

**SPECIAL USE PERMIT CONDITIONS**

- A. USES AND MAXIMUM DENSITIES ARE LIMITED TO THOSE SHOWN ON EACH SITE ON THE CONCEPT PLAN. ANY RESIDENTIAL UNITS NOT DESIGNATED ON THE RESIDENTIAL-TOWNHOMES TRACT MAY BE USED ON ANY OF THE TRACTS LABELED FOR NON-RESIDENTIAL USES.
- B. PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY FOR THE FIRST RESIDENTIAL UNIT IN THE EAST SIDE AS SHOWN ON THE CONCEPT PLAN, DEVELOPER WILL COMPLETE THE EXTENSION OF WALL CREEK DRIVE TO MAIN STREET.
- C. IF APPLICANT SEEKS A CERTIFICATE OF OCCUPANCY PRIOR TO THE COMMENCEMENT OF WORK ON THE LAPP GRANT PROJECT IMPROVEMENTS, THEN PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY OF THE FIRST RESIDENTIAL UNIT IN THE EAST SIDE AND IN ACCORDANCE WITH THE "WALLBROOK DEVELOPMENT TIA ADDENDUM - RESIDENTIAL-ONLY PHASE" DATED FEBRUARY 13, 2020, DEVELOPER WILL CONSTRUCT A 100' NORTHBOUND RIGHT TURN LANE AND A 100' SOUTHBOUND LEFT TURN LANE AT THE INTERSECTION OF WALL CREEK DRIVE (AS EXTENDED) AND MAIN STREET. IF WORK ON THE LAPP GRANT PROJECT IMPROVEMENTS IS COMMENCED BEFORE THE FIRST CERTIFICATE OF OCCUPANCY IS REQUESTED, DEVELOPER IS NOT REQUIRED TO CONSTRUCT THE AFOREMENTIONED IMPROVEMENTS.
- D. NO LATER THAN SIX MONTHS FOLLOWING THE COMPLETION OF THE LAPP GRANT PROJECT IMPROVEMENTS, DEVELOPER WILL COMPLETE BOTH 1) THE EXTENSION OF VIRGINIA WATER DRIVE TO MAIN STREET AND 2) THE EXTENSION OF BURLINGTON MILLS ROAD (AS REALIGNED) FROM MAIN STREET TO VIRGINIA WATER DRIVE.
- E. DEVELOPER WILL COMPLETE TRAFFIC IMPROVEMENTS AS SET FORTH IN OCTOBER 12, 2020 MEMO BY STANTEC.
- F. AS SHOWN ON THE "PRELIMINARY PLAT PLAN - SP 21-02," AREAS OF THE SITE EAST OF THE RIPARIAN STREAM AND ADJACENT TO WAKE COUNTY PINS 1758676836, 1758674619, 1758674416, 1758674204, 1758674100, AND 1758663984 SHALL NOT BE DEVELOPED WITH STRUCTURES OR IMPROVEMENTS.

PARCEL OWNER LIST		
PIN	OWNER	AREA
1758-56-8976	WALLBROOK LANDCO, LLC. 3 KEEL STREET, SUITE 2 WRIGHTSVILLE BEACH, NC 28480	42.324 AC.

**DEVELOPER/OWNER**

WALLBROOK LANDCO, LLC.  
3 KEEL STREET, SUITE 2  
WRIGHTSVILLE BEACH, NC 28480

**CURRENT ZONING: CO SUD**

**SURVEY BY:**

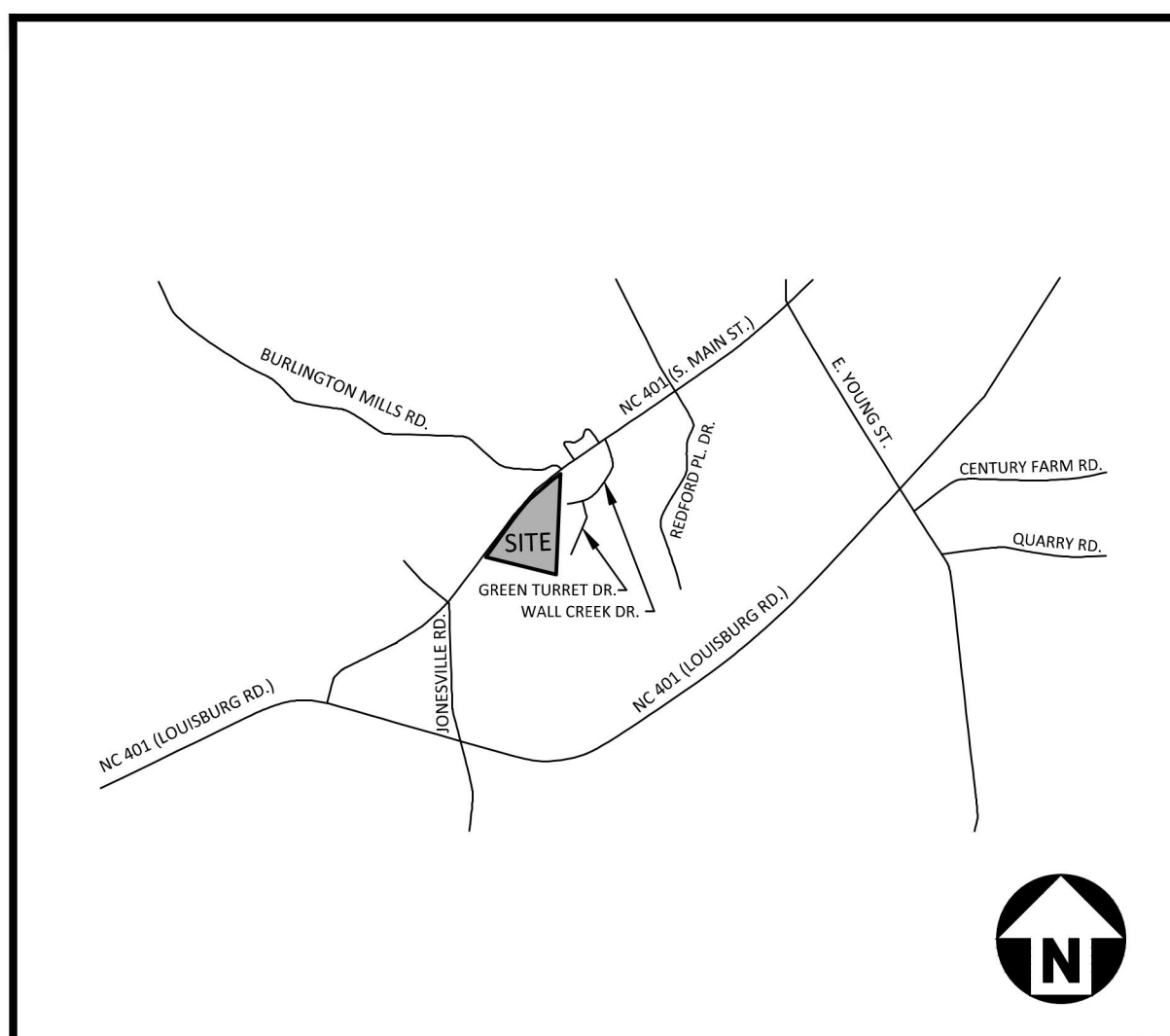
JOHNSON, MIRMIRAN & THOMPSON  
9201 ARBORETUM PARKWAY, SUITE 310  
RICHMOND, VIRGINIA 23236

TOPOGRAPHIC MARCH 25, 2020  
ALTA SURVEY MARCH 25, 2020

WILLIAM T. ROBBINS, PLS  
NC LICENSE # 4192  
804-323-9900

**SURVEY NOTES**

- THE PROPERTY LIES IN ZONE "X" PER NATIONAL FLOOD INSURANCE PROGRAM RATE MAP (FIRM), WAKE COUNTY, NORTH CAROLINA, PANEL 1758, MAP NO. 37201758001, DATED MAY 2, 2006.
- THE SURVEY IS REFERENCED TO THE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983, 2001 ADJUSTMENT, NAD83(2001). ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
- THE SUBJECT PARCEL IS ZONED CO-SUD (COMMERCIAL OUTLYING SPECIAL USE DISTRICT) PER WAKE COUNTY GIS.
- SURVEY WAS PREPARED BY JOHNSON, MIRMIRAN & THOMPSON UNDER THE SUPERVISION OF WILLIAM T. ROBBINS, PLS. FIELD WORK WAS COMPLETED MARCH 25, 2020.
- AREAS COMPUTED BY COORDINATE METHOD.
- NO CEMETERIES OBSERVED AS A RESULT OF THE SURVEY.



**VICINITY MAP**  
N.T.S.

# WALLBROOK

S. MAIN STREET  
ROLESVILLE, NORTH CAROLINA

## TOWNHOMES CONSTRUCTION DRAWINGS CD22-04

PROJECT NUMBER: CPR-19100  
DATE: MAY 22, 2023

**15.4.5 - Streets**

15.4.5.1  
Type of Street Required All subdivision lots shall abut at least 20 feet on a public street. All public streets shall be dedicated to the Town of Rolesville, the State of North Carolina or the public as determined appropriate by the Board of Commissioners of the Town of Rolesville. All public streets shall be built to the standards of this ordinance and all other applicable standards of the Town of Rolesville and the North Carolina Department of Transportation. Public streets not dedicated to the Town which are eligible for acceptance into the State Highway System shall be constructed to the standards necessary to be put on the State Highway System or the standards in this ordinance, whichever is stricter, in regard to each particular item and shall be put on such system. Streets not dedicated to the Town which are not eligible to be put on the State Highway System because there are too few lots or residences shall, nevertheless, be dedicated to the public and shall be in accordance with the standards in this ordinance or the standards necessary to be put on the State Highway System, whichever is stricter in regard to each particular item, so as to be eligible to be put on the system at a later date. A written maintenance agreement with provisions for maintenance of the street until it is put on the State System shall be included with the final plat.

15.4.5.2  
Subdivision Street Disclosure Statement All streets shown on the final plat shall be designated in accordance with G.S. § 136-102.6 and designation as public shall be conclusively presumed an offer of dedication to the public. Where streets are dedicated to the public but not accepted into a municipal or the State system, before lots are sold, a statement explaining the status of the street shall be included with the final plat.

**EROSION CONTROL, STORMWATER  
AND FLOODPLAIN MANAGEMENT**

APPROVED  
EROSION CONTROL  SEC-084327-2022  
STORMWATER MGMT.  SWF-084502-2022  
FLOOD STUDY  S-  
DATE  
**Janet Boyer**  
Digitally signed by Janet Boyer  
DN: cn=JANET BOYER, o=STANTEC, ou=ENVIRONMENTAL CONSULTANT, email=jboyer@wakegov.com, c=US  
c:\w\jboyer\jboyer@wakegov.com  
CN=Janet Boyer  
Date: 2023.05.15 14:32:42-04'00'

**QUANTITIES :**

ITEM	QUANTITY	UNIT
WALL CREEK DR	60' R/W	615 LF
LETTIE LN	50' R/W	1,180 LF
WALLSTONE WAY	50' R/W	1,470 LF
CHIMNEY DR	50' R/W	205 LF
DEEP OAK DR	20' PRIVATE ALLEY	635 LF
RANDY DR	20' PRIVATE ALLEY	240 LF
ROLES WAY	20' PRIVATE ALLEY	585 LF
ZIGGY LN	20' PRIVATE ALLEY	445 LF

**PUBLIC UTILITY IMPROVEMENTS QUANTITIES  
(CONSTRUCTION DRAWINGS)**

ITEM	TOTALS
NUMBER OF LOTS	140
LOT NUMBERS	1-140
6" PUBLIC WATER (LF)	0 LF
8" PUBLIC WATER (LF)	3,420 LF
8" PUBLIC SEWER (LF)	2,195 LF
12" PUBLIC SEWER (LF)	1,565 LF
WATER SERVICE STUBS	141-22=118*
SEWER SERVICE STUBS	141

\* 22 SERVICES ALONG WALLBROOK DRIVE TO BE INSTALLED BY OTHERS



CD 22-04 Wallbrook Townhomes

APPROVED  
Date: June 15, 2023

*Meredith Shuler*  
Town of Rolesville Planning Department

NOTE: PHASE 2 RELIES ON DESIGN AND INFRASTRUCTURE BY OTHERS FOR PUBLIC WATER. PHASE 2 IS NOT TO BE PLATTED UNTIL THE WATER BY OTHERS IS INSTALLED, INSPECTED AND ACCEPTED BY RALEIGH.

**SHEET INDEX**

C0.00	PROJECT NOTES
1 of 1	EXISTING CONDITIONS (PREPARED BY JMT SURVEY)
C1.01	DEMOLITION PLAN
C2.00	OVERALL SITE PLAN
C2.01	SITE PLAN - AREA "A"
C2.02	SITE PLAN - AREA "B"
C2.03	LOT DIMENSIONS - AREA "A"
C2.04	LOT DIMENSIONS - AREA "B"
C2.05	OVERALL PHASING PLAN
C3.00	OVERALL GRADING AND STORM DRAINAGE PLAN
C3.01	GRADING AND STORM DRAINAGE PLAN - AREA "A"
C3.02	GRADING AND STORM DRAINAGE PLAN - AREA "B"
C4.00	OVERALL UTILITY PLAN
C4.01	UTILITY PLAN - AREA "A"
C4.02	UTILITY PLAN - AREA "B"
C5.00	PLAN AND PROFILE - WALL CREEK DR STA. 9+00 THRU STA. 18+00
C5.01	PLAN AND PROFILE - LETTIE LN STA. 9+50 THRU STA. 22+00
C5.02	PLAN AND PROFILE - WALLSTONE WAY STA. 9+50 THRU STA. 19+50
C5.03	PLAN AND PROFILE - WALLSTONE WAY STA. 19+50 THRU STA. 26+50
	PLAN AND PROFILE - CHIMNEY DR STA. 9+50 THRU STA. 13+00
C5.04	PLAN AND PROFILE - DEEP OAK DR STA. 9+50 THRU STA. 16+50
	PLAN AND PROFILE - RANDY DR STA. 9+50 THRU STA. 13+00
C5.05	PLAN AND PROFILE - ROLES WAY STA. 9+50 THRU STA. 16+50
C5.06	PLAN AND PROFILE - ZIGGY LN STA. 9+50 THRU STA. 15+00
C5.07	PLAN AND PROFILE - SS OUTFALL "A" STA. 9+50 THRU STA. 18+50
C6.00	EROSION CONTROL NOTES
C6.01	OVERALL EROSION CONTROL PLAN - STAGE 1
C6.02	EROSION CONTROL PLAN - STAGE 1 - AREA "A"
C6.03	EROSION CONTROL PLAN - STAGE 1 - AREA "B"
C6.04	OVERALL EROSION CONTROL PLAN - STAGE 2
C6.05	EROSION CONTROL PLAN - STAGE 2 - AREA "A"
C6.06	EROSION CONTROL PLAN - STAGE 2 - AREA "B"
C6.07	OVERALL EROSION CONTROL PLAN - STAGE 3
C6.08	EROSION CONTROL PLAN - STAGE 3 - AREA "A"
C6.09	EROSION CONTROL PLAN - STAGE 3 - AREA "B"
C6.10	EROSION CONTROL DETAILS
C6.11	EROSION CONTROL DETAILS
C6.12	EROSION CONTROL DETAILS
C6.13	EROSION CONTROL DETAILS
C6.14	EROSION CONTROL DETAILS
C8.00	SITE DETAILS
C8.01	STORM DRAINAGE DETAILS
C8.02	STORM DRAINAGE DETAILS
C8.03	WATER DETAILS
C8.04	WATER DETAILS
C8.05	SEWER DETAILS
C8.06	SEWER DETAILS
C9.A1	STORMWATER CONTROL MEASURE "A" PLAN VIEW
C9.A2	STORMWATER CONTROL MEASURE "A" DETAILS
C9.A3	STORMWATER CONTROL MEASURE "A" DETAILS
C9.A4	STORMWATER CONTROL MEASURE "A" LANDSCAPE PLAN
C9.B1	STORMWATER CONTROL MEASURE "B" PLAN VIEW
C9.B2	STORMWATER CONTROL MEASURE "B" DETAILS
C9.B3	STORMWATER CONTROL MEASURE "B" DETAILS
C9.B4	STORMWATER CONTROL MEASURE "B" LANDSCAPE PLAN
C10.01	OPEN SPACE PLAN
L5.00	OVERALL CODE LANDSCAPE PLAN
L5.01	ENLARGED CODE LANDSCAPE PLAN

PR21-04	TREE PRESERVATION PLAN (PREPARED BY ARK CONSULTING)
SL2.0	SIGHT LIGHTING AND SPECIFICATIONS (BY ON-SITE LIGHTING)
SL2.1	PHOTOMETRIC PLAN (PREPARED BY ON-SITE LIGHTING)
SL2.2	PHOTOMETRIC PLAN (PREPARED BY ON-SITE LIGHTING)

**SITE PERMITTING APPROVAL**

**Water and Sewer Permits (if applicable)**

The City of Raleigh consents to the connection and extension of the City's Public Sewer System as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # S-5230

The City of Raleigh consents to the connection and extension of the City's Public Water System as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # W-4043

The City of Raleigh consents to the connection to its public sewer system and extension of the private sewer collection system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # \_\_\_\_\_

**CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION**

Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State or Federal Law. All Construction must be in accordance with all Local, State, and Federal Rules and Regulations.

Electronic Approval: This approval is being issued electronically. This approval is valid only upon the signature of a City of Raleigh Review Officer below. The City will retain a copy of the approved plans. Any work authorized by this approval must proceed in accordance with the plans kept on file with the City. This electronic approval may not be edited once issued. Any modification to this approval once issued will invalidate this approval.

City of Raleigh Development Approval \_\_\_\_\_  
City of Raleigh Review Officer

The John R. McAdams Company, Inc.  
621 Hillsborough Street  
Suite 500  
Raleigh, NC 27603  
phone 919. 361. 5000  
fax 919. 361. 2269  
license number: C-0293, C-187  
www.mcadamsco.com

**CONTACT**

MIKE SANCHEZ  
sanchez@mcadamscsco.com  
PHONE: 919. 361. 5000

**CLIENT**

WALLBROOK LANDCO, LLC  
3 KEEL STREET, SUITE 2  
WRIGHTSVILLE BEACH, NORTH CAROLINA  
28480-1709

**PROJECT DIRECTORY**

Digitally signed by  
William T O'Daniel  
Date: 2023.05.23  
14:23:32-04'00'

**REVISIONS**

NO. DATE

**CONSTRUCTION  
DRAWINGS FOR:**  
WALLBROOK  
ROLESVILLE, NORTH CAROLINA  
PROJECT NUMBER: CPR-19100



**GENERAL NOTES:**

- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- THERE MAY BE WETLANDS WITHIN THIS SITE. IT IS THE OWNER'S RESPONSIBILITY FOR WETLANDS JURISDICTION AND PERMIT DISTURBANCE PRIOR TO ANY GRADING ACTIVITY.

**SITE PLAN NOTES**

- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST TOWN OF ROLESVILLE AND/OR NCDOT STANDARDS AND SPECIFICATIONS AS APPLICABLE.
- ALL DIMENSIONS SHOWN ON SITE PLAN ARE MEASURED TO BACK OF CURB UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE ENGINEER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE OWNER.
- EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED/RESTORED TO THEIR ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER, BY THE CONTRACTOR RESPONSIBLE FOR THE DAMAGE.
- THE CONTRACTOR SHALL NOTE THAT THE DRAWINGS MAY NOT SHOW EVERY OFFSET, TRANSITION, FITTING, ETC. THAT MAY BE REQUIRED. THE CONTRACTOR SHALL INSTALL SUCH STANDARD APPURTENANCES AS REQUIRED TO CLOSELY FOLLOW THE GRADES AND ALIGNMENTS DEPICTED ON THE PLANS.
- CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE UTILITY COMPANIES FOR ANY REQUIRED RELOCATIONS (I.E. POWER POLES, TELEPHONE PEDESTALS, WATER METERS, ETC.).
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION, FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- ACCESSIBLE RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH NCDOT DETAILS.
- ALL SIDEWALKS THAT CONNECT TO THE PUBLIC RIGHT-OF-WAY MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- TYPICAL PAVEMENT SECTION DETAILS ARE SHOWN WITHIN THIS SET AND INTENDED TO BE A MINIMUM PAVEMENT SECTION REQUIREMENT. THE CURRENT GEOTECHNICAL REPORT SHALL OVER-RIDE ALL TYPICAL PAVEMENT SECTIONS SHOWN, IF THE GEOTECHNICAL ENGINEER DEEMS A HEAVIER SECTION IS REQUIRED.
- EQUIPMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED APPROVAL HAS BEEN OBTAINED FROM THE OWNER IN WRITING PRIOR TO ORDERING OR INSTALLATION. THE CONTRACTOR SHALL WAIVE ANY CLAIM FOR ADDITIONAL COST RELATED TO SUBSTITUTION OF ALTERNATE EQUIPMENT.
- ALL SIGNAGE ASSOCIATED WITH THE PUBLIC STREET SYSTEM SHALL ADHERE TO MUTCD STANDARDS AND SPECIFICATIONS.

**NOTES:**

- ROADS LABELED AS PUBLIC WILL BE DEDICATED AS PUBLIC ROW TO BE MAINTAINED BY THE TOWN OF ROLESVILLE.
- ROADS LABELED AS PRIVATE WILL BE DEDICATED AS PRIVATE AND BE MAINTAINED BY THE HOA.
- GREENWAY EASEMENTS LABELED AS PUBLIC WILL BE DEDICATED AS PUBLIC AND BE MAINTAINED BY THE TOWN OF ROLESVILLE.
- SANITARY SEWER EASEMENTS WILL BE DEDICATED AS PUBLIC EASEMENTS TO THE CITY OF RALEIGH.

**STORM DRAINAGE NOTES**

- ALL STORM DRAINAGE PIPES SHOWN SHALL BE REINFORCED CONCRETE (RCP) (MINIMUM CLASS III) UNLESS NOTED OTHERWISE. CONTRACTOR TO COORDINATE WITH THE GEOTECH TO VERIFY TYPE OF BEDDING REQUIRED BASED ON SOIL CONDITIONS. CONTRACTOR TO SELECT REQUIRED CLASS OF PIPE BASED ON DEPTH OF PIPE AND BEDDING PROVIDED PER THE AMERICAN CONCRETE PIPE ASSOCIATION GUIDELINES.
- ALL STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF ROLESVILLE STANDARDS.
- ALL CONCRETE SHALL MEET A MINIMUM 3000 PSI COMPRESSIVE STRENGTH.
- ALL PIPE IN STORM DRAIN STRUCTURES SHALL BE STRUCK EVEN WITH INSIDE WALL.
- ALL PIPE JOINTS SHALL BE MADE WITH PREFORMED JOINT SEALER, WHICH CONFORMS TO AASHTO SPECIFICATION M-198 FOR TYPE B FLEXIBLE PLASTIC GASKETS UNLESS OTHERWISE NOTED.
- THE INTERIOR SURFACES OF ALL STORM DRAINAGE STRUCTURES SHALL BE POINTED UP AND SMOOTHED TO AN ACCEPTABLE STANDARD, USING MORTAR MIXED TO MANUFACTURER'S SPECIFICATIONS.
- ALL BACKFILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATION MATTER, WASTE CONSTRUCTION MATERIAL OR OTHER OBJECTIONABLE MATERIAL. SAID MATERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER THE TAMPING BLOWS OR PROOF ROLLING.
- MATERIALS DEEMED BY THE OWNER'S REPRESENTATIVE OR GEOTECH AS UNSUITABLE FOR BACKFILL PURPOSES SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL.
- BACKFILLING OF TRENCHES SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PIPE IS LAID. THE FILL AROUND THE PIPE SHALL BE THOROUGHLY COMPACTED TO 95 % OF THE MAXIMUM DRY DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST. THE TOP EIGHT (8) INCHES SHALL BE COMPACTED TO 100 PERCENT STANDARD PROCTOR.
- UNDER NO CIRCUMSTANCES SHALL WATER BE ALLOWED TO RISE IN UNBACKFILLED TRENCHES AFTER PIPE HAS BEEN PLACED.
- ALL CONCRETE PIPE AND PRECAST STORM STRUCTURES SHALL MEET NCDOT STANDARDS BY MANUFACTURER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL PIPE AND STRUCTURES FOR CRACKS OR BREAKS, PRIOR TO INSTALLATION. ANY DAMAGED ITEMS SHALL NOT BE INSTALLED.

**GRADING NOTES**

- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION, FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS; FINAL RULE 29CFR PART 1926, SUBPART "F" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH. EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRES THE DESIGN OF A TRUSS SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER, PROVIDED BY CONTRACTOR RESPONSIBLE FOR EXCAVATION.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF ROLESVILLE AND/OR NCDOT STANDARDS AND SPECIFICATIONS AS APPLICABLE.
- CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- CONSTRUCTION, MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. TIMING OF REMOVAL SHALL BE COORDINATED WITH THE EROSION CONTROL INSPECTOR.
- EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- SOIL UNDER BUILDINGS, PAVED AREAS AND WITHIN SLOPES GREATER THAN 3:1 (H:V) SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.

**RETAINING WALL NOTES**

- THE RETAINING WALL ALIGNMENT SHOWN ON THESE PLANS DEPICTS THE LOCATION OF THE FRONT FACE OF THE RETAINING WALL AT THE TOP OF THE WALL. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING RETAINING WALLS ARE NOT LOCATED IN ANY STREAM BUFFERS, AND THEIR CONSTRUCTION DOES NOT ENROACH INTO ANY ADJACENT PROPERTIES DUE TO ANY BATTER INCORPORATED IN THE DESIGN OF THE WALLS.
- RETAINING WALLS ARE TO BE DESIGN-BUILD PROJECTS BY THE CONTRACTOR. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN FINAL CONSTRUCTION DRAWINGS FROM A REGISTERED ENGINEER AND GAIN ALL REQUIRED PERMITS NECESSARY FOR THE CONSTRUCTION OF THE RETAINING WALLS.
- RETAINING WALLS SHALL BE ASSUMED TO BE BACKFILLED WITH OFF-SITE BORROW MATERIAL OR PROCESSED FILL, UNLESS THE CONTRACTOR CAN PROVIDE TO THE OWNER WITH CONFIRMATION FROM THE GEOTECHNICAL ENGINEER AND THE RETAINING WALL DESIGNER, THAT READILY AVAILABLE ON-SITE SOILS CAN BE USED.
- THE TOP AND BOTTOM OF WALL ELEVATIONS SHOWN ON THESE PLANS IDENTIFY FINISHED GRADE ELEVATIONS ONLY. THE EXTENT THAT THE RETAINING WALL WILL BE EXTENDED BELOW GRADE TO THE FOOTING OR ABOVE GRADE TO THE TOP OF THE CAP BLOCK COURSE SHALL BE IDENTIFIED ON THE RETAINING WALL CONSTRUCTION DRAWINGS.
- ALL RETAINING WALLS OVER 30" HIGH SHALL HAVE A SAFETY FENCE (DESIGN BY OTHERS).
- ANY TIEBACK SYSTEMS FOR THE RETAINING WALLS SHALL NOT BE ALLOWED WITHIN PUBLIC RIGHT-OF-WAY.

**CITY OF RALEIGH PUBLIC UTILITIES STANDARD UTILITY NOTES (AS APPLICABLE)**

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- UTILITY SEPARATION REQUIREMENTS:
  - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
  - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
  - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASMENT EXTENDED 18" ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
  - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
  - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
  - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL 3/4" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCRoACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

**SETBACKS**

<b>R3 PUD</b>	
FRONT (FRONT LOAD)	20 FT
FRONT (ALLEY LOAD)	10 FT
SIDE	5 FT
AGGREGATE SIDE	10 FT
CORNER SIDE	10 FT
REAR (FRONT LOAD)	15 FT
REAR (ALLEY LOAD)	5 FT (RIGHT-OF-WAY)
MIN LOT WIDTH	26 FT (FRONT) 20 FT (ALLEY)

**SITE AND OPEN SPACE AREAS**

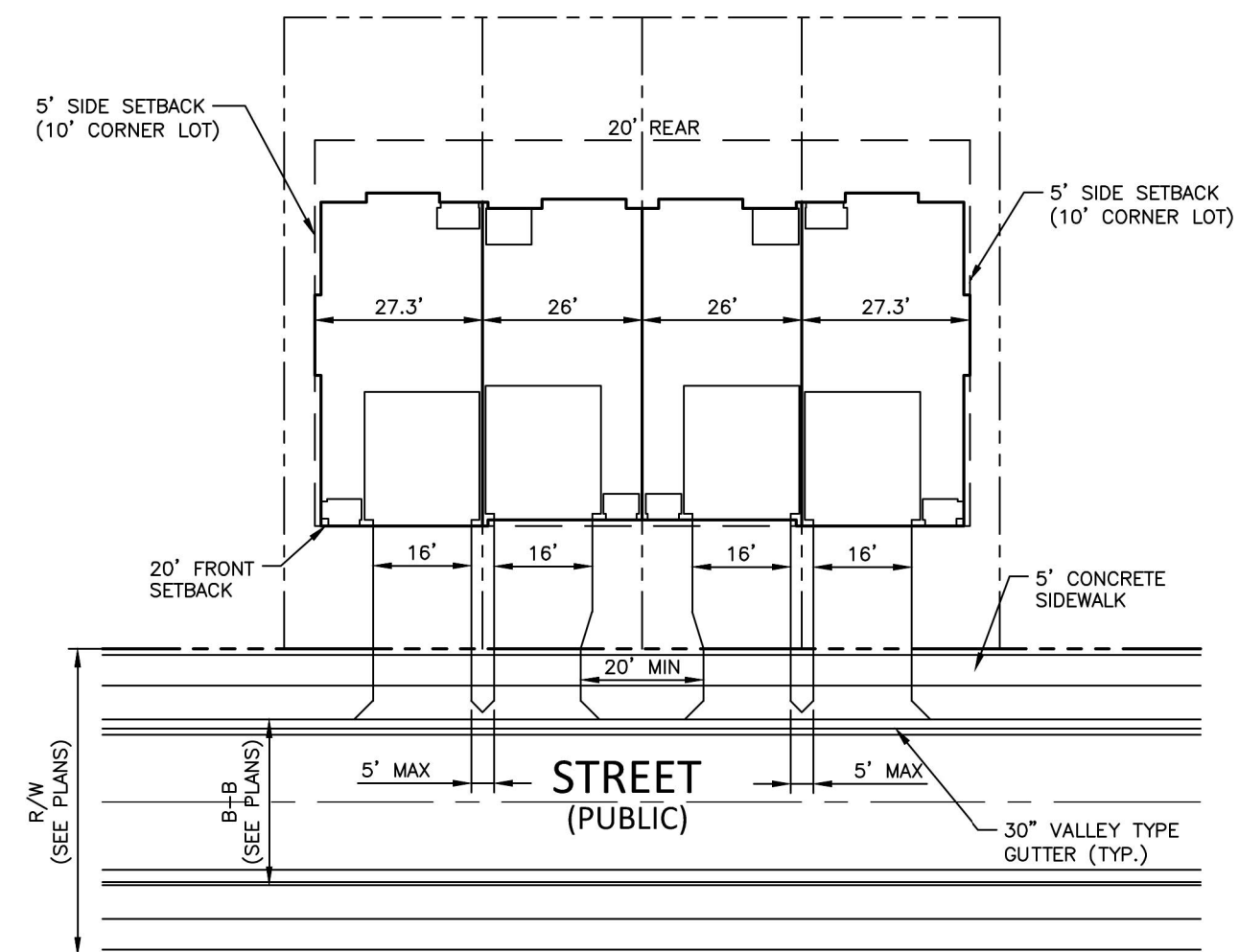
TOTAL SITE AREA	23.38 AC
RETAIL	0.00 AC
RESIDENTIAL	23.38 AC
R3 PUD	140 PROPOSED TOWNHOMES
TOTAL UNITS	140
OVERALL DENSITY	5.99 DU/AC
TOWNHOME AREA	23.38 AC
TOWNHOME DENSITY	5.99 DU/AC
ALLOWED DENSITY	10 DU/AC (TOWNHOME)
TOTAL IMPERVIOUS	562,727 SF (12.09 AC)
OPEN SPACE	15% OF TOTAL SITE AREA REQUIRED
	3.50 AC REQUIRED
	8.89 AC PROVIDED
TOWNHOMES	
15% TH AREA (23.38 AC)	3.50 ACRES REQUIRED
35% ACTIVE OS AREA (3.50 AC)	1.23 ACRES REQUIRED
TOTAL OPEN SPACE REQUIRED:	3.50 AC
TOTAL OPEN SPACE PROVIDED:	1.80 AC IMPROVED OPEN SPACE 7.09 AC UNIMPROVED OPEN SPACE 8.89 AC TOTAL OPEN SPACE PROVIDED

**REQUIRED TOWNHOME PARKING**

TOTAL UNITS	140
TOTAL 3 BEDROOM UNITS (2 SPACES/TH + 0.5 SPACES PER BEDROOM OVER 2) =	124
TOTAL 4 BEDROOM UNITS (2 SPACES/TH + 0.5 SPACES PER BEDROOM OVER 2) =	(124 x 2) + (124 x 0.5) = 310
VISITOR PARKING MAIL KIOSK PARKING	16
TOTAL REQUIRED PARKING	(16 x 2) + (16 x 0.5) + (16 x 0.5) = 48 140 UNITS/4 = 35 SPACES 6 (SEE MAIL KIOSK CALCULATION TABLE) 399 SPACES
PROVIDED PARKING: GARAGE PARKING DRIVEWAY PARKING STREET PARKING MAIL KIOSK PARKING PARKING LOT SPACES TOTAL PARKING PROVIDED	140 x 2 = 280 140 x 1 = 140 0 13 46 (12 AMENITY, 34 GUEST) 479 SPACES

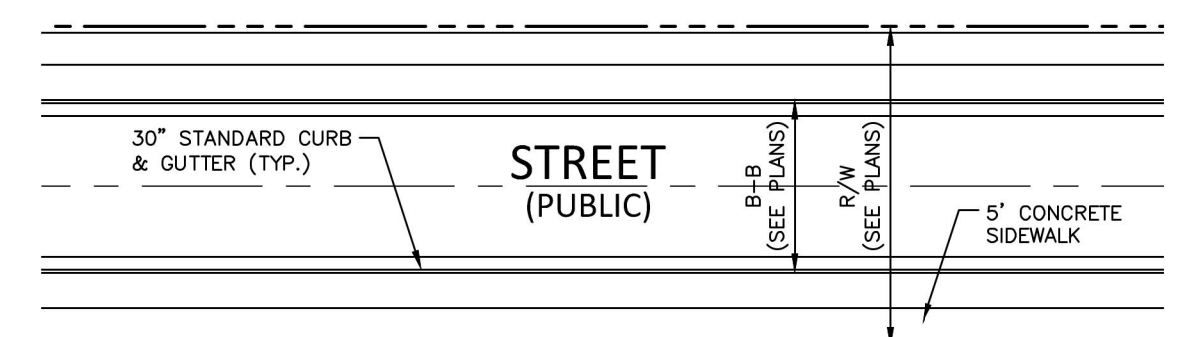
**MAIL KIOSK CALCULATIONS**

NUMBER OF MAIL BOXES(UNITS) 52 OR LESS 53-78 79-104 105 OR MORE	REQUIRED PARKING SPACES 2 3 4 4 PLUS 1 PER EACH ADDITIONAL 26 MAILBOXES
MAIL KIOSK AREA MAIL KIOSK CALCULATION: 140 UNITS @ 16 UNITS/KIOSK (CBU) = 9 KIOSKS (CBUS)	
MAIL KIOSK PARKING: 140 UNITS REQUIRED: 6 SPACES PROVIDED: 13 SPACES (2 ACCESSIBLE)	



**TYPICAL TOWNHOME LAYOUT (FRONT LOADED UNITS)**

SCALE: 1" = 30'



**TYPICAL TOWNHOME LAYOUT (ALLEY LOADED UNITS)**

SCALE: 1" = 30'



**McADAMS**

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WALLBROOK LANDCO, LLC  
3 KEEL STREET, SUITE 2  
WRIGHTSVILLE BEACH, NORTH CAROLINA  
28480-1709

**WALLBROOK**  
CONSTRUCTION DRAWINGS  
ROLESVILLE, NORTH CAROLINA



Digitally signed by William T O'Daniel  
Date: 2023.05.23 14:36:47-04'00'

**REVISIONS**

NO. DATE

**PLAN INFORMATION**

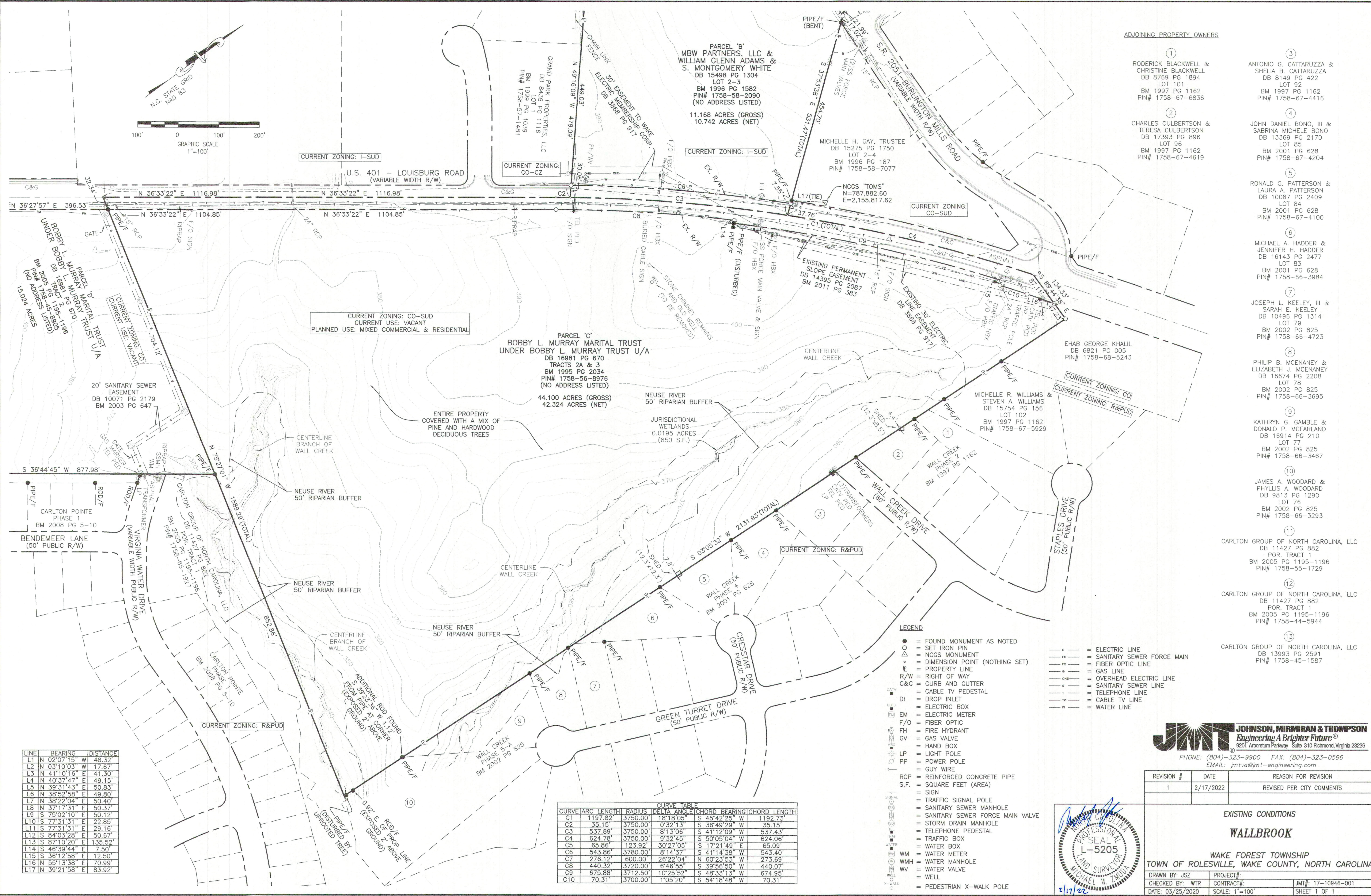
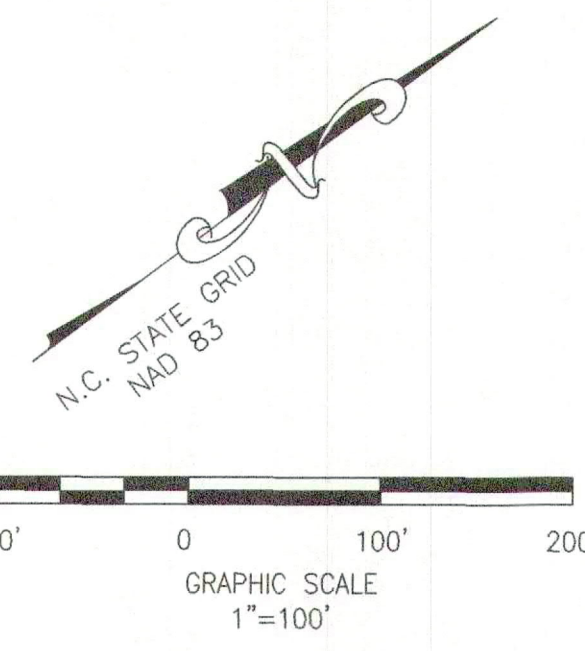
PROJECT NO. CPR-19100  
FILENAME CPR19100-CD-N1  
CHECKED BY WTO  
DRAWN BY JMS  
SCALE ---  
DATE 05.22.2023

**SHEET**

**PROJECT NOTES**

**C0.00**





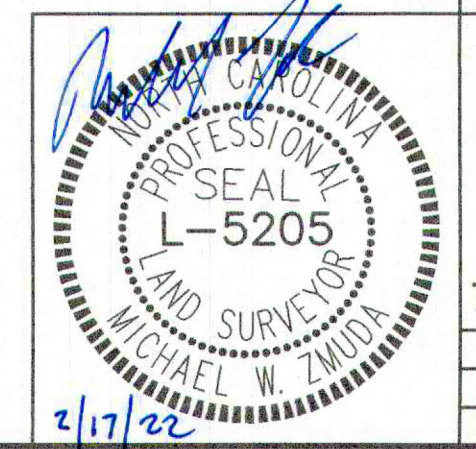
- ADJOINING PROPERTY OWNERS**
- ① RODERICK BLACKWELL & CHRISTINE BLACKWELL DB 8769 PG 1894 LOT 101 BM 1997 PG 1162 PIN# 1758-67-6836
  - ② CHARLES CULBERTSON & TERESA CULBERTSON DB 17393 PG 896 LOT 96 BM 1997 PG 1162 PIN# 1758-67-4619
  - ③ ANTONIO G. CATTARUZZA & SHEILA B. CATTARUZZA DB 8149 PG 422 LOT 92 BM 1997 PG 1162 PIN# 1758-67-4416
  - ④ JOHN DANIEL BONO, III & TERESA MICHELE BONO DB 13369 PG 2170 LOT 85 BM 2001 PG 628 PIN# 1758-67-4204
  - ⑤ RONALD G. PATTERSON & LAURA A. PATTERSON DB 10087 PG 2409 LOT 84 BM 2001 PG 628 PIN# 1758-67-4100
  - ⑥ MICHAEL A. HADDER & JENNIFER H. HADDER DB 16143 PG 2477 LOT 83 BM 2001 PG 628 PIN# 1758-66-3984
  - ⑦ JOSEPH L. KEELEY, III & SARAH E. KEELEY DB 10496 PG 1314 LOT 79 BM 2002 PG 825 PIN# 1758-66-4723
  - ⑧ PHILIP B. MCENANEY & ELIZABETH J. MCENANEY DB 16674 PG 2208 LOT 78 BM 2002 PG 825 PIN# 1758-66-3695
  - ⑨ KATHRYN G. GAMBLE & DONALD P. MCFARLAND DB 16914 PG 210 LOT 77 BM 2002 PG 825 PIN# 1758-66-3467
  - ⑩ JAMES A. WOODARD & PHYLLIS A. WOODARD DB 9813 PG 1290 LOT 76 BM 2002 PG 825 PIN# 1758-66-3293
  - ⑪ CARLTON GROUP OF NORTH CAROLINA, LLC DB 11427 PG 882 POR, TRACT 1 BM 2005 PG 1195-1196 PIN# 1758-55-1729
  - ⑫ CARLTON GROUP OF NORTH CAROLINA, LLC DB 11427 PG 882 POR, TRACT 1 BM 2005 PG 1195-1196 PIN# 1758-44-5944
  - ⑬ CARLTON GROUP OF NORTH CAROLINA, LLC DB 13993 PG 2591 PIN# 1758-45-1587

LINE	BEARING	DISTANCE
L1	N 02°07'15" W	48.32'
L2	N 03°10'03" W	17.67'
L3	N 41°10'16" E	41.30'
L4	N 40°37'47" E	49.15'
L5	N 39°31'43" E	50.83'
L6	N 38°52'58" E	49.80'
L7	N 38°22'04" E	50.40'
L8	N 37°17'31" E	50.37'
L9	S 75°02'10" E	50.12'
L10	S 77°31'31" E	22.85'
L11	S 77°31'31" E	49.15'
L12	S 84°03'28" E	50.67'
L13	S 87°10'20" E	135.52'
L14	S 46°39'44" E	7.50'
L15	S 36°12'58" E	12.50'
L16	N 55°13'38" E	70.99'
L17	N 39°21'58" E	83.92'

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	1197.82	3750.00	18°18'05"	S 45°42'25" W	1192.73
C2	35.15	3750.00	0°32'13"	S 36°49'29" W	35.15
C3	537.89	3750.00	8°13'06"	S 41°12'09" W	537.43
C4	624.78	3750.00	9°32'45"	S 50°05'04" W	624.06
C5	65.86	123.92	30°27'05"	S 17°21'49" E	65.03
C6	543.86	3780.00	8°14'37"	S 41°14'38" W	543.40
C7	276.12	600.00	26°22'04"	N 60°23'53" W	273.69
C8	440.32	3720.00	6°46'55"	S 39°58'50" W	440.07
C9	675.88	3712.50	10°25'52"	S 48°33'13" W	674.95
C10	70.31	3700.00	1°05'20"	S 54°18'48" W	70.31

- LEGEND**
- = FOUND MONUMENT AS NOTED
  - = SET IRON PIN
  - △ = NCGS MONUMENT
  - = DIMENSION POINT (NOTHING SET)
  - = PROPERTY LINE
  - R/W = RIGHT OF WAY
  - C&G = CURB AND GUTTER
  - ⊥ = CABLE TV PEDESTAL
  - DI = DROP INLET
  - ELE = ELECTRIC BOX
  - EM = ELECTRIC METER
  - F/O = FIBER OPTIC
  - FH = FIRE HYDRANT
  - GV = GAS VALVE
  - HB = HAND BOX
  - LP = LIGHT POLE
  - PP = POWER POLE
  - GUY = GUY WIRE
  - RCP = REINFORCED CONCRETE PIPE
  - S.F. = SQUARE FEET (AREA)
  - = SIGN
  - = TRAFFIC SIGNAL POLE
  - = SANITARY SEWER MANHOLE
  - = SANITARY SEWER FORCE MAIN VALVE
  - = STORM DRAIN MANHOLE
  - = TELEPHONE PEDESTAL
  - = TRAFFIC BOX
  - = WATER BOX
  - = WATER METER
  - WMH = WATER MANHOLE
  - WV = WATER VALVE
  - = WELL
  - = PEDESTRIAN X-WALK POLE

- = ELECTRIC LINE
- = SANITARY SEWER FORCE MAIN
- = FIBER OPTIC LINE
- = GAS LINE
- = OVERHEAD ELECTRIC LINE
- = SANITARY SEWER LINE
- = TELEPHONE LINE
- = CABLE TV LINE
- = WATER LINE



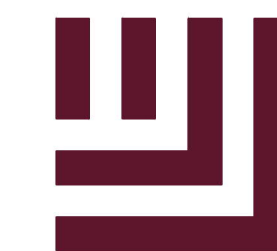
**JMT JOHNSON, MIRMIRAN & THOMPSON**  
 Engineering A Brighter Future®  
 9201 Arboretum Parkway Suite 310 Richmond, Virginia 23236  
 PHONE: (804)-323-9900 FAX: (804)-323-0596  
 EMAIL: jmtva@jmt-engineering.com

REVISION #	DATE	REASON FOR REVISION
1	2/17/2022	REVISED PER CITY COMMENTS

**EXISTING CONDITIONS**  
**WALLBROOK**  
 WAKE FOREST TOWNSHIP  
 TOWN OF ROLESVILLE, WAKE COUNTY, NORTH CAROLINA

DRAWN BY: JSZ PROJECT#: JMT# 17-10946-001  
 CHECKED BY: WTR CONTRACT#: SHEET 1 OF 1  
 DATE: 03/25/2020 SCALE: 1"=100'





McADAMS

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WALLBROOK LANDCO, LLC  
3 KEEL STREET, SUITE 2  
WRIGHTSVILLE BEACH, NORTH CAROLINA  
28480-1709

WALLBROOK  
CONSTRUCTION DRAWINGS  
ROLESVILLE, NORTH CAROLINA



William T. O'Daniel  
c/o William T. O'Daniel, c/o US  
c/o North Carolina  
email: wtdaniel@mcadamsco.com  
2023.03.31 13:03:24 -04'00'

REVISIONS

NO. DATE

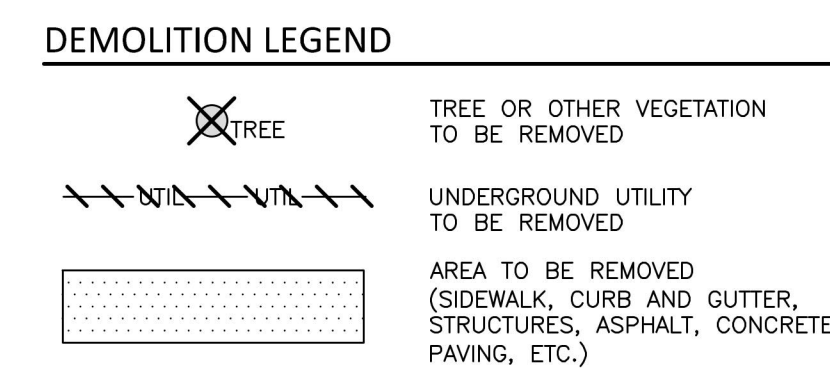
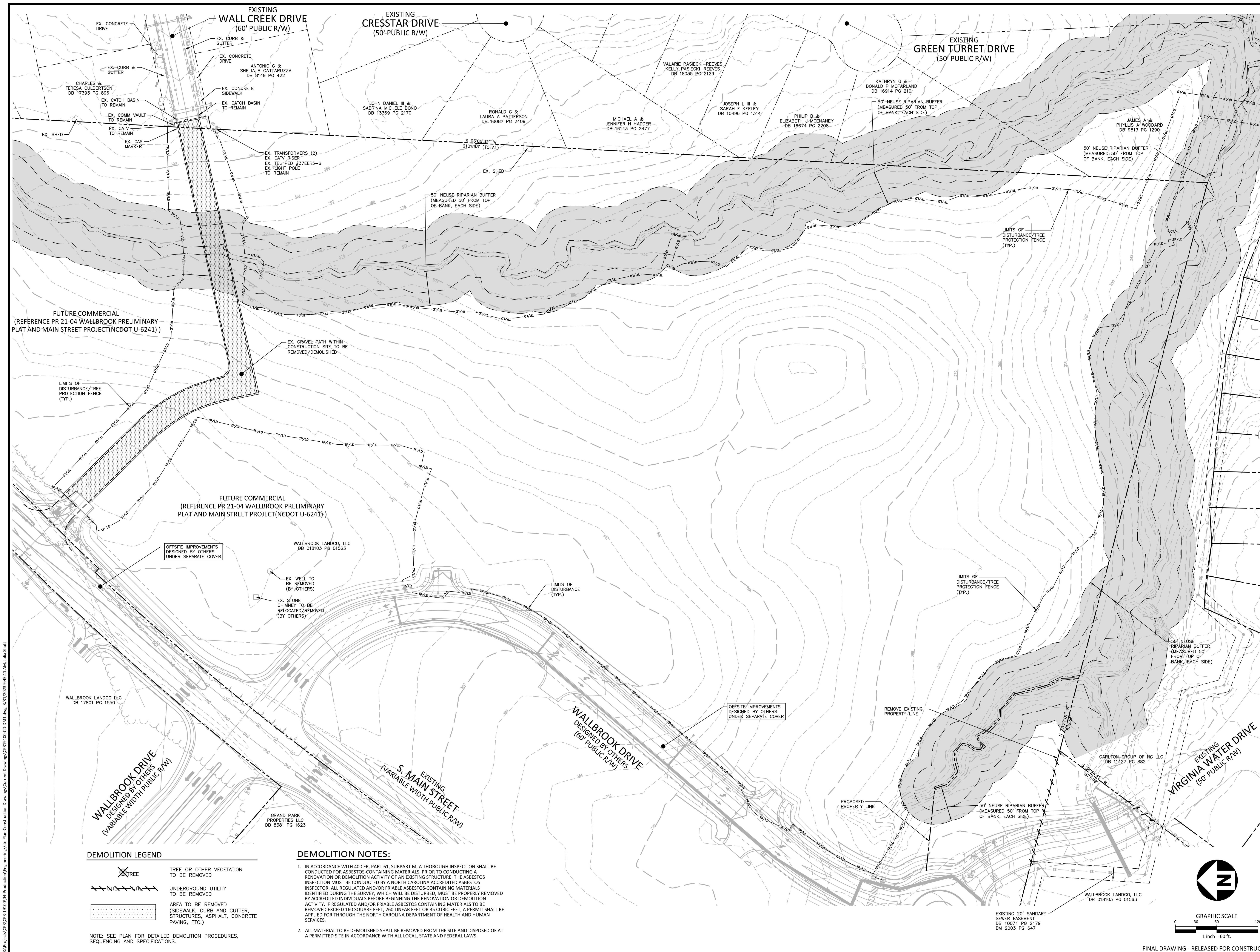
PLAN INFORMATION

PROJECT NO. CPR-19100  
FILENAME CPR19100-CD-DM1  
CHECKED BY WTO  
DRAWN BY JMS  
SCALE 1"=60'  
DATE 03.31.2023

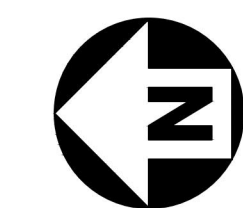
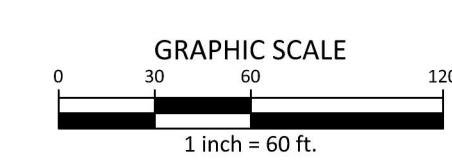
SHEET

DEMOLITION PLAN

C1.01



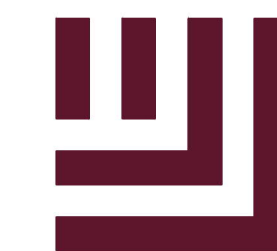
DEMOLITION NOTES:  
1. IN ACCORDANCE WITH 40 CFR, PART 61, SUBPART M, A THOROUGH INSPECTION SHALL BE CONDUCTED FOR ASBESTOS-CONTAINING MATERIALS, PRIOR TO CONDUCTING A RENOVATION OR DEMOLITION ACTIVITY OF AN EXISTING STRUCTURE. THE ASBESTOS INSPECTION MUST BE CONDUCTED BY A NORTH CAROLINA ACCREDITED ASBESTOS INSPECTOR. ALL REGULATED AND/OR FRIABLE ASBESTOS-CONTAINING MATERIALS IDENTIFIED DURING THE SURVEY, WHICH WILL BE DISTURBED, MUST BE PROPERLY REMOVED BY ACCREDITED INDIVIDUALS BEFORE BEGINNING THE RENOVATION OR DEMOLITION ACTIVITY. IF REGULATED AND/OR FRIABLE ASBESTOS-CONTAINING MATERIALS TO BE REMOVED EXCEED 160 SQUARE FEET, 260 LINEAR FEET OR 35 CUBIC FEET, A PERMIT SHALL BE APPLIED FOR THROUGH THE NORTH CAROLINA DEPARTMENT OF HEALTH AND HUMAN SERVICES.  
2. ALL MATERIAL TO BE DEMOLISHED SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT A PERMITTED SITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL LAWS.



X:\Projects\CPR\CPR-19100\Production\Drawings\Current\Drawings\Site Plan-Construction Drawings\Site Plan-Construction Drawings\CD-DM1.dwg, 3/31/2023 9:45:11 AM, Julia Shurt

FINAL DRAWING - RELEASED FOR CONSTRUCTION





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WALLBROOK
CONSTRUCTION DRAWINGS
ROLESVILLE, NORTH CAROLINA



William T. O'Daniel
Professional Engineer
Seal 22630
North Carolina
email: wtdaniel@mcadamsco.com
2023.03.31 13:04:08 -04'00'

REVISIONS

NO. DATE

PLAN INFORMATION

PROJECT NO. CPR-19100
FILENAME CPR19100-CD-OAS1
CHECKED BY WTO
DRAWN BY JMS
SCALE 1"=100'
DATE 03.31.2023

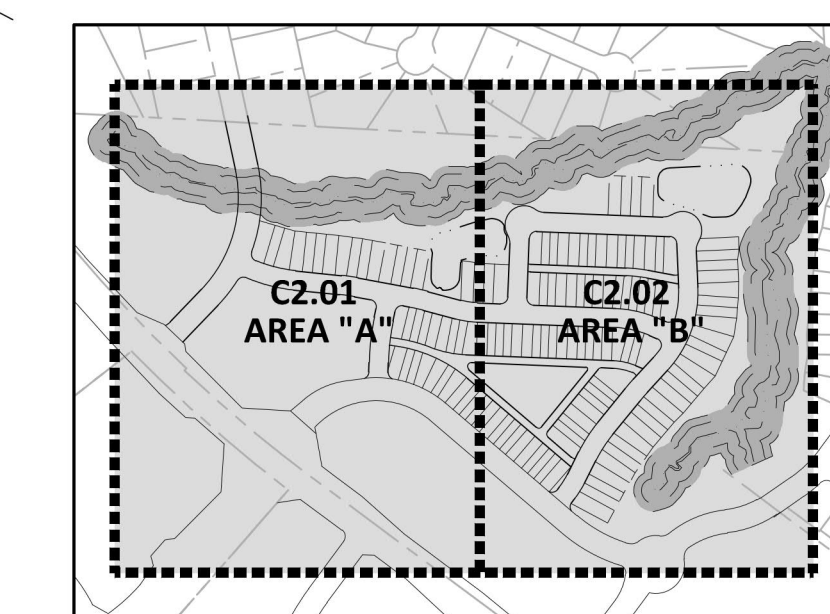
SHEET

OVERALL SITE PLAN

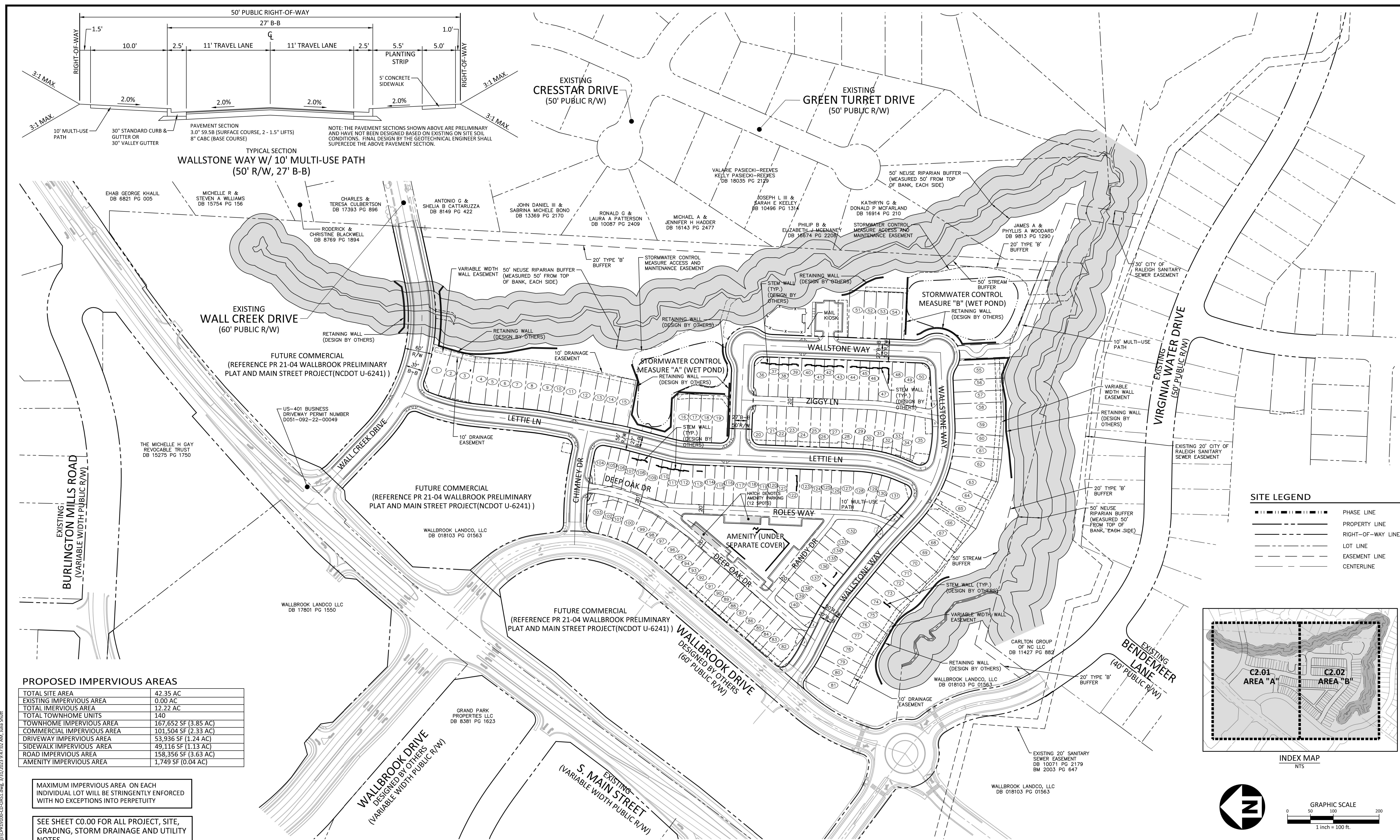
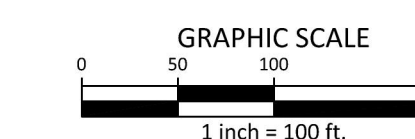
C2.00

SITE LEGEND

- PHASE LINE
PROPERTY LINE
RIGHT-OF-WAY LINE
LOT LINE
EASEMENT LINE
CENTERLINE



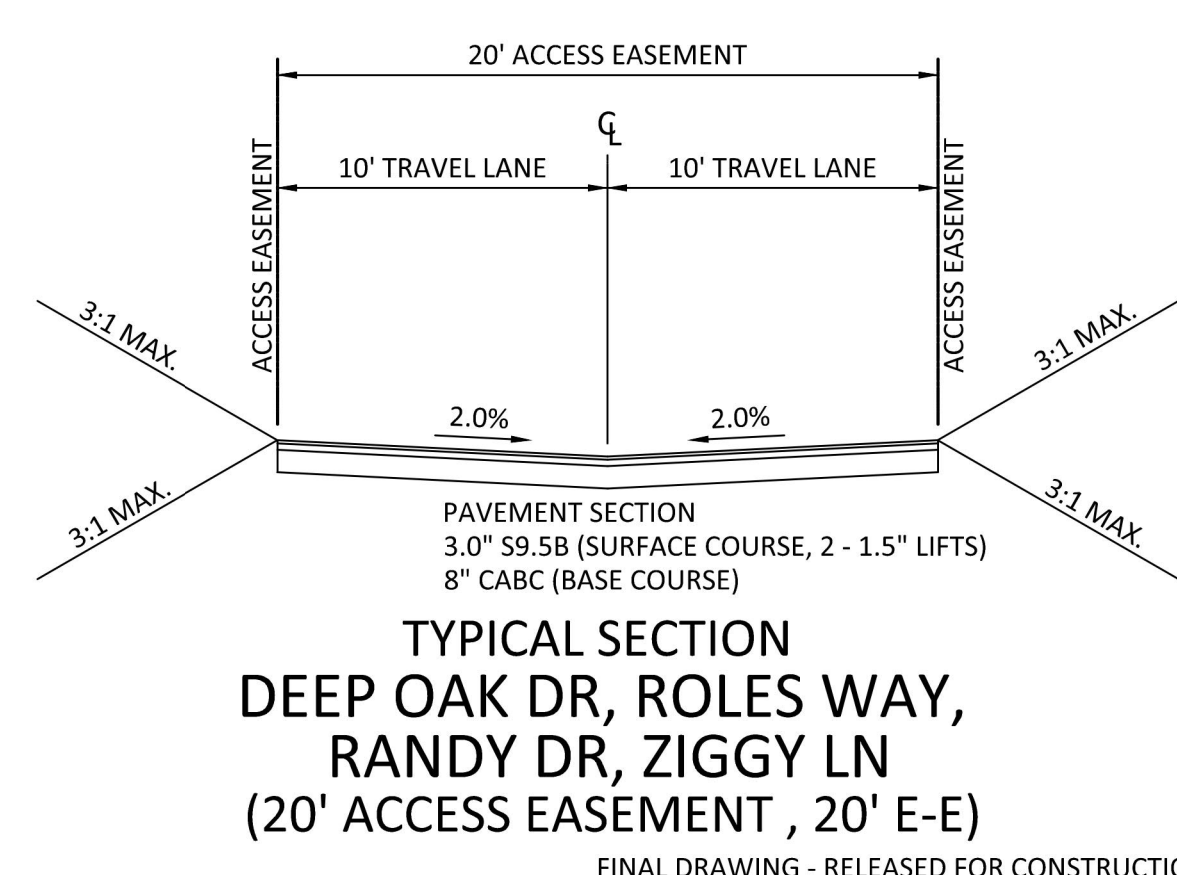
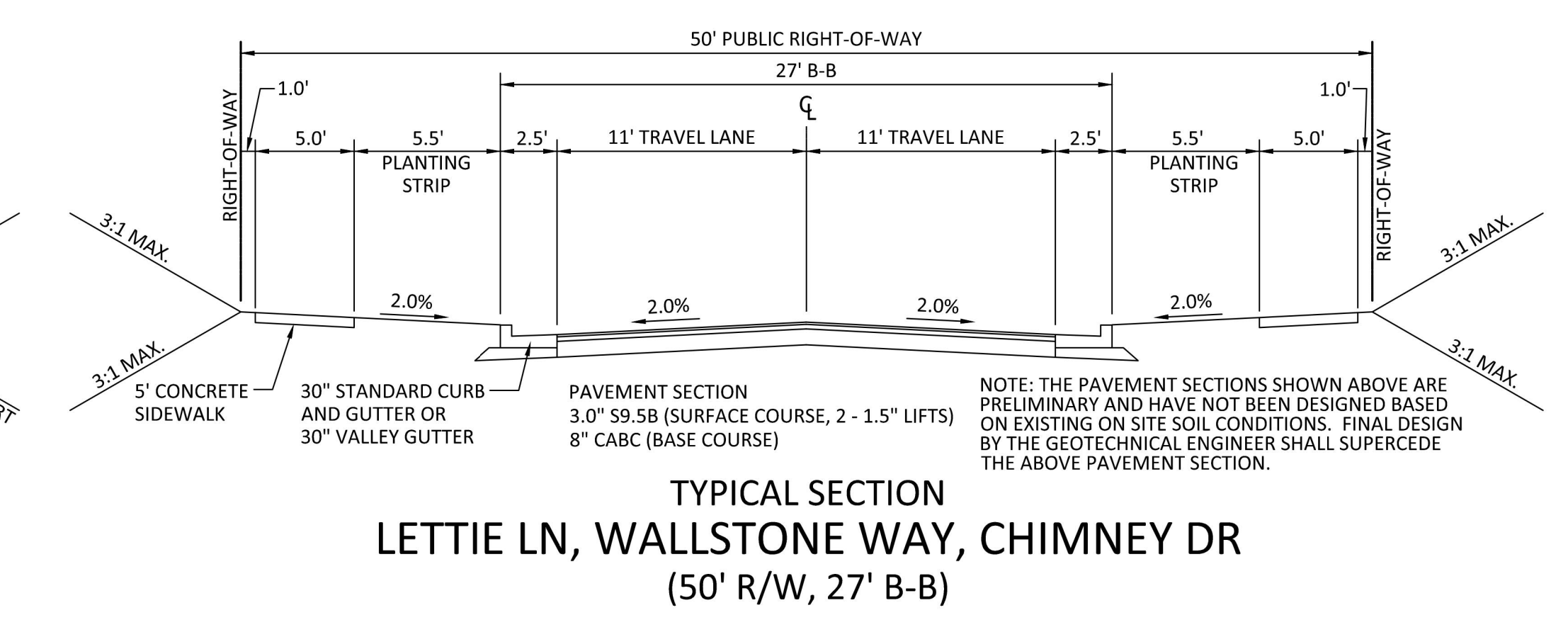
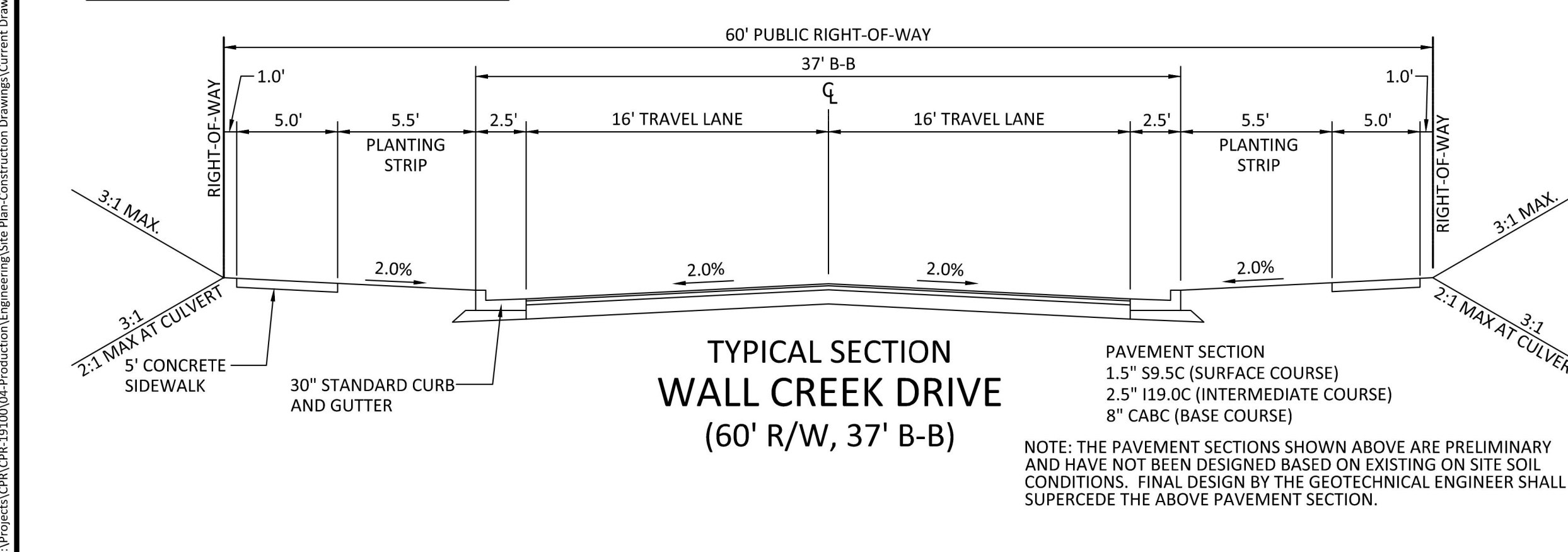
INDEX MAP
NTS



PROPOSED IMPERVIOUS AREAS

Table with 2 columns: Category and Area. Includes rows for Total Site Area (42.35 AC), Existing Impervious Area (0.00 AC), Total Impervious Area (12.22 AC), Total Townhome Units (140), and various impervious area breakdowns for townhomes, commercial, driveway, sidewalk, road, and amenity.

MAXIMUM IMPERVIOUS AREA ON EACH INDIVIDUAL LOT WILL BE STRINGENTLY ENFORCED WITH NO EXCEPTIONS INTO PERPETUITY
SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES



NOTE: THE PAVEMENT SECTIONS SHOWN ABOVE ARE PRELIMINARY AND HAVE NOT BEEN DESIGNED BASED ON EXISTING ON SITE SOIL CONDITIONS. FINAL DESIGN BY THE GEOTECHNICAL ENGINEER SHALL SUPERCEDE THE ABOVE PAVEMENT SECTION.





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CONSTRUCTION DRAWINGS  
ROLESVILLE, NORTH CAROLINA



William T. O'Daniel  
en=William T. O'Daniel, en=US,  
o=North Carolina,  
email=odaniel@mcadamsco.com  
2023.03.31 13:04:44 -04'00'

**REVISIONS**

NO.	DATE

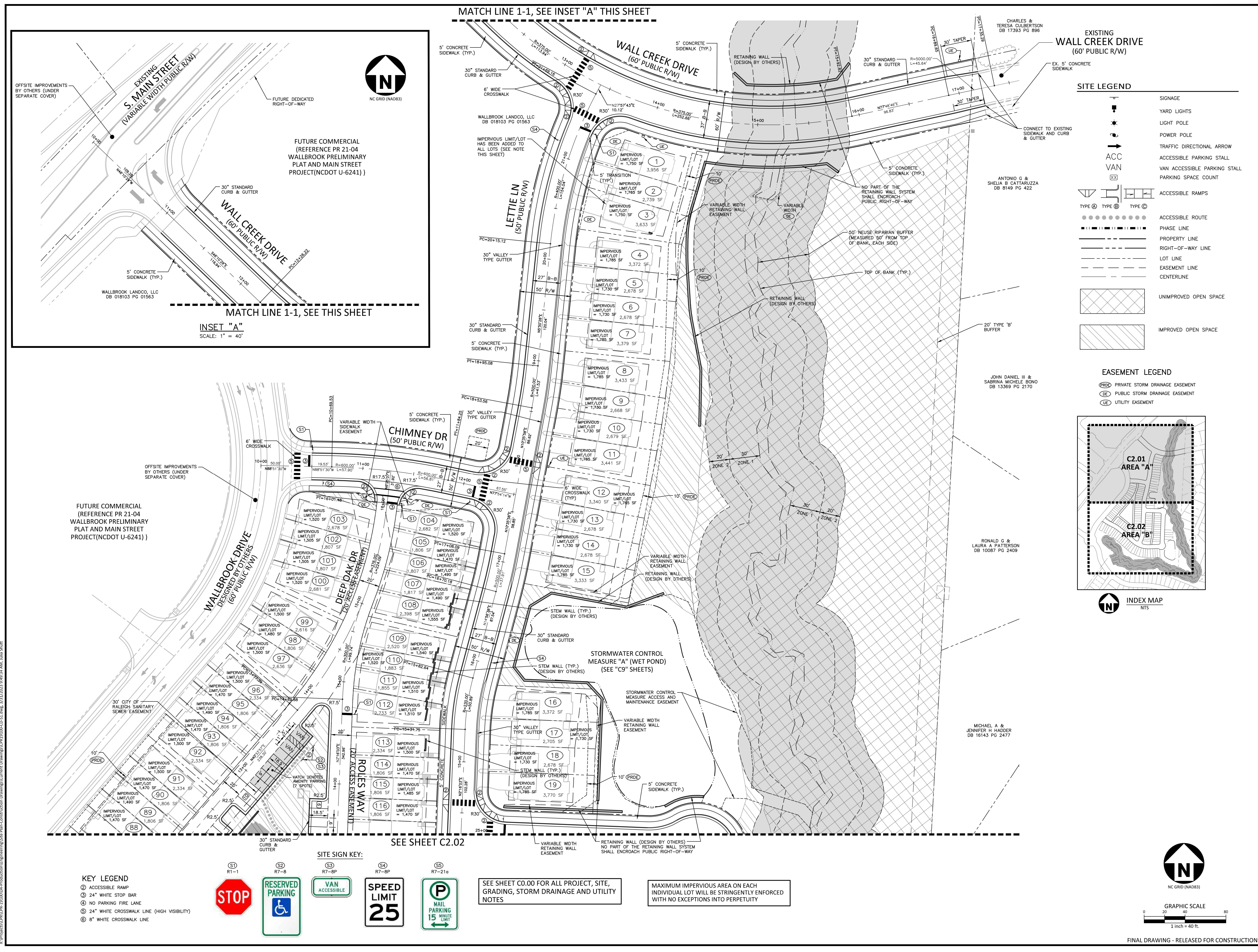
**PLAN INFORMATION**

PROJECT NO.	CPR-19100
FILENAME	CPR19100-CD-S1
CHECKED BY	WTO
DRAWN BY	JMS
SCALE	1"=40'
DATE	03.31.2023

**SITE PLAN - AREA "A"**

**C2.01**

FINAL DRAWING - RELEASED FOR CONSTRUCTION

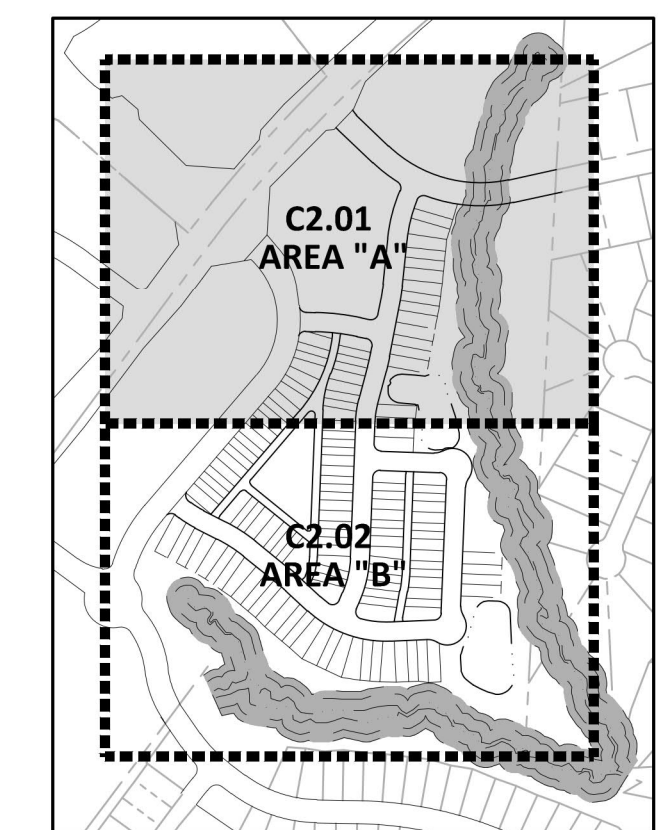


**SITE LEGEND**

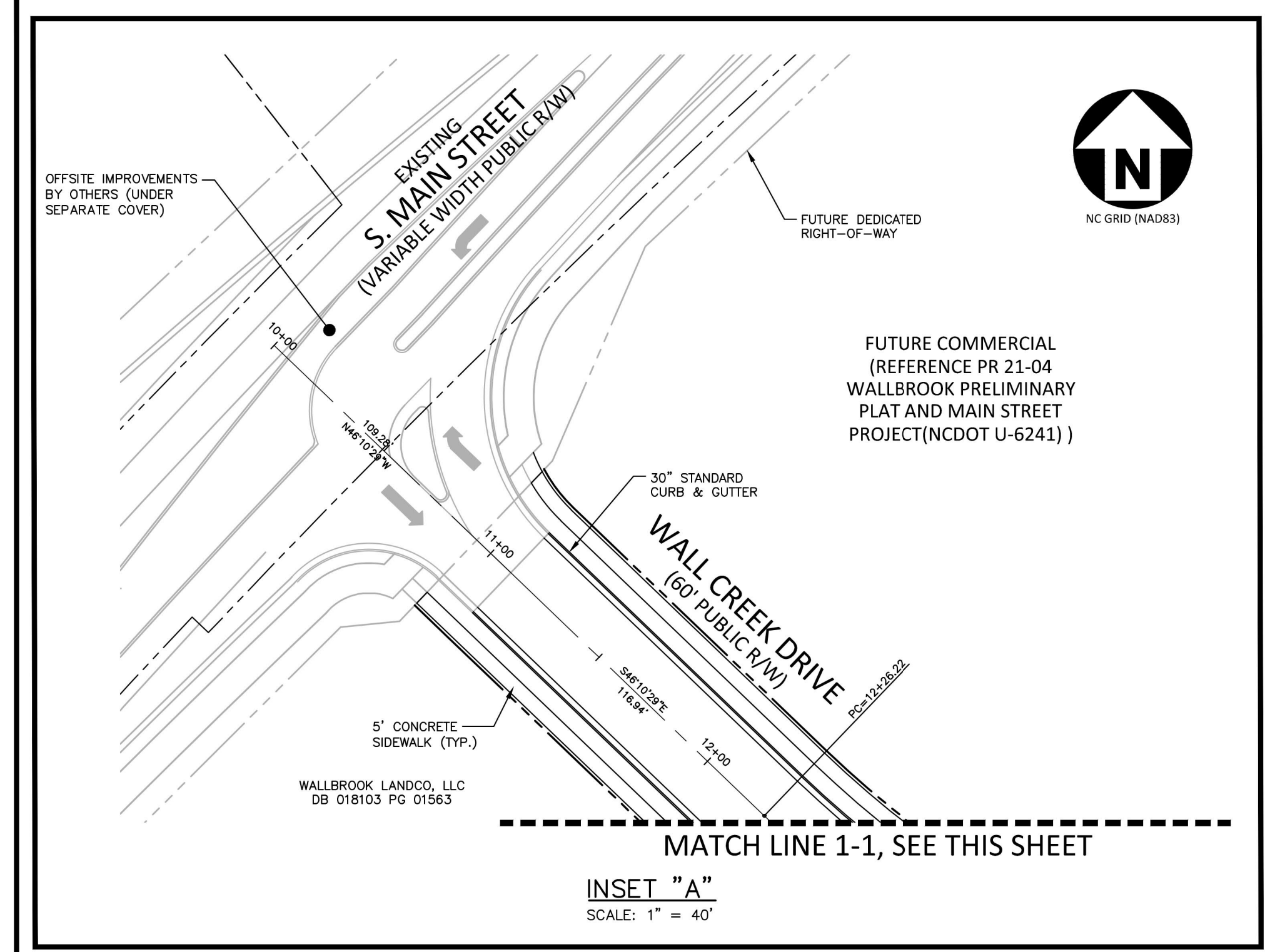
	SIGNAGE
	YARD LIGHTS
	LIGHT POLE
	POWER POLE
	TRAFFIC DIRECTIONAL ARROW
	ACCESSIBLE PARKING STALL
	VAN ACCESSIBLE PARKING STALL
	PARKING SPACE COUNT
	ACCESSIBLE RAMPS
	ACCESSIBLE ROUTE
	PHASE LINE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE
	CENTERLINE
	UNIMPROVED OPEN SPACE
	IMPROVED OPEN SPACE

**EASEMENT LEGEND**

	PRIVATE STORM DRAINAGE EASEMENT
	PUBLIC STORM DRAINAGE EASEMENT
	UTILITY EASEMENT



**INDEX MAP**  
NTS



**INSET "A"**  
SCALE: 1" = 40'

MATCH LINE 1-1, SEE INSET "A" THIS SHEET

MATCH LINE 1-1, SEE THIS SHEET

SEE SHEET C2.02

**KEY LEGEND**

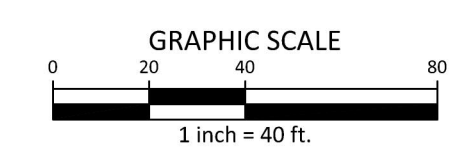
	ACCESSIBLE RAMP
	24" WHITE STOP BAR
	NO PARKING FIRE LANE
	24" WHITE CROSSWALK LINE (HIGH VISIBILITY)
	8" WHITE CROSSWALK LINE

**SITE SIGN KEY:**

--	--	--	--	--

SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

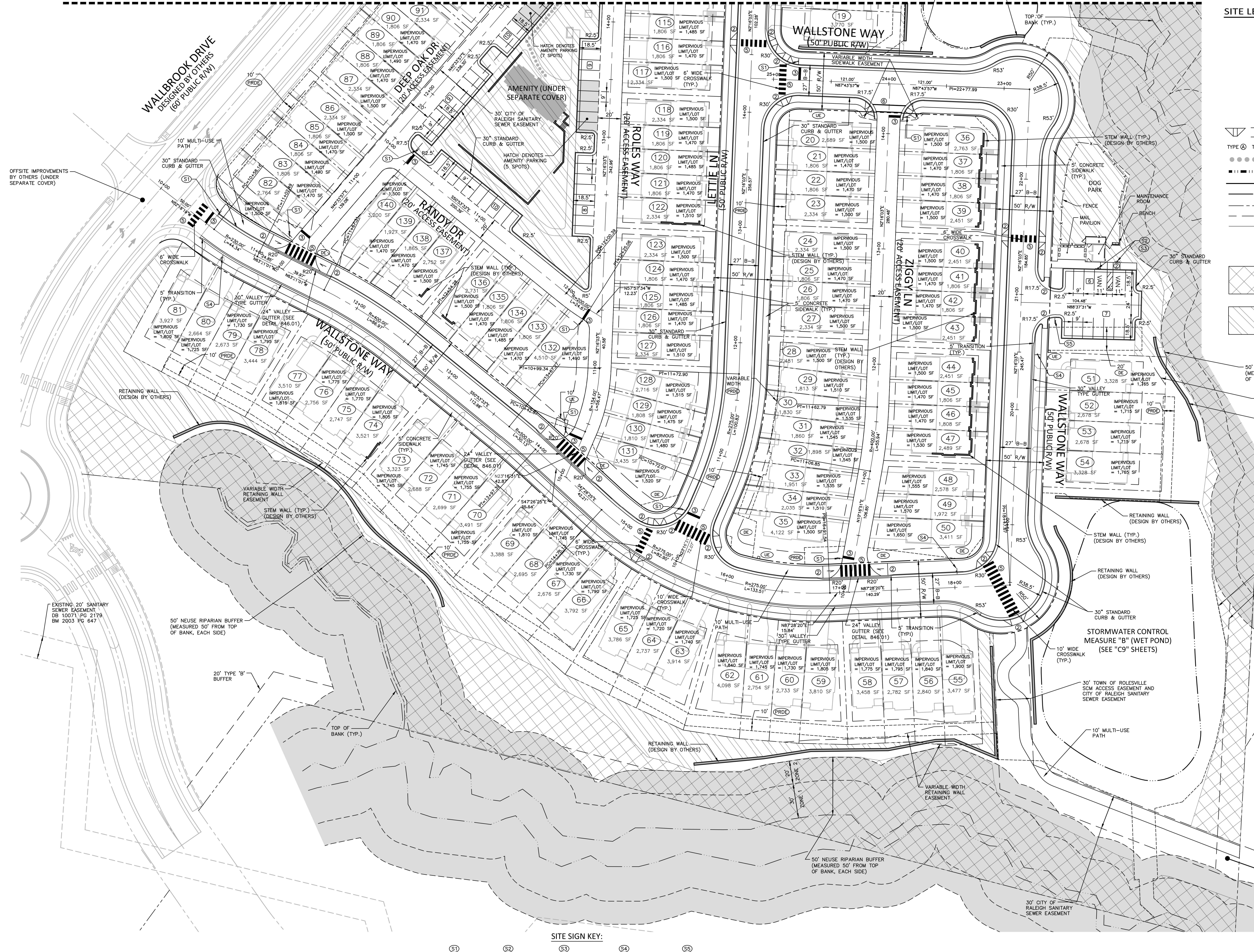
MAXIMUM IMPERVIOUS AREA ON EACH INDIVIDUAL LOT WILL BE STRINGENTLY ENFORCED WITH NO EXCEPTIONS INTO PERPETUITY



X:\Projects\CPR\CPR-19100\Production\Drawings\Current\Drawings\CPR19100-CD-S1.dwg, 3/31/2023 9:49:34 AM, Julia Shutt



SEE SHEET C2.01

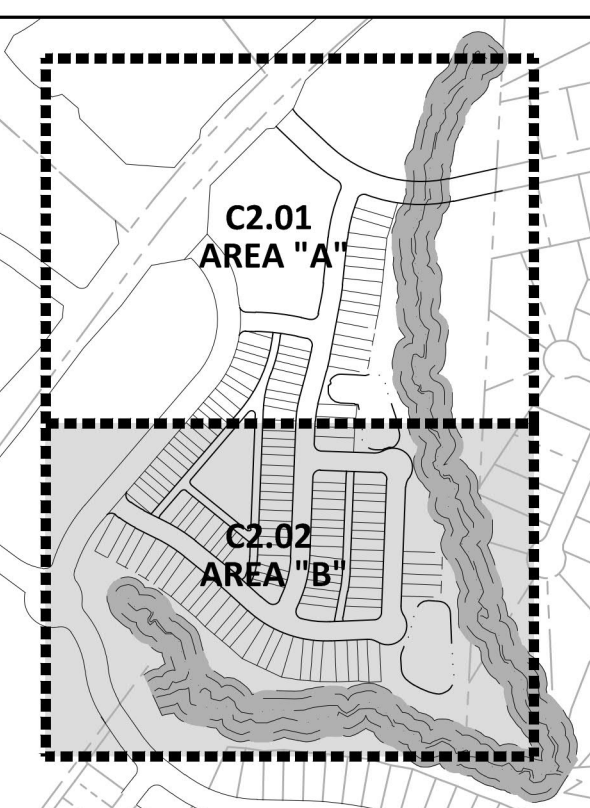


SITE LEGEND

- SIGNAGE
- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- TRAFFIC DIRECTIONAL ARROW
- ACCESSIBLE PARKING STALL
- VAN ACCESSIBLE PARKING STALL
- PARKING SPACE COUNT
- ACCESSIBLE RAMPS
- ACCESSIBLE ROUTE
- PHASE LINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- EASEMENT LINE
- CENTERLINE
- UNIMPROVED OPEN SPACE
- IMPROVED OPEN SPACE

EASEMENT LEGEND

- PRIVATE STORM DRAINAGE EASEMENT
- PUBLIC STORM DRAINAGE EASEMENT
- UTILITY EASEMENT



INDEX MAP  
NTS

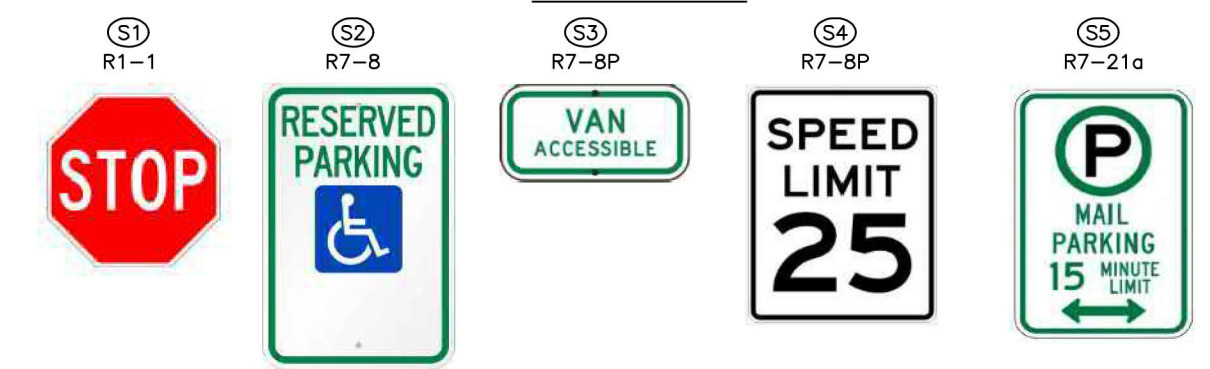
SS OUTFALL "A"  
(SEE SHEET C5.07)



GRAPHIC SCALE  
1 inch = 40 ft.

KEY LEGEND

- ② ACCESSIBLE RAMP
- ③ 24" WHITE STOP BAR
- ④ NO PARKING FIRE LANE
- ⑤ 24" WHITE CROSSWALK LINE (HIGH VISIBILITY)
- ⑥ 8" WHITE CROSSWALK LINE



SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

MAXIMUM IMPERVIOUS AREA ON EACH INDIVIDUAL LOT WILL BE STRICTLY ENFORCED WITH NO EXCEPTIONS INTO PERPETUITY

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WRIGHTSVILLE BEACH, NORTH CAROLINA  
28480-1709

WALLBROOK  
CONSTRUCTION DRAWINGS  
ROLESVILLE, NORTH CAROLINA

William T. O'Daniel  
Professional Engineer  
Seal No. 22630  
North Carolina  
email: wtdaniel@mcadamsco.com  
2023.03.31 13:05:13 -04'00'

REVISIONS

NO.	DATE

PLAN INFORMATION

PROJECT NO.	CPR-19100
FILENAME	CPR19100-CD-S1
CHECKED BY	WTO
DRAWN BY	JMS
SCALE	1"=40'
DATE	03.31.2023

SITE PLAN - AREA "B"

C2.02





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28480-1709

**WALLBROOK**  
CONSTRUCTION DRAWINGS  
ROLESVILLE, NORTH CAROLINA



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c/o William T. O'Daniel, c/o US,  
o=North Carolina,  
email=odaniel@mcadamsco.com  
2023.03.31.13:05:39 -04'00'

**REVISIONS**

NO.	DATE
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**PLAN INFORMATION**

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DRAWN BY	JMS
SCALE	1"=40'
DATE	03.31.2023

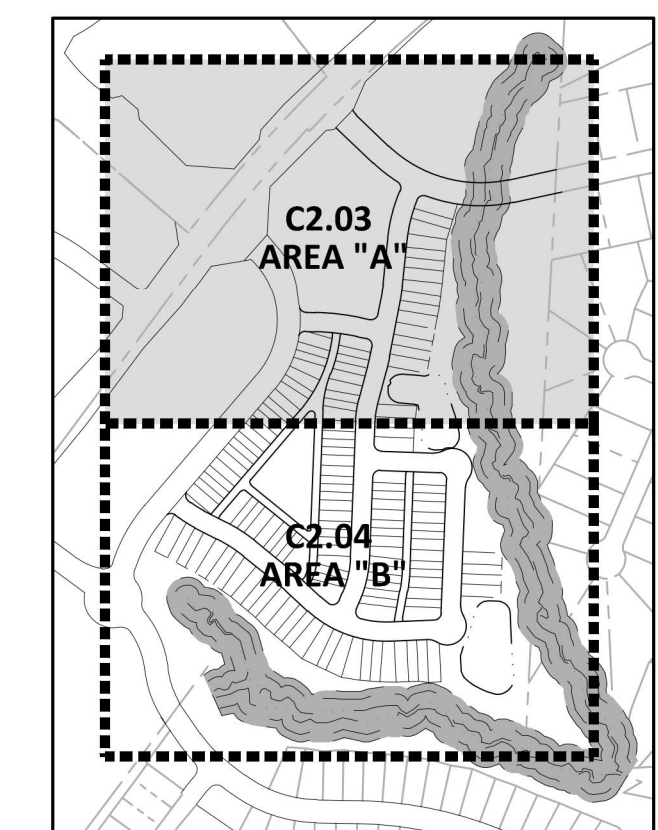
**LOT DIMENSIONS - AREA "A"**  
**C2.03**

**LOT DIMENSIONS LEGEND**

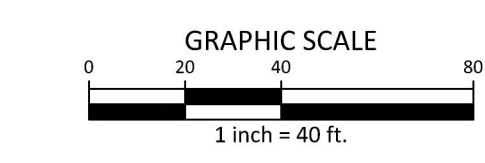
--- --- --- --- ---	PHASE LINE
---	PROPERTY LINE
- - - - -	RIGHT-OF-WAY LINE
- - - - -	LOT LINE
- - - - -	EASEMENT LINE
- - - - -	CENTERLINE

**EASEMENT LEGEND**

(PRDE)	PRIVATE STORM DRAINAGE EASEMENT
(DE)	PUBLIC STORM DRAINAGE EASEMENT
(UE)	UTILITY EASEMENT

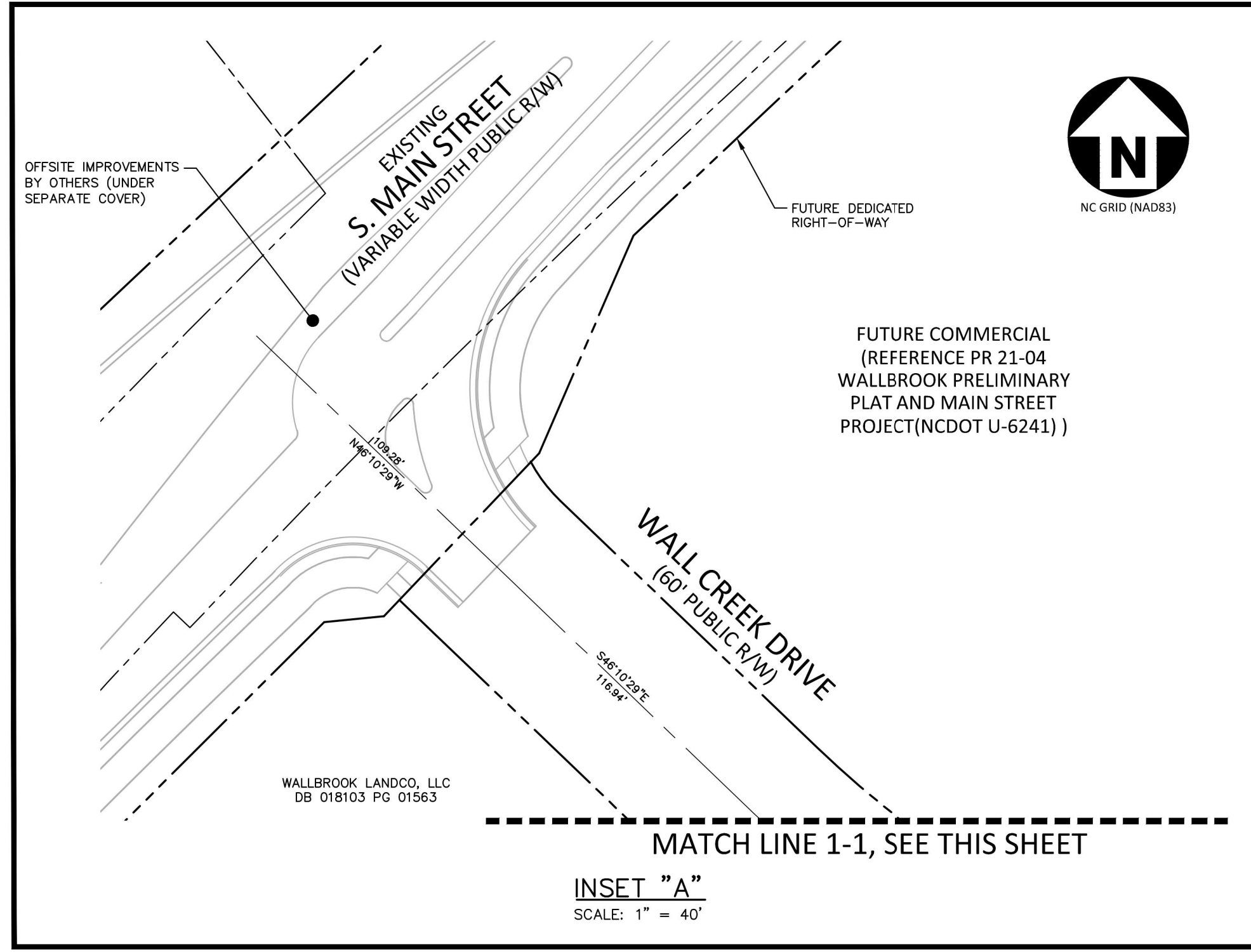
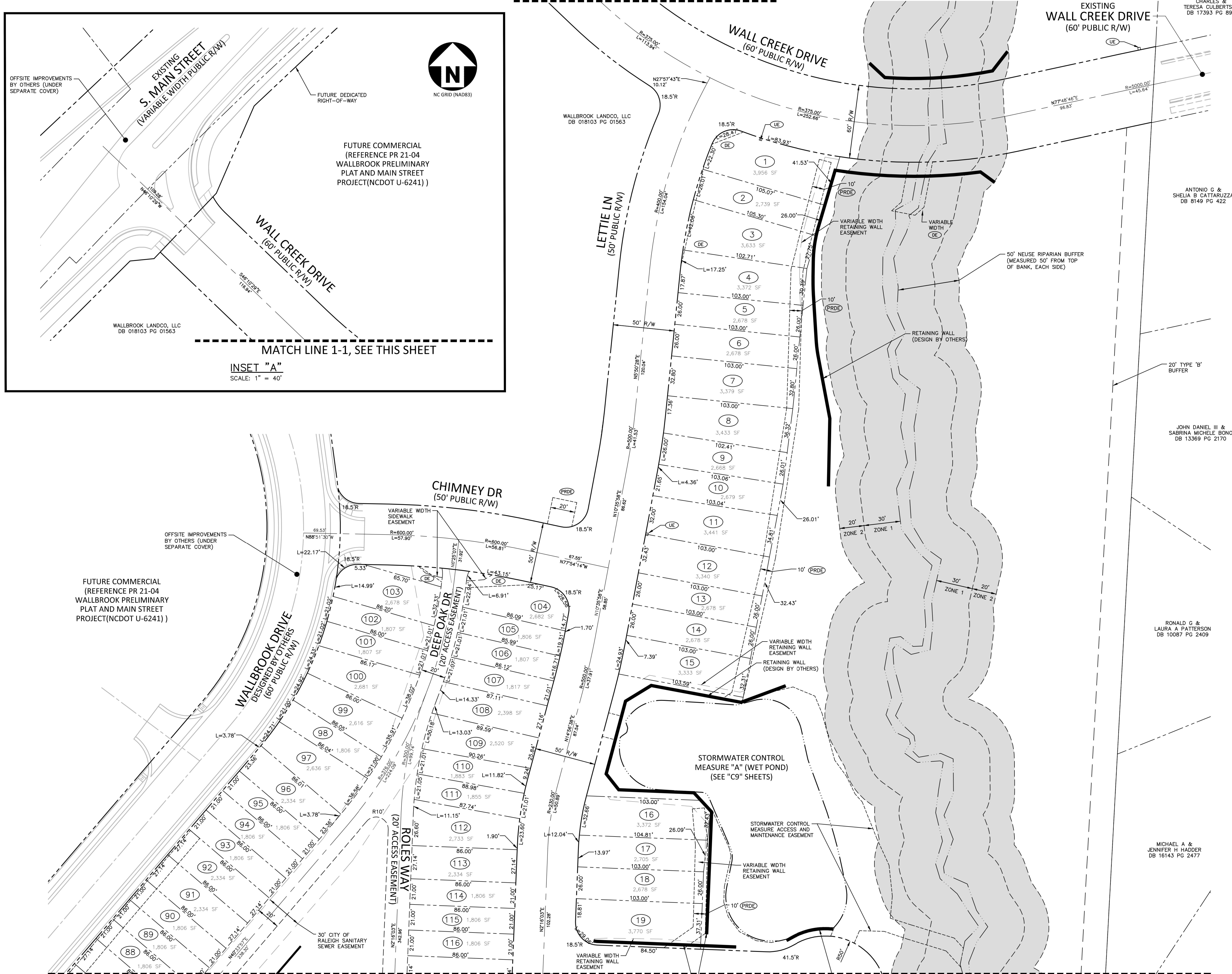


**INDEX MAP**  
NTS



FINAL DRAWING - RELEASED FOR CONSTRUCTION

MATCH LINE 1-1, SEE INSET "A" THIS SHEET



**INSET "A"**  
SCALE: 1" = 40'

SEE SHEET C2.04

SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

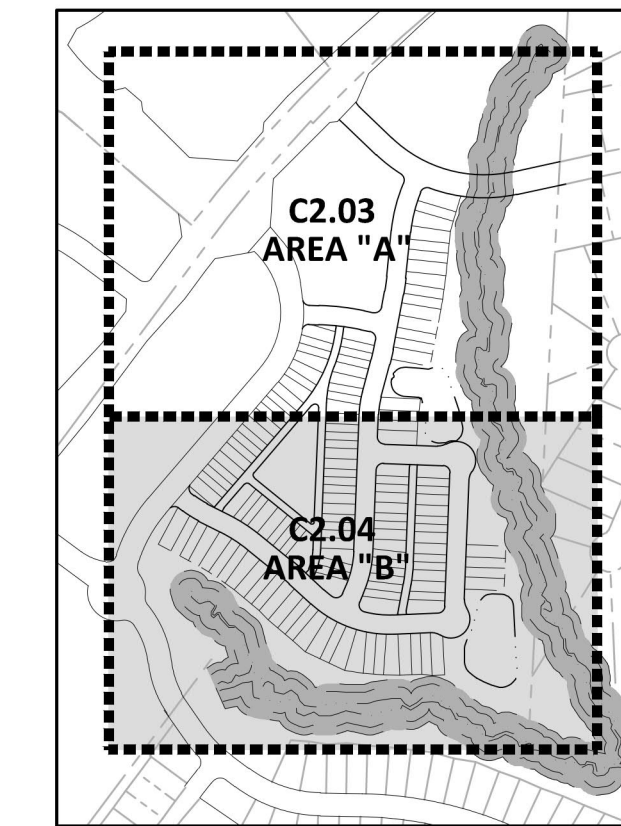
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SEE SHEET C2.03

LOT DIMENSIONS LEGEND

- PHASE LINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- EASEMENT LINE
- CENTERLINE



EASEMENT LEGEND

- PRDE PRIVATE STORM DRAINAGE EASEMENT
- DE PUBLIC STORM DRAINAGE EASEMENT
- UE UTILITY EASEMENT

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ROLESVILLE, NORTH CAROLINA



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c/o: William T. O'Daniel, c.US.  
o: North Carolina  
email: wtdaniel@mcadamsco.com  
2023.03.31 13:05:53 -0400'

REVISIONS

NO.	DATE

PLAN INFORMATION

PROJECT NO. CPR-19100  
FILENAME CPR19100-CD-52  
CHECKED BY WTO  
DRAWN BY JMS  
SCALE 1"=40'  
DATE 03.31.2023

LOT DIMENSIONS - AREA "B"  
**C2.04**



FINAL DRAWING - RELEASED FOR CONSTRUCTION

SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

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EXISTING 20' SANITARY SEWER EASEMENT  
BI 10071 PG 2179  
BM 2003 PG 647

50' NEUSE RIPARIAN BUFFER (MEASURED 50' FROM TOP OF BANK, EACH SIDE)

20' TYPE 'B' BUFFER

10' ACCESS EASEMENT (TO OPEN SPACE)

RETAINING WALL (DESIGN BY OTHERS)

50' NEUSE RIPARIAN BUFFER (MEASURED 50' FROM TOP OF BANK, EACH SIDE)

30' CITY OF RALEIGH SANITARY SEWER EASEMENT

STORMWATER CONTROL MEASURE "B" (WET POND) (SEE "C9" SHEETS)

STORMWATER CONTROL MEASURE ACCESS AND MAINTENANCE EASEMENT

20' TYPE 'B' BUFFER

50' NEUSE RIPARIAN BUFFER (MEASURED 50' FROM TOP OF BANK, EACH SIDE)

RETAINING WALL (DESIGN BY OTHERS)

VARIABLE WIDTH RETAINING WALL EASEMENT

WALLSTONE WAY (50' PUBLIC R/W)

LETTIE LN (50' PUBLIC R/W)

ZIGGY LN (20' ACCESS EASEMENT)

ROLES WAY (20' ACCESS EASEMENT)

RANDY DR (20' ACCESS EASEMENT)

WALLSTONE WAY (50' PUBLIC R/W)

DEEP OAK DR (20' ACCESS EASEMENT)

WALLBROOK DRIVE (60' PUBLIC R/W)

OFFSITE IMPROVEMENTS BY OTHERS (UNDER SEPARATE COVER)

AMENITY (UNDER SEPARATE COVER)

RETAINING WALL (DESIGN BY OTHERS)

DOG PARK

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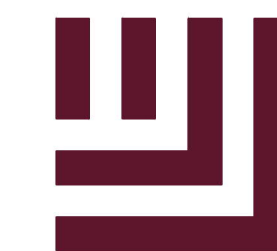
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William T. O'Daniel  
c/o William T. O'Daniel, c/o US,  
o/north Carolina,  
email=odaniel@mcadamsco.com  
2023.03.31 13:05:15 -04'00'

**REVISIONS**

NO. DATE

**PLAN INFORMATION**

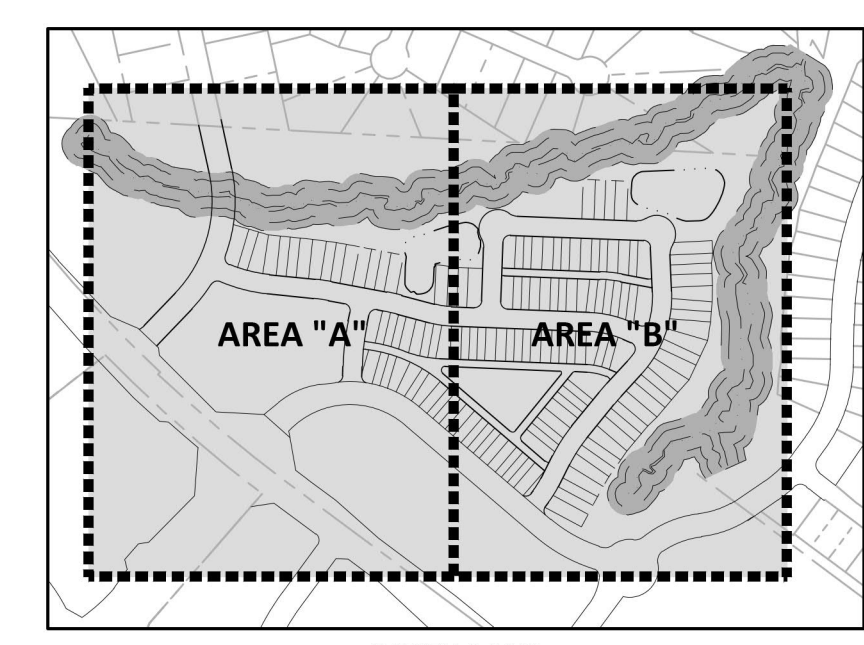
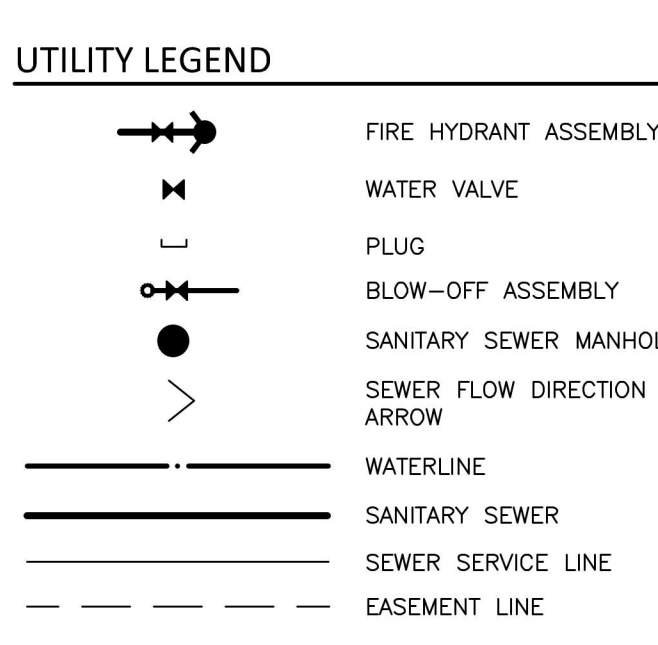
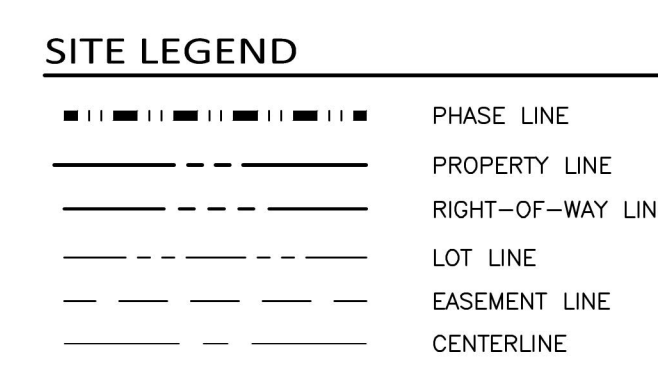
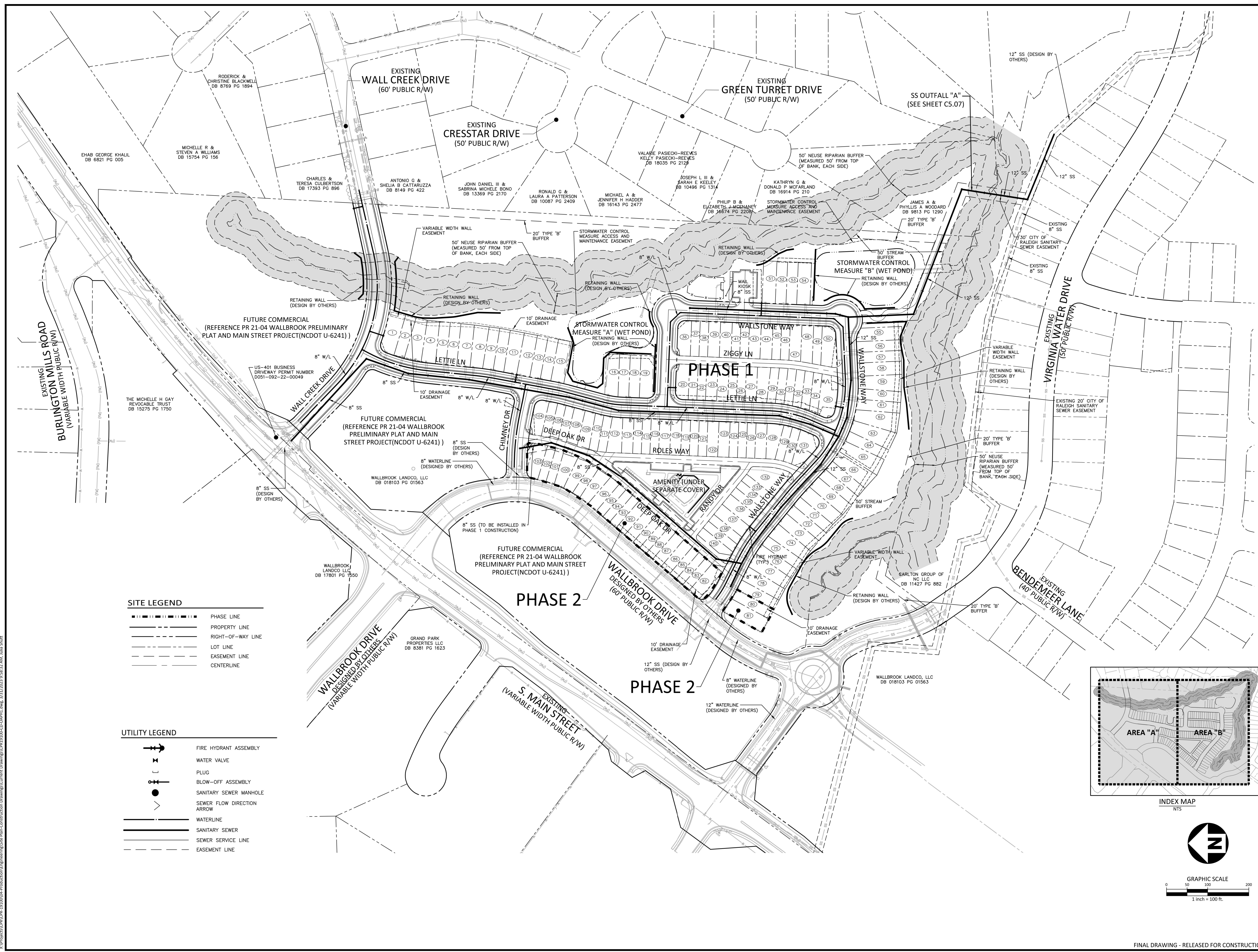
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DRAWN BY JMS  
SCALE 1"=100'  
DATE 03.31.2023

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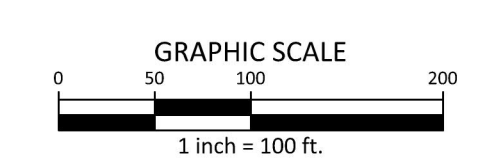
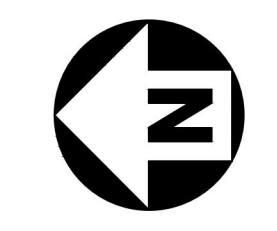
**OVERALL PHASING PLAN**

**C2.05**

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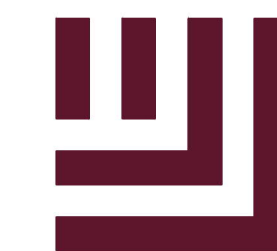


INDEX MAP  
NTS



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ROLESWAY, NORTH CAROLINA



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c/o William T. O'Daniel, c/o US  
North Carolina  
email: wtdaniel@mcadamsco.com  
2023.03.31 13:07:00 -04'00'

**REVISIONS**

NO. DATE

**PLAN INFORMATION**

PROJECT NO. CPR-19100  
FILENAME CPR19100-CD-OAG1  
CHECKED BY WTO  
DRAWN BY JMS  
SCALE 1"=100'  
DATE 03.31.2023

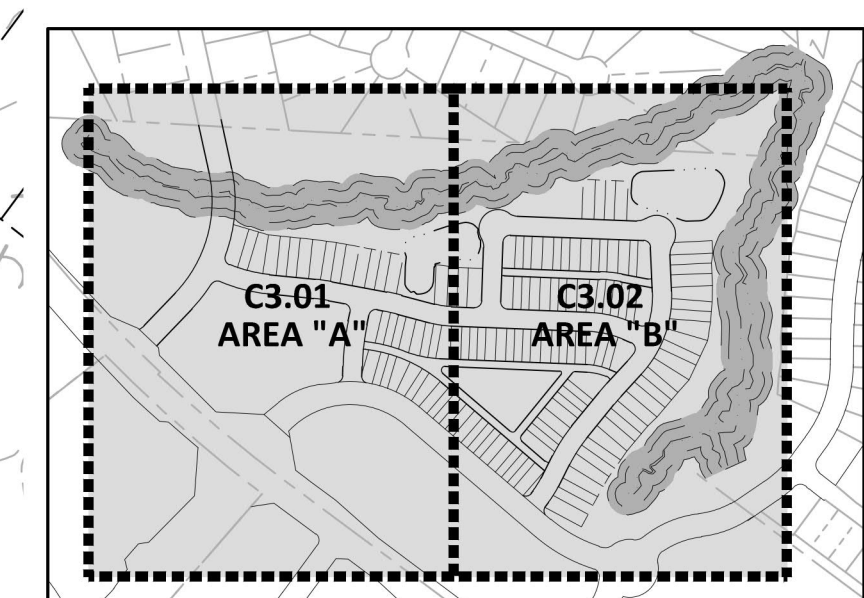
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**OVERALL GRADING AND STORM DRAINAGE PLAN**

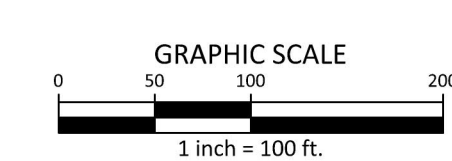
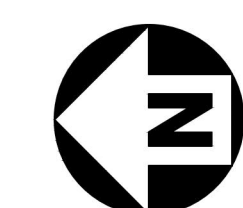
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**GRADING LEGEND**

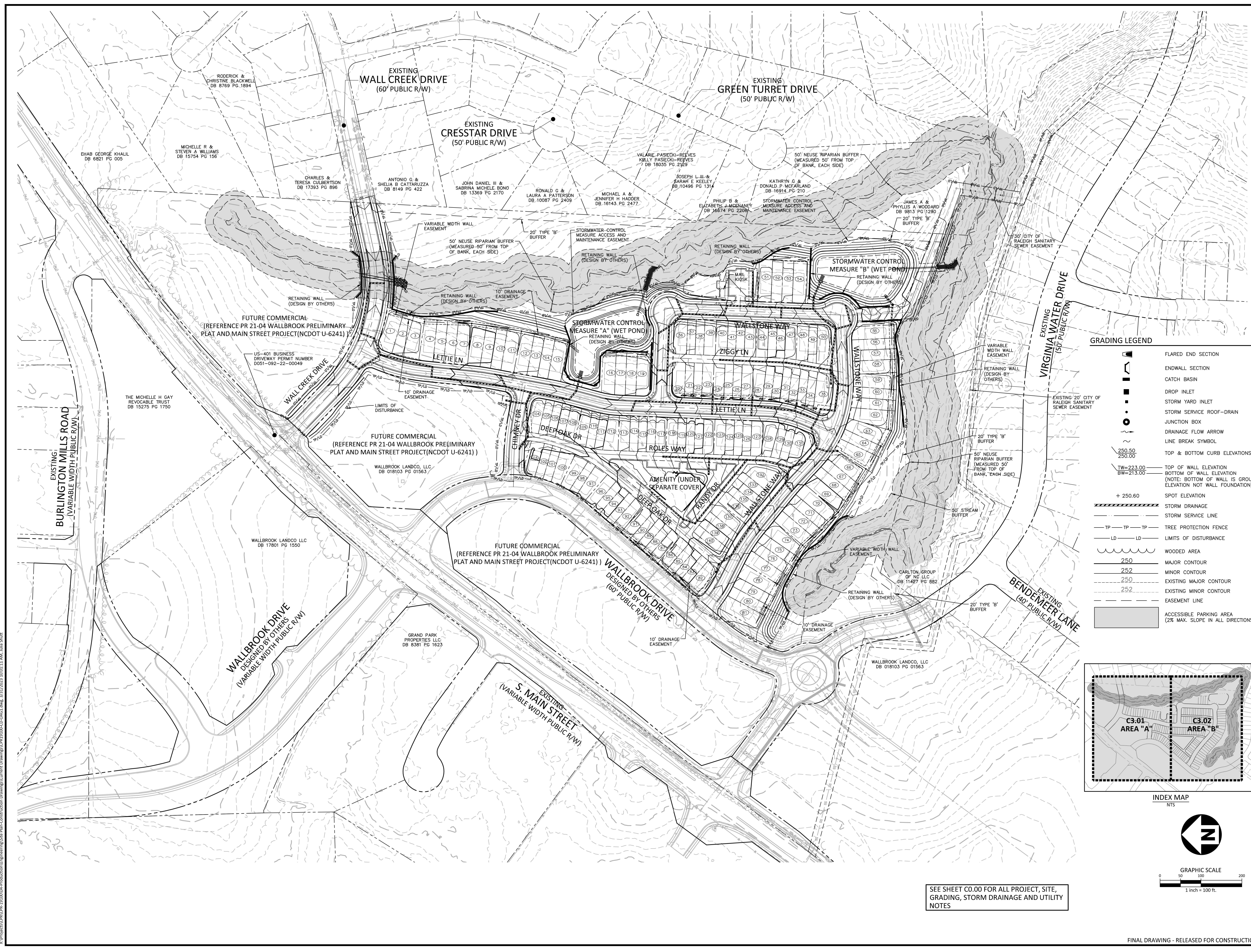
- FLARED END SECTION
- ENDWALL SECTION
- CATCH BASIN
- DROP INLET
- STORM YARD INLET
- STORM SERVICE ROOF-DRAIN
- JUNCTION BOX
- DRAINAGE FLOW ARROW
- LINE BREAK SYMBOL
- TOP & BOTTOM CURB ELEVATIONS
- TOP OF WALL ELEVATION
- BOTTOM OF WALL ELEVATION  
(NOTE: BOTTOM OF WALL IS GROUND ELEVATION NOT WALL FOUNDATION)
- SPOT ELEVATION
- STORM DRAINAGE
- STORM SERVICE LINE
- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE
- WOODED AREA
- MAJOR CONTOUR
- MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EASEMENT LINE
- ACCESSIBLE PARKING AREA  
(2% MAX. SLOPE IN ALL DIRECTIONS)



INDEX MAP  
NTS



SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES



X:\Projects\CPR\CPR-19100\Production\Engineering\Site Plan-Construction Drawings\Current Drawings\CPR19100-CD-OAG1.dwg, 3/31/2023 3:00:11 AM, Julia Shutt





McADAMS

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WALLBROOK LANDCO, LLC
3 KEEL STREET, SUITE 2
WRIGHTSVILLE BEACH, NORTH CAROLINA
28480-1709

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ROLESVILLE, NORTH CAROLINA



William T. O'Daniel
Professional Engineer
Seal 22630
North Carolina
2023.06.02 10:57:31 -04'00'

REVISIONS

Table with columns: NO., DATE

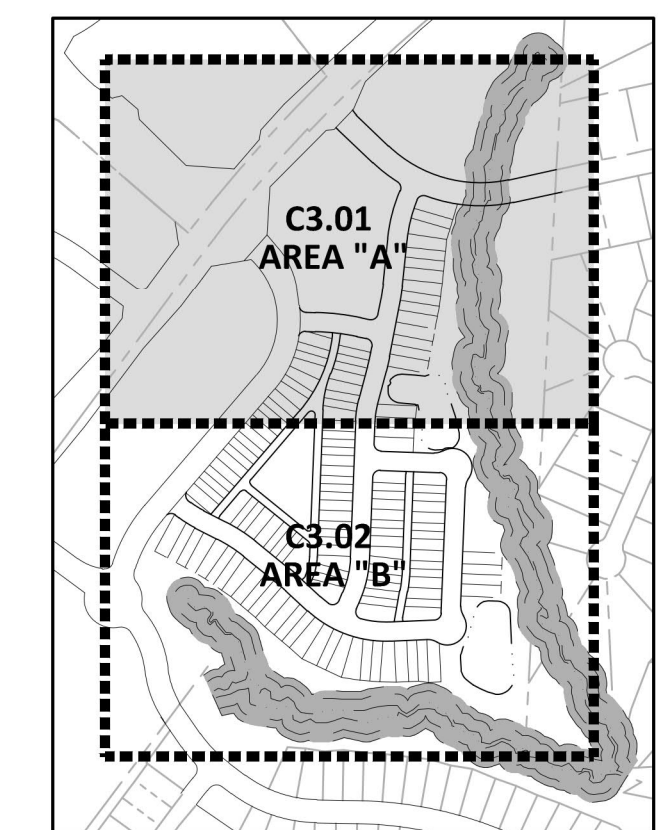
PLAN INFORMATION

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GRADING AND STORM DRAINAGE PLAN - AREA "A"

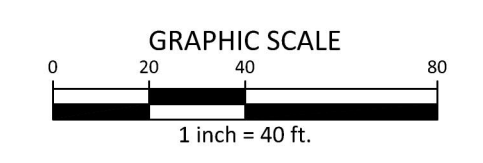
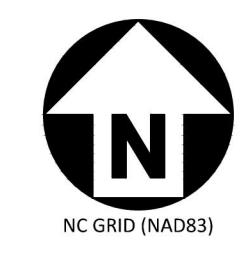
C3.01

- GRADING LEGEND
FLARED END SECTION
ENDWALL SECTION
CATCH BASIN
DROP INLET
STORM SERVICE INLET
STORM SERVICE ROOF-DRAIN
JUNCTION BOX
DRAINAGE FLOW ARROW
LINE BREAK SYMBOL
TOP & BOTTOM CURB ELEVATIONS
TOP OF WALL ELEVATION
BOTTOM OF WALL ELEVATION
SPOT ELEVATION
STORM DRAINAGE
STORM SERVICE LINE
ROOF DRAIN
TREE PROTECTION FENCE
LIMITS OF DISTURBANCE
WOODED AREA
MAJOR CONTOUR
MINOR CONTOUR
EXISTING MAJOR CONTOUR
EXISTING MINOR CONTOUR
EASEMENT LINE
ACCESSIBLE PARKING AREA



- EASEMENT LEGEND
PRD PRIVATE STORM DRAINAGE EASEMENT
CB PUBLIC STORM DRAINAGE EASEMENT
UE UTILITY EASEMENT

SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES



FINAL DRAWING - RELEASED FOR CONSTRUCTION

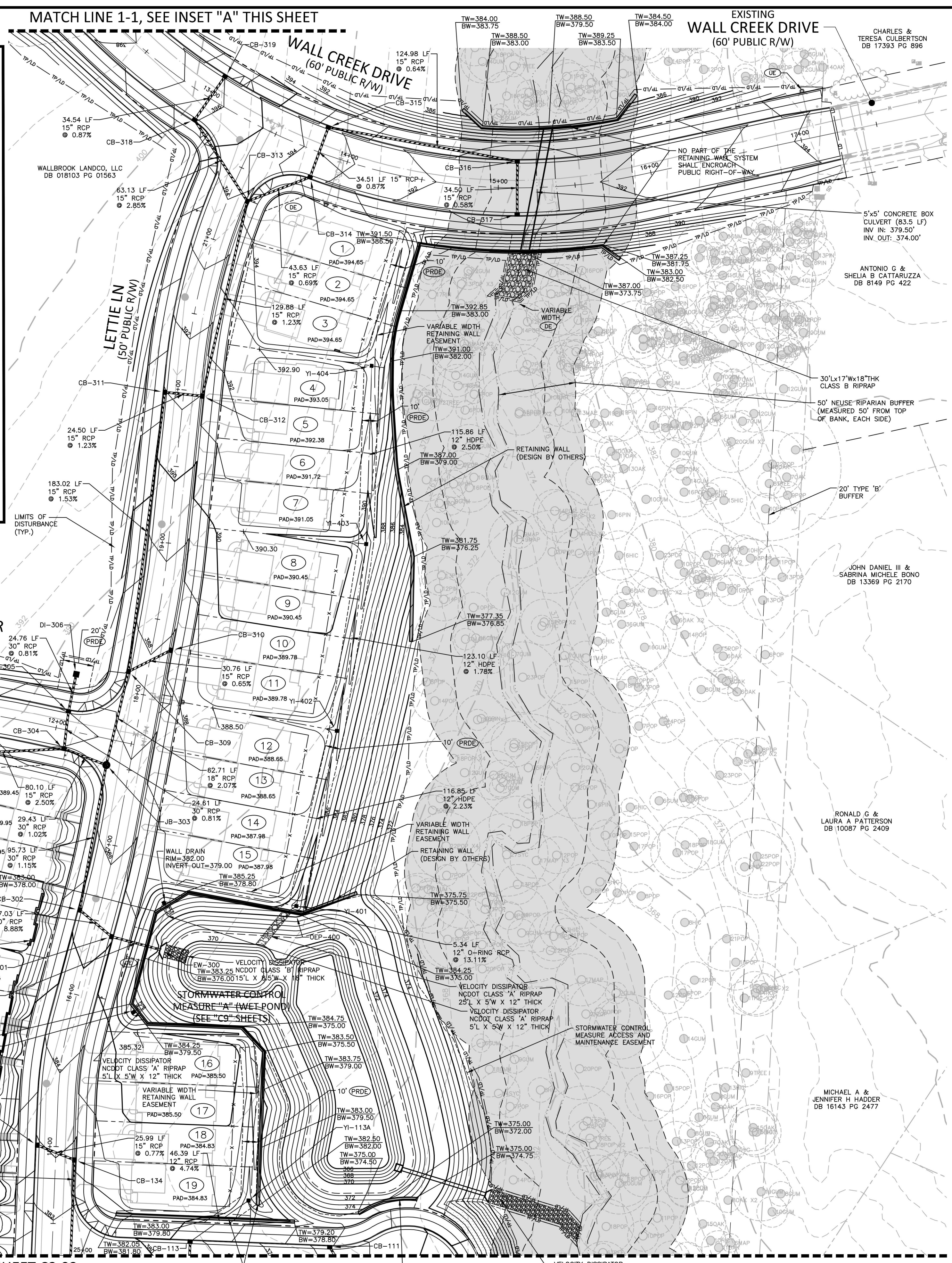


Table listing catch basins (CB-111 to CB-319) and manholes (YI-113A to YI-404) with their respective elevations and notes.

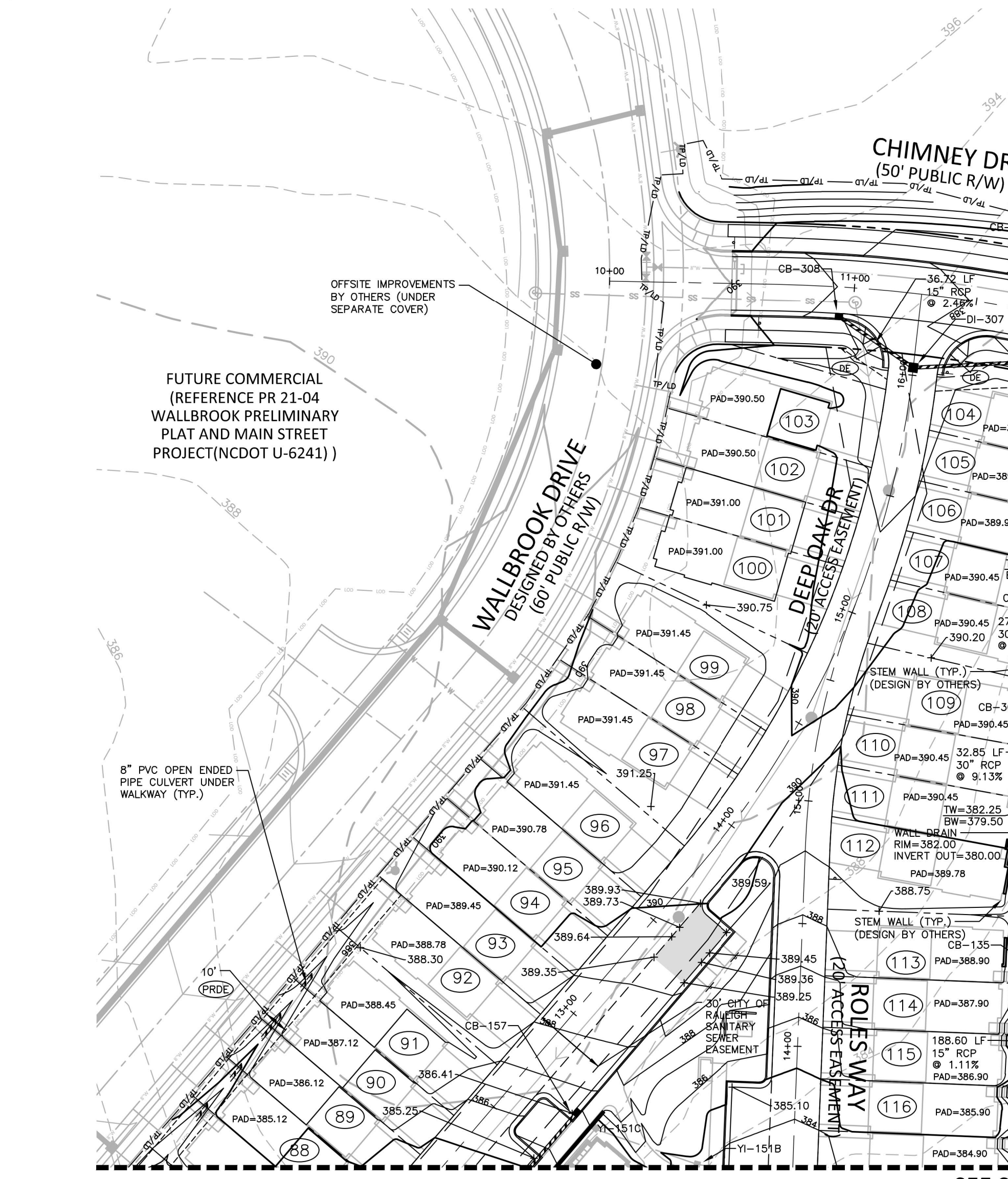
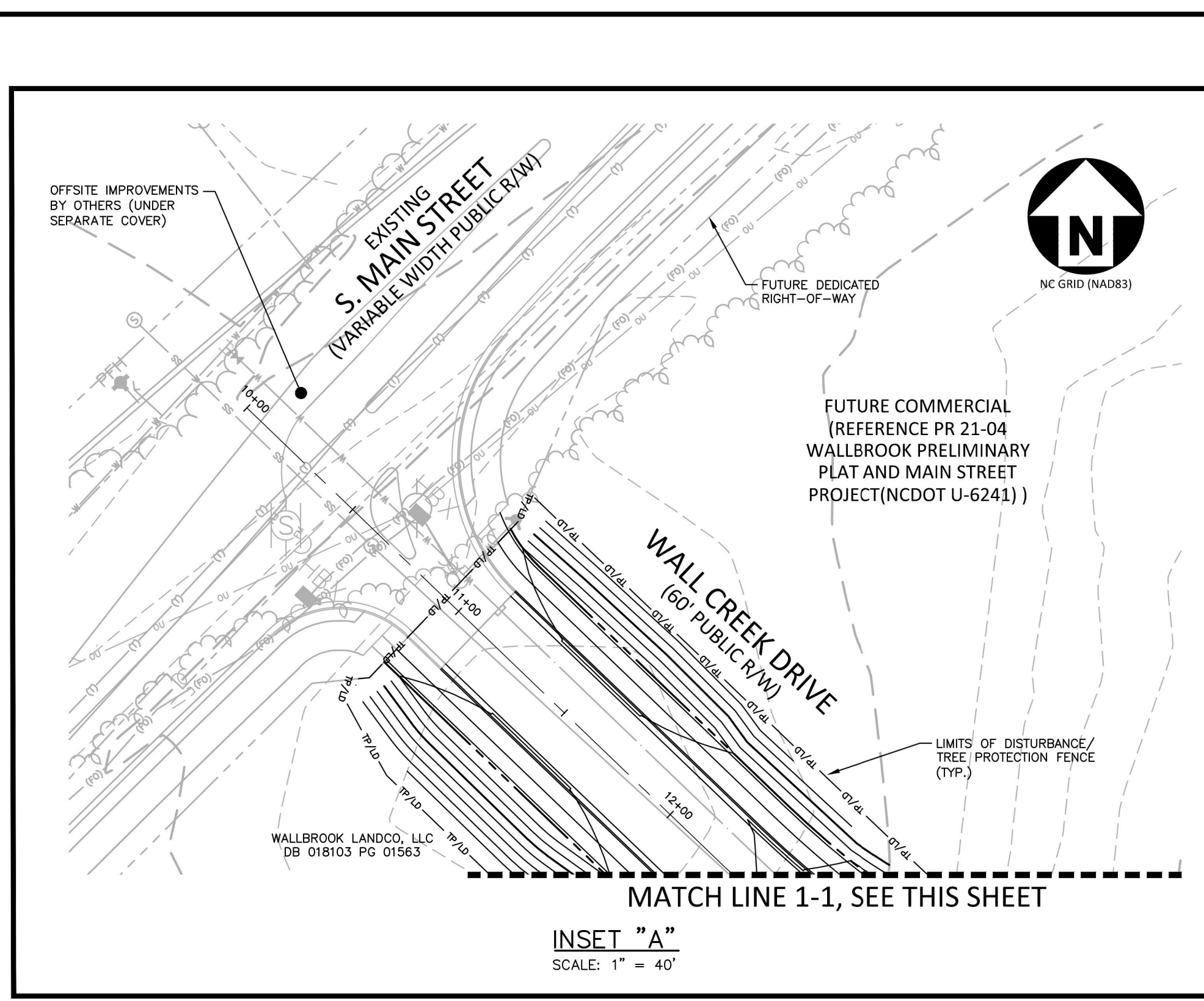
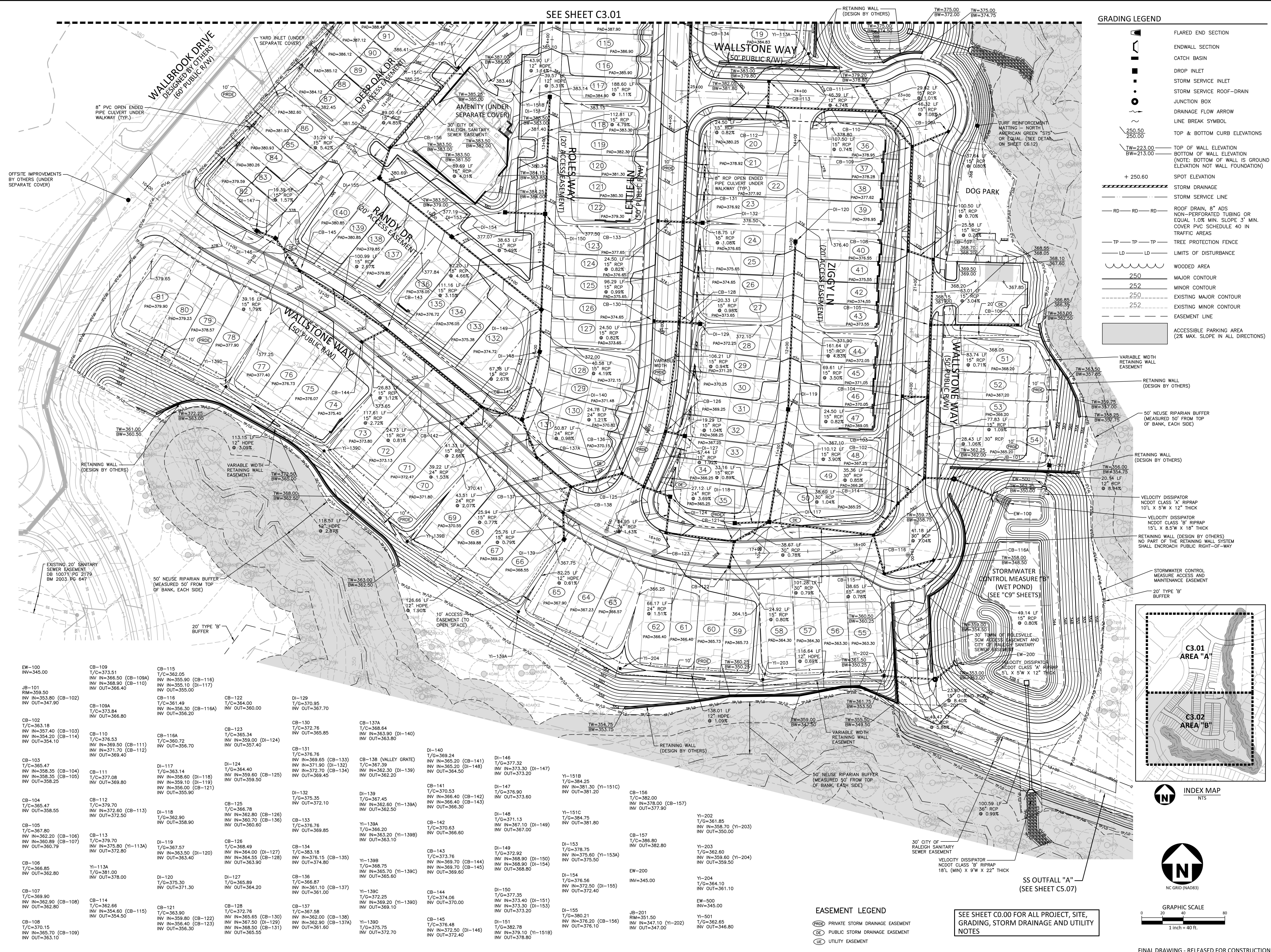


Table listing catch basins (CB-111 to CB-319) and manholes (YI-113A to YI-404) with their respective elevations and notes.

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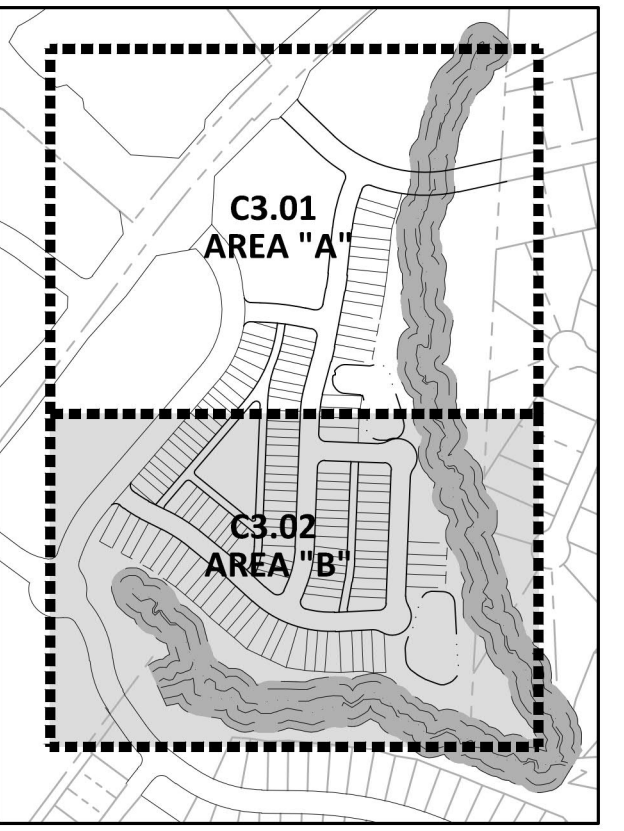
SEE SHEET C3.01



**GRADING LEGEND**

- FLARED END SECTION
- ENDWALL SECTION
- CATCH BASIN
- DROP INLET
- STORM SERVICE INLET
- STORM SERVICE ROOF-RAIN
- JUNCTION BOX
- DRAINAGE FLOW ARROW
- LINE BREAK SYMBOL
- TOP & BOTTOM CURB ELEVATIONS
- TOP OF WALL ELEVATION
- BOTTOM OF WALL ELEVATION
- SPOT ELEVATION
- STORM DRAINAGE
- STORM SERVICE LINE
- ROOF DRAIN, 8" ADS
- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE
- WOODED AREA
- MAJOR CONTOUR
- MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EASEMENT LINE
- ACCESSIBLE PARKING AREA (2% MAX. SLOPE IN ALL DIRECTIONS)

- RETAINING WALL (DESIGN BY OTHERS)
- VARIABLE WIDTH RETAINING WALL EASEMENT
- 50' NEUSE RIPARIAN BUFFER (MEASURED 50' FROM TOP OF BANK, EACH SIDE)
- RETAINING WALL (DESIGN BY OTHERS)
- VELOCITY DISSIPATOR (NDOT CLASS 'A' RIPRAP 10' X 5' W X 12" THICK)
- VELOCITY DISSIPATOR (NDOT CLASS 'B' RIPRAP 15' X 8.5' W X 18" THICK)
- RETAINING WALL (DESIGN BY OTHERS) NO PART OF THE RETAINING WALL SYSTEM SHALL ENROACH PUBLIC RIGHT-OF-WAY
- STORMWATER CONTROL MEASURE ACCESS AND MAINTENANCE EASEMENT
- 20' TYPE 'B' BUFFER



**INDEX MAP**  
NTS

**GRAPHIC SCALE**  
1 inch = 40 feet

**REVISIONS**

NO.	DATE

**PLAN INFORMATION**

PROJECT NO. CPR-19100  
 FILENAME CPR19100-CD-G1  
 CHECKED BY WTO  
 DRAWN BY JMS  
 SCALE 1"=40'  
 DATE 05.22.2023

**SS OUTFALL "A"**  
(SEE SHEET C5.07)

**EASEMENT LEGEND**

- PRIVATE STORM DRAINAGE EASEMENT
- PUBLIC STORM DRAINAGE EASEMENT
- UTILITY EASEMENT

SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

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**McADAMS**  
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**WALLBROOK**  
 CONSTRUCTION DRAWINGS  
 ROLESVILLE, NORTH CAROLINA

**PROFESSIONAL SEAL**  
 NORTH CAROLINA  
 22630  
 ENGINEER  
 WILLIAM T. O'DANIEL

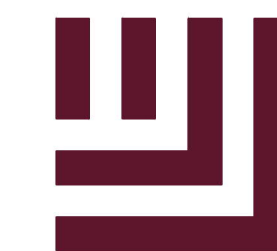
William T. O'Daniel  
 cp=William T O'Daniel, cp=US,  
 on=North Carolina,  
 email=odaniel@mcadamsco.com  
 2023.06.02 13:11:25 -0400

**GRADING AND STORM DRAINAGE PLAN - AREA "B"**

# C3.02

FINAL DRAWING - RELEASED FOR CONSTRUCTION





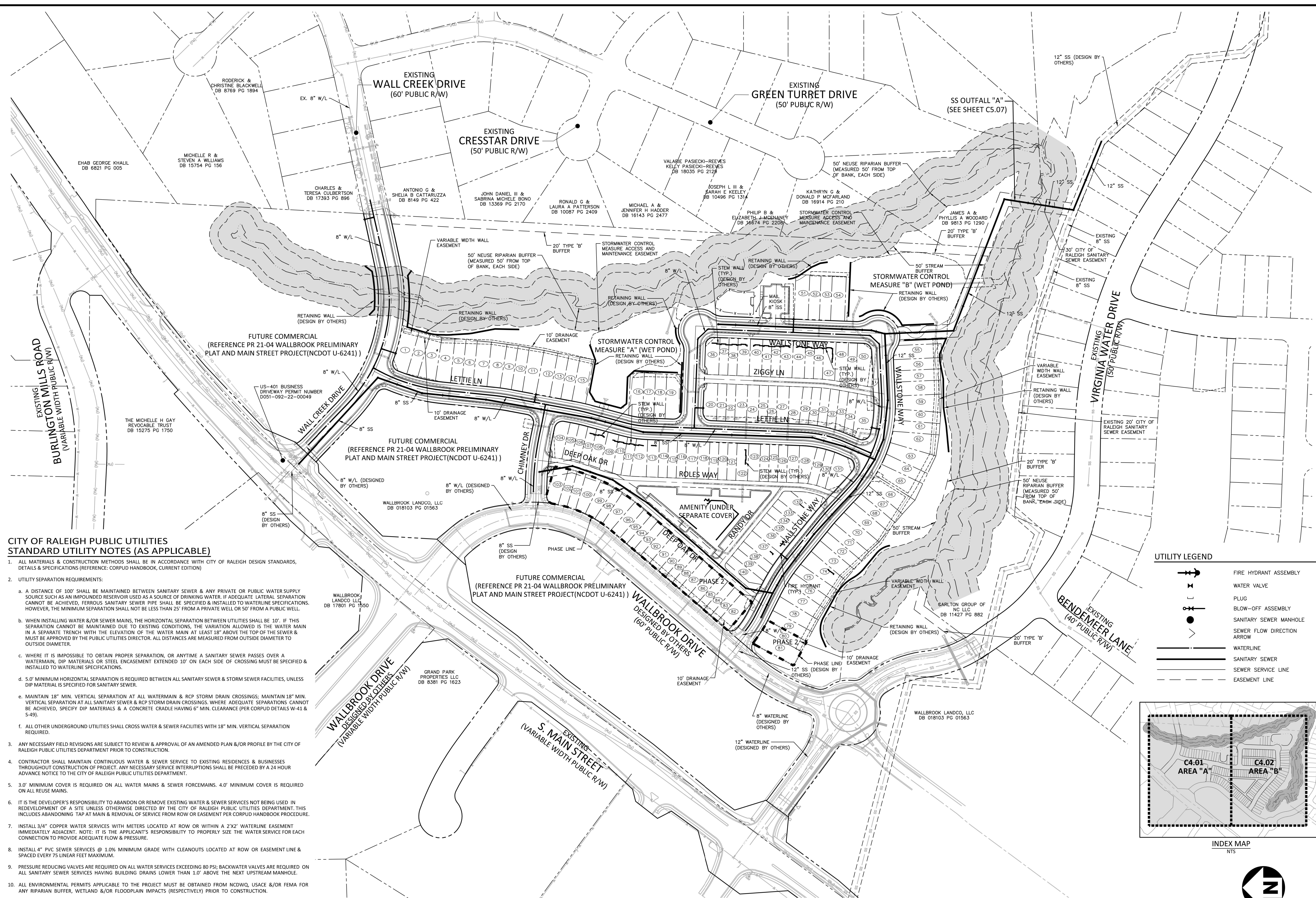
McADAMS

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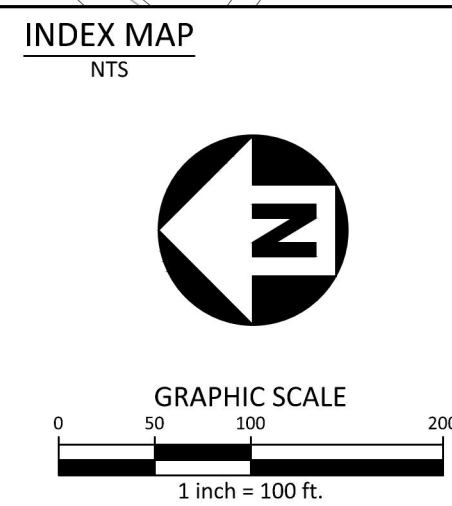
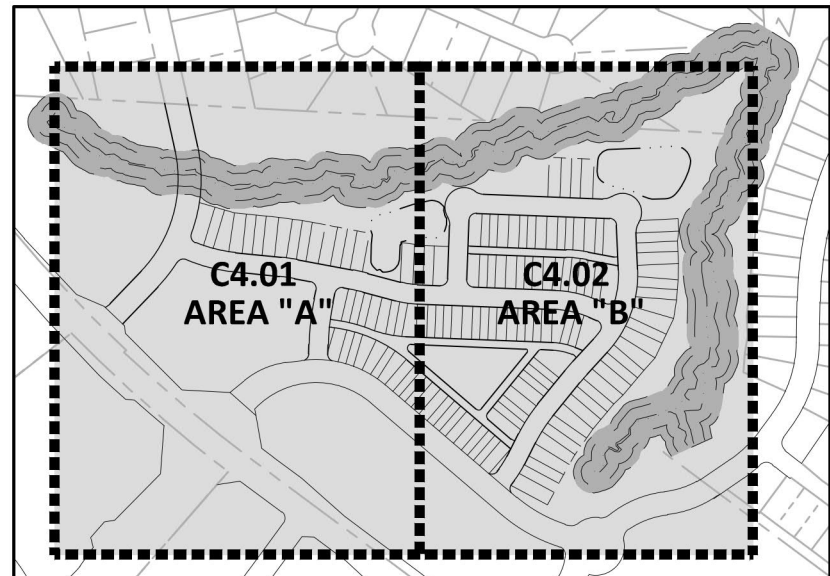
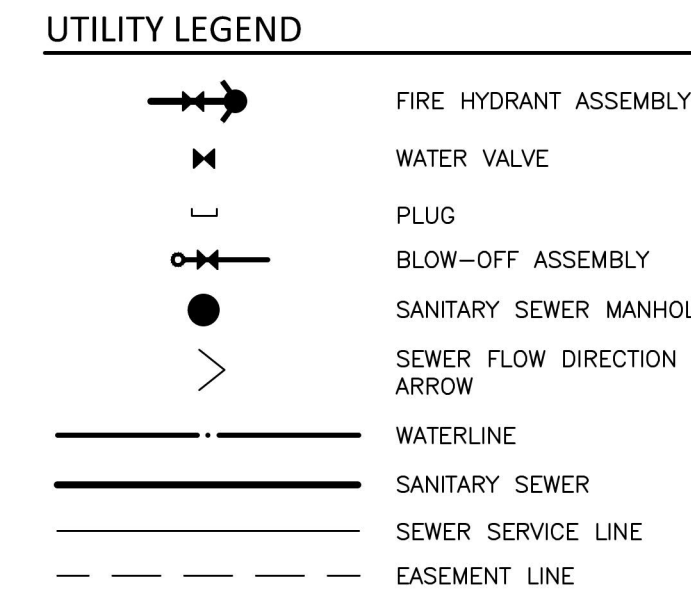
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28480-1709

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CONSTRUCTION DRAWINGS
ROLESVILLE, NORTH CAROLINA



CITY OF RALEIGH PUBLIC UTILITIES
STANDARD UTILITY NOTES (AS APPLICABLE)

- 1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS...
2. UTILITY SEPARATION REQUIREMENTS:
a. A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE...
b. WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'...
c. WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN...
d. 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES...
e. MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS...
f. ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT...
5. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
6. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE...
7. INSTALL 3/4" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT...
8. INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
9. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
10. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWM, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
11. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
12. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD PFG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT...
13. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA...



SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

NOTE: PHASE 2 RELIES ON DESIGN AND INFRASTRUCTURE BY OTHERS FOR PUBLIC WATER. PHASE 2 IS NOT TO BE PLATTED UNTIL THE WATER BY OTHERS IS INSTALLED, INSPECTED AND ACCEPTED BY RALEIGH.

SITE PERMITTING APPROVAL

Water and Sewer Permits (if applicable)
The City of Raleigh consents to the connection and extension of the City's Public Sewer System as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook, City of Raleigh Public Utilities Department Permit # S-5230.
The City of Raleigh consents to the connection and extension of the City's Public Water System as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook, City of Raleigh Public Utilities Department Permit # W-4043.
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City of Raleigh Public Utilities Department Permit #

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION
Electronic Approval: This approval is being issued electronically. This approval is valid only upon the signature of a City of Raleigh Review Officer below. The City will retain a copy of the approved plans. Any work authorized by this approval must proceed in accordance with the plans kept on file with the City. This electronic approval may not be edited once issued. Any modification to this approval once issued will invalidate this approval.
City of Raleigh Development Approval Timothy Beasley
City of Raleigh Review Officer

REVISIONS

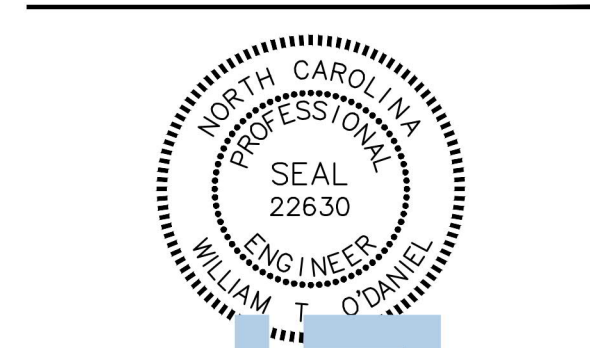
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PLAN INFORMATION

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DRAWN BY JMS
SCALE 1"=100'
DATE 05.22.2023

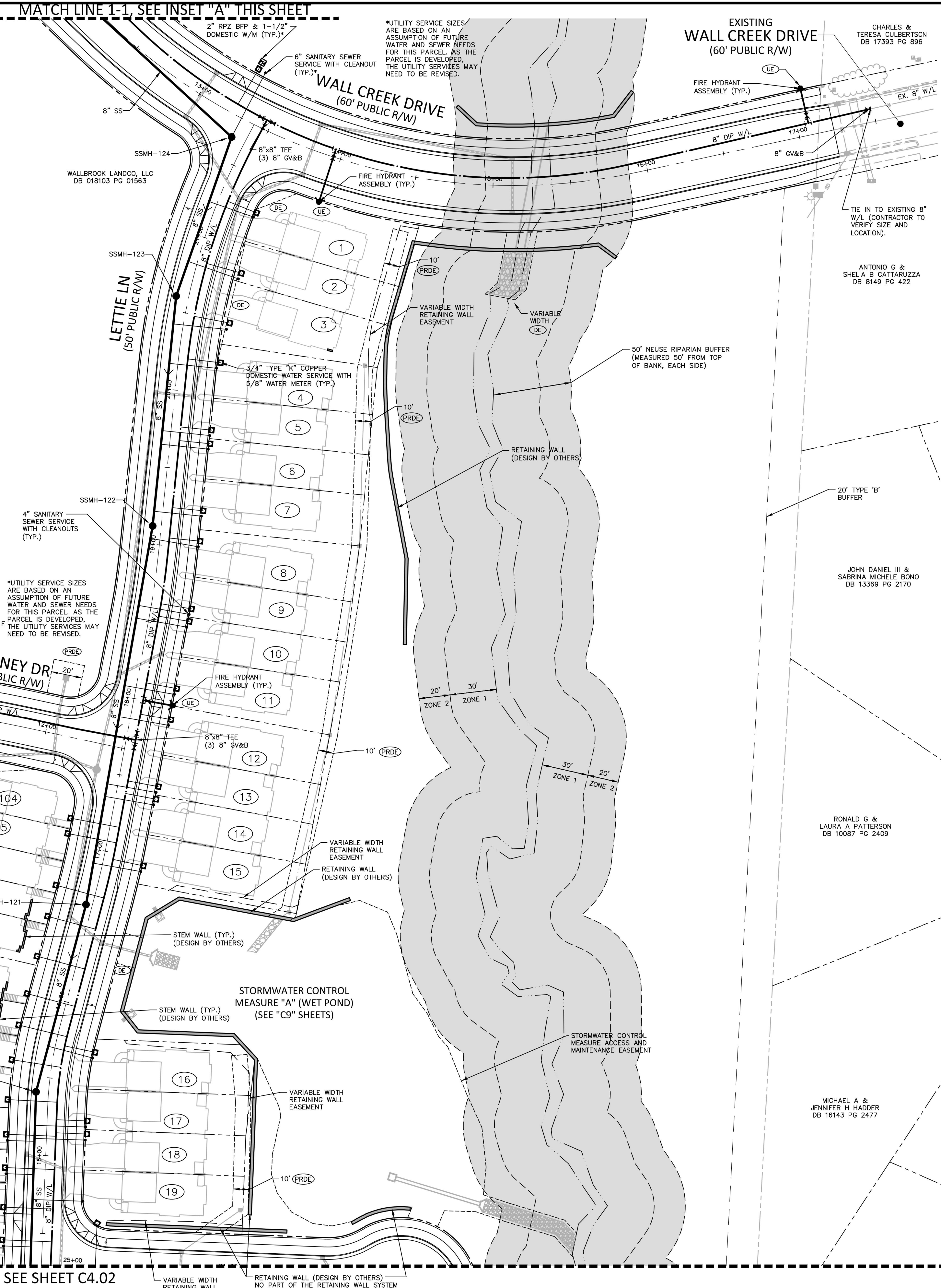
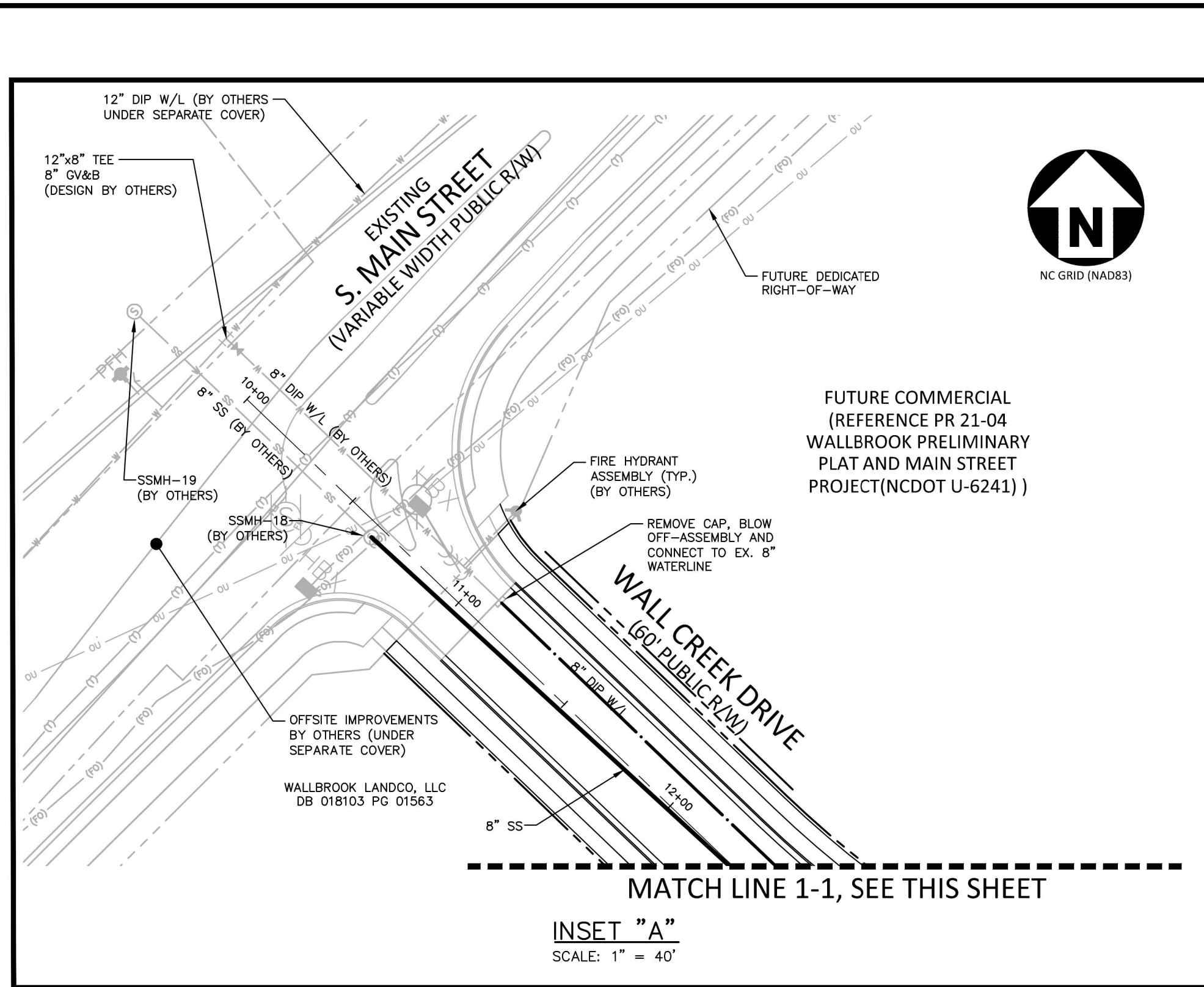
OVERALL UTILITY PLAN

C4.00

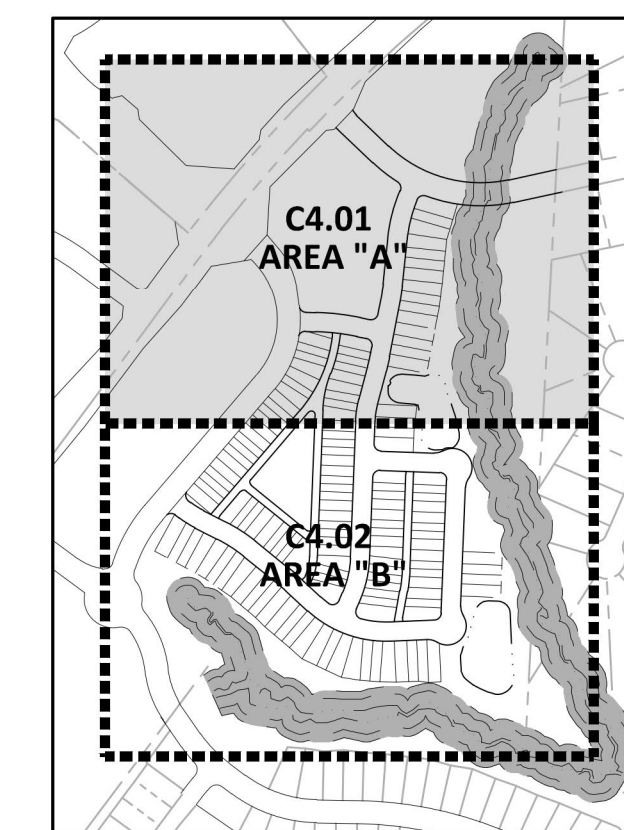


Digitally signed by William T O'Daniel
Date: 2023.05.23
14:25:27-04'00'





- UTILITY LEGEND**
- FIRE HYDRANT ASSEMBLY
  - FIRE DEPARTMENT CONNECTION (FDC)
  - WATER METER
  - WATER VALVE
  - POST INDICATOR VALVE
  - VALVE IN MANHOLE
  - METER & VAULT
  - BACKFLOW PREVENTER
  - REDUCER
  - PLUG
  - BLOW-OFF ASSEMBLY
  - SANITARY SEWER MANHOLE
  - SEWER CLEAN-OUT
  - GREASE TRAP
  - SEWER FLOW DIRECTION ARROW
  - YARD LIGHTS
  - LIGHT POLE
  - POWER POLE
  - LINE BREAK SYMBOL
  - WATERLINE
  - WATER SERVICE LINE
  - UTILITY SLEEVE
  - SANITARY SEWER
  - SEWER SERVICE LINE
  - SEWER FORCE MAIN
  - GAS LINE
  - OVERHEAD UTILITY
  - UNDERGROUND ELECTRIC
  - TELEPHONE
  - EASEMENT LINE



- EASEMENT LEGEND**
- PRIVATE STORM DRAINAGE EASEMENT
  - PUBLIC STORM DRAINAGE EASEMENT
  - UTILITY EASEMENT

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William T. O'Daniel  
c/o=William T. O'Daniel, c=US,  
o=North Carolina,  
email=rodaniel@mcadamsco.com  
2023.06.05 15:19:29 -0400'

**REVISIONS**

NO.	DATE

**PLAN INFORMATION**

PROJECT NO. CPR-19100  
FILENAME CPR19100-CD-U1  
CHECKED BY WTO  
DRAWN BY JMS  
SCALE 1"=40'  
DATE 05.22.2023

**UTILITY PLAN - AREA "A"**

**C4.01**

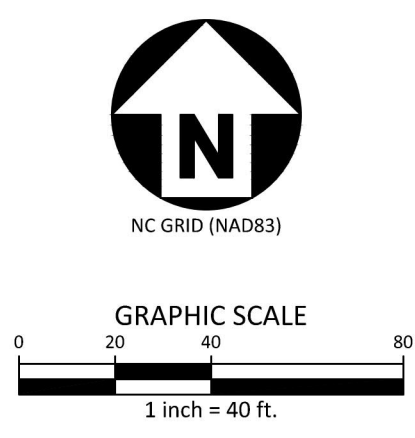
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City of Raleigh Development Approval  
City of Raleigh Review Officer



FINAL DRAWING - RELEASED FOR CONSTRUCTION