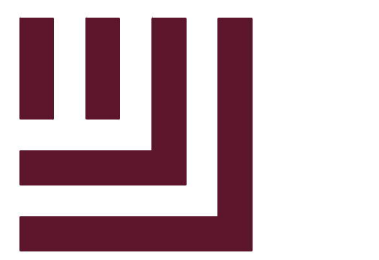


SEE SHEET C4.01

UTILITY LEGEND

- FIRE HYDRANT ASSEMBLY
- FIRE DEPARTMENT CONNECTION (FDC)
- WATER METER
- WATER VALVE
- POST INDICATOR VALVE
- VALVE IN MANHOLE
- METER & VAULT
- BACKFLOW PREVENTER
- REDUCER
- PLUG
- BLOW-OFF ASSEMBLY
- SANITARY SEWER MANHOLE
- SEWER CLEAN-OUT
- GREASE TRAP
- SEWER FLOW DIRECTION ARROW
- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- LINE BREAK SYMBOL
- WATERLINE
- WATER SERVICE LINE
- UTILITY SLEEVE
- SANITARY SEWER
- SEWER SERVICE LINE
- SEWER FORCE MAIN
- GAS LINE
- OVERHEAD UTILITY
- UNDERGROUND ELECTRIC
- TELEPHONE
- EASEMENT LINE



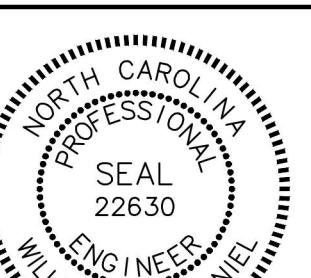
McADAMS

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fax 919. 361. 2269  
license number: C-0293, C-187

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WRIGHTSVILLE BEACH, NORTH CAROLINA  
28480-1709

WALLBROOK  
CONSTRUCTION DRAWINGS  
ROLESVILLE, NORTH CAROLINA



Digitally signed by  
William T. O'Daniel  
Date: 2023.05.23  
14:28:26-04'00"

REVISIONS

NO.	DATE

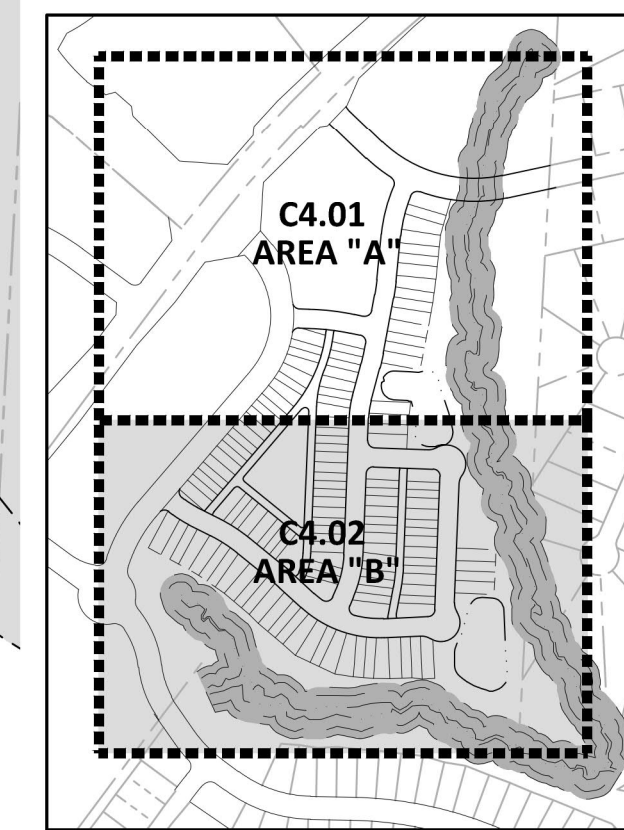
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PROJECT NO.	CPR-19100
FILENAME	CPR19100-CD-U1
CHECKED BY	WTO
DRAWN BY	JMS
SCALE	1"=40'
DATE	05.22.2023

SHEET

UTILITY PLAN - AREA "B"

C4.02



INDEX MAP  
NTS



SS OFFFALL "A"  
(SEE SHEET C5.07)

STORMWATER CONTROL MEASURE "B"  
(WET POND)  
(SEE "C9" SHEETS)

STORMWATER CONTROL MEASURE ACCESS AND MAINTENANCE EASEMENT

20' TYPE 'B' BUFFER

30' CITY OF RALEIGH SANITARY SEWER EASEMENT

30' TOWN OF ROLESVILLE SCM ACCESS EASEMENT AND CITY OF RALEIGH SANITARY SEWER EASEMENT

RETAINING WALL (DESIGN BY OTHERS)

SSMH-116

SSMH-117

SSMH-118

SSMH-119

SSMH-120

SSMH-121

SSMH-122

SSMH-123

SSMH-124

SSMH-125

SSMH-126

SSMH-127

SSMH-128

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SSMH-355

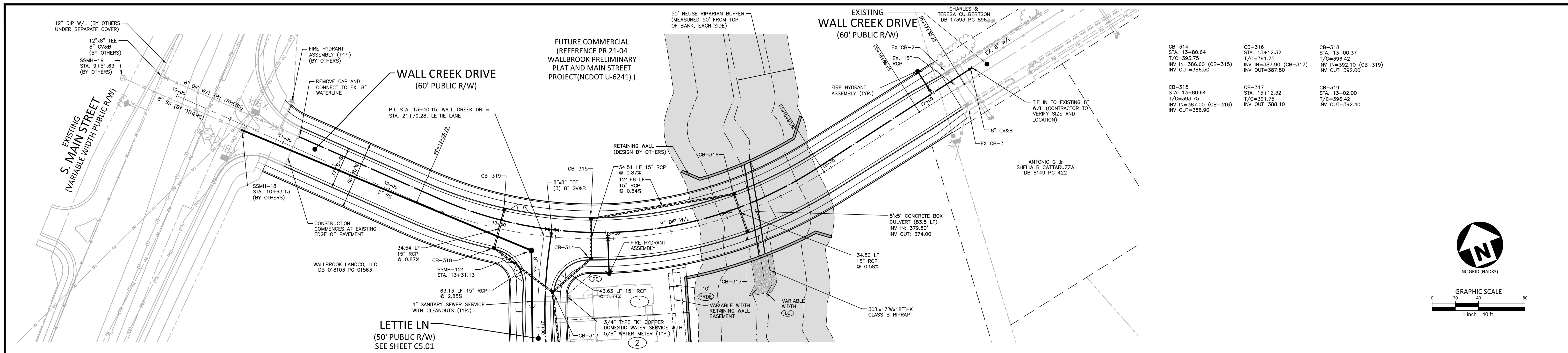
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SSMH-357

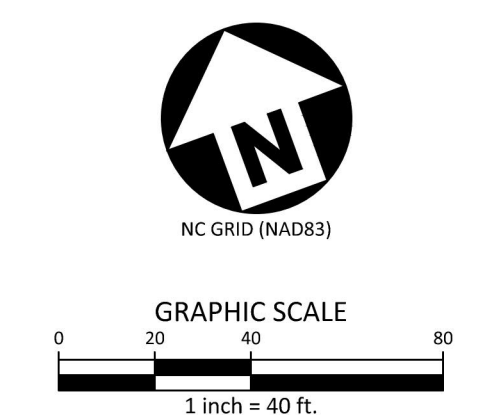
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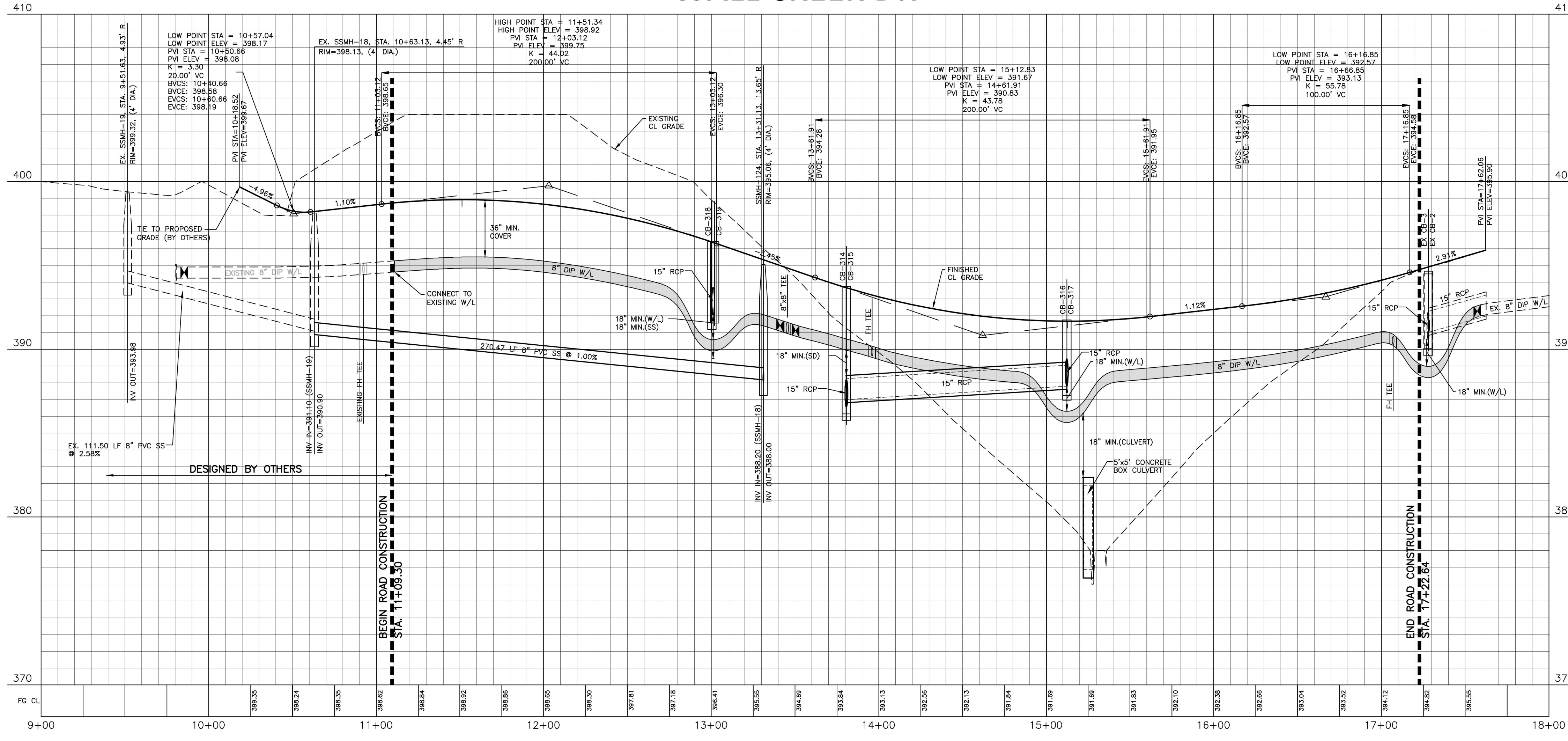




CB-314 STA. 13+80.64 T/C=393.75 INV IN=386.60 (CB-315) INV OUT=386.50	CB-316 STA. 15+12.32 T/C=391.75 INV IN=387.90 (CB-317) INV OUT=387.80	CB-318 STA. 13+00.37 T/C=396.42 INV IN=392.10 (CB-319) INV OUT=392.00
CB-315 STA. 13+80.64 T/C=393.75 INV IN=387.00 (CB-316) INV OUT=386.90	CB-317 STA. 15+12.32 T/C=391.75 INV OUT=388.10	CB-319 STA. 13+02.00 T/C=396.42 INV OUT=392.40



## WALL CREEK DR



CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Electronic Approval: This approval is being issued electronically. This approval is valid only upon the signature of a City of Raleigh Review Officer below. The City will retain a copy of the approved plans. Any work authorized by this approval must proceed in accordance with the plans kept on file with the City. This electronic approval may not be added once issued. Any modification to this approval once issued will invalidate this approval.

Timothy Beasley  
City of Raleigh Development Approval

SITE PERMITTING APPROVAL

Water and Sewer Permits (if applicable)

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City of Raleigh Public Utilities Department Permit # \_\_\_\_\_

FINAL DRAWING - RELEASED FOR CONSTRUCTION

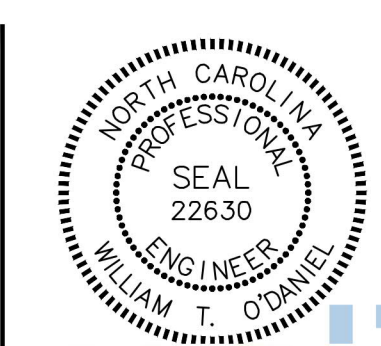
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The John R. McAdams Company, Inc.  
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**CLIENT**  
WALLBROOK LANDCO, LLC  
3 KEEL STREET, SUITE 2  
WRIGHTSVILLE BEACH, NORTH CAROLINA  
28480-1709

**REVISIONS**  
NO. DATE



Digitally signed by  
William T O'Daniel  
Date: 2023.05.23  
14:29:03-04'00'

**WALLBROOK**  
CONSTRUCTION DRAWINGS  
ROLESVILLE, NORTH CAROLINA

**PLAN INFORMATION**  
PROJECT NO. CPR-19100  
FILENAME CPR19100-CD-P1  
CHECKED BY WTO  
DRAWN BY JMS  
SCALE 1"=40'/1"=4"  
DATE 05.22.2023

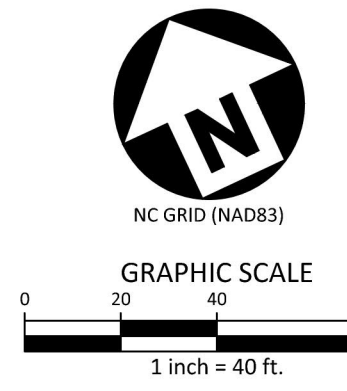
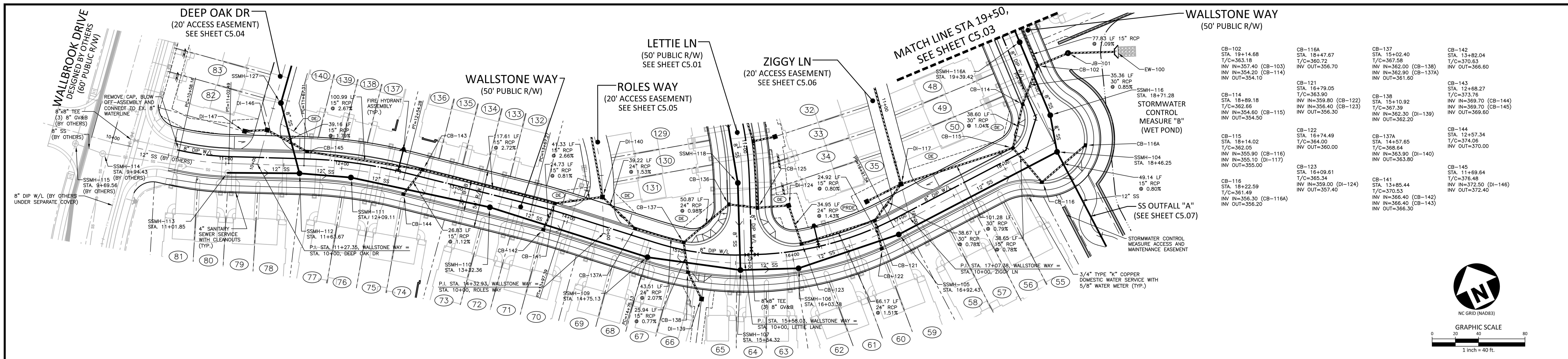
**PLAN AND PROFILE**  
WALL CREEK DR, STA. 9+00 THRU STA. 18+00

# C5.00

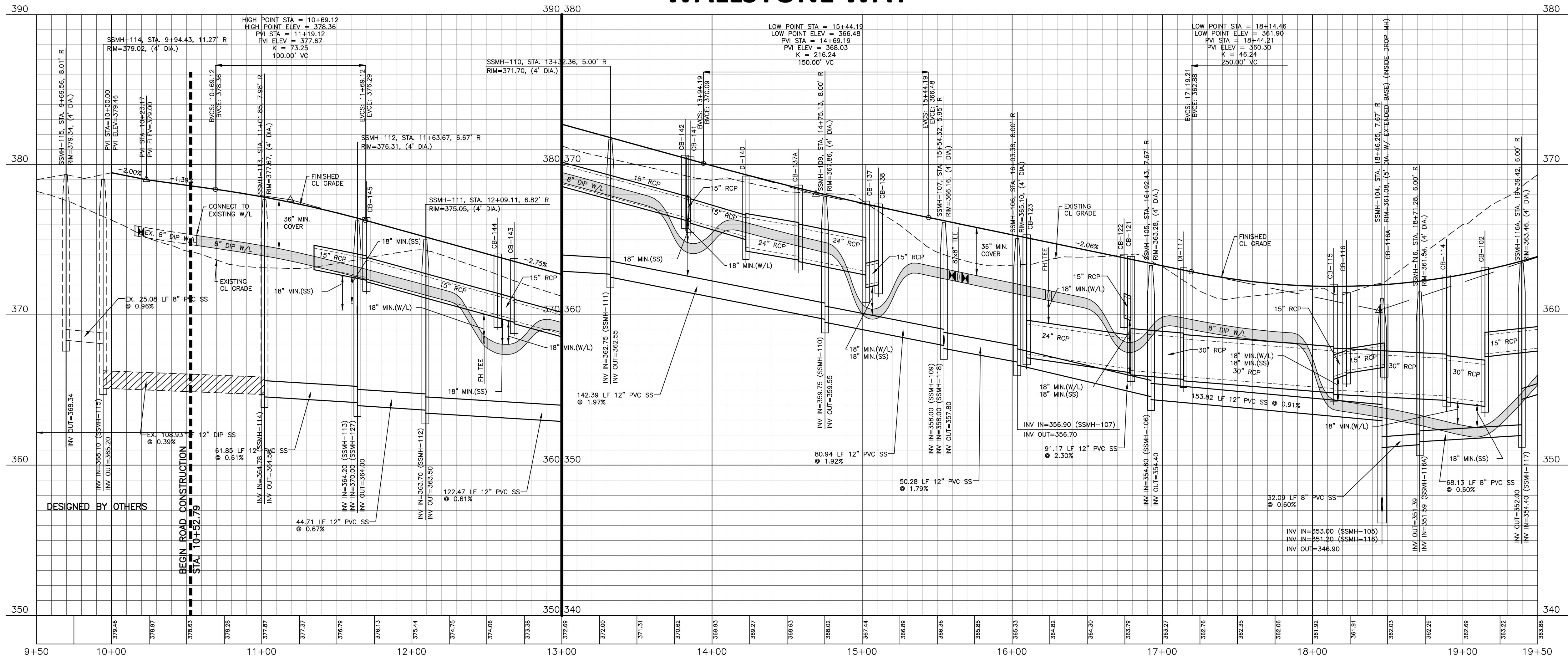








# WALLSTONE WAY



**SITE PERMITTING APPROVAL**

**Water and Sewer Permits (if applicable)**

The City of Raleigh consents to the connection and extension of the City's Public Sewer System as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook, City of Raleigh Public Utilities Department Permit # S-5230

**CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION**

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Timothy Basley  
 City of Raleigh Development Approval

City of Raleigh Review Officer

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City of Raleigh Public Utilities Department Permit # \_\_\_\_\_

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FINAL DRAWING - RELEASED FOR CONSTRUCTION

The John R. McAdams Company, Inc.  
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 fax 919. 361. 2269  
 license number: C-0293, C-187

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**CLIENT**

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 3 KEEL STREET, SUITE 2  
 WRIGHTSVILLE BEACH, NORTH CAROLINA  
 28480-1709

**REVISIONS**

NO. DATE



Digitally signed by  
 William T O'Daniel  
 Date: 2023.05.23  
 14:30:29-04'00'

**WALLBROOK**  
**CONSTRUCTION DRAWINGS**  
 ROLESVILLE, NORTH CAROLINA

**PLAN INFORMATION**

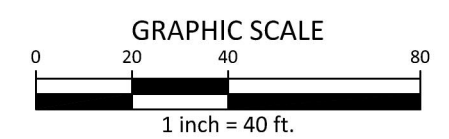
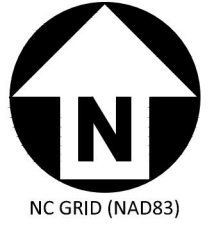
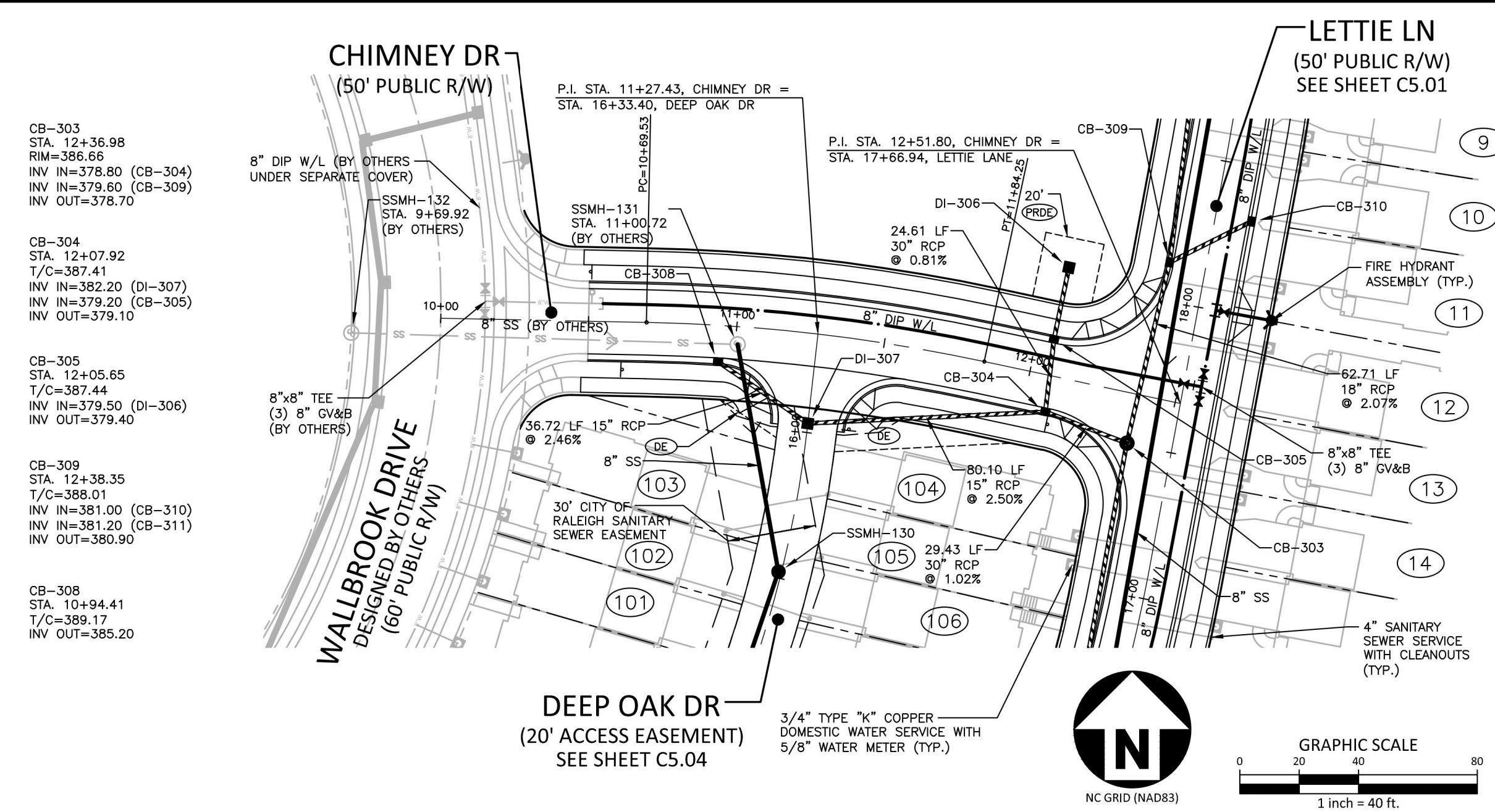
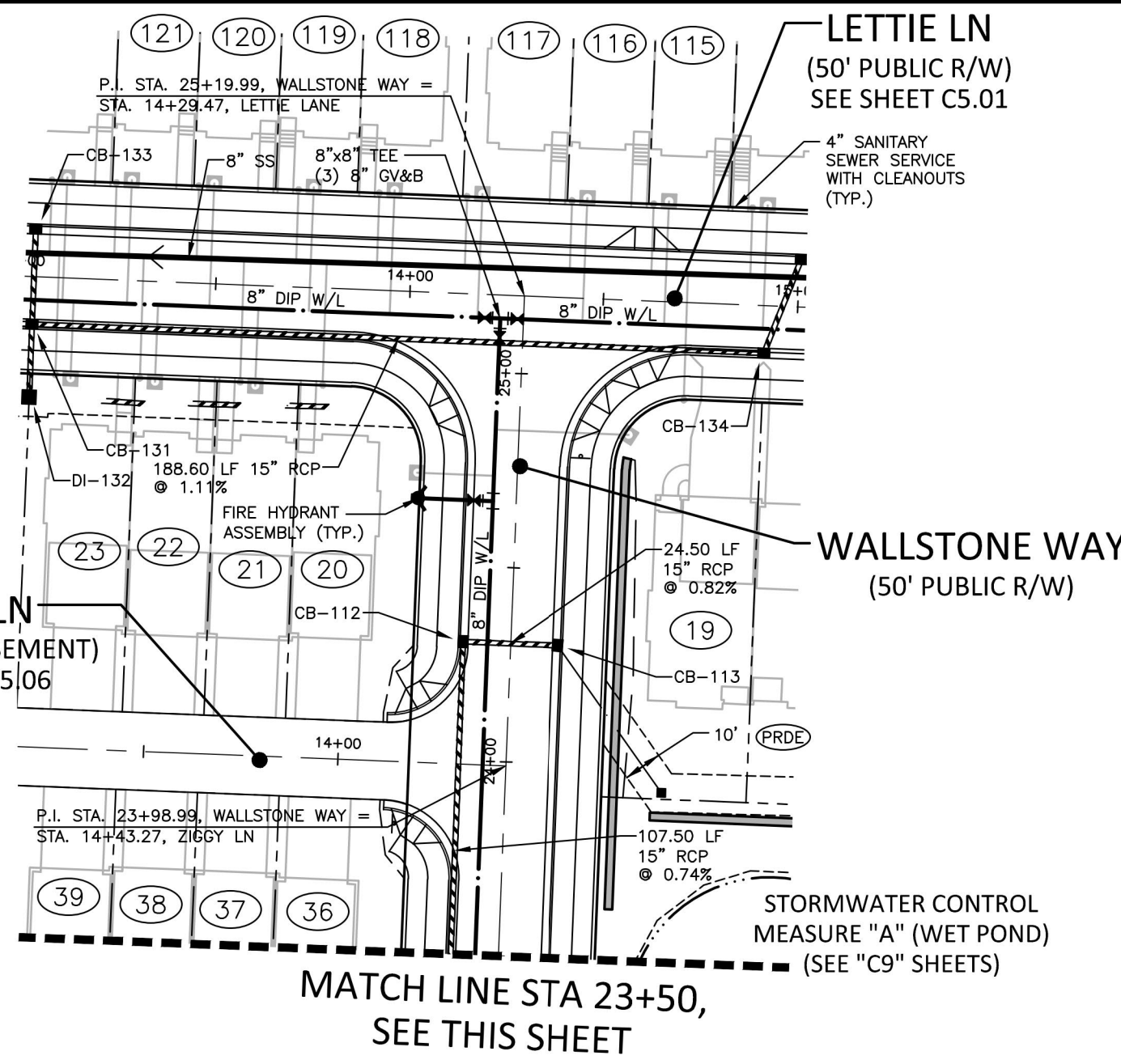
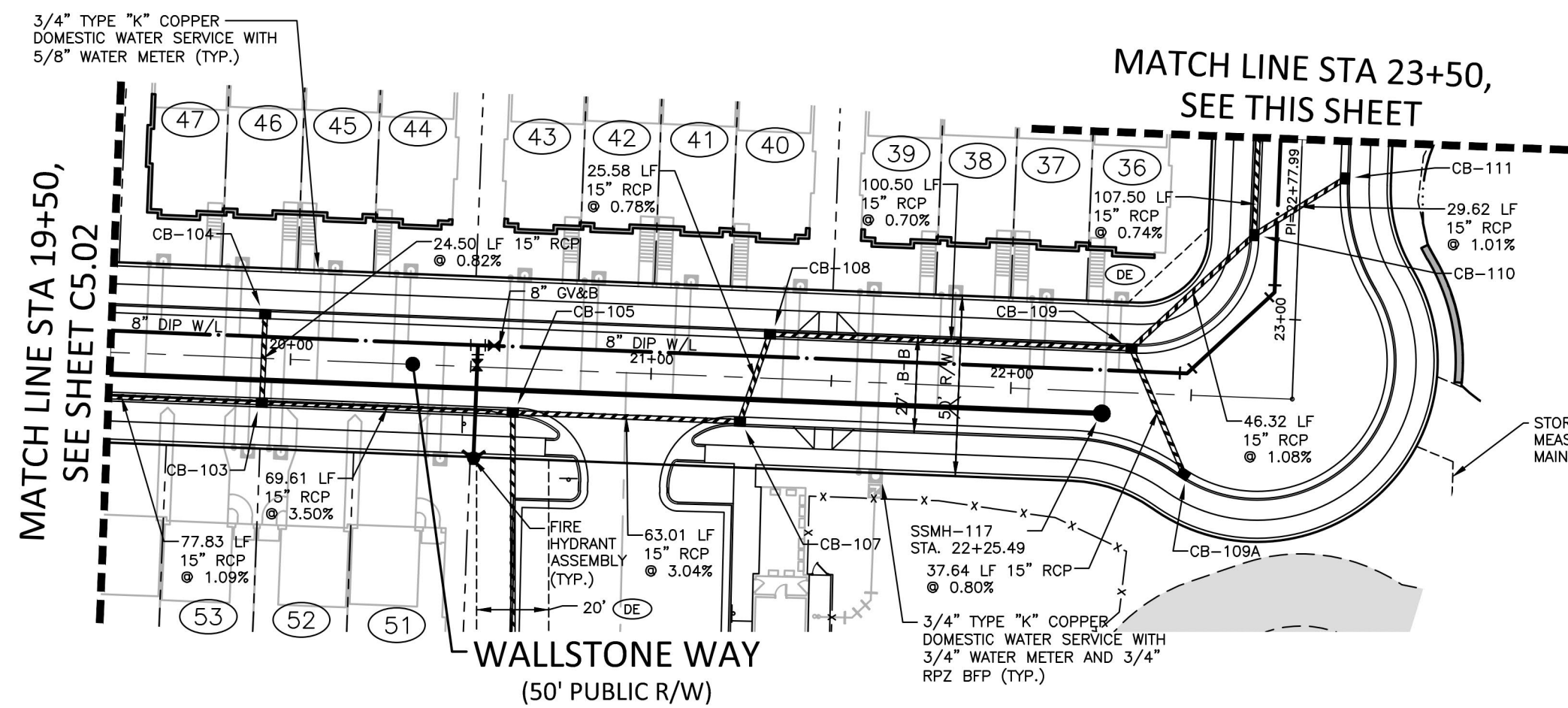
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 FILENAME CPR19100-CD-P1  
 CHECKED BY WTO  
 DRAWN BY JMS  
 SCALE 1"=40'/1"=4'  
 DATE 05.22.2023

**PLAN AND PROFILE**  
 WALLSTONE WAY, STA. 9+50 THRU STA. 19+50

**C5.02**



CB-103 STA. 19+92.51 T/C=365.47 INV IN=358.35 (CB-104) INV OUT=358.25	CB-105 STA. 20+62.12 T/C=367.80 INV IN=362.20 (CB-106) INV OUT=360.79	CB-108 STA. 21+32.49 T/C=370.15 INV IN=366.70 (CB-109) INV OUT=363.10	CB-109A STA. 22+48.83 T/C=373.84 INV IN=366.80 (CB-110) INV OUT=366.80	CB-111 STA. 23+39.64 T/C=377.08 INV IN=369.80 (CB-112) INV OUT=369.80	CB-113 STA. 24+30.49 T/C=379.70 INV IN=375.80 (CB-114) INV OUT=372.80	CB-134 STA. 25+07.74 T/C=383.18 INV IN=376.15 (CB-135) INV OUT=374.80
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**SITE PERMITTING APPROVAL**

Water and Sewer Permits (if applicable)

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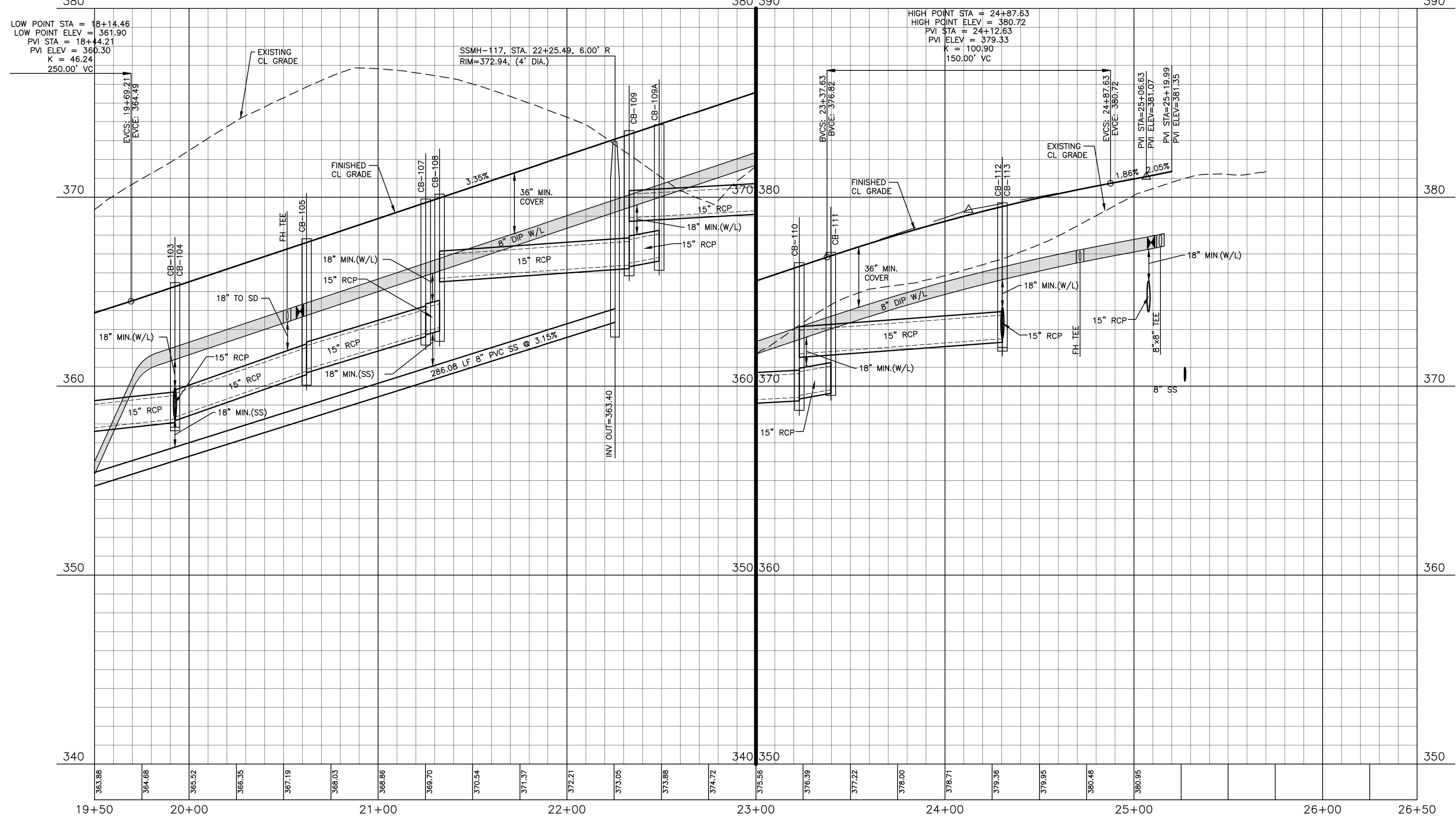
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CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

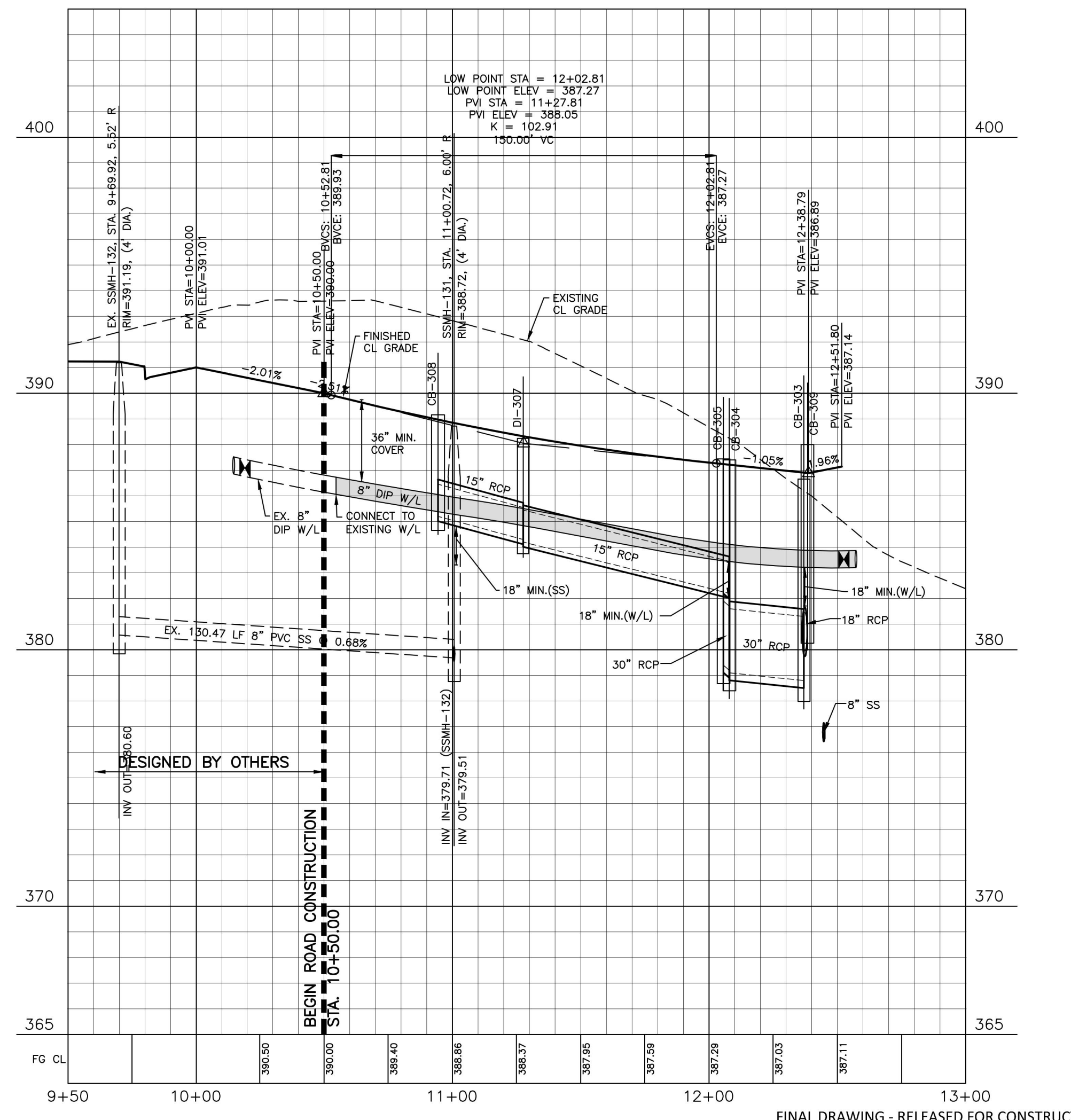
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City of Raleigh Development Approval: \_\_\_\_\_  
City of Raleigh Review Officer: \_\_\_\_\_

## WALLSTONE WAY



## CHIMNEY DR



X:\Projects\CPR19100\4-Production\Drawings\Site-Construction\Drawings\CPR19100-CD-P1.dwg, 5/23/2023 9:08:05 AM, MikeJah Simmons

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**CLIENT**  
WALLBROOK LANDCO, LLC  
3 KEEL STREET, SUITE 2  
WRIGHTSVILLE BEACH, NORTH CAROLINA  
28480-1709

**REVISIONS**

NO.	DATE

Digitally signed by William T O'Daniel  
Date: 2023.05.23 14:31:04-04'00'

**WALLBROOK**  
CONSTRUCTION DRAWINGS  
ROLESVILLE, NORTH CAROLINA

**PLAN INFORMATION**

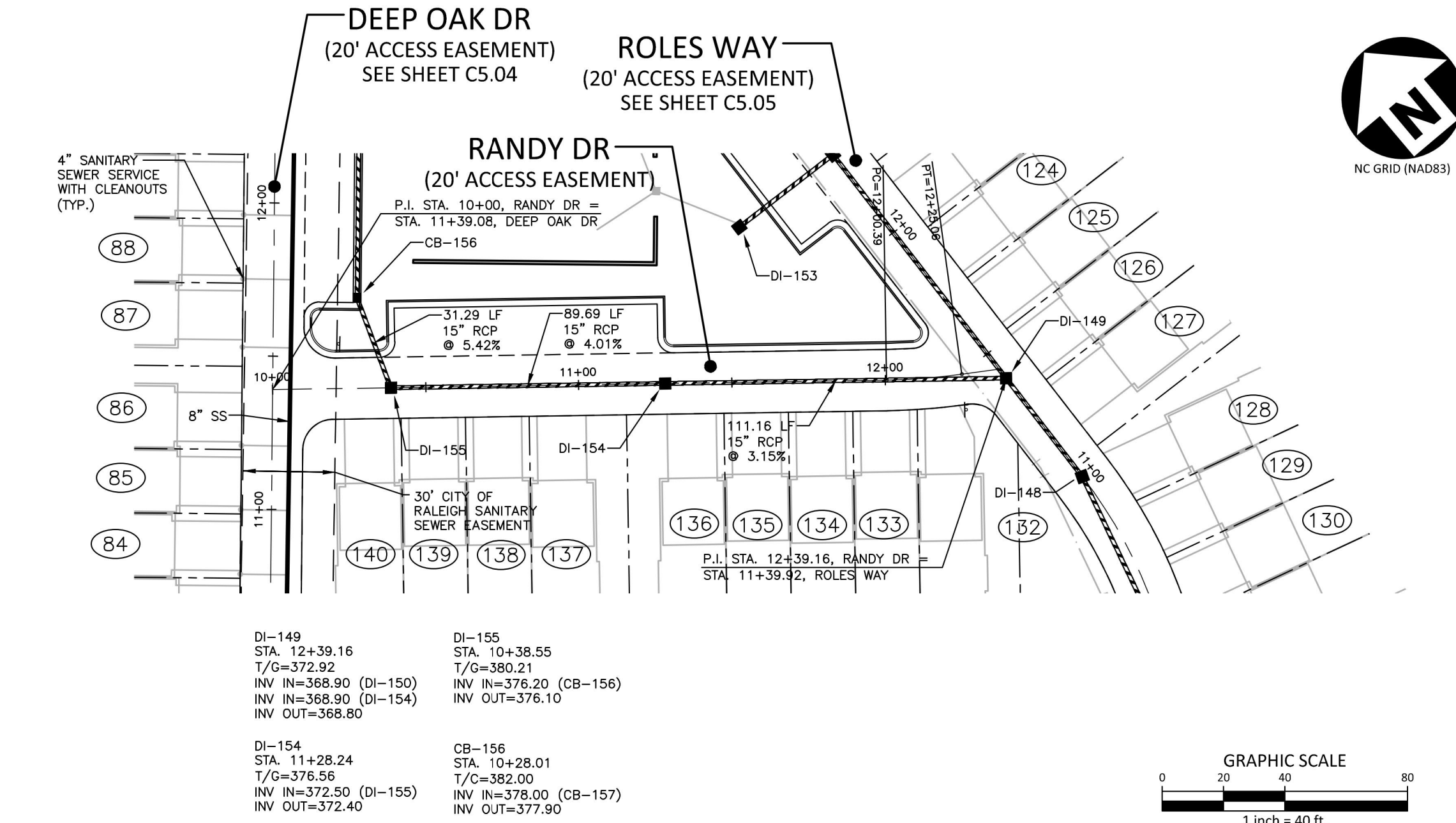
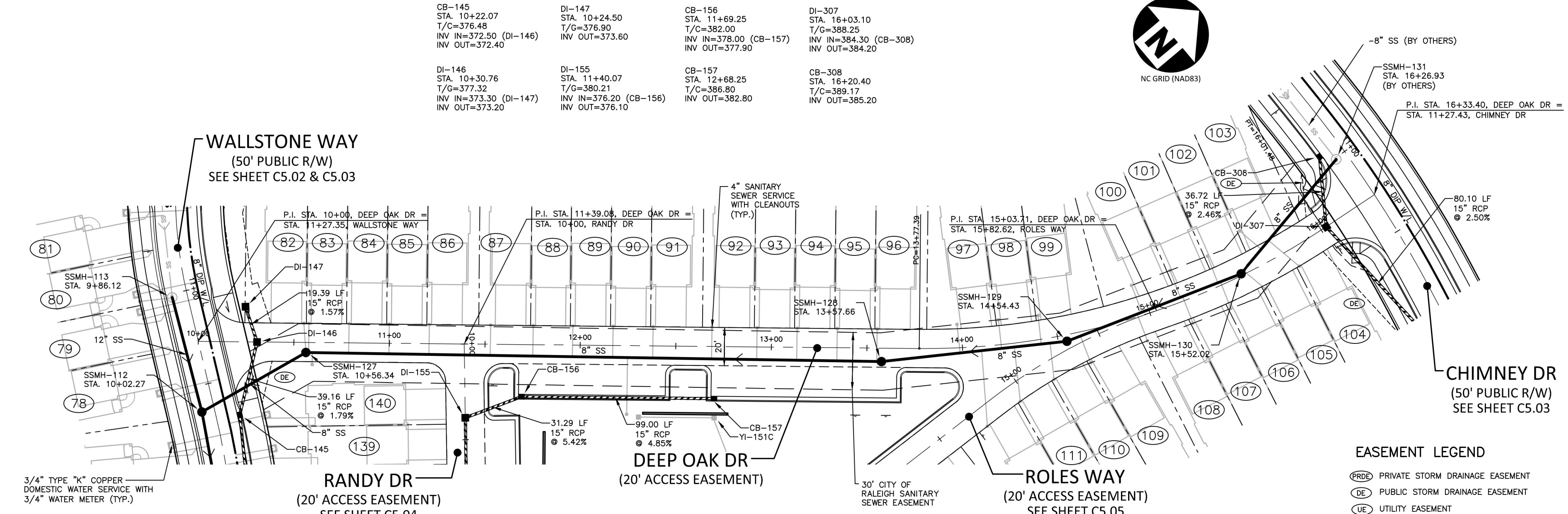
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FILENAME	CPR19100-CD-P1
CHECKED BY	WTO
DRAWN BY	JMS
SCALE	1"=40'/1"=4'
DATE	05.22.2023

**PLAN AND PROFILE**  
WALLSTONE WAY, STA. 19+50 THRU STA. 26+50  
CHIMNEY DR, STA. 9+50 THRU STA. 13+00

# C5.03

FINAL DRAWING - RELEASED FOR CONSTRUCTION





**WALLSTONE WAY**  
(50' PUBLIC R/W)  
SEE SHEET C5.02 & C5.03

**RANDY DR**  
(20' ACCESS EASEMENT)  
SEE SHEET C5.04

**DEEP OAK DR**  
(20' ACCESS EASEMENT)

**ROLES WAY**  
(20' ACCESS EASEMENT)  
SEE SHEET C5.05

**CHIMNEY DR**  
(50' PUBLIC R/W)  
SEE SHEET C5.03

**EASEMENT LEGEND**

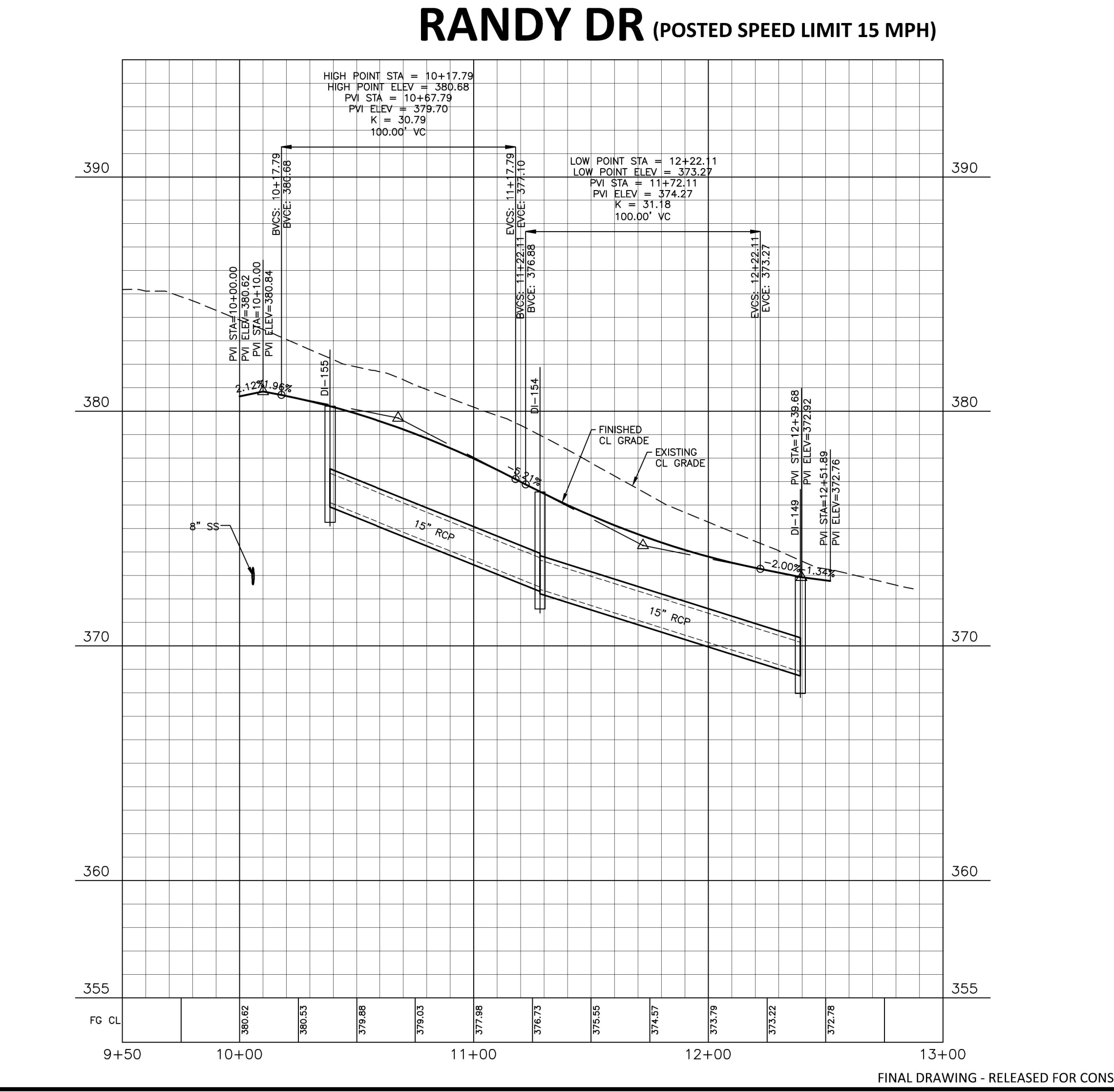
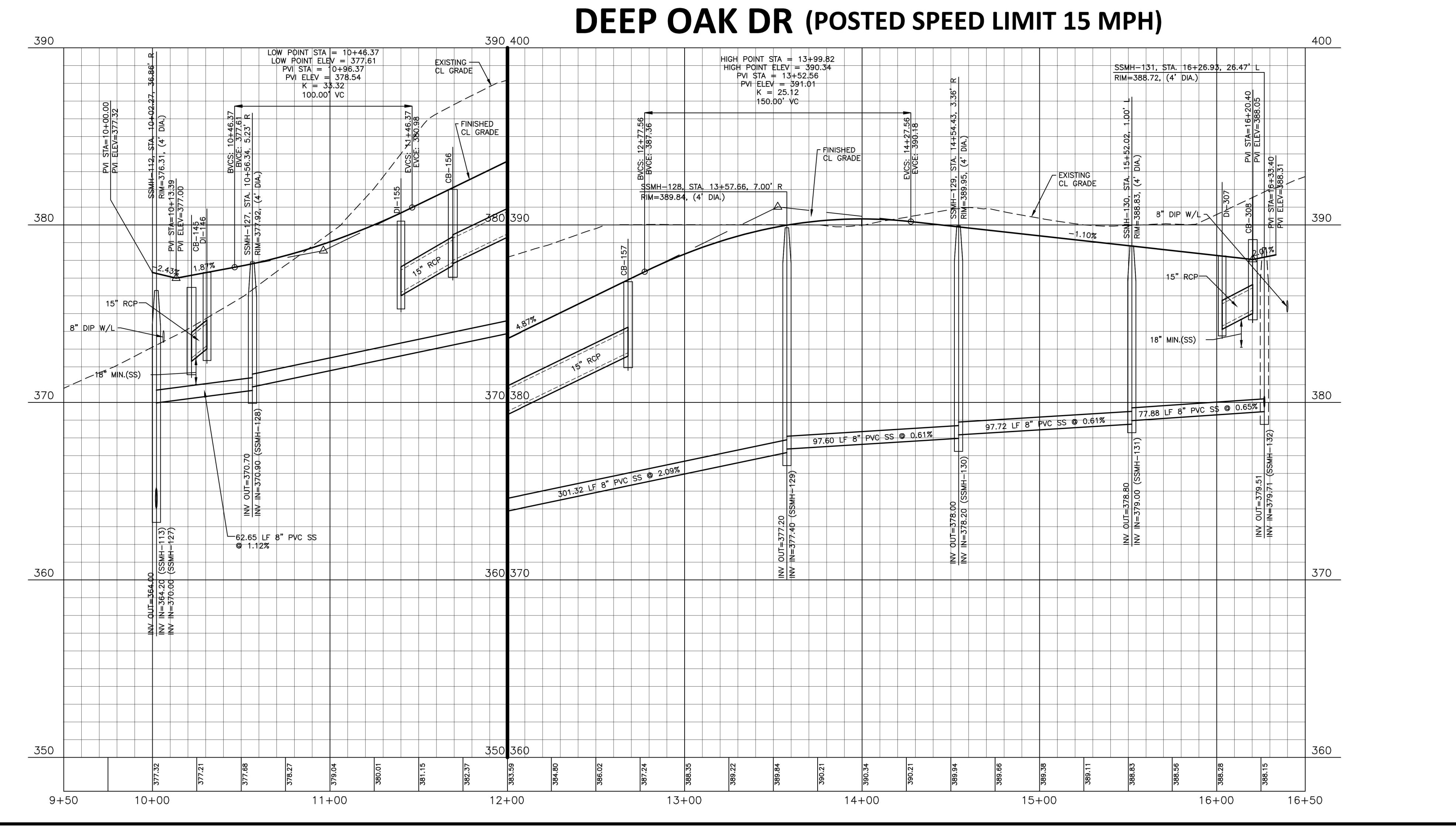
- PRD PRIVATE STORM DRAINAGE EASEMENT
- DE PUBLIC STORM DRAINAGE EASEMENT
- UE UTILITY EASEMENT

**DEEP OAK DR**  
(20' ACCESS EASEMENT)  
SEE SHEET C5.04

**ROLES WAY**  
(20' ACCESS EASEMENT)  
SEE SHEET C5.05

**RANDY DR**  
(20' ACCESS EASEMENT)

**GRAPHIC SCALE**  
1 inch = 40 ft.



**McADAMS**

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28480-1709

**REVISIONS**

NO. DATE

**WILLIAM T. O'DANIEL**  
NORTH CAROLINA PROFESSIONAL ENGINEER  
SEAL 22630

Digitally signed by William T O'Daniel  
Date: 2023.05.23 14:31:33-04'00'

**WALLBROOK**  
CONSTRUCTION DRAWINGS  
ROLESVILLE, NORTH CAROLINA

**PLAN INFORMATION**

PROJECT NO. CPR-19100  
FILENAME CPR19100-CD-P2  
CHECKED BY WTO  
DRAWN BY JMS  
SCALE 1"=40'/1"=4'  
DATE 05.22.2023

**PLAN AND PROFILE**  
DEEP OAK DR, STA. 9+50 THRU STA. 16+50  
RANDY DR, STA. 9+50 THRU STA. 13+00

**C5.04**

X:\Projects\CPR19100\04-Production\Drawings\Site-Construction\Drawings\CPR19100-CD-P2.dwg, 5/23/2023 8:58:48 AM, Mikayla Simmons

**SITE PERMITTING APPROVAL**

Water and Sewer Permits (if applicable)

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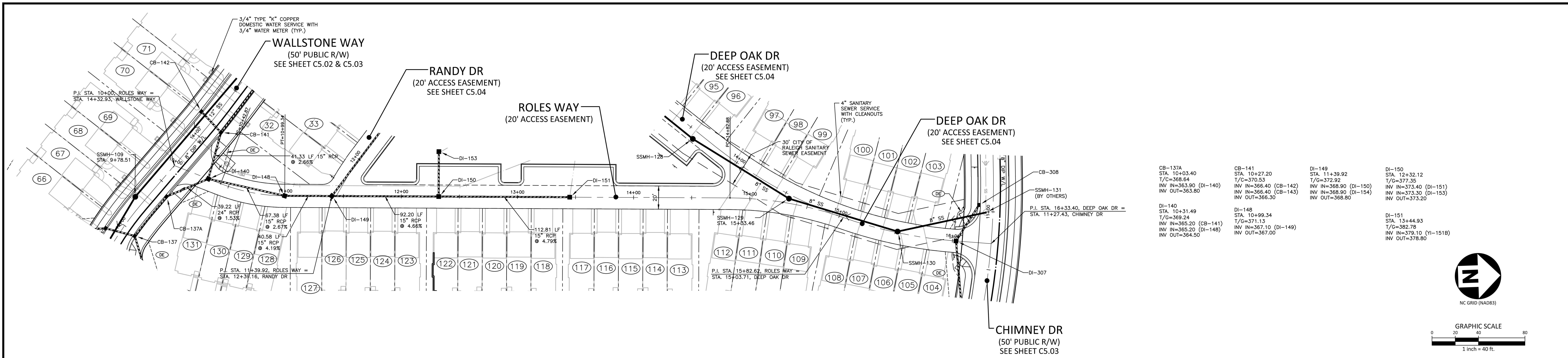
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City of Raleigh Development Approval: Timothy Beasley  
City of Raleigh Review Officer: \_\_\_\_\_





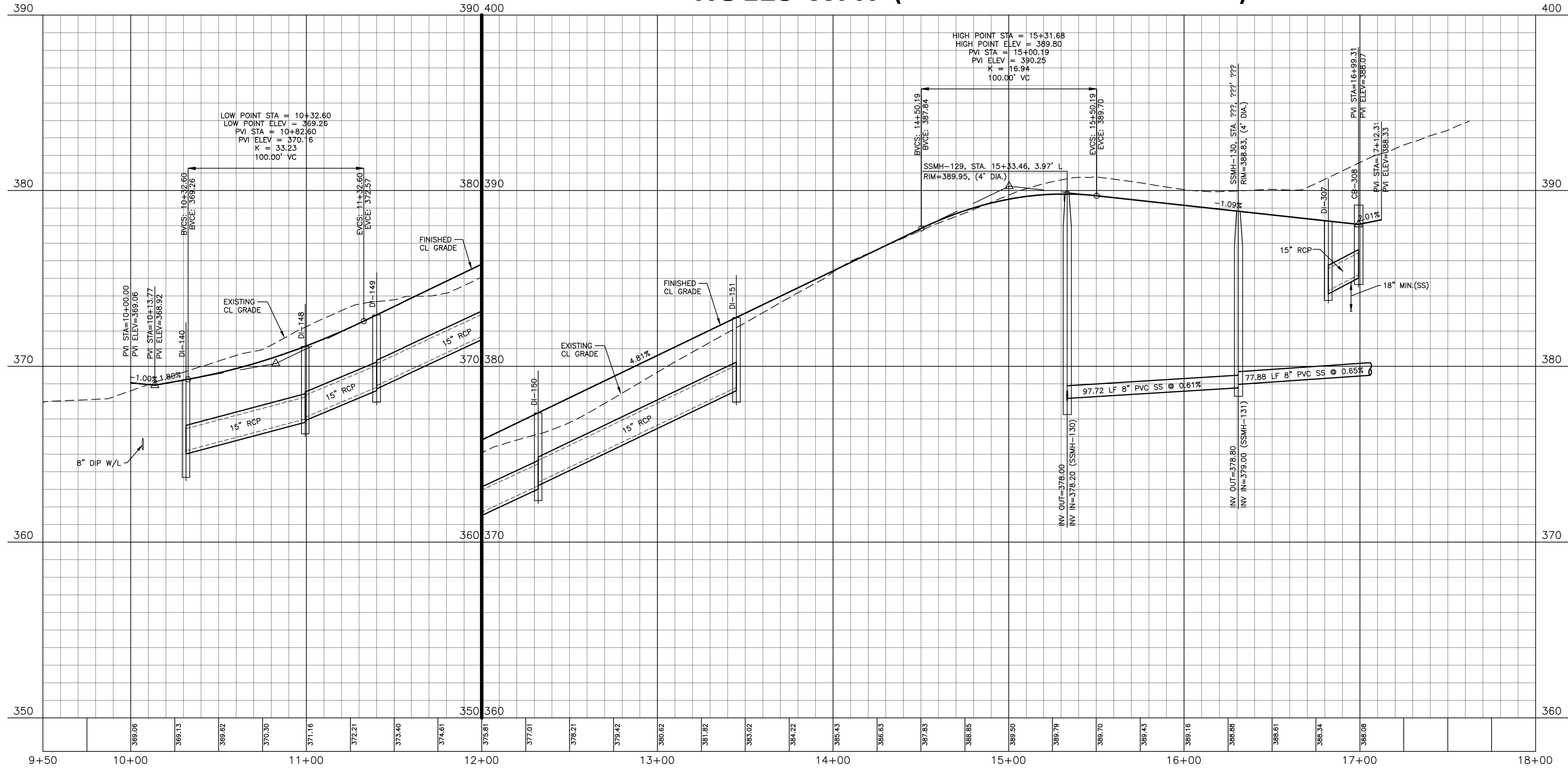
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## ROLES WAY (POSTED SPEED LIMIT 15 MPH)

**SITE PERMITTING APPROVAL**  
**Water and Sewer Permits (if applicable)**  
 The City of Raleigh consents to the connection and extension of the City's Public Sewer System as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook, City of Raleigh Public Utilities Department Permit # S-5230.  
 The City of Raleigh consents to the connection and extension of the City's Public Water System as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook, City of Raleigh Public Utilities Department Permit # W-4043.  
 The City of Raleigh consents to the connection to its public sewer system and extension of the private sewer collection system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.  
 City of Raleigh Public Utilities Department Permit # \_\_\_\_\_

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION  
 Electronic Approval: This approval is being issued electronically. This approval is valid only upon the signature of a City of Raleigh Review Officer below. The City will retain a copy of the approved plans. Any work authorized by this approval must proceed in accordance with the plans kept on file with the City. This electronic approval may not be relied upon if issued. Any modification to this approval once issued will invalidate this approval. Timothy Beasley, City of Raleigh Development Approval  
 City of Raleigh Review Officer \_\_\_\_\_



FINAL DRAWING - RELEASED FOR CONSTRUCTION

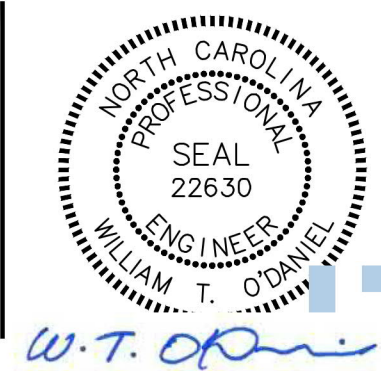
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 license number: C-0293, C-187  
 www.mcadamsco.com

**CLIENT**  
 WALLBROOK LANDCO, LLC  
 3 KEEL STREET, SUITE 2  
 WRIGHTSVILLE BEACH, NORTH CAROLINA  
 28480-1709

**REVISIONS**  
 NO. DATE



Digitally signed by  
 William T O'Daniel  
 Date: 2023.05.23  
 14:32:18-04'00'

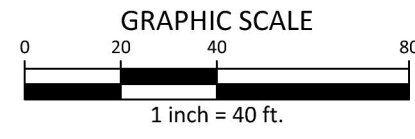
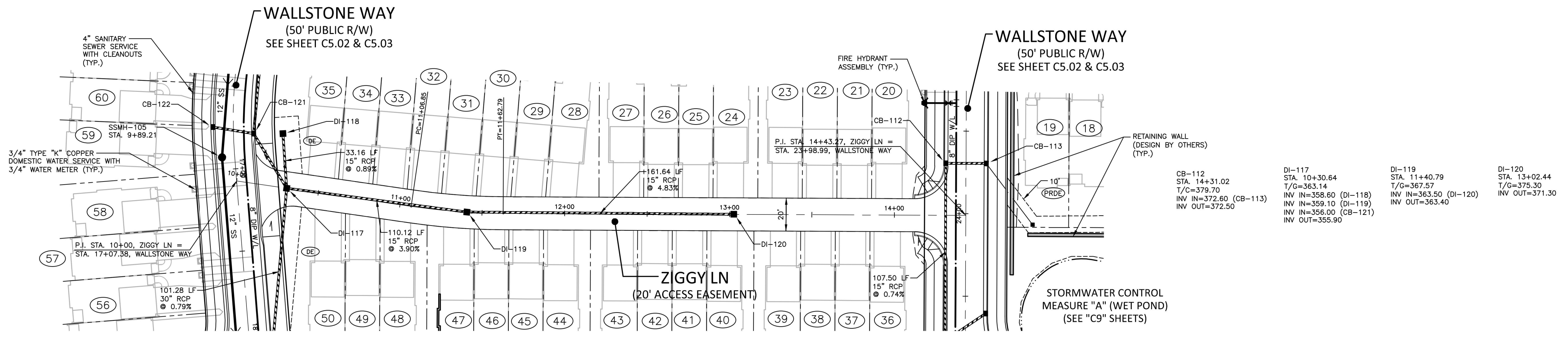
**WALLBROOK**  
**CONSTRUCTION DRAWINGS**  
 ROLESVILLE, NORTH CAROLINA

**PLAN INFORMATION**  
 PROJECT NO. CPR-19100  
 FILENAME CPR19100-CD-P2  
 CHECKED BY WTO  
 DRAWN BY JMS  
 SCALE 1"=40'/1"=4'  
 DATE 05.22.2023

**PLAN AND PROFILE**  
 ROLES WAY, STA. 9+50 THRU STA. 16+50

**C5.05**





**SITE PERMITTING APPROVAL**

Water and Sewer Permits (if applicable)  
 The City of Raleigh consents to the connection and extension of the City's Public Sewer System as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook, City of Raleigh Public Utilities Department Permit # S-5230.

The City of Raleigh consents to the connection and extension of the City's Public Water System as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook, City of Raleigh Public Utilities Department Permit # W-4043.

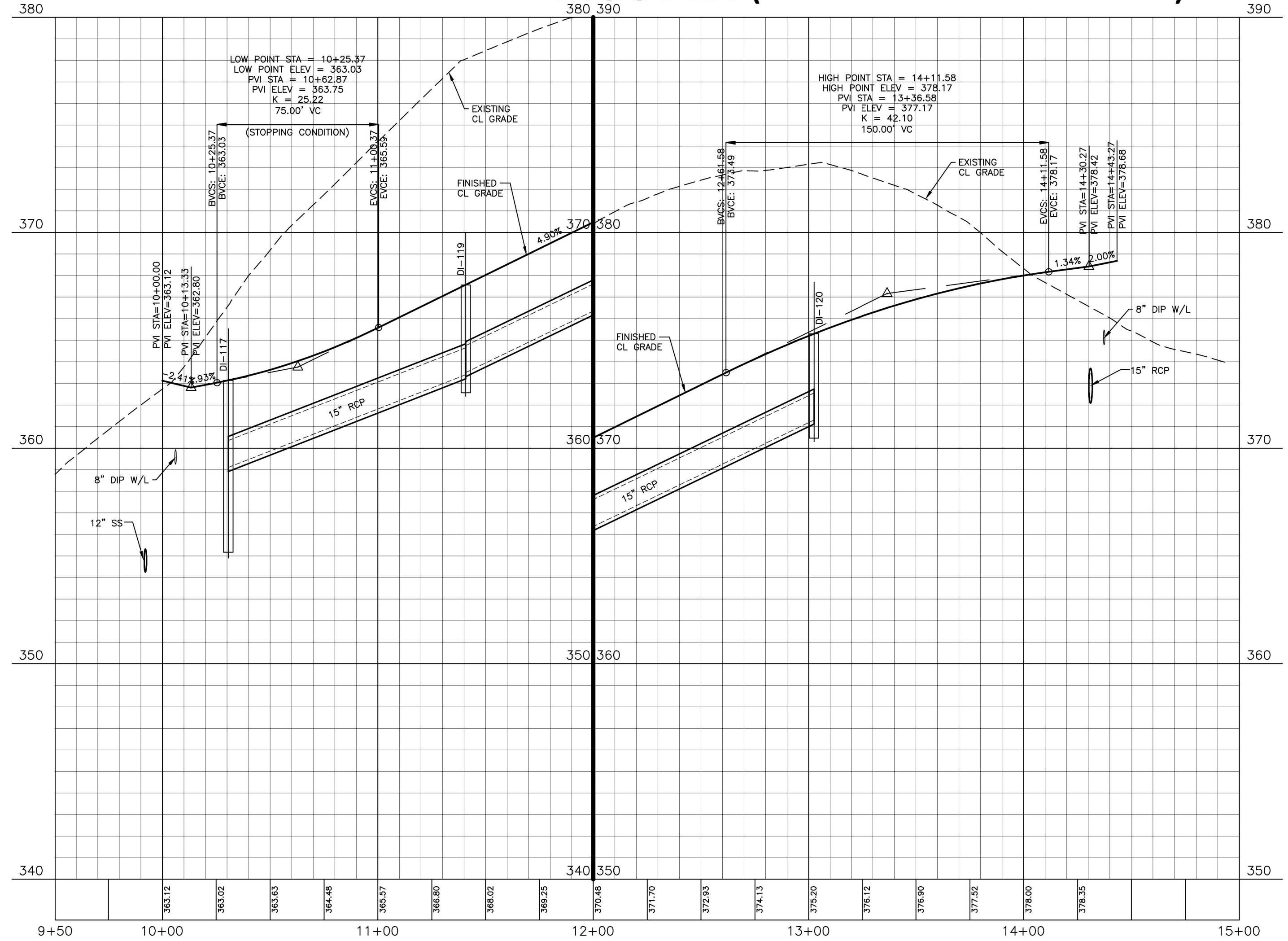
The City of Raleigh consents to the connection to its public sewer system and extension of the private sewer collection system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.  
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Timothy Beasley  
 City of Raleigh Development Approval  
 City of Raleigh Review Officer

**ZIGGY LN (POSTED SPEED LIMIT 15 MPH)**



FINAL DRAWING - RELEASED FOR CONSTRUCTION

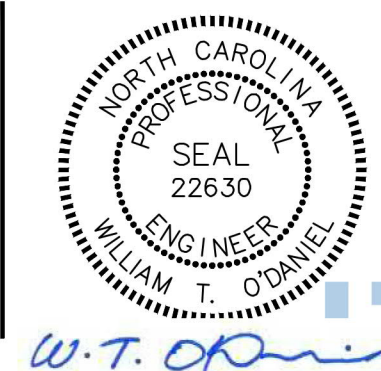
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**REVISIONS**

NO.	DATE



Digitally signed by  
 William T O'Daniel  
 Date: 2023.05.23  
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**WALLBROOK**  
 CONSTRUCTION DRAWINGS  
 ROLESVILLE, NORTH CAROLINA

**PLAN INFORMATION**

PROJECT NO.	CPR-19100
FILENAME	CPR19100-CD-P2
CHECKED BY	WTO
DRAWN BY	JMS
SCALE	1"=40'/1"=4'
DATE	05.22.2023

**PLAN AND PROFILE**  
 ZIGGY LN, STA. 9+50 THRU STA. 15+00

# C5.06







EROSION CONTROL NOTES

- 1. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST TOWN OF ROLESVILLE, WAKE COUNTY, AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.
2. GRADING AND EROSION CONTROL METHODS SHALL ADHERE TO THE WAKE COUNTY SOIL AND EROSION CONTROL STANDARDS AND SPECIFICATIONS.
3. GRADING AND EROSION CONTROL METHODS SHALL ADHERE TO THE NORTH CAROLINA DEPARTMENT OF NATURAL RESOURCES DIVISION OF WATER QUALITY (DWQ) STANDARDS AND SPECIFICATIONS.
4. FAILURE TO FOLLOW THE APPROVED PLAN SEQUENCE AND DETAILS COULD SUBJECT THE CONTRACTOR TO FINES AND PENALTIES ISSUED BY EITHER THE WAKE COUNTY EROSION CONTROL DEPARTMENT OR THE DWQ.
5. FOR ANY LAND-DISTURBING ACTIVITY WHERE GRADING ACTIVITIES HAVE BEEN COMPLETED, TEMPORARY OR PERMANENT GROUND COVER SUFFICIENT TO RESTRAIN EROSION SHALL BE PROVIDED AS SOON AS PRACTICAL, BUT IN NO CASE LATER THAN SEVEN (7) DAYS AFTER COMPLETING THE WORK.
6. NO DEBRIS SHALL BE TRACKED ONTO PUBLIC RIGHT OF WAY. IF THE SITUATION OCCURS WHERE MUD, ROCK AND DEBRIS IS TRACKED ONTO PAVEMENT, THE CONTRACTOR SHALL CLEAN THE PAVEMENT AND INSTALL ADDITIONAL MEASURES TO PREVENT THE FUTURE OCCURRENCE.
7. THE EROSION CONTROL INSPECTOR MAY REQUIRE ADDITIONAL FIELD MEASURES AS NECESSARY TO PROVIDE ADEQUATE PROTECTION FROM RECEIVING WATER COURSES.
8. EROSION AND SEDIMENT CONTROL DEVICES MUST BE INSTALLED AND INSPECTED PRIOR TO ANY GRADING ON SITE. THE CONTRACTOR SHALL CALL FOR AN INSPECTION BY WAKE COUNTY SEDIMENTATION AND EROSION CONTROL (SEC) ONCE INITIAL MEASURES ARE IN PLACE.
9. CONTRACTOR SHALL INSPECT AND REPAIR ALL SEDIMENT/EROSION CONTROL DEVICES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL EVENT. GRADING ACTIVITY SHALL BE PROHIBITED IN THE AREAS OF THE SEDIMENT CONTROL DEVICES/SEDIMENT TRAPS UNTIL THE AREAS UPSTREAM OF THESE DEVICES HAVE BEEN STABILIZED AND APPROVED.
10. A COPY OF THE APPROVED EROSION CONTROL PLAN MUST BE ON FILE AT THE JOB SITE AT ALL TIMES.
11. CONSTRUCTION, MAINTENANCE, AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE GRADING CONTRACTOR UNLESS OTHERWISE NOTED.
12. ANY GRADING BEYOND THE DENUDED LIMITS SHOWN ON THE PLAN IS A VIOLATION OF THE TOWN/COUNTY EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
13. ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY A REPRESENTATIVE OF THE TOWN/COUNTY ENGINEERING DEPARTMENT AND ARE THE RESPONSIBILITY OF THE CONTRACTOR.
14. PROTECTION OF EXISTING VEGETATION: AT THE START OF GRADING INVOLVING THE STRIPPING OF TOPSOIL OR LOWERING OF EXISTING GRADE AROUND A TREE, A CLEAN, SHARP, VERTICAL CUT SHALL BE MADE AT THE EDGE OF THE TREE SAVE AREA AT THE SAME TIME AS OTHER EROSION CONTROL MEASURES ARE INSTALLED.
15. CONSTRUCTION SEQUENCES HAS BEEN PROVIDED. INSTALLATION OF ALL PROPOSED SEDIMENTATION & EROSION CONTROL MEASURES IN THE SEQUENCE(S) PROVIDED AND MAINTENANCE OF THOSE DEVICES IS REQUIRED.
16. PROVIDE INLET PROTECTION AROUND ALL SITE STORM INLETS. PROTECT OPEN PIPES UNDER CONSTRUCTION WITH EITHER PLYWOOD OR WITH MESH AND GRAVEL WEIRS. RUNOFF SHALL NOT BE ALLOWED IN ANY OPEN TRENCH.
17. CONTRACTOR WILL FIELD LOCATE SILT FENCE OUTLETS AT LOW POINTS IN SILT FENCE AS REQUIRED TO PROVIDE RELIEF FROM CONCENTRATED FLOWS.
18. TEMPORARY DIVERSIONS SHALL BE MAINTAINED DAILY BY CONTRACTOR SO THAT THEY ARE FUNCTIONAL AT THE END OF EACH WORKDAY AND WHEN STOPPING WORK FOR RAIN.
19. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
20. DISTURBANCE OUTSIDE OF THE SITE PROPERTY LIMITS OR PUBLIC RIGHT-OF-WAY SHALL ONLY BE AS ALLOWED BY SIGNED GRADING AGREEMENTS AND/OR EASEMENTS BETWEEN THE DEVELOPER AND THE OFFSITE PROPERTY OWNER.
21. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN SAFE OPEN ACCESS TO ALL PROPERTIES ALONG ADJACENT PROPERTIES DURING CONSTRUCTION PERIOD FOR IMPROVEMENTS.
22. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS FINAL RULE 29CFR PART 1926, SUBPART PP APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH.
23. EQUIPMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED APPROVAL HAS BEEN OBTAINED FROM THE OWNER IN WRITING PRIOR TO ORDERING OR INSTALLATION.
24. EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED/RESTORED TO THEIR ORIGINAL CONDITION OR TO THE SATISFACTION OF THE OWNER BY THE CONTRACTOR RESPONSIBLE FOR THE DAMAGE.
25. SOIL UNDER BUILDINGS AND PAVED AREAS SHALL BE COMPACTED TO STANDARD PROCTOR 98% MAXIMUM DRY DENSITY OR AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
26. THE CONTRACTOR SHALL NOTE THAT THE DRAWINGS MAY NOT SHOW EVERY OFFSET, TRANSITION, FITTING, ETC THAT MAY BE REQUIRED.
27. CONTRACTOR SHALL NOTIFY NC 811 AT 811 OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED.
28. CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE UTILITY COMPANIES FOR ANY REQUIRED RELOCATION (I.E., POWER POLES, TELEPHONE PEDESTALS, WATER METERS, ETC.).
29. EXISTING UTILITIES SHOWN ARE BASED ON FIELD SURVEYS AND THE BEST AVAILABLE RECORD DRAWINGS.
30. PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL HOLD A PRE-CONSTRUCTION CONFERENCE WITH THE GRADING CONTRACTOR, ENGINEER, CONSTRUCTION INSPECTOR & OWNER.

EROSION CONTROL MAINTENANCE PLAN

- 1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED BY THE SITE CONTRACTOR FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK.
2. THE SEDIMENT BASINS SHALL BE INSPECTED REGULARLY DURING LAND DISTURBING ACTIVITIES AND AFTER EACH RUNOFF-PRODUCING RAINFALL.
3. SEDIMENT FENCES SHALL BE INSPECTED AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL.
4. DIVERSION DITCHES MUST REMAIN IN PLACE UNTIL THE AREA CONVEYED BY THE DIVERSION DITCH IS STABILIZED.

STAGE 1 SPECIFIC CONSTRUCTION SEQUENCE

- 1. OBTAIN A LAND DISTURBING PERMIT FROM WAKE COUNTY AND SCHEDULE A PRE-CONSTRUCTION CONFERENCE WITH A WAKE COUNTY ENVIRONMENTAL CONSULTANT.
2. INSTALL TREE PROTECTION FENCING AND TEMPORARY CONSTRUCTION ENTRANCES ACCORDING TO THE EROSION CONTROL PLAN.
3. INSTALL TEMPORARY STREAM CHANNEL CROSSING WITH TIMBER MAT OR LOG MAT BOARDS BUTTED TOGETHER ON BOTH CROSSINGS.
4. DURING EXTENDED DRY WEATHER CONDITIONS, CONSTRUCT CREEK DIVERSION CHANNELS FOR THE PERMANENT STREAM CROSSING.
4.1. EXCAVATE THE DIVERSION CHANNEL WITHOUT DISTURBING THE EXISTING CHANNEL.
4.2. PLACE IMPERVIOUS MAT LINER IN DIVERSION CHANNEL.
4.3. CONNECT THE DOWNSTREAM DIVERSION CHANNEL INTO THE DOWNSTREAM EXISTING CHANNEL AND SECURE THE IMPERVIOUS MAT LINER AT THE CONNECTION.
4.4. CONNECT THE UPSTREAM DIVERSION CHANNEL INTO THE UPSTREAM EXISTING CHANNEL AND SECURE THE IMPERVIOUS MAT LINER AT THE CONNECTION.
4.5. CONSTRUCT A COFFER DAM IN THE EXISTING CHANNEL AT THE UPSTREAM SIDE TO DIVERT FLOW INTO THE DIVERSION CHANNEL.
4.6. CONSTRUCT A COFFER DAM IN THE EXISTING CHANNEL AT THE DOWNSTREAM SIDE TO ISOLATE THE WORK AREA.
4.7. INSTALL PUMP AND SILT BAG TO DE-WATER WORK AREA PRIOR TO INSTALLATION OF PERMANENT CULVERT PIPE AND HEADWALLS AS SHOWN ON SHEET C6.02.
5. INSTALL SEDIMENT BASINS AND RUNOFF CONVEYANCE ON ALL FOUR CORNERS OF THE CROSSING.
6. INSTALL SILT FENCING, AND SILT FENCE OUTLETS AS SHOWN ON APPROVED STAGE 1 EROSION CONTROL PLANS.
7. INSTALL DIVERSION DITCHES AND SKIMMER BASINS AS SHOWN ON APPROVED STAGE 1 EROSION CONTROL PLAN.
8. STABILIZE ALL DISTURBED AREAS, INCLUDING DIVERSION DITCHES AND SKIMMER BASINS.
9. SEDIMENT BASINS "SB-A" AND "SB-B" ARE UTILIZING THE PROPOSED STORMWATER PONDS AS TEMPORARY RISER BASINS.
10. MAINTAIN EROSION CONTROL DEVICES WEEKLY, AND FOLLOWING EVERY RAIN EVENT.
11. STABILIZE GRADED AREAS AS THEY ARE CLEARED, PER THE NPDES GROUND STABILIZATION TIMELINE.
12. CALL THE WAKE COUNTY ENVIRONMENTAL CONSULTANT (JEEVAN NEUPANE AT 919-819-8907) FOR AN ON-SITE INSPECTION AND OBTAIN A CERTIFICATE OF COMPLIANCE.

STAGE 2 SPECIFIC CONSTRUCTION SEQUENCE

- 1. CLEAR AND GRUB REMAINDER OF SITE AND BEGIN EARTHWORK ACTIVITY FOLLOWING STAGE 2 EROSION CONTROL PLANS.
2. AS THE SITE IS BROUGHT UP TO GRADE, THE CONTRACTOR SHALL RAISE AND/OR RELOCATE ALL DIVERSION DITCHES TO MAINTAIN A POSITIVE SEDIMENT LADEN FLOW TO ALL SEDIMENT BASINS.
3. INSTALL STORM COLLECTION SYSTEM WITH INLET PROTECTION ON ALL STRUCTURES ACCEPTING FLOW.
4. INSTALL APPROVED INLET PROTECTION AS INLETS ARE INSTALLED.
5. MAINTAIN EROSION CONTROL MEASURES WEEKLY AND AFTER EACH RAIN EVENT.
6. STABILIZE GRADED AREAS AS THEY ARE CLEARED, PER THE NPDES GROUND STABILIZATION TIMELINE.
7. CALL THE WAKE COUNTY ENVIRONMENTAL CONSULTANT (JEEVAN NEUPANE AT 919-819-8907) FOR AN ON-SITE INSPECTION AND OBTAIN A CERTIFICATE OF COMPLIANCE.

STAGE 3 SPECIFIC CONSTRUCTION SEQUENCE

- 1. CONTINUE EARTHWORK ACTIVITY AND MAINTAIN INLET PROTECTION ON ALL STRUCTURE ACCEPTING FLOW.
2. TEMPORARY EROSION CONTROL MEASURES ARE TO REMAIN UNTIL SUCH MEASURES HAVE BEEN APPROVED FOR REMOVAL BY THE ENVIRONMENTAL CONSULTANT.
3. MAINTAIN EROSION CONTROL MEASURES WEEKLY AND AFTER EACH RAIN EVENT THROUGHOUT CONSTRUCTION.
4. STABILIZE GRADED AREAS AS THEY ARE BROUGHT TO FINAL GRADE.
5. UPON APPROVAL OF PERMANENT STABILIZATION, REMOVE BALANCE OF EROSION CONTROL MEASURES.

STOCKPILING NOTES

- THE TEMPORARY STOCKPILING OF MATERIALS IS PERMITTED SUBJECT TO THE FOLLOWING STANDARDS:
1. THE STOCKPILED MATERIAL SHALL NOT EXCEED 25 FEET IN HEIGHT ABOVE THE ORIGINAL NATURAL GRADE.
2. THE FOOTPRINT OF THE STOCKPILING AREA SHALL BE LOCATED AT LEAST 25 FEET FROM ADJOINING PROPERTY LINES.
3. THE SIDE SLOPE OF THE STOCKPILED MATERIALS SHALL NOT EXCEED A 3:1 RATIO.
4. STOCKPILED MATERIALS SHALL BE LIMITED TO DIRT, FILL, AND/OR GRAVEL.
5. STOCKPILED MATERIALS SHALL BE SEEDED OR COVERED WITH TARPS OR MULCH.
6. ANY CONCENTRATED FLOW LIKELY TO AFFECT THE STOCKPILE SHALL BE DIVERTED TO AN APPROVED BMP.
7. IF A STOCKPILE IS TO REMAIN FOR FUTURE USE AFTER THE PROJECT IS COMPLETE.
8. THE APPROVED PLAN SHALL PROVIDE FOR THE USE OF STAGED SEEDING AND MULCHING ON A CONTINUAL BASIS.
9. ESTABLISH AND MAINTAIN A VEGETATIVE BUFFER AT THE TOE OF THE SLOPE.

REQUIRED WAKE COUNTY BASIN REMOVAL SEQUENCE

- WAKE COUNTY OR JURISDICTIONAL MUNICIPALITY MUST GRANT PERMISSION TO CONVERT SEDIMENT BASINS OVER TO STORMWATER USE PRIOR TO COMPLETING ANY RELATED WORK.
1. SCHEDULE A SITE MEETING WITH THE ENVIRONMENTAL CONSULTANT TO DETERMINE IF A BASIN CAN BE REMOVED.
2. REMOVE BASIN(S) AND ASSOCIATED TEMPORARY DIVERSION DITCHES.
3. PERFORM SEEDBED PREPARATION, SEED, MULCH AND ASPHALT TACK ANY RESULTING BARE AREAS IMMEDIATELY.
4. INSTALL VELOCITY DISSIPATORS AND/OR LEVEL SPREADERS AS REQUIRED ON THE EROSION CONTROL PLAN.
5. WHEN SITE IS FULLY STABILIZED, CALL ENVIRONMENTAL CONSULTANT FOR APPROVAL OF REMOVING REMAINING TEMPORARY EROSION CONTROL MEASURES AND ADVISE ON WHEN SITE CAN BE ISSUED A CERTIFICATE OF COMPLETION.

TEMPORARY AND PERMANENT SEEDING NOTES

- 1. TEMPORARY SEEDING: MUST PLANT OR OTHERWISE PROVIDE A TEMPORARY COVER SUFFICIENT TO RESTRAIN EROSION AFTER ANY GRADED AREA REMAINS UNDISTURBED.
2. PERMANENT SEEDING: MUST PLANT OR OTHERWISE PROVIDE A PERMANENT GROUND COVER SUFFICIENT TO RESTRAIN EROSION UPON COMPLETION OF CONSTRUCTION OR DEVELOPMENT.
1. CHISEL COMPACTED AREAS AND SPREAD TOPSOIL THREE INCHES DEEP.
2. RIP THE ENTIRE AREA TO SIX INCHES DEEP.
3. REMOVE ALL LOOSE ROCK, ROOTS AND OTHER OBSTRUCTIONS.
4. APPLY AGRICULTURAL LIME, FERTILIZER AND SUPERPHOSPHATE UNIFORMLY AND MIX WITH SOIL.
5. CONTINUE TILLAGE UNTIL A WELL-PULVERIZED, FIRM, REASONABLY UNIFORM SEEDBED IS PREPARED.
6. SEED ON A FRESHLY PREPARED SEEDBED AND COVER SEED LIGHTLY WITH SEEDING EQUIPMENT.
7. MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH.
8. INSPECT ALL SEEDED AREAS AND MAKE NECESSARY REPAIRS OR RESEEDINGS WITHIN THE PLANTING SEASON.
9. CONSULT S&E ENVIRONMENTAL CONSULTANTS ON MAINTENANCE TREATMENT AND FERTILIZATION AFTER PERMANENT COVER IS ESTABLISHED.

SEEDBED PREPARATION

NPDES Stormwater Discharge Permit for Construction Activities (NCGO1)

Table with 3 columns: SITE AREA DESCRIPTION, STABILIZATION, TIMEFRAME EXCEPTIONS. Includes rows for Perimeter dikes, High Quality Water (HQW) Zones, Slopes steeper than 3:1, Slopes 3:1 or flatter, and All other areas with slopes flatter than 4:1.

NCDENR/Division of Energy, Mineral and Land Resources

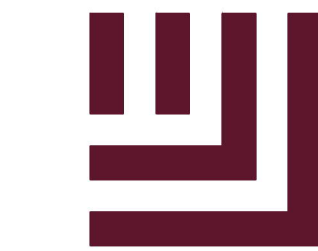
TEMPORARY DIVERSION DITCH SUMMARY DESIGN TABLE with columns: TEMPORARY DIVERSION ID, TD-1, TD-2, TD-3. Rows include MINIMUM DEPTH, MINIMUM BOTTOM WIDTH, CALCULATED VELOCITY, ALLOWABLE VELOCITY, CALCULATED SHEAR STRESS, ALLOWABLE SHEAR STRESS, and TEMPORARY LINER SPECIFICATION.

\* ALL SPECIFICATIONS ARE NORTH AMERICAN GREEN ROLLMAX PRODUCTS OR EQUAL



Know what's below. Call before you dig.

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED.



McADAMS

The John R. McAdams Company, Inc. Suite 500 Raleigh, NC 27603 phone 919. 361. 5000 fax 919. 361. 2269 license number: C-0293, C-187

www.mcadamsco.com

WALLBROOK LANDCO, LLC 3 KEEL STREET, SUITE 2 WRIGHTSVILLE BEACH, NORTH CAROLINA 28480-1709

WALLBROOK CONSTRUCTION DRAWINGS ROLESVILLE, NORTH CAROLINA



Signature of William T. O'Daniel and contact information: William T. O'Daniel, Professional Engineer, License No. 22630, w.o.daniel@mcadamsco.com

REVISIONS

NO. DATE

PLAN INFORMATION

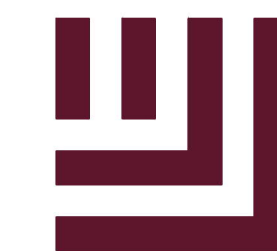
PROJECT NO. CPR-19100 FILENAME CPR19100-CD-EC-N1 CHECKED BY WTO DRAWN BY JMS SCALE --- DATE 03.31.2023

SHEET

EROSION CONTROL NOTES

C6.00





McADAMS

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28480-1709

WALLBROOK  
CONSTRUCTION DRAWINGS  
ROLESVILLE, NORTH CAROLINA



William T. O'Daniel  
Professional Engineer  
No. 22630  
North Carolina  
email: wtdaniel@mcadamsco.com  
2023.03.31 13:14:22 -0400'

REVISIONS

NO.	DATE

PLAN INFORMATION

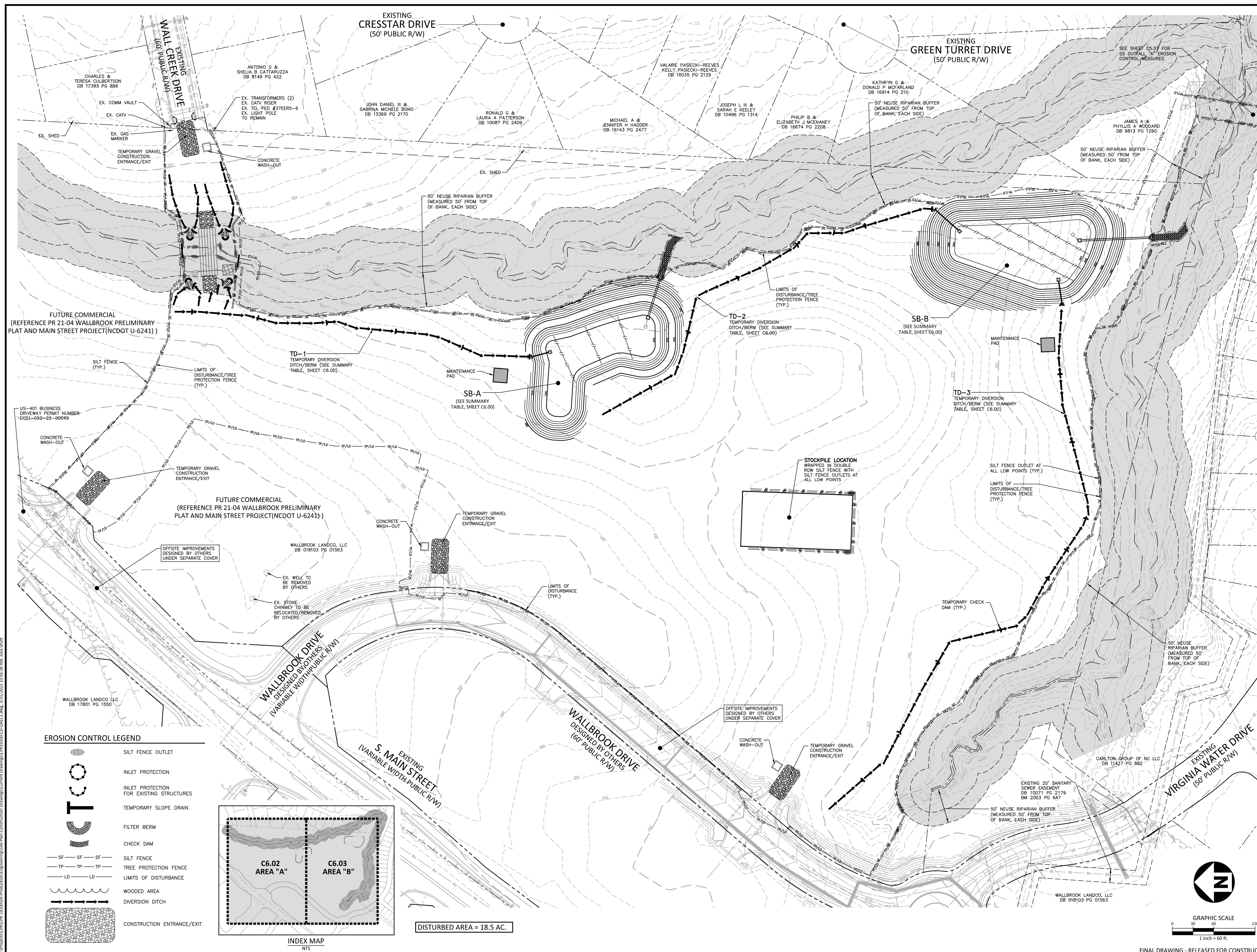
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FILENAME CPR19100-CD-OAEC1  
CHECKED BY WTO  
DRAWN BY JMS  
SCALE 1"=60'  
DATE 03.31.2023

SHEET

OVERALL EROSION CONTROL  
PLAN - STAGE 1

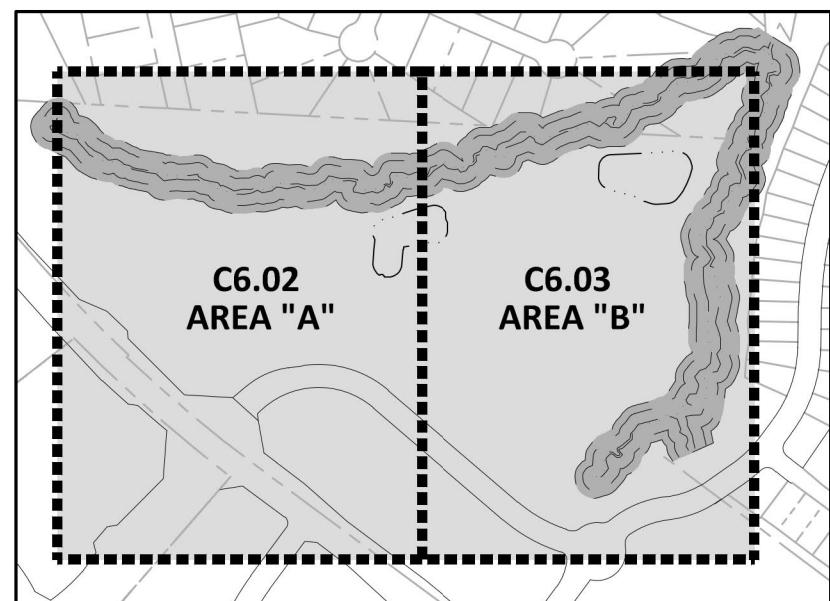
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FINAL DRAWING - RELEASED FOR CONSTRUCTION

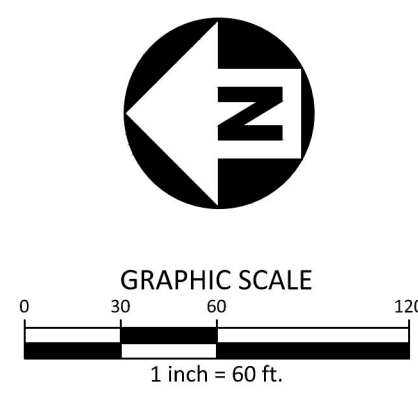


EROSION CONTROL LEGEND

- SILT FENCE OUTLET
- INLET PROTECTION
- INLET PROTECTION FOR EXISTING STRUCTURES
- TEMPORARY SLOPE DRAIN
- FILTER BERM
- CHECK DAM
- SILT FENCE
- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE
- WOODED AREA
- DIVERSION DITCH
- CONSTRUCTION ENTRANCE/EXIT



DISTURBED AREA = 18.5 AC.



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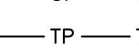

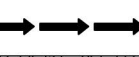









SEE SHEET C6.02

EROSION CONTROL LEGEND

-  SILT FENCE OUTLET
-  INLET PROTECTION
-  INLET PROTECTION FOR EXISTING STRUCTURES
-  TEMPORARY SLOPE DRAIN
-  FILTER BERM
-  CHECK DAM
-  SILT FENCE
-  TREE PROTECTION FENCE
-  LIMITS OF DISTURBANCE
-  WOODED AREA
-  DIVERSION DITCH
-  CONSTRUCTION ENTRANCE/EXIT



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ROLESVILLE, NORTH CAROLINA



William T. O'Daniel  
c/o=William T. O'Daniel, c/o=US, c/o=North Carolina, email=odaniel@mcadamsco.com, 2023.03.31 13:14:59 -04'00'

REVISIONS

NO. DATE

PLAN INFORMATION

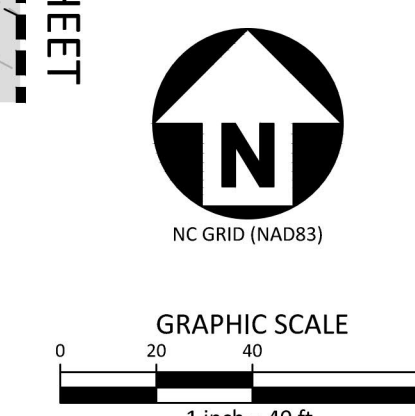
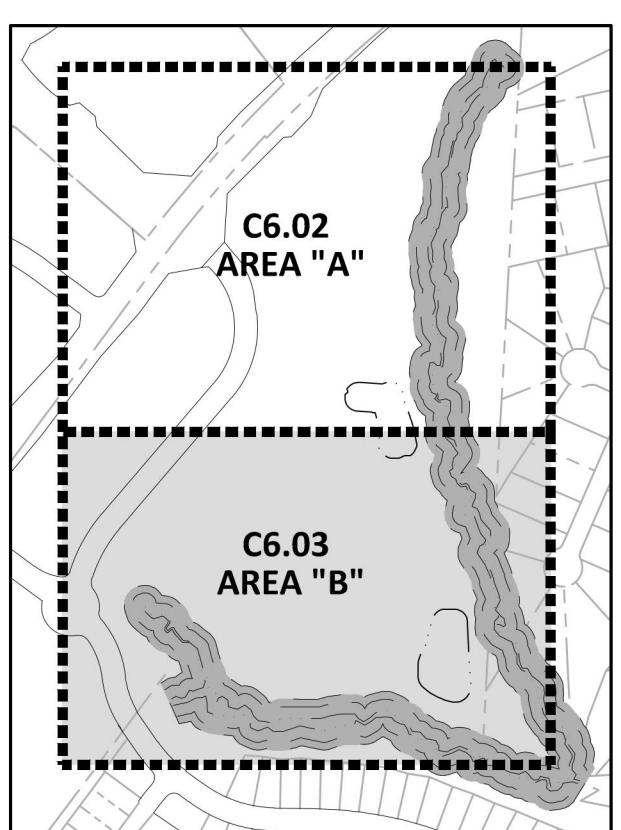
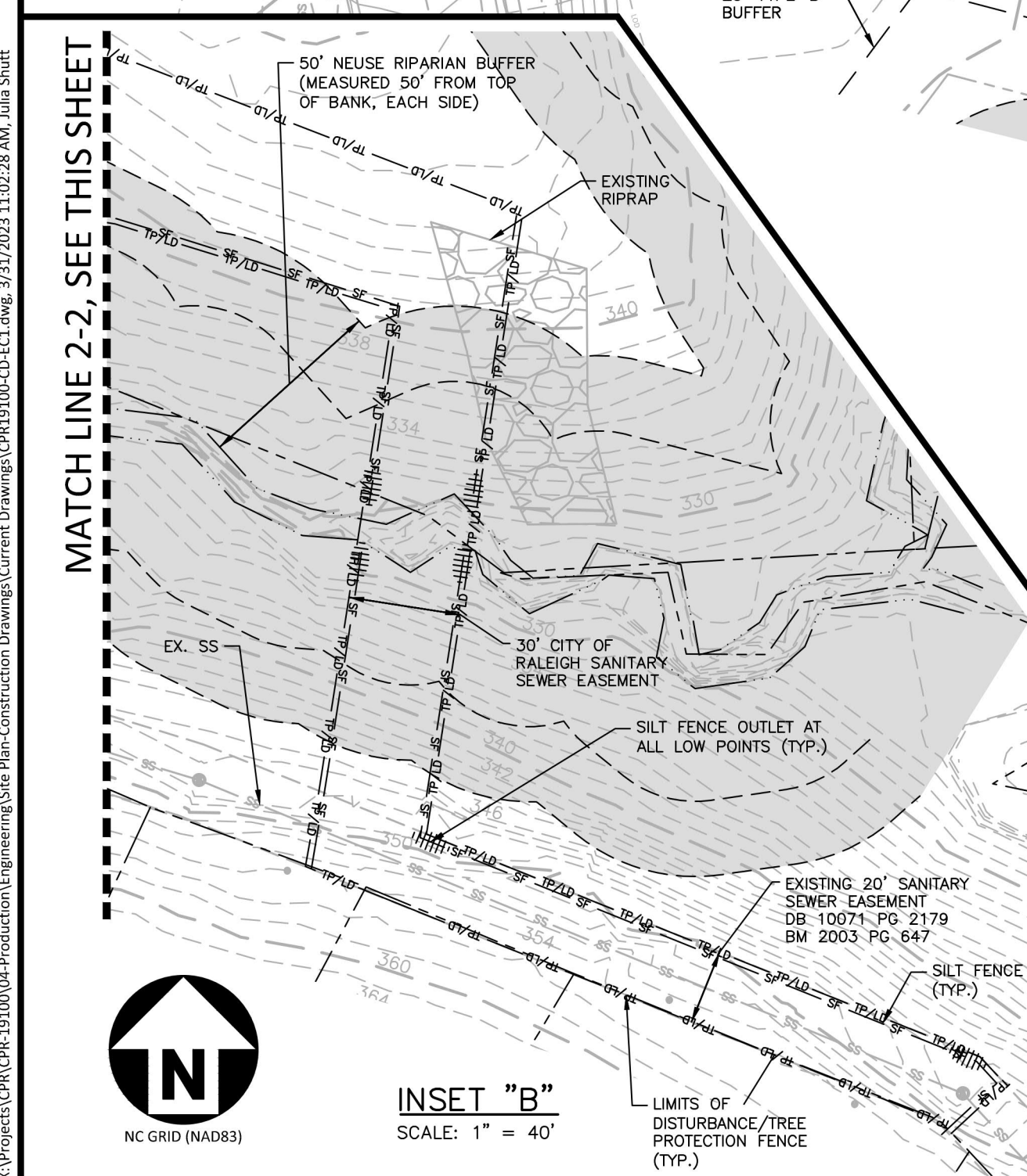
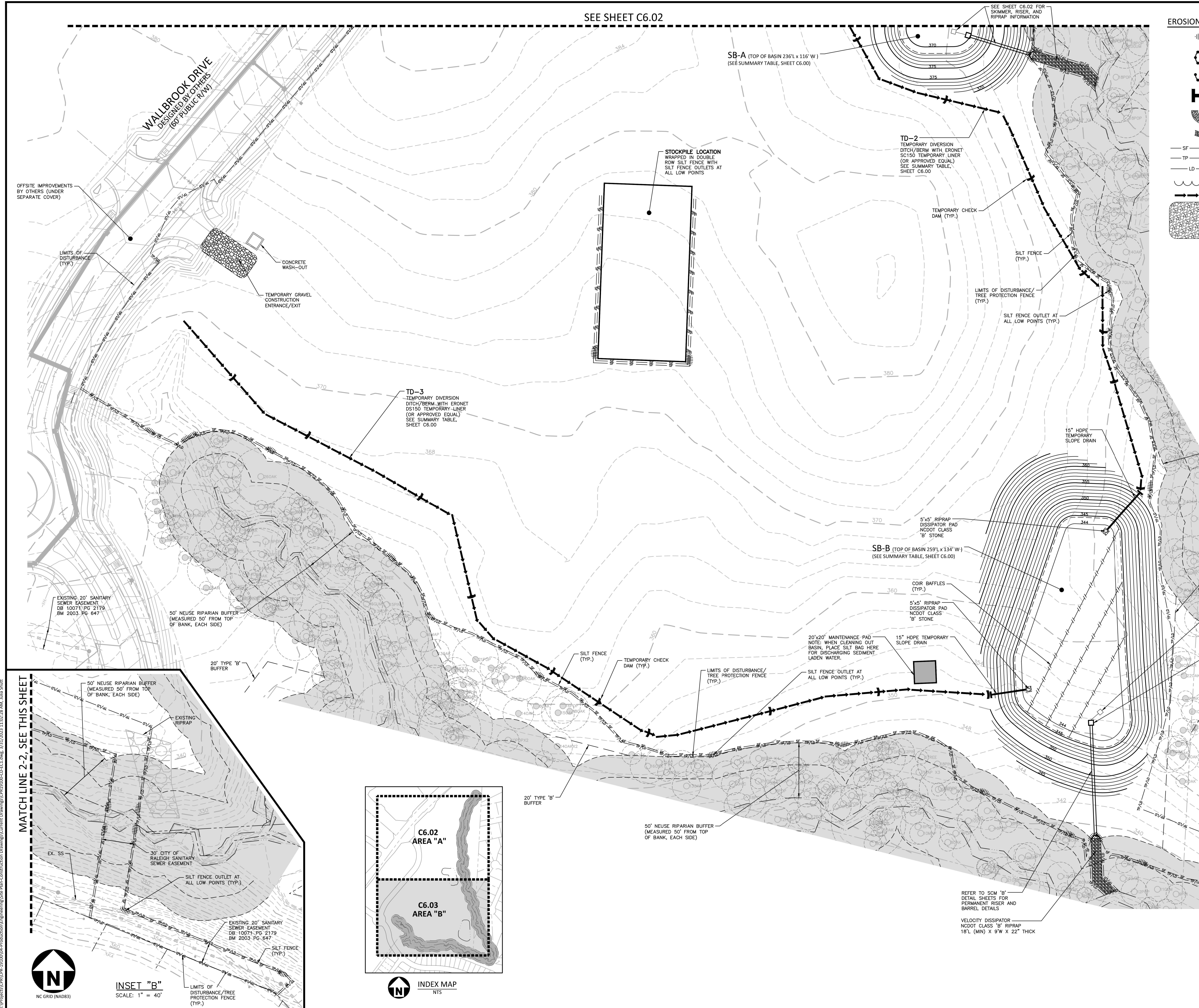
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SCALE 1"=40'  
DATE 03.31.2023

SHEET

EROSION CONTROL PLAN - STAGE 1 - AREA "B"

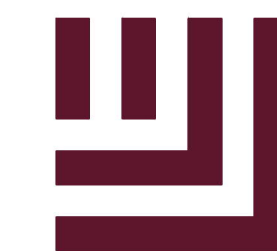
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FINAL DRAWING - RELEASED FOR CONSTRUCTION



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c/o William T. O'Daniel, c/o US,  
North Carolina  
email:rodaniel@mcadamsco.com  
2023.03.31 13:15:14 -04'00'

**REVISIONS**

NO.	DATE

**PLAN INFORMATION**

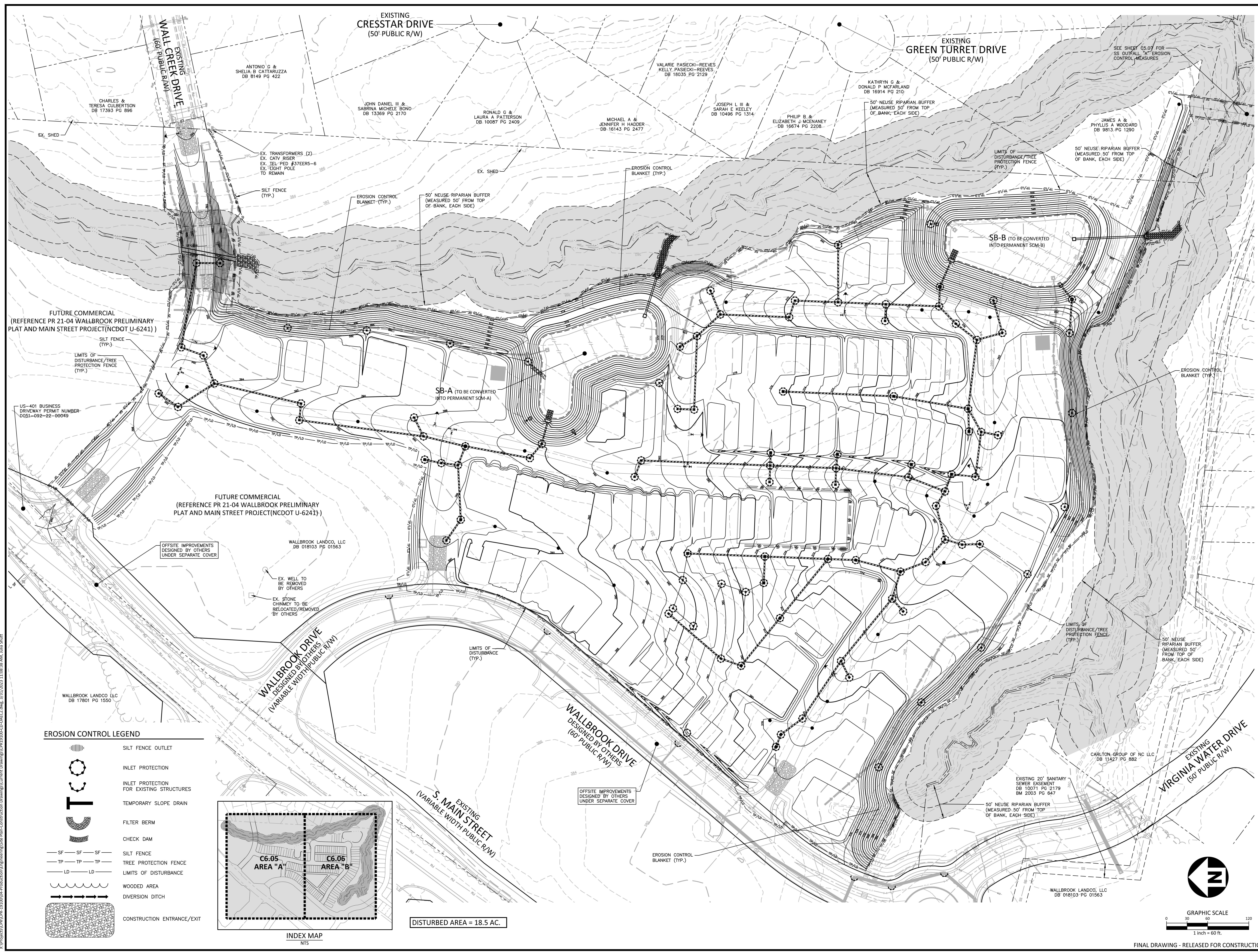
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CHECKED BY	WTO
DRAWN BY	JMS
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DATE	03. 31. 2023

**SHEET**

**OVERALL EROSION CONTROL  
PLAN - STAGE 2**

**C6.04**

FINAL DRAWING - RELEASED FOR CONSTRUCTION

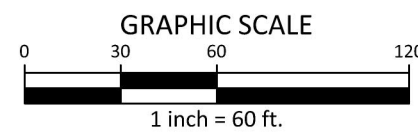


**EROSION CONTROL LEGEND**

- SILT FENCE OUTLET
- INLET PROTECTION
- INLET PROTECTION FOR EXISTING STRUCTURES
- TEMPORARY SLOPE DRAIN
- FILTER BERM
- CHECK DAM
- SILT FENCE
- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE
- WOODED AREA
- DIVERSION DITCH
- CONSTRUCTION ENTRANCE/EXIT

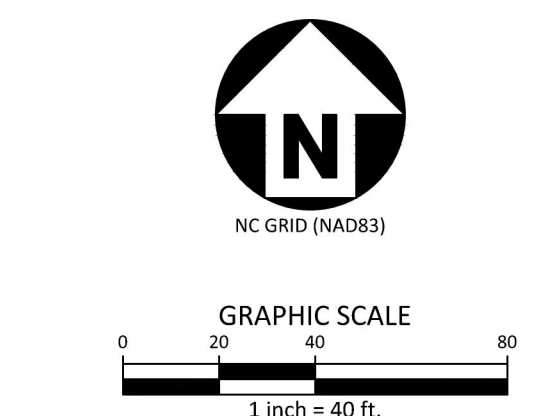
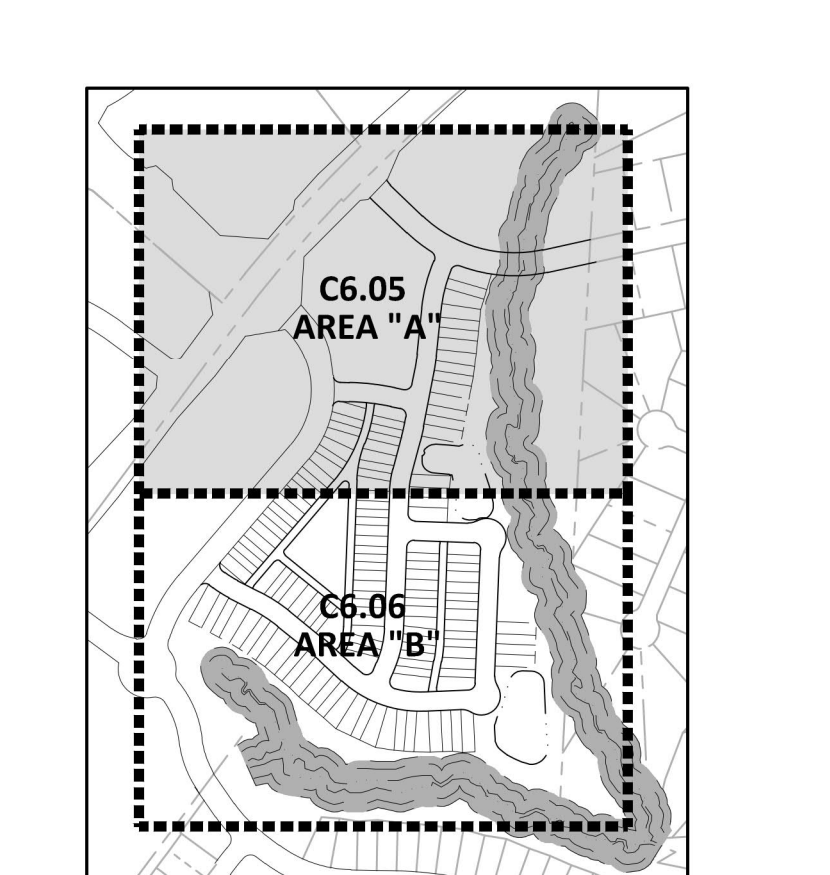
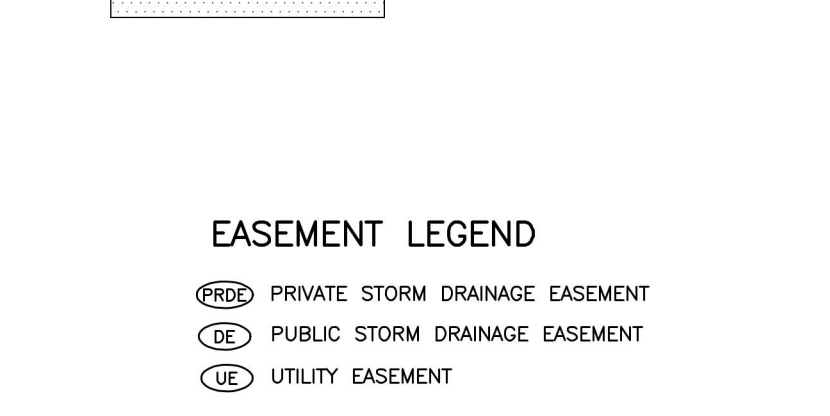
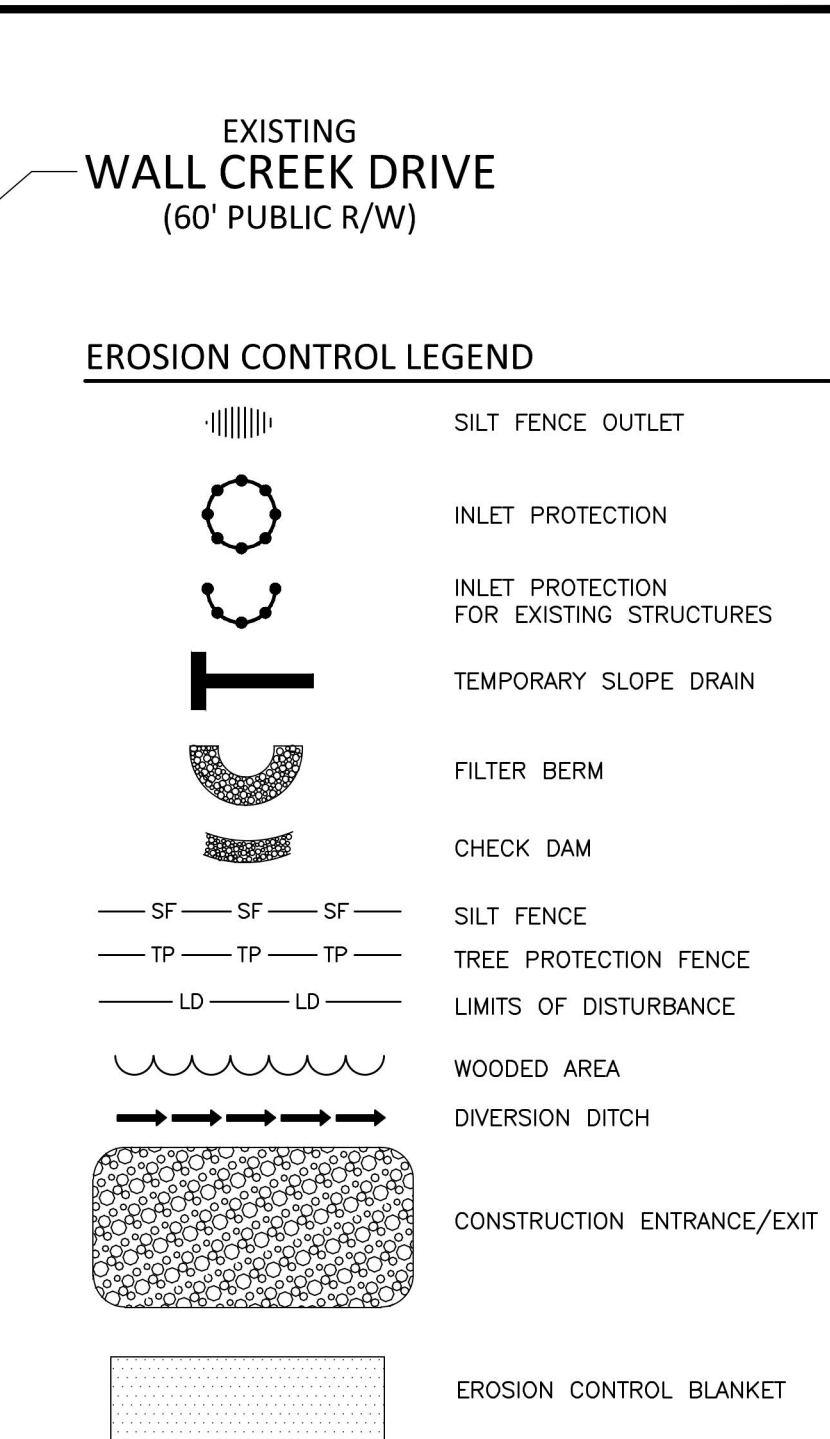
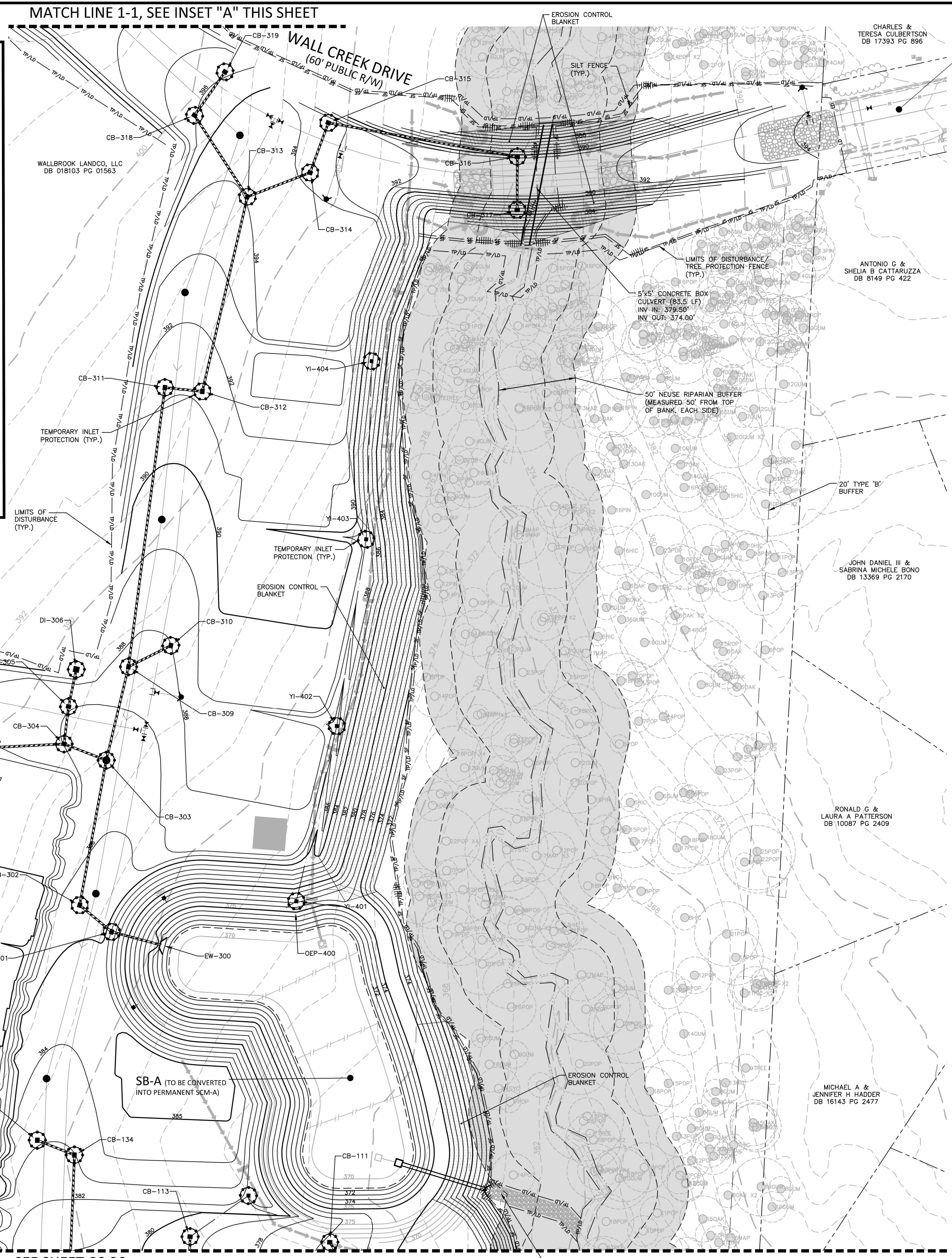
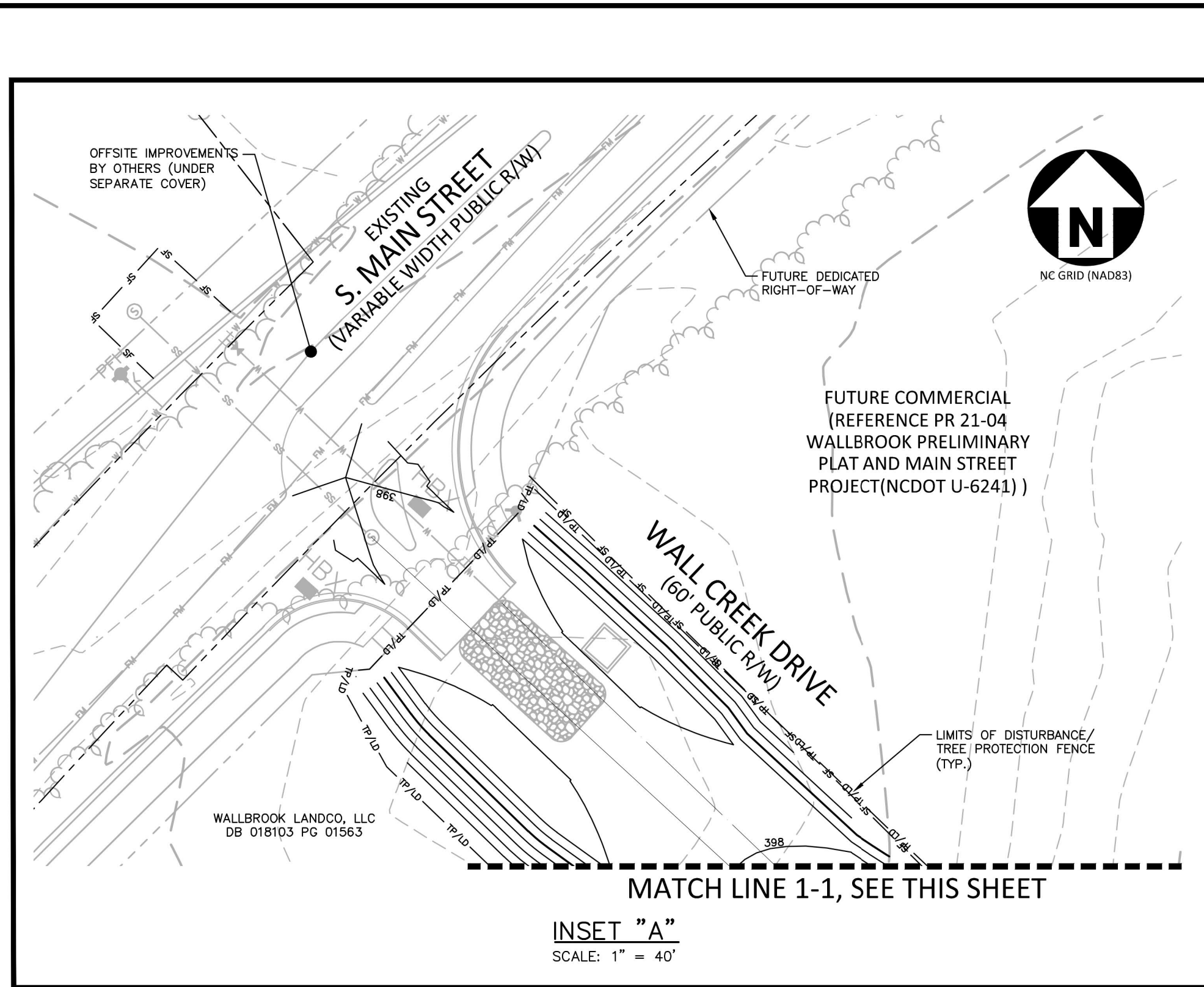


DISTURBED AREA = 18.5 AC.



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email: rodaniel@mcadamsco.com  
2023.03.31 13:15:38 -0400

**REVISIONS**

NO.	DATE

**PLAN INFORMATION**

PROJECT NO.	CPR-19100
FILENAME	CPR19100-CD-EC2
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DATE	03.31.2023

**EROSION CONTROL PLAN - STAGE 2 - AREA "A"**

**C6.05**

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