V1 - PSP-24-06

WALLBROOK - LOT 8 PRELIMINARY SUBDIVISION PLAT

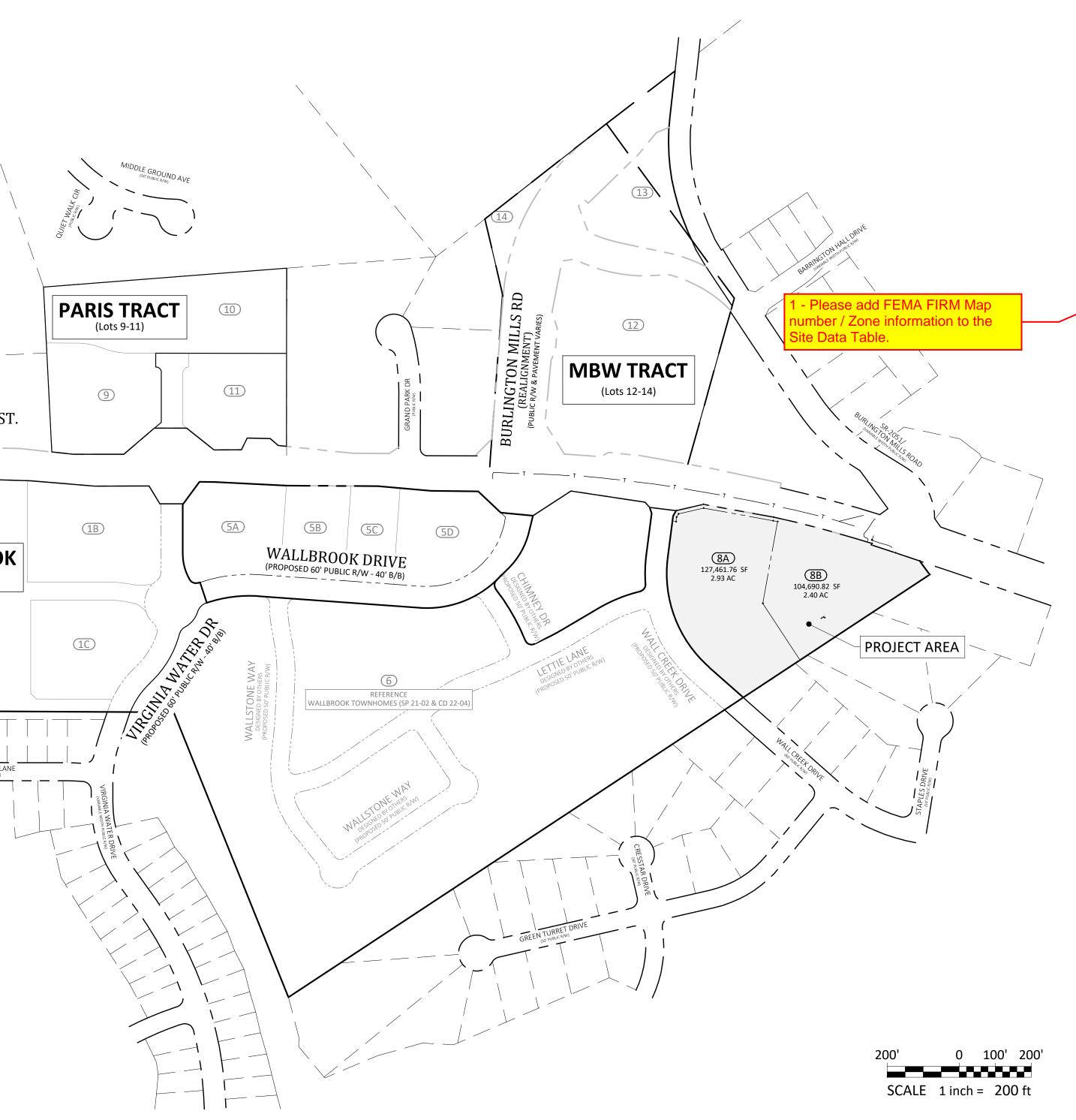


- 1. CONSTRUCTION PLAN APPROVAL FROM TOWN OF ROLESVILLE AND RALEIGH WATER SHALL BE OBTAINED PRIOR TO CONSTRUCTION OF ANY STREET, WATER, AND/OR SANITARY SEWER AND STORM DRAINAGE SYSTEMS. 2. ALL REQUIRED IMPROVEMENTS SHALL CONFORM TO THE TOWN OF ROLESVILLE
- AND RALEIGH WATER STANDARD DESIGNS AND DETAILS.
- 3. ALL LOTS SHALL EQUAL OR EXCEED THE MINIMUM DEVELOPMENT STANDARDS OF THE TOWN OF ROLESVILLE LAND DEVELOPMENT ORDINANCE.
- 4. ELECTRIC SERVICE PROVIDED BY WAKE ELECTRIC. 5. WATER AND SANITARY SEWER SERVICE IS PROVIDED BY RALEIGH WATER.
- 6. ELECTRIC AND TELEPHONE UTILITIES SHALL BE INSTALLED UNDERGROUND.
- 7. STREET LIGHTS N/A
- 8. DEPRESS CURBS FOR HANDICAP RAMPS AT STREET INTERSECTIONS THAT HAVE SIDEWALKS.
- EROSION CONTROL PLAN APPROVAL REQUIRED PRIOR TO SITE DEVELOPMENT.
- 10. STORMWATER MANAGEMENT PLAN WILL LIMIT IMPERVIOUS AREA TO 85% OF CUMULATIVE AREA OF LOT 8.
- 11. HYDRAULIC ANALYSIS OF THE WATER MAINS ARE REQUIRED PRIOR TO CONSTRUCTION.
- 12. NO SEWER SERVICES SHALL BE CONNECTED TO BUILDINGS WITHIN THIS PROJECT, UNTIL ALL MAINS AND SERVICES HAVE BEEN INSTALLED AND ACCEPTED FOR MAINTENANCE BY RALEIGH WATER.
- 13. STORM DRAIN PIPE SIZES ARE APPROXIMATE. FINAL SIZING, GRADES, ETC. SHAL BE SUBMITTED WITH CONSTRUCTION PLANS.
- 14. JURISDICTIONAL WETLANDS AND STREAMS SHOWN ON THIS PLAT ARE BASED UPON NC DWR STREAM DETERMINATIONS NBRRO #17-431 & #17-432 AND THE US ARMY CORP OF ENGINEERS SAW-2019-00873 AND SAW-2019-876.
- 15. NCDOT DRIVEWAY PERMITS ARE REQUIRED FOR ALL PROPOSED SITE DRIVEWAYS AND STREET CONNECTIONS TO US 401 BUSINESS (MAIN STREET). REQUIRED ROADWAY IMPROVEMENTS ALONG US 401 BUSINESS (MAIN STREET) ARE TO BE CONSTRUCTED AS PART OF NCDOT U-6241.
- 16. BOUNDARY AND TOPOGRAPHICAL SURVEY INFORMATION SHOWN HEREON WAS TAKEN FROM A SURVEY PERFORMED BY GARY S. MILLER AND ASSOCIATES, P.A. ENTITLED JOHNSON, MIRMIRAN & THOMPSON ENTITLED "ALTA/NSPS LAND TITLE SURVEY PREPARED FOR C4 INVESTMENTS, LLC" DATED MARCH 10, 2020.

 A PORTION OF THE PROPERTY IS LOCATED MINIMAL FLOODING, AS SHOWN ON NAT (FIRM) NO. 3720175800K, PANEL 1758 EFI 	IONAL FLOOD INSURANCE R		(4)	
		JON WARABLE WIT		(Lots 1-8)
Legend		MARSH MARSH PHILCON		(1A)
EXISTING = FOUND MONUMENT AS NOTED O = SET IRON PIN	PROPOSED			
Δ = NCGS MONUMENT • = DIMENSION POINT (NOTHING SET $P_{\rm e}$ = PROPERTY LINE R/W = RIGHT OF WAY)			
C&G = CURB AND GUTTER = CABLE TV PEDESTAL DI = DROP INLET	\backslash	ELE de la participant		
ELEC = ELECTRIC BOX $EM = ELECTRIC METER$ $F/O = FIBER OPTIC$ $FH = FIRE HYDRANT$				
				MARSHC
$\begin{array}{rcl} & = & GUY & WIRE \\ & RCP & = & REINFORCED & CONCRETE & PIPE \\ & S.F. & = & SQUARE & FEET & (AREA) \end{array}$				
SIGN = SIGN SIGN = TRAFFIC SIGNAL POLE SS = SANITARY SEWER MANHOLE SS = SANITARY SEWER FORCE MAIN V. SD = STORM DRAIN MANHOLE TEL = TELEPHONE PEDESTAL TRAF = TRAFFIC BOX	S ALVE			
TEL = TELEPHONE PEDESTAL TRAF = TRAFFIC BOX WATER = WATER BOX WM = WATER METER				
WMH = WATER MANHOLE				
$\begin{array}{l} \begin{array}{l} X \cdot \overline{WALK} \\ \odot \end{array} & = & PEDESTRIAN X - WALK POLE \\ \\ = & ELECTRIC LINE \\ \\ \hline & FM \end{array} & = & SANITARY SEWER FORCE MAIN \\ \\ = & FIBER OPTIC LINE \end{array}$				
= GAS LINE = OVERHEAD ELECTRIC LINE = SANITARY SEWER LINE = TELEPHONE LINE	G G S			
TV = CABLE TV LINE = WATER LINE = FIRE LINE	W			
= 8"ø WATER LINE = 12"ø WATER LINE — — RIP – = RIPARIAN BUFFER — — TREELINE	8''W 12''W			
$50 \longrightarrow = MAJOR CONTOUR (5')$ $- \longrightarrow = MINOR CONTOUR (1')$		2. TOWNHOMES LIMITED TO 155 UN	GENDA ITEM C.1 ON 2-MAR-2021.	APPROVED SUP IS RECORDED AS BOOK 18
= RIPARIAN BUFFER		EXTENSION MUST BE COMPLETE 4. NO LATER THAN 6 MONTHS FOLLO	WING COMPLETION OF THE LAPP G	RST RESIDENTIAL UNIT, WALL CREEK DRIV RANT PROJECT IMPROVEMENTS, DEVELO IN STREET AND 2) THE EXTENSION OF BU
	***********		A MAIN ST TO VIRGINIA WATER DRIV	

Main Street and Wall Creek Drive, Town of Rolesville, Wake County, North Carolina

Project No. PSP 24-06



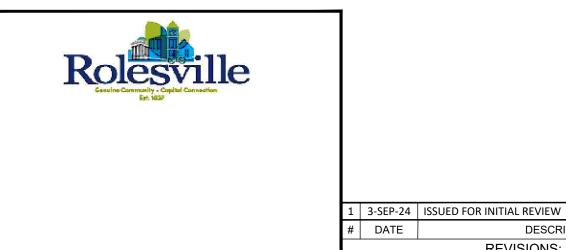


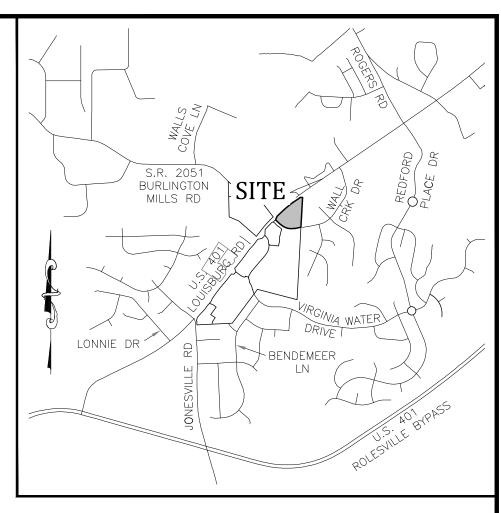
ANX 21-06 PR 21-04 PR 21-04 REV FSP 23-09

PSP 24-06

ANNEXATION PRELIMINARY SUBDIVISION PLAT (TOWN BOARD APPROVED) PRELIMINARY SUBDIVISION PLAT (REVISED) INTERMEDIATE SUBDIVISION PLAT

PRELIMINARY SUBDIVISION PLAT (CURRENT APPLICATION)





Vicinity Map

Site Data	NIS
PIN NUMBERS:	1758-67-1871
REAL ESTATE ID:	0509438
CURRENT ZONING:	GC-CZ
ACREAGE IN DEVELOPMENT: ACREAGE IN TOTAL TRACT:	5.33± ACRES 5.33± ACRES
NUMBER OF LOTS CREATED:	2
LINEAR FEET IN STREETS:	N/A
WATERSHED:	Lower Neuse
RIVER BASIN:	Neuse
CURRENT USE:	VACANT / WOODED
PROPOSED USE(S):	REFER TO SUP 20-02 FOR PERMITTED USES
CURRENT IMPERVIOUS:	0 SF
PROPOSED IMPERVIOUS:	MAX 85% OF TOTAL LOT AREA - 232,152.6 SF x 0.85 = 197,329.7 SF (PER MASTER STORMWATER PERMIT - WAKE CO. SWF 105882-2023)
	AT THE TIME OF FINAL SUBDIVISION PLAT, ALLOCATION OF IMPERVIOUS PER LOT SHALL BE DETERMINED AND EXPRESSED, AND THEN REFLECTED ON SUBSEQUENT SITE DEVELOPMENT PLANS FOR EACH LOT.
DEVELOPMENT STANDARDS:	LDO
OPEN SPACE CALCULATIONS:	CALCULATIONS APPROVED VIA PR 21-04 (TOWN BOARD APPROVED) AND PR 21-04 REVISED
	LOT 8 (PR 21-04 REVISED) 0.25 AC = GREENWAY (MEDIUM - 10,743 SF) 0.22 AC = LINEAR PARK (MEDIUM) - RIPARIAN AREA) 0.60 AC = LINEAR PARK (MEDIUM - 26,261 SF)
PARKING CALCULATIONS:	PARKING CALCS TO BE SHOWN ON SUBSEQUENT SITE DEVELOPMENT PLAN(S)
TREE PRESERVATION:	N/A

N/A (REFER TO TREE PRESERVATION PLAN - APPROVED VIA PR 21-04 REVISED)

Owner/Developer

Wrightsville Beach, NC 28480

awilliams@csere.com

Wallbrook Landco, LLC

Contact: Austin Williams

3 Keel St, Ste 2

(704) 621-6430

Title

Engineer

Ark Consulting Group, PLLC 925-A Conference Drive Greenville, NC 27858 (252) 558-0888

Contact: Bryan Fagundus, PE bryan@arkconsultinggroup.com

Sheet Index

- # Cover / Overall Site
- Existing Conditions
- Lot Layout
- Utility & Drainage Plan
- REF Survey Johnson, Mirmiran & Thompson (3 Sheets) PR 21-04 REVISED (6 Sheets)
 - Cover / Overall Site
 - Site Plan (Wallbrook)
 - Easement Plan (Wallbrook) Utility Plan (Wallbrook)
 - Grading/Drainage Plan (Wallbrook)
 - Tree Preservation Plan

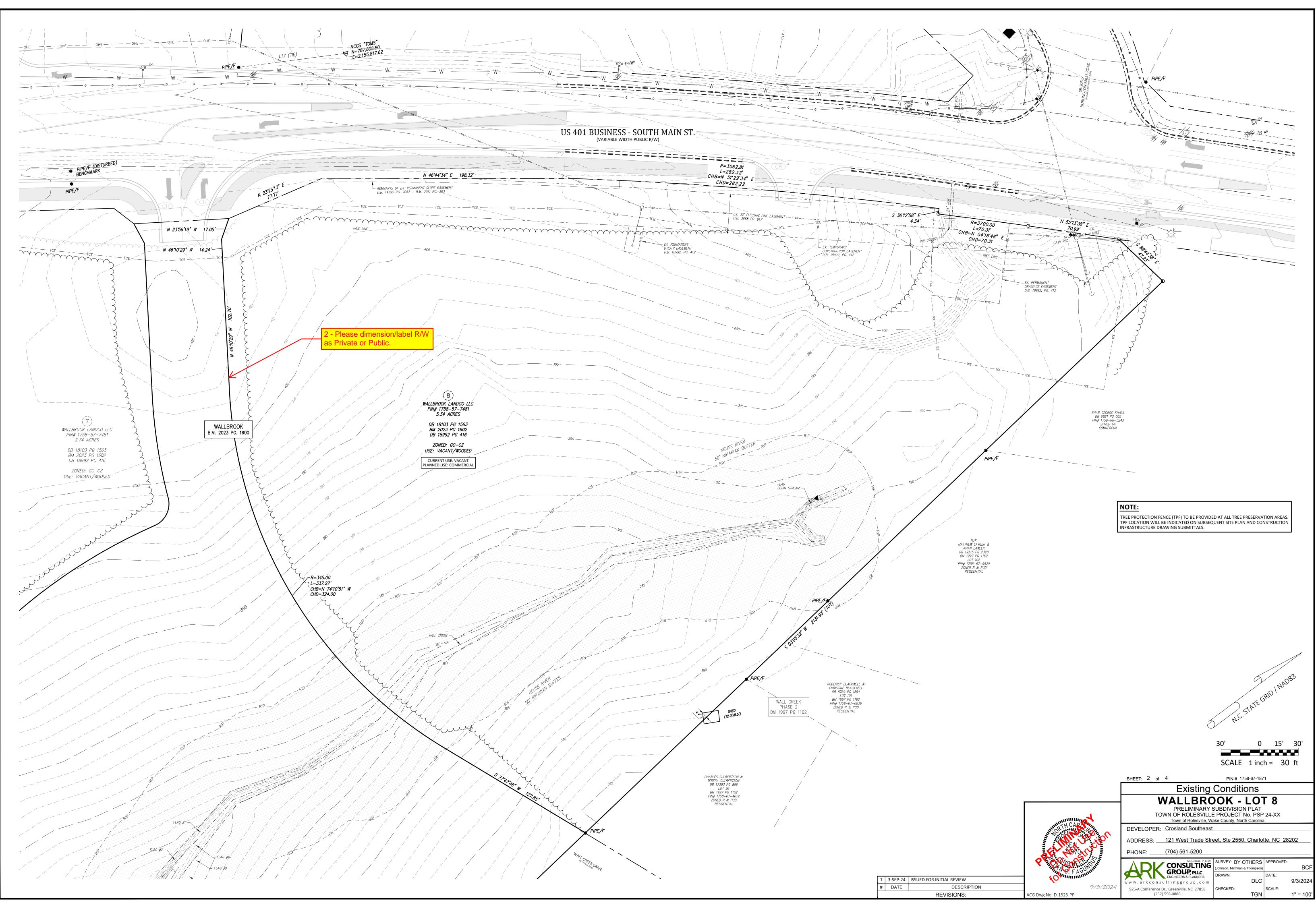
Survey Note:

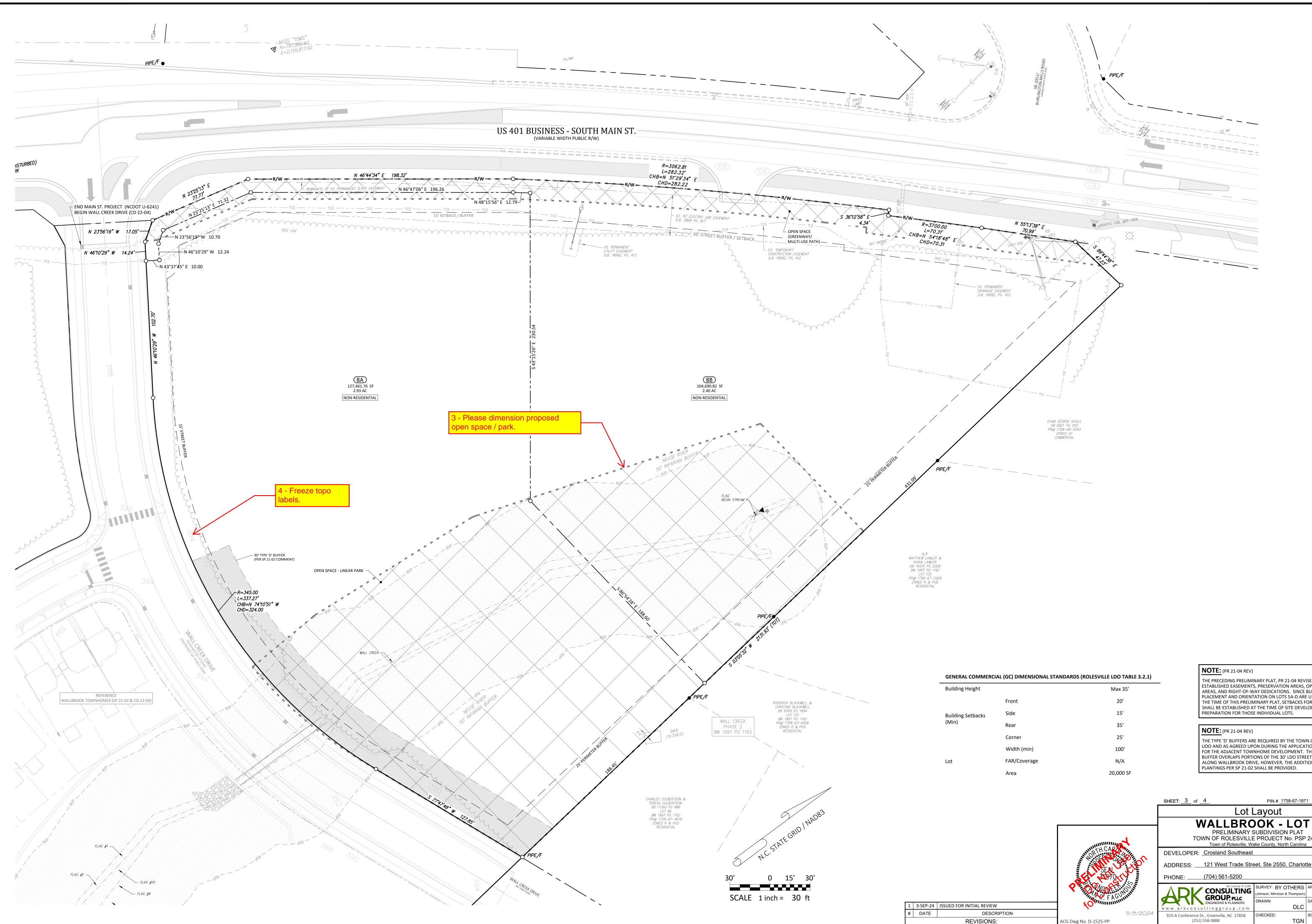
DESCRIPTION

REVISIONS:

BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON WAS PREPARED BY JOHNSON, MIRMIRAN & THOMPSON, AS SHOWN ON DRAWING ENTITLED "ALTA/NSPS LAND TITLE SURVEY FOR WALLBROOK LANDCO, LLC", DATED MARCH 25, 2020, ATTACHED TO THIS DRAWING SET FOR REFERENCE.

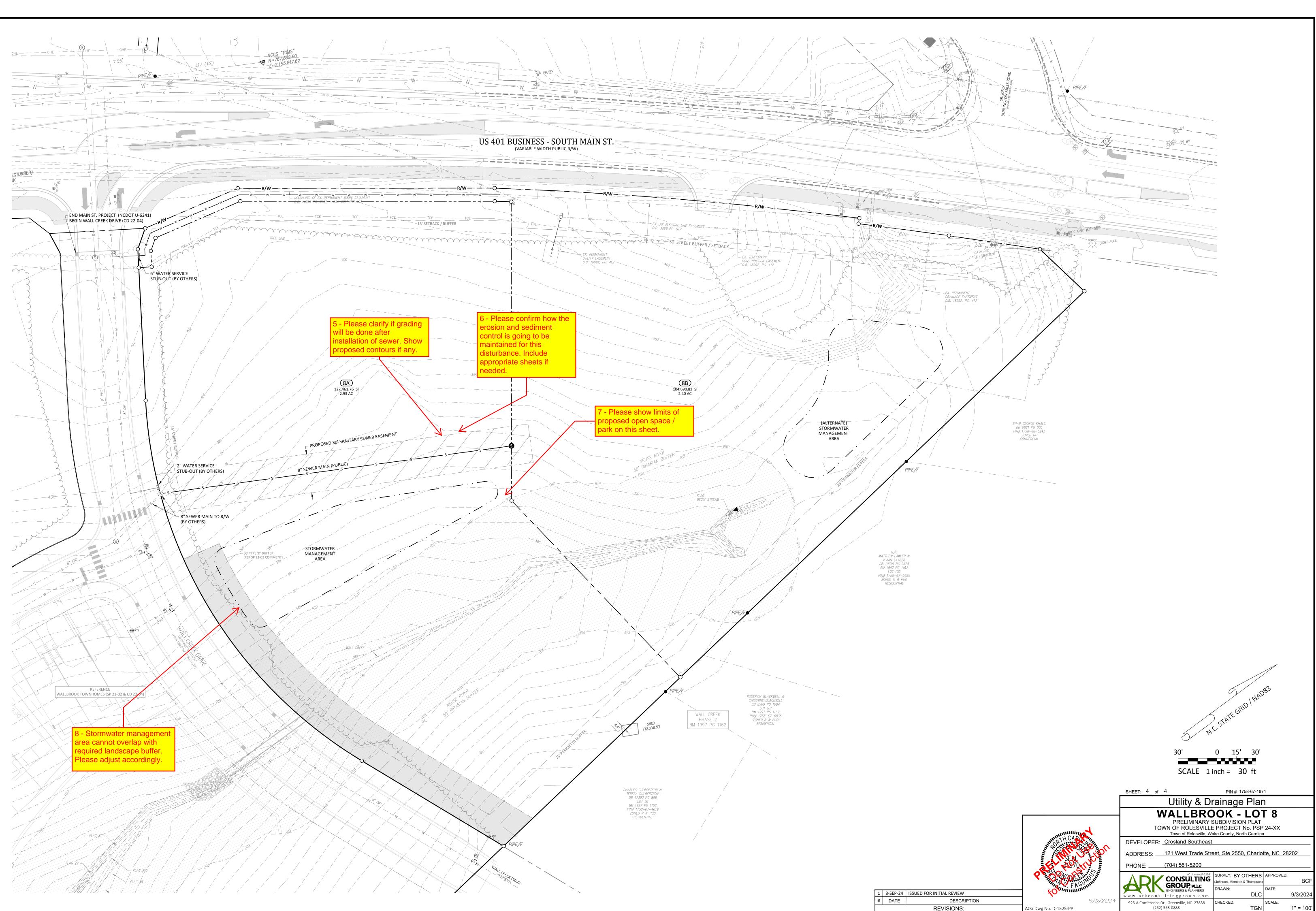
	SHEET: <u>1</u> of <u>4</u>	PIN # 1758-67-187	71	
	Cover / Cover	Overall Site		
	TOWN OF ROLESVILL	SUBDIVISION PLAT	9 24-XX	
NUMBER TH CAP	DEVELOPER: Crosland Southeas	t		
EN STREET	ADDRESS: <u>121 West Trade Str</u>	reet, Ste 2550, Charlo	tte, NC 28	202
A AND ALL	PHONE:(704) 561-5200			
P		SURVEY: BY OTHERS (Johnson, Mirmiran & Thompson)		BCF
Communitie	GROUP, PLLC ENGINEERS & PLANNERS	DRAWN:	DATE:	
	www.arkconsultinggroup.com	DLC		9/3/2024
9/3/2024 ACG Dwg No. D-1525-PP	925-A Conference Dr., Greenville, NC 27858 (252) 558-0888	CHECKED:	SCALE:	1" = 200'





GENERAL COMMENCE			THE PRECEDING PRELIMINARY PLAT, PR 21-04 REVISED,
Building Height		Max 35'	ESTABLISHED EASEMENTS, PRESERVATION AREAS, OPEN SPACE AREAS, AND RIGHT-OF-WAY DEDICATIONS. SINCE BUILDING
	Front	20'	PLACEMENT AND ORIENTATION ON LOTS 5A-D ARE UNKNOWN AT THE TIME OF THIS PRELIMINARY PLAT, SETBACKS FOR LOTS 5A-D SHALL BE ESTABLISHED AT THE TIME OF SITE DEVELOPMENT PLAN
Building Setbacks	Side	15'	PREPARATION FOR THOSE INDIVIDUAL LOTS.
(Min)	Rear	35'	
	Corner	25'	NOTE: (PR 21-04 REV) THE TYPE 'D' BUFFERS ARE REQUIRED BY THE TOWN OF ROLESVILLE
Lot	Width (min)	100'	UDO AND AS AGREED UPON DURING THE APPLICATION OF SP 21-02 FOR THE ADJACENT TOWNHOME DEVELOPMENT. THE TYPE 'D'
	FAR/Coverage	N/A	BUFFER OVERLAPS PORTIONS OF THE 30' LDO STREET BUFFER ALONG WALLBROOK DRIVE, HOWEVER, THE ADDITIONAL
	Area	20,000 SF	PLANTINGS PER SP 21-02 SHALL BE PROVIDED.

	Lot I	_ayout	
	TOWN OF ROLESVILLE	SUBDIVISION PLAT	24-XX
NETH CAP	DEVELOPER: Crosland Southeast		
	ADDRESS: <u>121 West Trade Street</u>	eet, Ste 2550, Charlo	tte, NC 28202
ALL ALL ALLAND	PHONE:(704) 561-5200		
		SURVEY: BY OTHERS (Johnson, Mirmiran & Thompson)	APPROVED: BCF
KO KAMMININ	WWW.arkconsultinggroup.com	DRAWN: DLC	DATE: 9/3/2024
9/3/2024 ACG Dwg No. D-1525-PP	925-A Conference Dr., Greenville, NC 27858 (252) 558-0888	CHECKED: TGN	SCALE: 1" = 100'



GENERAL NOTES:

- 1. THIS ALTA/NSPS LAND TITLE SURVEY WAS PREPARED FOR THE BENEFIT OF WALLBROOK LANDCO, LLC. ITS SUCCESSORS AND/OR ASSIGNS AS THEIR INTERESTS MAY APPEAR, AND INVESTORS TITLE INSURANCE COMPANY.
- 2. THE PROPERTY AS SHOWN HEREON IS BASED ON A FIELD-RUN BOUNDARY SURVEY WITH A RAW CLOSURE OF 1:34,600.
- 3. THE IMPROVEMENTS SHOWN HEREON ARE BASED ON A FIELD-RUN PLANIMETRIC SURVEY PERFORMED BY JOHNSON, MIRMIRAN & THOMPSON FROM DECEMBER 2019 THROUGH MARCH 2020 AND REFLECTS SITE CONDITIONS AS OF THAT DATE.
- 4. ELEVATIONS ARE BASED ON NAVD88 DATUM.
- 5. THE SURVEY IS REFERENCED TO THE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM (NCSPCS), NORTH AMERICAN DATUM, 1983, 2001 ADJUSTMENT, NAD83(2001).
- 6. THE USE OF THE WORD CERTIFY OR CERTIFICATION CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OR FINDINGS WHICH ARE THE SUBJECT OF THE UNDERSIGNED PROFESSIONAL'S KNOWLEDGE, INFORMATION AND BELIEF, AND IN ACCORDANCE WITH THE COMMONLY ACCEPTED PROCEDURE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE EITHER EXPRESSED OR IMPLIED.
- 7. THE SUBJECT PROPERTY IS LOCATED IN FLOOD ZONE X, AREA OF MINIMAL FLOODING, AS SHOWN ON NATIONAL FLOOD INSURANCE RATE MAP (FIRM), WAKE COUNTY, NORTH CAROLINA, PANEL 1758. MAP NO. 3720175800J, EFFECTIVE DATE: MAY 2, 2006.
- 8. AT THE TIME OF THE SURVEY, THERE WERE NO PARKING SPACES.
- 9. AT THE TIME OF THE SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF THE SITE BEING USED AS A SOLID WASTE DUMP, SUMP OR LANDFILL.
- 10. AT THE TIME OF THE SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF A CEMETERY.
- 11. AT THE TIME OF THE SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF BUILDING CONSTRUCTION OR BUILDING ADDITIONS.

AREA TABULATION

<u>MATCH</u> LINE

PARCEL	PIN#	NET (AC.)	GROSS (AC.)
Α	1758-48-9229	0.828	0.828
В	1758-58-2090	10.742	11.168
С	1758-56-8976	42.324	44.100
D	1758-45-8905	15.024	15.024
	TOTALS:	68.918	71.120

RECORD_LEGAL_DESCRIPTIONS_FOR_TAX_PARCELS_1758-48-9229 & 1758-58-2090:

PER INVESTORS TITLE INSURANCE COMPANY, TITLE COMMITMENT NO. 201800776CA2, WITH AN EFFECTIVE DATE OF SEPTEMBER 14, 2018 AT 5:00 P.M.

IN THE STATE OF NC. COUNTY OF WAKE,

PARCEL ONE (REID #: 0224145) (PIN #1758-58-2090) (PARCEL 'B'): BEING LOT 2-3, CONTAINING 10.723 NET ACRES, AS THE SAME IS SHOWN ON THAT PLAT RECORDED IN BOOK OF MAPS 1996, PAGE 1582, WAKE COUNTY REGISTRY.

PARCEL TWO (REID #: 0092211) (PIN #1758-48-9229) (PARCEL 'A'): BEING THAT PARCEL DESCRIBED AS FOLLOWS:

BEGINNING AT A STAKE IN THE EDGE OF THE ROLESVILLE-WALKERS CROSSROAD ROAD, CORNER OF O. V. WIGGINS: THENCE IN A SOUTHWESTERN DIRECTION ABOUT 300 FEET TO A STAKE AND W. H. MARSHALL'S LINE; THENCE IN A NORTHWESTERN DIRECTION 246 FEET WITH MARSHALL'S LINE TO THE EDGE OF THE ROAD; THENCE IN AN EASTERN DIRECTION WITH SAID ROAD ABOUT 410 FEET TO THE POINT OF BEGINNING, CONTAINING $\frac{1}{6}$ OF AN ACRE BY ESTIMATION. BEING A PART OF THE LAND FORMERLY OWNED BY JAMES WALL.

RECORD LEGAL DESCRIPTIONS FOR TAX PARCELS 1758-56-8976 & 1758-45-8905:

PER INVESTORS TITLE INSURANCE COMPANY, TITLE COMMITMENT NO. 201800751CA2, WITH AN EFFECTIVE DATE OF SEPTEMBER 10, 2018 AT 5:00 P.M.

IN THE STATE OF NC, COUNTY OF WAKE,

TRACT 1 (PIN #1758-56-8976) (PARCEL 'C'):

BEING ALL OF TRACT 2A (2.894 ACRES) AND TRACT 3 (41.221 ACRES) AS SHOWN ON PLAT ENTITLED "RECOMBINATION SURVEY FOR TOMMY TWITTY" DATED NOVEMBER 17, 1995, PREPARED BY W. GRAHAM HAWTHORNE, JR., RLS AND RECORDED IN BOOK OF MAPS 1995, PAGE 2034. WAKE COUNTY REGISTRY.

LESS AND EXCEPT FROM TRACT 1 THAT 0.175 ACRE PORTION AS CONVEYED TO THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION IN DEED RECORDED IN BOOK 14395, PAGE 2080, WAKE COUNTY REGISTRY.

TRACT 2 (PIN #1758-45-8905) (PARCEL 'D'):

BEING ALL OF TRACT 2 (15.057 ACRE) AS SHOWN ON PLAT ENTITLED "RECOMBINATION MAP OF BOBBY L. MURRAY TRUST. TRACTS 1 & 2" DATED NOVEMBER 7, 2002, PREPARED BY MICHAEL D. GOODFRED, RLS. AND RECORDED IN BOOK OF MAPS 2005, PAGES 1195 AND 1196. WAKE COUNTY REGISTRY.

LESS AND EXCEPT FROM TRACT 2 THAT 0.03 ACRE PORTION AS CONVEYED TO CARLTON GROUP OF NORTH CAROLINA, LLC IN DEED RECORDED IN BOOK 13993, PAGE 2591, WAKE COUNTY REGISTRY.

SCHEDULE B. PART II EXCEPTIONS:

PER INVESTORS TITLE INSURANCE COMPANY, TITLE COMMITMENT NO. 201800776CA2, WITH AN EFFECTIVE DATE OF SEPTEMBER 14, 2018 AT 5:00 P.M.

- 1. (ITEM 3) MATTERS SHOWN ON RECORDED BOOK OF MAPS 1996 AT PAGE 1582 SHOWS THE FOLLOWING LOCATED ON THE LAND:
 - (a) OVERHEAD LINES [PLOTTED HEREON] (b) POWER POLE [PLOTTED HEREON] (c) RIGHT OF WAY FOR U.S. HWY 401 LOUISBURG ROAD [PLOTTED HEREON]
- 2. (ITEM 4) EASEMENT(S) AND/OR RIGHT(S) OF WAY RECORDED IN

SCHEDULE B. PART II EXCEPTIONS:

PER INVESTORS TITLE INSURANCE COMPANY, TITLE COMMITMENT NO. 201800751CA2, WITH AN EFFECTIVE DATE OF SEPTEMBER 10, 2018 AT 5:00 P.M.

- 3. (ITEM 2) TITLE TO THAT PORTION OF THE LAND WITHIN THE RIGHT-OF-WAY OF U.S. HIGHWAY 401 (LOUISBURG ROAD). [PLOTTED HEREON
- 4. (ITEM 3) RIGHTS OF OTHERS THERETO ENTITLED IN AND TO THE CONTINUED UNINTERRUPTED FLOW OF THE CREEK, LOCATED ON THE LAND. [CREEK LOCATION PLOTTED HEREON]
- 5. (ITEM 4) ELECTRIC LINE RIGHT-OF-WAY EASEMENT TO WAKE ELECTRIC MEMBERSHIP CORPORATION RECORDED IN BOOK 3868 AT PAGE 917. [PLOTTED HEREON]
- AS TO TRACT 1 ONLY (PIN #1758-56-8976): 6. (ITEM 8) SUBJECT TO MATTERS SHOWN ON RECORDED BOOK OF
- MAPS 1995 AT PAGE 2034 SHOWS THE FOLLOWING LOCATED ON THE LAND: (a) OVERHEAD LINE [PLOTTED HEREON] (b) POWER POLE [PLOTTED HEREON]
- (ITEM 9) EASEMENT(S) TO WAKE ELECTRIC MEMBERSHIP CORPORATION RECORDED IN BOOK 863 AT PAGES 211 AND 212. [BLANKET EASEMENT – EXISTING ELECTRIC LINES PLOTTED HEREON]
- 8. (ITEM 10) RURAL LINE PERMIT TO CAROLINA TELEPHONE AND TELEGRAPH COMPANY RECORDED IN BOOK 1338 AT PAGES 143 AND 145. [LOCATIONS CANNOT BE DETERMINED FROM THE RECORD DOCUMENT, EXISTING POLES AND GUY WIRES PLOTTED HEREON]
- 9. (ITEM 11) SLOPE EASEMENT RECORDED IN BOOK 14395 AT PAGE 2087 AS SHOWN ON PLAT RECORDED IN BOOK OF MAPS 2011 AT PAGE 383. [PLOTTED HEREON]
- AS TO TRACT 2 ONLY (PIN #1758-45-8905): 10. SUBJECT TO MATTERS SHOWN ON RECORDED BOOK OF MAPS 2005
- THE LAND: (a) UNDERGROUND SEWER MAIN MARKER [NOT FOUND]
- (b) POWER BOX [NOT FOUND] (c) RIGHTS OF OTHERS IN AND TO THE USE OF THE SOIL PATH (TO BE ABANDONED) [PATH NO LONGER VISIBLE]
- 11. (ITEM 13) DEED OF EASEMENT WITH GENERAL WARRANTY FOR WATERLINE EASEMENT TEMPORARY CONSTRUCTION EASEMENT RECORDED IN BOOK 16679 AT PAGE 132. [WATERLINE EASEMENT PLOTTED HEREON, TEMPORARY CONSTRUCTION EASEMENT NOT PLOTTED]
- 12. (ITEM 14) SANITARY SEWER EASEMENT RECORDED IN BOOK 10071 AT PAGE 2179 AS SHOWN ON PLAT RECORDED IN BOOK OF MAPS 2003 AT PAGE 647. [PLOTTED HEREON]
- 13. (ITEM 15) RESERVATION OF EASEMENT RECORDED IN BOOK 13993 AT PAGE 2591. [PLOTTED HEREON]
- 14. (ITEM 16) TITLE TO THAT PORTION OF THE LAND WITHIN THE RIGHT-OF-WAY OF S.R. 2226. [RIGHT OF WAY OF S.R. 2226 PLOTTED HEREON - PROPERTY DOES NOT EXTEND INTO RIGHT OF WAY1
- 15. (ITEM 17) RIGHT OF WAY AGREEMENT TO STATE HIGHWAY COMMISSION RECORDED IN BOOK 2052 AT PAGE 545. [RIGHT OF WAY OF S.R. 2226 PLOTTED HEREON]
- 16. (ITEM 18) RIGHTS OF OTHERS THERETO ENTITLED IN AND TO THE CONTINUED UNINTERRUPTED FLOW OF BRANCH/CREEK, LOCATED ON THE LAND. [BRANCH/CREEK LOCATION PLOTTED HEREON]

CUR	RE	NT ZO	NING	SETB	ACK R	EQUIREMENT	rs:
TAX TAX	PA PA	RCEL	1759 1758	-58- -56-	-8976:	R-1 R-1-SUD CO-SUD CO-SUD	(SIN (SIN (CO
		FRON	IT	SIDE	c c	ORNER	REA
R—1 CO		30' 20'		12' 15'		22' 25'	25' 35'

NOTE: ZONING INFORMATION BASED ON INFORMATION AS SUPPLIED BY CURRENT COUNTY ZONING DEPARTMENT. NO ZONING REPORT OR LETTER WAS PROVIDED TO SURVEYOR AT TIME OF SURVEY.

NE

BOOK 3868 AT PAGE 917 (PARCEL ONE). [PLOTTED HEREON]

AT PAGES 1195 AND 1196 SHOWS THE FOLLOWING LOCATED ON

PARCEL 'A' (PIN #1758-48-9229)

NEW LEGAL DESCRIPTIONS

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE TOWN OF ROLESVILLE, COUNTY OF WAKE, STATE OF NORTH CAROLINA, DESCRIBED AS FOLLOWS:

BEGINNING AT A FOUND IRON PIPE MARKING THE NORTHWEST CORNER OF LOT 2-3 AS SAID LOT IS SHOWN AND SO DESIGNATED ON THAT CERTAIN PLAT ENTITLED "RECOMBINATION SURVEY FOR TOMMY TWITTY, TRACTS 2-2 & 2-3, TWITTY PROP.", BY W. GRAHAM CAWTHORNE, JR., RLS, DATED NOVEMBER 17, 1995, REVISED JANUARY 12, 1996 AND RECORDED IN BOOK OF MAPS 1996, PAGE 1582, WAKE COUNTY RECORDS, SAID PIPE ALSO BEING ON THE EAST LINE OF TRACT #3 AS SAID TRACT IS SHOWN AND SO DESIGNATED ON THAT CERTAIN PLAT ENTITLED "W. H. MARSHALL ESTATE", BY C. W. RUSSUM, RLS, DATED JULY, 1961 AND RECORDED IN BOOK OF MAPS 1961, PAGE 97, WAKE COUNTY RECORDS; THENCE ALONG SAID EAST LINE OF TRACT 3 NO1*11'04"W 240.24' TO AN IRON PIPE ON THE SOUTHWEST RIGHT OF WAY LINE OF BURLINGTON MILLS ROAD (S.R. 2051); THENCE ALONG SAID SOUTHWEST RIGHT OF WAY LINE THE FOLLOWING FOUR COURSES: (1) S47°12'51"E 130.81'; (2) ALONG THE ARC OF A TANGENT CURVE TO THE LEFT, CONCAVE TO THE NORTHEAST, HAVING A RADIUS OF 600.00', THROUGH A CENTRAL ANGLE OF 26'22'04", AN ARC LENGTH OF 276.12' AND BEING SUBTENDED BY A CHORD BEARING S60'23'53"E 273.69'; (3) S75'02'10"E 50.12'; AND (4) S77'31'31"E 22.85' TO THE NORTH LINE OF AFORESAID LOT 2-3; THENCE ALONG SAID NORTH LINE OF LOT 2-3 N89'45'02"W 399.74' TO THE POINT OF BEGINNING.

CONTAINING 0.828 ACRES, MORE OR LESS.

<u>PARCEL 'B'</u> (PIN #1758-58-2090)

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE TOWN OF ROLESVILLE, COUNTY OF WAKE, STATE OF NORTH CAROLINA, DESCRIBED AS FOLLOWS:

BEGINNING AT A FOUND IRON PIPE MARKING THE SOUTHWEST CORNER OF PARCEL 2 AS SAID PARCEL IS DESCRIBED IN DEED BOOK 15498, PAGE 1302, WAKE COUNTY RECORDS; THENCE ALONG THE SOUTH LINE OF SAID PARCEL 2 S89'45'02"E 399.74' TO THE SOUTHWEST RIGHT OF WAY LINE OF BURLINGTON MILLS ROAD (S.R. 2051); THENCE CONTINUING S89'45'02"E 200.72' TO THE NORTHWEST CORNER OF LOT 2-4 AS SAID LOT IS SHOWN AND SO DESIGNATED ON THAT CERTAIN PLAT ENTITLED "RECOMBINATION SURVEY FOR TOMMY TWITTY, TRACTS 2-2 & 2-3, TWITTY PROP.", BY W. GRAHAM CAWTHORNE, JR., RLS, DATED NOVEMBER 17, 1995, REVISED JANUARY 12, 1996 AND RECORDED IN BOOK OF MAPS 1996. PAGE 1582. WAKE COUNTY RECORDS; THENCE ALONG THE SOUTHWEST LINE OF SAID LOT 2-4 S37'53'38"E 39.01' TO A FOUND BENT IRON PIPE AT AN ANGLE POINT IN THE SOUTH RIGHT OF WAY LINE OF BURLINGTON MILLS ROAD; THENCE CONTINUING S37'53'38"E 454.70' TO A FOUND IRON PIPE AT AN ANGLE POINT IN THE NORTHWEST RIGHT OF WAY LINE OF LOUISBURG ROAD (U.S. 401): THENCE CONTINUING S37'53'38"E 45.31' TO THE CENTERLINE OF LOUISBURG ROAD: THENCE ALONG THE CENTERLINE OF SAID ROAD, ALONG THE ARC OF A CURVE TO THE LEFT. CONCAVE TO THE SOUTHEAST, HAVING A RADIUS OF 3,750.00' THROUGH A CENTRAL ANGLE OF 08'13'06", AN ARC LENGTH OF 537.89' AND BEING SUBTENDED BY A CHORD BEARING S41'12'09"W 537.43': THENCE LEAVING SAID CENTERLINE, ALONG THE NORTHEAST LINE OF LOTS 1 AND 2 AS SAID LOTS ARE SHOWN AND SO DESIGNATED ON THAT CERTAIN PLAT ENTITLED "SURVEY FOR GRAND PARK PROPERTIES. LOTS 1 AND 2", BY CAWTHORNE, MOSS & PANCIERA, P.C., DATED OCTOBER 7, 1998 AND RECORDED IN BOOK OF MAPS 1999, PAGE 1039, WAKE COUNTY RECORDS, N49'16'09"W 479.09' TO A FOUND IRON PIPE MARKING AN ANGLE POINT IN SAID LOT 2; THENCE CONTINUING ALONG THE NORTHEAST LINE OF SAID LOT 2 N66'40'58"W 215.40' TO A FOUND IRON PIPE AT THE NORTHWEST CORNER THEREOF. SAID PIPE ALSO BEING ON THE EAST LINE OF TRACT #3 AS SAID TRACT IS SHOWN AND SO DESIGNATED ON THAT CERTAIN PLAT ENTITLED "W. H. MARSHALL ESTATE", BY C. W. RUSSUM, RLS. DATED JULY, 1961 AND RECORDED IN BOOK OF MAPS 1961, PAGE 97, WAKE COUNTY RECORDS: THENCE ALONG SAID EAST LINE OF TRACT 3 NO1'36'18"W 428.68' TO THE POINT OF BEGINNING.

THIS PARCEL IS THE SAME AS LOT 2-3 AS SHOWN AND SO DESIGNATED ON THAT CERTAIN PLAT ENTITLED "RECOMBINATION SURVEY FOR TOMMY TWITTY. TRACTS 2-2 & 2-3, TWITTY PROP.". BY W. GRAHAM CAWTHORNE, JR., RLS. DATED NOVEMBER 17, 1995, REVISED JANUARY 12, 1996 AND RECORDED IN BOOK OF MAPS 1996, PAGE 1582. WAKE COUNTY RECORDS.

CONTAINING 11.168 ACRES, MORE OR LESS.

NEW LEGAL DESCRIPTIONS

PARCEL 'C' (PIN #1758-56-8976)

AS FOLLOWS:

BEGINNING AT A FOUND IRON PIPE MARKING THE NORTHEAST CORNER OF TRACT 2 AS SAID TRACT IS SHOWN AND SO DESIGNATED ON THAT CERTAIN PLAT ENTITLED "RECOMBINATION MAP OF BOBBY L. MURRAY TRUST, TRACTS 1+2", BY KENNETH CLOSE, INC., DATED NOVEMBER 7 2002 AND RECORDED IN BOOK OF MAPS 2005, PAGES 1195 AND 1196, WAKE COUNTY RECORDS; THENCE ALONG THE NORTH LINE OF SAID TRACT 2 N75"27'01"W 704.12' TO A FOUND IRON PIPE ON THE SOUTHEAST RIGHT OF WAY LINE OF LOUISBURG ROAD (U.S. 401); THENCE CONTINUING N75'27'01"W 32.34' TO THE CENTERLINE OF LOUISBURG ROAD; THENCE ALONG THE CENTERLINE OF SAID ROAD N36'33'22"E 1,116.98'; THENCE CONTINUING ALONG SAID CENTERLINE ALONG THE ARC OF A TANGENT CURVE TO THE RIGHT, CONCAVE TO THE SOUTHEAST, HAVING A RADIUS OF 3,750.00', THROUGH A CENTRAL ANGLE OF 18'18'05", AN ARC LENGTH OF 1,197.82' AND BEING SUBTENDED BY A CHORD BEARING N45'42'25"E 1,192.73'; THENCE LEAVING SAID CENTERLINE S89'44'38"E 134.33' TO AN ANGLE POINT IN THE SOUTHWEST LINE OF THAT CERTAIN PARCEL DESCRIBED IN DEED BOOK 6821, PAGE 005, WAKE COUNTY RECORDS; THENCE ALONG THE SOUTHWEST LINE OF SAID PARCEL AND ALONG THE WEST LINE OF WALL CREEK SUBDIVISION, PHASES 2, 4 AND 5-A AS RECORDED IN BOOK OF MAPS 1997, PAGE 1162, BOOK OF MAPS 2001, PAGE 628 AND BOOK OF MAPS 2002, PAGE 825, WAKE COUNTY RECORDS, S03'05'32"W 2,131.93' TO A POINT ON THE NORTH LINE OF CARLTON POINTE SUBDIVISION, PHASE I AS RECORDED IN BOOK OF MAPS 2008, PAGES 5 TO 10, WAKE COUNTY RECORDS; THENCE ALONG SAID NORTH LINE OF CARLTON POINTE SUBDIVISION N75°27'01"W 852.86' TO THE POINT OF BEGINNING.

THIS PARCEL IS THE SAME AS TRACTS 2A AND 3 AS SHOWN AND SO DESIGNATED ON THAT CERTAIN PLAT ENTITLED "RECOMBINATION SURVEY FOR TOMMY TWITTY", BY W. GRAHAM CAWTHORNE, JR., RLS, DATED NOVEMBER 17, 1995 AND RECORDED IN BOOK OF MAPS 1995, PAGE 2034, WAKE COUNTY RECORDS.

CONTAINING 44.100 ACRES, MORE OR LESS.

<u>PARCEL 'D'</u> (PIN #1758-45-8905)

AS FOLLOWS:

BEGINNING AT A FOUND IRON PIPE ON THE SOUTH LINE OF TRACT 3 AS SAID TRACT IS SHOWN AND SO DESIGNATED ON THAT CERTAIN PLAT ENTITLED "RECOMBINATION SURVEY FOR TOMMY TWITTY", BY W. GRAHAM CAWTHORNE, JR., RLS, DATED NOVEMBER 17, 1995 AND RECORDED IN BOOK OF MAPS 1995, PAGE 2034, WAKE COUNTY RECORDS, SAID PIPE ALSO BEING AN ANGLE POINT IN THE NORTHWEST LINE OF CARLTON POINTE SUBDIVISION, PHASE I AS RECORDED IN BOOK OF MAPS 2008, PAGES 5 TO 10, WAKE COUNTY RECORDS; THENCE ALONG THE NORTHWEST LINE OF SAID CARLTON POINTE SUBDIVISION S36'44'45"W 877.98' TO AN ANGLE POINT: THENCE CONTINUING ALONG SAID NORTHWEST LINE AND ALONG THE NORTH LINE OF LOTS 1, 2 AND 3 AS SAID LOTS ARE SHOWN AND SO DESIGNATED ON THAT CERTAIN PLAT ENTITLED "SUBDIVISION PLAT FOR BARRETT VENTURES, LLC", BY CAWTHORNE, MOSS & PANCIERA, P.C., DATED APRIL 4, 2007 AND RECORDED IN BOOK OF MAPS 2008, PAGE 702, WAKE COUNTY RECORDS, S87'10'58"W 737.24' TO AN ANGLE POINT IN THE EAST RIGHT OF WAY LINE OF JONESVILLE ROAD (S.R. 2226) AND THE SOUTHEAST CORNER OF THAT CERTAIN PARCEL DESCRIBED IN DEED BOOK 13993, PAGE 2591, WAKE COUNTY RECORDS; THENCE ALONG THE EAST LINE OF SAID PARCEL N02'07'15"W 48.32': THENCE CONTINUING ALONG SAID EAST LINE, ALONG THE ARC OF A CURVE TO THE LEFT, CONCAVE TO THE WEST, HAVING A RADIUS OF 123.92' THROUGH A CENTRAL ANGLE OF 30°27'05". AN ARC LENGTH OF 65.86' AND BEING SUBTENDED BY A CHORD BEARING N17'21'49"W 65.09' TO THE EAST RIGHT OF WAY LINE OF JONESVILLE ROAD; THENCE ALONG SAID EAST RIGHT OF WAY LINE NO3"10'03"W 17.67' TO THE SOUTHEAST RIGHT OF WAY LINE OF LOUISBURG ROAD (U.S. 401); THENCE ALONG SAID SOUTHEAST RIGHT OF WAY LINE THE FOLLOWING EIGHT COURSES: (1) N41°10'16"E 41.30'; (2) N40°37'47"E 49.15'; (3) N39°31'43"E 50.83'; (4) N38°52'58"E 49.80'; (5) N38°22'04"E 50.40'; (6) N37°17'31"E 50.37'; (7) N36°44'45"E 304.20'; AND (8) N36°27'57"E 396.53' TO A FOUND IRON PIPE ON THE SOUTH LINE OF THE AFORESAID TRACT 3; THENCE ALONG SAID SOUTH LINE OF TRACT 3 S75'27'01"E 704.12' TO THE POINT OF BEGINNING.

CONTAINING 15.024 ACRES. MORE OR LESS.

NGLE FAMILY RESIDENTIAL) INGLE FAMILY RESIDENTIAL SPECIAL USE DISTRICT) DMMERCIAL OUTLYING SPECIAL USE DISTRICT)

AR

(SETBACKS INCLUDE SPECIAL USE DISTRICTS)

SURVEYOR'S CERTIFICATION:

TO WALLBROOK LANDCO. LLC, ITS SUCCESSORS AND/OR ASSIGNS AS THEIR INTERESTS MAY APPEAR, AND INVESTORS TITLE INSURANCE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS. AND INCLUDES ITEMS 1, 2, 3, 4, 6A, 7A, 7B1, 8, 9, 11, 13, 16 AND 17 OF TABLE "A" THEREOF. THE FIELDWORK WAS COMPLETED ON MARCH 6, 2020.

WILLIAM T. ROBBINS, II

P.L.S. #L-4192

10/1/2020 DATE

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE TOWN OF ROLESVILLE, COUNTY OF WAKE, STATE OF NORTH CAROLINA, DESCRIBED

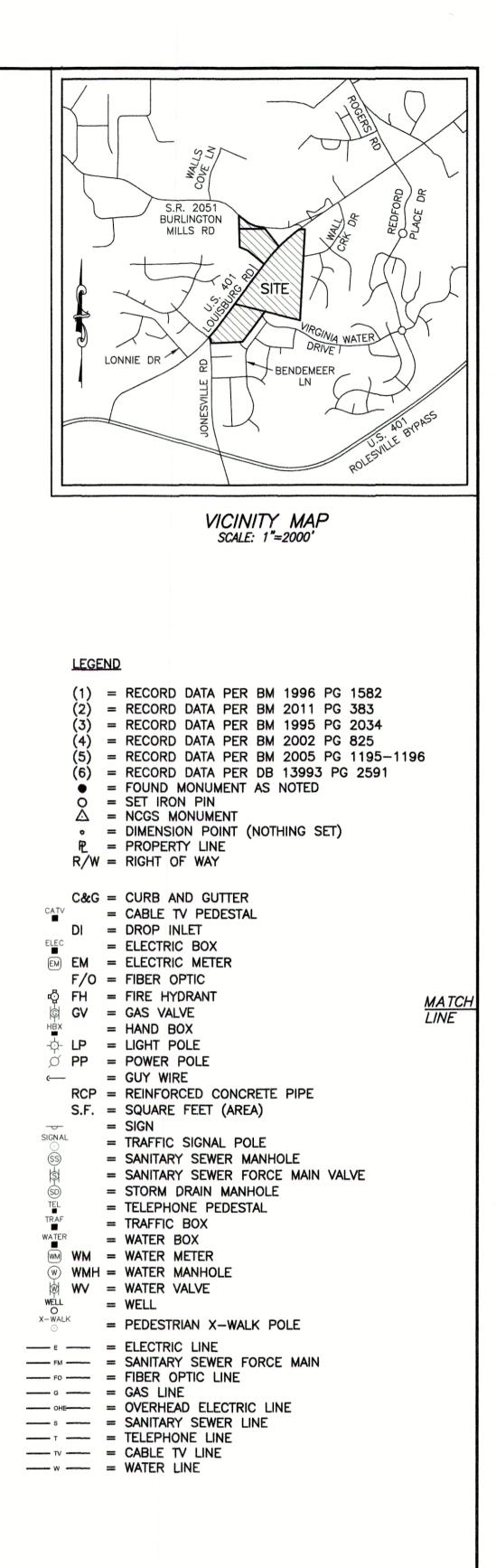
ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE TOWN OF ROLESVILLE, COUNTY OF WAKE, STATE OF NORTH CAROLINA, DESCRIBED

FESSIC

L-4192

SURVI.

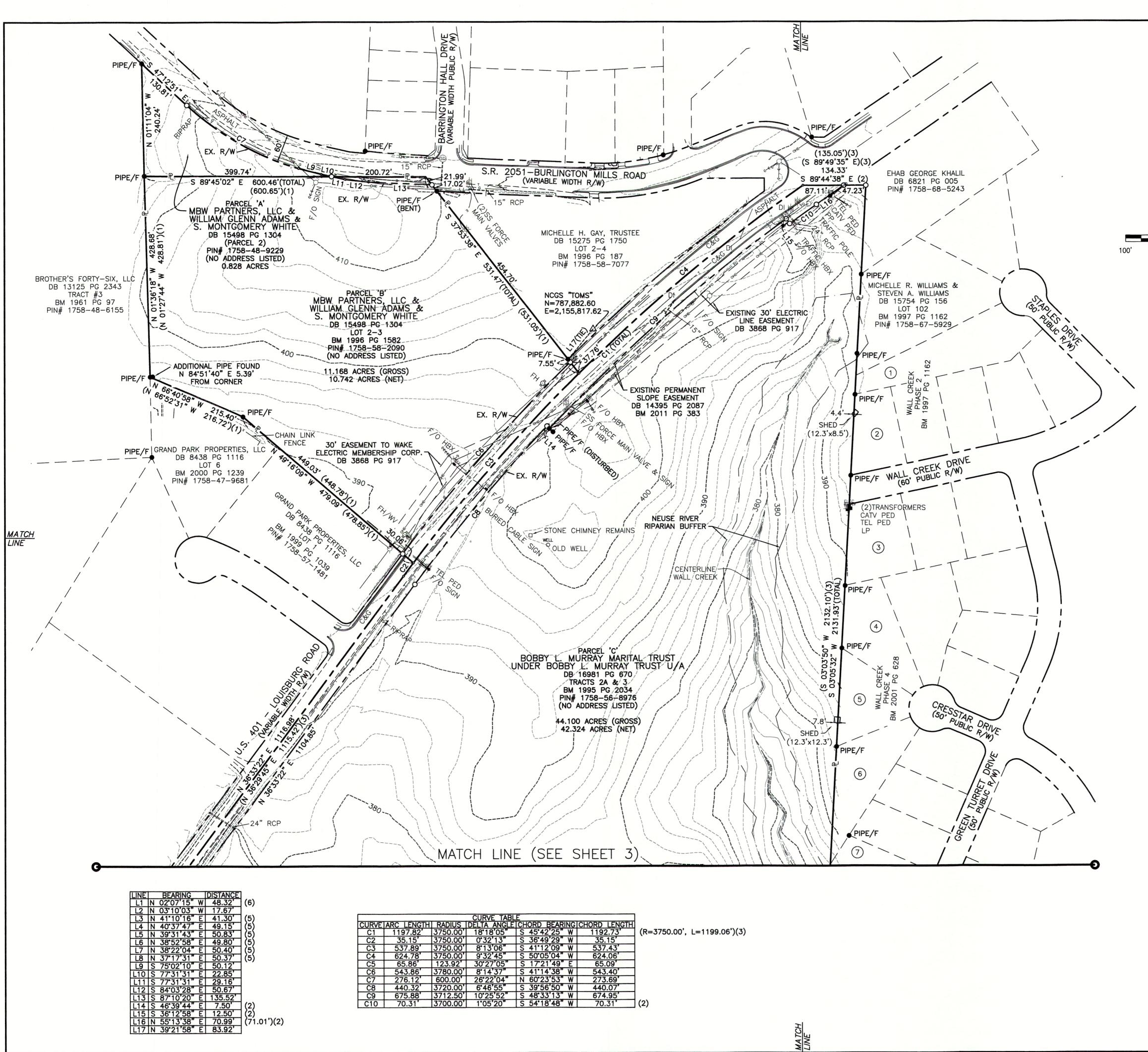
SEAL



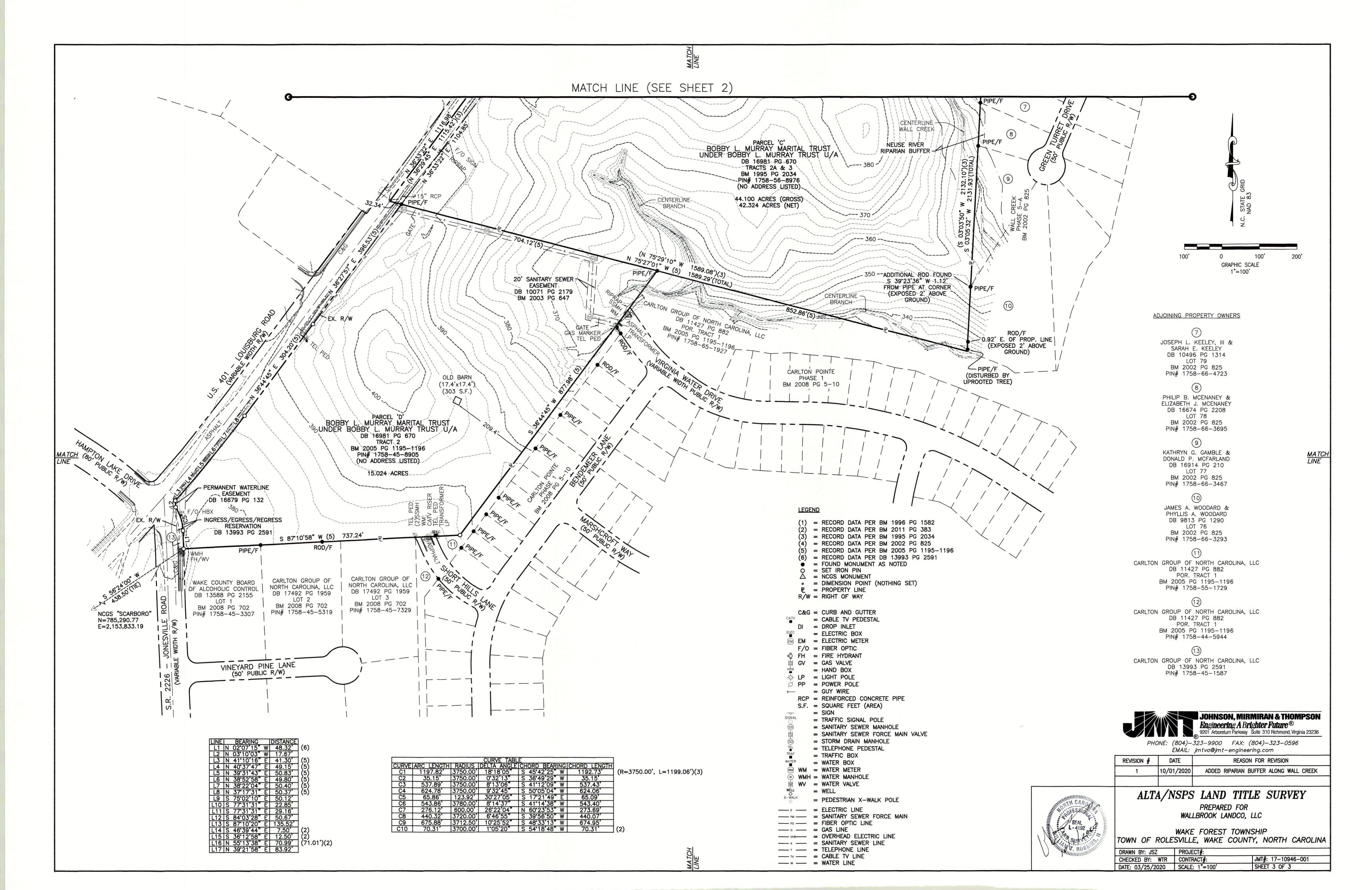
РНС	NE: (804)-	JOHNSON, MIRMIRAN & THOMPSON Engineering A Brighter Future [®] 9201 Arboretum Parkway Suite 310 Richmond, Virginia 23236 323–9900 FAX: (804)–323–0596 jmtva@jmt-engineering.com
REVISION #	DATE	REASON FOR REVISION
1	10/01/2020	ADDED RIPARIAN BUFFER ALONG WALL CREEK
ALTA	A/NSPS	S LAND TITLE SURVEY
	WAL	PREPARED FOR LBROOK LANDCO, LLC
and and the local data and the	ROLESVILL	E FOREST TOWNSHIP E, WAKE COUNTY, NORTH CAROLINA
DRAWN BY: JSZ	NAMES OF TAXABLE PARTY AND ADDRESS OF TAXABLE PARTY.	
CHECKED BY:	WTR CONTR	RACT#: JMT#: 17-10946-001

SHEET 1 OF 3

DATE: 03/25/2020 SCALE: 1"=100'



O 100' 200' GRAPHIC SCALE	
1"=100' ADJOINING PROPERTY OWNERS (1) RODERICK BLACKWELL & CHRISTINE BLACKWELL DB 8769 PG 1894 LOT 101 BM 1997 PG 1162 PIN# 1758-67-6836 (2) CHARLES CULBERTSON & TERESA CULBERTSON & TERESA CULBERTSON & TERESA CULBERTSON & DB 17393 PG 896 LOT 96 BM 1997 PG 1162 PIN# 1758-67-4619	LEGEND (1) = RECORD DATA PER BM 1996 PG 1582 (2) = RECORD DATA PER BM 2011 PG 383 (3) = RECORD DATA PER BM 2021 PG 383 (4) = RECORD DATA PER BM 1995 PG 2034 (4) = RECORD DATA PER BM 2002 PG 825 (5) = RECORD DATA PER BM 2005 PG 1195–1196 (6) = RECORD DATA PER BM 2005 PG 2591 • = FOUND MONUMENT AS NOTED O = SET IRON PIN Δ = NCGS MONUMENT • = DIMENSION POINT (NOTHING SET) $P_{\rm c}$ = PROPERTY LINE R/W = RIGHT OF WAY
(3) ANTONIO G. CATTARUZZA & SHELIA B. CATTARUZZA DB 8149 PG 422 LOT 92 BM 1997 PG 1162 PIN# 1758-67-4416 (4) JOHN DANIEL BONO, III & SABRINA MICHELE BONO DB 13369 PG 2170 LOT 85 BM 2001 PG 628 PIN# 1758-67-4204 (5) RONALD G. PATTERSON & LAURA A. PATTERSON DB 10087 PG 2409 LOT 84 BM 2001 PG 628 PIN# 1758-67-4100 (6) MICHAEL A. HADDER & JENNIFER H. HADDER DB 16143 PG 2477 LOT 83 BM 2001 PG 628 PIN# 1758-66-3984 (7) JOSEPH L. KEELEY, III & SARAH E. KEELEY DB 10496 PG 1314 LOT 79 BM 2002 PG 825 PIN# 1758-66-4723	C&G = CURB AND GUTTER CARUE TV PEDESTAL DI = DROP INLET EFC = ELECTRIC BOX MATCH EM = ELECTRIC METER F/O = FIBER OPTIC GV = GAS VALVE HMX HAND BOX C P = LIGHT POLE Ø PP = POWER POLE Ø PP = REINFORCED CONCRETE PIPE S.F. = SQUARE FEET (AREA) SIGN WM WATRATR MANHOLE <t< th=""></t<>
STATES ST	JOHNSON, MIRMIRAN & THOMPSON Engineering A Brighter Future® 9201 Arboretum Parkway Suite 310 Richmond, Virginia 23236 PHONE: (804)-323-9900 FAX: (804)-323-0596 EMAIL: imtva@jmt-engineering.com REVISION # DATE REVISION # DATE REASON FOR REVISION 1 10/01/2020 ADDED RIPARIAN BUFFER ALONG WALL CREEK MEEPARED FOR WALLBROOK LANDD TITLE SURVEY PREPARED FOR WALLBROOK LANDCO, LLC WAKE FOREST TOWNSHIP TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA DRAWN BY: JSZ PROJECT#: CHECKED BY: WIR CONTRACT#: JMT#: 17-10946-001 DATE: 03/25/2020 SCALE: 1*=100' SHEET 2 OF 3



General Notes

- 1. CONSTRUCTION PLAN APPROVAL FROM TOWN OF ROLESVILLE AND RALEIGH WATER SHALL BE OBTAINED PRIOR TO CONSTRUCTION OF ANY STREET, WATER, AND/OR SANITARY SEWER AND STORM DRAINAGE SYSTEMS. 2. ALL REQUIRED IMPROVEMENTS SHALL CONFORM TO THE TOWN OF ROLESVILLE
- AND RALEIGH WATER STANDARD DESIGNS AND DETAILS.
- 3. ALL LOTS SHALL EQUAL OR EXCEED THE MINIMUM DEVELOPMENT STANDARDS OF THE TOWN OF ROLESVILLE LAND DEVELOPMENT ORDINANCE.
- 4. ELECTRIC SERVICE PROVIDED BY DUKE ENERGY
- 5. WATER AND SANITARY SEWER SERVICE IS PROVIDED BY RALEIGH WATER. 6. ELECTRIC AND TELEPHONE UTILITIES SHALL BE INSTALLED UNDERGROUND.
- STREET LIGHTS TO BE INSTALLED BY DUKE ENERGY.
- 8. DEPRESS CURBS FOR HANDICAP RAMPS AT STREET INTERSECTIONS THAT HAVE
- SIDEWALKS. EROSION CONTROL PLAN APPROVAL REQUIRED PRIOR TO CONSTRUCTION.
- 10. STORMWATER MANAGMEMENT PLAN APPROVAL REQUIRED PRIOR TO CONSTRUCTION.
- 11. STORMWATER MASTER PLAN LIMITS IMPERVIOUS AREA TO 85% OF CUMULATIVE LOT AREA FOR LOTS 3, 4, 5, 9, 10 & 11.
- 12. STORMWATER MANAGEMENT WILL BE PROVIDED FOR LOTS 1-5 & 9-11 VIA
- STORMWATER MANAGEMENT CONTROL MEASURE #1 LOCATED ON LOT 1C. 13. STORMWATER MANAGEMENT FOR LOT 7 WILL BE PROVIDED VIA STORMWATER
- CONTROL MEASURES LOCATED ON LOT 6. 14. STORMWATER MANAGEMENT FOR LOT 8 WILL BE PROVIDED ON SITE. ITS
- LOCATION IS TO BE DETERMINED AND WILL BE SHOWN ON A SUBSEQUENT SITE PLAN SUBMITTAL 15. HYDRAULIC ANALYSIS OF THE WATER MAINS ARE REQUIRED PRIOR TO
- CONSTRUCTION. 16. NO SEWER SERVICE SHALL BE PROVIDED FOR LOTS WITHIN THIS PROJECT UNTIL
- ALL MAINS AND SERVICES HAVE BEEN INSTALLED AND ACCEPTED FOR MAINTENANCE BY RALEIGH WATER.
- 17. STORM DRAIN PIPE SIZES ARE APPROXIMATE. FINAL SIZING, GRADES, ETC. SHALL BE SUBMITTED WITH CONSTRUCTION PLANS.
- 18. JURISDICTIONAL WETLANDS AND STREAMS SHOWN ON THIS PLAT ARE BASED UPON NC DWR STREAM DETERMINATIONS NBRRO #17-431 & #17-432 AND THE US ARMY CORP OF ENGINEERS SAW-2019-00873 AND SAW-2019-876.
- 19. NCDOT DRIVEWAY PERMITS ARE REQUIRED FOR ALL PROPOSED SITE DRIVEWAYS AND STREET CONNECTIONS TO US 401 BUSINESS (MAIN STREET). REQUIRED ROADWAY IMPROVEMENTS ALONG US 401 BUSINESS (MAIN STREET) ARE TO BE CONSTRUCTED AS PART OF NCDOT U-6241
- 20. BOUNDARY AND TOPOGRAPHICAL SURVEY INFORMATION SHOWN HEREON WAS TAKEN FROM A SURVEY PERFORMED BY GARY S. MILLER AND ASSOCIATES, P.A. ENTITLED JOHNSON, MIRMIRAN & THOMPSON ENTITLED "ALTA/NSPS LAND TITLE SURVEY PREPARED FOR C4 INVESTMENTS, LLC" DATED MARCH 10, 2020.
- 21. ELEVATIONS SHOWN ARE BASED ON NAVD 88 DATUM A 22. A PORTION OF THE PROPERTY IS LOCATED WITHIN FLOOD ZONE 'X', AREA OF MINIMAL FLOODING, AS SHOWN ON NATIONAL FLOOD INSURANCE RATE MAP (FIRM) NO. 3720175800K, PANEL 1758 EFFECTIVE DATE 7/19/2022.

Legend

 \overline{EM} EM = ELECTRIC METER

F/O = FIBER OPTIC🖗 FH 🛛 = FIRE HYDRANT GV = GAS VALVE= HAND BOX -☆- LP = LIGHT POLE

EXISTING

	=	FOUND MONUMENT AS NOTED
0	=	SET IRON PIN
Δ	=	NCGS MONUMENT
0	=	DIMENSION POINT (NOTHING SET)
Æ	=	PROPERTY LINE
R/W	=	RIGHT OF WAY
C&G	=	CURB AND GUTTER
	=	CABLE TV PEDESTAL
DI	=	DROP INLET
	=	ELECTRIC BOX
EM	=	ELECTRIC METER
F/0	=	FIBER OPTIC
FH	=	FIRE HYDRANT
GV	=	GAS VALVE

PROPOSED

- Ø PP = POWER POLE 🥧 🗕 🛛 🛏 🛏 RCP = REINFORCED CONCRETE PIPES.F. = SQUARE FEET (AREA)= SIGN = TRAFFIC SIGNAL POLE = SANITARY SEWER MANHOLE = SANITARY SEWER FORCE MAIN VALVE = STORM DRAIN MANHOLE = TELEPHONE PEDESTAL = TRAFFIC BOX = WATER BOX 🕅 WM = WATER METER WMH = WATER MANHOLE| w | W = WATER VALVE= WELL = PEDESTRIAN X-WALK POLE ------ = SANITARY SEWER FORCE MAIN ----- FO ----- = FIBER OPTIC LINE _____ G ____ = GAS LINE —— G — ---- = TELEPHONE LINE
- ----- = CABLE TV LINE______ = WATER LINE — w —— _____ F _____ = FIRE LINE = 8"ø water line ______ 8"W _____ = 12"ø WATER LINE _____ 12''W _____ --- RIP- RIPARIAN BUFFER ---- = TREELINE
- 50 = MAJOR CONTOUR (5')---- = MINOR CONTOUR (1')
 - = RIPARIAN BUFFER
 - = ACCESS AND UTILITY EASEMENT
 - = STORMWATER MAINT. EASEMENT
 - = RIGHT-OF-WAY TO BE DEDICATED : AS PART OF U-6241

— — — — RIP —

- — — — RIP -

HAMPTON LAKE DRIVE US 401 BUSINESS - MAIN ST. (VARIABLE WIDTH PUBLIC R/W) (3) (4) 30,490.23 SF 78,748.93 SF 0.70 AC 1.81 AC Δ MEL PRO (2) 85,907.20 SF 1.97 AC

N.C. STATE GRID I NAL

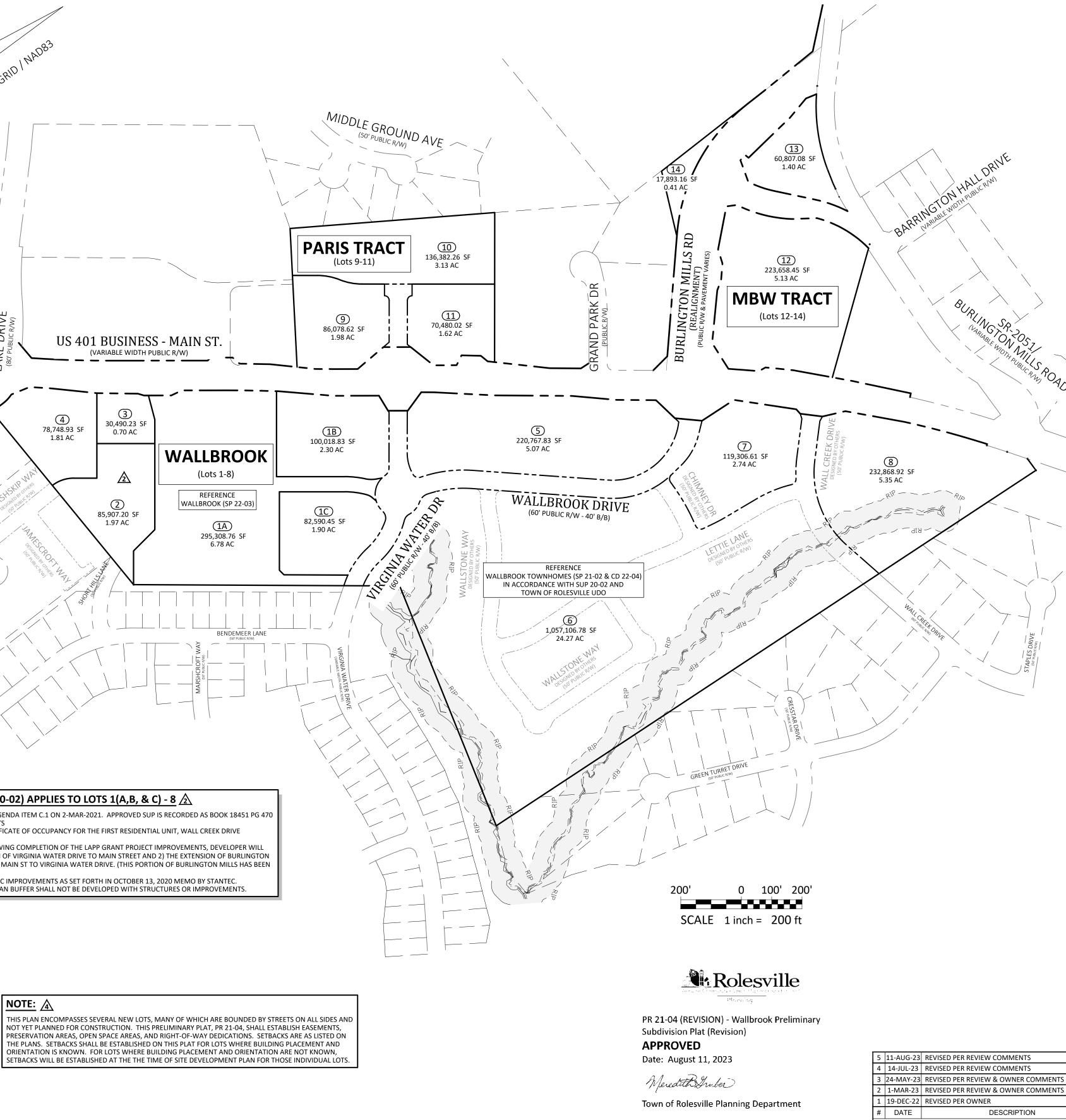
SPECIAL USE PERMIT (SU 20-02) APPLIES TO LOTS 1(A,B, & C) - 8 🖄

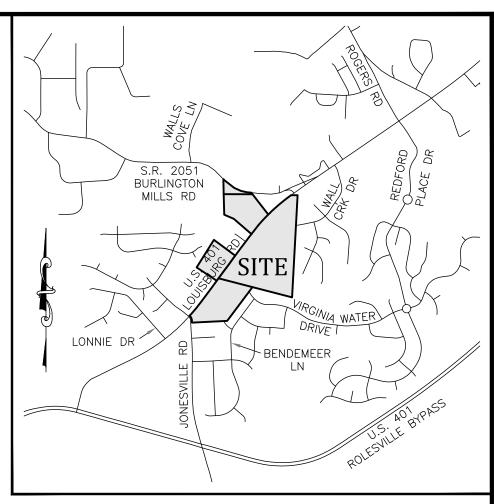
- PRESENTED TO TOWN BOARD AS AGENDA ITEM C.1 ON 2-MAR-2021. APPROVED SUP IS RECORDED AS BOOK 18451 PG 470 TOWNHOMES LIMITED TO 155 UNITS PRIOR TO ISSUANCE OF FIRST CERTIFICATE OF OCCUPANCY FOR THE FIRST RESIDENTIAL UNIT, WALL CREEK DRIVE
- EXTENSION MUST BE COMPLETE NO LATER THAN 6 MONTHS FOLLOWING COMPLETION OF THE LAPP GRANT PROJECT IMPROVEMENTS, DEVELOPER WILL
- COMPLETE BOTH 1) THE EXTENSION OF VIRGINIA WATER DRIVE TO MAIN STREET AND 2) THE EXTENSION OF BURLINGTON MILLS ROAD (AS REALIGNED) FROM MAIN ST TO VIRGINIA WATER DRIVE. (THIS PORTION OF BURLINGTON MILLS HAS BEEN
- RENAMED TO WALLBROOK DRIVE) DEVELOPER WILL COMPELTE TRAFFIC IMPROVEMENTS AS SET FORTH IN OCTOBER 13, 2020 MEMO BY STANTEC.
- AREAS EAST OF WALL CREEK RIPARIAN BUFFER SHALL NOT BE DEVELOPED WITH STRUCTURES OR IMPROVEMENTS.

NOTE: 🛕
THIS PLAN ENCOMPASSES SEVERAL NEW LOTS, M NOT YET PLANNED FOR CONSTRUCTION. THIS PR PRESERVATION AREAS, OPEN SPACE AREAS, AND THE PLANS. SETBACKS SHALL BE ESTABLISHED ON ORIENTATION IS KNOWN. FOR LOTS WHERE BUIL

WALLBROOK PRELIMINARY PLAT

Main Street and Virginia Water Drive, Town of Rolesville, Wake County, North Carolina ▲ ▲ Project No. PR21-04 REVISED





Vicinity Map

	Site Data 🛆	NTS
-	PIN NUMBERS:	1758-45-8905, 1758-56-8976
	REAL ESTATE ID:	76667, 76635
	CURRENT ZONING:	GC-CZ
Λ	ACREAGE IN TOTAL TRACT:	69.38± ACRES(55.4± WALLBROOK, 7.04± PARIS, & 6.94 MBW) (EXCLUDES DEDICATED R/W FOR NCDOT PROJ. U-6241)
Λ	NUMBER OF LOTS CREATED:	16
Λ	LINEAR FEET IN STREETS:	1,955± LF
	WATERSHED:	Lower Neuse
	RIVER BASIN:	Neuse
	CURRENT USE:	VACANT / WOODED
	PROPOSED USE(S):	NON-RESIDENTIAL/COMMERCIAL/RETAIL MULTI-FAMILY RESIDENTIAL
	CURRENT IMPERVIOUS:	0 SF
	PROPOSED IMPERVIOUS:	82,630 SF (1.9 AC±) - BUILDING AREAS 329,230 SF (7.5 AC±) - TRANSPORTATION AREAS <u>115,848 SF (2.7 AC±)</u> - TRANSPORTATION AREAS (PUBLIC) 445,078 SF (10.2 AC±) - TRANSPORTATION AREAS (TOTAL)
	DEVELOPMENT STANDARDS:	LDO
	OPEN SPACE CALCULATIONS:	REQUIRED NON-RESIDENTIAL - 25-50 ACRES = 5% OF DEVELOPMENT AREA 69.38 - 24.27 (LOT 6) - 2.84 (R/W) = 42.27 AC = DEVELOPMENT AREA 42.27 x 0.05 = 2.11 AC TO BE COMPRISED OF 1 SMALL & 1 MEDIUM AREA
		PROVIDED 1.36 AC = LOTS 1A, 1B, 3, 4, 5, 7, 8, 10, 11 - GREENWAY - (MEDIUM - 59,104 SF) 0.22 AC = LOT 8 - LINEAR PARK (MEDIUM - RIPARIAN AREA) 0.60 AC = LOT 8 - LINEAR PARK (MEDIUM - 26,261 SF) <u>0.33 AC</u> = LOTS 1A/1B - PLAZA (SMALL - 14,500 SF) 2.51 AC
		NOTE: TOWNHOMES CALCULATED SEPARATE AS THEY ARE BEING REVIEWED UNDER THE UDO & SUP 20-02.
	PARKING CALCULATIONS:	PARKING CALCS TO BE SHOWN ON SUBSEQUENT SITE PLAN(S)
	TREE PRESERVATION:	GROSS ACREAGE = 69.37 ACRES (WALLBROOK+PARIS+MBW)
		REQUIRED = 10% = 6.94 ACRES
		PROVIDED = 12.89% = 8.94 ACRES
		SEE TREE PRESERVATION PLAN (SHEET 11) FOR DETAILED BREAKDOWN

Sheet Index $\triangle \triangle$

<u>/2</u>

DESCRIPTION

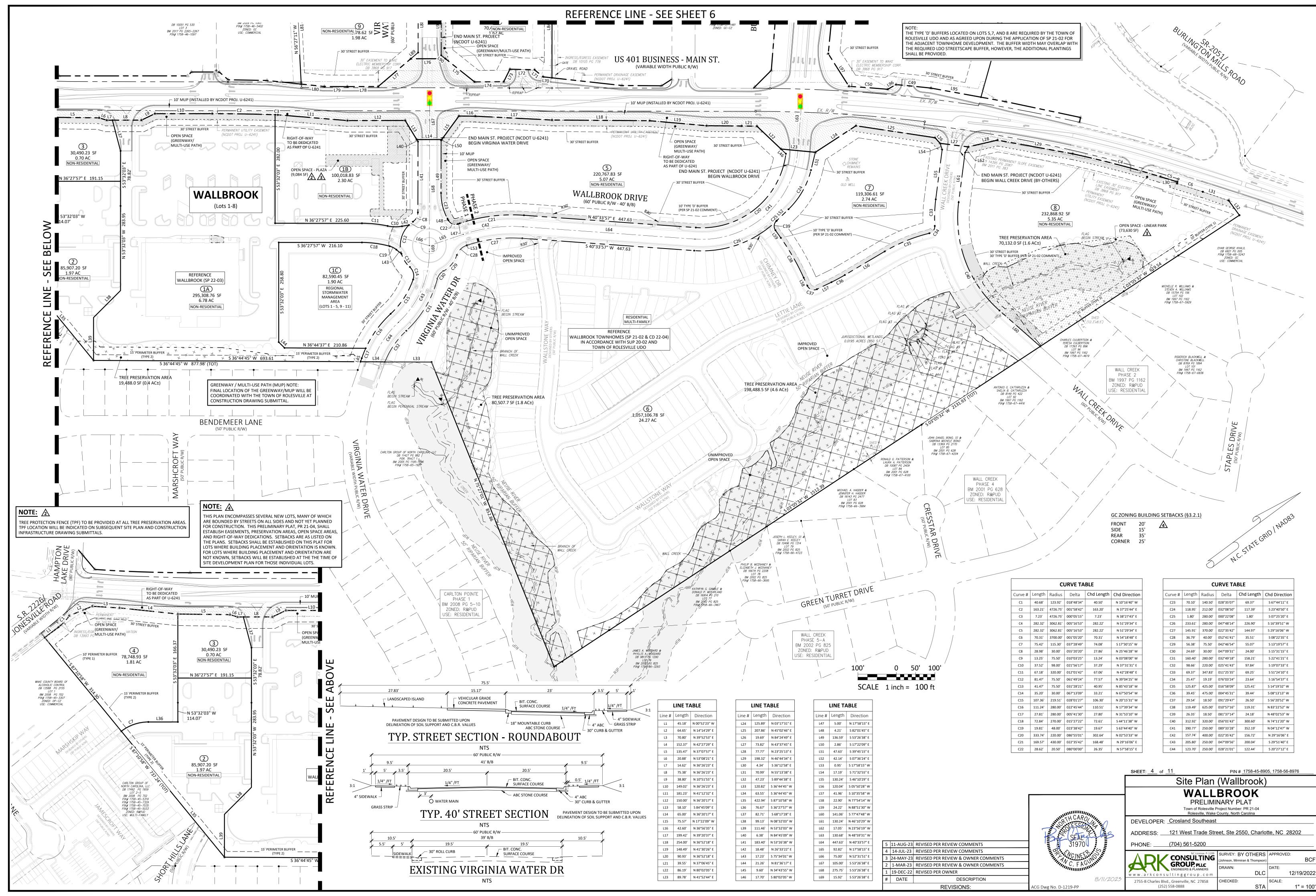
REVISIONS:

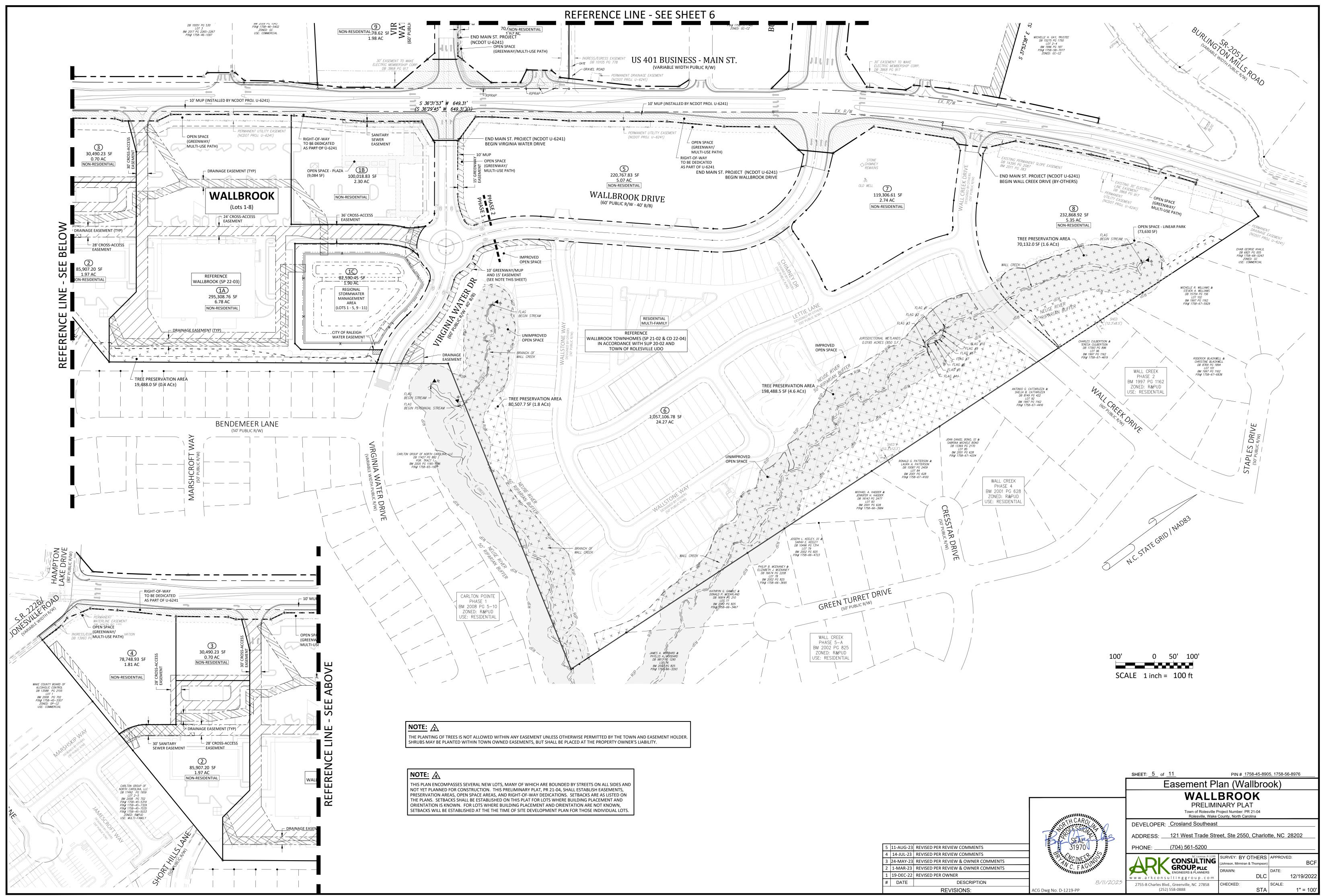
#	Title
1	Cover / Overall Site
2	Existing Conditions (Wallbrook)
3	Existing Conditions (Paris & MBW)
4	Site Plan (Wallbrook)
5	Easement Plan (Wallbrook)
6	Site & Easement Plan (Paris & MBW)
7	Utility Plan (Wallbrook)
8	Utility Plan (Paris & MBW)
9	Grading/Drainage Plan (Wallbrook)
10	Grading/Drainage Plan (Paris & MBW)
11	Tree Preservation Plan
	1 2 3 4 5 6 7 8 9 10

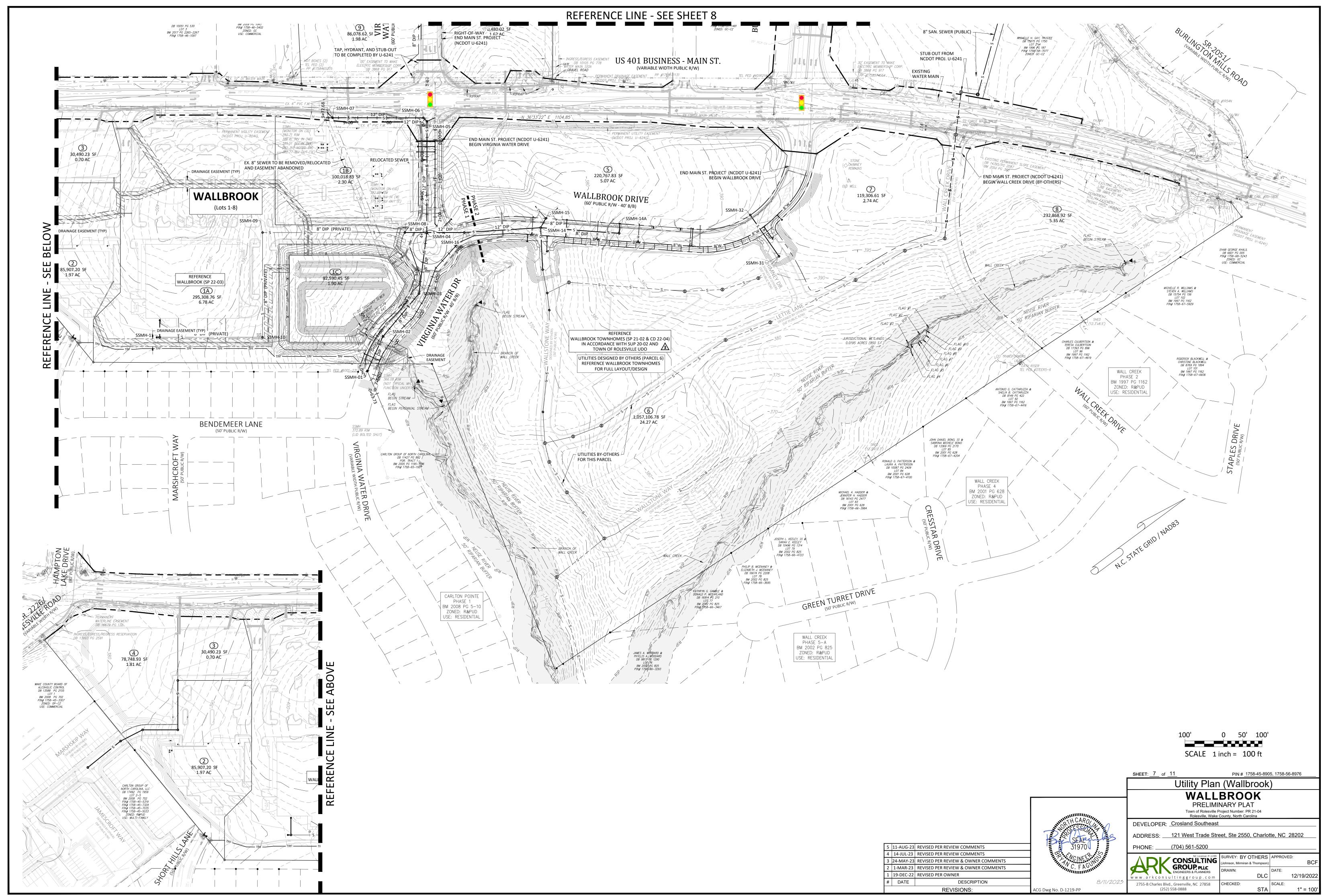
REF Survey - Johnson, Mirmiran & Thompson (5 Sheets) Survey Note:

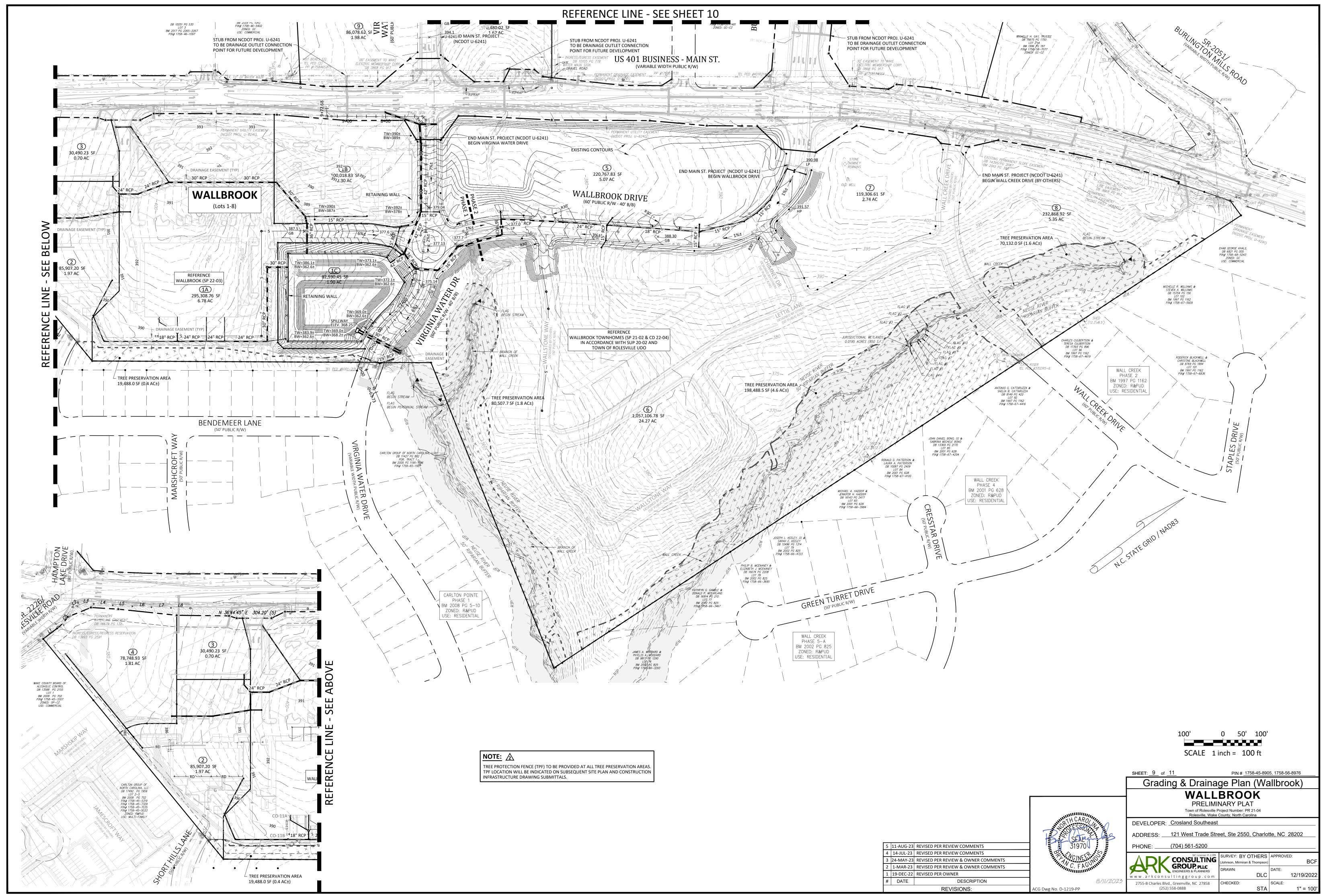
BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON WAS PREPARED BY JOHNSON, MIRMIRAN & THOMPSON, AS SHOWN ON DRAWING ENTITLED "ALTA/NSPS LAND TITLE SURVEY FOR WALLBROOK LANDCO, LLC", DATED MARCH 25, 2020, ATTACHED TO THIS DRAWING SET FOR REFERENCE.

	SHEET: <u>1</u> of <u>11</u>	PIN # 1758-45-890	5, 1758-56-8976
	COVER / O	VERALL SI	ГЕ
	PRELIMI	BROOK NARY PLAT Project Number: PR 21-04	
TH CARO	Rolesville, Wake DEVELOPER: <u>Crosland Southeast</u>	County, North Carolina	
SET MATTING	ADDRESS: <u>121 West Trade Street</u>	eet, Ste 2550, Charlo	tte, NC 28202
31970	PHONE:(704) 561-5200		
PL NGINEER OUT		SURVEY: BY OTHERS (Johnson, Mirmiran & Thompson)	APPROVED: BCF
	WWW.arkconsultinggroup.com	DRAWN: DLC	DATE: 12/19/2022
8/11/2023 ACG Dwg No. D-1219-PP	2755-B Charles Blvd., Greenville, NC 27858 (252) 558-0888	CHECKED:	SCALE: 1" = 200









NOTE: A	
TREE PROTECTION FENCE (TPF) TO BE PROVIDED AT ALL TREE PRESERVATION AREAS.	
TPF LOCATION WILL BE INDICATED ON SUBSEQUENT SITE PLAN AND CONSTRUCTION	
INFRASTRUCTURE DRAWING SURMITTALS	

