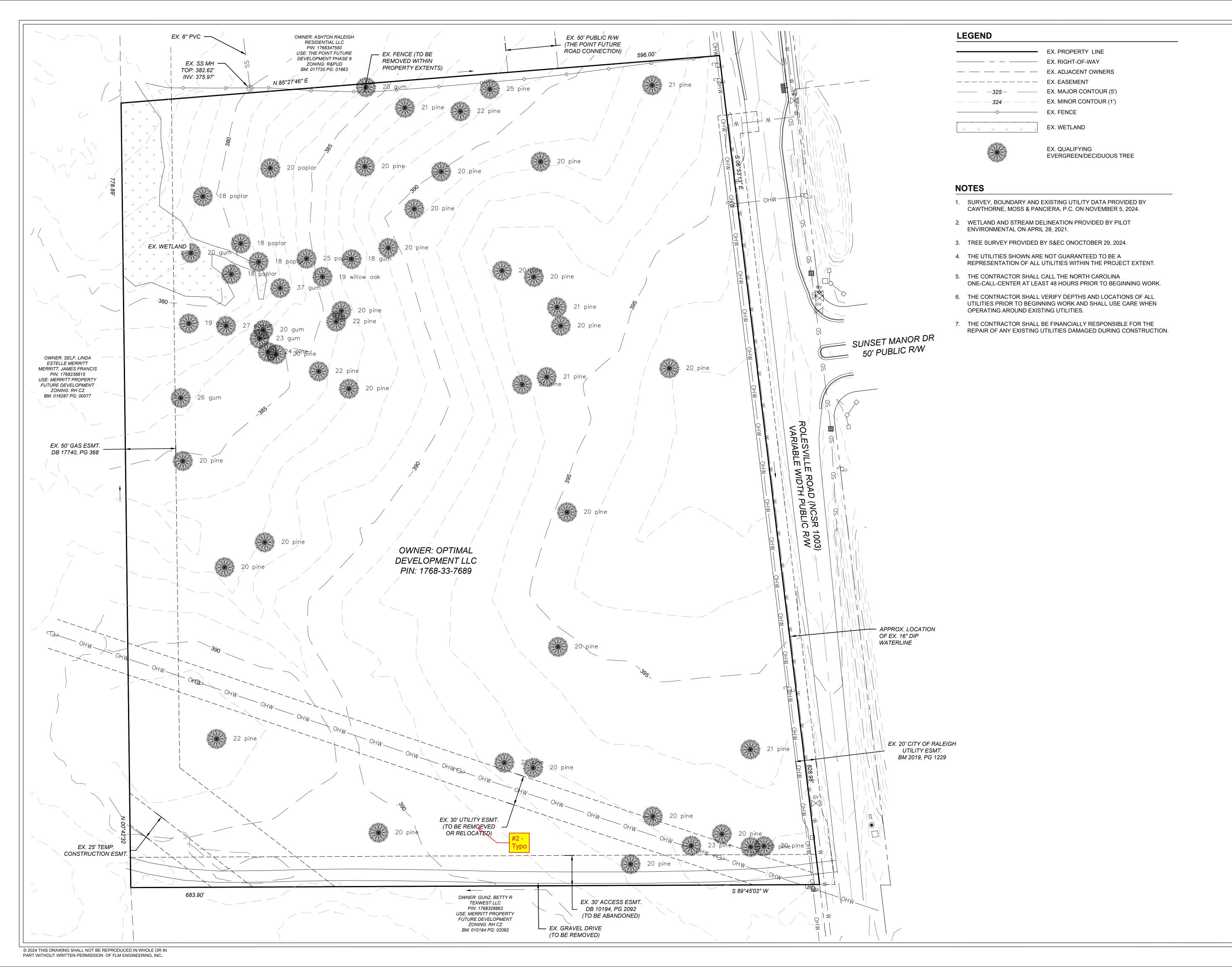
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	DATE:	12-12-2024
	SCALE:	AS SHOWN
	DESIGNED BY:	FLM
	APPROVED BY:	FLM
١	PROJECT NO.:	21029

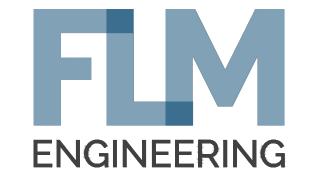
COVER

**C-1**SHEET 1 OF 6



CALL 48 HOURS BEFORE YOU DIG





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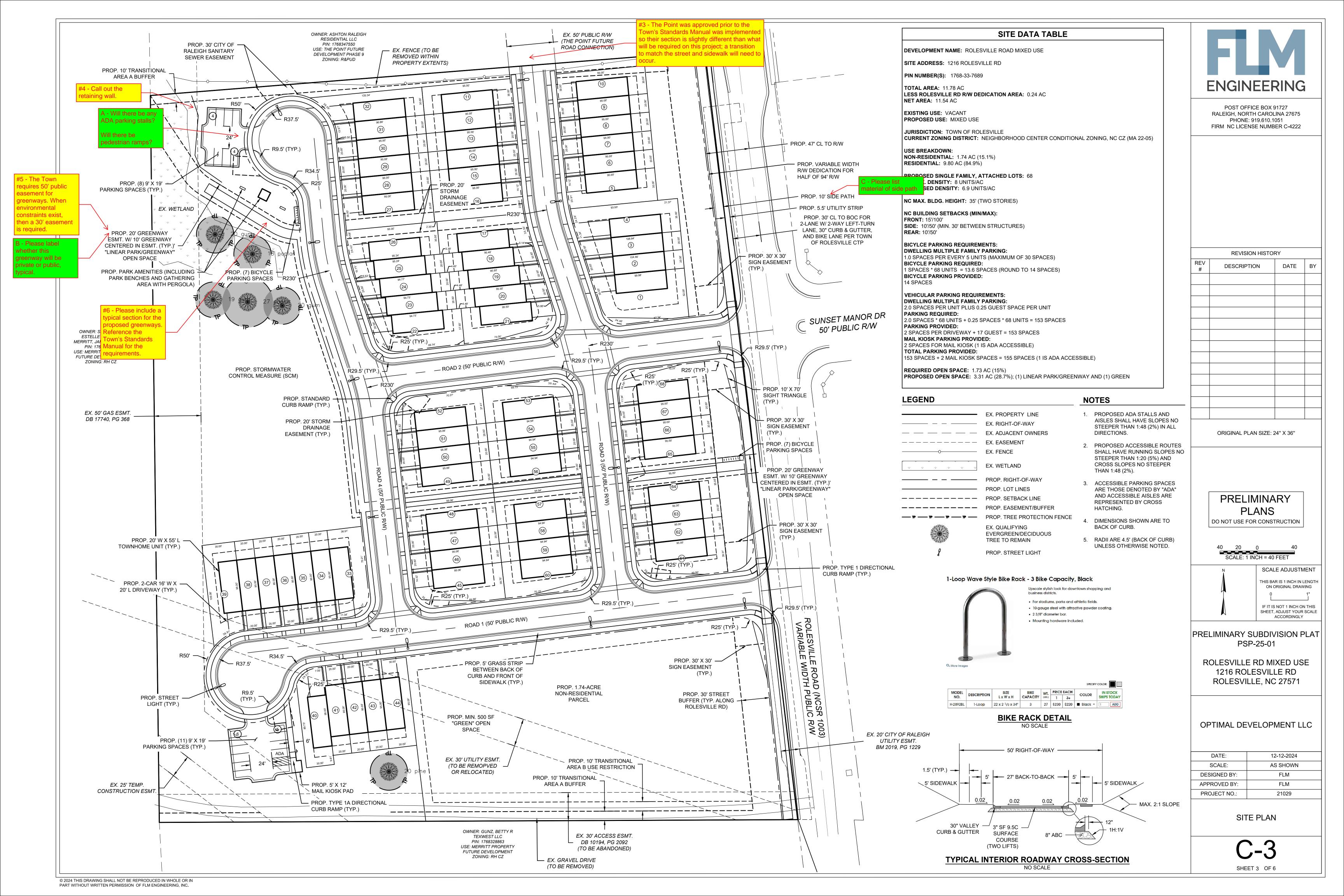
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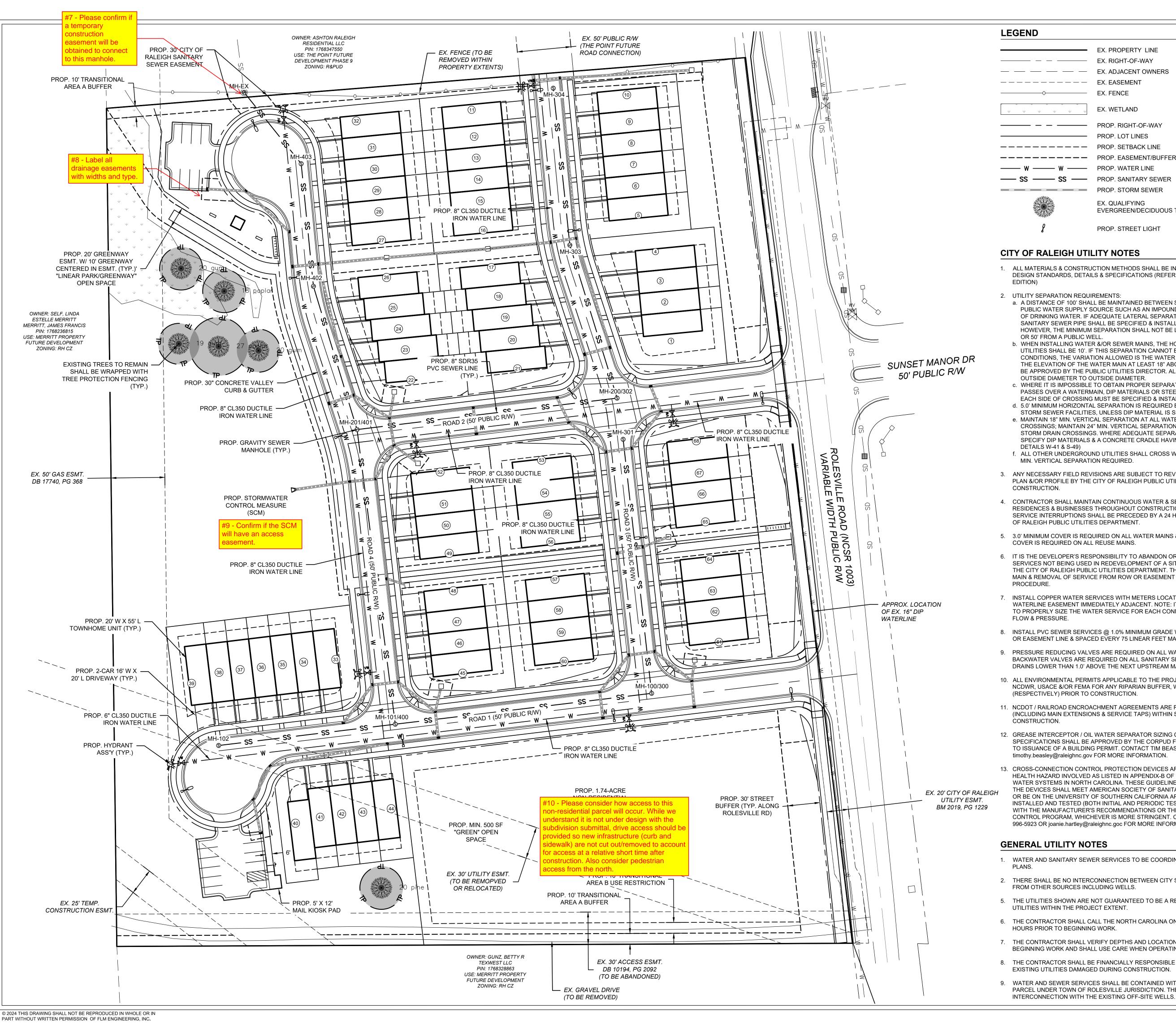
OPTIMAL DEVELOPMENT LLC

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**EXISTING CONDITIONS PLAN** 

**C-2**SHEET 2 OF 6





# EX. PROPERTY LINE

EX. RIGHT-OF-WAY EX. ADJACENT OWNERS EX. FENCE EX. WETLAND PROP. RIGHT-OF-WAY PROP. LOT LINES ---- PROP. SETBACK LINE ---- PROP. EASEMENT/BUFFER PROP. SANITARY SEWER PROP. STORM SEWER EX. QUALIFYING

### **CITY OF RALEIGH UTILITY NOTES**

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT

EVERGREEN/DECIDUOUS TREE

PROP. STREET LIGHT

- 2. UTILITY SEPARATION REQUIREMENTS:
- a. A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER, IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
- b. WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
- c. WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. d. 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER &
- STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER e. MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD
- f. ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- 3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- 4. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 5. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- 6. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK
- 7. INSTALL COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE
- 8. INSTALL PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- 9. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- 10. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWR, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- 11. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- 12. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR timothy.beasley@raleighnc.gov FOR MORE INFORMATION.
- 13. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR joanie.hartley@raleighnc.goc FOR MORE INFORMATION

## **GENERAL UTILITY NOTES**

- 1. WATER AND SANITARY SEWER SERVICES TO BE COORDINATED WITH HOUSE PLUMBING
- 2. THERE SHALL BE NO INTERCONNECTION BETWEEN CITY SUPPLIED WATER AND WATER FROM OTHER SOURCES INCLUDING WELLS.
- 5. THE UTILITIES SHOWN ARE NOT GUARANTEED TO BE A REPRESENTATION OF ALL
- 6. THE CONTRACTOR SHALL CALL THE NORTH CAROLINA ONE-CALL-CENTER AT LEAST 48
- 7. THE CONTRACTOR SHALL VERIFY DEPTHS AND LOCATIONS OF ALL UTILITIES PRIOR TO
- BEGINNING WORK AND SHALL USE CARE WHEN OPERATING AROUND EXISTING UTILITIES. 8. THE CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE FOR THE REPAIR OF ANY
- 9. WATER AND SEWER SERVICES SHALL BE CONTAINED WITHIN THE PORTION OF THE PARCEL UNDER TOWN OF ROLESVILLE JURISDICTION. THERE SHALL BE NO



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PSP-25-01

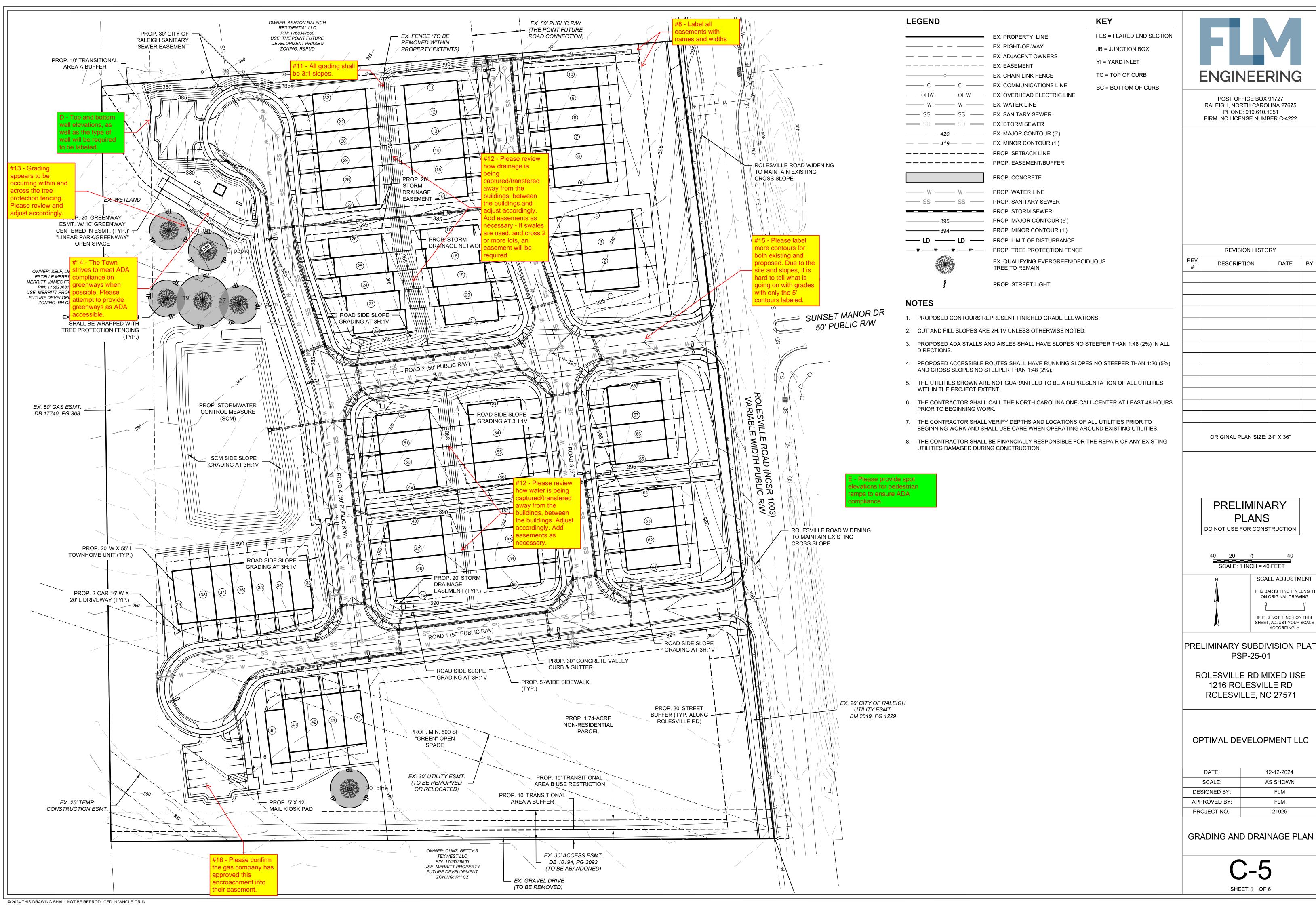
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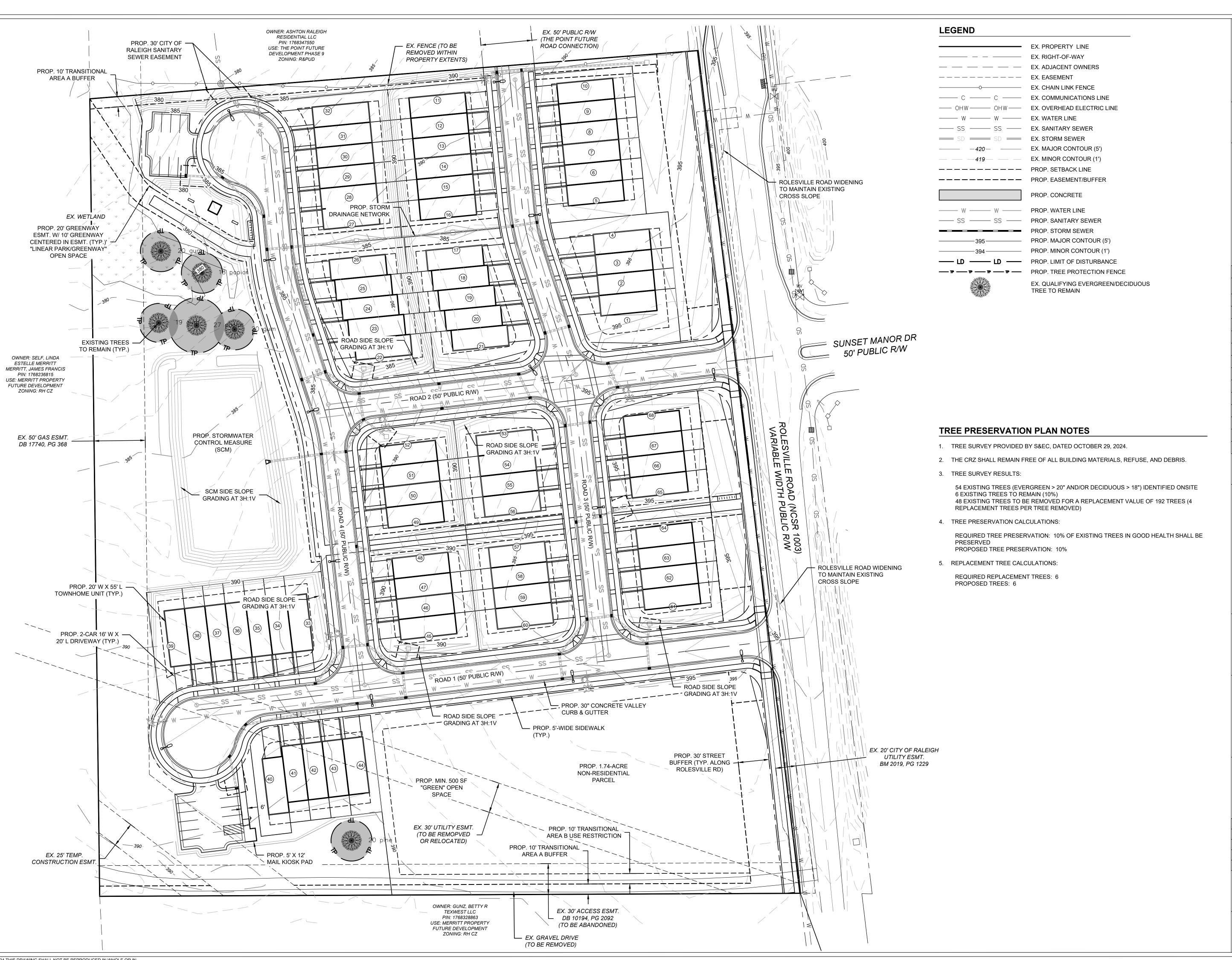
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UTILITY PLAN

SHEET 4 OF 6



PART WITHOUT WRITTEN PERMISSION OF FLM ENGINEERING, INC.





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PRESERVATION PLAN

**C-6**SHEET 6 OF 6