

ZONING CONDITIONS FOR THE MERRITT PROPERTY

REZ-24-01

PINS 1758-92-8330 (PORTION OF), 1768-23-6815 AND 1768-32-8863 (PORTION OF)

1. THE SUBJECT PROPERTY SHALL BE DEVELOPED GENERALLY IN ACCORDANCE WITH THE CONCEPT SITE PLAN/ZONING IN EXHIBIT A INCORPORATED HEREIN AS IF FULLY SET OUT.
  2. NO SINGLE TOWNHOUSE BUILDING SHALL CONTAIN MORE THAN SIX UNITS.
  3. CONSTRUCTION OF THE ON-SITE AMENITIES SHALL BE COMPLETED ON OR BEFORE THE ISSUANCE OF THE CERTIFICATE OF COMPLIANCE/OCCUPANCY FOR THE 300TH UNIT.
  4. THIS WILL BE AN AGE-RESTRICTED DEVELOPMENT LIMITED TO RESIDENTS AGED 55 AND OLDER IN ACCORDANCE WITH THE RULES AND REGULATIONS FOR AGE RESTRICTED HOUSING ESTABLISHED BY THE US DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT.
  5. NO MORE THAN 505 UNITS WILL BE PERMITTED FOR THE DEVELOPMENT WITH THE MAXIMUM NUMBER OF ATTACHED UNITS LIMITED TO 278.
  6. THE FOLLOWING USES ARE PROHIBITED IN THE PORTION OF THE SITE TO BE ZONED GENERAL COMMERCIAL DISTRICT: TATTOO ESTABLISHMENT, VAPE AND TOBACCO STORE, VEHICLE RENTAL, AND SALES.
  7. THE FOLLOWING USES ARE PROHIBITED IN THE PORTION OF THE SITE TO BE ZONED RESIDENTIAL MEDIUM DENSITY: TELECOMMUNICATIONS TOWER
  8. THE DEVELOPER SHALL INSTALL A TYPE 2 BUFFER IN THE SOUTHWEST CORNER OF THE PROPERTY AS SHOWN ON EXHIBIT B.
  9. ONE (1) BUILDING CONSISTING OF TWO (2) TOWNHOME UNITS SHALL BE DEVELOPED AND DONATED AS PART OF HEROES FOR HOME OR SIMILAR ORGANIZATION PROVIDING HOMES TO VETERANS. DEVELOPER SHALL BE ENTITLED TO A WAIVER OF ALL TOWN OF ROLESVILLE PERMIT FEES FOR THESE UNITS.
  10. ALL SINGLE-FAMILY DETACHED DWELLINGS SHALL HAVE THE FOLLOWING FEATURES:
    - A) AT LEAST ONE (1) SINGLE OR DOUBLE CAR GARAGE;
    - B) ALL GARAGE DOORS SHALL HAVE WINDOWS;
    - C) GROUND FLOOR ELEVATION AT THE FRONT DOOR SHALL BE MINIMUM OF 12" ABOVE AVERAGE GRADE ACROSS THE FRONT FAÇADE OF THE HOUSE.
    - D) IF MASONRY IS NOT THE PREDOMINANT FIRST FLOOR FINISH, THEN THE FRONT ELEVATION SHALL HAVE 2 TYPES OF SIDING. FOR EXAMPLE, HORIZONTAL SIDING MAY BE COMBINED WITH SHAKE/BOARD AND BATTEN;
    - E) ROOF MATERIALS SHALL BE ASPHALT SHINGLES, METAL, COPPER OR WOOD;
    - F) ALL WINDOWS ON FRONT FAÇADE SHALL HAVE SHUTTERS OR WINDOW TRIM;
    - G) NO SINGLE-FAMILY DETACHED HOME SHALL BE CONSTRUCTED WITH A FRONT ELEVATION OR COLOR PALETTE THAT IS IDENTICAL TO THE HOME ON EITHER SIDE OF IT OR DIRECTLY ACROSS FROM IT; AND
    - H) A VARIED COLOR PALETTE SHALL BE USED THROUGHOUT THE SUBDIVISION.
  11. ALL TOWNHOUSE DWELLINGS SHALL HAVE THE FOLLOWING FEATURES:
    - A) ONE (1) SINGLE OR DOUBLE CAR GARAGE
    - B) IF MASONRY IS NOT THE PREDOMINANT FIRST FLOOR FINISH, THEN THE FRONT ELEVATION SHALL HAVE 2 TYPES OF SIDING. FOR EXAMPLE, HORIZONTAL SIDING MAY BE COMBINED WITH SHAKE/BOARD AND BATTEN;
    - C) ROOF MATERIALS SHALL BE ASPHALT SHINGLES, METAL, COPPER OR WOOD;
    - D) NO TOWNHOUSE SHALL BE PAINTED A COLOR THAT IS IDENTICAL TO THE HOME ADJACENT ON EITHER SIDE OF IT; AND A VARIED PALETTE SHALL BE USED THROUGHOUT THE SUBDIVISION.
  12. A HOMEOWNERS ASSOCIATION (HOA) SHALL BE ESTABLISHED IN ACCORDANCE WITH THE ROLESVILLE LAND DEVELOPMENT ORDINANCE. HOA DOCUMENTS MUST BE RECORDED WITH THE FINAL PLAT.
  13. GARBAGE AND PET WAST RECEPTACLES IN OPEN SPACE AREAS TO BE MAINTAINED BY THE HOA.
  14. CONSTRUCTION DOCUMENTS FOR THE PROPERTY TO INCLUDE ON-LOT GRADING INCLUDING (I) PROPOSED FINISHED FLOOR ELEVATIONS, (II) 4- CORNER FINISHED-PAD SPOT ELEVATIONS, (III) 1-FOOT CONTOURS OF THE PROPOSED GRADES, (IV) PROPOSED HIGH POINT(S), (V) PROPOSED SWALE DIRECTIONS, SPOT ELEVATIONS, AND SLOPES AT NOT LESS THAN 1% AND (VI) OTHER INFORMATION AS NECESSARY TO DEMONSTRATE FUTURE FEASIBILITY OF COMPLIANCE WITH SECTION 4401.3 OF THE NC RESIDENTIAL CODE.
  15. THE DEVELOPER SHALL DESIGN AND CONSTRUCT A PUBLIC GREENWAY ALONG THE SOUTHERN PROPERTY BOUNDARY ADJACENT TO WITHIN THE PROPOSED SEWER EASEMENT AS SHOWN ON
- EXHIBIT C. ADDITIONAL DEDICATION OF A 40' GREENWAY EASEMENT ALONG THE LILES FAMILY, LLC PROPERTY WILL BE FINALIZED AND DEDICATED TO THE TOWN ONCE THE APPROVAL HAS BEEN GRANTED BY THE TOWN OF ROLESVILLE FOR THE FUTURE GREENWAY CONNECTION WITH THE EXTENSION OF FOWLER ROAD.

# V1 - PSP-24- 07

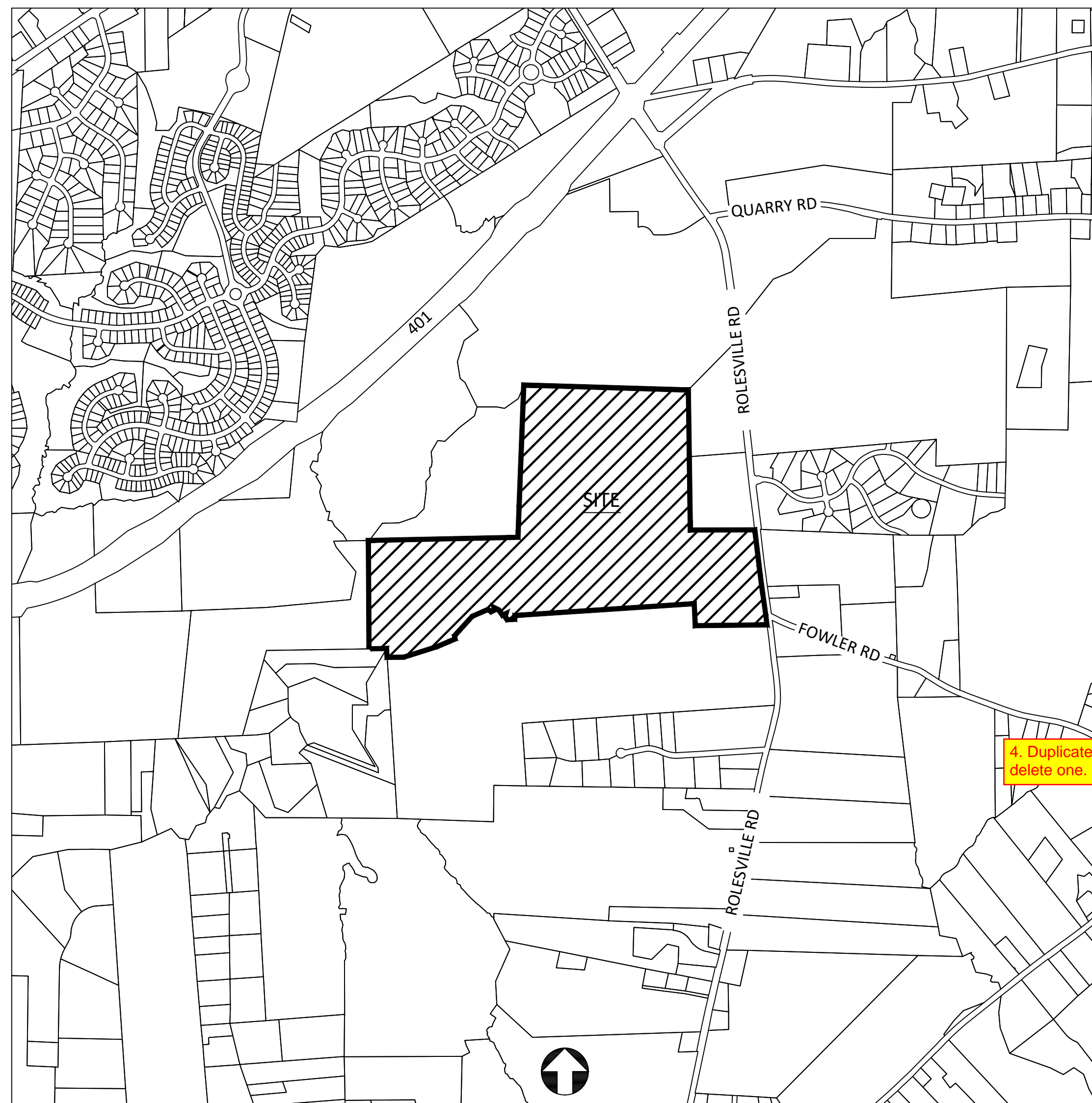
## PRELIMINARY SUBDIVISION PLAT FOR MERRITT PROPERTY

SITUATED AT  
1224 ROLESVILLE ROAD

### WAKE COUNTY, NORTH CAROLINA PROJECT NUMBER = PSP-YR-XX

1. Add "Town of Rolesville"

2. Update project number to PSP-24-07



VICINITY MAP  
SCALE: 1"=1000'

PROPRY OWNER:	WILLIAM MERRITT & KATHY LLAMAS 156 MONTEREY ST. POINCIANA FL 34759 1768-23-6815
	WESLEY AND ROXEY WILKINS 115 W. YOUNG ST. ROLESVILLE, NC 27571 1768-23-6815
	EDWARD AND LINDA SELF 114 MAUDE LA. MT. AIRY, NC 27030 1768- 23-6815
	JAMES AND SUE MERRITT 3523 VIOLET CT. WILMINGTON, NC 28409 1768-23-6815
	GUNZ/ROGERS PROPERTY BETTY R. GUNZ 1409 MAYLAND AVE. CHALOTTE, NC 28209 1768-32-8863
	WILLIAM ROGERS, C/O TEXWEST, LLC PO BOX 101149 FORTH WORTH, TX 76185 1768-32-8863
	LILES FAMILY PROPERTY LILES FAMILY, LLC 2524 HOLIDAY AVE. ZEBULON, NC 27597 1758-92-8330
SURVEYOR:	CMP PROFESSIONAL LANDSCAPE, PL CONTACT: MIKE MOSS 206 HIGH HOUSE RD STE 205 WAKE FOREST, NC 27587 919-556-3148
DEVELOPER:	BRD LAND AND INVESTMENT CONTACT: MICHAEL FLEMING 234 KINGSLEY PARK DR STE 110 FORT MILL, SC 29715 919-346-6014
BUFFER/WETLAND:	SAGE ECOLOGICAL SOLUTIONS CONTACT: SEAN CLARK 3707 SWIFT CREEK DRIVE RALEIGH, NC 27606 919-559-1537

Sheet List Table

Sheet Number	Sheet Title
G-001	COVER
G-002	LOT AREA PER PHASE
CV-100	EXISTING CONDITIONS
CX-100	DEMOLITION PLAN
CS-100	Site Overall Plan
CS-101	Site Plan (50 Scale)
CS-102	Site Plan (50 Scale)
CS-103	Site Plan (50 Scale)
CS-104	Site Plan (50 Scale)
CS-105	Site Plan (50 Scale)
CS-106	Site Plan (50 Scale)
CS-107	Site Plan (50 Scale)
CS-108	Site Plan (50 Scale)
CS-200	SITE PROJECT DETAILS
CU-100	Utility Overall Plan
CU-101	Utility Plan (50 Scale)
CU-102	Utility Plan (50 Scale)
CU-103	Utility Plan (50 Scale)
CU-104	Utility Plan (50 Scale)
CU-105	Utility Plan (50 Scale)
CU-106	Utility Plan (50 Scale)
CU-107	Utility Plan (50 Scale)
CU-108	Utility Plan (50 Scale)
CG-100	Grading and Drainage Overall Plan
CG-101	Grading and Drainage (50 Scale)
CG-102	Grading and Drainage (50 Scale)
CG-103	Grading and Drainage (50 Scale)
CG-104	Grading and Drainage (50 Scale)
CG-105	Grading and Drainage (50 Scale)
CG-106	Grading and Drainage (50 Scale)
CG-107	Grading and Drainage (50 Scale)
CG-108	Grading and Drainage (50 Scale)
CT-200	Fowler Road Plan and Profile (1 of 5)
CT-201	Fowler Road Plan and Profile (2 of 5)
CT-202	Fowler Road Plan and Profile (3 of 5)
CT-203	Fowler Road Plan and Profile (4 of 5)
CT-204	Fowler Road Plan and Profile (5 of 5)
CT-300	STRIPING PLAN
CT-301	ROAD IMPROVEMENTS
LP-100	Overall Landscape Plan

PROJECT NARRATIVE  
THIS PROJECT IS LOCATED IN ROLESVILLE, NORTH CAROLINA ASIDE THE ROLESVILLE ROAD FOWLER ROAD INTERSECTION. IT DRAINS TO TRIBUTARIES OF HARRIS BRANCH WHICH IS PART OF THE NEUSE RIVER BASIN. THE PROJECT CONSIST OF THREE SEPARATE PARCELS WITH A TOTAL PROJECT AREA OF THE PROJECT IS 152.278 AC. THE PROJECT IS ZONED FOR HIGH DENSITY, RESIDENTIAL AND GENERAL COMMERCIAL WITH A RESIDENTIAL DENSITY OF +/- 3 UNITS AN ACRE.

GENERAL NOTES:  
1. CONTRACTOR SHALL CONTACT NORTH CAROLINA ONE CALL (1-800-632-4949) TO LOCATE ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION.  
2. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF THE EXISTING UTILITIES AND NOTIFY THE PROJECT ENGINEER (919-469-1101) OF ANY CONFLICTS.  
3. ALL BOUNDARY AND FIELD TOPOGRAPHY PROVIDED BY CMP PROFESSIONAL LAND SURVEYOR,PL.  
4. THE ZONING ENTITLEMENTS ACHIEVED/FACILITATING THIS PRELIM PLAT IS REZ-24-01, APPROVED 11-7-2024 BY TOWN BOARD.  
5. OPEN SPACE LOTS AND SCM'S WILL BE OWNED AND MAINTAINED BY HOA.  
6. ALL PROPOSED STREETS WILL BE DEDICATED TO TOWN AND THUS OWNED AND MAINTAINED BY TOWN.  
7. ALL PUBLIC WATER AND SEWER MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.  
8. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF THE EXISTING UTILITIES AND NOTIFY THE PROJECT ENGINEER (919-469-1101) OF ANY CONFLICTS.  
9. ALL CONDITIONS OF SUP 19-01 AND MA 19-02 R&PUD ARE APPLICABLE AND WILL BE MET.  
10. SIGNS REQUIRE A SEPARATE SIGN PACKAGE TO BE APPROVED BY THE TOWN.

PROJECT NARRATIVE  
THIS PROJECT IS LOCATED IN ROLESVILLE, NORTH CAROLINA ASIDE THE ROLESVILLE ROAD FOWLER ROAD INTERSECTION. IT DRAINS TO TRIBUTARIES OF HARRIS BRANCH WHICH IS PART OF THE NEUSE RIVER BASIN. THE PROJECT CONSIST OF THREE SEPARATE PARCELS WITH A TOTAL PROJECT AREA OF THE PROJECT IS 152.278 AC. THE PROJECT IS ZONED FOR HIGH DENSITY, RESIDENTIAL AND GENERAL COMMERCIAL WITH A RESIDENTIAL DENSITY OF +/- 3 UNITS AN ACRE.

ATTENTION CONTRACTORS:  
THE CONTRACTOR RESPONSIBLE FOR THE EXTENSION OF WATER, SEWER, AND / OR REUSE, AS APPROVED IN THESE PLANS, IS RESPONSIBLE FOR CONTACTING THE PUBLIC UTILITIES DEPARTMENT AT (919) 996-4540 AT LEAST TWENTY FOUR HOURS PRIOR TO BEGINNING ANY OF THEIR CONSTRUCTION.  
FAILURE TO NOTIFY BOTH CITY DEPARTMENTS IN ADVANCE OF BEGINNING CONSTRUCTION, WILL RESULT IN THE ISSUANCE OF MONETARY FINES, AND REQUIRE REINSTALLATION OF ANY WATER AND SEWER FACILITIES NOT INSPECTED AT THE TIME OF THE NOTIFICATION FAILURE.  
FAILURE TO CALL FOR INSPECTION, INSTALL A DOWNSTREAM PLUG, HAVE PERMITTED PLANS ON THE JOB SITE, OR ANY OTHER VIOLATION OF THE CITY OF RALEIGH STANDARDS WILL RESULT IN A FINE AND POSSIBLE EXCLUSION FROM FUTURE WORK IN THE CITY OF RALEIGH.

3. Add the following to the site data table:  
-parking data  
-tree coverage data

OVERALL SITE DATA	
PIN	1768328863, 1768236815, 1758928330
DEED BOOK AND PAGE #	010194 016287 009920 02092 00077 01879
ZONING	RH-CZ & GC-CZ
TOTAL TRACT ACREAGE	16.745/ 98.166/ 37.367 TOTAL=152.278 AC
WATERSHED	HARRIS CREEK
TOWNSHIP	WAKE FOREST
RIVER BASIN	NEUSE
EXISTING USAGE	AGRICULTURE
PROPOSED USAGE	MIXED USE
STREAM CLASS	C,NSW
EXISTING IMPERVIOUS	.04 AC
PROPOSED IMPERVIOUS	12.84 AC
DENSITY	3 UNITS/ACRE
FEMA FLOOD MAP	PANEL 1768 DATE JULY 19,2022
SINGLE FAMILY DETACHED	4,000 SF MIN. LOT AREA
ATTACHED UNITS	1,900 SF MIN. LOT AREA
40' SINGLE FAMILY 50' SINGLE FAMILY ATTACHED DWELLINGS	136 89 274 TOTAL 499
MINIMUM BUILDING SETBACKS	
FRONT SETBACK	20'
SIDE SETBACK	5'
REAR SETBACK	20'
CORNER SIDE	15'

5. Include submittal date on cover sheet (Month, Day, Year)

APPROVED FOR COMPLIANCE

Case # \_\_\_\_\_ Project: \_\_\_\_\_

By: \_\_\_\_\_ Date: \_\_\_\_\_

These plans have been approved for compliance with the Town Code of Ordinance, UDO, and Standard Specifications & Construction Details, subject to statements & conditions hereby incorporated by reference.



AMERICAN Engineering  
American Engineering Associates - Southeast, P.A.  
4020 Westchase Boulevard, Suite 450  
Raleigh, NC 27607  
919-469-1101

PRELIMINARY

FOR INFORMATION, ONLY

NO.	DATE	REVISION

STIPULATION FOR REUSE  
THIS DRAWING WAS PREPARED FOR USE ON THE SPECIFIC SITE, NAMED HEREON, CONTEMPORANEOUSLY WITH ITS ISSUE DATE AS LISTED, HEREON, AND IT IS NOT SUITABLE FOR USE ON A DIFFERENT PROJECT SITE OR AT A LATER TIME. USE OF THIS DRAWING FOR REFERENCE OR EXAMPLE ON ANOTHER PROJECT REQUIRES THE SERVICES OF PROPERLY LICENSED ARCHITECTS AND ENGINEERS. REPRODUCTION OF THIS DRAWING FOR REUSE ON ANOTHER PROJECT IS NOT AUTHORIZED AND MAY BE CONTRARY TO THE LAW.

MERRITT PROPERTY  
COVER  
ROLESVILLE RD  
WAKE COUNTY NC 27312

JOB NUMBER: 23-0004  
CHECKED BY: EDS  
DRAWN BY: EDS  
DATE: APRIL 2024  
SHEET TITLE: COVER  
SHEET NO.: G-001

Z:\Projects\2024\North Property\811\Working\Draw\Sheet07\preliminary.dwg (5/15/24) 10:00 AM Area Per Phase.dwg

Table with 3 columns: Number, Area, and Area (Sq. Ft.) for PHASE 1, rows 1-69.

Table with 3 columns: Number, Area, and Area (Sq. Ft.) for PHASE 1, rows 70-138.

Table with 3 columns: Number, Area, and Area (Sq. Ft.) for PHASE 1, rows 139-207.

Table with 3 columns: Number, Area, and Area (Sq. Ft.) for PHASE 1, rows 208-276.

Table with 3 columns: Number, Area, and Area (Sq. Ft.) for PHASE 1, rows 277-345.

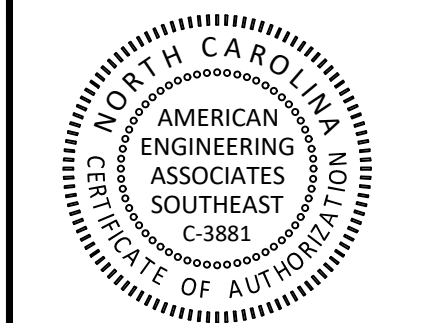
Table with 3 columns: Number, Area, and Area (Sq. Ft.) for PHASE 1, rows 346-414.

Table with 3 columns: Number, Area, and Area (Sq. Ft.) for PHASE 1, rows 415-430.

Table with 3 columns: Number, Area, and Area (Sq. Ft.) for PHASE 2, rows 431-499.

6. Update Project Number on all sheets.

PROJECT NUMBER = PSP-YR-XX



PRELIMINARY

FOR INFORMATION, ONLY

Table with 2 columns: NO., DATE, REVISION.

STIPULATION FOR REUSE: THIS DRAWING WAS PREPARED FOR USE ON THE SPECIFIC SITE, NAMED HEREON, CONTEMPORANEOUSLY WITH ITS ISSUE DATE AS LISTED, HEREON, AND IT IS NOT SUITABLE FOR USE ON A DIFFERENT PROJECT SITE OR AT A LATER TIME. USE OF THIS DRAWING FOR REFERENCE OR EXAMPLE ON ANOTHER PROJECT REQUIRES THE SERVICES OF PROPERLY LICENSED ARCHITECTS AND ENGINEERS. REPRODUCTION OF THIS DRAWING FOR REUSE ON ANOTHER PROJECT IS NOT AUTHORIZED AND MAY BE CONTRARY TO THE LAW.

MERRITT PROPERTY LOT AREA PER PHASE ROLESVILLE RD WAKE COUNTY NC 27312

JOB NUMBER: 23-0004 CHECKED BY: EDS DRAWN BY: EDS DATE: APRIL 2024 SHEET TITLE:

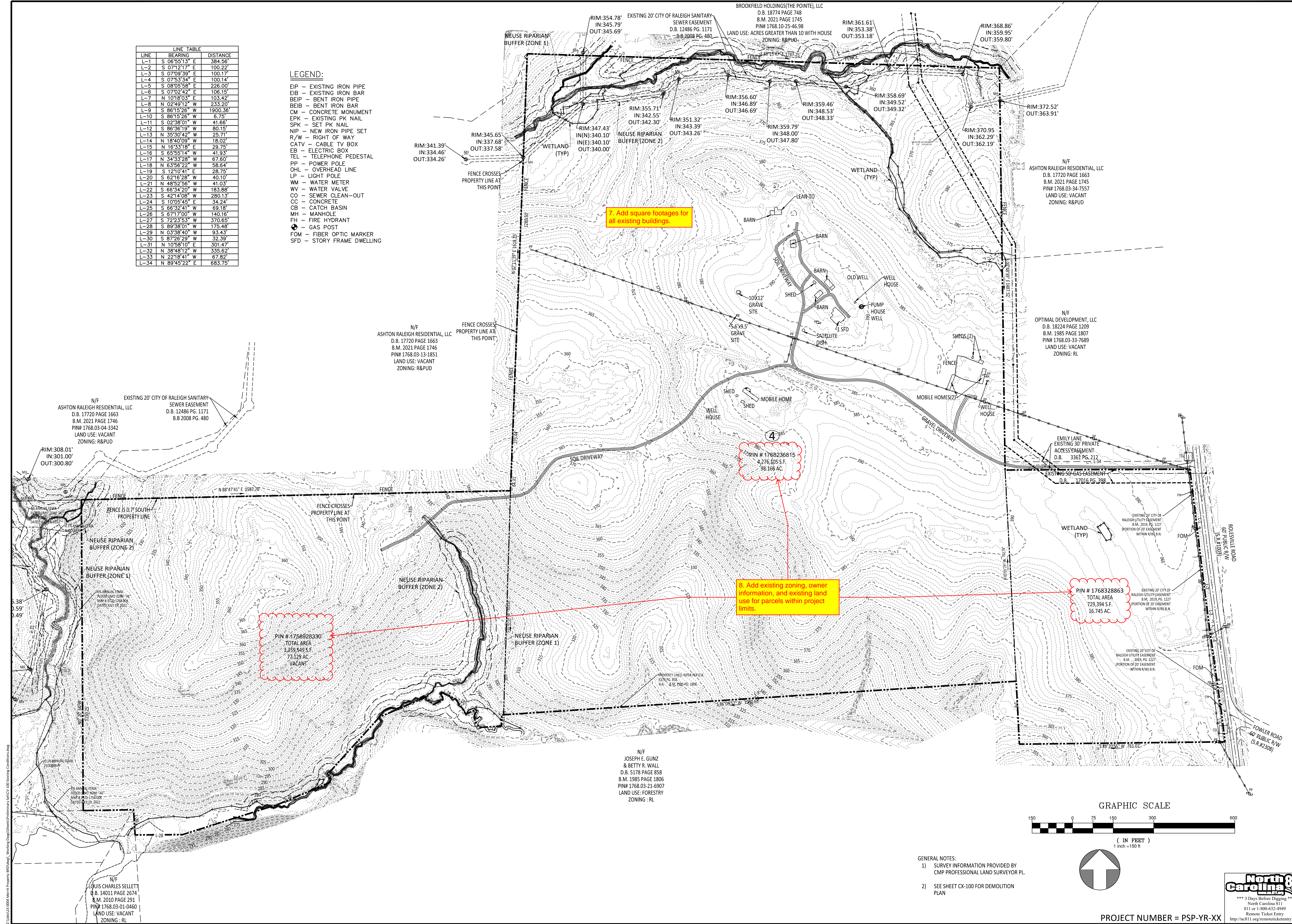
LOT AREA PER PHASE

SHEET NO.: G-002

LINE	BEARING	DISTANCE
L-1	S 06°55'13" E	384.56'
L-2	S 07°12'17" E	100.22'
L-3	S 07°09'39" E	100.17'
L-4	S 07°53'34" E	100.14'
L-5	S 08°05'58" E	226.00'
L-6	S 07°02'42" E	106.15'
L-7	N 10°18'03" E	103.42'
L-8	N 02°49'12" W	233.20'
L-9	S 86°15'26" W	1900.36'
L-10	S 86°15'26" W	6.75'
L-11	S 02°38'01" W	41.66'
L-12	S 86°36'19" W	80.15'
L-13	N 35°30'42" W	25.71'
L-14	N 18°40'09" W	18.02'
L-15	N 16°33'18" E	29.75'
L-16	S 65°55'14" W	41.93'
L-17	N 34°33'28" W	67.60'
L-18	N 63°56'22" W	58.64'
L-19	S 12°10'41" E	28.75'
L-20	S 62°16'28" W	40.10'
L-21	N 48°52'56" W	41.03'
L-22	S 66°34'20" W	183.88'
L-23	S 42°14'08" W	280.13'
L-24	S 10°05'45" E	34.24'
L-25	S 66°32'41" W	69.18'
L-26	S 67°17'00" W	140.16'
L-27	S 72°23'53" W	370.65'
L-28	S 89°35'01" W	175.48'
L-29	N 03°38'40" W	93.43'
L-30	S 87°26'29" W	32.39'
L-31	N 10°58'10" E	301.47'
L-32	N 38°48'12" W	335.62'
L-33	N 22°18'41" W	67.82'
L-34	N 89°45'22" E	683.75'

**LEGEND:**

- EIP - EXISTING IRON PIPE
- EIB - EXISTING IRON BAR
- BEIP - BENT IRON PIPE
- BEIB - BENT IRON BAR
- CM - CONCRETE MONUMENT
- EPK - EXISTING PK NAIL
- SPK - SET PK NAIL
- NIP - NEW IRON PIPE SET
- R/W - RIGHT OF WAY
- CATV - CABLE TV BOX
- EB - ELECTRIC BOX
- TEL - TELEPHONE PEDESTAL
- PP - POWER POLE
- OHL - OVERHEAD LINE
- LP - LIGHT POLE
- WM - WATER METER
- WV - WATER VALVE
- CO - SEWER CLEAN-OUT
- CC - CONCRETE
- CB - CATCH BASIN
- MH - MANHOLE
- FH - FIRE HYDRANT
- GP - GAS POST
- FOM - FIBER OPTIC MARKER
- SFD - STORY FRAME DWELLING



PRELIMINARY

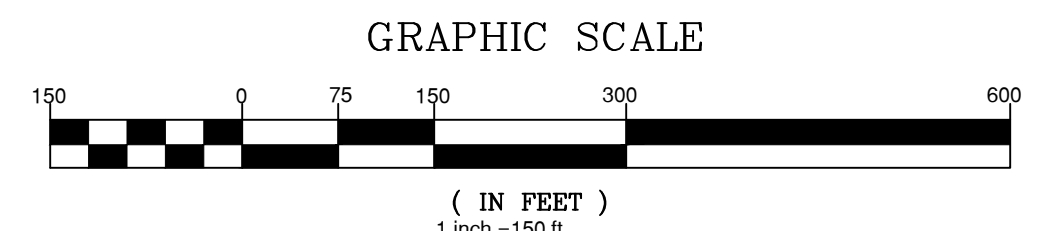
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NO.	DATE	REVISION

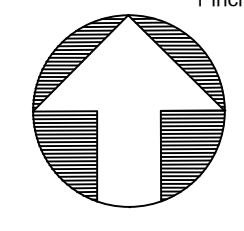
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**MERRITT PROPERTY EXISTING CONDITIONS**  
 ROLESVILLE RD  
 WAKE COUNTY NC 27312

JOB NUMBER: 23-0004  
 CHECKED BY:  
 DRAWN BY: EDS  
 DATE: APRIL 2024  
 SHEET TITLE:  
**EXISTING CONDITIONS**  
 SHEET NO.: **CV-100**



- GENERAL NOTES:  
 1) SURVEY INFORMATION PROVIDED BY CNP PROFESSIONAL LAND SURVEYOR PL.  
 2) SEE SHEET CX-100 FOR DEMOLITION PLAN



PROJECT NUMBER = PSP-YR-XX

**POTABLE WATER SUPPLY WELL DECOMMISSIONING/ABANDONMENT SPECIFICATIONS**

ONE OR MORE POTABLE WATER SUPPLY WELLS HAVE BEEN IDENTIFIED ON THE PROPERTY LOCATED NEAR THE RESIDENCES. THE CONTRACTOR SHALL CONFIRM THE WELL SPECIFICATIONS, AND ABANDON THE WELLS IN ACCORDANCE WITH THE REQUIREMENTS OF THE STATE OF NORTH CAROLINA, WAKE COUNTY, AND THE REQUIREMENTS OF THESE SPECIFICATIONS. ONLY A CERTIFIED WELL CONTRACTOR REGISTERED WITH WAKE COUNTY AND THE STATE OF NORTH CAROLINA MAY ABANDON THE WELL.

THE CONTRACTOR SHALL COMPLETE AND SUBMIT A WAKE COUNTY APPLICATION FOR WELL REPAIR /ABANDONMENT PERMIT TO THE WAKE COUNTY DEPARTMENT OF ENVIRONMENTAL SERVICES (WCDES), PRIOR TO THE PERMANENT ABANDONMENT PROCEDURES, THE CERTIFIED CONTRACTOR ABANDONING THE WELL SHALL PROVIDE A MINIMUM OF 24-HOURS ADVANCE NOTICE TO THE WCDES, ENVIRONMENTAL HEALTH DIVISION, AND RECEIVE APPROVAL AND A WAKE COUNTY PERMIT NUMBER.

THE CONTRACTOR SHALL CONFIRM THAT THE WELL SYSTEM HAS BEEN DE-ENERGIZED PRIOR TO ANY DEMOLITION ACTIVITIES. WELL DECOMMISSIONING/ ABANDONMENT INCLUDES THE REMOVAL OF THE WELL HOUSE, SUPPLY LINES AND ALL MATERIALS LEFT IN THE BOREHOLE/WELL. THE TOP FIVE FEET SHALL BE BACKFILLED WITH MATERIAL APPROPRIATE FOR THE INTENDED LAND USE. THE WELL SHALL BE ABANDONED IN ACCORDANCE WITH THE NORTH CAROLINA DEPARTMENT OF NATURAL RESOURCES, DIVISION OF WATER QUALITY, REGULATIONS FOR ABANDONMENT OF WELLS (15A NCAC 02C .0113 ABANDONMENT OF WELLS) AND AS DESCRIBED HEREIN.

THE PERMANENT ABANDONMENT OF THE WATER SUPPLY WELLS SHALL BE PERFORMED IN ACCORDANCE WITH THE FOLLOWING PROCEDURES:

1. ALL CASING AND SCREEN MATERIALS MAY BE REMOVED PRIOR TO INITIATION OF ABANDONMENT PROCEDURES, IF SUCH REMOVAL WILL NOT CAUSE OR CONTRIBUTE TO CONTAMINATION OF THE GROUNDWATERS. ANY CASING NOT GROUTED IN ACCORDANCE WITH 15A NCAC 02C .0107(F) SHALL BE REMOVED OR GROUTED IN ACCORDANCE WITH 15A NCAC 02C .0107(F).
2. THE ENTIRE DEPTH OF THE WELL SHALL BE SOUNDED BEFORE IT IS SEALED TO ENSURE FREEDOM FROM OBSTRUCTIONS THAT MAY INTERFERE WITH SEALING OPERATIONS.
3. THE WELL SHALL BE DISINFECTED IN ACCORDANCE WITH RULE .0111(B)(1)(A) THROUGH .0111(B)(1)(C) OF THIS SECTION.
4. IN THE CASE OF GRAVEL-PACKED WELLS IN WHICH THE CASING AND SCREENS HAVE NOT BEEN REMOVED, NEAT-CEMENT OR BENTONITE SLURRY GROUT SHALL BE INJECTED INTO THE WELL COMPLETELY FILLING IT FROM THE BOTTOM OF THE CASING TO THE TOP.
5. WELLS CONSTRUCTED IN UNCONSOLIDATED FORMATIONS SHALL BE COMPLETELY FILLED WITH GROUT BY INTRODUCING IT THROUGH A PIPE EXTENDING TO THE BOTTOM OF THE WELL WHICH CAN BE RAISED AS THE WELL IS FILLED.
6. WELLS CONSTRUCTED IN CONSOLIDATED ROCK FORMATIONS OR THAT PENETRATE ZONES OF CONSOLIDATED ROCK MAY BE FILLED WITH GROUT, SAND, GRAVEL OR DRILL CUTTINGS OPPOSITE THE ZONES OF CONSOLIDATED ROCK. THE TOP OF ANY SAND, GRAVEL OR CUTTING FILL SHALL TERMINATE AT LEAST 10 FEET BELOW THE TOP OF THE CONSOLIDATED ROCK OR FIVE FEET BELOW THE BOTTOM OF CASING IN A MANNER TO ENSURE COMPLETE FILLING OF THE CASING, AND EXTEND UP TO LAND SURFACE. FOR ANY WELL IN WHICH THE DEPTH OF CASING OR THE DEPTH OF THE BEDROCK IS NOT KNOWN OR CANNOT BE CONFIRMED, THE ENTIRE LENGTH OF THE WELL SHALL BE FILLED WITH GROUT UP TO LAND SURFACE.

THE CERTIFIED WELL CONTRACTOR SHALL COMPLETE A NCDEMR FORM GW-30 WELL ABANDONMENT RECORD. THE CONTRACTOR SHALL SUBMIT A COPY TO THE OWNER, AND THE ORIGINAL SHALL BE SUBMITTED TO THE DIVISION OF WATER QUALITY WITHIN 30 DAYS OF COMPLETION AT THE FOLLOWING ADDRESS:

NCDEMR, DIVISION OF WATER QUALITY  
ATTN: INFORMATION MANAGEMENT  
1617 MAIL SERVICE CENTER  
RALEIGH, NC 27699-1617

SUBMIT THE FOLLOWING DOCUMENTATION TO AMERICAN ENGINEERING WITHIN TWO WEEKS FOLLOWING THE COMPLETION OF THE WELL ABANDONMENT:

1. DIGITAL PHOTOGRAPHS DOCUMENTING THE WELL CLOSURE ACTIVITIES.
2. COPIES OF PERMITS, FORMS, DRILLER LICENSES, ETC.

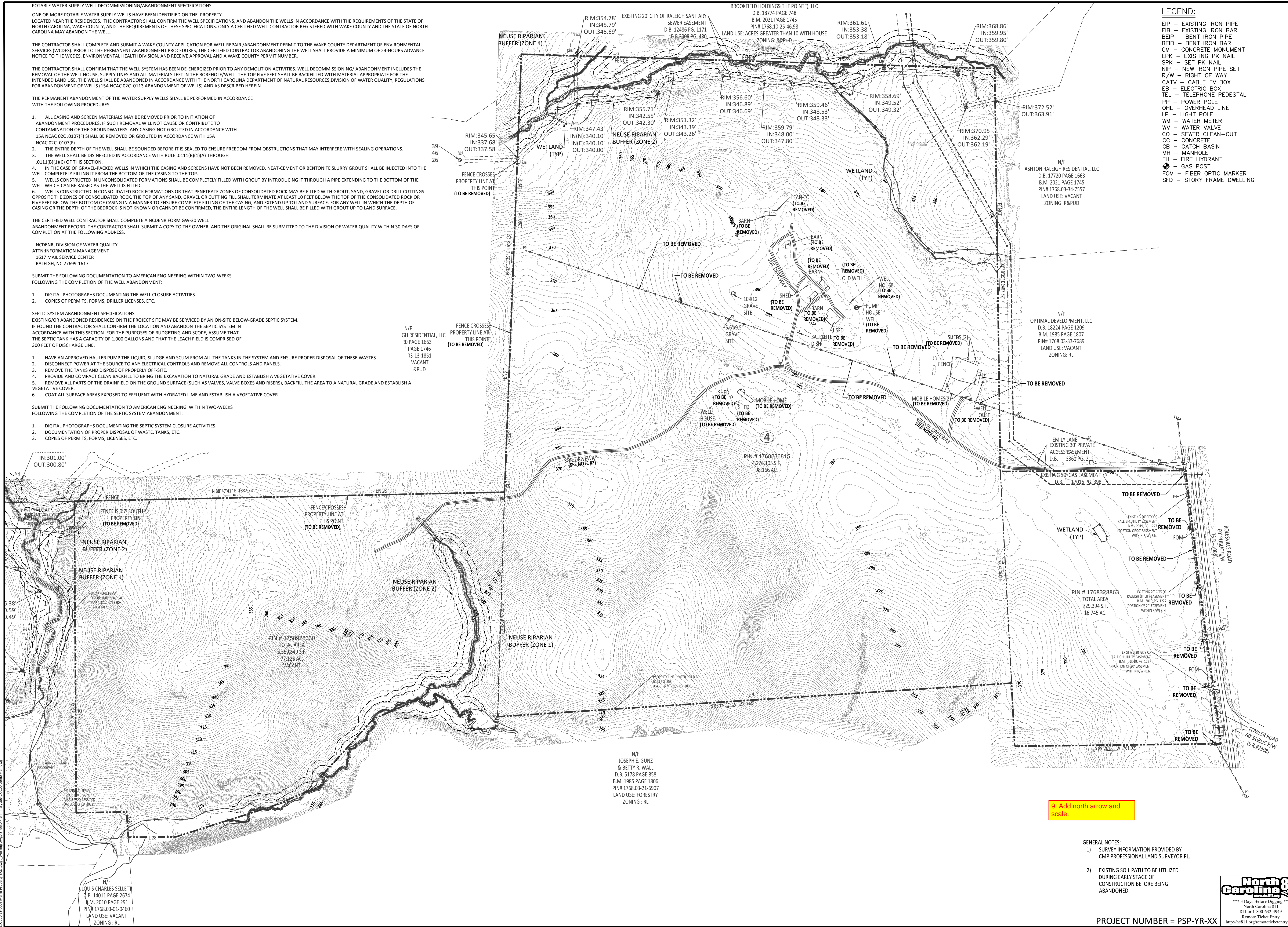
**SEPTIC SYSTEM ABANDONMENT SPECIFICATIONS**

EXISTING OR ABANDONED RESIDENCES ON THE PROJECT SITE MAY BE SERVICED BY AN ON-SITE BELOW-GRADE SEPTIC SYSTEM. IF FOUND THE CONTRACTOR SHALL CONFIRM THE LOCATION AND ABANDON THE SEPTIC SYSTEM IN ACCORDANCE WITH THIS SECTION. FOR THE PURPOSES OF BUDGETING AND SCOPE, ASSUME THAT THE SEPTIC TANK HAS A CAPACITY OF 1,000 GALLONS AND THAT THE LEACH FIELD IS COMPRISED OF 300 FEET OF DISCHARGE LINE.

1. HAVE AN APPROVED HAULER PUMP THE LIQUID, SLUDGE AND SCUM FROM ALL THE TANKS IN THE SYSTEM AND ENSURE PROPER DISPOSAL OF THESE WASTES.
2. DISCONNECT POWER AT THE SOURCE TO ANY ELECTRICAL CONTROLS AND REMOVE ALL CONTROLS AND PANELS.
3. REMOVE THE TANKS AND DISPOSE OF PROPERLY OFF-SITE.
4. PROVIDE AND COMPACT CLEAN BACKFILL TO BRING THE EXCAVATION TO NATURAL GRADE AND ESTABLISH A VEGETATIVE COVER.
5. REMOVE ALL PARTS OF THE DRAINFIELD ON THE GROUND SURFACE (SUCH AS VALVES, VALVE BOXES AND RISERS), BACKFILL THE AREA TO A NATURAL GRADE AND ESTABLISH A VEGETATIVE COVER.
6. COAT ALL SURFACE AREAS EXPOSED TO EFFLUENT WITH HYDRATED LIME AND ESTABLISH A VEGETATIVE COVER.

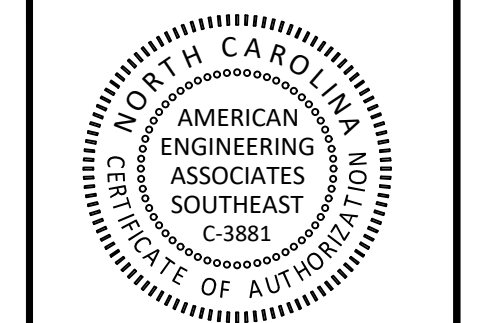
SUBMIT THE FOLLOWING DOCUMENTATION TO AMERICAN ENGINEERING WITHIN TWO WEEKS FOLLOWING THE COMPLETION OF THE SEPTIC SYSTEM ABANDONMENT:

1. DIGITAL PHOTOGRAPHS DOCUMENTING THE SEPTIC SYSTEM CLOSURE ACTIVITIES.
2. DOCUMENTATION OF PROPER DISPOSAL OF WASTE, TANKS, ETC.
3. COPIES OF PERMITS, FORMS, LICENSES, ETC.



**LEGEND:**

- EIP - EXISTING IRON PIPE
- EIB - EXISTING IRON BAR
- BEIP - BENT IRON PIPE
- BEIB - BENT IRON BAR
- CM - CONCRETE MONUMENT
- EPK - EXISTING PK NAIL
- SPK - SET PK NAIL
- NIP - NEW IRON PIPE SET
- R/W - RIGHT OF WAY
- CATV - CABLE TV BOX
- EB - ELECTRIC BOX
- TEL - TELEPHONE PEDESTAL
- PP - POWER POLE
- OHL - OVERHEAD LINE
- LP - LIGHT POLE
- WM - WATER METER
- WV - WATER VALVE
- CO - SEWER CLEAN-OUT
- CC - CONCRETE
- CB - CATCH BASIN
- MH - MANHOLE
- FH - FIRE HYDRANT
- GM - GAS POST
- FOM - FIBER OPTIC MARKER
- SFD - STORY FRAME DWELLING



PRELIMINARY

FOR INFORMATION, ONLY

NO.	DATE	REVISION:

**STIPULATION FOR REUSE**  
THIS DRAWING WAS PREPARED FOR USE ON THE SPECIFIC SITE NAMED HEREON. CONTEMPORANEOUSLY WITH ITS ISSUE DATE AS LISTED, HEREON, AND IT IS NOT SUITABLE FOR USE ON A DIFFERENT PROJECT SITE OR AT A LATER TIME. USE OF THIS DRAWING FOR REFERENCE OR EXAMPLE ON ANOTHER PROJECT REQUIRES THE SERVICES OF PROPERLY LICENSED ARCHITECTS AND ENGINEERS. REPRODUCTION OF THIS DRAWING FOR REUSE ON ANOTHER PROJECT IS NOT AUTHORIZED AND MAY BE CONTRARY TO THE LAW.

**MERRITT PROPERTY  
DEMOLITION  
PLAN**  
ROLESVILLE RD  
WAKE COUNTY NC 27312

JOB NUMBER: 23-0004  
CHECKED BY:  
DRAWN BY: EDS  
DATE: APRIL 2024  
SHEET TITLE:  
**DEMOLITION  
PLAN**  
SHEET NO.:  
**CX-100**

9. Add north arrow and scale.

- GENERAL NOTES:
- 1) SURVEY INFORMATION PROVIDED BY CMP PROFESSIONAL LAND SURVEYOR PL.
  - 2) EXISTING SOIL PATH TO BE UTILIZED DURING EARLY STAGE OF CONSTRUCTION BEFORE BEING ABANDONED.



PROJECT NUMBER = PSP-YR-XX

2:\Projects\2024\North Property\811\Working\Drawings\230004\230004.dwg: 1:00 Date: 04/19/24

NO.	DATE	REVISION:

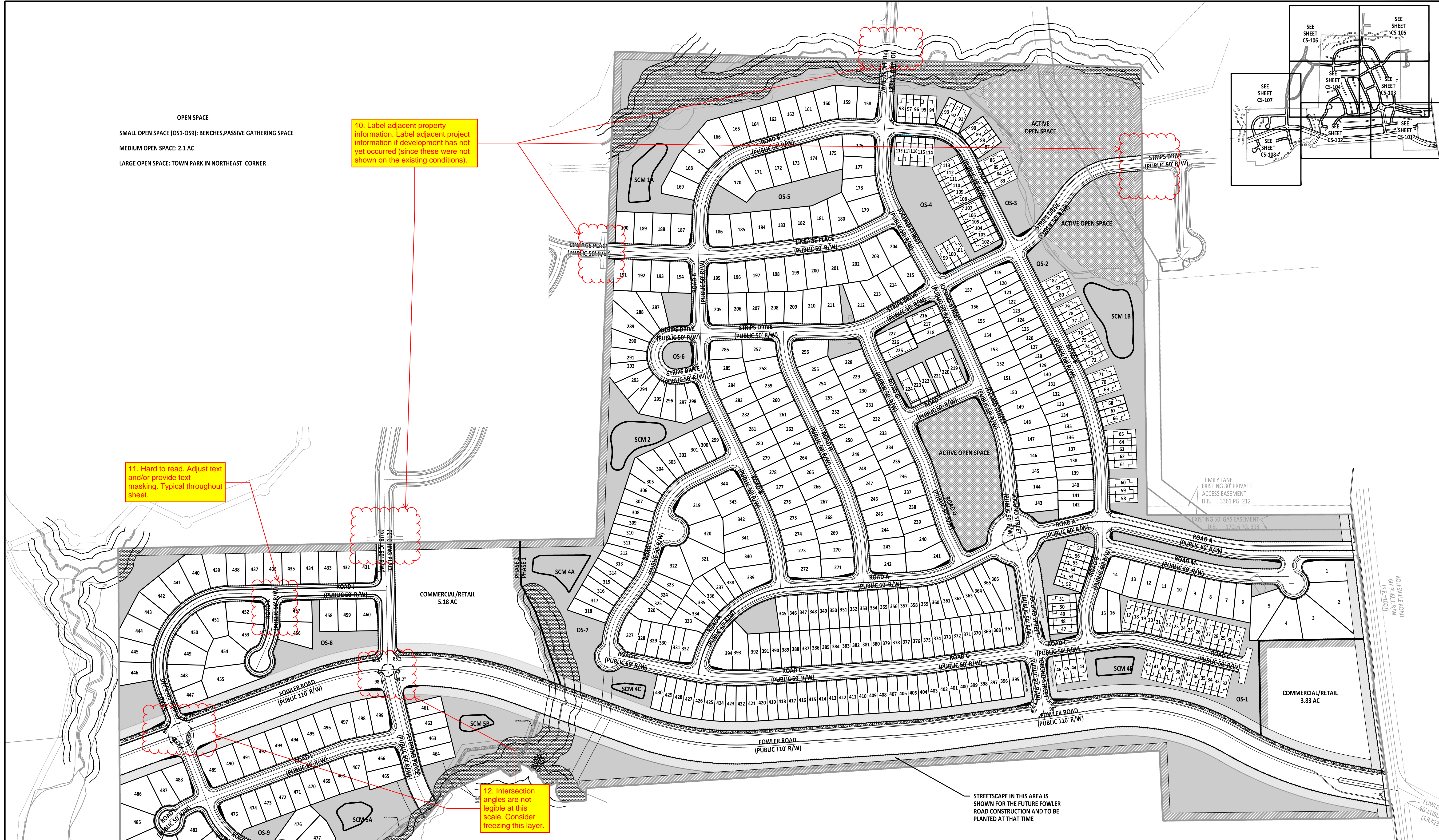
**STIPULATION FOR REUSE**  
 THIS DRAWING WAS PREPARED FOR USE ON THE SPECIFIC SITE, NAMED HEREIN, CONTEMPORANEOUSLY WITH ITS ISSUE DATE AS LISTED, HEREON, AND IT IS NOT SUITABLE FOR USE ON A DIFFERENT PROJECT SITE OR AT A LATER TIME. USE OF THIS DRAWING FOR REFERENCE OR EXAMPLE ON ANOTHER PROJECT REQUIRES THE SERVICES OF PROPERLY LICENSED ARCHITECTS AND ENGINEERS. REPRODUCTION OF THIS DRAWING FOR REUSE ON ANOTHER PROJECT IS NOT AUTHORIZED AND MAY BE CONTRARY TO THE LAW.

**MERRITT PROPERTY**  
**SITE OVERALL PLAN**  
**ROLESVILLE RD**  
**WAKE COUNTY NC 27312**

JOB NUMBER: 23-0004  
 CHECKED BY: EDS  
 DATE: APRIL 2024  
 SHEET TITLE:

**SITE OVERALL PLAN**

SHEET NO.: **CS-100**



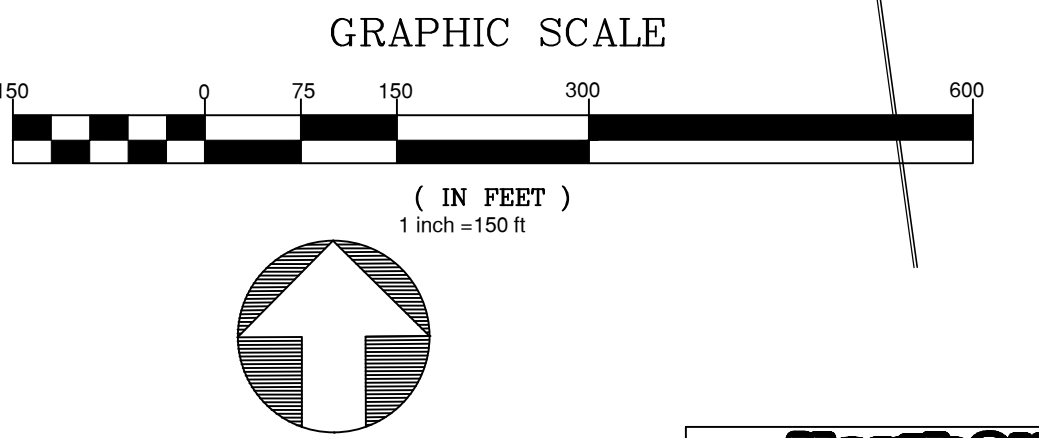
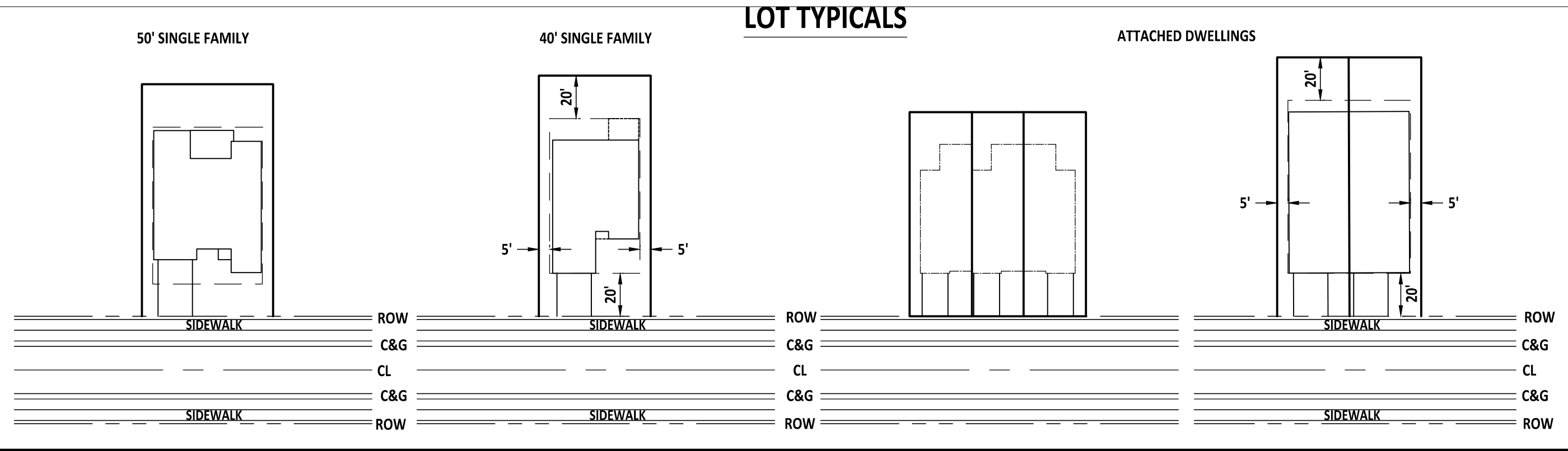
**OPEN SPACE**  
 SMALL OPEN SPACE (OS1-OS9): BENCHES, PASSIVE GATHERING SPACE  
 MEDIUM OPEN SPACE: 2.1 AC  
 LARGE OPEN SPACE: TOWN PARK IN NORTHEAST CORNER

10. Label adjacent property information. Label adjacent project information if development has not yet occurred (since these were not shown on the existing conditions).

11. Hard to read. Adjust text and/or provide text masking. Typical throughout sheet.

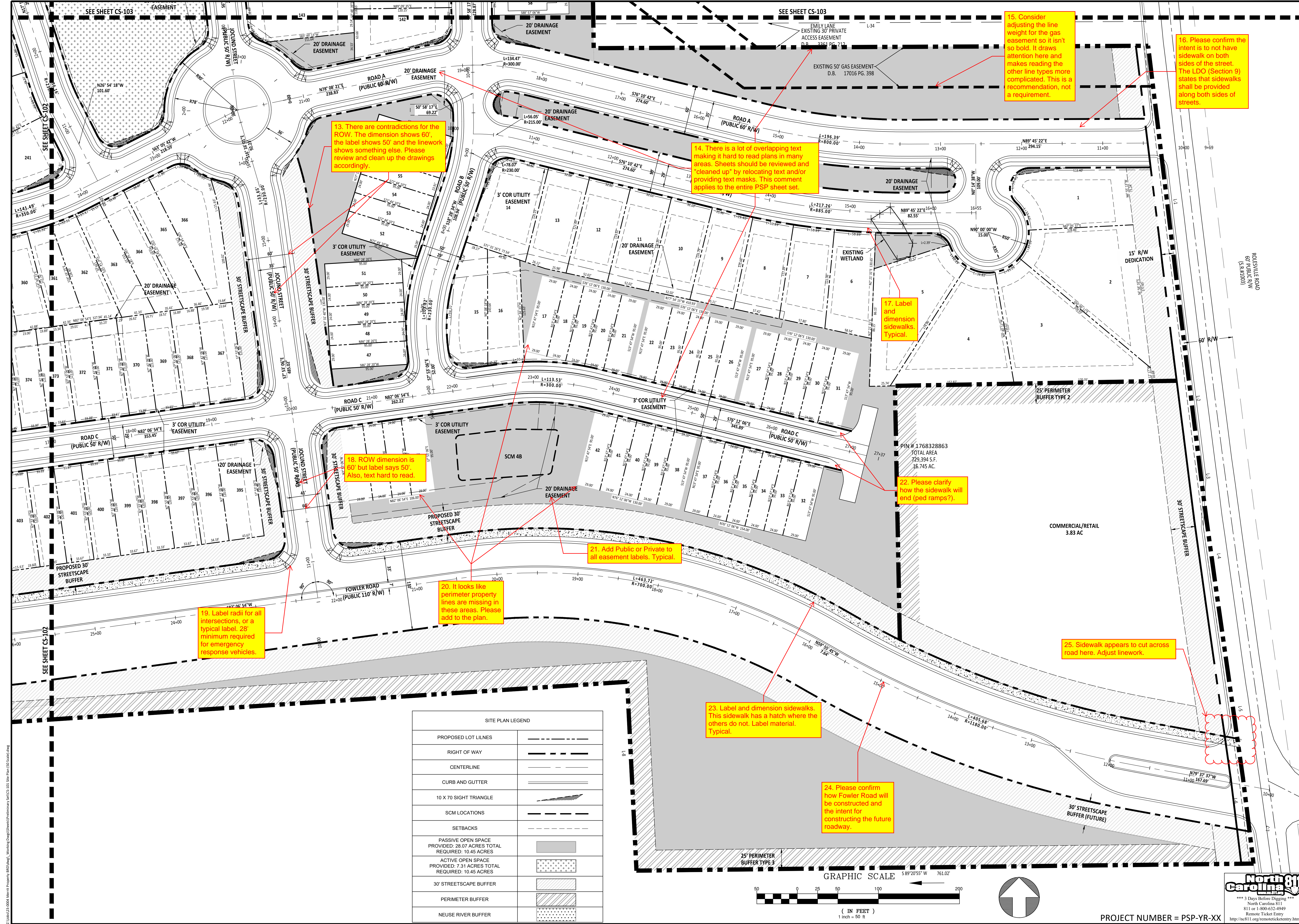
12. Intersection angles are not legible at this scale. Consider freezing this layer.

STREETSCAPE IN THIS AREA IS SHOWN FOR THE FUTURE FOWLER ROAD CONSTRUCTION AND TO BE PLANTED AT THAT TIME



PROJECT NUMBER = PSP-YR-XX

Z:\projects\2024\0004 Merritt Property\811\Drawings\Working\Drawings\Site\Overall\CS-100 Site Plan.dwg



13. There are contradictions for the ROW. The dimension shows 60', the label shows 50' and the linework shows something else. Please review and clean up the drawings accordingly.

14. There is a lot of overlapping text making it hard to read plans in many areas. Sheets should be reviewed and "cleaned up" by relocating text and/or providing text masks. This comment applies to the entire PSP sheet set.

15. Consider adjusting the line weight for the gas easement so it isn't so bold. It draws attention here and makes reading the other line types more complicated. This is a recommendation, not a requirement.

16. Please confirm the intent is to not have sidewalk on both sides of the street. The LDO (Section 9) states that sidewalks shall be provided along both sides of streets.

17. Label and dimension sidewalks. Typical.

18. ROW dimension is 60' but label says 50'. Also, text hard to read.

22. Please clarify how the sidewalk will end (ped ramps?).

21. Add Public or Private to all easement labels. Typical.

20. It looks like perimeter property lines are missing in these areas. Please add to the plan.

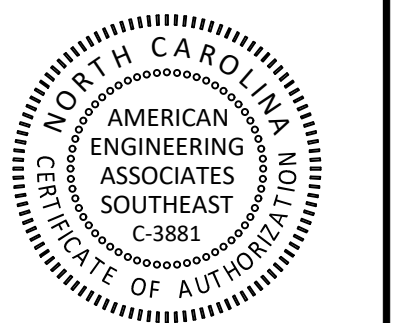
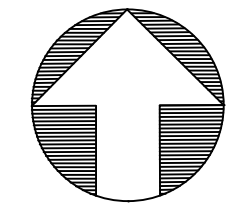
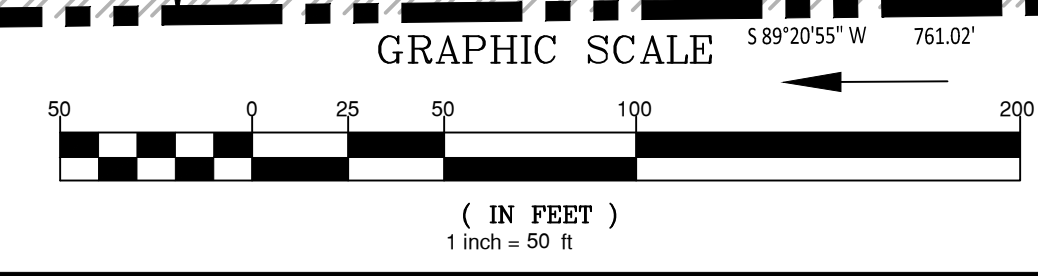
19. Label radii for all intersections, or a typical label. 28' minimum required for emergency response vehicles.

25. Sidewalk appears to cut across road here. Adjust linework.

23. Label and dimension sidewalks. This sidewalk has a hatch where the others do not. Label material. Typical.

24. Please confirm how Fowler Road will be constructed and the intent for constructing the future roadway.

SITE PLAN LEGEND	
PROPOSED LOT LINES	---
RIGHT OF WAY	---
CENTERLINE	---
CURB AND GUTTER	---
10 X 70 SIGHT TRIANGLE	---
SCM LOCATIONS	---
SETBACKS	---
PASSIVE OPEN SPACE PROVIDED: 28.07 ACRES TOTAL REQUIRED: 10.45 ACRES	---
ACTIVE OPEN SPACE PROVIDED: 7.31 ACRES TOTAL REQUIRED: 10.45 ACRES	---
30' STREETSCAPE BUFFER	---
PERIMETER BUFFER	---
NEUSE RIVER BUFFER	---



PRELIMINARY

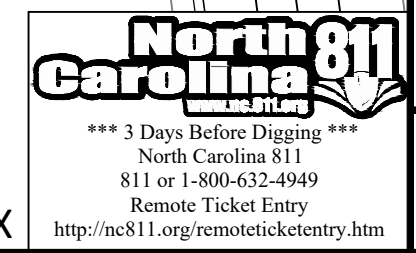
FOR INFORMATION, ONLY

NO.	DATE	REVISION

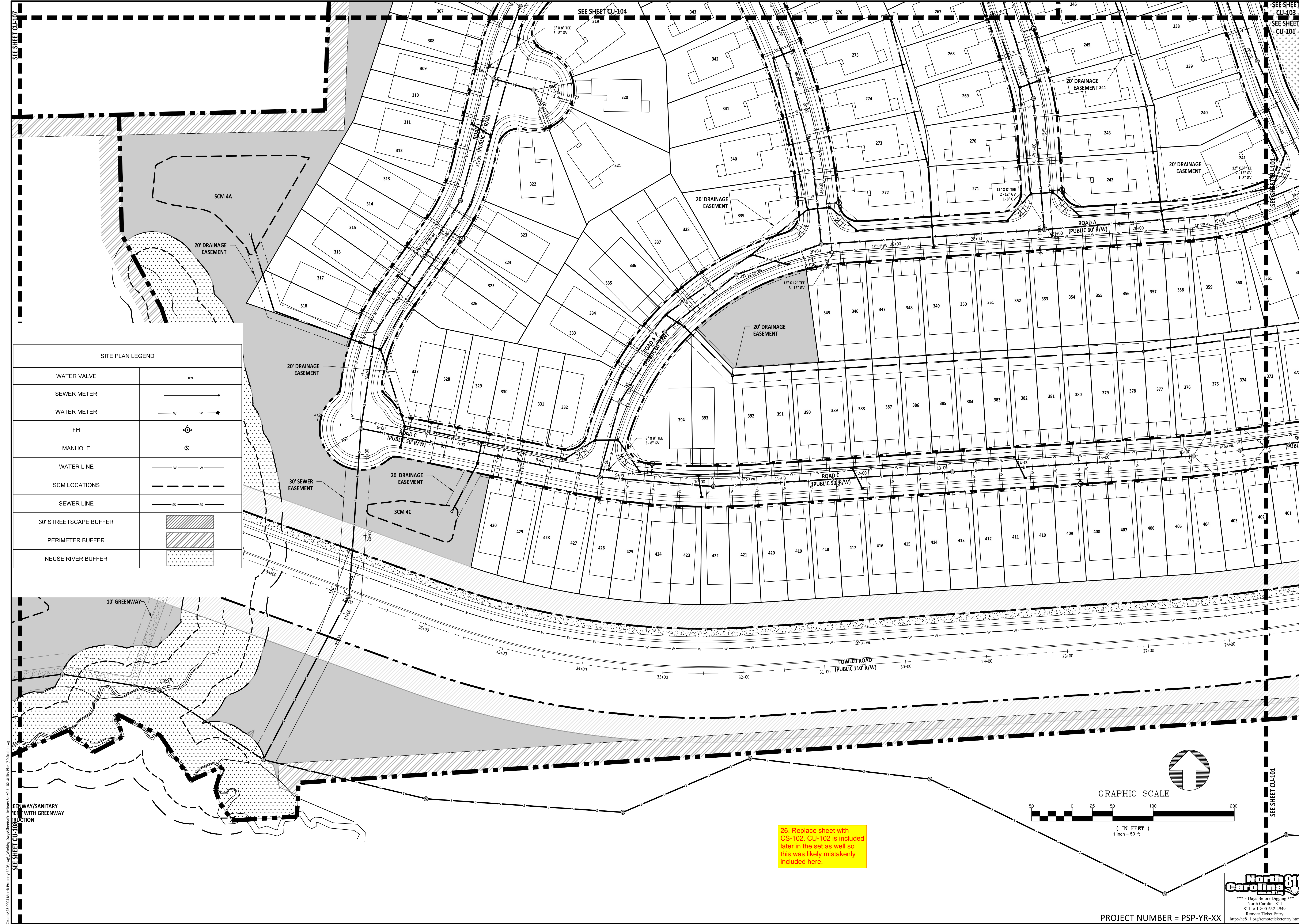
**STIPULATION FOR REUSE**  
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MERRITT PROPERTY  
**SITE PLAN (50 SCALE)**  
ROLESVILLE RD  
WAKE COUNTY NC 27312

JOB NUMBER: 23-0004  
CHECKED BY: EDS  
DRAWN BY: EDS  
DATE: APRIL 2024  
SHEET TITLE: **SITE PLAN (50 SCALE)**  
SHEET NO.: **CS-101**

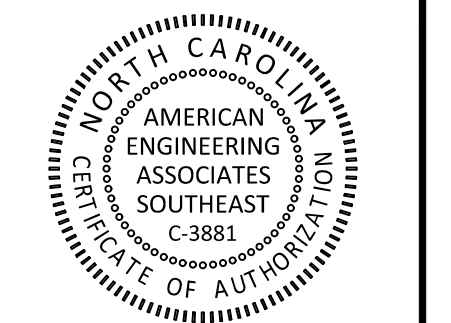


PROJECT NUMBER = PSP-YR-XX



SITE PLAN LEGEND

WATER VALVE	
SEWER METER	
WATER METER	
FH	
MANHOLE	
WATER LINE	
SCM LOCATIONS	
SEWER LINE	
30' STREETSCAPE BUFFER	
PERIMETER BUFFER	
NEUSE RIVER BUFFER	



PRELIMINARY

FOR INFORMATION, ONLY

NO.	DATE	REVISION

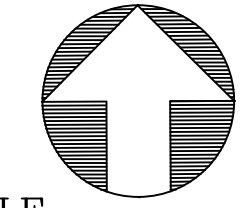
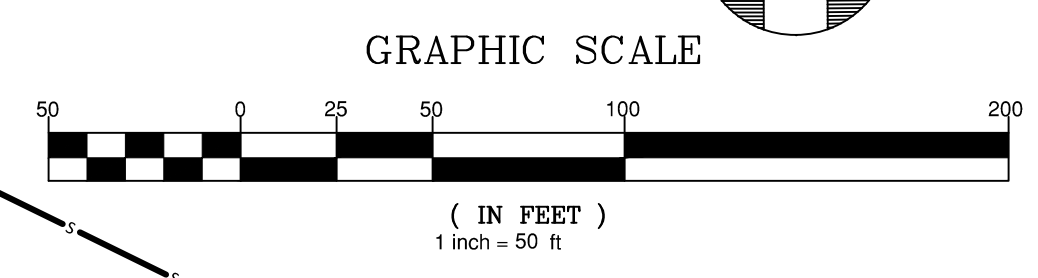
**STIPULATION FOR REUSE**  
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**MERRITT PROPERTY**  
**UTILITY PLAN**  
**(50 SCALE)**  
 ROLESVILLE RD  
 WAKE COUNTY NC 27312

JOB NUMBER: 23-0004  
 CHECKED BY:  
 DRAWN BY: EDS  
 DATE: APRIL 2024  
 SHEET TITLE:

**UTILITY PLAN**  
**(50 SCALE)**  
 SHEET NO.: **CU-102**

26. Replace sheet with CS-102. CU-102 is included later in the set as well so this was likely mistakenly included here.



PROJECT NUMBER = PSP-YR-XX

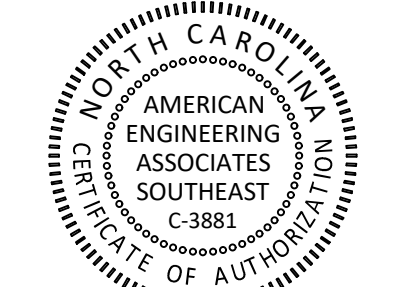
SEE SHEET CU-107

SEE SHEET CU-104

SEE SHEET CU-103  
SEE SHEET CU-101

SEE SHEET CU-101

GREENWAY/SANITARY  
 WITH GREENWAY  
 PROTECTION



PRELIMINARY

FOR INFORMATION, ONLY

NO.	DATE	REVISION:

STIPULATION FOR REUSE

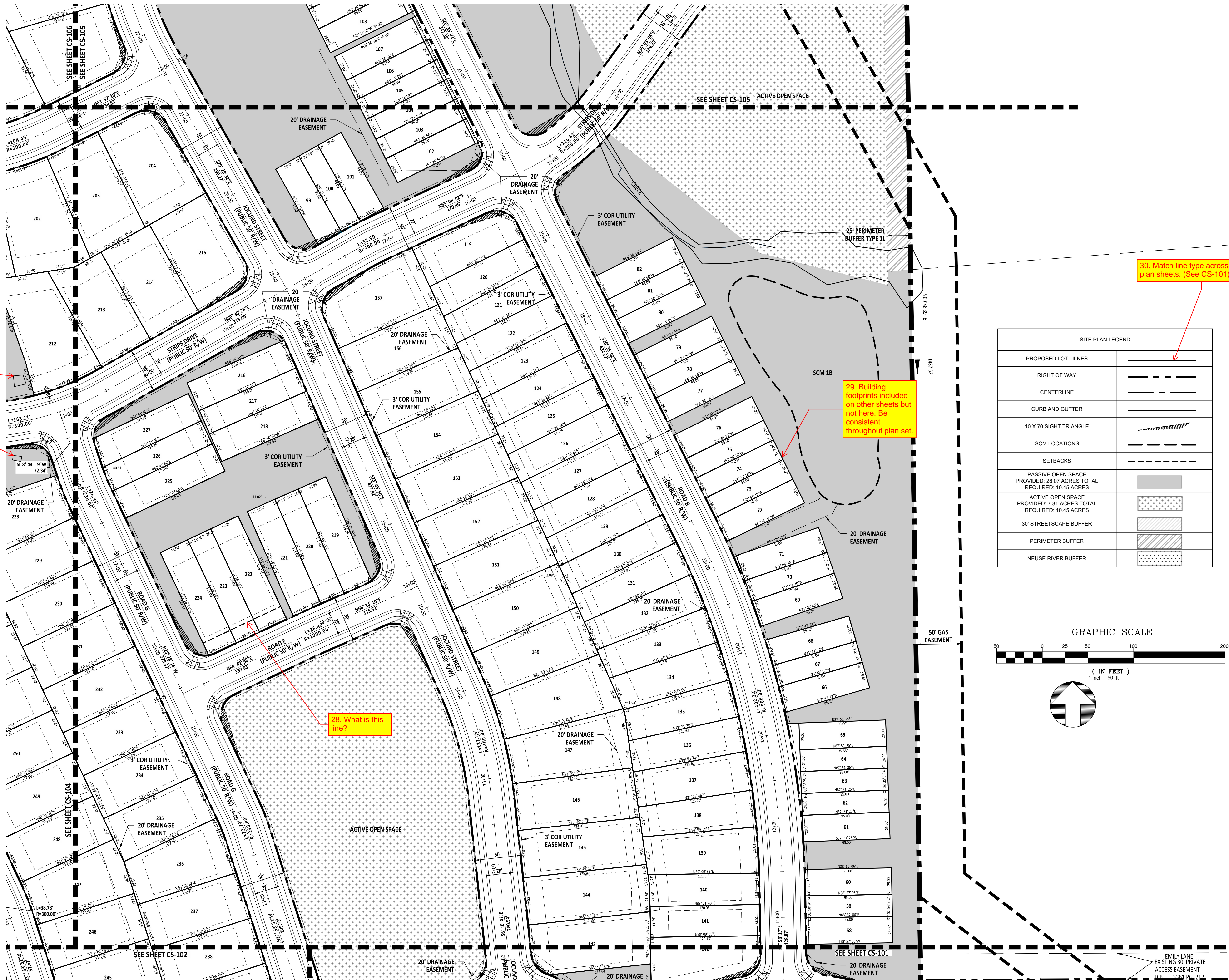
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**MERRITT PROPERTY**  
**SITE PLAN**  
**(50 SCALE)**  
 ROLESVILLE RD  
 WAKE COUNTY NC 27312

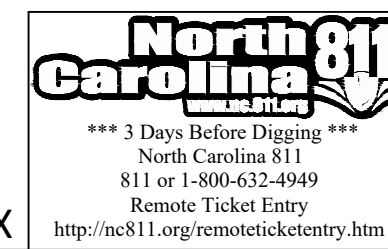
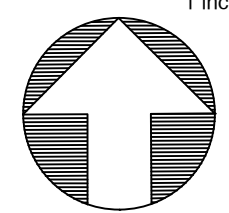
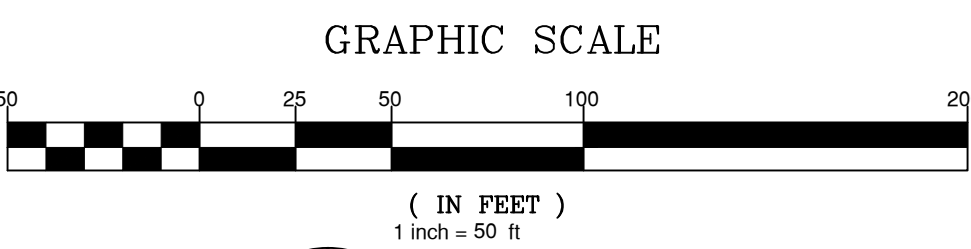
JOB NUMBER: 23-0004  
 CHECKED BY: EDS  
 DRAWN BY: EDS  
 DATE: APRIL 2024  
 SHEET TITLE:

**SITE PLAN (50 SCALE)**

SHEET NO.: **CS-103**



SITE PLAN LEGEND	
PROPOSED LOT LINES	
RIGHT OF WAY	
CENTERLINE	
CURB AND GUTTER	
10 X 70 SIGHT TRIANGLE	
SCM LOCATIONS	
SETBACKS	
PASSIVE OPEN SPACE PROVIDED: 28.07 ACRES TOTAL REQUIRED: 10.45 ACRES	
ACTIVE OPEN SPACE PROVIDED: 7.31 ACRES TOTAL REQUIRED: 10.45 ACRES	
30' STREETSCAPE BUFFER	
PERIMETER BUFFER	
NEUSE RIVER BUFFER	



PROJECT NUMBER = PSP-YR-XX

EMILY LANE  
 EXISTING 30' PRIVATE  
 ACCESS EASEMENT  
 D.L.B. 3362 PG. 21.1

Z:\Projects\2024\0008 Merritt Property (807)dwg\Working Drawings\Site\Site Plan (50 Scale).dwg





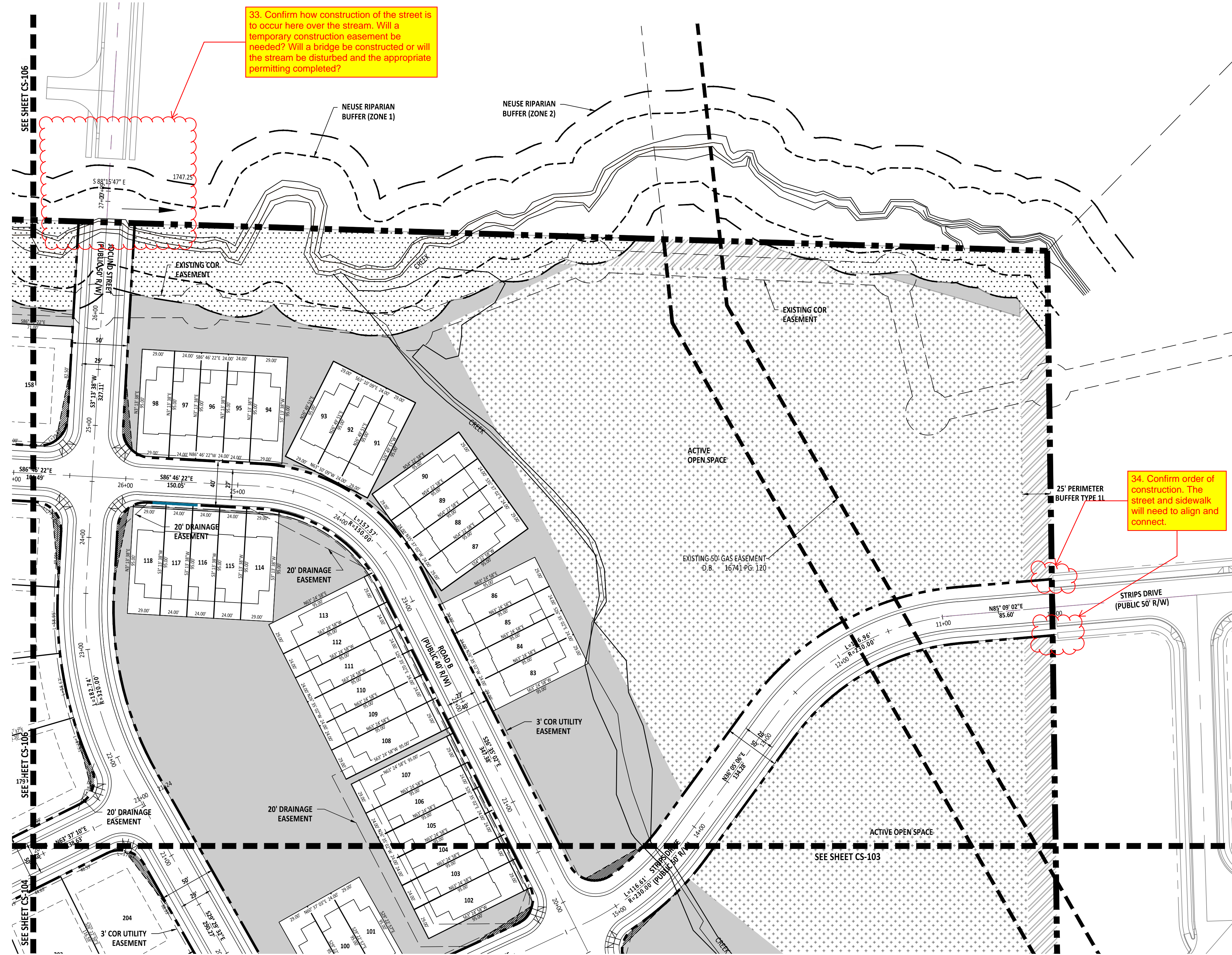
NO.	DATE	REVISION

**STIPULATION FOR REUSE**  
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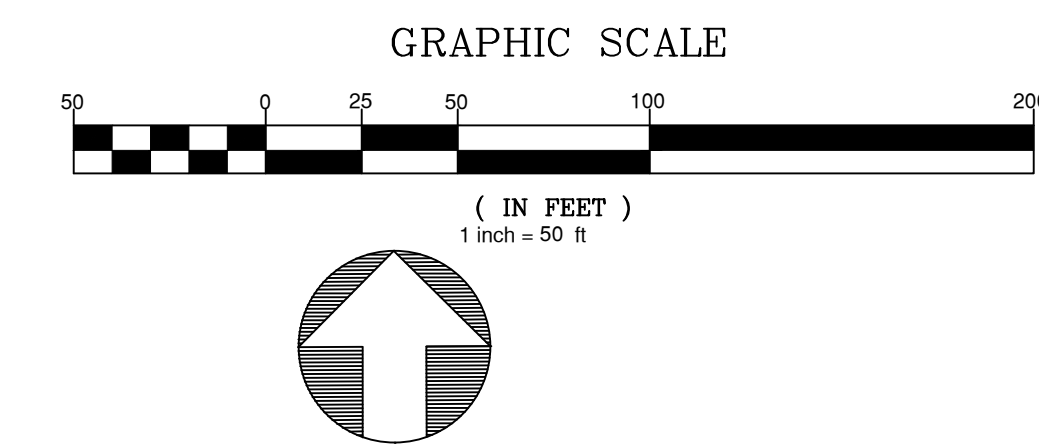
**MERRITT PROPERTY**  
**SITE PLAN**  
**(50 SCALE)**  
ROLESVILLE RD  
WAKE COUNTY NC 27312

JOB NUMBER: 23-0004  
CHECKED BY:  
DRAWN BY: EDS  
DATE: APRIL 2024

SHEET TITLE:  
**SITE PLAN (50 SCALE)**  
SHEET NO.: **CS-105**



SITE PLAN LEGEND	
PROPOSED LOT LINES	
RIGHT OF WAY	
CENTERLINE	
CURB AND GUTTER	
10 X 70 SIGHT TRIANGLE	
SCM LOCATIONS	
SETBACKS	
PASSIVE OPEN SPACE PROVIDED: 28.07 ACRES TOTAL REQUIRED: 10.45 ACRES	
ACTIVE OPEN SPACE PROVIDED: 7.31 ACRES TOTAL REQUIRED: 10.45 ACRES	
30' STREETSCAPE BUFFER	
PERIMETER BUFFER	
NEUSE RIVER BUFFER	



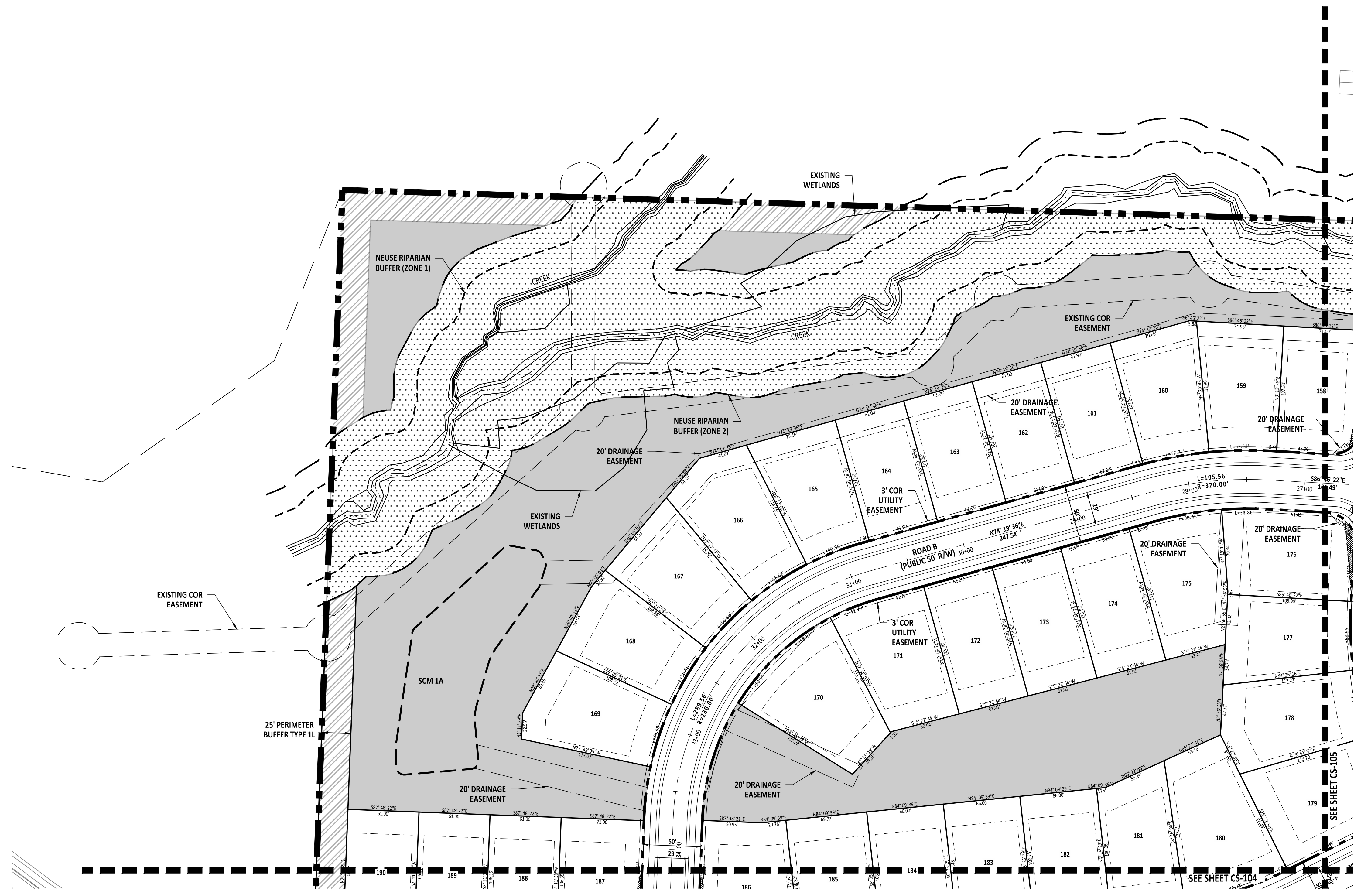
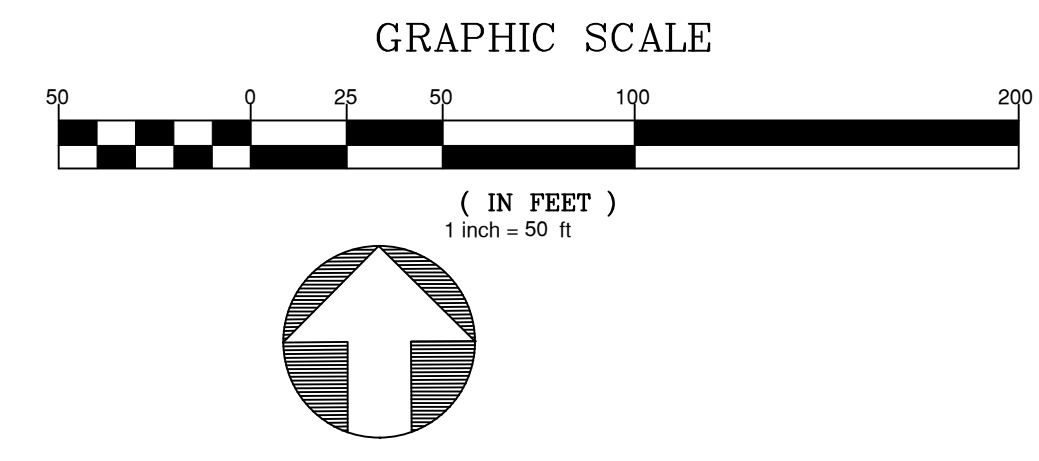
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PRELIMINARY

FOR INFORMATION, ONLY

SITE PLAN LEGEND	
PROPOSED LOT LINES	
RIGHT OF WAY	
CENTERLINE	
CURB AND GUTTER	
10 X 70 SIGHT TRIANGLE	
SCM LOCATIONS	
SETBACKS	
PASSIVE OPEN SPACE PROVIDED: 28.07 ACRES TOTAL REQUIRED: 10.45 ACRES	
ACTIVE OPEN SPACE PROVIDED: 7.31 ACRES TOTAL REQUIRED: 10.45 ACRES	
30' STREETSCAPE BUFFER	
PERIMETER BUFFER	
NEUSE RIVER BUFFER	



NO.	DATE	REVISION

**STIPULATION FOR REUSE**  
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**MERRITT PROPERTY**  
**SITE PLAN**  
**(50 SCALE)**  
ROLESVILLE RD  
WAKE COUNTY NC 27312

JOB NUMBER: 23-0004  
CHECKED BY:  
DRAWN BY: EDS  
DATE: APRIL 2024  
SHEET TITLE:

**SITE PLAN (50 SCALE)**

SHEET NO.: **CS-106**



PROJECT NUMBER = PSP-YR-XX

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NO.	DATE	REVISION

**STIPULATION FOR REUSE**

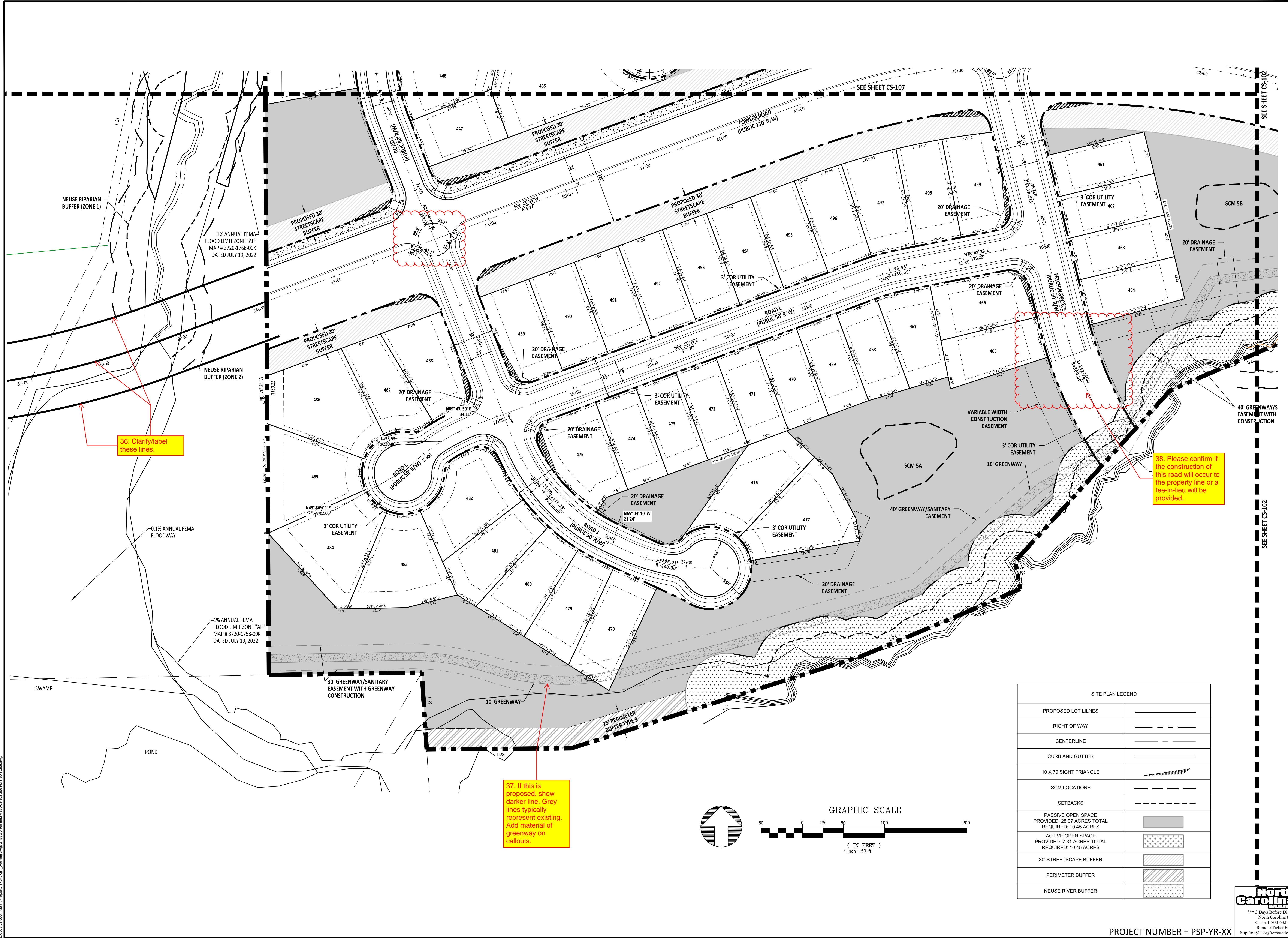
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**MERRITT PROPERTY**  
**SITE PLAN (50 SCALE)**  
ROLESVILLE RD  
WAKE COUNTY NC 27312

JOB NUMBER: 23-0004  
CHECKED BY: EDS  
DRAWN BY: EDS  
DATE: APRIL 2024  
SHEET TITLE:

**SITE PLAN (50 SCALE)**

SHEET NO.: **CS-108**

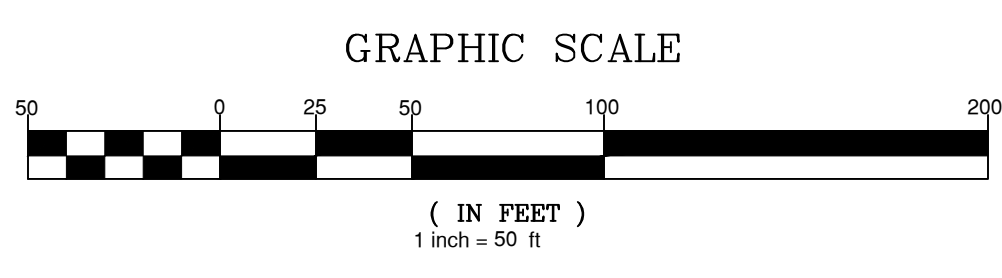


36. Clarify/label these lines.

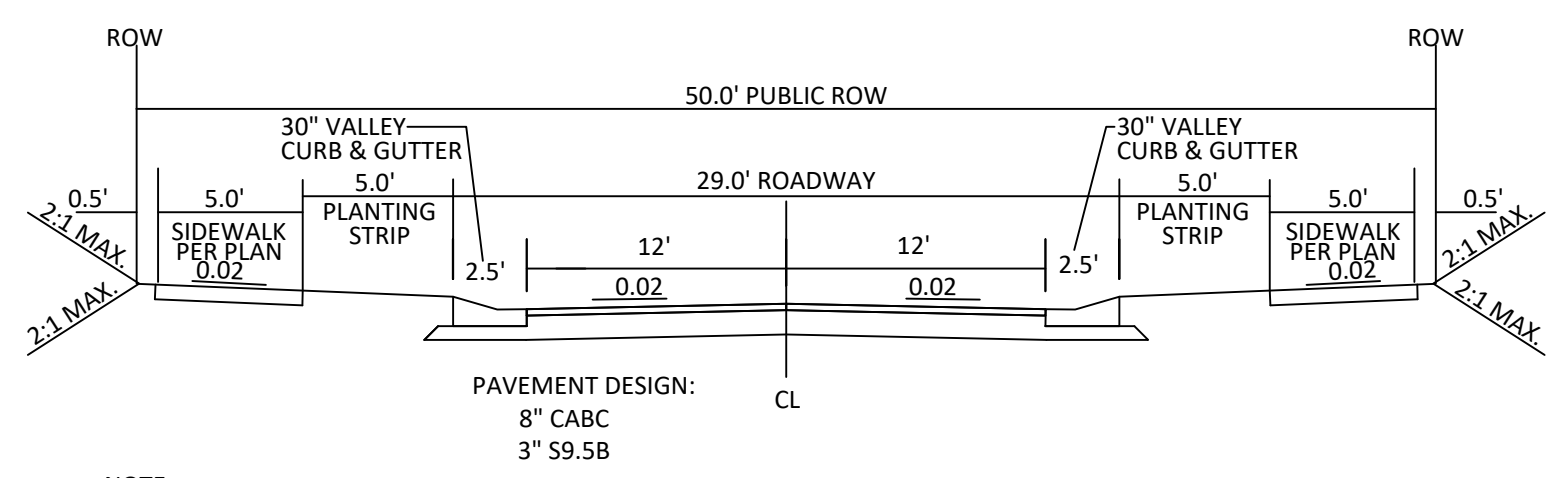
37. If this is proposed, show darker line. Grey lines typically represent existing. Add material of greenway on callouts.

38. Please confirm if the construction of this road will occur to the property line or a fee-in-lieu will be provided.

SITE PLAN LEGEND	
PROPOSED LOT LINES	— — — — —
RIGHT OF WAY	— — — — —
CENTERLINE	— — — — —
CURB AND GUTTER	— — — — —
10 X 70 SIGHT TRIANGLE	▨
SCM LOCATIONS	— — — — —
SETBACKS	— — — — —
PASSIVE OPEN SPACE PROVIDED: 28.07 ACRES TOTAL REQUIRED: 10.45 ACRES	▨
ACTIVE OPEN SPACE PROVIDED: 7.31 ACRES TOTAL REQUIRED: 10.45 ACRES	▨
30' STREETScape BUFFER	▨
PERIMETER BUFFER	▨
NEUSE RIVER BUFFER	▨

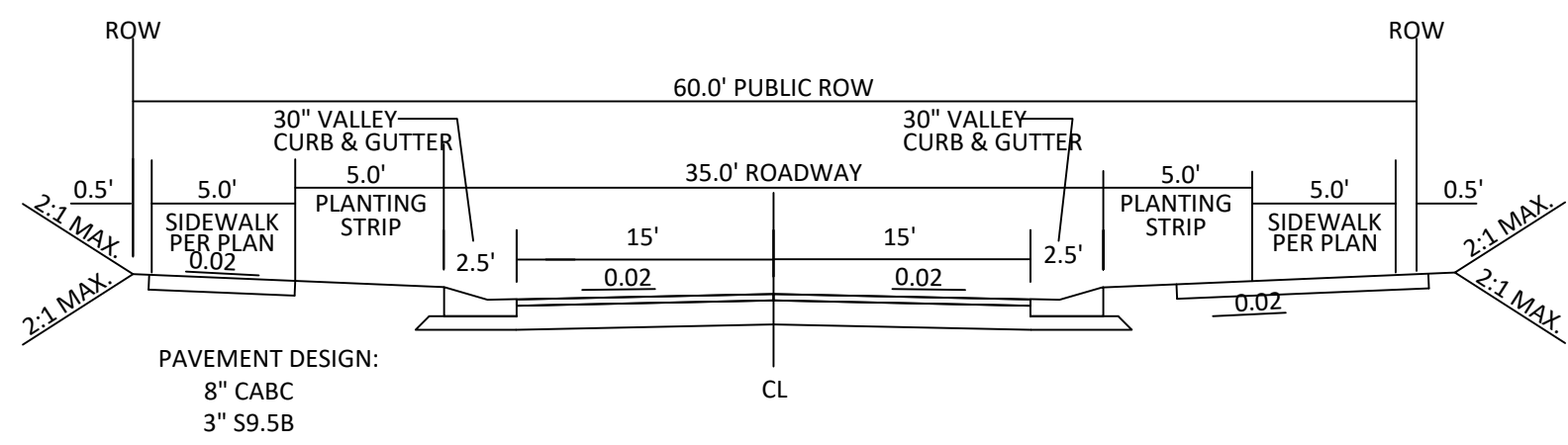


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- NOTE:
1. NORMAL CROWN OF 0.02 UNLESS OTHERWISE DIRECTED BY TOWN ENGINEER.
  2. ASPHALT WILL BE INSTALLED AT A MIN. 1.5" LIFTS.

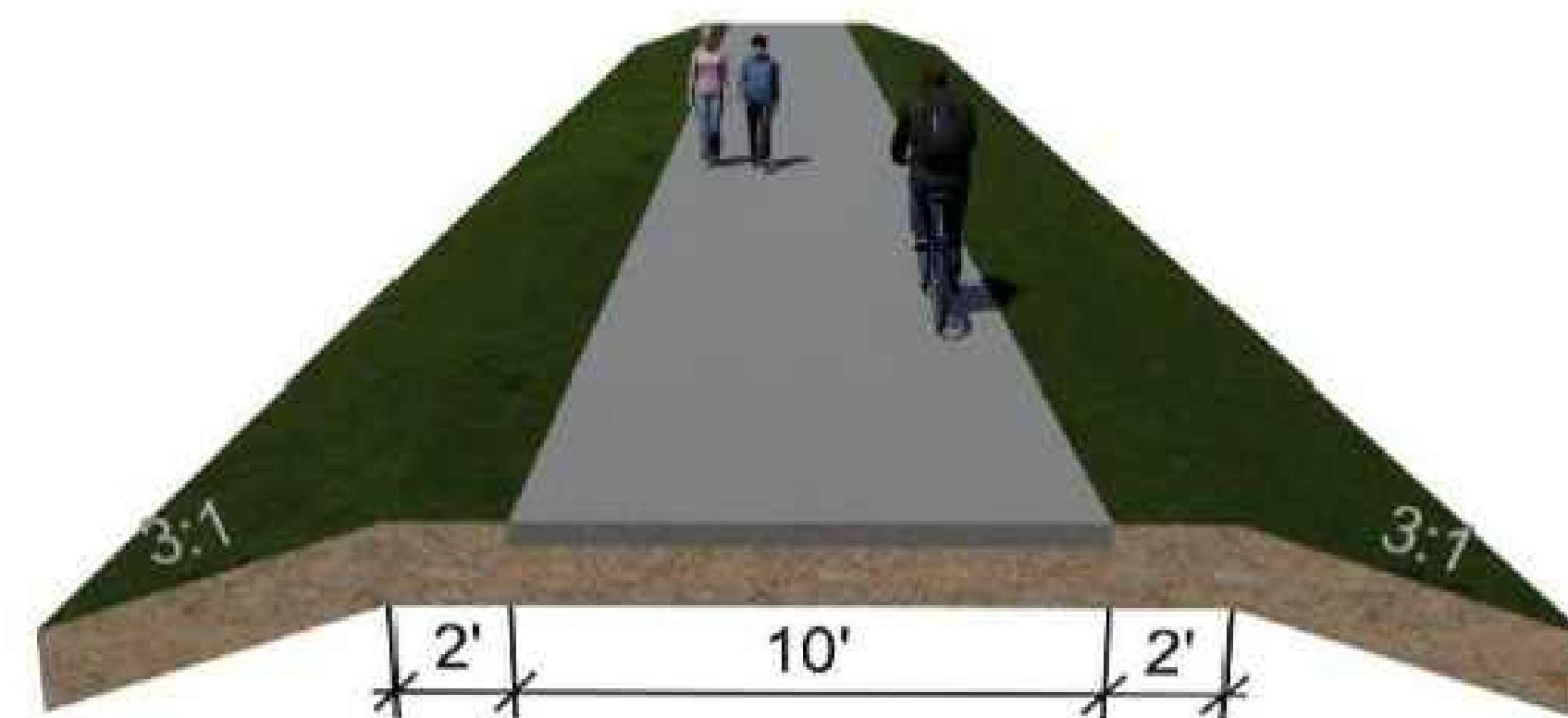
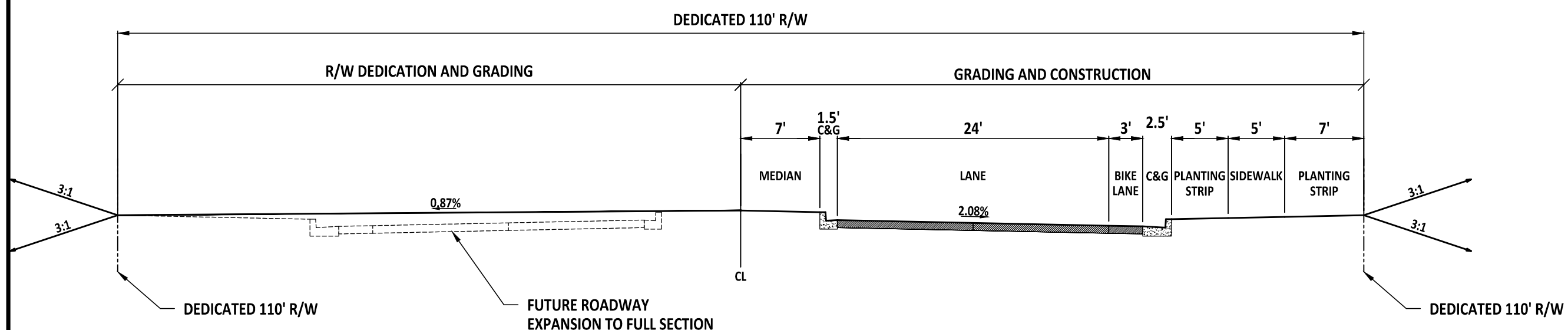
29' B-B ON A 50' R/W  
TYPICAL SECTION



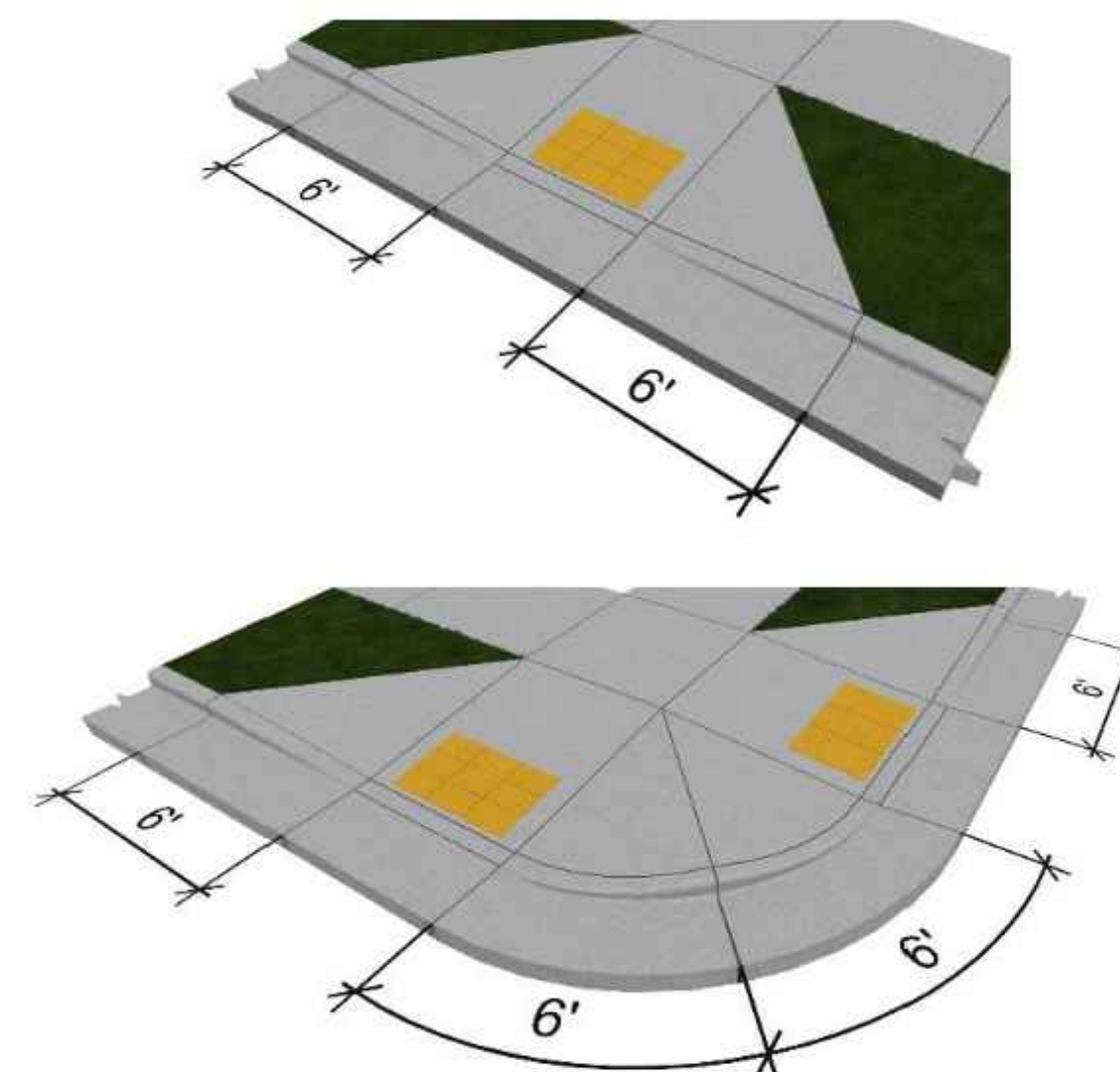
- NOTE:
1. NORMAL CROWN OF 0.02 UNLESS OTHERWISE DIRECTED BY TOWN ENGINEER.
  2. ASPHALT WILL BE INSTALLED AT A MIN. 1.5" LIFTS.

35' B-B ON A 60' R/W  
TYPICAL SECTION

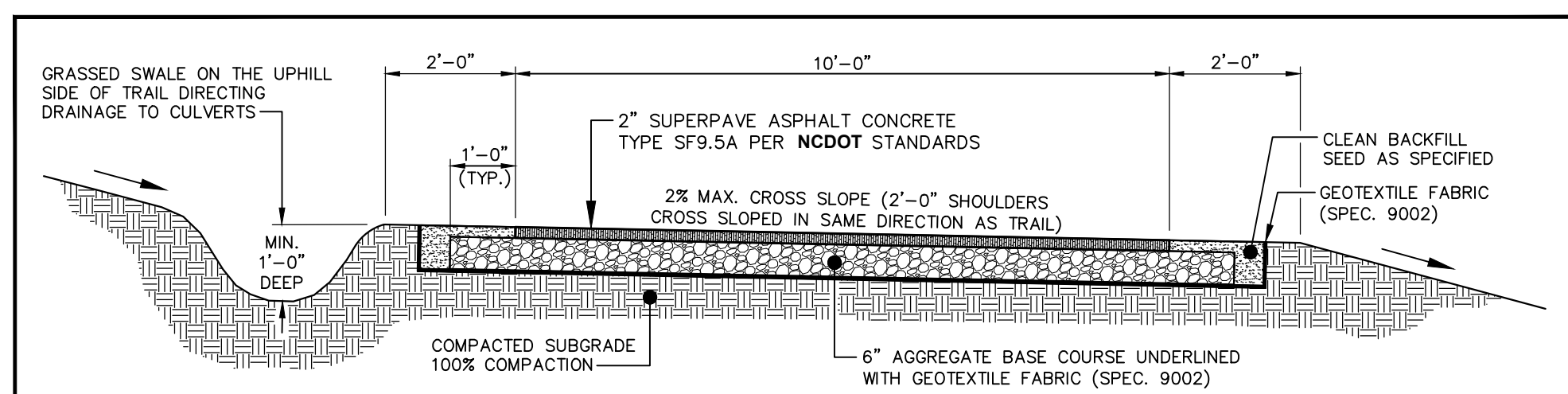
**FOWLER ROAD 31' B-B ON A 110' R/W**  
FULL SECTION GRADING, HALF SECTION CONSTRUCTION  
NOT TO SCALE



TYPICAL GREENWAY TRAIL DETAIL  
NTS



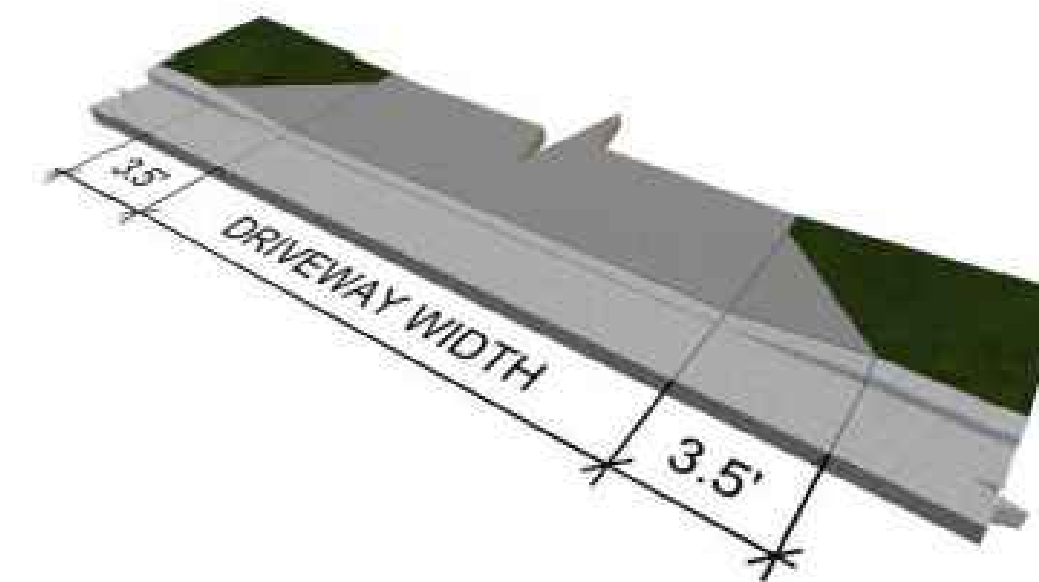
HANDICAP RAMP DETAIL  
NTS



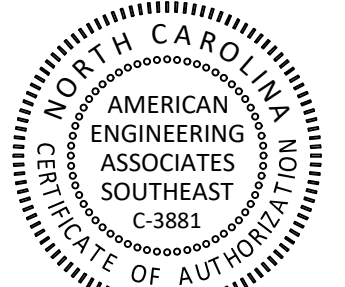
- NOTES:
1. CONTRACTOR IS RESPONSIBLE FOR RE-ESTABLISHING ALL SLOPES DISTURBED BY CONSTRUCTION.
  2. NO ABOVE GROUND UTILITIES OR UTILITY SURFACE COVERS/PLATES/MANHOLES SHALL BE LOCATED WITHIN TRAIL AND SHALL BE MINIMUM 2 FEET FROM THE EDGE OF TRAIL. RAISED MANHOLES SHALL BE MINIMUM 4 FEET FROM TRAIL EDGE.
  3. ALL TRAILS SHALL BE LOCATED MINIMUM 5 FEET FROM THE BACK OF CURB.
  4. SIDE SLOPES SHALL NOT EXCEED 3:1. CUT & FILL SLOPES SHALL TIE INTO EXISTING SLOPES TO CREATE AN EVEN TRANSITION.
  5. CROSS SLOPE TYPICALLY TO LOW SIDE BUT CROSS SLOPE TO INSIDE OF DOWNHILL CURVES, WITH GRADUAL TRANSITIONS BETWEEN ANY CROSS SLOPE DIRECTION CHANGES.

STANDARD 10-FT/STREET-SIDE TRAIL ASPHALT GREENWAY TRAIL

Driveway cuts will be required on residential collector streets. The curb transition shall occur throughout the concrete wing, over 3.5 feet.



If driveway spacing results in less than 8 feet of standard curb between driveways, an exception to use 30-inch valley curb may be granted by the Town Engineer on a case-by-case basis.



PRELIMINARY

FOR INFORMATION, ONLY

NO.	DATE	REVISION:

STIPULATION FOR REUSE

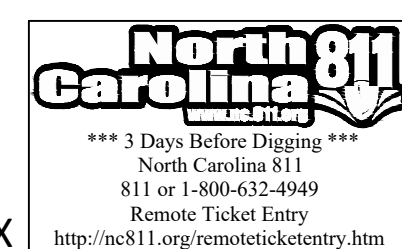
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MERRITT PROPERTY  
SITE PROJECT  
DETAILS  
ROLESVILLE RD  
WAKE COUNTY NC 27312

JOB NUMBER:	23-0004
CHECKED BY:	EDS
DATE:	APRIL 2024

SITE PROJECT  
DETAILS

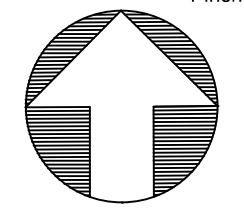
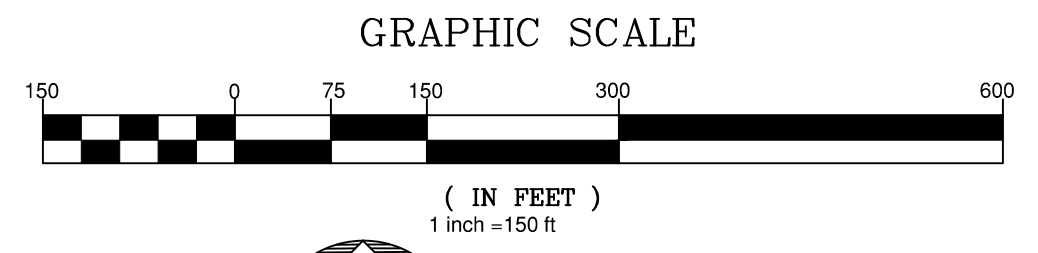
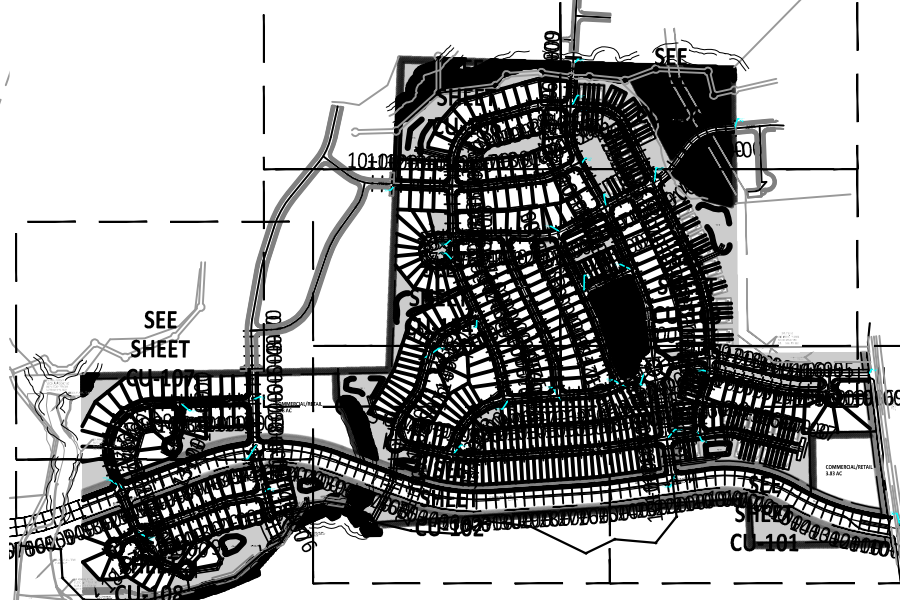
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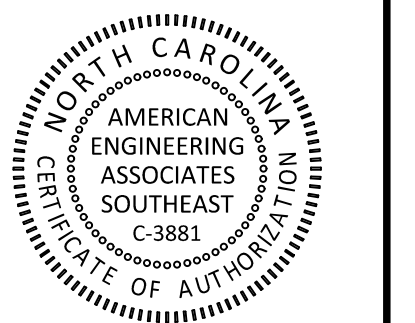
PROJECT NUMBER = PSP-YR-XX



39: Sheet key is very difficult to read.



PROJECT NUMBER = PSP-YR-XX



PRELIMINARY

FOR INFORMATION, ONLY

NO.	DATE	REVISION
1	7/25/24	MINOR SITE LAYOUT CHANGES

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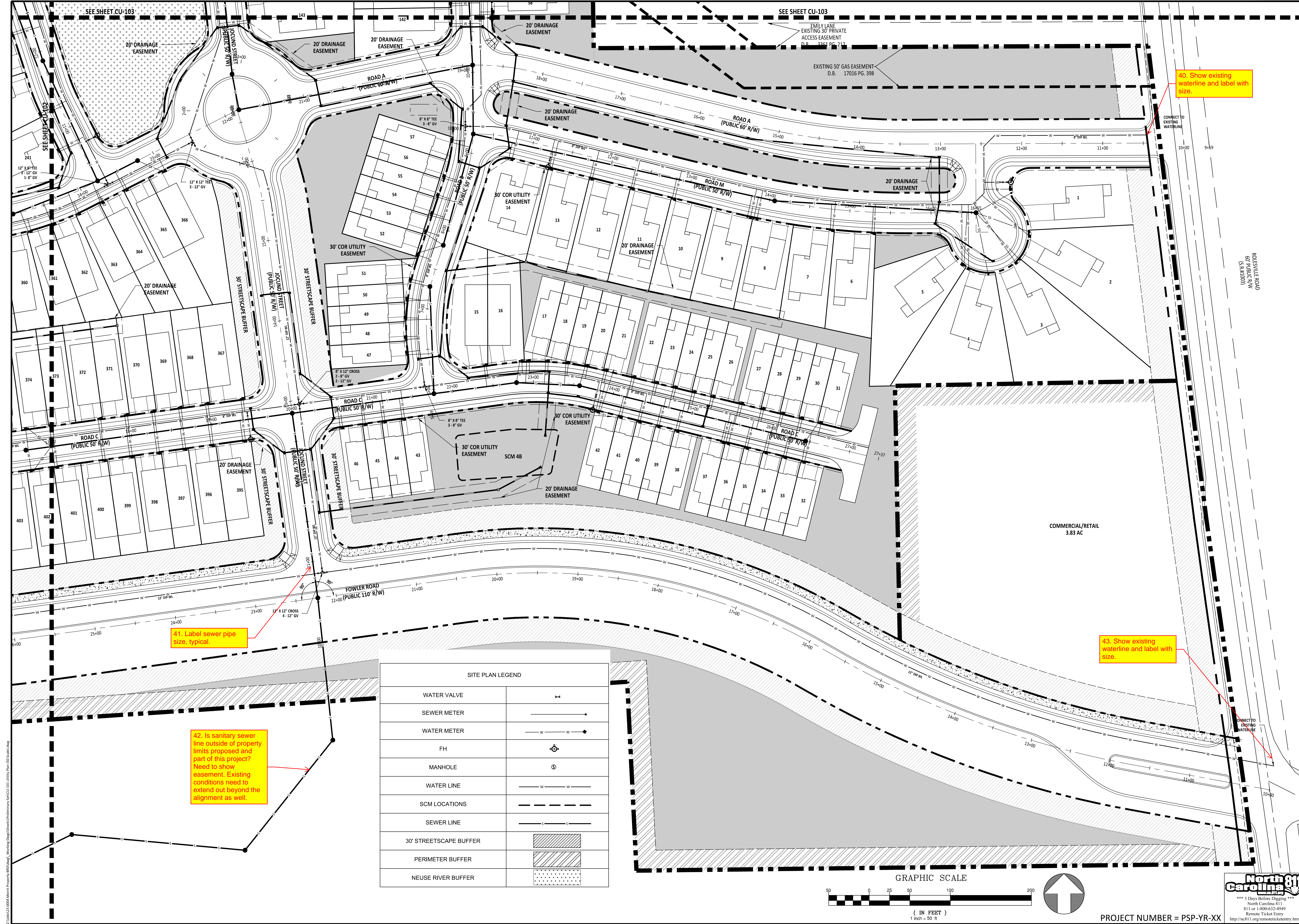
**MERRITT PROPERTY**  
**UTILITY OVERALL PLAN**  
 ROLESVILLE RD  
 WAKE COUNTY NC 27312

JOB NUMBER: 23-0004  
 CHECKED BY:  
 DRAWN BY: EDS  
 DATE: APRIL 2024

SHEET TITLE:  
**UTILITY OVERALL PLAN**

SHEET NO.:  
**CU-100**

2:\Projects\2024\Merritt Property\8807.dwg, Working Draw\Sheet\Utility\Overall\Utility Plan.dwg



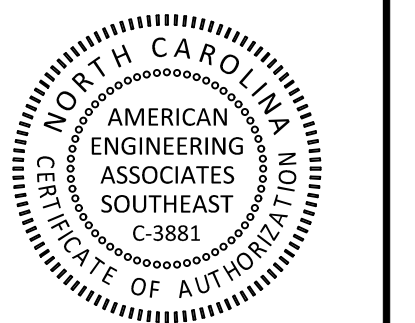
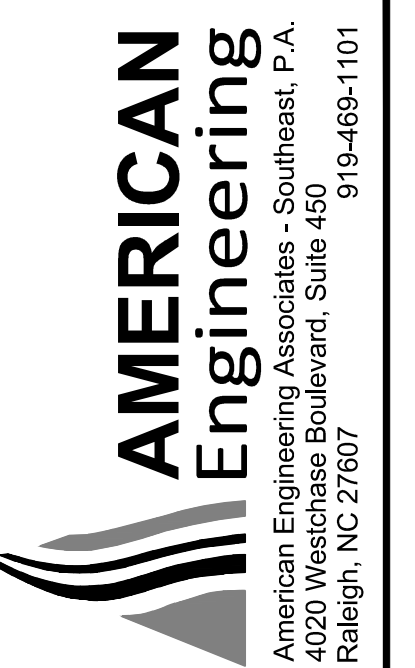
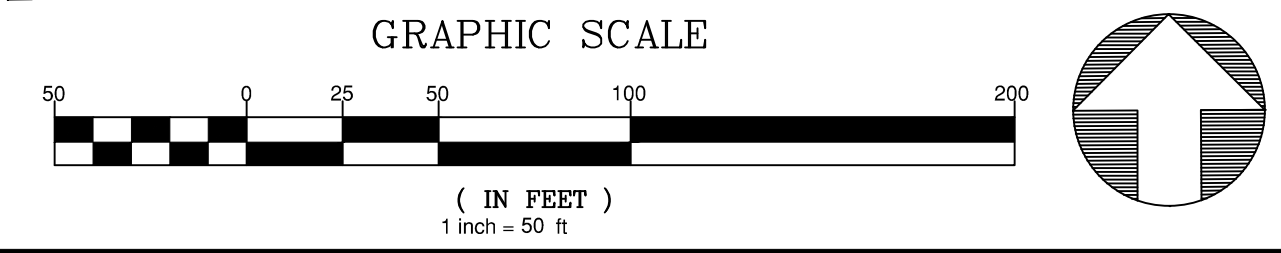
40. Show existing waterline and label with size.

41. Label sewer pipe size, typical.

42. Is sanitary sewer line outside of property limits proposed and part of this project? Need to show easement. Existing conditions need to extend out beyond the alignment as well.

43. Show existing waterline and label with size.

SITE PLAN LEGEND	
WATER VALVE	
SEWER METER	
WATER METER	
FH	
MANHOLE	
WATER LINE	
SCM LOCATIONS	
SEWER LINE	
30' STREETSCAPE BUFFER	
PERIMETER BUFFER	
NEUSE RIVER BUFFER	



PRELIMINARY

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NO.	DATE	REVISION:

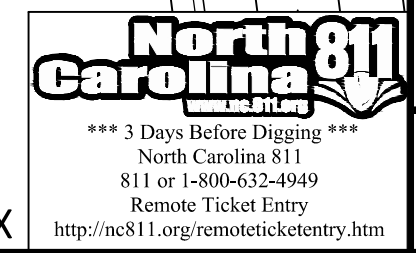
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**MERRITT PROPERTY  
 UTILITY PLAN  
 (50 SCALE)**  
 ROLESVILLE RD  
 WAKE COUNTY NC 27312

JOB NUMBER: 23-0004  
 CHECKED BY:  
 DRAWN BY: EDS  
 DATE: APRIL 2024

**UTILITY PLAN  
 (50 SCALE)**

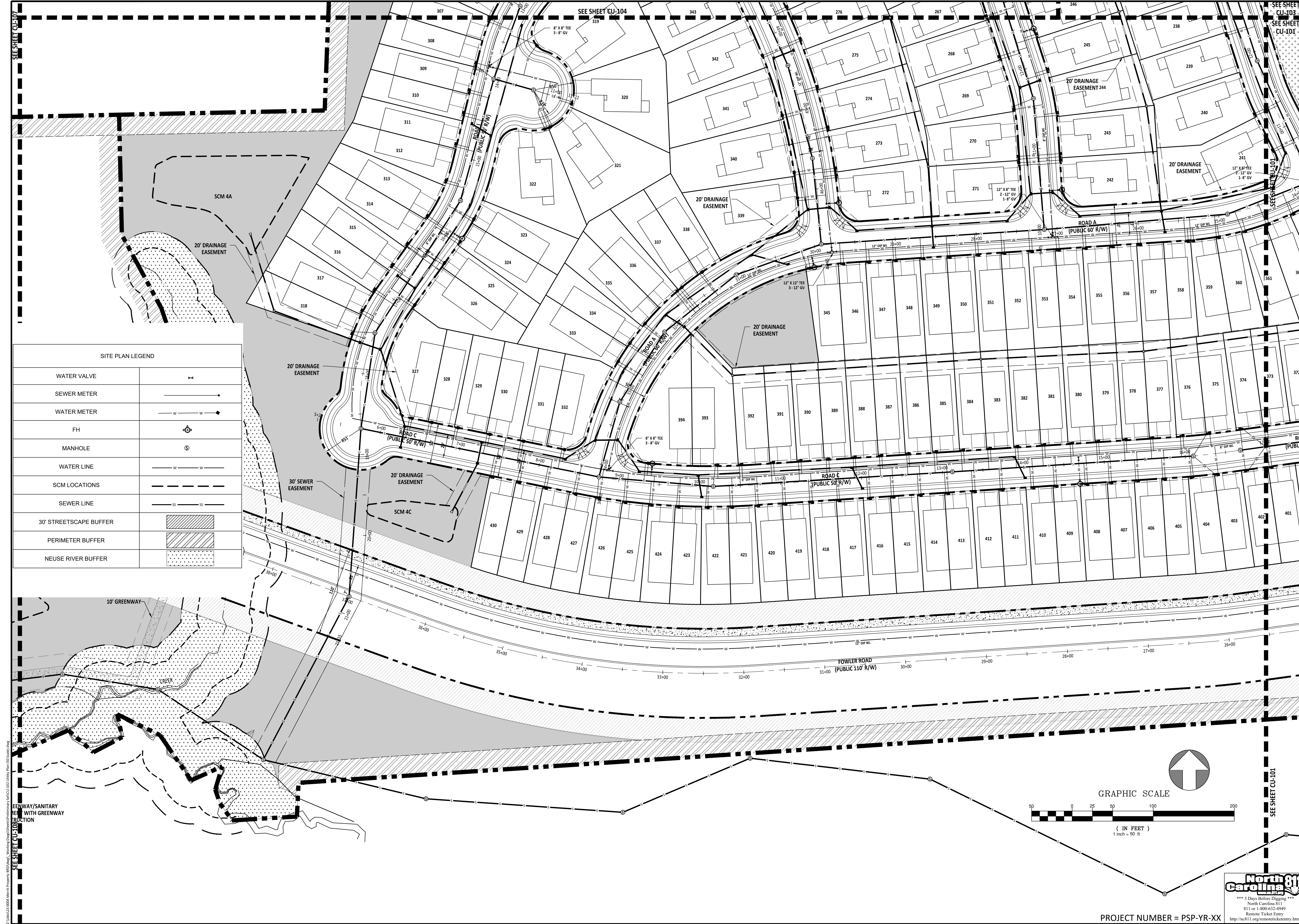
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PROJECT NUMBER = PSP-YR-XX

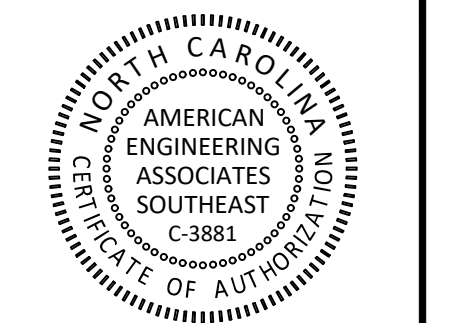
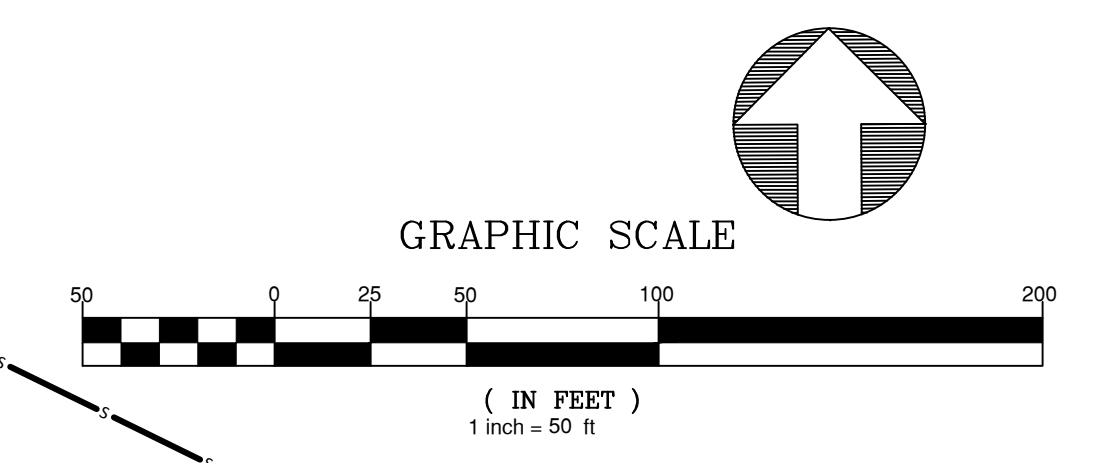
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**SITE PLAN LEGEND**

WATER VALVE	
SEWER METER	
WATER METER	
FH	
MANHOLE	
WATER LINE	
SCM LOCATIONS	
SEWER LINE	
30' STREETSCAPE BUFFER	
PERIMETER BUFFER	
NEUSE RIVER BUFFER	



**PRELIMINARY**

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**MERRITT PROPERTY**  
**UTILITY PLAN**  
**(50 SCALE)**  
ROLESVILLE RD  
WAKE COUNTY NC 27312

JOB NUMBER: 23-0004  
CHECKED BY: EDS  
DRAWN BY: EDS  
DATE: APRIL 2024

SHEET TITLE:  
**UTILITY PLAN**  
**(50 SCALE)**

SHEET NO.:  
**CU-102**

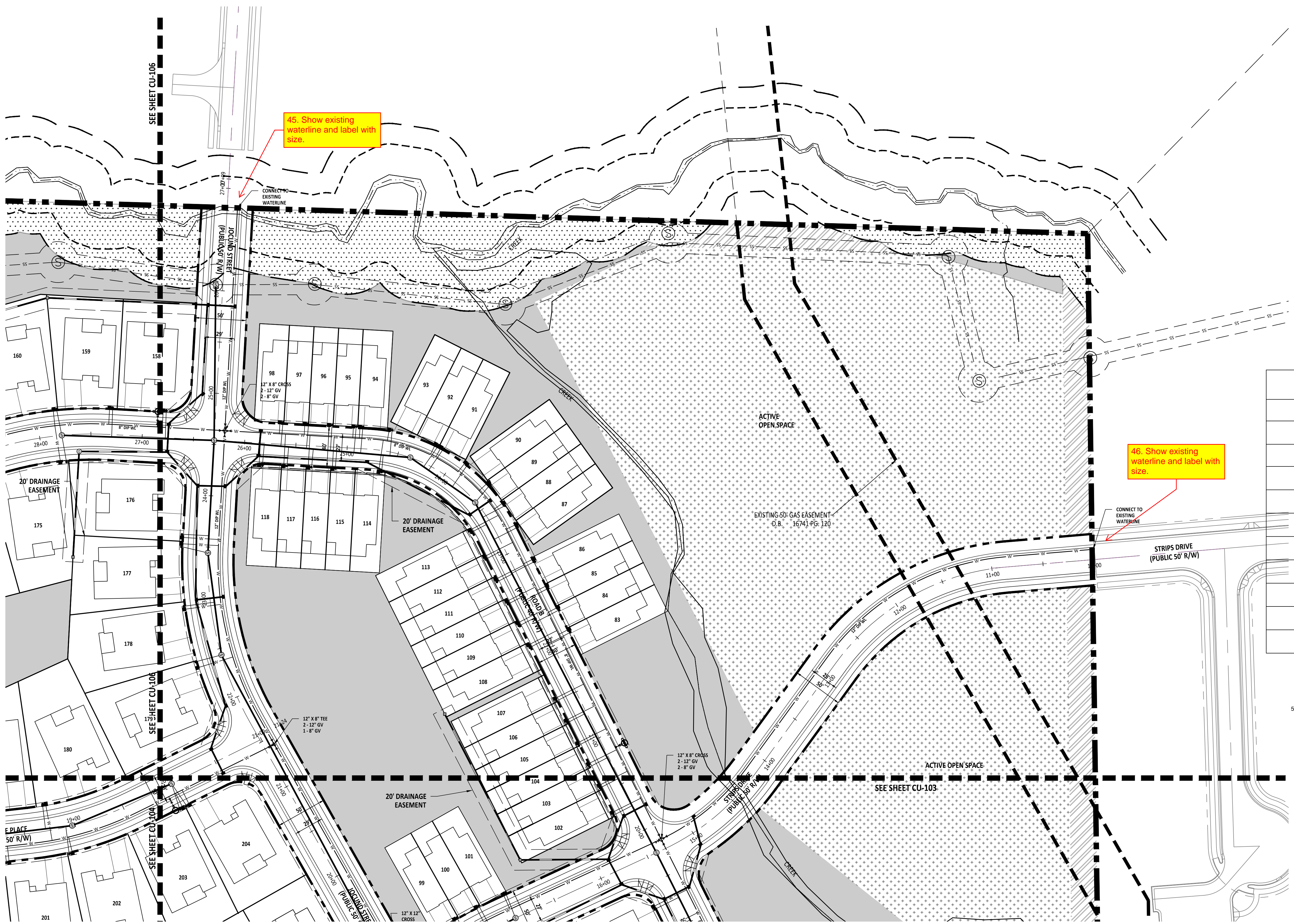


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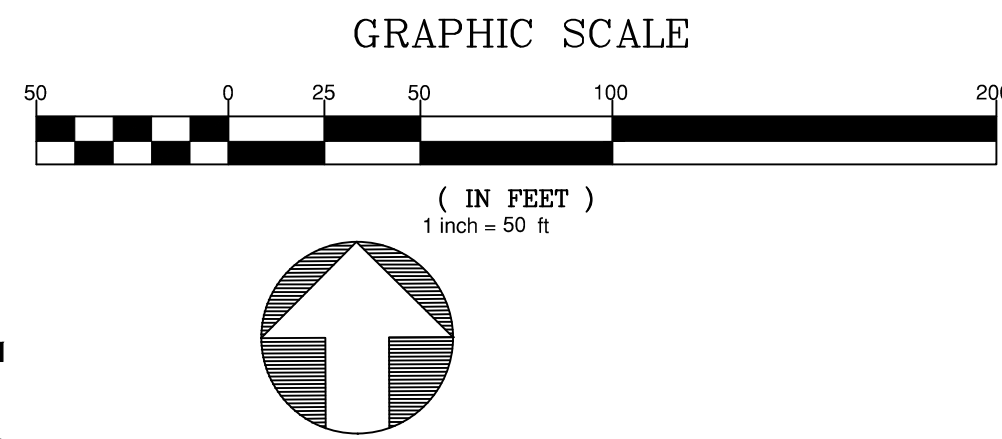
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SITE PLAN LEGEND	
WATER VALVE	
SEWER METER	
WATER METER	
FH	
MANHOLE	
WATER LINE	
SCM LOCATIONS	
SEWER LINE	
30' STREETScape BUFFER	
PERIMETER BUFFER	
NEUSE RIVER BUFFER	



NO.	DATE	REVISION

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**MERRITT PROPERTY**  
**UTILITY PLAN**  
**(50 SCALE)**  
ROLESVILLE RD  
WAKE COUNTY NC 27312

JOB NUMBER: 23-0004  
CHECKED BY: EDS  
DRAWN BY: EDS  
DATE: APRIL 2024  
SHEET TITLE:

**UTILITY PLAN**  
**(50 SCALE)**

SHEET NO.: **CU-105**

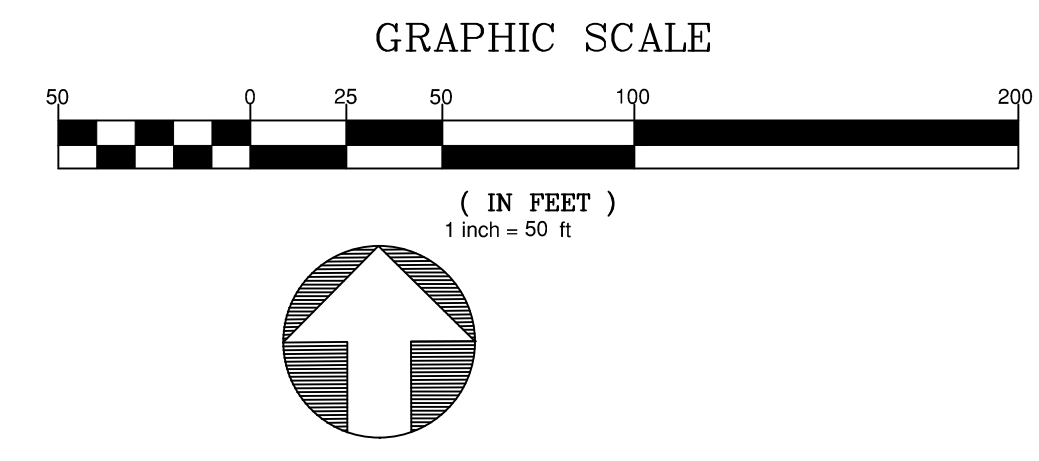




PRELIMINARY

FOR INFORMATION, ONLY

SITE PLAN LEGEND	
WATER VALVE	
SEWER METER	
WATER METER	
FH	
MANHOLE	
WATER LINE	
SCM LOCATIONS	
SEWER LINE	
PASSIVE OPEN SPACE PROVIDED: 28.07 ACRES TOTAL REQUIRED: 10.45 ACRES	
ACTIVE OPEN SPACE PROVIDED: 7.31 ACRES TOTAL REQUIRED: 10.45 ACRES	
30' STREETSCAPE BUFFER	
PERIMETER BUFFER	
NEUSE RIVER BUFFER	



NO.	DATE	REVISION

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**MERRITT PROPERTY  
UTILITY PLAN  
(50 SCALE)**  
ROLESVILLE RD  
WAKE COUNTY NC 27312

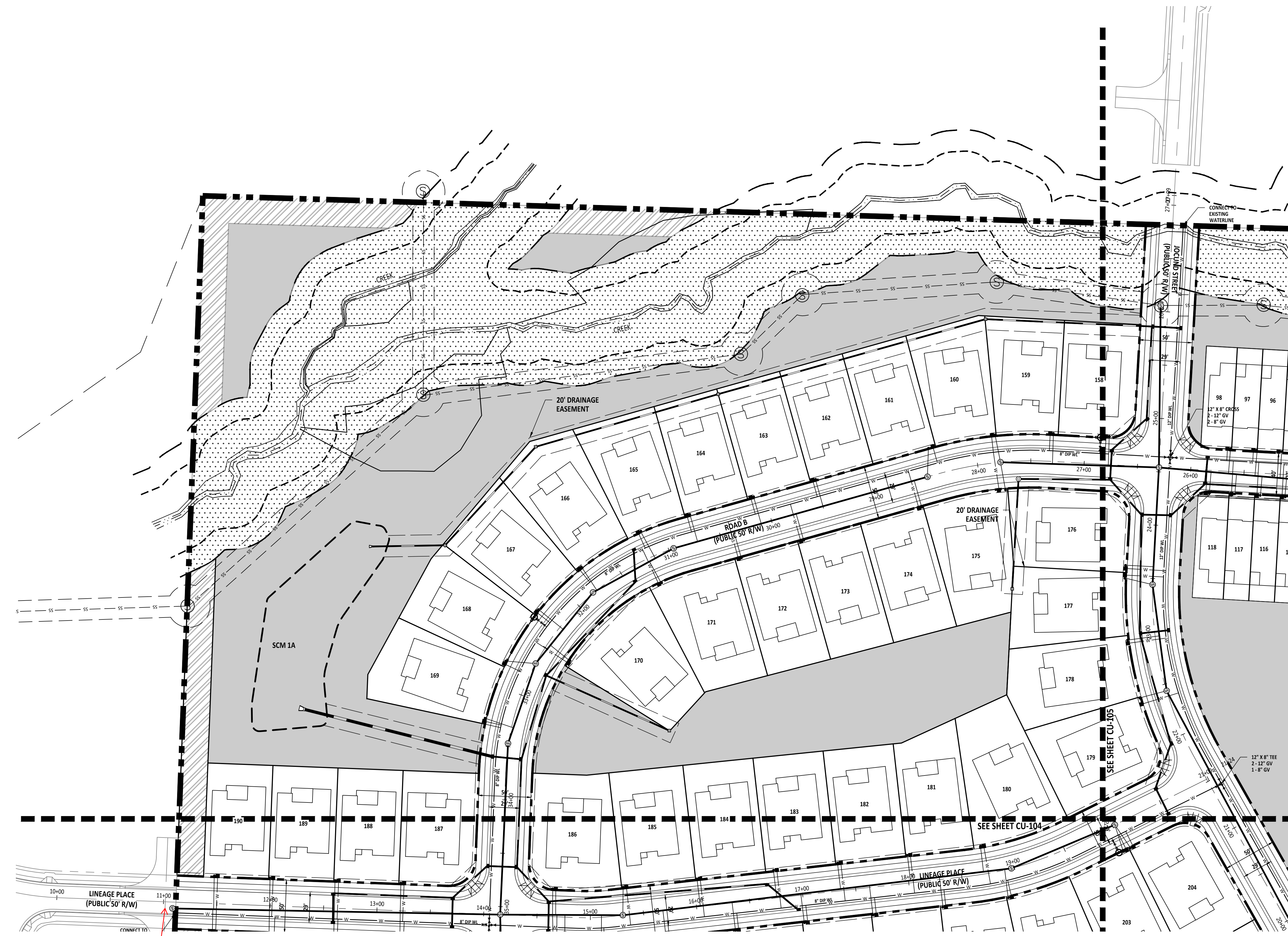
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CHECKED BY: EDS  
DRAWN BY: EDS  
DATE: APRIL 2024

SHEET TITLE:  
**UTILITY PLAN  
(50 SCALE)**

SHEET NO.:  
**CU-106**



PROJECT NUMBER = PSP-YR-XX



47. Show existing waterline and label with size.

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NO.	DATE	REVISION

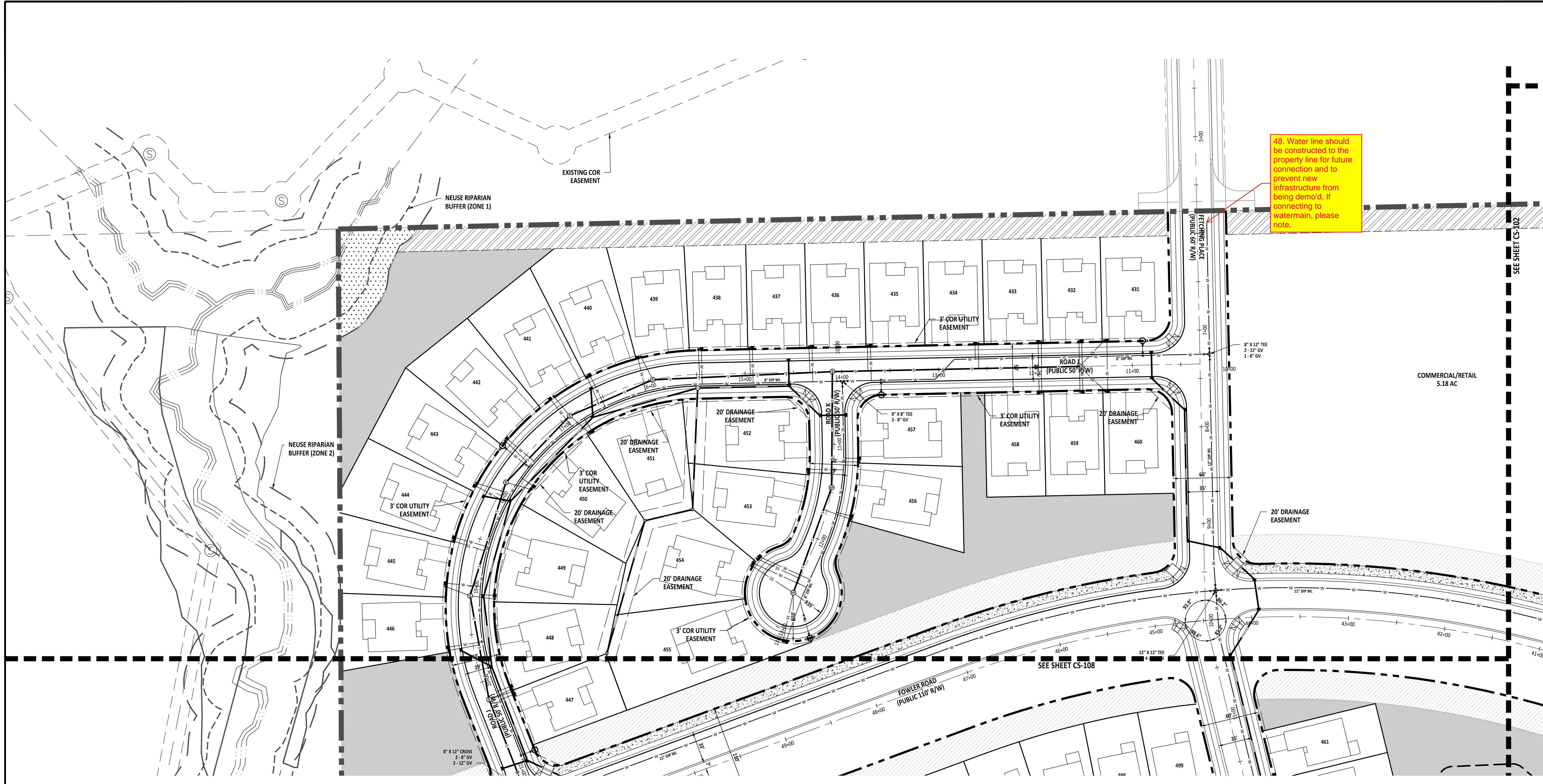
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**MERRITT PROPERTY**  
**UTILITY PLAN**  
**(50 SCALE)**  
ROLESVILLE RD  
WAKE COUNTY NC 27312

JOB NUMBER: 23-0004  
CHECKED BY: EDS  
DRAWN BY: EDS  
DATE: APRIL 2024

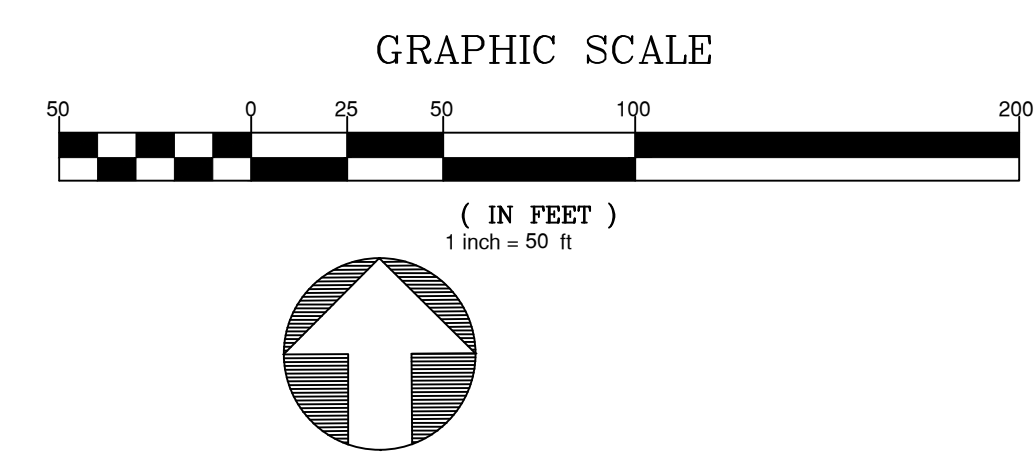
SHEET TITLE:  
**UTILITY PLAN**  
**(50 SCALE)**

SHEET NO.:  
**CU-107**



48. Water line should be constructed to the property line for future connection and to prevent new infrastructure from being demo'd. If connecting to watermain, please note.

SITE PLAN LEGEND	
WATER VALVE	
SEWER METER	
WATER METER	
FH	
MANHOLE	
WATER LINE	
SCM LOCATIONS	
SEWER LINE	
30' STREETSCAPE BUFFER	
PERIMETER BUFFER	
NEUSE RIVER BUFFER	



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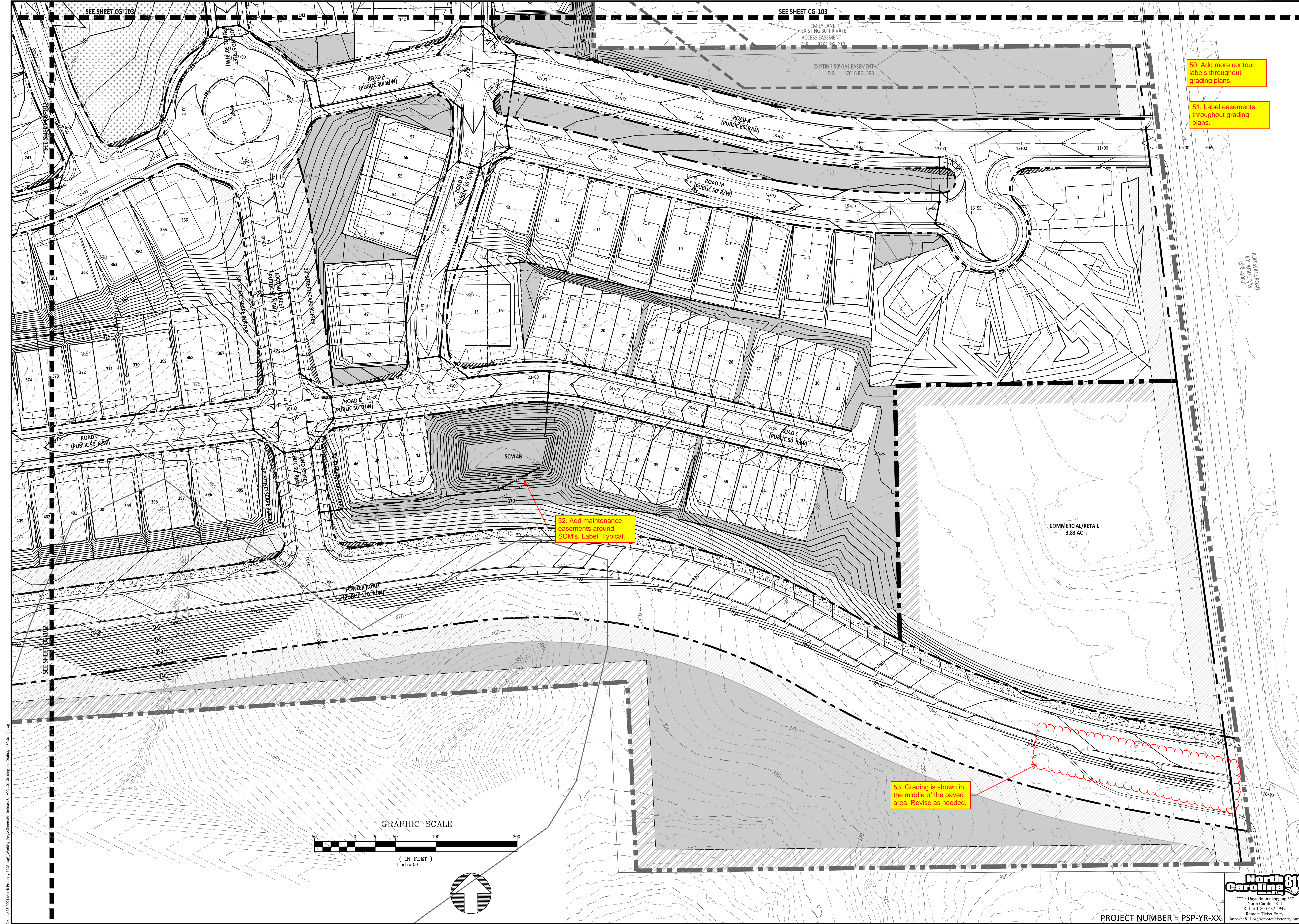
PROJECT NUMBER = PSP-YR-XX





















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NO.	DATE	REVISION

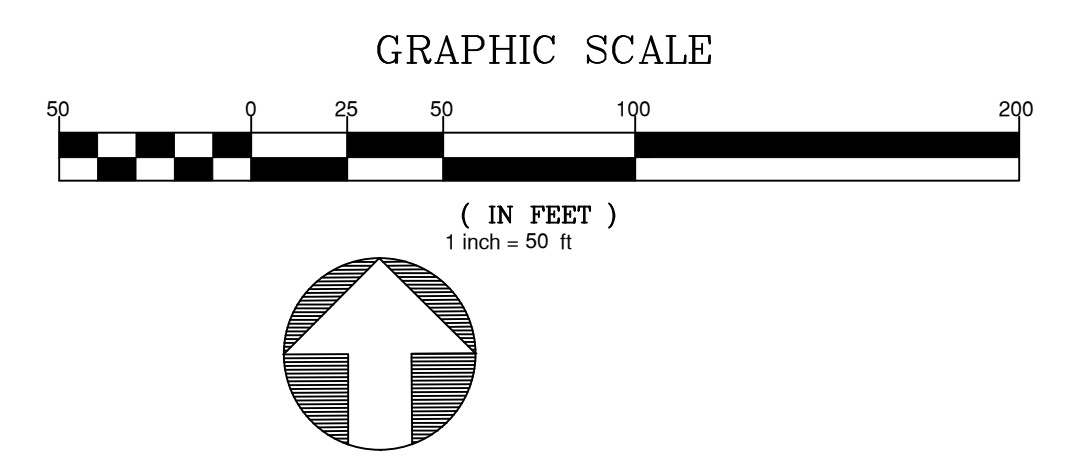
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**MERRITT PROPERTY  
GRADING AND DRAINAGE  
(50 SCALE)**  
ROLESVILLE RD  
WAKE COUNTY NC 27312

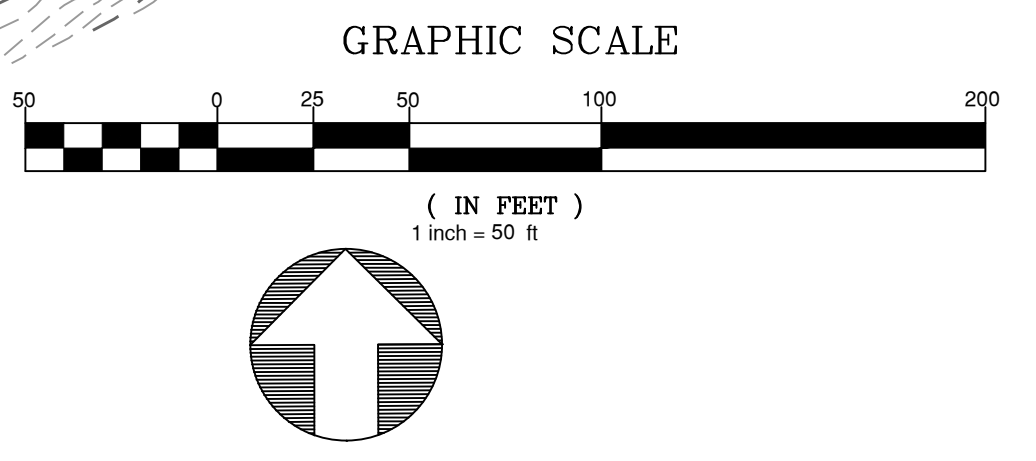
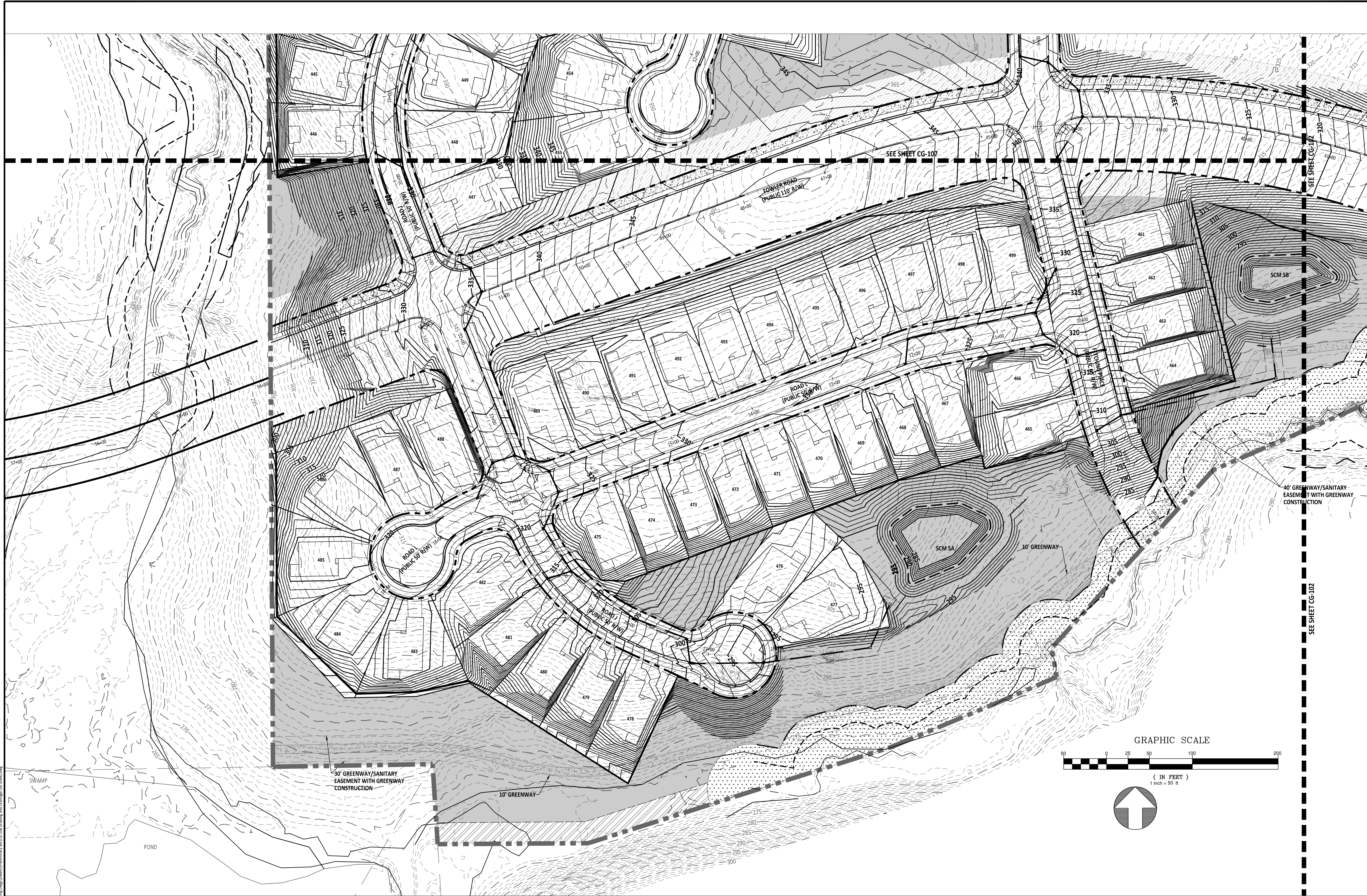
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DRAWN BY: EDS  
DATE: APRIL 2024

SHEET TITLE:  
**GRADING AND DRAINAGE (50 SCALE)**

SHEET NO.:  
**CG-107**



PROJECT NUMBER = PSP-YR-XX



NO.	DATE	REVISION

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**MERRITT PROPERTY  
GRADING AND DRAINAGE  
(50 SCALE)**  
ROLESVILLE RD  
WAKE COUNTY NC 27312

JOB NUMBER: 23-0004  
CHECKED BY:  
DRAWN BY: EDS  
DATE: APRIL 2024

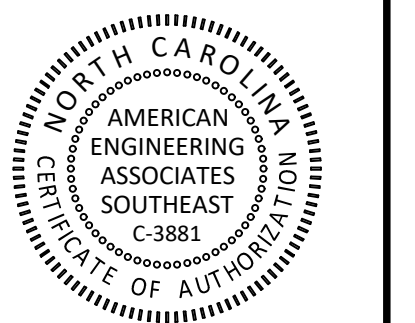
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SHEET NO.:  
**CG-108**



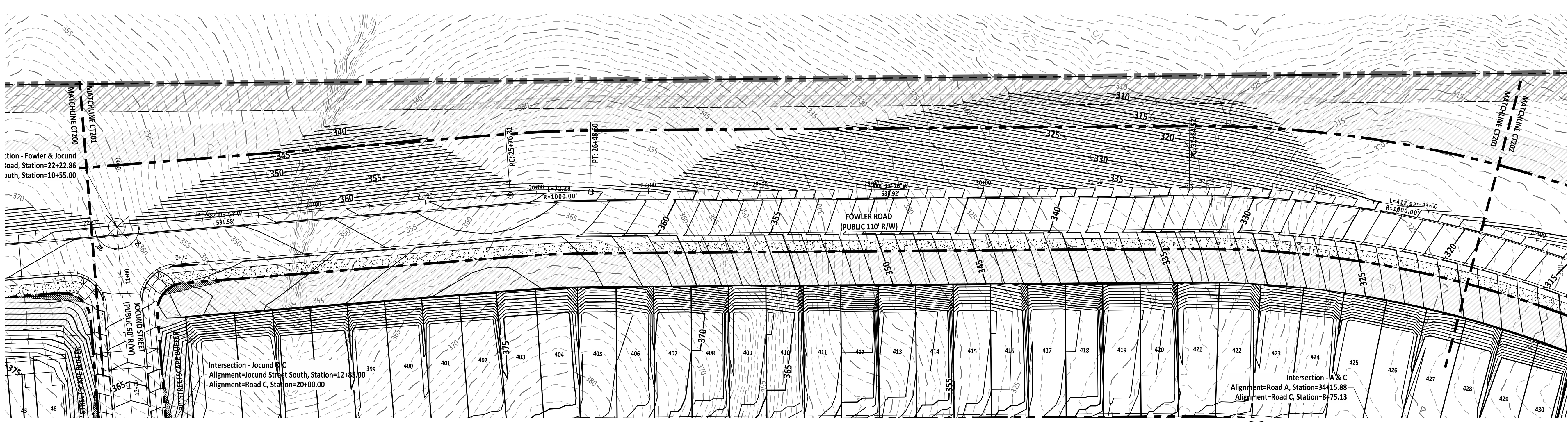




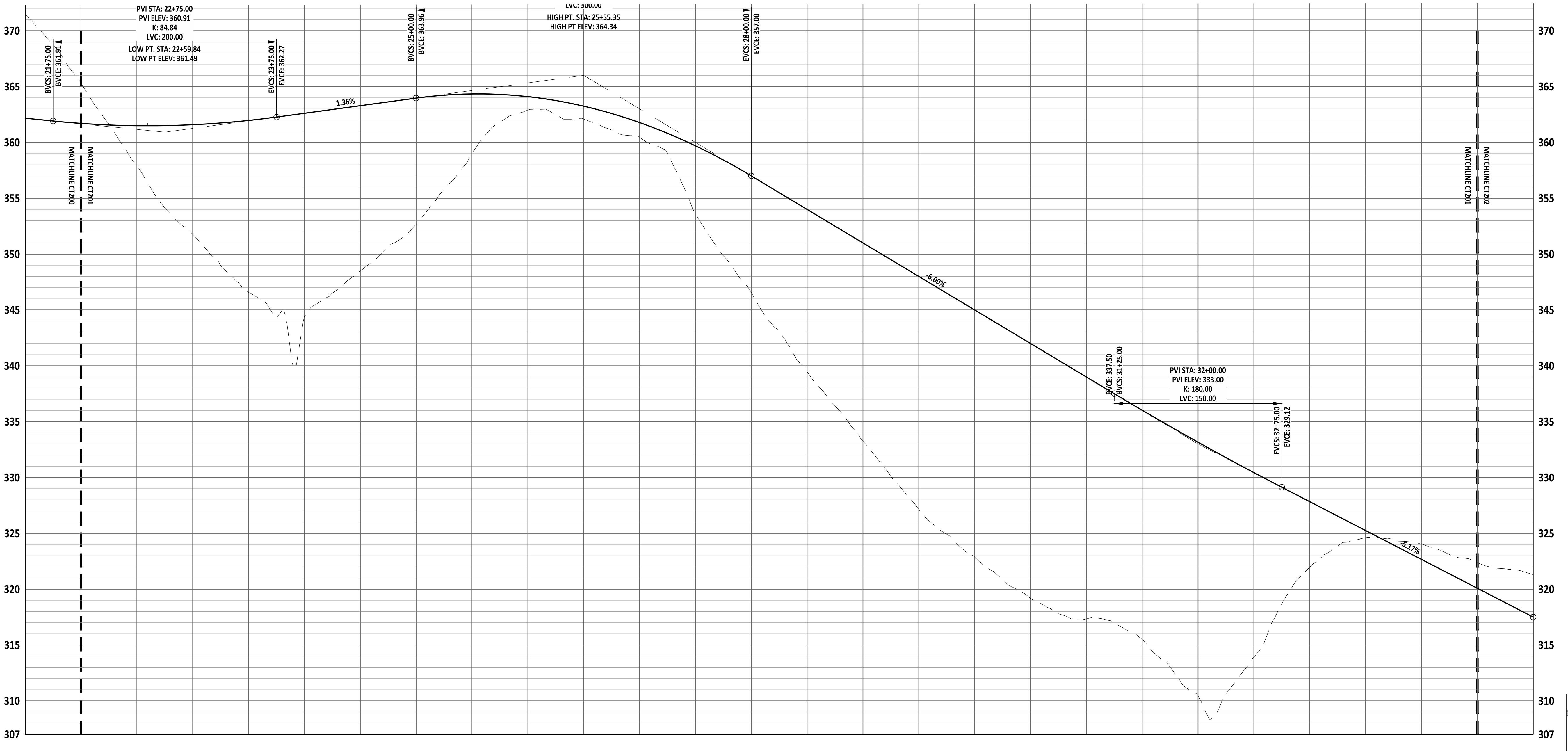
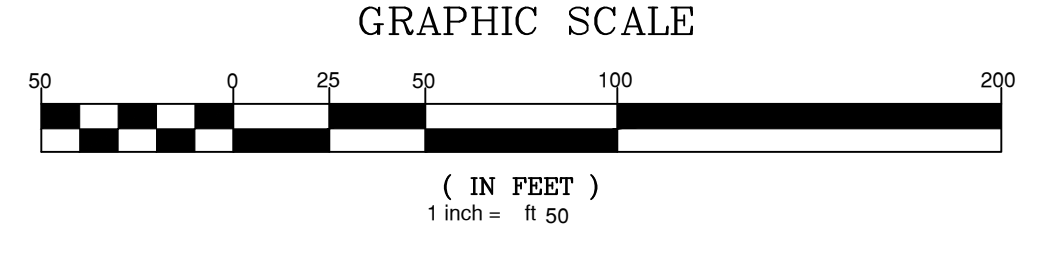
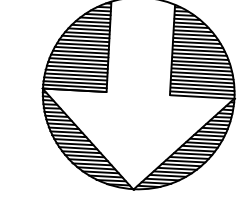


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FOWLER ROAD PLAN AND PROFILE



NO.	DATE	REVISION

**STIPULATION FOR REUSE**  
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**MERRITT PROPERTY**  
**FOWLER ROAD**  
**PLAN AND**  
**PROFILE (2 OF 5)**  
ROLESVILLE RD  
WAKE COUNTY NC 27312

JOB NUMBER: 23-0004  
CHECKED BY: EDS  
DRAWN BY: EDS  
DATE: APRIL 2024

SHEET TITLE:  
**FOWLER ROAD**  
**PLAN AND**  
**PROFILE (2 OF 5)**

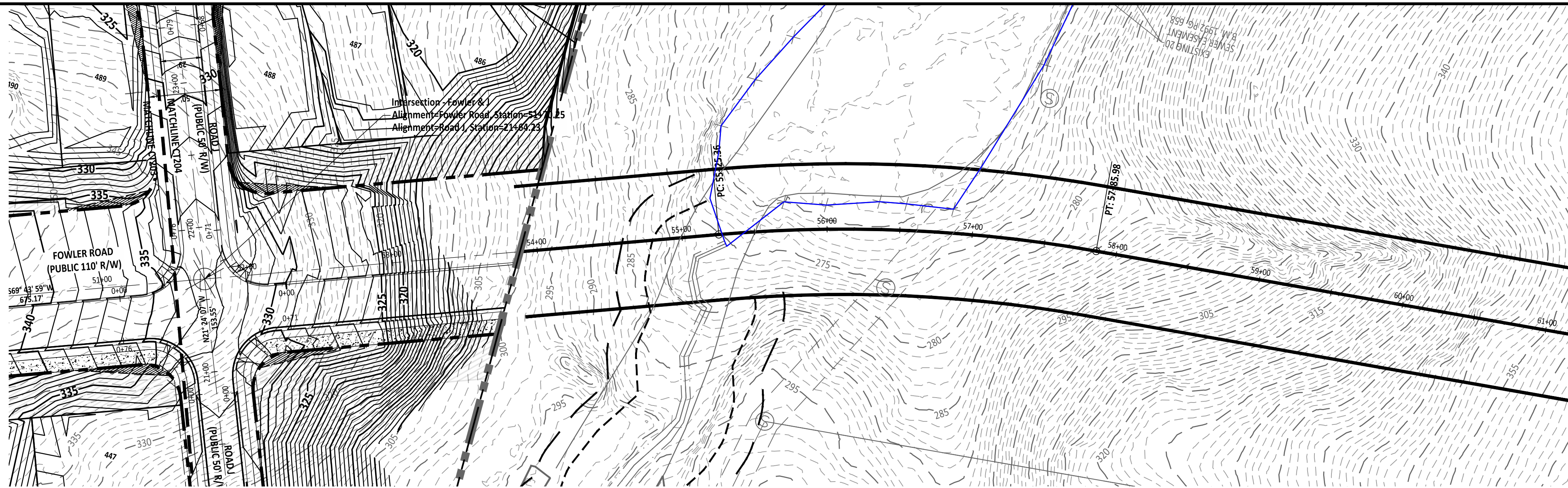
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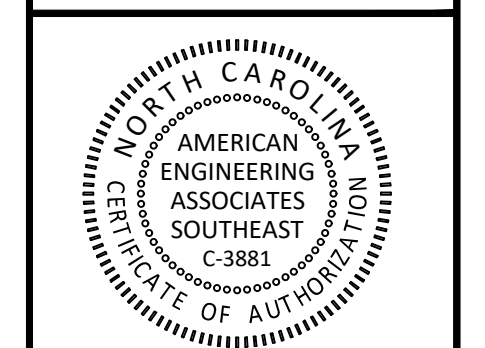
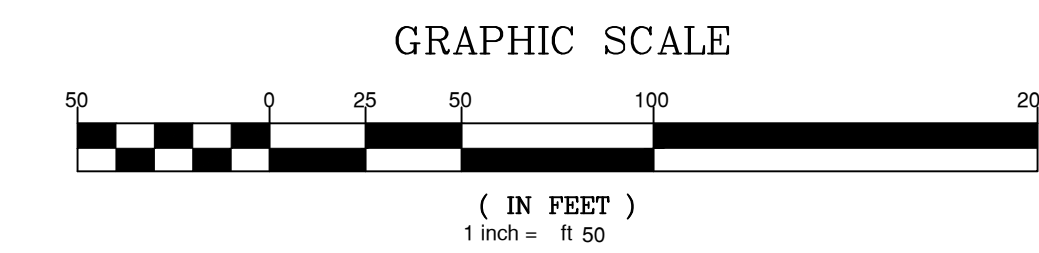
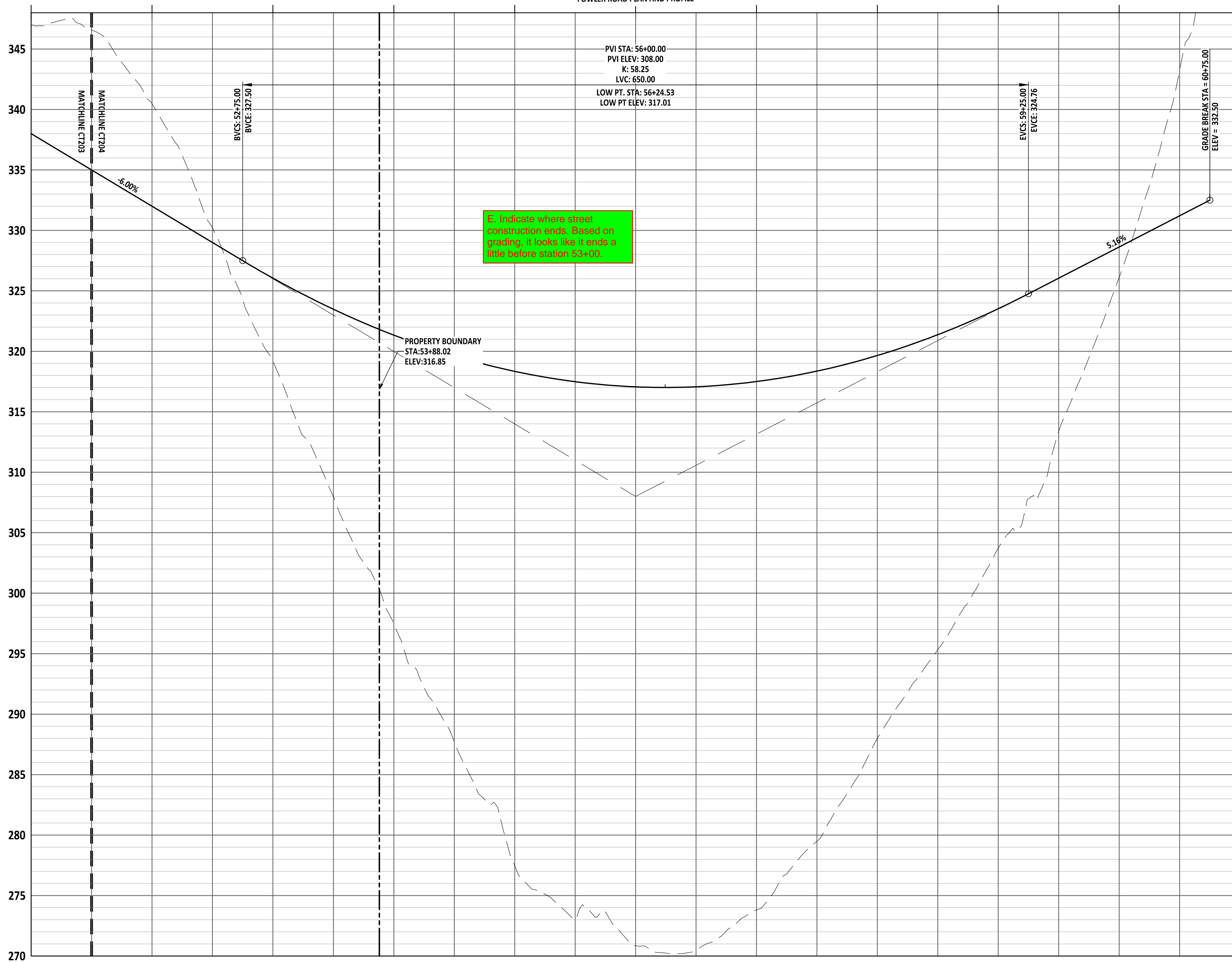
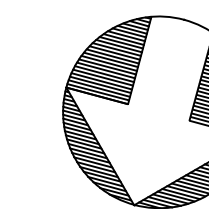
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FOWLER ROAD PLAN AND PROFILE



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**MERRITT PROPERTY**  
**FOWLER ROAD PLAN AND PROFILE (5 OF 5)**  
**ROSELVILLE, NC**  
**WAKE COUNTY, NC-27312**

JOB NUMBER:	23-0004
CHECKED BY:	EDS
DRAWN BY:	EDS
DATE:	APRIL 2024
SHEET TITLE:	<b>FOWLER ROAD PLAN AND PROFILE (5 OF 5)</b>
SHEET NO.:	<b>CT-204</b>

61. Fix overlap.



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NO.	DATE	REVISION

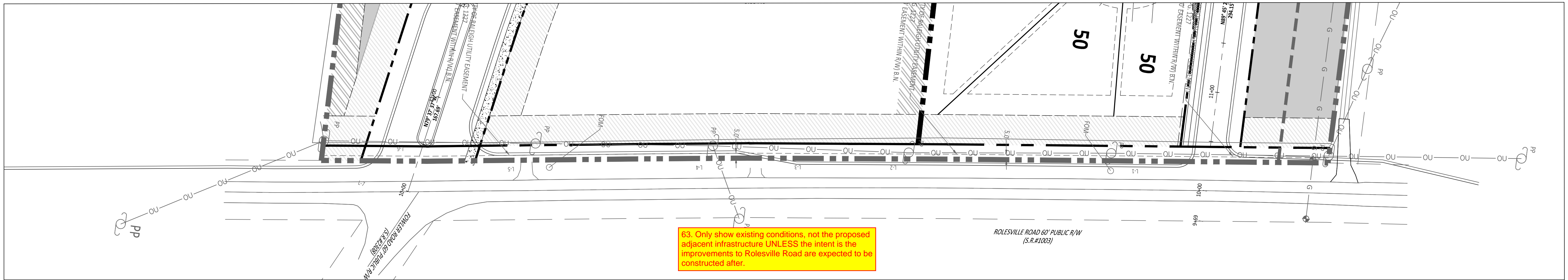
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**MERRITT PROPERTY**  
**ROAD**  
**IMPROVEMENTS**  
ROLESVILLE RD  
WAKE COUNTY NC 27312

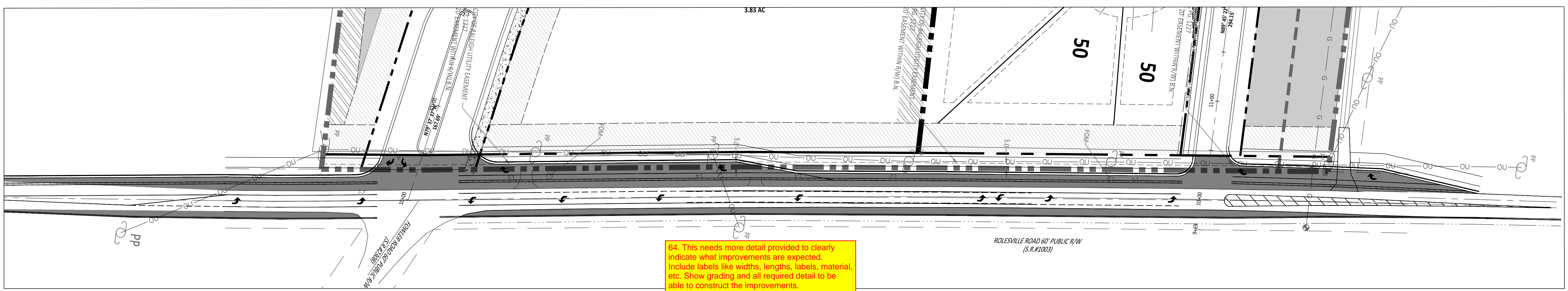
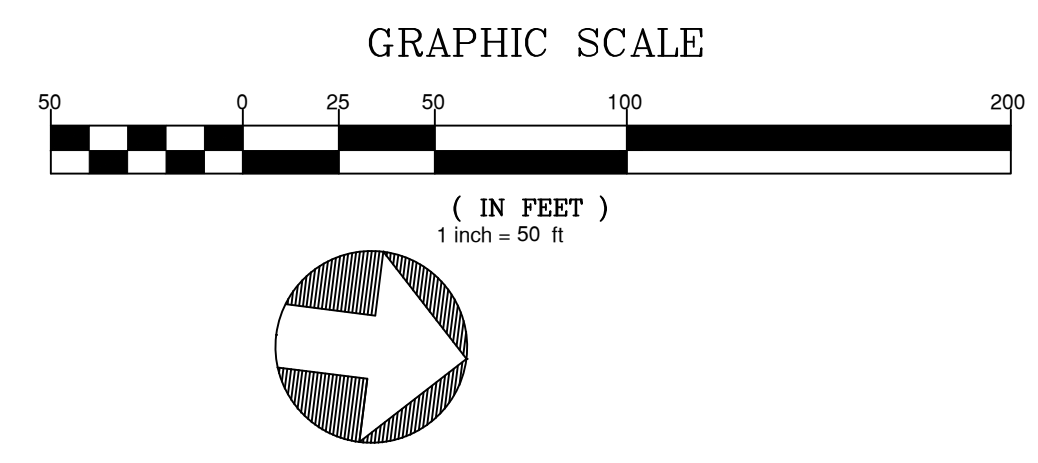
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CHECKED BY: EDS  
DRAWN BY: EDS  
DATE: APRIL 2024

SHEET TITLE:  
**ROAD**  
**IMPROVEMENTS**

SHEET NO.:  
**CT-301**



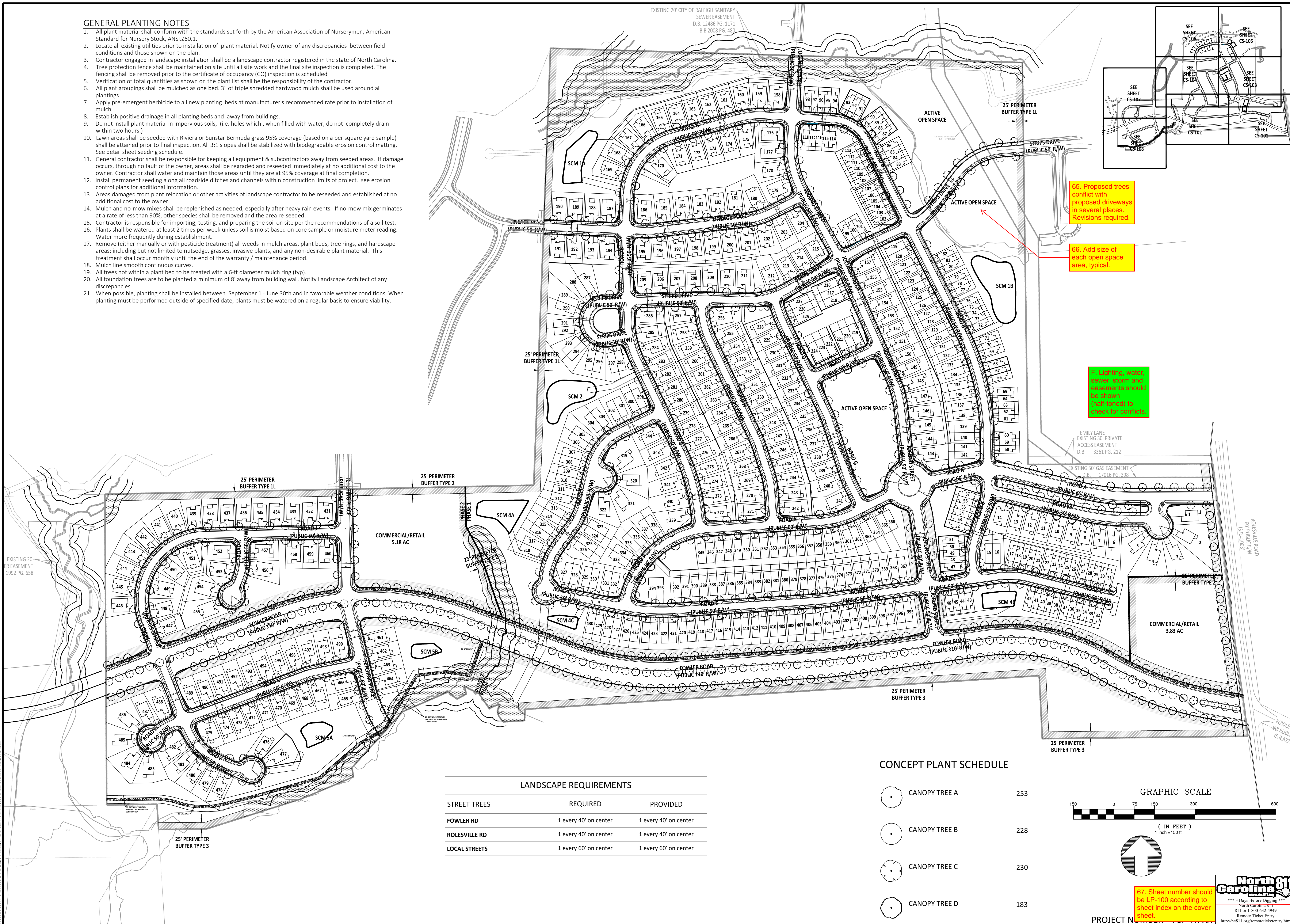
**EXISTING CONDITIONS**



**IMPROVEMENTS**

**GENERAL PLANTING NOTES**

- All plant material shall conform with the standards set forth by the American Association of Nurserymen, American Standard for Nursery Stock, ANSI Z60.1.
- Locate all existing utilities prior to installation of plant material. Notify owner of any discrepancies between field conditions and those shown on the plan.
- Contractor engaged in landscape installation shall be a landscape contractor registered in the state of North Carolina.
- Tree protection fence shall be maintained on site until all site work and the final site inspection is completed. The fencing shall be removed prior to the certificate of occupancy (CO) inspection is scheduled.
- Verification of total quantities as shown on the plant list shall be the responsibility of the contractor.
- All plant groupings shall be mulched as one bed. 3" of triple shredded hardwood mulch shall be used around all plantings.
- Apply pre-emergent herbicide to all new planting beds at manufacturer's recommended rate prior to installation of mulch.
- Establish positive drainage in all planting beds and away from buildings.
- Do not install plant material in impervious soils, (i.e. holes which, when filled with water, do not completely drain within two hours.)
- Lawn areas shall be seeded with Riviera or Sunstar Bermuda grass 95% coverage (based on a per square yard sample) shall be attained prior to final inspection. All 3:1 slopes shall be stabilized with biodegradable erosion control matting. See detail sheet seeding schedule.
- General contractor shall be responsible for keeping all equipment & subcontractors away from seeded areas. If damage occurs, through no fault of the owner, areas shall be regraded and reseeded immediately at no additional cost to the owner. Contractor shall water and maintain those areas until they are at 95% coverage at final completion.
- Install permanent seeding along all roadside ditches and channels within construction limits of project. See erosion control plans for additional information.
- Areas damaged from plant relocation or other activities of landscape contractor to be reseeded and established at no additional cost to the owner.
- Mulch and no-mow mixes shall be replenished as needed, especially after heavy rain events. If no-mow mix germinates at a rate of less than 90%, other species shall be removed and the area re-seeded.
- Contractor is responsible for importing, testing, and preparing the soil on site per the recommendations of a soil test.
- Plants shall be watered at least 2 times per week unless soil is moist based on core sample or moisture meter reading. Water more frequently during establishment.
- Remove (either manually or with pesticide treatment) all weeds in mulch areas, plant beds, tree rings, and hardscape areas; including but not limited to nutsedge, grasses, invasive plants, and any non-desirable plant material. This treatment shall occur monthly until the end of the warranty / maintenance period.
- Mulch line smooth continuous curves.
- All trees not within a plant bed to be treated with a 6-ft diameter mulch ring (typ).
- All foundation trees are to be planted a minimum of 8' away from building wall. Notify Landscape Architect of any discrepancies.
- When possible, planting shall be installed between September 1 - June 30th and in favorable weather conditions. When planting must be performed outside of specified date, plants must be watered on a regular basis to ensure viability.



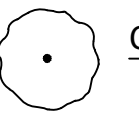
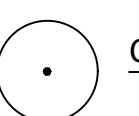


65. Proposed trees conflict with proposed driveways in several places. Revisions required.

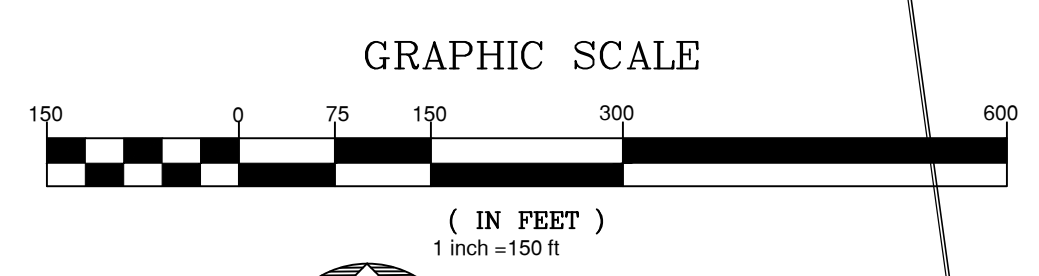
66. Add size of each open space area, typical.

67. Add size of each open space area, typical.

LANDSCAPE REQUIREMENTS		
STREET TREES	REQUIRED	PROVIDED
FOWLER RD	1 every 40' on center	1 every 40' on center
ROLESVILLE RD	1 every 40' on center	1 every 40' on center
LOCAL STREETS	1 every 60' on center	1 every 60' on center

**CONCEPT PLANT SCHEDULE**

-  CANOPY TREE A 253
-  CANOPY TREE B 228
-  CANOPY TREE C 230
-  CANOPY TREE D 183



67. Sheet number should be LP-100 according to sheet index on the cover sheet.

**North 811**  
 \*\*\* 3 Days Before Digging \*\*\*  
 North Carolina 811  
 811 or 1-800-632-4949  
 Remote Ticket Entry  
<http://nc811.org/remoteticketentry.htm>

**AMERICAN Engineering**  
 American Engineering Associates - Southeast, P.A.  
 4020 Westchase Boulevard, Suite 450  
 Raleigh, NC 27607  
 919-469-1101

AMERICAN ENGINEERING ASSOCIATES SOUTHEAST  
 C-3881  
 STATE OF NORTH CAROLINA  
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 LICENSED PROFESSIONAL ENGINEER  
 IN THE STATE OF NORTH CAROLINA

PRELIMINARY

FOR INFORMATION, ONLY

NO.	DATE	REVISION:

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**MERRITT PROPERTY**  
**OVERALL LANDSCAPE PLAN**  
 ROLESVILLE RD  
 WAKE COUNTY NC 27312

JOB NUMBER: 23-0004  
 CHECKED BY: EDS  
 DRAWN BY: EDS  
 DATE: APRIL 2024  
 SHEET TITLE: **OVERALL LANDSCAPE PLAN**  
 SHEET NO.: **CS-100**

EXISTING 20' PER EASEMENT 1992 PG. 658

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