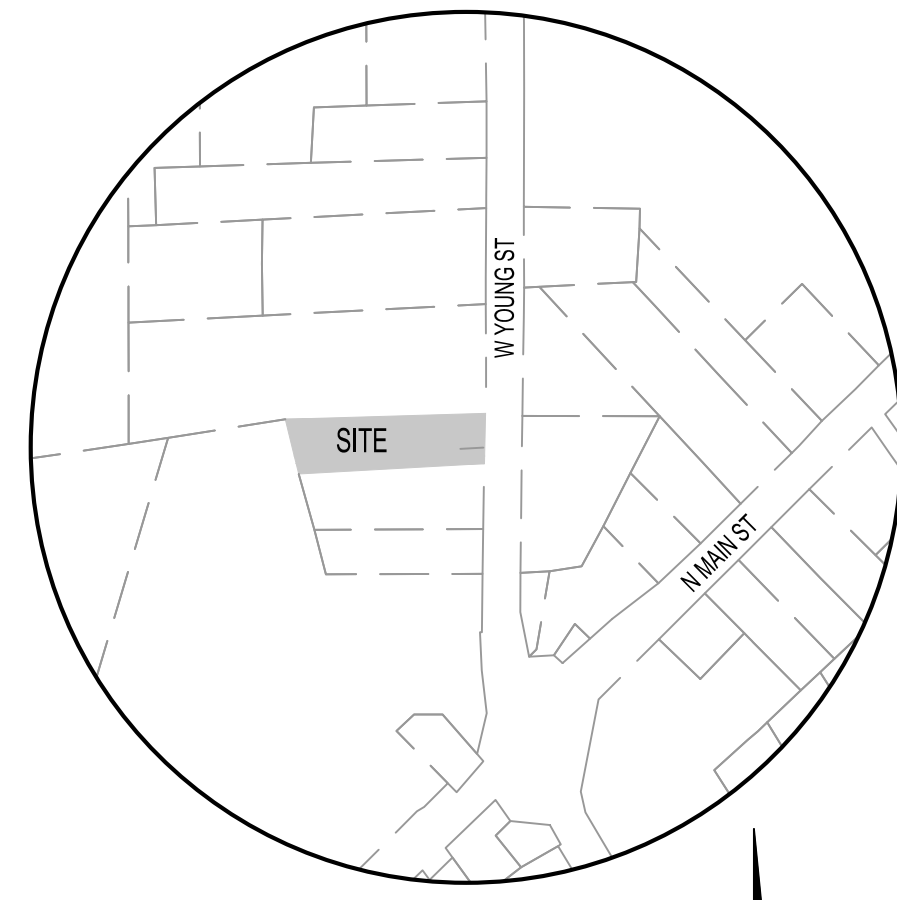


THE JOEL FUND

TOWN OF ROLESVILLE WAKE COUNTY, NORTH CAROLINA SITE DEVELOPMENT PLAN SUBMITTAL

TOWN OF ROLESVILLE PROJECT # SDP-24-08

1ST SUBMITTAL TO TOWN OF ROLESVILLE FOR REVIEW: SEPTEMBER 18, 2024
2ND SUBMITTAL TO TOWN OF ROLESVILLE FOR REVIEW: DECEMBER 2, 2024
3RD SUBMITTAL TO TOWN OF ROLESVILLE FOR REVIEW: JANUARY 6, 2025



VICINITY MAP
SCALE: 1" = 300'

SITE INFORMATION:	
LOCATION:	115 W YOUNG STREET ROLESVILLE, NC 27571
COUNTY:	WAKE COUNTY
PARENT PIN:	1769014849
DB/PG:	019630/02036
ZONING:	GC-CZ - GENERAL COMMERCIAL CONDITIONAL ZONING PER REZ-23-07 APPROVED ON 05/07/2024 0.57 AC
ACREAGE:	
BUILDING SETBACK MINIMUMS:	
FRONT:	20'
SIDE:	15'
REAR:	35'
STREET YARD BUFFER:	30'
BUILDING DATA:	
PROPOSED USE:	PROFESSIONAL OFFICE
OFF-STREET PARKING:	
COMMERCIAL SPECIFICATION:	2/1000 SQ FT
BLDG SQ FT:	1,325 SQ FT
REQUIRED PARKING:	3 PARKS
PROVIDED PARKING:	5 STANDARD 1 VAN ACCESSIBLE H/C
TOTAL PARKS:	5+1= 6 PARKS
IMPERVIOUS AREAS:	
TOTAL EXISTING IMPERVIOUS:	7,673 SQ FT (0.18 AC)
TOTAL PROPOSED IMPERVIOUS:	8,438 SQ FT (0.19 AC)



SDP-24-08 / Site Development Plan /
115 W. Young St. (The Joel Fund)

APPROVED

Date: January 13, 2025

Meredith Gruber

Town of Rolesville Planning Department

Civil Engineer:

The Curry Engineering Group, PLLC
NC License # P-0799
PO Box 2018
205 S. Fuquay Ave
Fuquay-Varina, NC 27526
919.552.0849 (o)
Contact: Andy Petty, PE
andy@curryeng.com

Surveyor:

James W. Nipper Land Surveying
5707 Hilltop Road
Raleigh, North Carolina, 27603
Phone: 919-917-7080
Contact: James Nipper
Email: nippersurveying@gmail.com

Land Owner:

The Joel Fund
822 S White St Ste 116
Wake Forrest, NC 27587
Phone:
Contact: Brooke Dickhart
Email: brooke@joelfund.org



DRAWING INDEX

- C-0.0 COVER
- C-1.0 EXISTING CONDITIONS & DEMOLITION PLAN
- C-2.0 SITE PLAN
- C-3.0 UTILITY & DRAINAGE PLAN
- C-4.0 SITE DETAILS
- C-4.1 SITE DETAILS
- C-4.2 UTILITY DETAILS
- EC-1.0 EROSION CONTROL PLAN
- EC-1.1 EROSION CONTROL DETAILS I
- EC-1.2 EROSION CONTROL DETAILS II
- EC-1.3 EROSION CONTROL DETAILS III
- L-1.0 LANDSCAPE PLAN
- L-2.0 LANDSCAPE DETAILS

EXHIBIT A

REZ-23-07 / 111, 113, 115 W. Young Street --- LDO Table 5.1 Permitted Principal Use Table.

- The General Commercial (GC) District Permits 48 total Zoning Uses - 40 are Permitted By-right, while 8 Require a Special Use Permit approval by Town BOC.
- The Property shall be governed by the below modified list of Permitted Uses - Prohibiting 20 and thereby Permitting 24 By-right, and 4 by Special Use Permit.

PERMITTED - 24											
RESIDENTIAL	CIVIC	COMMERCIAL	OFFICE/MEDICAL	INDUSTRIAL	INFRASTRUCTURE	RESIDENTIAL	CIVIC	COMMERCIAL	OFFICE/MEDICAL	INDUSTRIAL	INFRASTRUCTURE
Dwelling, Upper-story Unit	Assembly / Church / Cultural Facility	Public Safety Facility	Eating Establish.	Event Center	Retail Sales & Service - Neighborhood	Dental Facility	Artisanal Manufacturing	Minor Utility			
	Govt. Office	Parks / Public Recreation	Funeral Home	Recreation, Indoor	Retail Sales & Service - Community	Medical Facility	Major Utility				
	Lodge or Private Club	Preserved Open Space	Recreation, Outdoor	Recreation, Outdoor	Professional Office	Minor Transportation Installation	Water Storage Tank				
Permitted by Special Use Permit - 4											
	Social Services	Lodging									
PROHIBITED - 20											
	College/University	Schools K-12	Bank	Commercial Parking	Golf Course	Animal Care	Flex				
	Day Care		Bars and Nightclubs	Carwash	Retail Sales & Service - Shopping Center	Hospital	Fulfillment Center				
			Breweries and Distilleries	Gas Station	Tattoo Establishment	Urgent Care					
			Vehicle Rental and Sales	Vehicle, Minor Service	Vape & Tobacco Store						

REZ-23-07, W. Young Street Conditions of Approval April 29, 2024

1. The proposed General Commercial (GC/CZ) District shall allow Principal Uses per Exhibit A. (Uses Permitted, Uses by Special Use Permit, Uses Prohibited).
2. No more than seven (7) upper-story dwelling units shall be permitted on the Property.
3. Nonresidential uses shall not be less than 5,000 square feet of gross floor area, and shall not exceed 30,000 square feet of gross floor area.
4. A traffic impact analysis shall be required for a Site Development Plan that includes at least 20,000 square feet of gross floor area of Office and Medical Uses as defined in LDO Section 5.1.L.
5. No demolition permit for the existing home at 113 W. Young Street (PIN 1769-01-4840) (Deed Book 16593, Page 1043, Wake County Registry) shall be filed within 365 days following approval of REZ-23-07.
6. Prior to the submittal of a demolition permit for the removal of the single-family home at 113 W. Young Street (PIN 1769-01-4840), the Development shall document the existing structure through photographs and detailed exterior elevation drawings. The Development shall send the documentation to the Town of Rolesville Planning Department and Board of Commissioners. Prior to the demolition, the Development will allow any non-profit entity, individual, or for-profit entity to relocate any of the existing single-family home at no cost to the Development and without payment to the Development, so long as the party relocating the single-family home is solely responsible for the relocation, including without limitation, securing all permits and approvals required by law. The Development will provide general public notice in the News & Observer of the offer for relocation. Public notice shall occur at least 180 days prior to the scheduled demolition of the single-family home. Prior to demolition of the single-family home that has not been relocated within 30 days prior to demolition, and after the Development has removed any items or building materials for its reuse, the Development will allow the Town of Rolesville or any local organization at least 15 days to remove items of historic significance and building materials for reuse.

Wesley C. Wilkins
Wesley C. Wilkins

Roxey M. Wilkins
Roxey M. Wilkins

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REVISIONS	
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2	10/8/2025 TOWN OF ROLESVILLE COMMENTS
0	11/14/2025 SIGNATURE SET

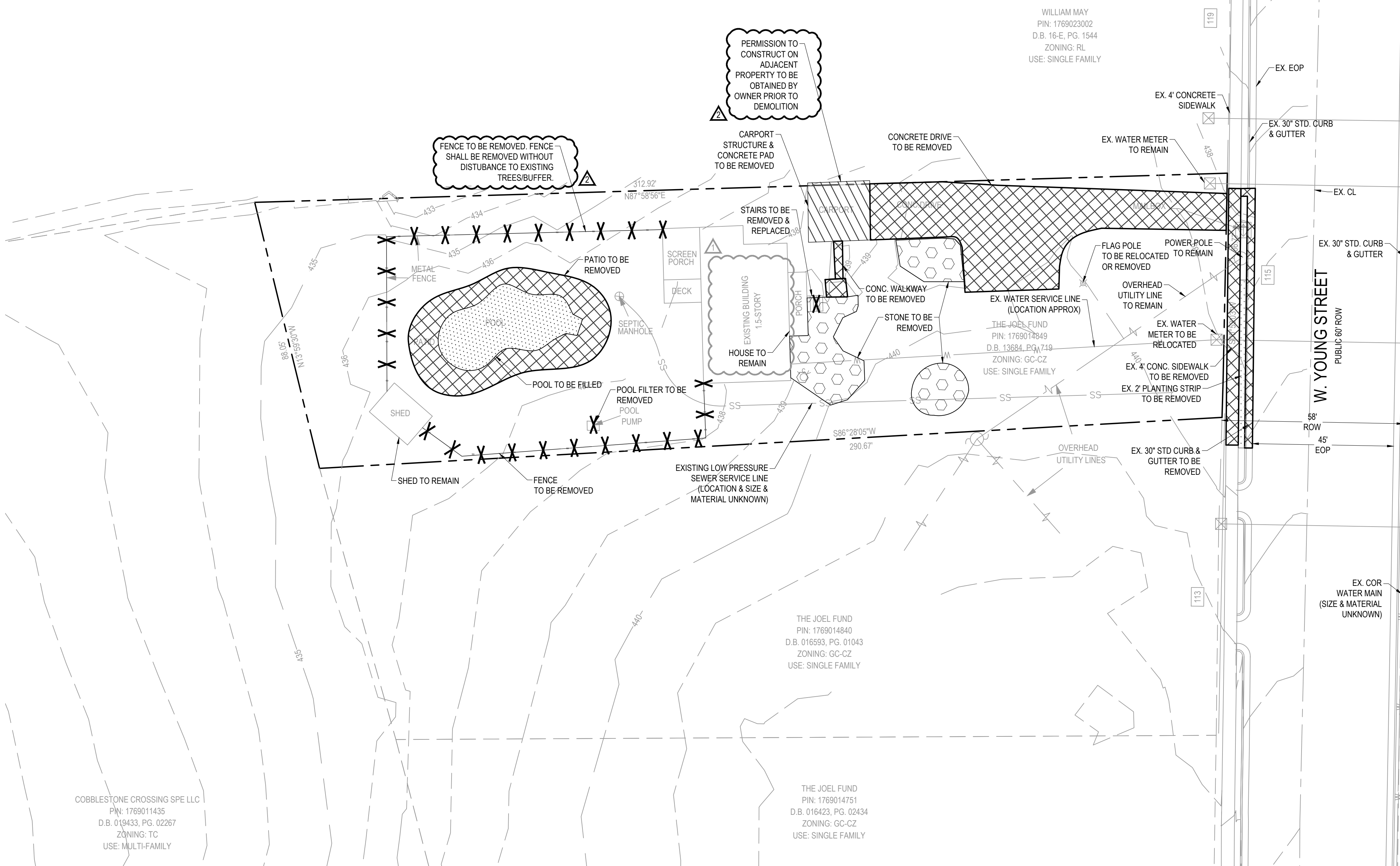
PROFESSIONAL'S SEAL
Andy Petty
36823
ENGINEER
ANDREW S. PETTY

CONSULTANT
Curry
ENGINEERING
EST. 1919
1119 552-0849
308 S. Fuquay Avenue
Fuquay-Varina, NC 27526
NC LIC. NO. P-0799

CLIENT
The Joel Fund
822 S White St, Suite 116
Wake Forrest, NC 27587
919.418.9042
Contact: Brook Dickhart
email: brooke@joelfund.org

CONSTRUCTION DRAWINGS
THE JOEL FUND - SDP-24-08
COVER
C-0.0

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 PLOTTED: 11/14/2025 3:23 PM



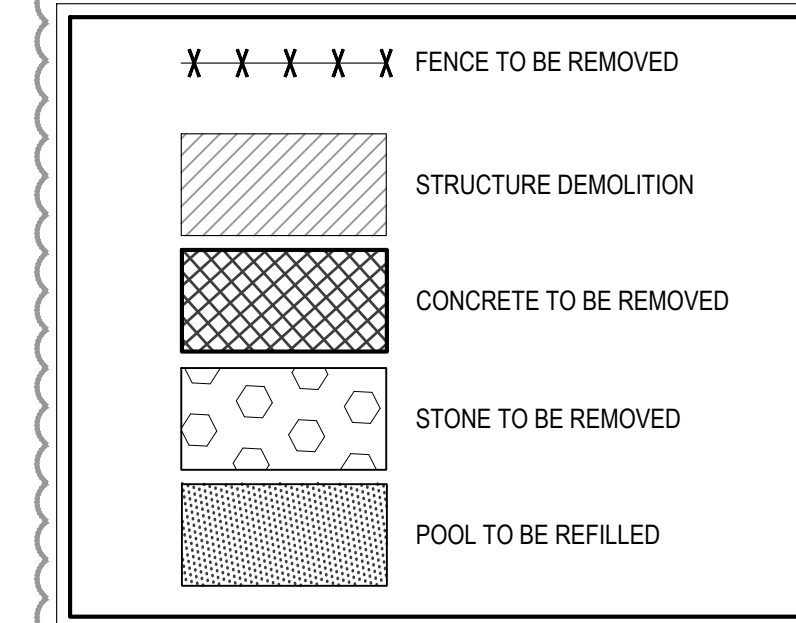
EXISTING CONDITIONS LEGEND:

⊕	PKN = PK NAIL
⊞	CONCRETE MONUMENT
○	SIGN
●	EIP = EXISTING IRON PIPE
⊙	POWER POLE
<	GUY WIRE
■	CURB INLET
⊕	FIRE HYDRANT
⊞	WM = WATER METER
⊙	LIGHT POLE
⊞	SANITARY SEWER MANHOLE
⊞	YARD INLET
○	IPS = IRON PIPE SET
⊞	GV = GAS VALVE
⊞	PROPANE TANK
⊞	LP = LIGHT POLE
○	BOLLARD
⊞	TELEPHONE POLE
⊞	WV = WATER VALVE
⊞	HB = HOT BOX
⊞	SCO = SEWER CLEANOUT
⊞	FLAG POLE
⊞	WELL
⊞	GAS TEST STATION
⊞	SEPTIC TANK
⊞	MAIL BOX
⊞	AIR CONDITIONING UNIT
⊞	GAS METER
⊞	ELECTRIC METER
⊞	ICV = IRRIGATION CONTROL VALVE
RW = RIGHT-OF-WAY	
XXX	DENOTES ADDRESS
OVERHEAD ELECTRIC ----- OHE -----	
STORM LINE ----- S -----	
GAS LINE ----- G -----	
FENCE ----- F -----	
WATER LINE ----- W -----	
SEPTIC LINE ----- SS -----	
FIBER OPTIC ----- FO -----	

GENERAL NOTES:

- THIS PLAN IS NOT INTENDED FOR PLATTING OR RECORDATION.
- THE INTENT OF THIS PLAN IS TO ILLUSTRATE THE EXISTING FEATURES, STRUCTURES AND TOPOGRAPHY OF THE PROPERTY. THE INFORMATION SHOWN ON THIS PLAN WAS PROVIDED AND DEVELOPED BY OTHERS. CURRY ENGINEERING DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION, THIS IT HAS NOT BEEN SEALED. BOUNDARY AND TOPOGRAPHY INFORMATION SHOWN IS FROM FIELD SURVEY.
- THE ENGINEER UNDERSTANDS THE PRELIMINARY INFORMATION PROVIDED TO MEET THE FOLLOWING CRITERIA:
 - THE PROPERTY SHOWN HEREON IS SUBJECT TO ALL EASEMENTS OF RECORD AFFECTING SAME. PROPERTY BOUNDARY SHOWN BASED PER MAPS AND DEEDS OF RECORD ONLY.
 - NO TITLE SEARCH HAS BEEN PERFORMED BY THIS FIRM DURING THE COURSE OF THIS SURVEY.
 - THIS INFORMATION DOES NOT CERTIFY TO THE EXISTENCE OR NON-EXISTENCE OF ANY UNDERGROUND UTILITIES THAT MAY OR MAY NOT BE PRESENT ON THIS SITE.
- FLOOD HAZARD SOILS ARE NOT ANTICIPATED ON THIS PROPERTY PER WAKE COUNTY GIS.

DEMOLITION LEGEND:



COBBLESTONE CROSSING SPE LLC
 PIN: 1769011435
 D.B. 019433, PG. 02267
 ZONING: TC
 USE: MULTI-FAMILY

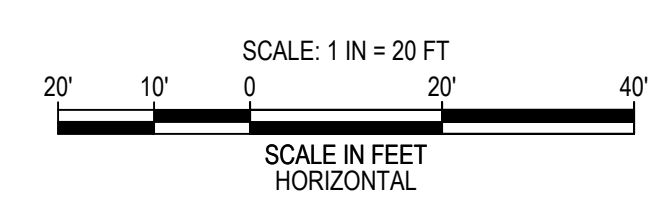
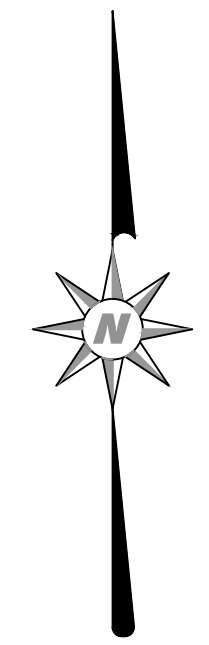
THE JOEL FUND
 PIN: 1769014840
 D.B. 016593, PG. 01043
 ZONING: GC-CZ
 USE: SINGLE FAMILY

THE JOEL FUND
 PIN: 1769014751
 D.B. 016423, PG. 02434
 ZONING: GC-CZ
 USE: SINGLE FAMILY

PERMISSION TO CONSTRUCT ON ADJACENT PROPERTY TO BE OBTAINED BY OWNER PRIOR TO DEMOLITION

FENCE TO BE REMOVED. FENCE SHALL BE REMOVED WITHOUT DISTURBANCE TO EXISTING TREES/BUFFER.

Surveyor:
James W. Nipper Land Surveying
 5707 Hilltop Road
 Raleigh, North Carolina, 27603
 Phone: 919-917-7080
 Contact: James Nipper
 Email: nippersurveying@gmail.com



NO.	DATE	REVISIONS
1	12/02/2024	TOWN OF ROLESVILLE COMMENTS
2	10/01/2025	TOWN OF ROLESVILLE COMMENTS
0	11/14/2025	SIGNATURE SET

STATUS: SIGNATURE SET

DATE: AUGUST 30, 2024
 FILE NO.: 2024-033

HORIZ. SCALE:
 ORIG. SHEET SIZE: 24 x 36

PROFESSIONAL'S SEAL

01/14/2025

CONSULTANT

Curry
 ENGINEERING

EST. 1952
 NORTH CAROLINA
 NC LIC. NO. P-0799

T (919) 552-0840
 F (919) 552-2643
 208 S. Fugate Avenue
 Fugate/Veneta, NC 27126

CLIENT

The Joel Fund
 822 S White St, Suite 116
 Wake Forrest, NC 27587
 919.418.9042
 Contact: Brook Dickhart
 email: brooke@joelfund.org

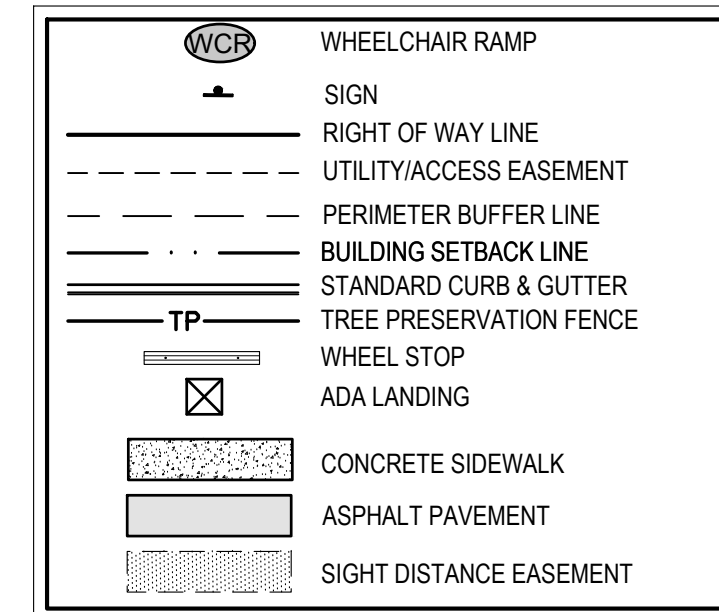
CONSTRUCTION DRAWINGS
THE JOEL FUND - SDP-24-08
EXISTING CONDITIONS & DEMOLITION PLAN

C-1.0

GENERAL NOTES:

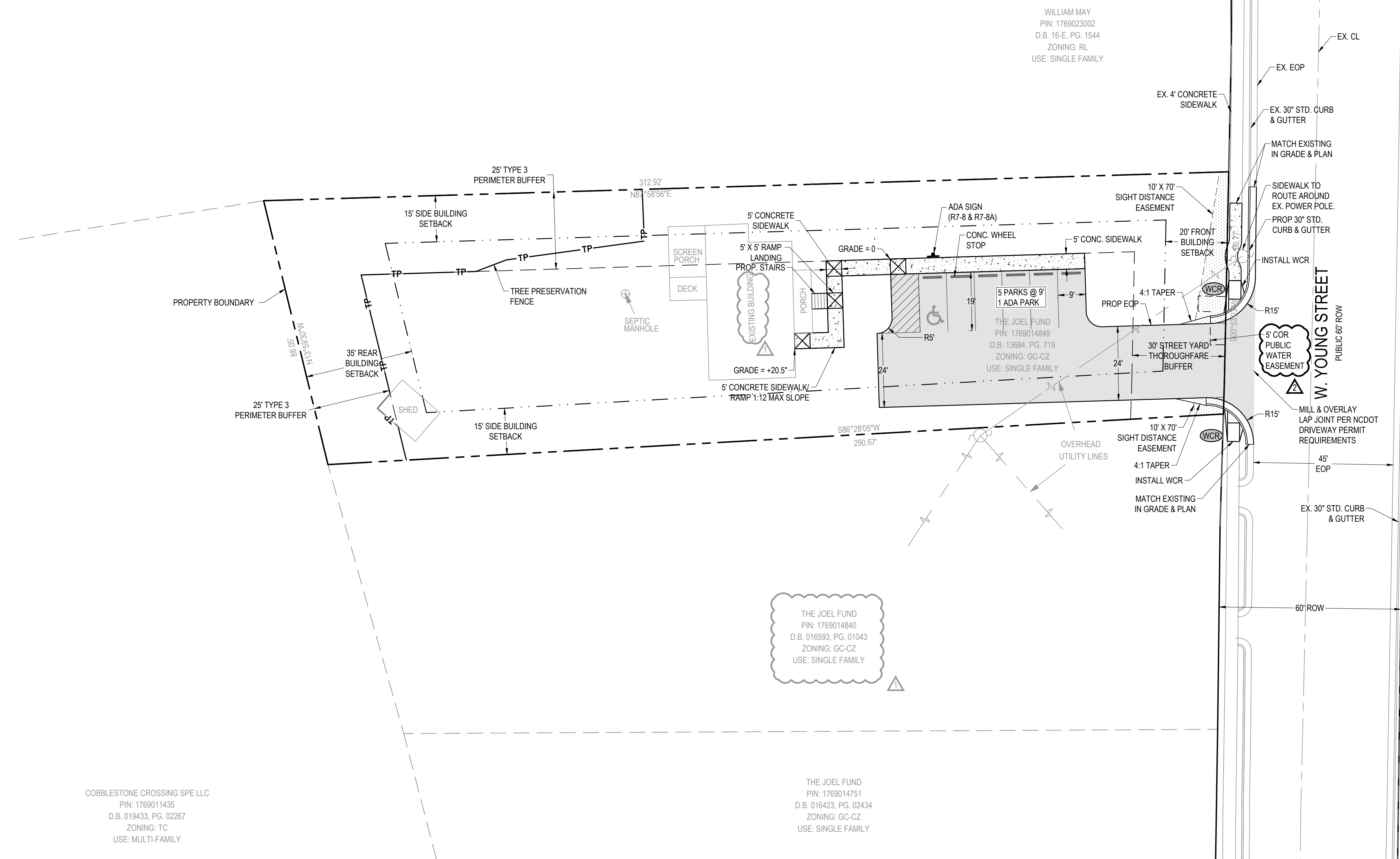
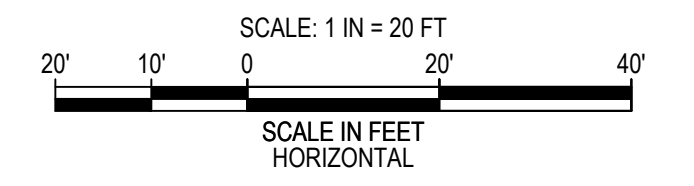
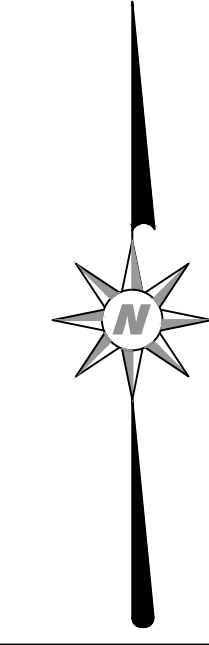
- ALL CONSTRUCTION SHALL BE PER TOWN OF ROLESVILLE STANDARDS AND SPECIFICATIONS.
- ALL DIMENSIONS ARE IN FEET AND EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- ALL SITE ELEMENTS ARE PERPENDICULAR TO EACH OTHER UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, RIGHT-OF-WAYS AND UTILITIES, PUBLIC OR PRIVATE, BEFORE WORKING IN THESE AREAS.
- PROTECT ALL PROPERTY MONUMENTS AND PINS. MONUMENTS AND PINS THAT WILL BE DISTURBED DURING CONSTRUCTION SHALL BE REFERENCED AND REPLACED BY A LICENSED LAND SURVEYOR AT THE COST OF THE CONTRACTOR.
- CONTRACTOR SHALL MAINTAIN THE SITE IN SUCH A MANNER THAT WORKMEN AND THE PUBLIC WILL BE PROTECTED FROM INJURY AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
- CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL DUE TO CONSTRUCTION OPERATIONS. ALL STREET SURFACES, UTILITY POLES, CULVERTS, DITCHES, CURB AND GUTTER OR OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR IN ACCORDANCE WITH THE APPROPRIATE SPECIFICATIONS.
- IF DEPARTURES FROM THE DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE SUBMITTED IN WRITING TO THE FACILITY DESIGNER FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS WILL BE ALLOWED WITHOUT APPROVAL BY THE FACILITY DESIGNER.
- ANY AND ALL QUANTITIES SHOWN OR IMPLIED ON THE PLANS ARE FOR ESTIMATION PURPOSES ONLY.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- PARKING LOT STRIPING SHALL BE WHITE, SIGN POLES, TRAFFIC BOLLARDS AND LIGHT POLE BASES SHALL BE PER OWNER.
- A SEPARATE SIGN PERMIT WILL HAVE TO BE SUBMITTED TO THE TOWN OF ROLESVILLE FOR SIGNAGE AS A SEPARATE PROCESS.
- ANY FLAG POLES SHALL BE NO MORE THAN 30' IN HEIGHT WITH A MAXIMUM FLAG SIZE OF 40 SQUARE FEET.
- ANY RETAINING WALL OVER 4' TALL WILL REQUIRE A BUILDING PERMIT.
- EXISTING BUILDING IS GRANDFATHERED FROM CURRENT BUILDING SETBACKS AS BUILDING PRE-DATES CURRENT SETBACK DIMENSION. NO NEW BUILDING OR BUILDING EXPANSION MAY ENCR OACH INTO SETBACKS.

SITE LEGEND:



SITE INFORMATION:

LOCATION:	115 W YOUNG STREET ROLESVILLE, NC 27571
COUNTY:	WAKE COUNTY
PARENT PIN:	1769014849
DB/PG:	019630/02036
ZONING:	GC-CZ - GENERAL COMMERCIAL CONDITIONAL ZONING PER REZ-23-07 APPROVED ON 05/07/2024
ACREAGE:	0.57 AC
BUILDING SETBACK MINIMUMS:	
FRONT:	20'
SIDE:	15'
REAR:	35'
STREET YARD BUFFER:	30'
BUILDING DATA:	
PROPOSED USE:	PROFESSIONAL OFFICE
OFF-STREET PARKING:	
COMMERCIAL SPECIFICATION:	2/1000 SQ FT
BLDG SQ FT:	1,325 SQ FT
REQUIRED PARKING:	3 PARKS
PROVIDED PARKING:	5 STANDARD 1 VAN ACCESSIBLE HIC
TOTAL PARKS:	5+1= 6 PARKS
IMPERVIOUS AREAS:	
TOTAL EXISTING IMPERVIOUS:	7,673 SQ FT (0.18 AC)
TOTAL PROPOSED IMPERVIOUS:	8,438 SQ FT (0.19 AC)



WILLIAM MAY
PIN: 1769023002
D.B. 16-E, PG. 1544
ZONING: RL
USE: SINGLE FAMILY

THE JOEL FUND
PIN: 1769014840
D.B. 016593, PG. 01043
ZONING: GC-CZ
USE: SINGLE FAMILY

THE JOEL FUND
PIN: 1769014751
D.B. 016423, PG. 02434
ZONING: GC-CZ
USE: SINGLE FAMILY

COBBLESTONE CROSSING SPE LLC
PIN: 1769011435
D.B. 019433, PG. 02267
ZONING: TC
USE: MULTI-FAMILY

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REVISIONS	
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2	10/8/2025 TOWN OF ROLESVILLE COMMENTS
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STATUS: SIGNATURE SET

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PROFESSIONAL'S SEAL

01/14/2025

CONSULTANT

Curry
ENGINEERING

NC LIC. NO. P-0799

(919) 552-0840 308 S. Fugate Avenue
(919) 552-2643 Fugate/Venue, NC 27126

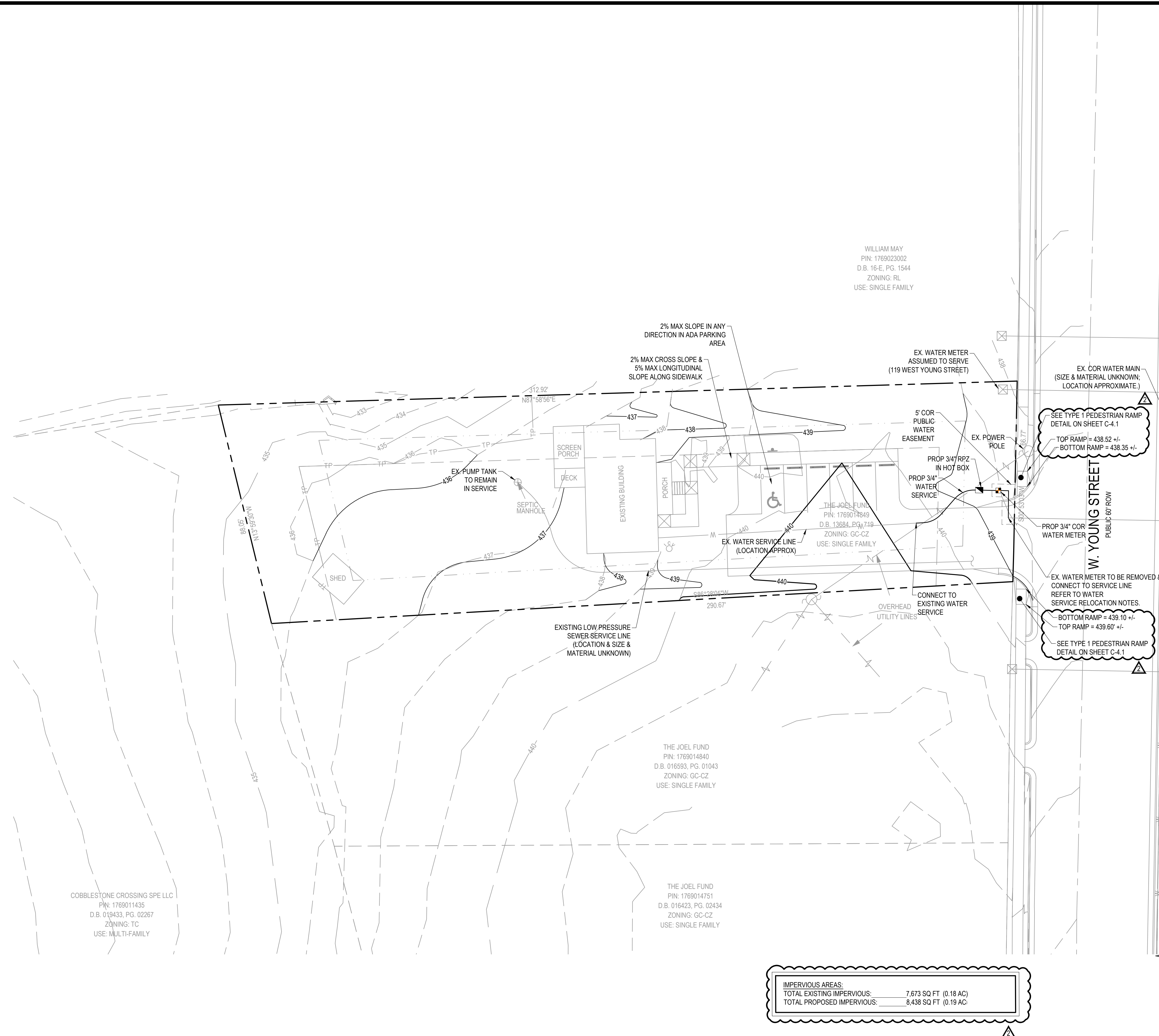
CLIENT

The Joel Fund
822 S White St, Suite 116
Wake Forrest, NC 27587
919.418.9042
Contact: Brook Dickhart
email: brooke@joelfund.org

CONSTRUCTION DRAWINGS
THE JOEL FUND - SDP-24-08
SITE PLAN

C-2.0

Z:\PROJECTS\FOLDER_ZEBEL\CON\2024\024-033\THE JOEL FUND - ROLESVILLE\PLANS\SITE PLAN\SHEET FILES\C3.0 UTILITY & DRAINAGE PLANS.DWG
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WILLIAM MAY
 PIN: 1769023002
 D.B. 16-E, PG. 1544
 ZONING: RL
 USE: SINGLE FAMILY

2% MAX CROSS SLOPE & 5% MAX LONGITUDINAL SLOPE ALONG SIDEWALK

THE JOEL FUND
 PIN: 1769014840
 D.B. 016593, PG. 01043
 ZONING: GC-CZ
 USE: SINGLE FAMILY

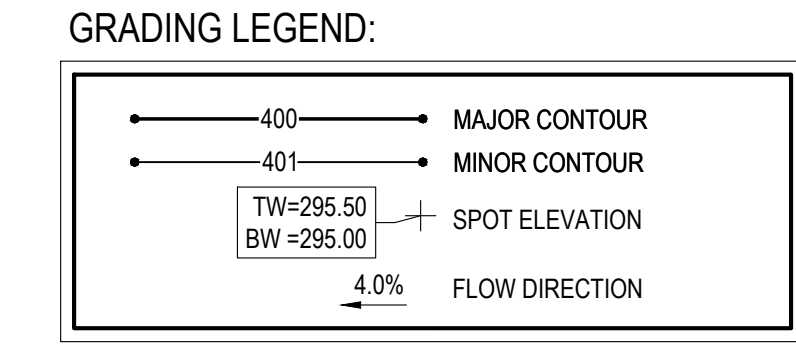
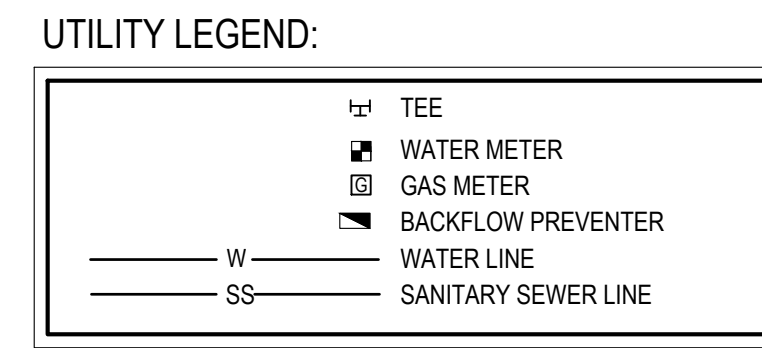
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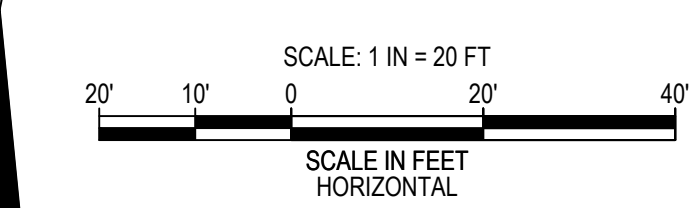
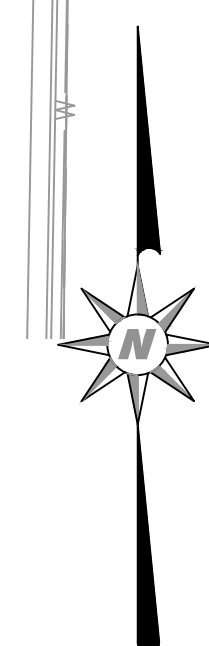
IMPERVIOUS AREAS:
 TOTAL EXISTING IMPERVIOUS: 7,673 SQ FT (0.18 AC)
 TOTAL PROPOSED IMPERVIOUS: 8,438 SQ FT (0.19 AC)

- GENERAL NOTES:**
- BEFORE YOU DIG, STOP, CALL THE NC ONE-CALL CENTER AT 1-800-632-4949. IT'S THE LAW. EXISTING UTILITIES ARE SHOWN FROM THE BEST AVAILABLE INFORMATION AND ARE APPROXIMATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE AND OTHER UTILITIES BEFORE STARTING CONSTRUCTION. NOTIFY UTILITY LOCATING COMPANY (ONE CALL @ 1-800-632-4949) OR INDIVIDUAL UTILITY OWNERS FOR UNDERGROUND LOCATIONS AT LEAST 48 HOURS IN ADVANCE.
 - ALL UTILITY WORK WITHIN THE PUBLIC RIGHT OF WAY OR PUBLIC EASEMENTS SHALL BE TO WAKE COUNTY STANDARDS AND SPECIFICATIONS.
 - ALL STORM DRAINAGE WITHIN THE RIGHT OF WAY SHALL BE PUBLIC. ALL STORM DRAINAGE OUTSIDE THE RIGHT OF WAY SHALL BE PRIVATE.
 - PRIVATE UTILITIES (POWER, TELEPHONE, NATURAL GAS, CABLE TV) ARE NOT SHOWN ON THIS PLAN. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THOSE UTILITIES WHEN INSTALLING STORM DRAINAGE TO AVOID CONFLICTS.
 - CUT/FILL SLOPES SHALL BE GRADED AT A MAXIMUM OF 3H:1V UNLESS OTHERWISE INDICATED. SLOPES INDICATED TO BE STEEPER THAN 3:1 BUT EQUAL TO OR LESS THAN 2:1 SHALL BE PROVIDED WITH A PERMANENT TURF REINFORCEMENT MAT (ACF ENVIRONMENTAL ECP-2.10 OZ OR APPROVED EQUAL).
 - WHERE PROPOSED EDGE OF PAVEMENT CONNECTS TO EXISTING, CONTRACTOR SHALL MATCH EXISTING ELEVATION AND CREATE A SMOOTH TRANSITION.

- WATER SERVICE RELOCATION NOTES:**
- EXISTING 3/4" WATER METER & BOX IS TO BE REMOVED FROM TRAFFIC AREA
 - INSTALL NEW 3/4" WATER METER & BOX. SET BOX OUTSIDE TRAFFIC AREA/ PAVEMENT.
 - INSTALL RPZ & HOTBOX (WATTS MODEL C09 OR EQUAL)
 - INSTALL 3/4" WATER SERVICE FROM RPZ TO EXISTING WATER SERVICE LINE & CONNECT TO EXISTING SERVICE LINE.
 - EXISTING WATER SERVICE BETWEEN NEW CONNECTIONS IS TO BE REMOVED.
 - 5' CITY OF RALEIGH PUBLIC UTILITY EASEMENT TO BE RECORDED W/ WAKE COUNTY AROUND WATER METER ONLY.



- RALEIGH STANDARD UTILITY NOTES:**
- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
 - UTILITY SEPARATION REQUIREMENTS:
 - A) A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - B) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - C) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - D) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER
 - E) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W- 41 & S-49).
 - F) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
 - ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
 - DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY.
 - CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24-HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
 - SEWER BYPASS PUMPING - A BYPASS PLAN SEALED BY AN NC PROFESSIONAL ENGINEER SHALL BE PROVIDED TO RALEIGH WATER PRIOR TO PUMPING OPERATIONS FOR APPROVAL. THE OPERATIONS AND EQUIPMENT SHALL COMPLY WITH THE PUBLIC UTILITIES HANDBOOK.
 - 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
 - IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
 - INSTALL 3/2" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE. INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
 - PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKFLOW VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
 - ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
 - NCDOT RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
 - GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RW FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A UC AND/OR BUILDING PERMIT. CONTACT (919) 996-4516 OR FOG@RALEIGHNC.GOV FOR MORE INFORMATION.
 - CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON THE DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA.
 - THE DEVICES SHALL MEET THE AMERICAN SOCIETY OF SANITARY ENGINEERING (ASAE) STANDARDS AND BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST.
 - THE DEVICE AND INSTALLATION SHALL MEET THE GUIDELINES OF APPENDIX A - GUIDELINES AND REQUIREMENTS FOR THE CROSS CONNECTION PROGRAM IN RALEIGH'S SERVICE AREA.
 - THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT CROSS.CONNECTION@RALEIGHNC.GOV FOR MORE INFORMATION.
 - NOTICE FOR PROJECTS THAT INVOLVE AN OVERSIZED MAIN OR URBAN MAIN REPLACEMENT. ANY CITY REIMBURSEMENT GREATER THAN \$250,000.00 MUST UNDERGO THE PUBLIC BIDDING PROCESS.

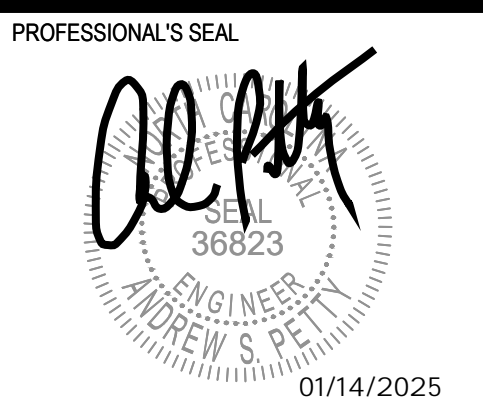


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0	11/14/2025	SIGNATURE SET

STATUS: SIGNATURE SET

DATE: AUGUST 30, 2024
 FILE NO: 2024-033

HORZ. SCALE:
 ORIG. SHEET SIZE: 24 x 36



CONSULTANT

Curry
 ENGINEERING

EST. 1910

NC LIC. NO. P-0799

(919) 552-0840
 (919) 552-2643

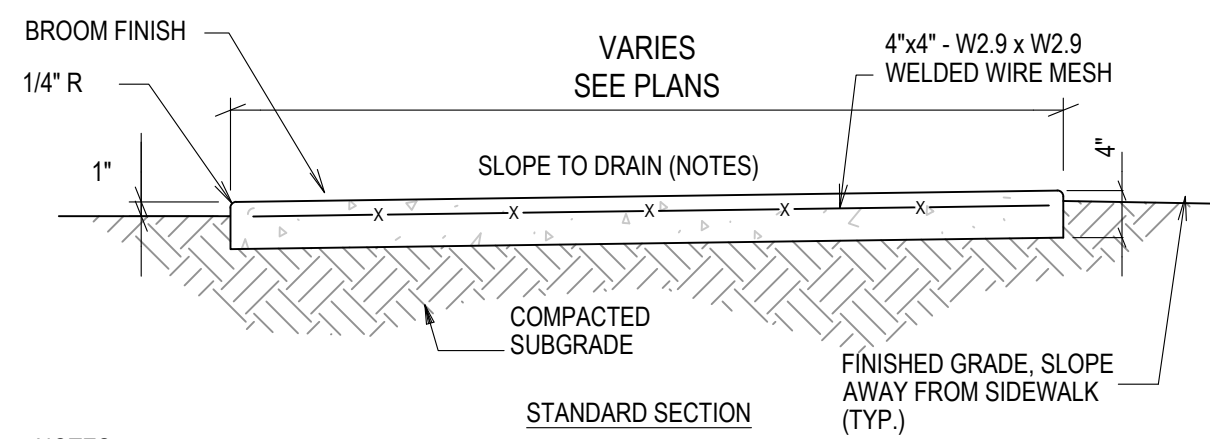
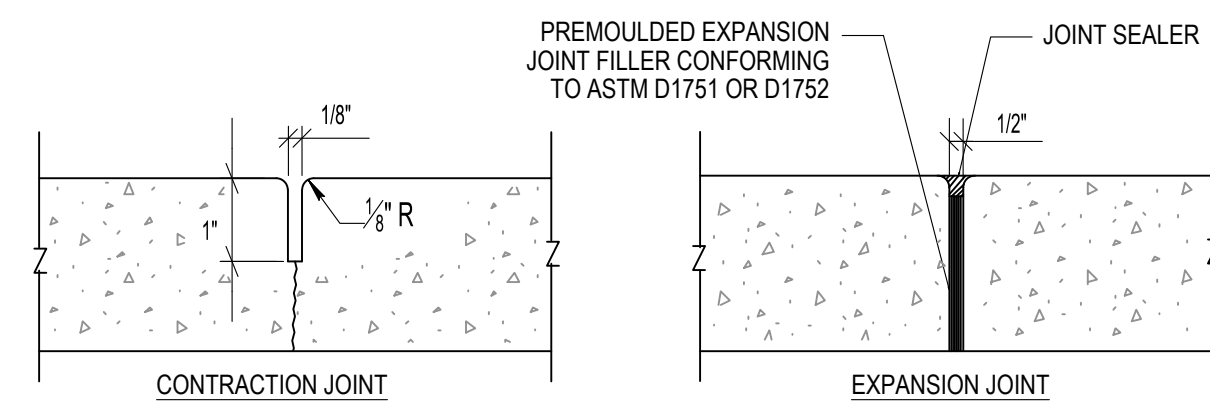
308 S. Fugate Avenue
 Fugate/Vernon, NC 27206

CLIENT

The Joel Fund
 822 S White St, Suite 116
 Wake Forest, NC 27587
 919.418.9042
 Contact: Brook Dickhart
 email: brooke@joelfund.org

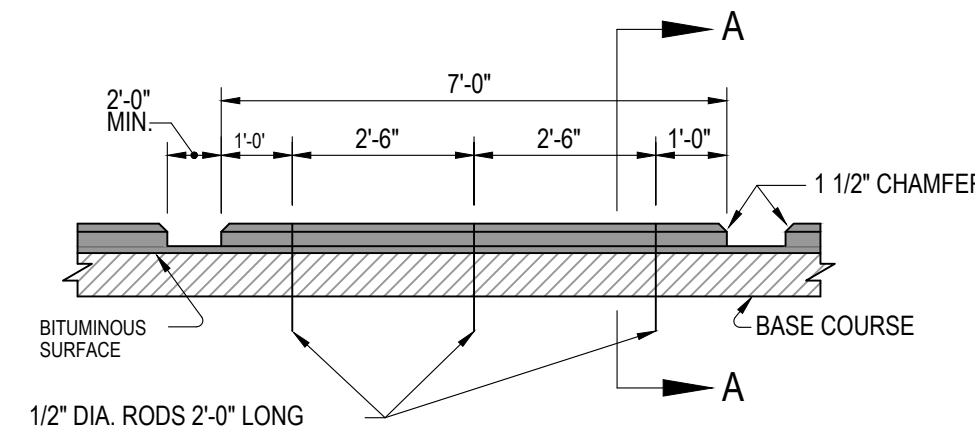
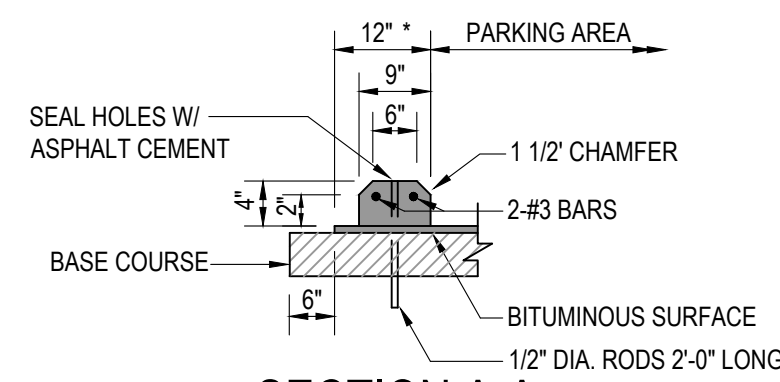
CONSTRUCTION DRAWINGS
THE JOEL FUND - SDP-24-08
UTILITY & DRAINAGE PLAN

C-3.0



- NOTES:
1. MINIMUM 3000 PSI CONCRETE.
 2. MINIMUM CROSS SLOPE IS 2%. MINIMUM LONGITUDINAL SLOPE IS 0.5% (1% PREFERRED).
 3. MAXIMUM CONTRACTION JOINT SPACING IS 5'. MAXIMUM EXPANSION JOINT SPACING IS 40'.
 4. WELDED WIRE MESH (WWM) SHALL BE PLACED IN THE UPPER ONE THIRD OF THE SLAB. NO WWM SHALL BE VISIBL AT THE SURFACE. DOWELS SHALL BE PLACED IN THE CENTER OF THE SLAB.
 5. DOWELS THAT ARE PLACED INTO DRILLED CONCRETE SHALL BE INSTALLED WITH BONDING MATERIAL.
 6. COMPACTED SUBGRADE SHALL BE COMPACTED TO MODIFIED PROCTOR 90% MAX. DRY DENSITY AT OPTIMUM MOISTURE CONTENT.

1 CONCRETE SIDEWALK DETAILS
SCALE: NTS

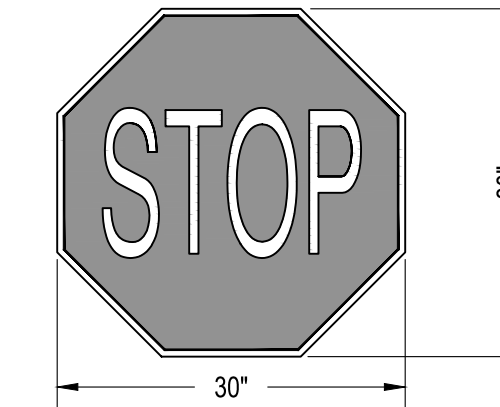


- NOTES:
1. ANCHOR RODS TO BE SLEEVED OR GREASED THRU CONC. CURBS TO PERMIT RELOCATION OF CURBS.
 2. PLACE WHEELSTOPS 2.5' FROM CURB.

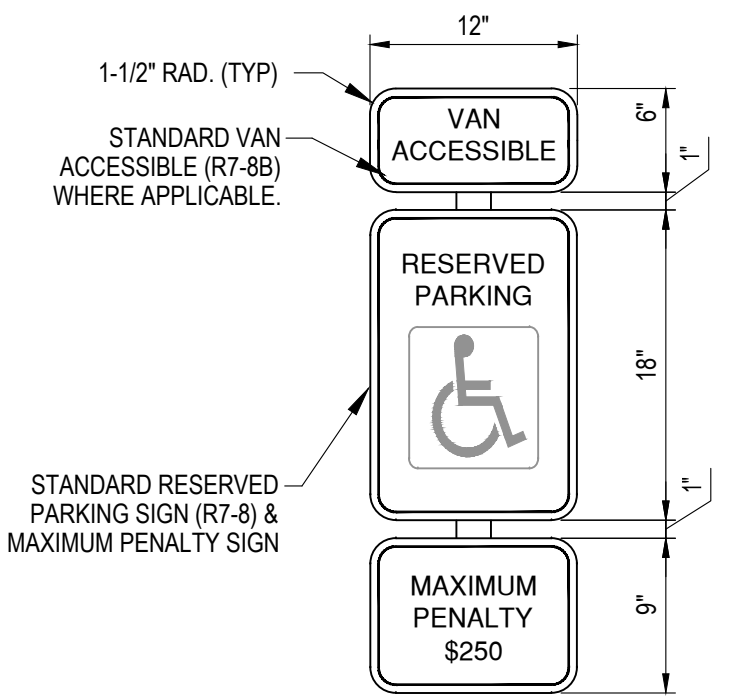
2 WHEEL STOP DETAIL
SCALE: NTS



COLORS:
LEGEND - BLACK (RETROREFLECTIVE)
BACKGROUND - YELLOW (RETROREFLECTIVE)
PEDESTRIAN CROSSING (W11A-2)
NOT TO SCALE



COLORS:
LEGEND - WHITE (RETROREFLECTIVE)
BACKGROUND - RED (RETROREFLECTIVE)
STOP SIGN (R1-1)
NOT TO SCALE



COLORS:
LETTERING SYMBOL - GREEN (RETROREFLECTIVE)
STRIPES - WHITE ON BLUE (RETROREFLECTIVE)
BACKGROUND - GREEN (RETROREFLECTIVE)
BACKGROUND - WHITE (RETROREFLECTIVE)

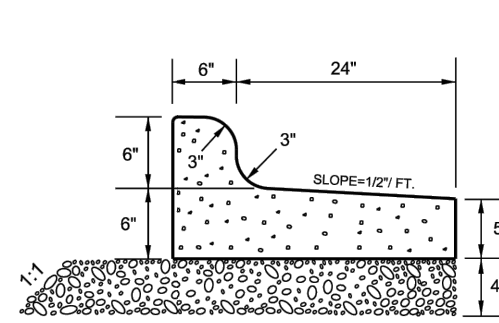
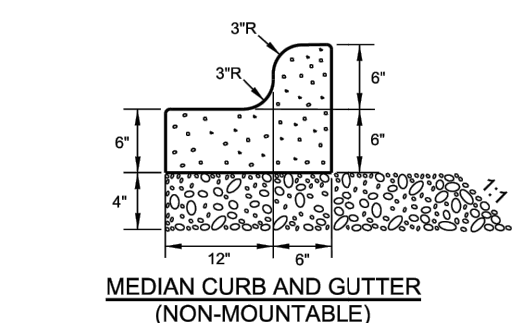
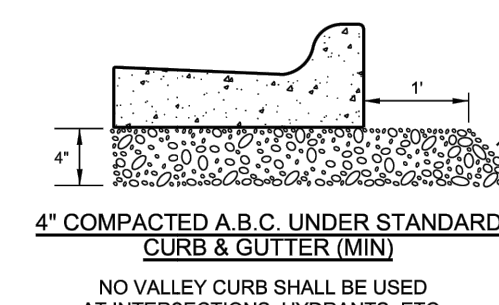
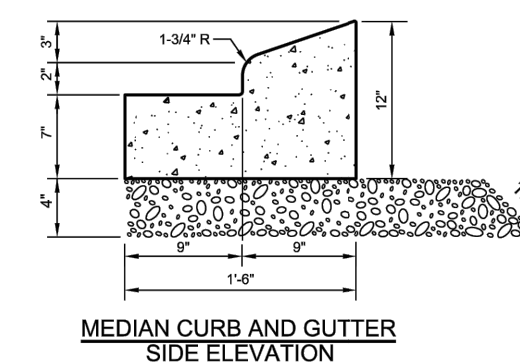
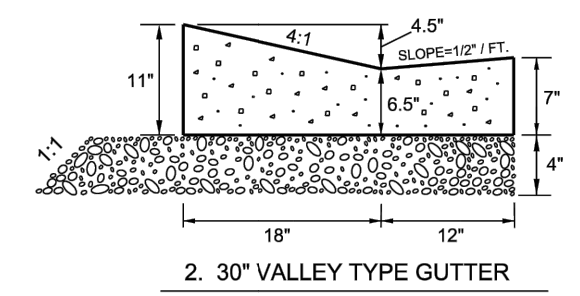
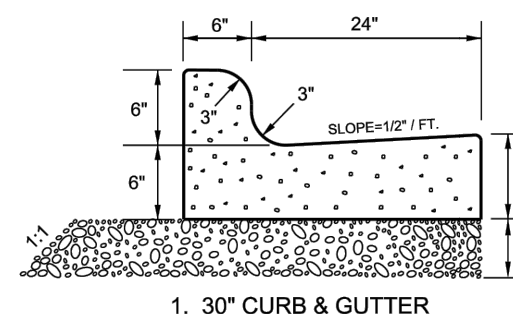
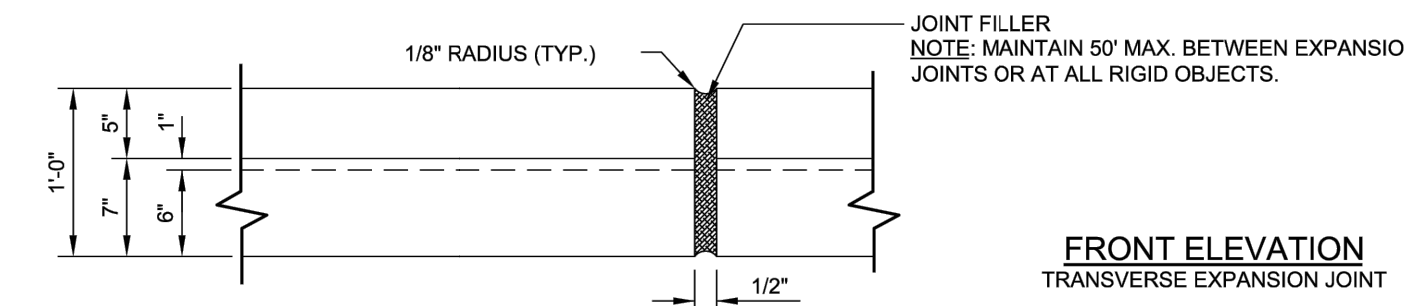
ACCESSIBILITY PARKING SIGN (R7-8)
NOT TO SCALE

- NOTES:
1. MUTCD STANDARD SIGN DESIGNATION SHOW AS (X-1)
 2. MOUNTING HEIGHT - 60" FROM BOTTOM OF SIGN TO PAVEMENT IN NON-PEDESTRIAN AREAS AND 84" IN PEDESTRIAN AREAS.
 3. ALL SIGN SHALL BE MOUNTED TO 3LB "U-CHANNEL" POST.
 4. ALL ROAD WAY SIGNAGE SHALL BE HIGH INTENSITY SHEETING SIGNS SHALL MEET THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 5. SIGNS SHALL BE FABRICATED FROM ALUMINUM ALLOY SHEETS.
 6. ALL MOUNTING HARDWARE SHALL BE GALVANIZED.



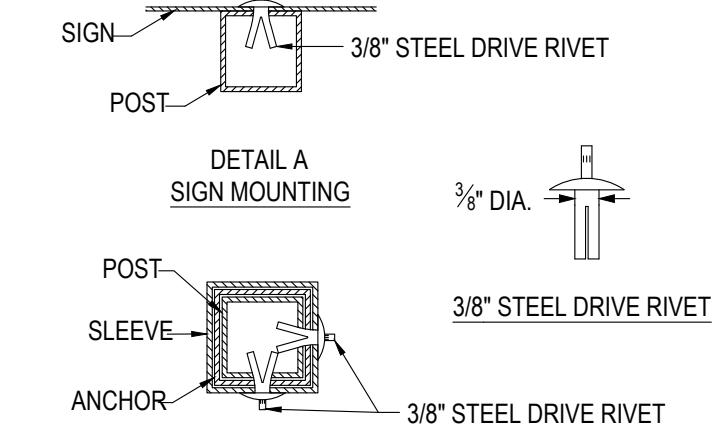
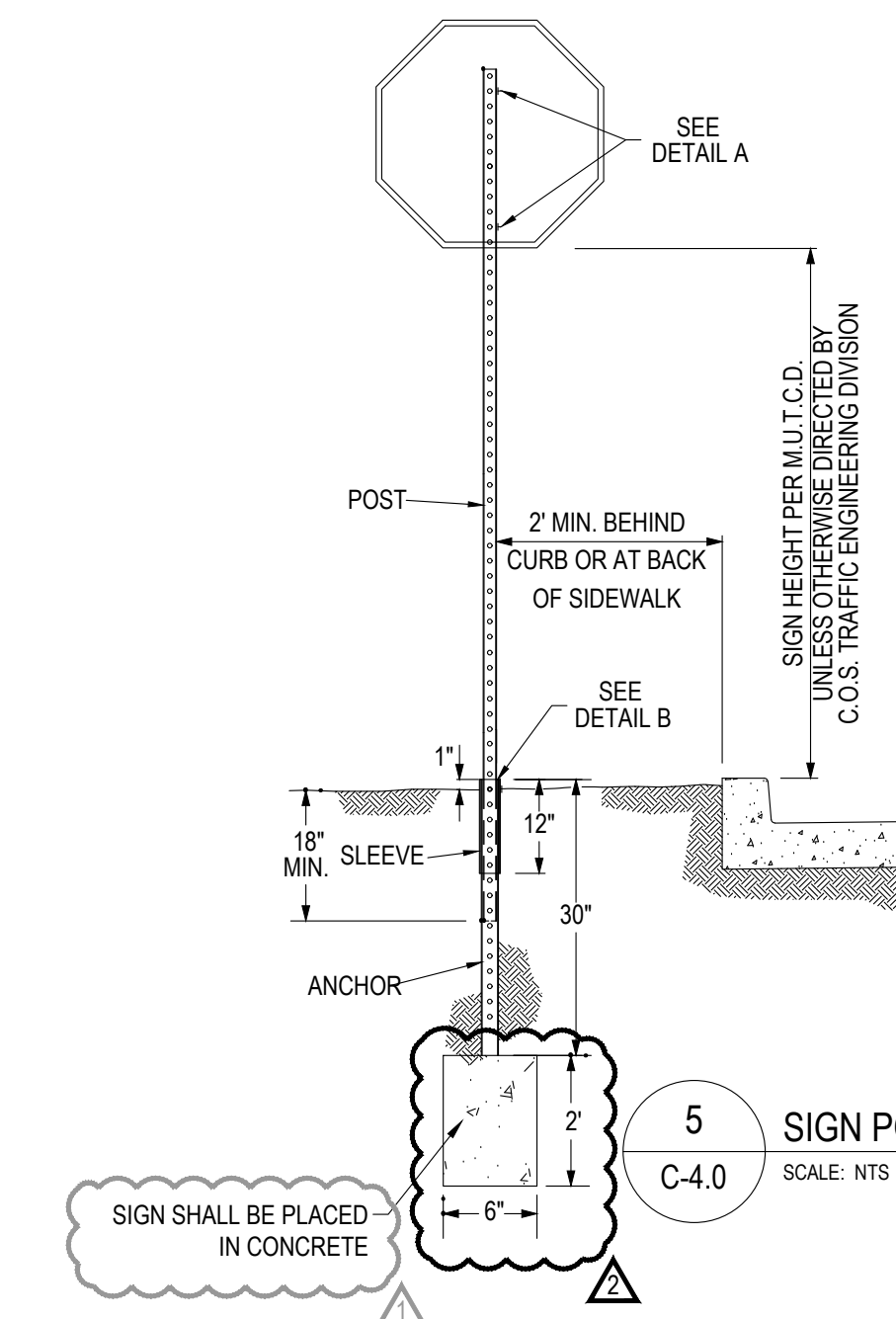
COLORS:
LEGEND - BLACK (RETROREFLECTIVE)
BACKGROUND - WHITE (RETROREFLECTIVE)
SPEED LIMIT SIGN (R2-1)
NOT TO SCALE

3 PARKING & STREET SIGNAGE
SCALE: NTS



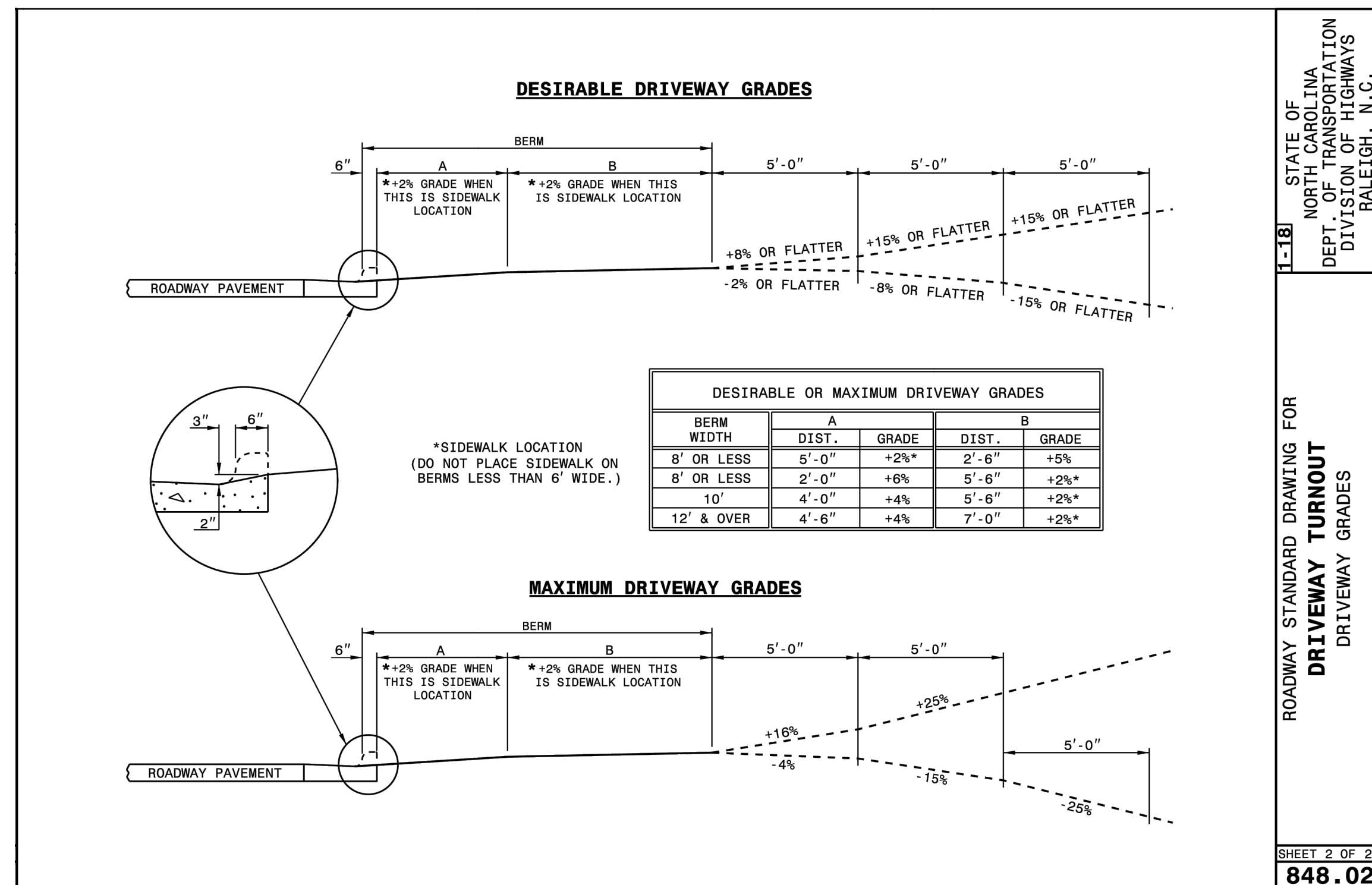
- NOTES:
1. 10' MAXIMUM BETWEEN DUMMY JOINTS.
 - 15' MAXIMUM BETWEEN DUMMY JOINTS ON MACHINE POURS.
 - 1/2" EXPANSION JOINT EVERY 50'.
 - 3000 PSI CONCRETE MINIMUM, 4" SLUMP MAXIMUM.
 - LIQUID MEMBRANE CURING COMPOUND SHALL MEET THE REQUIREMENTS OF SECTION 1028-2 OF NCDOT STANDARDS & SPECIFICATIONS FOR ROADS AND STRUCTURES.
 - ALL CONSTRUCTION JOINTS SHALL BE FILLED WITH JOINT FILLER AND SEALER IN ACCORDANCE WITH NCDOT ROADWAY STANDARD DETAIL 846.01 THE JOINT MATERIAL SHALL CONFORM TO SECTION 1028-2 OF NCDOT STANDARD & SPECIFICATIONS FOR ROADS AND STRUCTURES.
 - REFER TO NCDOT DETAIL 846.01 FOR CURB AND GUTTER SUPERELEVATION RATES.

4 CONCRETE CURB AND GUTTER
SCALE: NTS



- NOTES:
1. POST - 1-3/4" X 1-3/4" SQUARE PERFORATED 0.105" GALVANIZED STEEL TUBING
 2. SLEEVE - 2-1/4" X 2-1/4" X 12" SQUARE PERFORATED 0.105 GALVANIZED STEEL TUBING
 3. ANCHOR - 2" X 2" X 30" SQUARE PERFORATED 0.105" GALVANIZED STEEL TUBING
 4. STOP SIGNS & STREET SIGN SHALL BE INSTALLED ON SAME POST.

5 SIGN POST & ASSEMBLY
SCALE: NTS



STATE OF NORTH CAROLINA
DEPT. OF TRANSPORTATION
DIVISION OF HIGHWAYS
RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR DRIVEWAY TURNOUT DRIVEWAY GRADES

SHEET 2 OF 3
848.02

Z:\PROJECTS\FOLDER_ZEBEL\CON2024\2024-033 THE JOEL FUND - ROLESVILLE\PLANS\SITE PLAN\SHEET FILES\C-4.0 - SITE DETAILS.DWG
PLOTTED: 11/14/2025 3:24 PM

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DATE: AUGUST 30, 2024
FILE NO: 2024-033

HORZ. SCALE:
ORIG. SHEET SIZE: 24 x 36

PROFESSIONAL'S SEAL
CURRY ENGINEERING
36823
01/14/2025

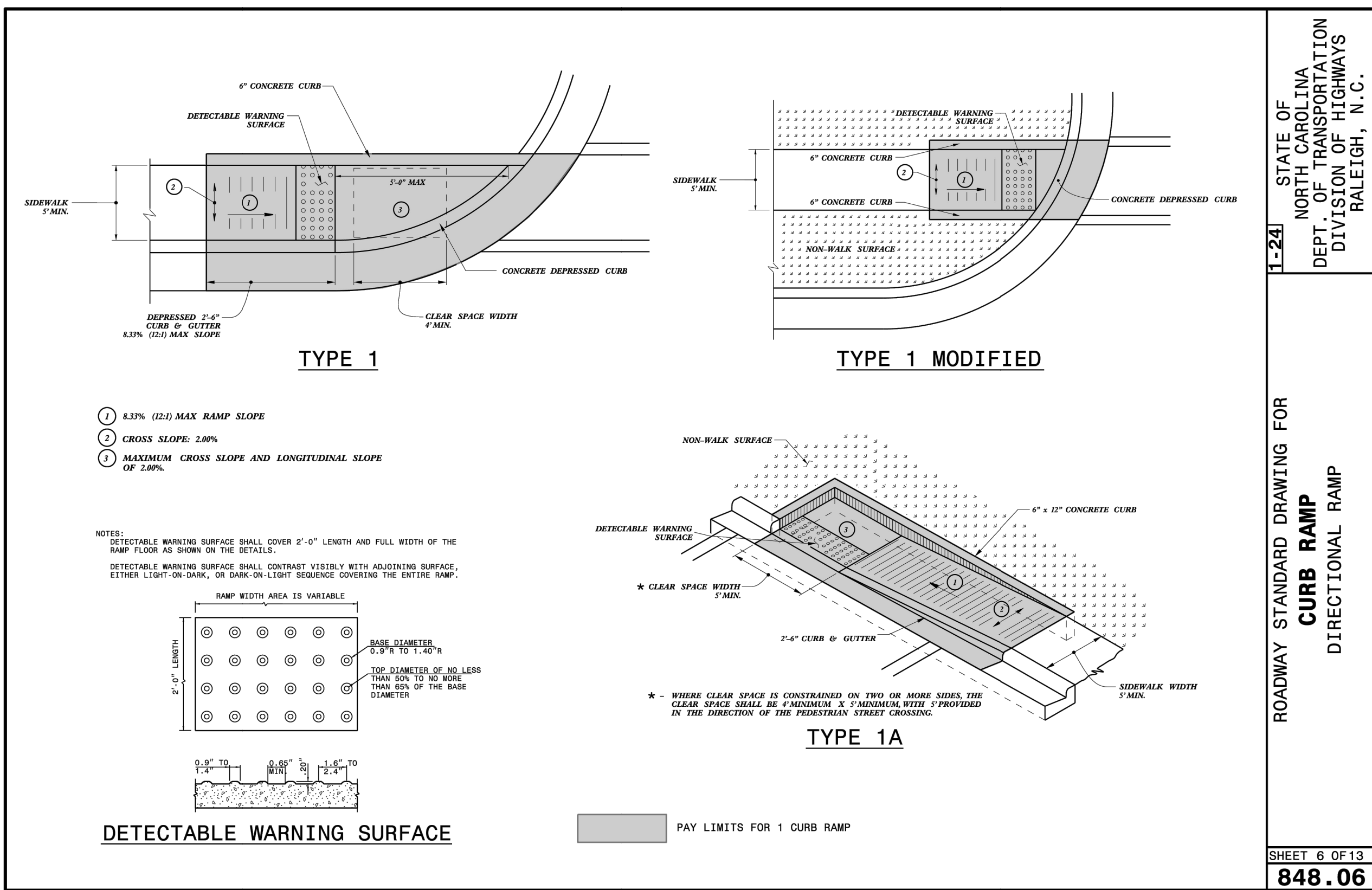
CONSULTANT
Curry
ENGINEERING

Curry ENGINEERING
1 (919) 552-0840
F (919) 552-2643
308 S. Fugate Avenue
Fayetteville, NC 27526

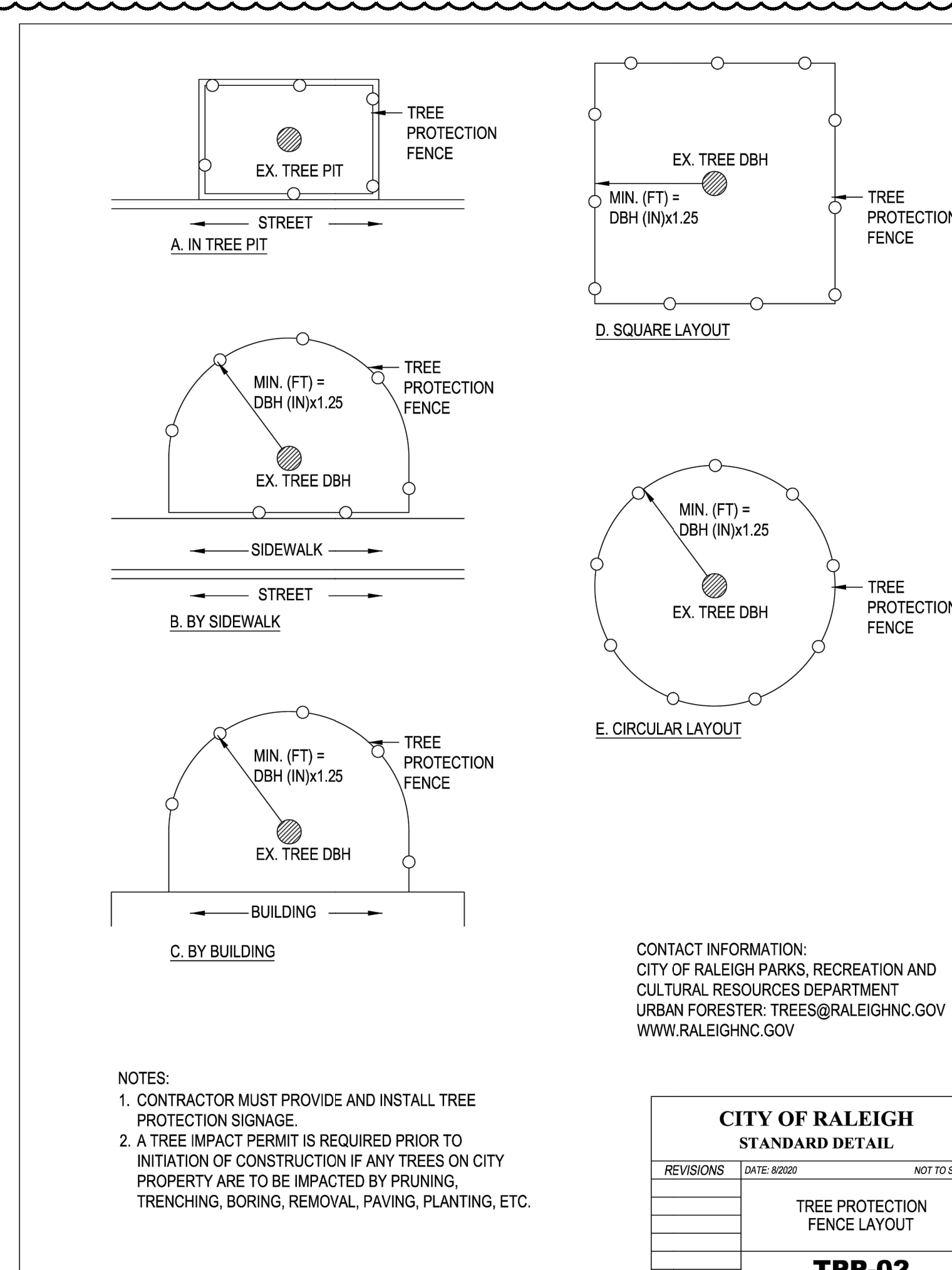
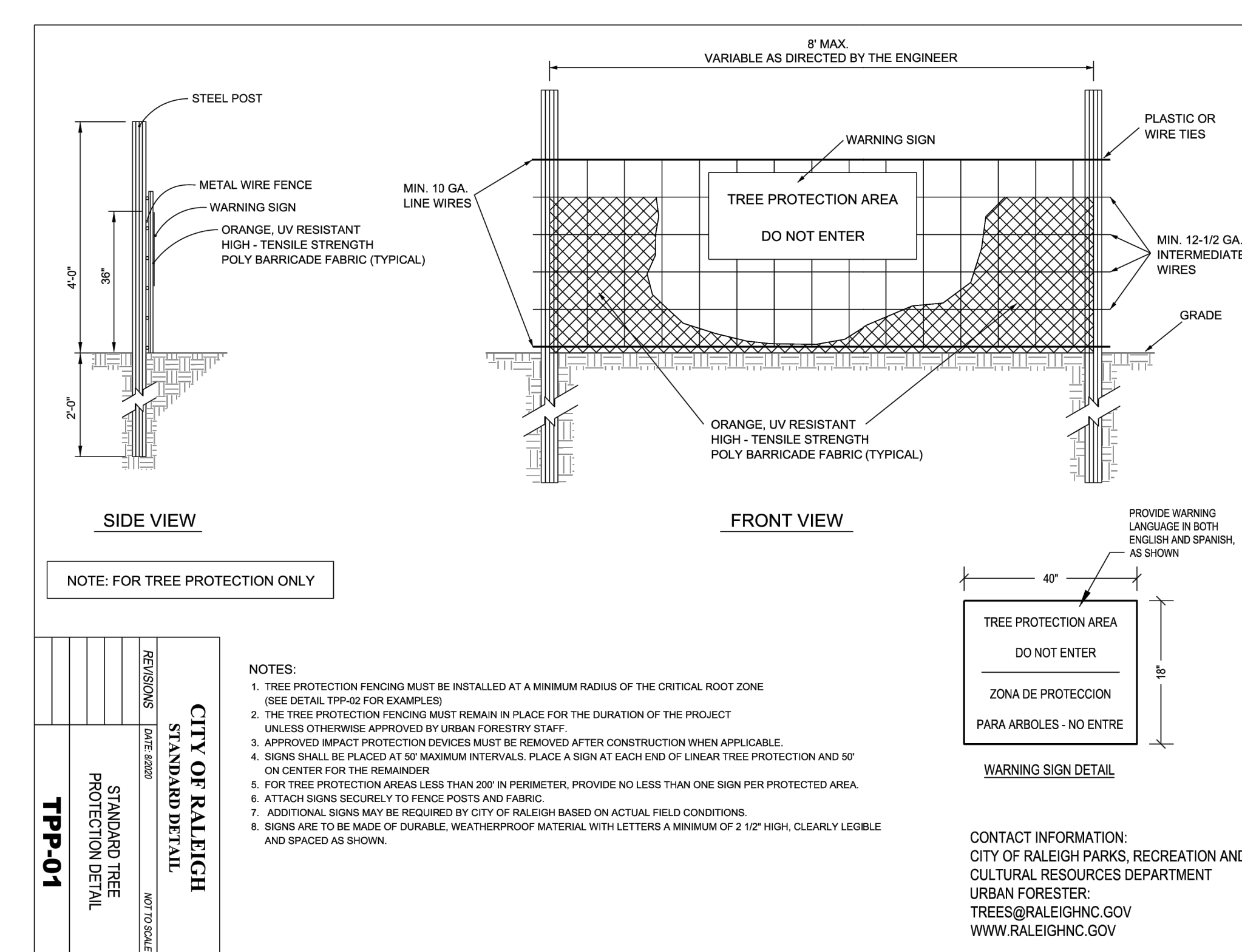
CLIENT
The Joel Fund
822 S White St, Suite 116
Wake Forest, NC 27587
919.418.9042
Contact: Brook Dickhart
email: brooke@joelfund.org

CONSTRUCTION DRAWINGS
THE JOEL FUND - SDP-24-08
SITE DETAILS

C-4.0



- NOTES:
- CONSTRUCT THE RAMP SURFACE TO BE STABLE, FIRM, AND SLIP RESISTANT. CONSTRUCT THE CURB RAMP TYPE AS SHOWN IN THE PAVEMENT MARKING PLANS OR AS DIRECTED BY THE ENGINEER.
 - LOCATE CURB RAMP AND PLACE PEDESTRIAN CROSSWALK MARKINGS AS SHOWN IN THE PAVEMENT MARKING PLANS. WHEN FIELD ADJUSTMENTS REQUIRE MOVING CURB RAMP OR MARKINGS AS SHOWN, CONTACT THE SIGNING AND DELINEATION UNIT OR LOCATE AS DIRECTED BY THE ENGINEER.
 - COORDINATE THE CURB RAMP AND THE PEDESTRIAN CROSSWALK MARKINGS SO A 4'x4' CLEAR SPACE AT THE BASE OF THE CURB RAMP WILL FALL WITHIN THE PEDESTRIAN CROSSWALK LINES.
 - SET BACK DISTANCE FROM INSIDE CROSSWALK MARKING TO NEAREST EDGE OF TRAVEL LANE IS 4' MINIMUM.
 - REFER TO THE PAVEMENT MARKING DESIGNS FOR STOP BAR LOCATIONS AT SIGNALIZED INTERSECTIONS. IF A PAVEMENT MARKING PLAN IS NOT PROVIDED, CONTACT THE SIGNAL DESIGN SECTION FOR THE STOP BAR LOCATIONS OR LOCATE AS DIRECTED BY THE ENGINEER.
 - TERMINATE PARKING A MINIMUM OF 20' FROM THE BACK OF PEDESTRIAN CROSSWALK.
 - CONSTRUCT CURB RAMP A MINIMUM OF 4' WIDE.
 - CONSTRUCT THE RUNNING SLOPE OF THE RAMP 8.33% MAXIMUM.
 - ALLOWABLE CROSS SLOPE ON SIDEWALKS AND CURB RAMP WILL BE 2% MAXIMUM.
 - CONSTRUCT THE SIDE FLARE SLOPE A MAXIMUM OF 10% MEASURED ALONG THE CURB LINE.
 - CONSTRUCT THE COUNTER SLOPE OF THE GUTTER OR STREET AT THE BASE OF THE CURB RAMP A MAXIMUM OF 5% AND MAINTAIN A SMOOTH TRANSITION.
 - CONSTRUCT CLEAR SPACES FOR SIDEWALK A MINIMUM OF 4'x4' WITH A MAXIMUM SLOPE OF 2% IN ANY DIRECTION. CONSTRUCT CLEAR SPACES FOR MEDIAN ISLANDS A MINIMUM OF 5'x5' WITH A MAXIMUM SLOPE OF 2% IN ANY DIRECTION. IF CONSTRAINED ON TWO OR MORE SIDES, THE CLEAR SPACE SHALL BE 4' MINIMUM X 5' MINIMUM, WITH 5' PROVIDED IN THE DIRECTION OF THE PEDESTRIAN STREET CROSSING.
 - TO USE A MEDIAN ISLAND AS A PEDESTRIAN REFUGE AREA, MEDIAN ISLANDS WILL BE A MINIMUM OF 6' WIDE. CONSTRUCT MEDIAN ISLANDS TO PROVIDE PASSAGE OVER OR THROUGH THE ISLAND.
 - SMALL CHANNELIZATION ISLANDS THAT CAN NOT PROVIDE A 5'x5' CLEAR SPACE AT THE TOP OF RAMPS, WILL BE CUT THROUGH LEVEL WITH THE SURFACE STREET.
 - CURB RAMP WITH RETURNED CURBS MAY BE USED ONLY WHERE PEDESTRIANS WOULD NOT NORMALLY WALK ACROSS THE RAMP, WHERE THE ADJACENT SURFACE IS PLANTING OR OTHER NON-WALKING SURFACE, OR THE SIDE APPROACH IS SUBSTANTIALLY OBSTRUCTED.
 - PLACE A 1/2" EXPANSION JOINT WHERE THE CONCRETE CURB RAMP JOINS THE CURB AS SHOWN IN ROADWAY STANDARD DRAWING 848.01.
 - PLACE ALL PEDESTRIAN PUSH BUTTON ACTUATORS AND CROSSING SIGNALS AS SHOWN IN THE PLANS OR AS SHOWN IN THE MUTCD.
 - DETECTABLE WARNING SURFACES WILL COVER 2'-0" LENGTH AND FULL WIDTH OF THE RAMP FLOOR AS SHOWN ON THE DETAILS.
 - DETECTABLE WARNING SURFACES WILL CONTRAST VISIBLY WITH ADJOINING SURFACE, EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT SEQUENCE COVERING THE ENTIRE RAMP.
- STATE OF NORTH CAROLINA
DEPT. OF TRANSPORTATION
DIVISION OF HIGHWAYS
RALEIGH, N.C.
- ROADWAY STANDARD DRAWING FOR
CURB RAMP
NOTES
- SHEET 13 OF 13
848.06



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HORIZ. SCALE:
ORIG. SHEET SIZE: 24 x 36

PROFESSIONAL'S SEAL

Joel Fund

36823

ENGINEER
TREVOR S. PATTI

01/14/2025

CONSULTANT

Curry
ENGINEERING

EST. 1916

36823

NC LIC. NO. P-0799

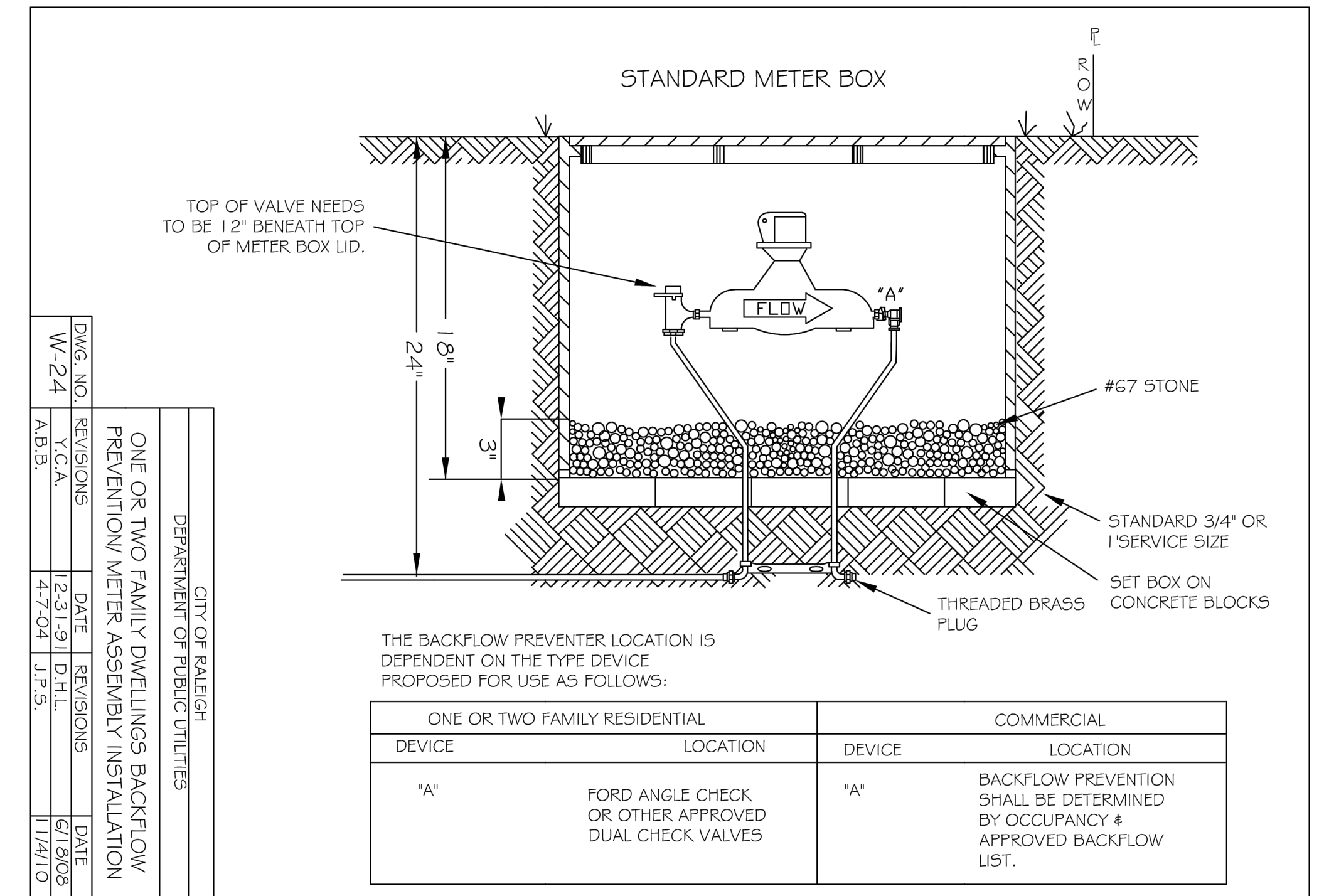
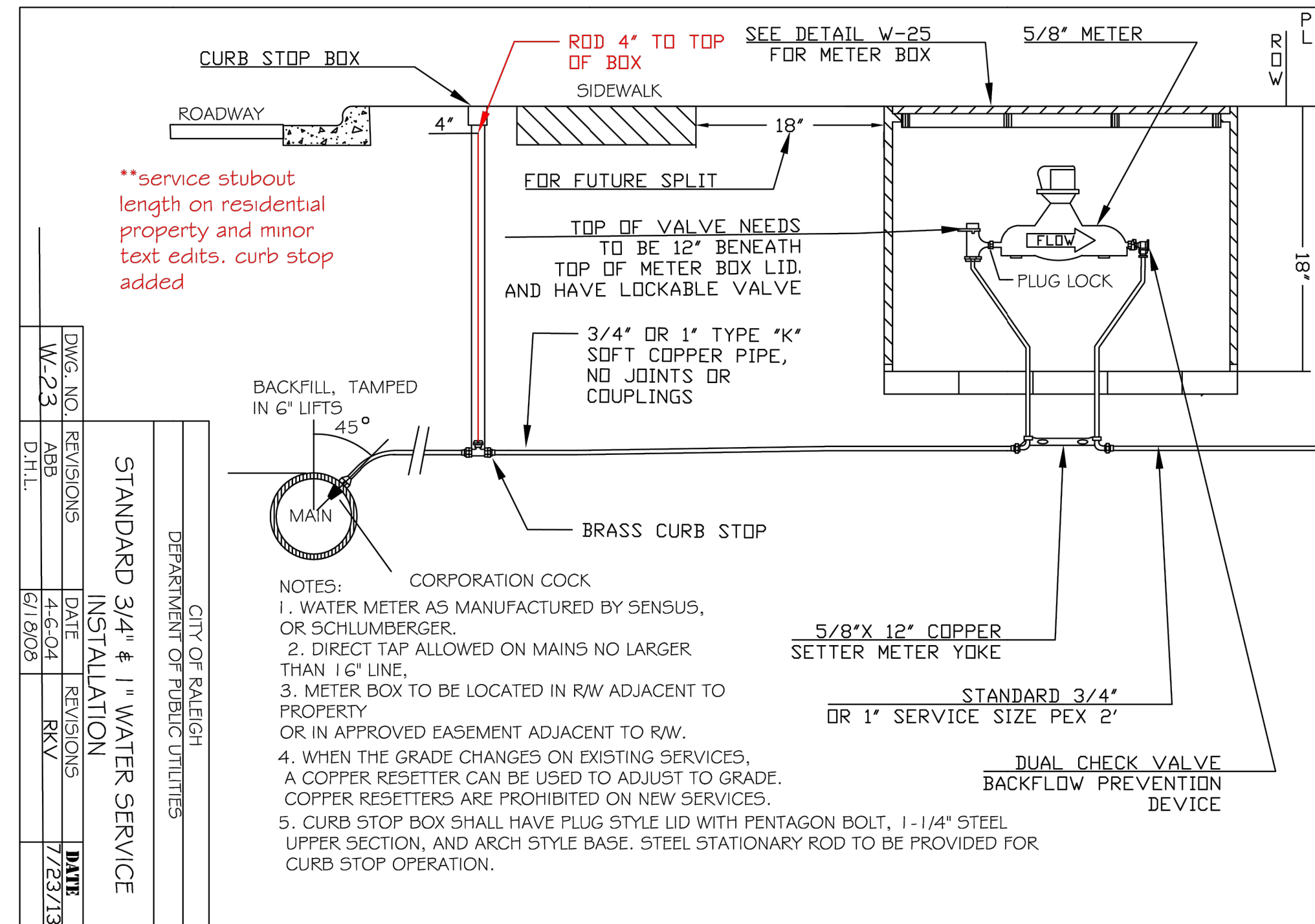
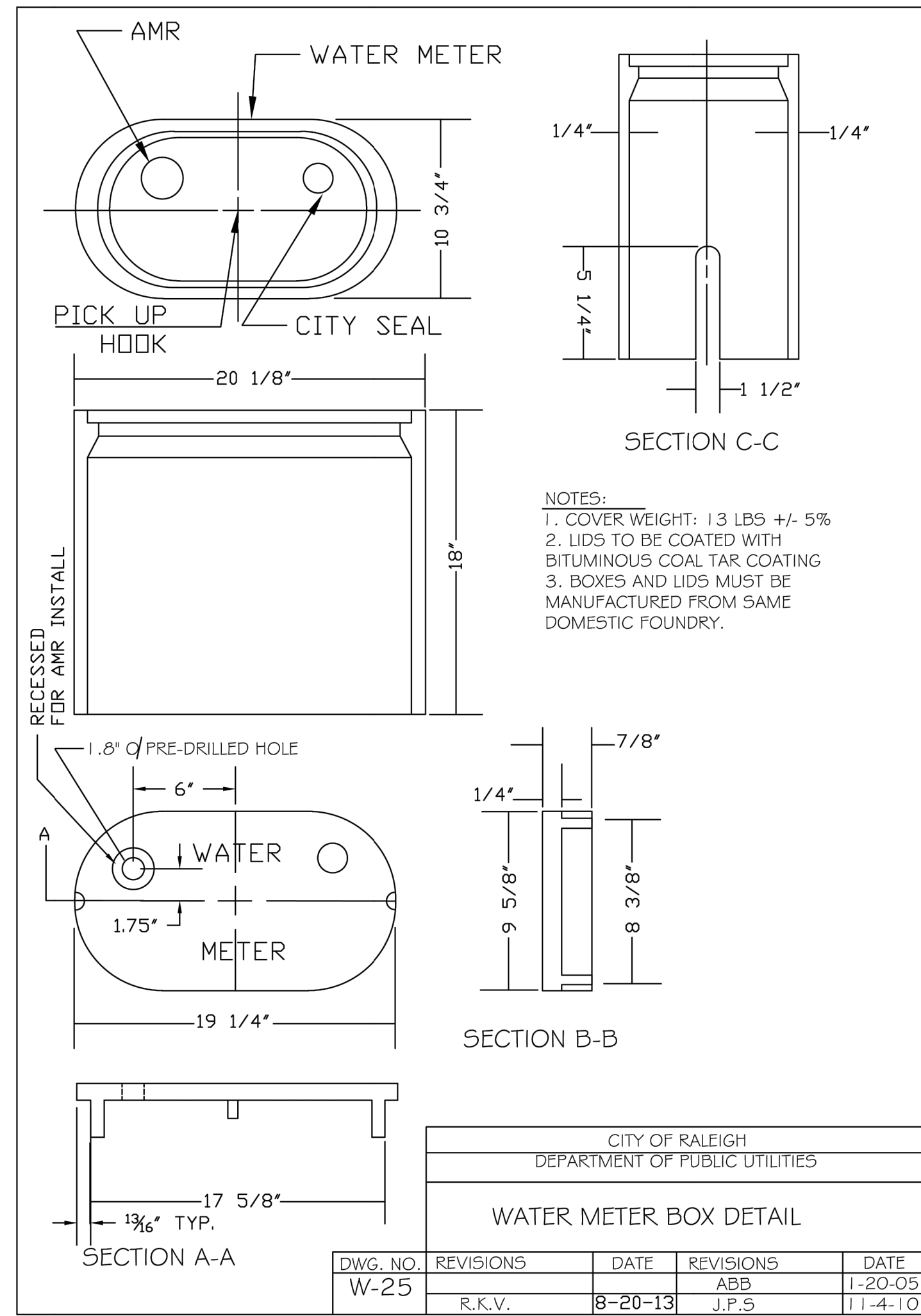
(919) 552-0840
308 S. Fugate Avenue
Fayetteville, NC 27516

CLIENT

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822 S White St, Suite 116
Wake Forest, NC 27587
919.418.9042
Contact: Brook Dickhart
email: brooke@joelfund.org

CONSTRUCTION DRAWINGS
THE JOEL FUND - SDP-24-08
SITE DETAILS

C-4.1



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PROFESSIONAL'S SEAL

ANDREW S. PETTIT
ENGINEER
NO. 36823
N.C.

01/14/2025

CONSULTANT

Curry
ENGINEERING

EST. 1958
NORTH CAROLINA
NC LIC. NO. P-0799

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308 S. Fugate Avenue
Fayetteville, NC 27526
(919) 552-2643

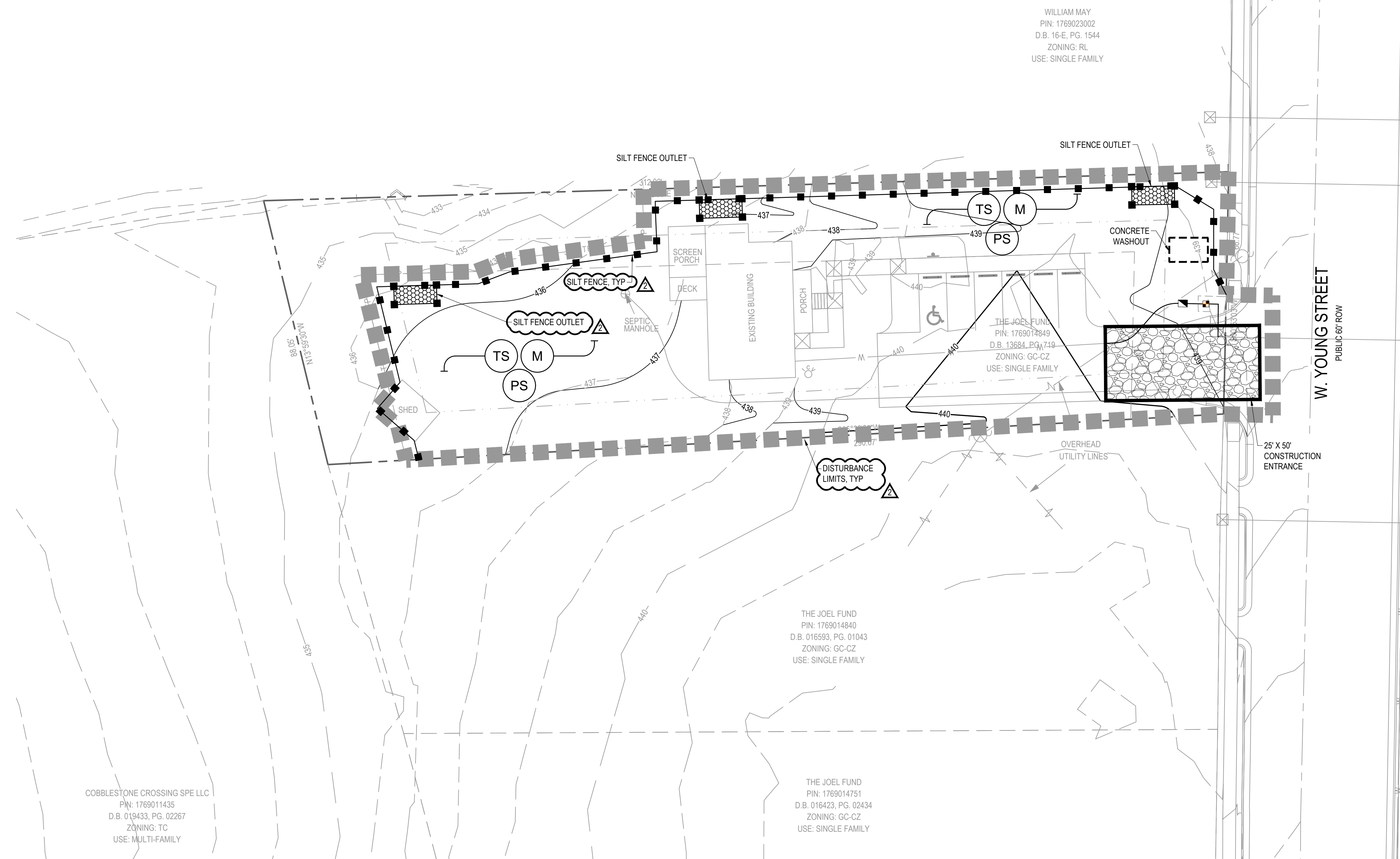
CLIENT

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919.418.9042
Contact: Brook Dickhart
email: brooke@joelfund.org

CONSTRUCTION DRAWINGS
THE JOEL FUND - SDP-24-08
UTILITY DETAILS

C-4.2

Z:\PROJECTS\FOLDER_ZEBEL\CON\2024\2024-033\THE JOEL FUND - ROLESVILLE\ANSISTE PLAN\SHEET FILES\EC-10 EROSION CONTROL PLAN.DWG
 PLOTTED: 11/14/2025 3:24 PM



WILLIAM MAY
 PIN: 1769023002
 D.B. 16-E, PG. 1544
 ZONING: RL
 USE: SINGLE FAMILY

THE JOEL FUND
 PIN: 1769018440
 D.B. 13684, PG. 719
 ZONING: GC-CZ
 USE: SINGLE FAMILY

THE JOEL FUND
 PIN: 1769014840
 D.B. 016593, PG. 01043
 ZONING: GC-CZ
 USE: SINGLE FAMILY

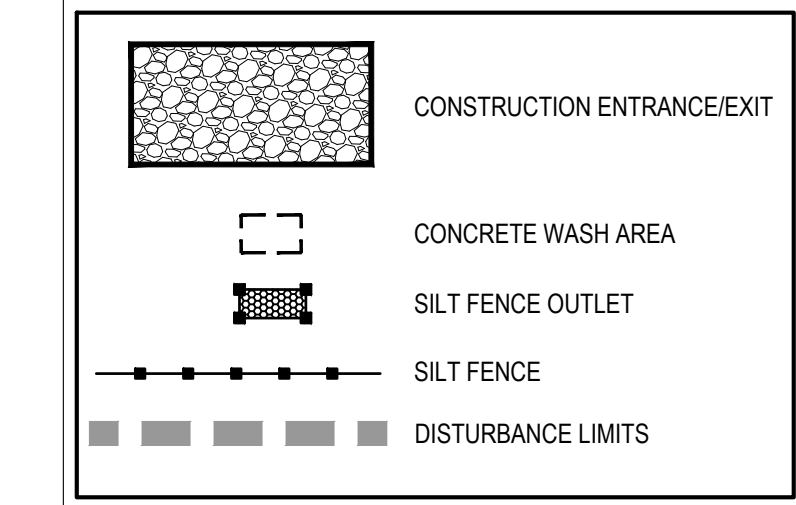
THE JOEL FUND
 PIN: 1769014751
 D.B. 016423, PG. 02434
 ZONING: GC-CZ
 USE: SINGLE FAMILY

COBBLESTONE CROSSING SPE LLC
 PIN: 1769011435
 D.B. 019433, PG. 02267
 ZONING: TC
 USE: MULTI-FAMILY

NOTES:

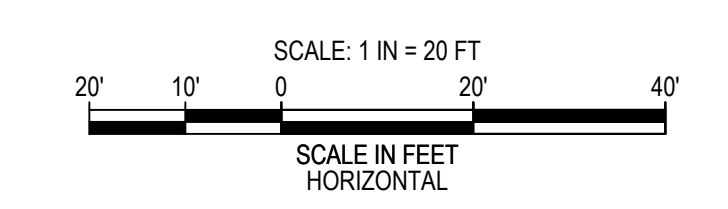
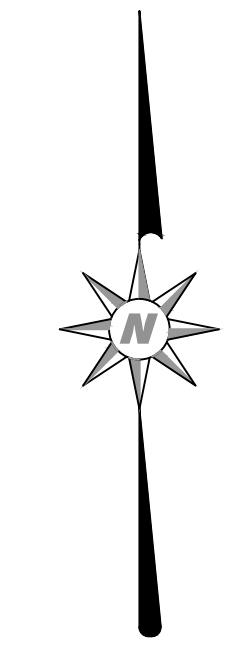
1. THE SILT FENCE, AND LIMITS OF DISTURBANCE SHOWN ON THIS PLAN ARE GRAPHICAL REPRESENTATION OF THE ACTUAL EROSION CONTROL MEASURES THAT SHALL BE INSTALLED UNDER THIS PROJECT. DUE TO SCALE OF THIS DRAWING, THESE MEASURES ARE GRAPHICALLY DEPICTED AND MAY BE BEYOND WHERE THEY ACTUALLY WILL BE INSTALLED IN THE FIELD.
2. THE WORK ASSOCIATED WITH THIS PERMIT INCLUDES CLEARING AND GRUBBING AND INFRASTRUCTURE INSTALLATION. MASS GRADING OF LOTS IS NOT PROGRAMMED.
3. TOTAL DISTURBED AREA = 0.49 AC
4. REFER TO DETAIL SHEET EC-11 FOR CONSTRUCTION SEQUENCE, EROSION CONTROL NARRATIVE, MAINTENANCE NOTES, STABILIZATION INSTRUCTIONS & EROSION CONTROL DETAILS.
5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT WAKE COUNTY STANDARDS AND REGULATIONS.
6. SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
7. THERE SHALL BE NO DISTURBANCE OUTSIDE THE LIMITS SHOWN ON THIS PLAN WITHOUT AN APPROVED PLAN AMENDMENT BY WAKE COUNTY S&EC.
8. ALL DISTURBED AREAS SHALL BE SEEDED PER STABILIZATION TABLE.
9. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SELF-INSPECTION LOG.

UTILITY LEGEND:



NPDES STABILIZATION TABLE

SITE AREA DESCRIPTION	STABILIZATION	TIMEFRAME EXCEPTIONS
Perimeter dikes, swales, ditches and slopes	7 days	None
High Quality Water (HQW) Zones	7 days	None
Slopes steeper than 3:1	7 days	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed.
Slopes 3:1 or flatter	14 days	7 days for slopes greater than 50' in length
All other areas with slopes flatter than 4:1	14 days	None, except for perimeters and HQW Zones



REVISIONS	
1	12/02/2024 TOWN OF ROLESVILLE COMMENTS
2	10/8/2025 TOWN OF ROLESVILLE COMMENTS
0	11/14/2025 SIGNATURE SET

STATUS	
SIGNATURE SET	

DATE: AUGUST 30, 2024	HORIZ. SCALE:
FILE NO. 2024-033	ORIG. SHEET SIZE: 24 x 36

PROFESSIONAL'S SEAL

01/14/2025

CONSULTANT

Curry ENGINEERING

EST. 1910

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 email: brooke@joelfund.org

CONSTRUCTION DRAWINGS
THE JOEL FUND - SDP-24-08
 EROSION CONTROL PLAN

EC-1.0

EROSION CONTROL NOTES

- THE CONTRACTOR SHALL AT A MINIMUM IMPLEMENT THE CONTRACTOR'S REQUIREMENTS OUTLINED BELOW AND THOSE MEASURES SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN. IN ADDITION THE CONTRACTOR SHALL UNDERTAKE ADDITIONAL MEASURES REQUIRED TO BE IN COMPLIANCE WITH APPLICABLE PERMIT CONDITIONS AND STATE WATER QUALITY STANDARDS.
- ANY GRADING BEYOND THE DENUDED LIMITS SHOWN IN THE PLAN IS A VIOLATION OF THE NORTH CAROLINA SEDIMENTATION CONTROL LAW & IS SUBJECT TO A FINE.
- GRADING MORE THAN 1 ACRE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION OF THE NORTH CAROLINA SEDIMENTATION CONTROL LAW AND WAKE COUNTY & IS SUBJECT TO A FINE.
- ALL EROSION CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH ALL WAKE COUNTY & NCDENR STANDARDS AND SPECIFICATIONS.
- CONSTRUCTION ENTRANCES SHALL BE MAINTAINED THROUGHOUT THE ENTIRE CONSTRUCTION PROJECT. A MINIMUM OF ONE CONSTRUCTION ENTRANCE SHALL BE INSTALLED AND UTILIZED. THIS ENTRANCE SHALL BE BETWEEN THE LIMITS OF DISTURBANCE AND ANY ROAD RIGHT OF WAY.
- ADJACENT PROPERTIES AND RIGHT-OF-WAY SHALL BE KEPT FREE OF MUD AND/OR SEDIMENT-LADEN RUNOFF.
- THE EROSION CONTROL MEASURES SHOWN ON THIS PLAN ARE RECOMMENDED AS A MINIMUM IN ORDER TO CONTROL RUN-OFF. IT IS POSSIBLE THAT MORE STRINGENT MEASURES MAY BE NEEDED AS DETERMINED BY THE CONTRACTOR, PROJECT ENGINEER, AND/OR EROSION CONTROL INSPECTOR. IF IT IS DETERMINED THAT ADDITIONAL RUN-OFF CONTROL IS NEEDED, SUCH MEASURES SHALL BE INSTALLED IMMEDIATELY.
- SHOULD MAINTENANCE ISSUES ARISE, PLEASE CONTACT BROOKE DICKHART AT (919) 247-9333
- CONTRACTOR SHALL LOCATE AND VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING WORK.

EROSION & SEDIMENT CONTROL NARRATIVE

PROJECT DESCRIPTION
THE PURPOSE OF THIS PROJECT IS TO CLEAR & GRUB AND CONSTRUCT INFRASTRUCTURE FOR 1 SINGLE FAMILY RESIDENTIAL LOT. THE PROPERTY IS PRIVATELY OWNED. SEE OWNER INFORMATION ON EXISTING CONDITIONS PLAN. THE SITE IS CURRENTLY UNDEVELOPED.

THE MAXIMUM FILL WILL BE APPROX. 2 FEET. THIS PROJECT WILL INVOLVE REMOVAL OF TOPSOIL TO CREATE RESIDENTIAL ROADWAY AND INFRASTRUCTURE. THE DISTURBANCE AREA DOES NOT INCLUDE MASS GRADING OF LOTS.

THE PROJECT IS SCHEDULED TO BEGIN CONSTRUCTION IN WINTER 2025 WITH PROJECT COMPLETION AND FINAL STABILIZATION BY FALL 2025. THE EROSION AND SEDIMENT CONTROL PROGRAM FOR THIS PROJECT WILL INCLUDE THE INSTALLATION OF A SUITABLE CONSTRUCTION ENTRANCE, TEMPORARY SILT FENCING, AND SILT FENCE OUTLETS.

ADJACENT PROPERTY
ADJACENT PROPERTY OWNERS ARE NOTED ON THE EXISTING CONDITIONS PLAN.

NATIVE SOILS
THE SOILS AT THIS SITE ARE PREDOMINATELY URBAN LAND & COMPLEX. SOILS ARE MOSTLY WELL DRAINED WITH Ksat RANGES FROM MODERATELY HIGH TO HIGH. SLOPES ARE LARGELY BETWEEN 2 TO 6% UP TO 10%.

REQUIRED WAKE COUNTY CONSTRUCTION SEQUENCE:

- SCHEDULE A PRECONSTRUCTION CONFERENCE WITH THE ENVIRONMENTAL CONSULTANT, CHARLES PHILLIPS AT 919-604-2156. OBTAIN A LAND-DISTURBING PERMIT.
- CLEAR THE AREA NEEDED TO CONSTRUCT THE PROPOSED CONSTRUCTION ENTRANCES.
- CONSTRUCT THE ENTRANCE AS SHOWN ON THE PLANS. MAINTAIN THE CONSTRUCTION ENTRANCE DAILY TO ENSURE THAT MUD AND SILT WILL NOT BE TRACKED ONTO THE PAVED SURFACE. IF MUD IS TRACKED ONTO THE SURFACE, IT IS TO BE REMOVED IMMEDIATELY.
- CLEAR THE AREA NEEDED TO CONSTRUCT THE REMAINDER OF PERIMETER EROSION CONTROL MEASURES INCLUDING SILT FENCE, AND OTHER MEASURES AS SHOWN ON THE APPROVED PLAN.
- NOTE THAT SEDIMENT BASINS ARE NOT PROPOSED FOR THIS DISTURBANCE. CONTRACTOR SHALL IMMEDIATELY STABILIZE ROADWAY DITCHES UPON GRADING. SEE NOTES ON EROSION CONTROL SHEETS FOR ADDITIONAL INFORMATION.
- CALL CHARLES PHILLIPS FOR AN ONSITE INSPECTION BY THE ENVIRONMENTAL CONSULTANT TO OBTAIN A CERTIFICATE OF COMPLIANCE.
- BEGIN CLEARING AND GRUBBING. MAINTAIN DEVICES AS NEEDED.
- ROUGH GRADE ALL ROADWAYS.
- STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISH GRADE WITH VEGETATION, PAVING, DITCH LININGS, ETC. SEED AND MULCH DENUDED AREAS WITHIN 7 OR 14 DAYS OF COMPLETION OF ANY PHASE OF CONSTRUCTION.
- WHEN CONSTRUCTION IS COMPLETE AND ALL AREAS ARE STABILIZED COMPLETELY, CALL CHARLES PHILLIPS FOR AN INSPECTION BY THE ENVIRONMENTAL CONSULTANT.
- IF SITE IS APPROVED, REMOVE SILT FENCE, ETC., AND SEED OUT OR STABILIZE ANY RESULTING BARE AREAS. ALL REMAINING PERMANENT EROSION CONTROL DEVICES, SUCH AS VELOCITY DISSIPATORS, SHOULD NOW BE INSTALLED. EXISTING STORM DRAINAGE SYSTEM SHALL BE CLEANED OF ANY SEDIMENT.
- WHEN VEGETATION HAS BECOME ESTABLISHED, CALL FOR A FINAL SITE INSPECTION BY THE ENVIRONMENTAL CONSULTANT, CHARLES PHILLIPS. OBTAIN A CERTIFICATE OF COMPLETION.

DUST CONTROL

VEGETATIVE COVER
FOR DISTURBED AREAS NOT SUBJECT TO TRAFFIC, VEGETATION PROVIDES THE MOST PRACTICAL METHOD OF DUST CONTROL.

MULCH
WHEN PROPERLY APPLIED, MULCH OFFERS A FAST, EFFECTIVE MEANS OF CONTROLLING DUST.

MAINTENANCE
MAINTAIN DUST CONTROL MEASURES THROUGH DRY WEATHER PERIODS UNTIL ALL DISTURBED AREAS HAVE BEEN STABILIZED.

STOCKPILE NOTES

- MAINTENANCE REQUIREMENTS**
- SEEDING OR COVERING STOCKPILES WITH TARPS OR MULCH IS REQUIRED AND WILL REDUCE EROSION PROBLEMS. TARPS SHOULD BE KEPT IN AT THE TOP OF THE SLOPE TO KEEP WATER FROM RUNNING UNDERNEATH THE PLASTIC.
 - IF A STOCKPILE IS TO REMAIN FOR FUTURE USE AFTER THE PROJECT IS COMPLETE (BUILDERS, ETC.), THE FINANCIAL RESPONSIBLE PARTY MUST NOTIFY WAKE COUNTY OF A NEW RESPONSIBLE PARTY FOR THAT STOCKPILE.
 - THE APPROVED PLAN SHALL PROVIDE FOR THE USE OF STAGED SEEDING AND MULCHING ON A CONTINUAL BASIS WHILE THE STOCKPILE IS IN USE.
 - ESTABLISH AND MAINTAIN A VEGETATIVE BUFFER AT THE TOE OF THE SLOPE (WHERE PRACTICAL).

SEDIMENT & EROSION CONTROLS

IT IS THE CONTRACTOR'S RESPONSIBILITY TO IMPLEMENT THE EROSION AND SEDIMENT CONTROLS AS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN. IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THESE CONTROLS ARE PROPERLY INSTALLED, MAINTAINED AND FUNCTIONING PROPERLY TO PREVENT POLLUTED WATER FROM LEAVING THE PROJECT SITE. THE CONTRACTOR WILL ADJUST THE EROSION CONTROLS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN AND ADD ADDITIONAL CONTROL MEASURES, AS REQUIRED, TO ENSURE THE SITE MEETS ALL FEDERAL, STATE AND LOCAL EROSION AND SEDIMENT CONTROL REQUIREMENTS. ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES BE TO THE STANDARDS OF THE NC DEPT. OF ENVIRONMENTAL MANAGEMENT - LAND QUALITY SECTION, AND THE WAKE COUNTY LAND DEVELOPMENT CODE, LATEST EDITION.

STRUCTURAL PRACTICES

- SILT FENCE (SEDIMENT FENCE):** SILT FENCE CAN BE USED BELOW DISTURBED AREAS SUBJECT TO SHEET AND RILL EROSION. SILT FENCES SHALL BE PROVIDED WHERE SHOWN AND AS NEEDED ON THE SITE PLAN. THESE BARRIERS SHALL BE USED TO CONTAIN SEDIMENT.
- SILT FENCE OUTLET:** GRAVEL SILT FENCE OUTLETS SHALL BE PROVIDED WHERE SHOWN AND AS NEEDED ON THE SITE PLAN. THESE OUTLETS SHALL BE LOCATED AT ALL LOW POINTS IN A RUN OF SILT FENCE AND USED TO DISCHARGE "CLEAN WATER" OFF-SITE.
- CONSTRUCTION ENTRANCE:** CONSTRUCTION TRAFFIC SHALL BE LIMITED TO STABILIZED AREAS. AT A MINIMUM, A TEMPORARY GRAVEL CONSTRUCTION ENTRANCE SHALL BE PROVIDED AS SHOWN ON THIS DRAWING. VEHICLE WHEELS SHALL BE CLEAN WHEN LEAVING THE SITE TO PREVENT THE TRACKING OF MUD ON PAVED ROADS.

VEGETATIVE PRACTICES

- TEMPORARY SEEDING:** DISTURBED AREAS THAT ARE NOT ANTICIPATED TO BE BROUGHT TO FINAL GRADE FOR A PERIOD OF MORE THAN 7 OR 14 CALENDAR DAYS MUST RECEIVE TEMPORARY SEEDING (SEE NPDES TABLE). A QUICK GROWING GRASS SPECIES, WHICH WILL PROVIDE AN EARLY COVER DURING THE SEASON IN WHICH IT IS PLANTED AND WILL NOT LATER COMPETE WITH THE PERMANENT GRASSING, SHOULD BE USED. TEMPORARY SEEDINGS SHALL BE PER WAKE COUNTY REQUIREMENTS.
- TEMPORARY GRASSING:** THE SEEDED OR SEEDED AND MULCHED AREA(S) SHALL BE ROLLED AND WATERED OR HYDROMULCHED OR OTHER SUITABLE METHODS IF REQUIRED TO ASSURE OPTIMUM GROWING CONDITIONS FOR THE ESTABLISHMENT OF A GOOD GRASS COVER.
- TEMPORARY REGRASSING:** IF, AFTER 14 DAYS FROM SEEDING, THE TEMPORARY GRASSED AREAS HAVE NOT ATTAINED A MINIMUM OF 75 PERCENT GOOD GRASS COVER, THE AREA WILL BE REWORKED AND ADDITIONAL SEED APPLIED SUFFICIENT TO ESTABLISH THE DESIRED VEGETATIVE COVER. RESEED AND MULCH BARE SPOTS LARGER THAN 9 SQUARE FEET.
- PERMANENT SEEDING:** ALL AREAS WHICH HAVE BEEN DISTURBED BY CONSTRUCTION WILL, AS A MINIMUM, BE SEEDED. PERMANENT SEEDING SHALL BE PER WAKE COUNTY REQUIREMENTS. IF GROWTH IS NOT ESTABLISHED BY FINAL PROJECT INSPECTION, CONTINUE SPECIFIED ATTENTION UNTIL THE STAND OF GRASS IS ACCEPTABLE.

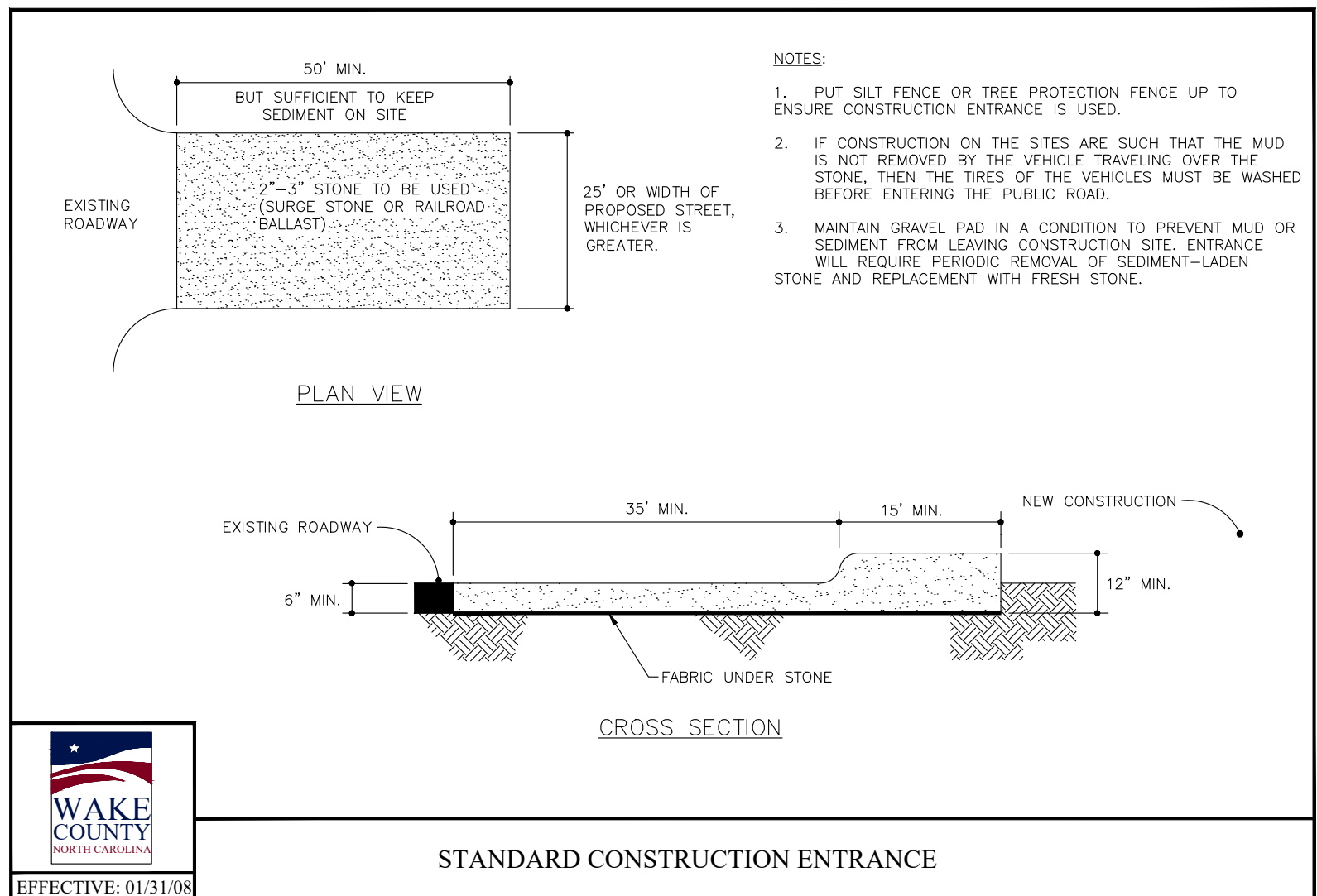
MANAGEMENT STRATEGIES

- STOCKPILING MATERIAL:** NO EXCAVATED MATERIAL SHALL BE STOCKPILED IN SUCH A MANNER AS TO DIRECT RUNOFF DIRECTLY OFF THE PROJECT SITE INTO ANY ADJACENT WATER BODY OR STORM WATER COLLECTION FACILITY. PER NCDMWO CONSTRUCTION GENERAL PERMIT REVISED AUGUST 4, 2011 ALL EARTHEN MATERIAL STOCKPILES MUST BE LOCATED 50' FROM STORM DRAINS AND STREAMS UNLESS NO OTHER REASONABLE ALTERNATIVE IS AVAILABLE.
- RIP-RAP OUTLET PROTECTION:** ALL RIP-RAP SHALL BE INSTALLED WITH FILTER FABRIC BENEATH.
- SOIL DISPOSAL:** DISPOSE OF ALL STOCKPILED MATERIAL TO AN APPROVED PERMITTED WAKE COUNTY DISPOSAL SITE.
- DEWATERING:** ALL TRENCH/PIT DEWATERING MUST DISCHARGE TO AN APPROVED S&EC MEASURE OR SILT SACK PRIOR TO LEAVING THE SITE.
- PERMANENT EROSION CONTROL:** THE EROSION CONTROL FACILITIES OF THE PROJECT SHOULD BE DESIGNED TO MINIMIZE THE IMPACT ON THE OFFSITE FACILITIES.

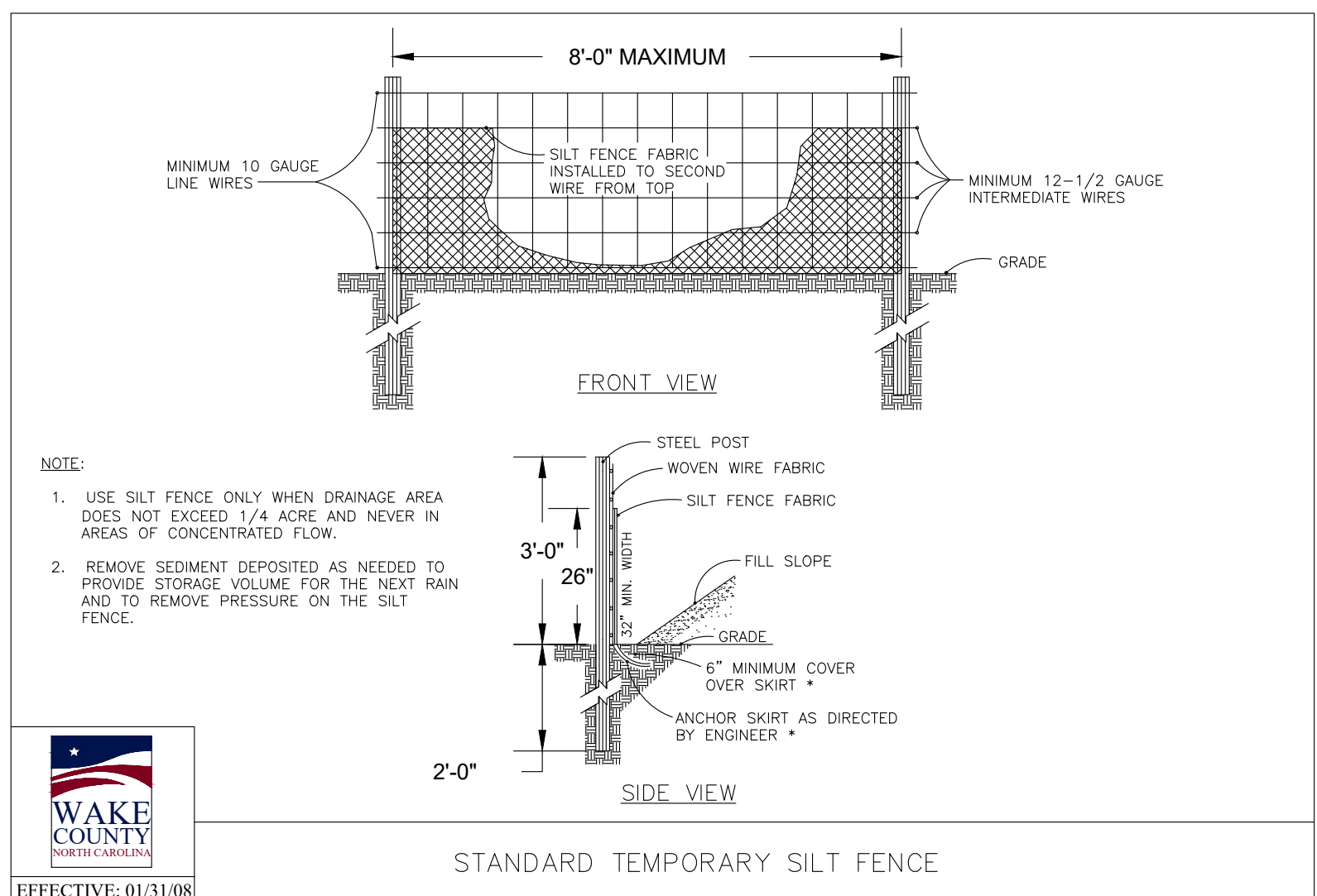
MAINTENANCE/INSPECTION PROCEDURES

THE FOLLOWING ARE INSPECTION AND MAINTENANCE PRACTICES THAT WILL BE USED TO MAINTAIN EROSION AND SEDIMENT CONTROLS.

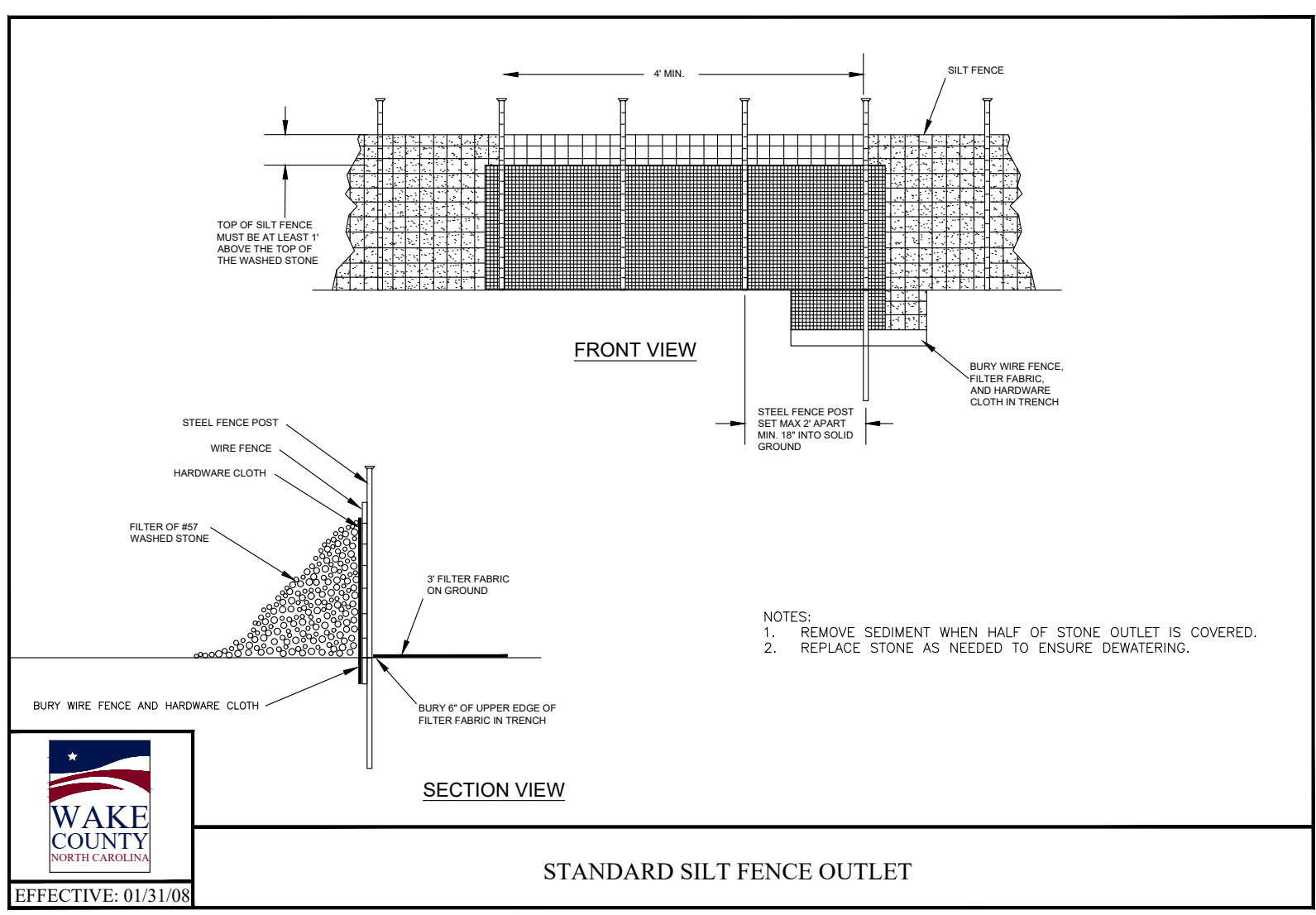
- ALL CONTROL MEASURES WILL BE INSPECTED BY THE SUPERINTENDENT, THE PERSON RESPONSIBLE FOR THE DAY TO DAY SITE OPERATION OR SOMEONE APPOINTED BY THE SUPERINTENDENT, DAILY AND WITHIN 24 HOURS OF EVERY RAINFALL EVENT.
- SILT FENCE & FABRIC INLET PROTECTION: INSPECT FOR DEPTH OF SEDIMENT, TEARS, TO SEE IF THE FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS, AND TO SEE THAT THE FENCE POSTS ARE FIRMLY IN THE GROUND. BUILT UP SEDIMENT WILL BE REMOVED FROM SILT FENCE WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE FENCE.
- DIVERSION DIKES/SWALES: INSPECT AND ANY BREACHES PROMPTLY REPAIRED. SEDIMENT SHALL BE REMOVED FROM THE FLOW AREA IMMEDIATELY AFTER EACH RAINFALL.
- TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT: MAINTAIN THE GRAVEL PAD IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. THIS MAY REQUIRE PERIODIC TOP-DRESSING WITH 2-3" STONE. AFTER A RAINFALL, IMMEDIATELY REMOVE ALL OBJECTIONABLE MATERIALS SPILLED, WASHED, OR TRACKED ONTO ROADWAYS.
- SEEDING, FERTILIZING, AND MULCHING: INSPECT SEEDED AREAS FOR FAILURE AND NECESSARY REPAIRS AND RE-SEEDING SHALL BE MADE WITHIN THE SAME SEASON. TEMPORARY AND PERMANENT SEEDING AND PLANTING WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND HEALTHY GROWTH.
- MAINTAIN THE ON-SITE RAIN GAUGE & DATA AND STORMWATER INSPECTION LOG SHEETS. THIS PERMIT INFORMATION MUST BE COLLECTED AND MAINTAINED UNTIL WAKE COUNTY HAS CLOSED THE PROJECT & SURETY HAS BEEN RELEASED.
- THE CONTACT PERSON IS REQUIRED TO MAINTAIN A LOG OF SELF-INSPECTIONS PER REQUIREMENTS AS OUTLINED IN NCGO1000 PERMIT. THE REPORTS WILL BE KEPT ON SITE DURING CONSTRUCTION AND AVAILABLE UPON REQUEST TO THE OWNER, ENGINEER OR ANY FEDERAL, STATE OR LOCAL AGENCY APPROVING SEDIMENT AND EROSION PLANS, OR STORMWATER MANAGEMENT PLANS. THIS PERMIT INFORMATION MUST BE COLLECTED AND MAINTAINED UNTIL WAKE COUNTY HAS CLOSED THE PROJECT.
- THE SITE SUPERINTENDENT WILL SELECT UP TO THREE INDIVIDUALS WHO WILL BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE AND REPAIR ACTIVITIES, AND FILLING OUT THE INSPECTION AND MAINTENANCE REPORT.
- PERSONNEL SELECTED FOR INSPECTION AND MAINTENANCE RESPONSIBILITIES WILL RECEIVE TRAINING FROM THE SITE SUPERINTENDENT. THEY WILL BE TRAINED IN ALL THE INSPECTION AND MAINTENANCE PRACTICES NECESSARY FOR KEEPING THE EROSION AND SEDIMENT CONTROLS USED ONSITE IN GOOD WORKING ORDER.
- GROUND STABILIZATION: SOIL STABILIZATION SHALL BE ACHIEVED ON ANY AREA OF A SITE WHERE LAND-DISTURBING ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED ACCORDING TO THE FOLLOWING SCHEDULE:
 - ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1) SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 7 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.
 - ALL OTHER DISTURBED AREAS SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS POSSIBLE BUT IN ANY EVENT WITHIN 14 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY



1 STANDARD CONSTRUCTION ENTRANCE
EC-1.1 SCALE: NTS



2 STANDARD TEMPORARY SILT FENCE
EC-1.1 SCALE: NTS



3 STANDARD SILT FENCE OUTLET
EC-1.1 SCALE: NTS

Z:\PROJECTS\FOLDER\FEBRUARY\2024\2024-033 THE JOEL FUND - ROLESVILLE\PLANS\SITE PLAN\SHEET FILES\EC-1.1 EROSION CONTROL DETAILS I.DWG PLOTTED: 11/14/2025 3:24 PM

REVISIONS	
1	12/02/2024 TOWN OF ROLESVILLE COMMENTS
2	1/09/2025 TOWN OF ROLESVILLE COMMENTS
0	11/14/2025 SIGNATURE SET

STATUS	
SIGNATURE SET	

DATE: AUGUST 30, 2024	HORZ. SCALE:
FILE NO: 2024-033	ORIG. SHEET SIZE: 24 x 36

PROFESSIONAL'S SEAL

CONSULTANT

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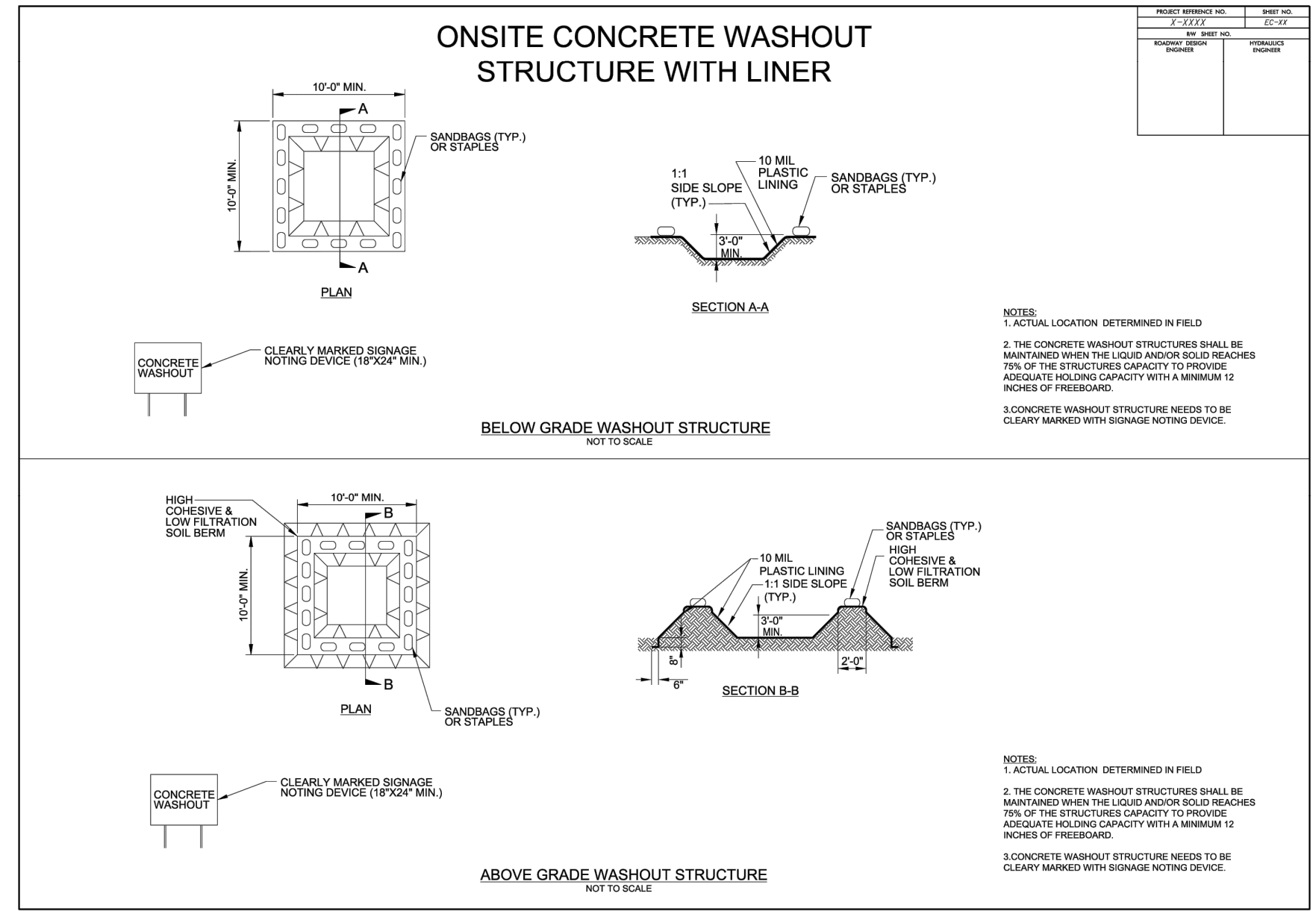
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CONSTRUCTION DRAWINGS
THE JOEL FUND - SDP-24-08
EROSION CONTROL DETAILS I

EC-1.1



1 CONCRETE WASHOUT
SCALE: NTS

- CHISEL COMPACTED AREAS AND SPREAD TOPSOIL THREE INCHES DEEP OVER ADVERSE SOIL CONDITIONS, IF AVAILABLE.
- RIP THE ENTIRE AREA TO SIX INCHES DEEP.
- REMOVE ALL LOOSE ROCK, ROOTS AND OTHER OBSTRUCTIONS, LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM.
- APPLY AGRICULTURAL LIME, FERTILIZER AND SUPERPHOSPHATE UNIFORMLY AND MIX WITH SOIL (SEE MIXTURE).
- CONTINUE TILLAGE UNTIL A WELL-PULVERIZED, FIRM, REASONABLY UNIFORM SEEDBED IS PREPARED FOUR TO SIX INCHES DEEP.
- SEED ON A FRESHLY PREPARED SEEDBED AND COVER SEED LIGHTLY WITH SEEDING EQUIPMENT OR CULTIPACK AFTER SEEDING.
- MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH.
- INSPECT ALL SEEDBED AREAS AND MAKE NECESSARY REPAIRS OR RESEEDINGS WITHIN THE PLANTING SEASON IF POSSIBLE.
- IF STAND SHOULD BE MORE THAN 60% DAMAGED, RE-ESTABLISH FOLLOWING THE ORIGINAL LIME, FERTILIZER AND SEEDING RATES.
- CONSULT SAEC ENVIRONMENTAL ENGINEERS ON MAINTENANCE TREATMENT AND FERTILIZATION AFTER PERMANENT COVER IS ESTABLISHED.

MIXTURE

AGRICULTURAL LIMESTONE	2 TONS/ACRE (3 TONS/ACRE IN CLAY SOILS)
FERTILIZER	1,000 LBS/ACRE - 10-10-10
SUPERPHOSPHATE	500 LBS/ACRE - 20% ANALYSIS
MULCH	2 TONS/ACRE - SMALL GRAIN STRAW
ANCHOR	ASPHALT EMULSION AT 300 GALS/ACRE

SEEDING SCHEDULE
FOR SHOULDERS, SIDE DITCHES, SLOPES (MAX 3:1):

DATE	TYPE	PLANTING RATE
AUG 15 - NOV 1	TALL FESCUE	300 LBS/ACRE
NOV 1 - MAR 1	TALL FESCUE & ABRUZZI RYE	300 LBS/ACRE
MAR 1 - APR 15	TALL FESCUE	300 LBS/ACRE
APR 15 - JUN 30	HULLED COMMON BERMUDAGRASS	25 LBS/ACRE
JUL 1 - AUG 15	TALL FESCUE AND BROWNTOP MILLET OR SORGHUM-SUDAN HYBRIDS**	125 LBS/ACRE (TALL FESCUE); 35 LBS/ACRE (BROWNTOP MILLET); 30 LBS/ACRE (SORGHUM-SUDAN HYBRIDS)

FOR SHOULDERS, SIDE DITCHES, SLOPES (3:1 TO 2:1):

DATE	TYPE	PLANTING RATE
MAR 1 - JUN 1	SERICEA LESPEDEZA (SCARIFIED) AND USE THE FOLLOWING COMBINATIONS:	50 LBS/ACRE (SERICEA LESPEDEZA);
MAR 1 - APR 15	ADD TALL FESCUE	120 LBS/ACRE
MAR 1 - JUN 30	OR ADD WEEPING LOVE GRASS	10 LBS/ACRE
MAR 1 - JUN 30	OR ADD HULLED COMMON BERMUDAGRASS	25 LBS/ACRE

DATE	TYPE	PLANTING RATE
JUN 1 - SEPT 1	TALL FESCUE AND BROWNTOP MILLET OR SORGHUM-SUDAN HYBRIDS**	120 LBS/ACRE (TALL FESCUE); 35 LBS/ACRE (BROWNTOP MILLET); 30 LBS/ACRE (SORGHUM-SUDAN HYBRIDS)
SEPT 1 - MAR 1	SERICEA LESPEDEZA (UNHULLED - UNSCARIFIED) AND TALL FESCUE	70 LBS/ACRE (SERICEA LESPEDEZA); 120 LBS/ACRE (TALL FESCUE)
NOV 1 - MAR 1	AND ABRUZZI RYE	25 LBS/ACRE

CONSULT SAEC ENVIRONMENTAL ENGINEERS FOR ADDITIONAL INFORMATION CONCERNING OTHER ALTERNATIVES FOR VEGETATION OF DENIED AREAS. THE ABOVE VEGETATION RATES ARE THOSE THAT DO WELL UNDER LOCAL CONDITIONS. OTHER SEEDING RATE COMBINATIONS ARE POSSIBLE.

** TEMPORARY: RESEED ACCORDING TO OPTIMUM SEASON FOR DESIRED PERMANENT VEGETATION. DO NOT ALLOW TEMPORARY COVER TO GROW MORE THAN 12" IN HEIGHT BEFORE MOWING. OTHERWISE, FESCUE MAY BE SHADED OUT.

2 SEEDING SCHEDULE
SCALE: NTS

GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT

Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

SECTION E: GROUND STABILIZATION

Required Ground Stabilization Timeframes

Site Area Description	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b) High Quality Water (HQW) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed
(d) Slopes 3:1 to 4:1	14	7 days for slopes greater than 50' in length and with slopes steeper than 4:1 7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed
(e) Areas with slopes flatter than 4:1	14	7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

GROUND STABILIZATION SPECIFICATION

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization	Permanent Stabilization
<ul style="list-style-type: none"> Temporary grass seed covered with straw or other mulches and tackifiers Hydroseeding Roll-on erosion control products with or without temporary grass seed Appropriately applied straw or other mulch with plastic sheeting 	<ul style="list-style-type: none"> Permanent grass seed covered with straw or other mulches and tackifiers Geotextile fabrics such as permanent soil reinforcement matting Hydroseeding Shrubs or other permanent plantings covered with mulch Uniform and evenly distributed ground cover sufficient to restrain erosion Structural methods such as concrete, asphalt or retaining walls Roll-on erosion control products with grass seed

POLYACRYLAMIDES (PAMS) AND FLOCCULANTS

- Select flocculants that are appropriate for the soils being exposed during construction, selected from the AC DWAF List of Approved PAMS/Flocculants.
- Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
- Apply flocculants at the concentrations specified in the NCR DWAF List of Approved PAMS/Flocculants and in accordance with the manufacturer's instructions.
- Provide ponding area for containment of treated stormwater before discharging offsite.
- Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

EQUIPMENT AND VEHICLE MAINTENANCE

- Maintain vehicles and equipment to prevent discharge of fluids.
- Provide drip pans under any stored equipment.
- Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
- Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
- Remove leaking vehicles and construction equipment from service until the problem has been corrected.
- Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE

- Never bury or burn waste. Place litter and debris in approved waste containers.
- Provide a sufficient number and size of waste containers (e.g. dumpster, trash receptacle) on site to store all waste.
- Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
- Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
- Anchor all lightweight items in waste containers during times of high winds.
- Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
- Dispose waste off-site at an approved disposal facility.
- On business days, clean up and dispose of waste in designated waste containers.

PAINT AND OTHER LIQUID WASTE

- Do not dump paint and other liquid waste into storm drains, streams or wetlands.
- Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Contain liquid wastes in a contained area.
- Containment must be labeled, sized and placed appropriately for the needs of site.
- Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

PORTABLE TOILETS

- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
- Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
- Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

EARTHEN STOCKPILE MANAGEMENT

- Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
- Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
- Provide stable stone access point when feasible.
- Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.

ON-SITE CONCRETE WASHOUT STRUCTURE WITH LINER

CONCRETE WASHOUTS

- Do not discharge concrete or hardened slurry from the site.
- Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and an approved facility.
- Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
- Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
- Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped out or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
- Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
- Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
- Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
- Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
- At the completion of the concrete work, remove remaining leavings and dispose in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

HERBICIDES, PESTICIDES AND RODENTICIDES

- Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
- Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
- Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
- Do not stockpile these materials onsite.

HAZARDOUS AND TOXIC WASTE

- Create designated hazardous waste collection areas on-site.
- Place hazardous waste containers under cover or in secondary containment.
- Do not store hazardous chemicals, drums or bagged materials directly on the ground.

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION A: SELF-INSPECTION

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record.

Inspect	Frequency (during normal business hours)	Inspection records must include:
(1) Erosion control measures in good working order	Daily	Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no individual day rainfall information is available, record the cumulative rain measurement for those weekend days (rain this will decrease if a rain gauge is needed). Days in which no rainfall occurred shall be recorded as "zero". The permittee may use another rain-measuring device approved by the Division.
(2) EESC Measures	At least once per 7 calendar days and within 24 hours of a rain event > 1.0 inch in 24 hours	1. Identification of the measures inspected. 2. Date and time of the inspection. 3. Name of the person performing the inspection. 4. Indication of whether the measures were operating properly. 5. Description of maintenance needs for the measures. 6. Description, evidence, and date of corrective actions taken.
(3) Stormwater discharge (SDCs)	At least once per 7 calendar days and within 24 hours of a rain event > 1.0 inch in 24 hours	1. Identification of the discharge mouth, structure, etc. 2. Date and time of the inspection. 3. Name of the person performing the inspection. 4. Evidence of indicators of stormwater pollution such as oil stains, floating or suspended solids or observation. 5. Indication of visible sediment leaving the site. 6. Description, evidence, and date of corrective actions taken.
(4) Presence of silt	At least once per 7 calendar days and within 24 hours of a rain event > 1.0 inch in 24 hours	1. Identification of the location inside the limits, then a record of the following shall be made: 2. Date, time, evidence, and date of corrective actions taken, and, as appropriate to the actions taken to control future releases. 3. An explanation as to the actions taken to control future releases.
(5) Streams or wetlands visible or audible (where applicable)	At least once per 7 calendar days and within 24 hours of a rain event > 1.0 inch in 24 hours	If the stream or wetland has increased visible sedimentation or a siltation, then a record of the following shall be made: 1. Date, time, evidence, and date of corrective actions taken, and, as appropriate to the actions taken to control future releases. 2. Receipt of the required reports to the appropriate Division Regional Office per Part III, Section C, Item (3)(b) of this permit.
(6) Ground stabilization measures	After each phase of grading	1. The phase of grading (installation of perimeter EESC measures, staking and public installation of storm drainage facilities, completion of all land-clearing activity, surface stabilization or revegetation, etc.) 2. Documentation that the required ground stabilization measures have been provided within the required timeframe or an assurance that they will be provided as soon as possible.

Note: The rain inspection resets the required 7 calendar day inspection requirement.

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION B: RECORDKEEPING

The approved EESC plan as well as any approved deviation shall be kept on the site. The approved EESC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the EESC plan shall be kept on site and available for inspection at all times during normal business hours.

Item to Document	Documentation Requirements
(a) Each EESC measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved EESC plan.	Initial and date each EESC measure on a copy of the approved EESC plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(b) A phase of grading has been completed.	Initial and date a copy of the approved EESC plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved EESC plan.	Initial and date a copy of the approved EESC plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all EESC measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to EESC measures.	Initial and date a copy of the approved EESC plan or complete, date and sign an inspection report to indicate the completion of the corrective action.

2. Additional Documentation to be kept on Site

In addition to the EESC plan documents above, the following items shall be kept on the site and available for inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

- This General Permit as well as the Certificate of Coverage, after it is received.
- Records of inspections made during the previous twelve months. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.
- Documentation to be Retained for Three Years
All data used to complete the EESC and all inspection records shall be maintained for a period of three years after project completion and made available upon request. (40 CFR 122.41)

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION C: REPORTING

1. Occurrences that Must be Reported
Permittees shall report the following occurrences:

- Visible sediment deposition in a stream or wetland.
- Oil spills if:
 - They are 25 gallons or more,
 - They are less than 25 gallons but cannot be cleaned up within 24 hours,
 - They cause sheen on surface waters (regardless of volume), or
 - They are within 100 feet of surface waters (regardless of volume).
- Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 113.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.
- Anticipated bypasses and unanticipated bypasses.
- Noncompliance with the conditions of this permit that may endanger health or the environment.

2. Reporting Timeframes and Other Requirements

After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Department's Environmental Emergency Center personnel at (800) 858-0368.

Occurrence	Reporting Timeframes (After Discovery) and Other Requirements
(a) Visible sediment in a stream or wetland	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that includes a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis.
(b) Oil spills and releases of hazardous substances per item 1(b)(2) above	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. If the stream is named on the 303(d) list as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired-waters conditions.
(c) Anticipated bypasses (40 CFR 122.41(m)(3))	<ul style="list-style-type: none"> A report at least ten days before the date of the bypass, if possible. The report shall include an evaluation of the anticipated quality and effect of the bypass.
(d) Unanticipated bypasses (40 CFR 122.41(m)(3))	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that includes an evaluation of the quality and effect of the bypass.
(e) Noncompliance with the conditions of this permit that may endanger health or the environment (40 CFR 122.41(f)(7))	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times; and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue, and steps taken or planned to reduce, eliminate, and prevent recurrence of the noncompliance. (40 CFR 122.41(f)(8)). Division staff may waive the requirement for a written report on a case-by-case basis.

Z:\PROJECTS\FOLDER\FIELD\CON\2024\2024-03-03 THE JOEL FUND - ROLESVILLE ANTSITE PLANSHEET FILES\EC-12 EROSION CONTROL DETAILS (LDWG)

REVISIONS

NO.	DATE	DESCRIPTION
1	12/02/2024	TOWN OF ROLESVILLE COMMENTS
2	1/09/2025	TOWN OF ROLESVILLE COMMENTS
3	11/24/2025	SIGNATURE SET

STATUS
SIGNATURE SET

DATE: AUGUST 30, 2024
FILE NO.: 2024-033

HORZ. SCALE:
ORIG. SHEET SIZE: 24 x 36

PROFESSIONAL'S SEAL

10/14/2025

CONSULTANT

Curry
ENGINEERING

103 S. Fugate Avenue
Fayetteville, NC 27516

(919) 552-0940
(919) 552-2943

NC LIC. NO. P-0799

CLIENT

The Joel Fund
822 S White St, Suite 116
Wake Forest, NC 27587
919.418.9042
Contact: Brooke Dickhart
email: brooke@joelfund.org

CONSTRUCTION DRAWINGS
THE JOEL FUND - SDP-24-08
EROSION CONTROL DETAILS II

EC-1.2

INSPECTION AND MONITORING RECORDS FOR ACTIVITIES UNDER STORMWATER GENERAL PERMIT NCG010000 AND SELF-INSPECTION RECORDS FOR LAND DISTURBING ACTIVITIES PER G.S. 113A-54.1

Project Name, Land Quality or Local Program Project/Permit #, Approving Authority, Date of Plan Approval, NCG010000 Certificate of Coverage Number, Expiration Date, Date of COC Issuance

PART 1A: Rainfall Data

Table with columns: Date, Rain Amount (inches) Daily Rainfall Required. If no rain, indicate with a "zero"

PART 1B: Phase(s) of the Plan

Table with columns: Check ALL applicable box(es) that apply to completed & current phases, X

Are there any site or project conditions that limit completion of inspection? If yes, explain conditions and areas of site that were inaccessible.

PART 2: STORMWATER PLANS AND CONTROLS: For each question below, mark the corresponding box as Yes, No or N/A. For all items marked "No", note in Part 3A the Reference letter and provide the Corrective Action and location of the deficiency, the original date noted, and the date it was noted as being corrected.

Table with columns: Reference, Part 2A: Storm Water Plans and Related Documents, Yes, No, N/A. Includes questions A through K regarding erosion controls, stormwater controls, and non-storm water pollutant controls.

Report oil spills and the release of hazardous substances to the appropriate DEQ Regional Office via phone call or email within 24 hours of discovery. https://deq.nc.gov/contact/regional-offices

Table with columns: Reference, Part 2D: Sedimentation, Yes, No, N/A. Includes questions L and M regarding sedimentation.

PART 3A: EROSION AND SEDIMENTATION CONTROL MEASURES: Measures must be inspected at least ONCE PER 7 CALENDAR DAYS AND WITHIN 24 HOURS OF A RAINFALL EVENT EQUAL TO OR GREATER THAN 1.0 INCH PER 24 HOUR PERIOD.

Table for Erosion and Sedimentation Control Measures Inspected. Columns: Measure ID or Location and Description, Reference(s), Operating Property? (Y/N), Inspection Date, Describe Actions Needed, Date Previous Action(s) Observed as Corrected.

PART 3B: STORMWATER DISCHARGE OUTFALLS (SDOs): SDOs must be inspected at least ONCE PER 7 CALENDAR DAYS AND WITHIN 24 HOURS OF A RAINFALL EVENT EQUAL TO OR GREATER THAN 1.0 INCH PER 24 HOUR PERIOD.

Table for Stormwater Discharge Outfalls Inspected. Columns: Stormwater Discharge Outfall ID or Location, Any Visible Sedimentation in Streams, Wetlands or Outside Site Limits? (Y/N), Any Increase in Stream Turbidity from Discharge? (Y/N), Any Visible Erosion below SDO? (Y/N), Any visible oil sheen, floating or suspended solids or discoloration? (Y/N), Inspection Date, Describe Actions Needed, Date Previous Action(s) Observed as Corrected.

PART 3C: GROUND STABILIZATION: Must be recorded, at a minimum, after each phase. Add rows as needed.

Table for Ground Stabilization. Columns: Site area description and location where construction activities have temporarily or permanently ceased, Time Limit for Ground Cover (see table below), Have stabilization measures been installed? (Y/N), Temporary or Permanent Stabilization (T/P), Is Ground Cover Sufficient to Restrict Erosion? (Y/N), Original Inspection Date, Describe Actions Needed, Date Previous Action(s) Observed as Corrected.

Table for GROUND STABILIZATION TIMEFRAMES. Columns: Site Area Description, Stabilization, Timeframe Variations.

PART 3D: NEW OR REVISED MEASURES: Erosion and sedimentation control measures omitted or installed, at a minimum since the last inspection, shall be documented here or by initialing and dating each measure or practice shown on a copy of the approved erosion and sedimentation control plan.

Table for New or Revised Measures. Columns: Measure ID or Location and Description, Proposed Dimensions (ft.), Actual Dimensions (ft.), Significant Deviation* from Plan? (Y/N), Date measure observed as installed, altered, relocated or removed, Installed (I) Altered (A) Relocated (R) Removed (X)

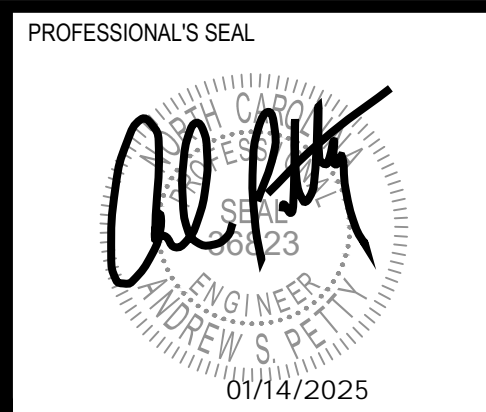
*Significant deviation means any omission, alteration or relocation of an erosion or sedimentation control measure that prevents it from performing as intended.

PART 4: Signature of Inspector

Signature of Inspector form including fields for Name, Employer, County, Address, Phone Number, Email Address, and Date & Time of Inspection.

Z:\PROJECTS\FOLDER_ZEBEL\CON2024\2024-033 THE JOEL FUND - ROLESVILLE\PLANS\SITE PLAN\SHEET FILES\EC-13 EROSION CONTROL DETAILS III.DWG

Table with columns: REVISIONS, STATUS, SIGNATURE SET, DATE, HORZ. SCALE, FILE NO.



Curry ENGINEERING logo and contact information: 208 S. Fugate Avenue, Fugate/Vernon, NC 27526. Phone: (919) 552-0940, Fax: (919) 552-2643. NC LIC. NO. P-0799.

CLIENT: The Joel Fund, 822 S White St, Suite 116, Wake Forest, NC 27587, 919.418.9042, Contact: Brook Dickhart, email: brooke@joelfund.org

CONSTRUCTION DRAWINGS THE JOEL FUND - SDP-24-08 EROSION CONTROL DETAILS III EC-1.3

438

WILLIAM MAY
PIN: 1769023002
D.B. 16-E, PG. 1544
ZONING: RL
USE: SINGLE FAMILY

THE JOEL FUND
PIN: 1769014840
D.B. 016583, PG. 01043
ZONING: GC-CZ
USE: SINGLE FAMILY

THE JOEL FUND
PIN: 1769014751
D.B. 016423, PG. 02434
ZONING: GC-CZ
USE: SINGLE FAMILY

COBBLESTONE CROSSING SPE LLC
PIN: 1769011435
D.B. 019433, PG. 02267
ZONING: TC
USE: MULTIFAMILY

EXISTING VEGETATION TO REMAIN UNDISTURBED, TYP

PROPERTY BOUNDARY

EXISTING VEGETATION TO REMAIN UNDISTURBED, TYP

TREE PRESERVATION FENCE

SCREEN PORCH
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EXISTING BUILDING
PORCH

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LAWN

EXISTING BUILDING

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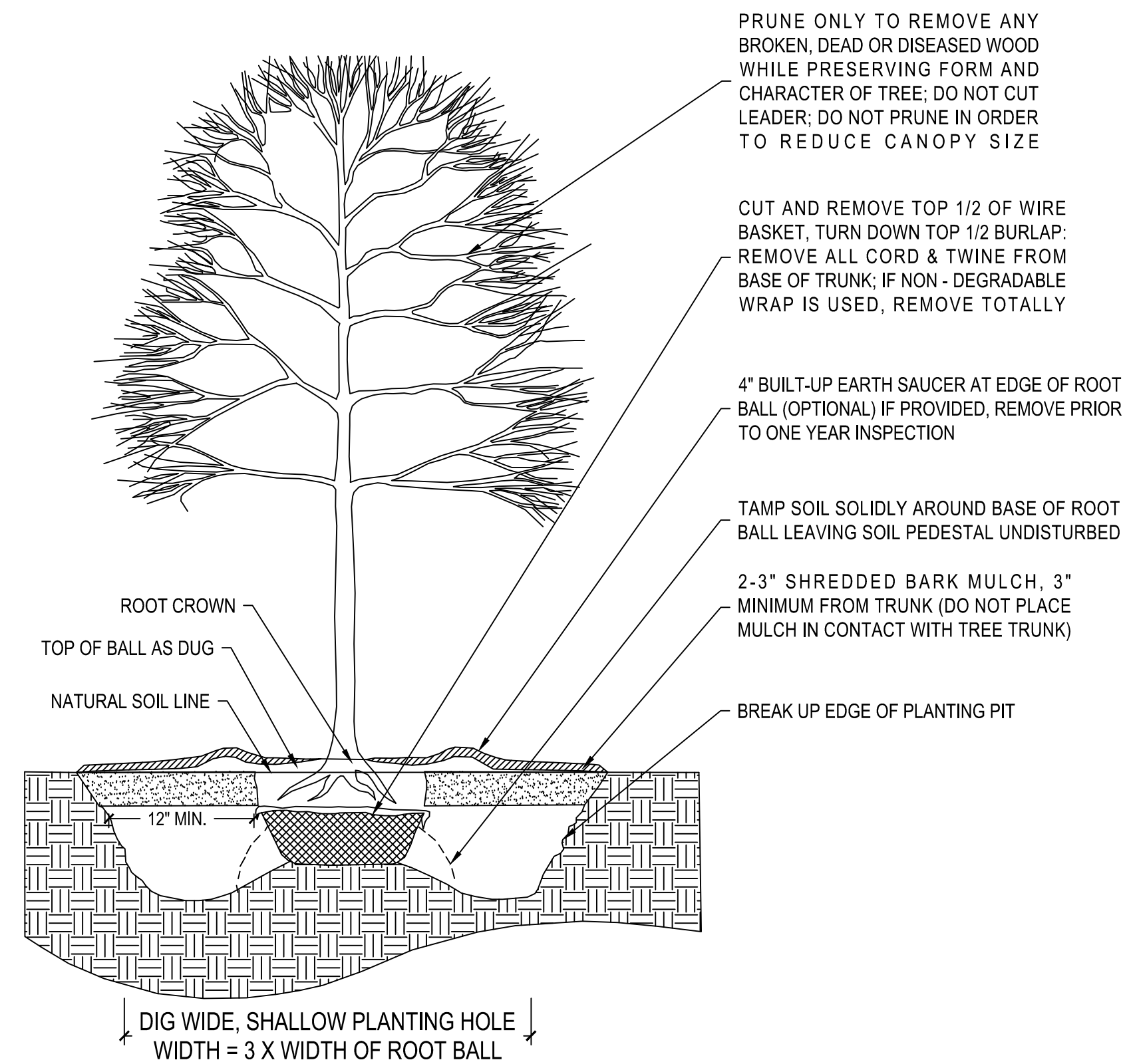
LAWN

SEPTIC MANHOLE

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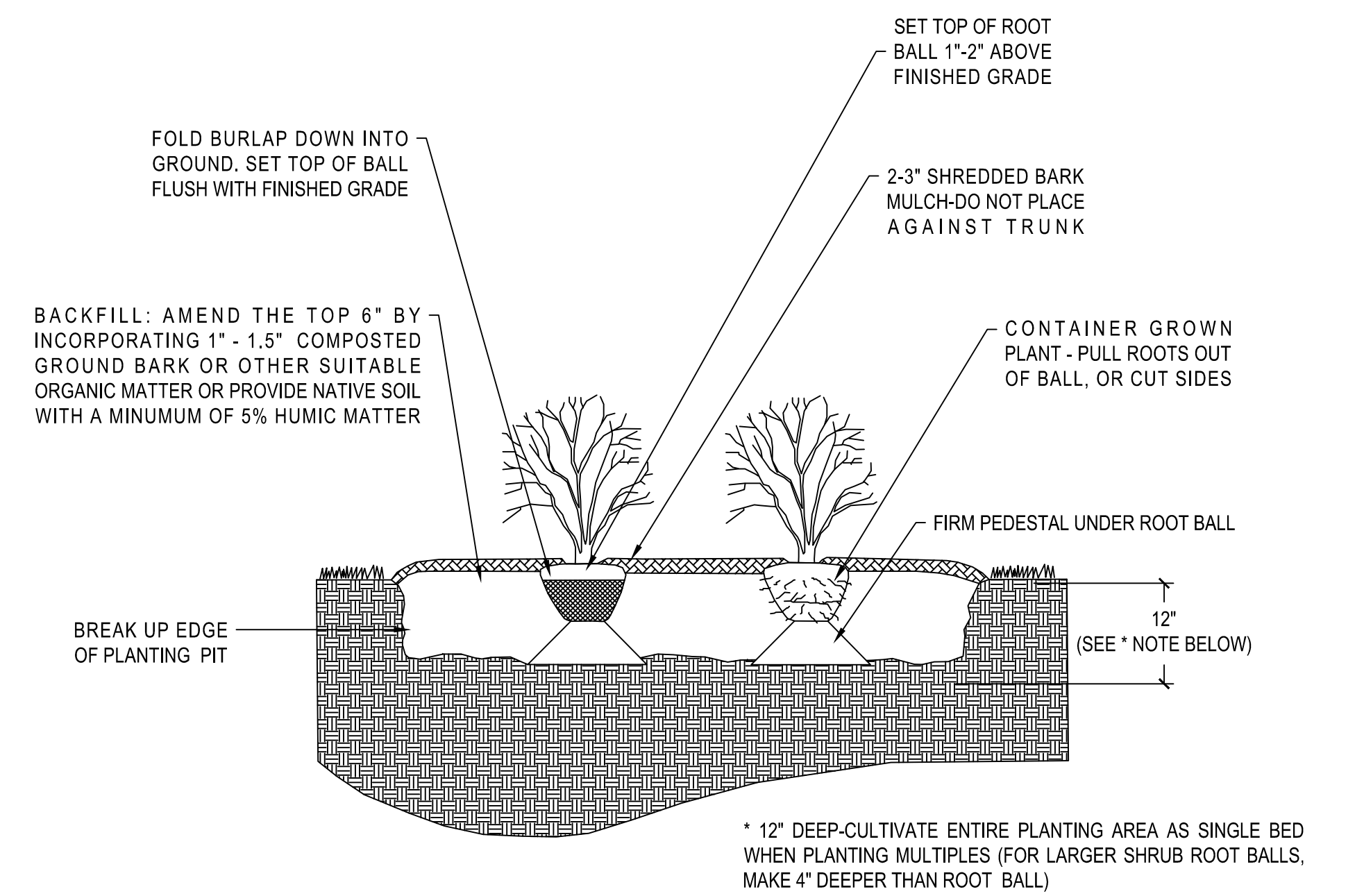


NOTES

- CONTRACTOR TO VERIFY THAT ADEQUATE DRAINAGE EXISTS PRIOR TO PLANTING.
- DO NOT WRAP TRUNK OF TREE.
- STAKING OF TREES IS NOT RECOMMENDED, EXCEPT ON WINDY SITES OR FOR LARGE EVERGREEN TREES. IF STAKING IS DONE, FLEXIBLE STRAPS - NOT HOSE AND WIRE - SHOULD BE USED AND MUST BE REMOVED AT APPROPRIATE TIME. PROPERTY OWNER IS RESPONSIBLE FOR REPLACEMENT OF DESTROYED OR DAMAGED TREES.
- ALL TREES SHALL CONFORM TO THE STANDARDS SET FORTH IN THE MOST RECENT AMERICAN STANDARDS FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN (A.A.N.).
- TREES WITH ROOT FLARE COVERED BY MORE THAN 1.5" OF SOIL WILL BE REJECTED PRIOR TO INSTALLATION.

TREE PLANTING DETAIL (LAN-37)

NTS



NOTES

- ALL SHRUBS SHALL CONFORM TO THE STANDARDS SET FORTH IN THE MOST RECENT AMERICAN STANDARDS FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN (A.A.N.).
- SOIL ANALYSIS SHALL BE OBTAINED PRIOR TO PLANTING. SOIL SHALL BE AMENDED AS RECOMMENDED.
- SHEET PREPARATION OF BEDS IS HIGHLY PREFERRED TO INDIVIDUAL DUG HOLES.

SHRUB/GROUND COVER PLANTING DETAIL (LAN-38)

NTS

LANDSCAPE CALCULATIONS:

PERIMETER BUFFERS

REQUIREMENTS:
25' TYPE 3

4 CANOPY TREES PER 100 LF
2 UNDERSTORY TREES PER 100 LF
60 SHRUBS PER 100 LF
6HT WALL

BUFFER
REQUIRED

101.33 LF
4 CANOPY TREES
2 UNDERSTORY TREES
61 SHRUBS
6HT WALL

PROVIDED

4 CANOPY TREES
2 UNDERSTORY TREES
61 SHRUBS
6H WALL

STREET BUFFERS

REQUIREMENTS:
30' STREETSCAPE BUFFER

1 CANOPY TREE PER 40 LF

STREETSCAPE BUFFER
REQUIRED

78.56 LF
2 CANOPY TREES

PROVIDED

2 CANOPY TREES

PARKING LOT LANDSCAPING

REQUIREMENTS:

1 CANOPY TREE PER TERMINAL ISLAND
CONTINUOUS EVERGREEN PERIMETER PLANTING @ 3' O.C.

REQUIRED

2 CANOPY TREES
CONTINUOUS EVERGREEN PERIMETER PLANTING @ 3' O.C.

PROVIDED

2 CANOPY TREES
CONTINUOUS EVERGREEN PERIMETER PLANTING @ 3' O.C.

PLANT SCHEDULE									
KEY	QTY	BOTANICAL NAME	COMMON NAME	ROOT	CALIPER (MINIMUM)	HEIGHT (MINIMUM)	TYPE	USE	NOTES
CANOPY TREES									
ARO	4	Acer rubrum 'October Glory'	October Glory® Red Maple	B&B	2"	8'	D	PERIMETER BUFFER	MATCHED
ONU	2	Quercus nuttallii	Nuttall Oak	B&B	2.5"	8'	D	STREETSCAPE BUFFER	MATCHED
NSY	2	Nyssa sylvatica	Black Gum	B&B	2"	8'	D	PARKING LOT	MATCHED
UNDERSTORY TREES									
LIN	2	Lagerstroemia indica	Crape Myrtle	B&B	1"	8'	D	PERIMETER BUFFER	MATCHED
SHRUBS									
AGR	21	Abelia x grandiflora	Glossy Abelia	CONT.		18"	E	PERIMETER BUFFER	MATCHED
ICB	72	Ilex cornuta 'Burfordii Nana'	Dwarf Burford Holly	CONT.		18"	E	PARKING LOT / PERIMETER BUFFER	MATCHED
IGS	11	Ilex glabra 'Shamrock'	Shamrock Inkberry Holly	CONT.		18"	E	PERIMETER BUFFER	MATCHED
TYPE / USE LEGEND									
PLANT TYPE: E = EVERGREEN / D = DECIDUOUS / SE = SEMI-EVERGREEN / H = HERBACEOUS									

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DESIGNED BY: JOEL FUND, DATE: 11/14/2024, 3:38 PM
PLOTTED: 11/14/2024, 3:38 PM

REVISIONS	
1	12/02/2024 TOWN OF ROLESVILLE COMMENTS
2	1/09/2025 TOWN OF ROLESVILLE COMMENTS
0	1/14/2025 SIGNATURE SET

STATUS	
DATE: AUGUST 30, 2024	HORZ. SCALE:
FILE NO. 2024-033	ORIG. SHEET SIZE: 24 x 36

PROFESSIONAL'S SEAL

1/14/2025

CONSULTANT

EST. 1970

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CLIENT

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CONSTRUCTION DRAWINGS
THE JOEL FUND - SDP-24-08
LANDSCAPE DETAILS

L-2.0